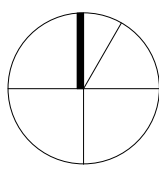
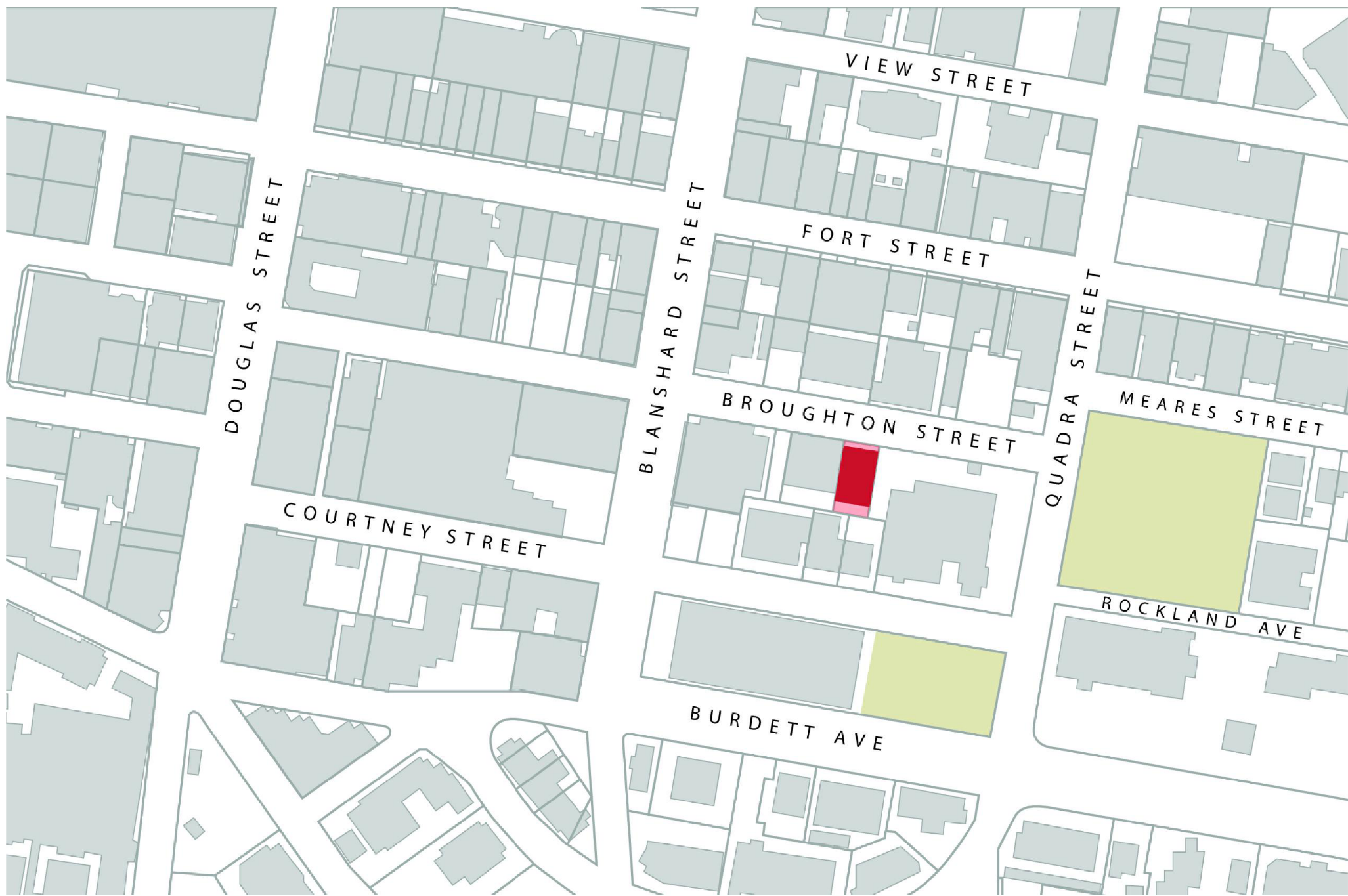




BROUGHTON STREET ELEVATION - NTS



PROJECT KEY PLAN - NTS

DELEGATED DEVELOPMENT PERMIT

CONTACTS

OWNER

Fort Properties
814 Broughton Street
Victoria, BC
250.383.7412

Contact
Jayne Bradbury, Suzanne Bradbury
jayne@fortproperties.ca
suzanne@fortproperties.ca

ARCHITECT

Cascadia Architects
101-804 Broughton Street
Victoria, BC
250.590.3223

Contact
Gregory Damant, Architect,
AIBC, LEED® AP, RAIC
greg@cascadiaarchitects.ca

LANDSCAPE ARCHITECT

LADR Landscape Architects
3-864 Queens Avenue
Victoria, BC
250.598.0105

Contact
Chris Windjack, MBCSLA, CSLA,
ASLA, GREEN SHORES LEVEL 2
cwindjack@ladra.ca

CIVIL

J.E. Anderson & Associates
4212 Glanford Avenue
Victoria, BC
250.727.2214

Contact
Ross Tuck, P.Eng
rtuck@jeanderson.com

LIST OF DRAWINGS

- Architectural - DDP
- A000 Cover
 - A010 Context Elevation and Perspectives
 - A011 Existing Site Survey
 - A050 Site Plan and Zoning Data
 - A051 Code Analysis
 - A052 Spatial Separations
 - A101 Proposed Basement and Level 1 Floor Plans
 - A102 Proposed Residential Floor Plan and Roof Plan
 - A200 Building Elevations N-E
 - A201 Building Elevations S-W
 - A300 Building Sections

- Landscape
- L1 Ground Level Planting Plan
 - L2 Rooftop Planting Plan
 - L3 Tree Management Plan

- Civil
- C1 Preliminary Site Servicing Plan



FRONT ELEVATION - BROUGHTON STREET



STREET LEVEL VIEW

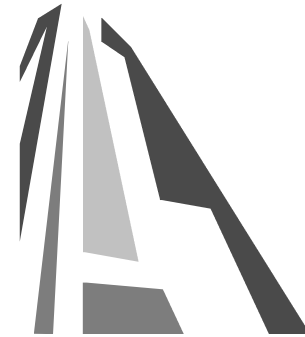


PERSPECTIVE VIEW - BROUGHTON STREET WEST



CONTEXT ELEVATION - BROUGHTON STREET

2	DDP Application	July 25th, 2025
NO.	DESCRIPTION	DATE



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80.47°
Project North

837 Broughton Street
FORT PROPERTIES

Sheet Name
Context Elevation and Perspectives

Date
July 25, 2025

Scale
1 : 500

Project #
2401

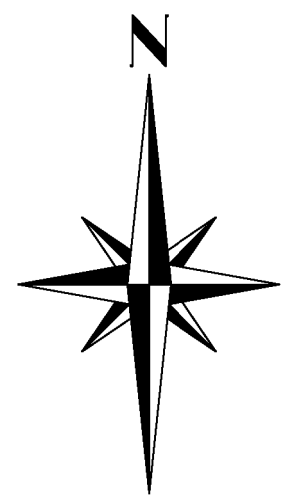
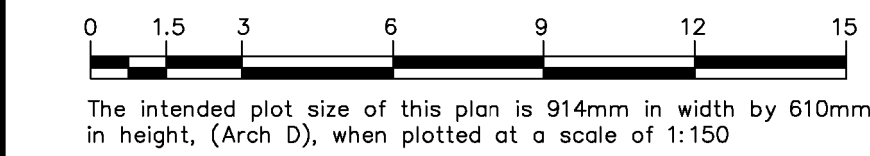
Revision
July 25th, 2025
2

Sheet #
A010



Civic Address: 837 Broughton Street, Victoria, B.C.
PID: 004-016-017
City of Victoria Zoning: CHP-OB Cathedral Hill Precinct Office Building District

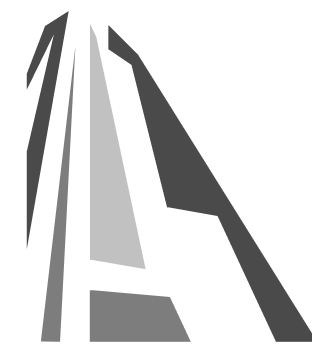
Civic Address: 837 Broughton Street, Victoria, B.C.
PID: 004-016-017
City of Victoria Zoning: CHP-OB Cathedral Hill Precinct Office Building District



BROUGHTON

1
PLAN 27662
#818

STRATA PLAN
EPS2332
#838



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837 Broughton Street

FORT PROPERTIES

Sheet Name

Existing Site Survey

Date July 25, 2025

Scale	Project #
1 : 150	2401

Revision
July 25th, 2025

Sheet #

A011

8/5/2025 11:40:13 AM

A
PLAN
#805

B
VIP69871
#815

1
PLAN 7483
#821- #827

B
PLAN 16658
Lot Area=671.5m²
#837

1
PLAN 17675
#851

LEGEND

- --- Denotes Standard Iron Post Found
 ■ --- Denotes Lead Plug Found
 ▲ --- Denotes Traverse Station Placed
 P --- Denotes Cleanout
 (P) --- Denotes Pay Parking Meter
 S --- Denotes Sewer Manhole
 □ --- Denotes Square Catch Basin 0.73x0.73
 [] --- Denotes Lamp Standard Light Box
 H --- Denotes Hydrant
 U --- Denotes Utility Pole
 L --- Denotes Lamp Standard
 C --- Denotes Catch Basin Manhole
 O --- Denotes Parking Ballard
 W --- Denotes Water Service
 V --- Denotes Water Valve Box
 ○ --- Denotes Chainlink Fence
 ○ --- Denotes Deciduous Tree
 ○ --- Denotes Building Deciduous Tree
- Typical Tree Description OAK (Species)
 0.70 (Trunk Diameter)
- --- Denotes Adjacent Building Roof Line
 × ⁶⁵⁻⁸⁰ --- Denotes Typical Spot Elevation
 × ⁶⁵⁻⁸⁰ --- Denotes Building Roof Elevation
 Wly --- Denotes Westerly

NOTES

If this plan is to be in digital form, J.E. Anderson & Associates will only assume responsibility for information content shown on original unaltered drawing.

Lot dimensions and area are derived from Field Survey.

Distances and elevations are in metres.

Building measurements are to siding or concrete.

Elevations are Geodetic (CGVD28) based on control monument 9-40.

Elevations are at natural grade unless noted otherwise

This plan lies within the City of Victoria.

This plan lies within the Capital Regional District.

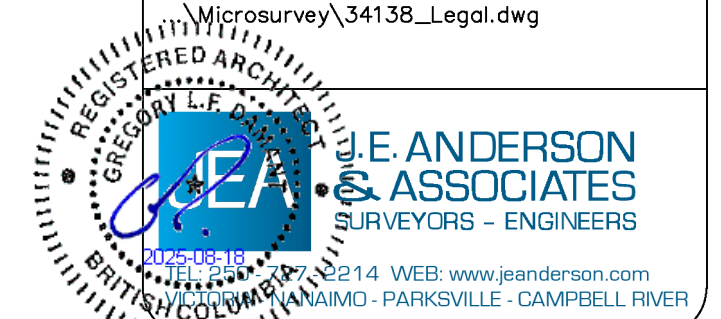
This plan is intended for use as a topographic site plan. It is based on Land Title Office records and ties to existing survey evidence and does not represent boundary survey. Critical lot dimensions, lot areas and building offsets should be confirmed by a legal cadastral survey.

Client:

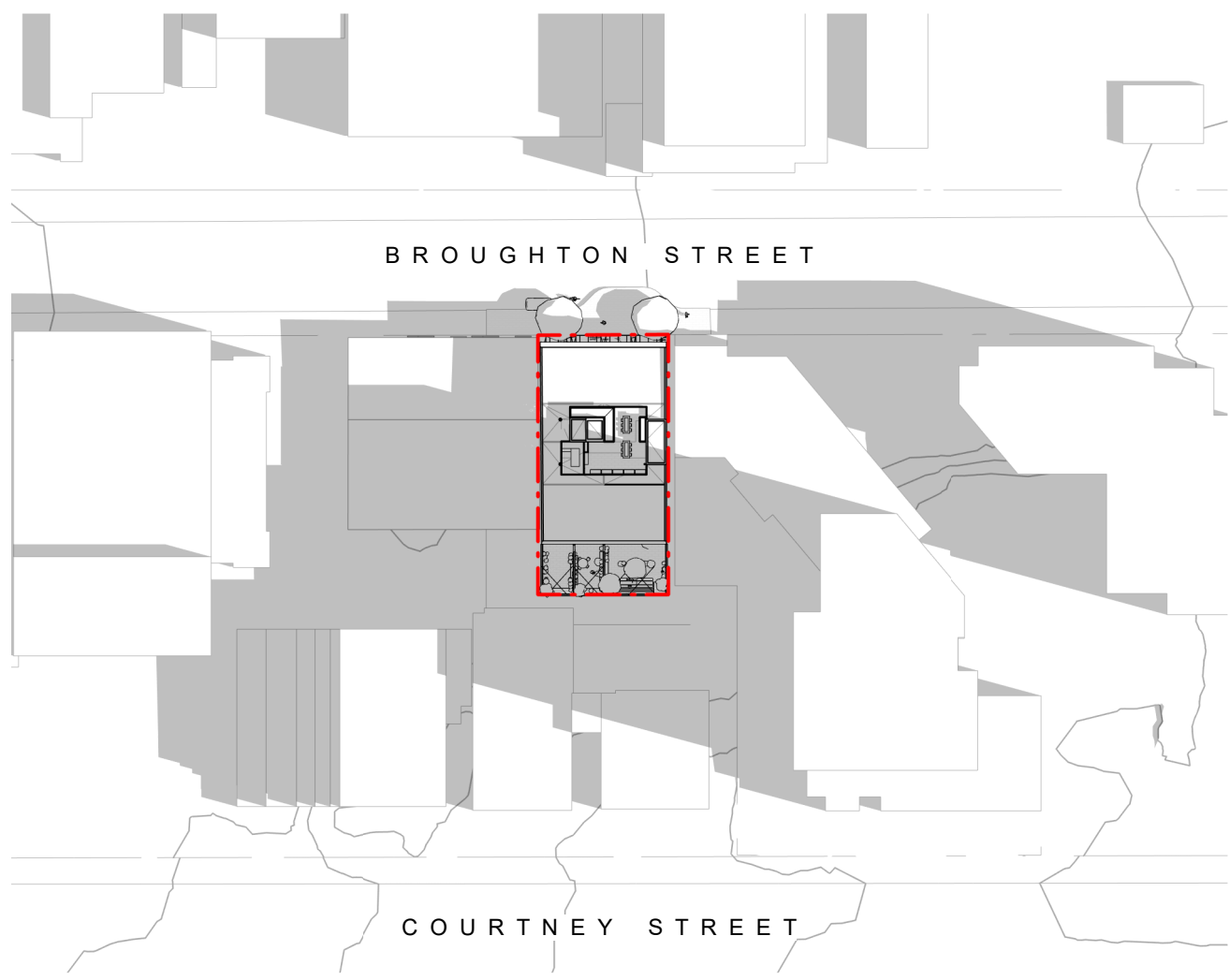
Fort Properties

PROJECT SURVEYOR : RPH	
DRAWN BY : SAL	DATE : Aug 09/2022
OUR FILE : 34138	LAYOUT: Site Plan

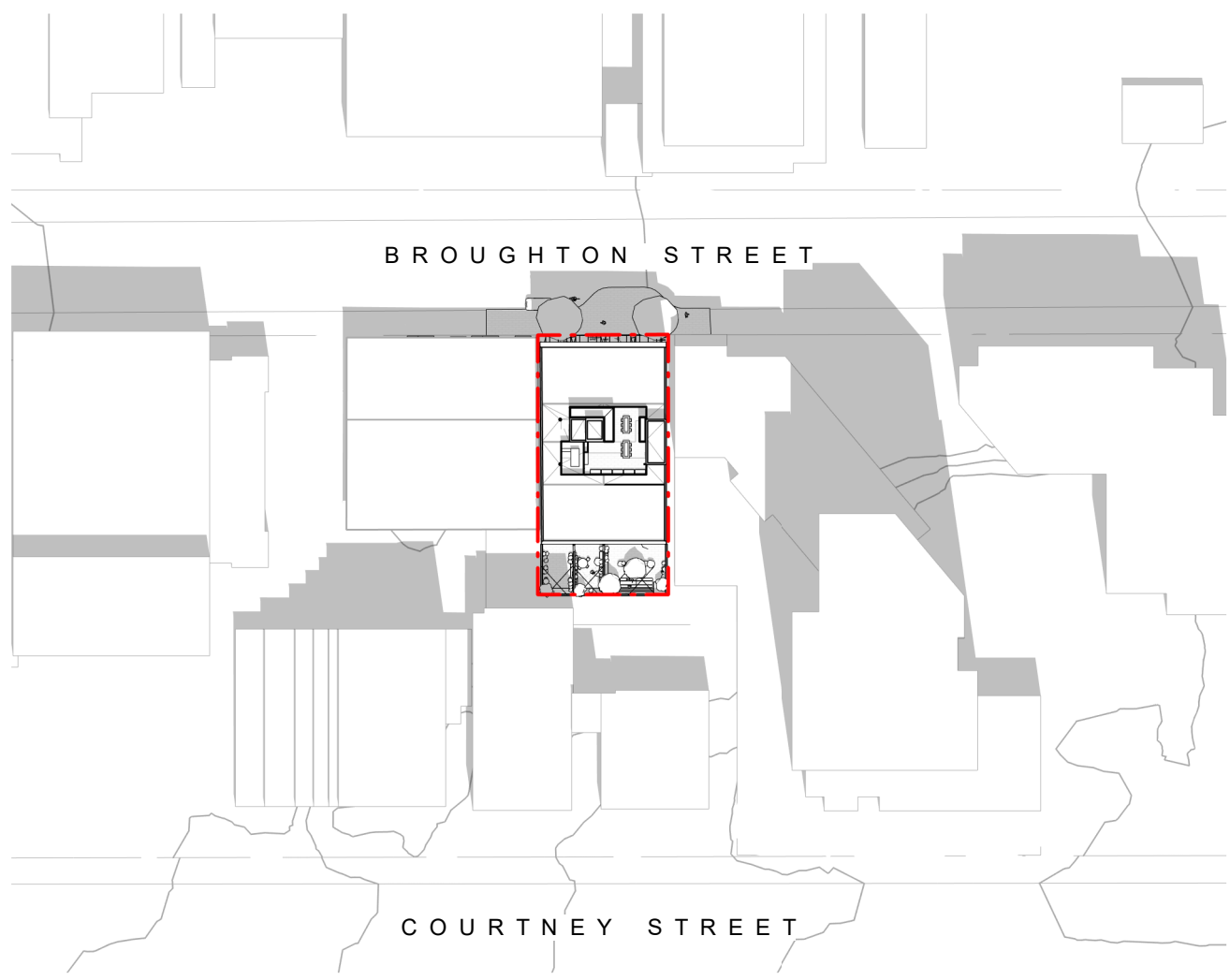
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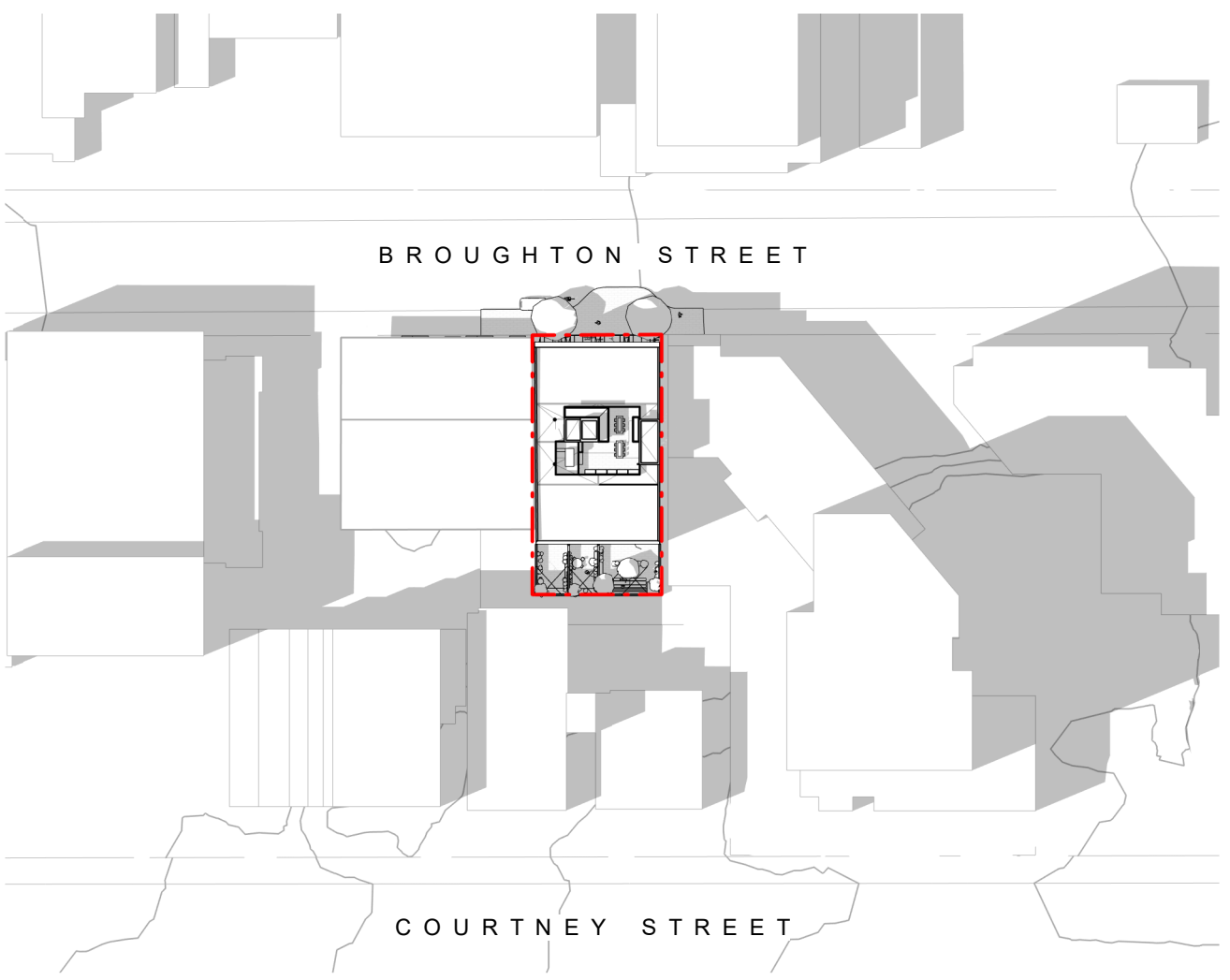
cascaadis01files2401 837 Broughton/6, RENT CENTRAL FILE Archive/837 Broughton Street_ISSUED FOR DOP.rvt



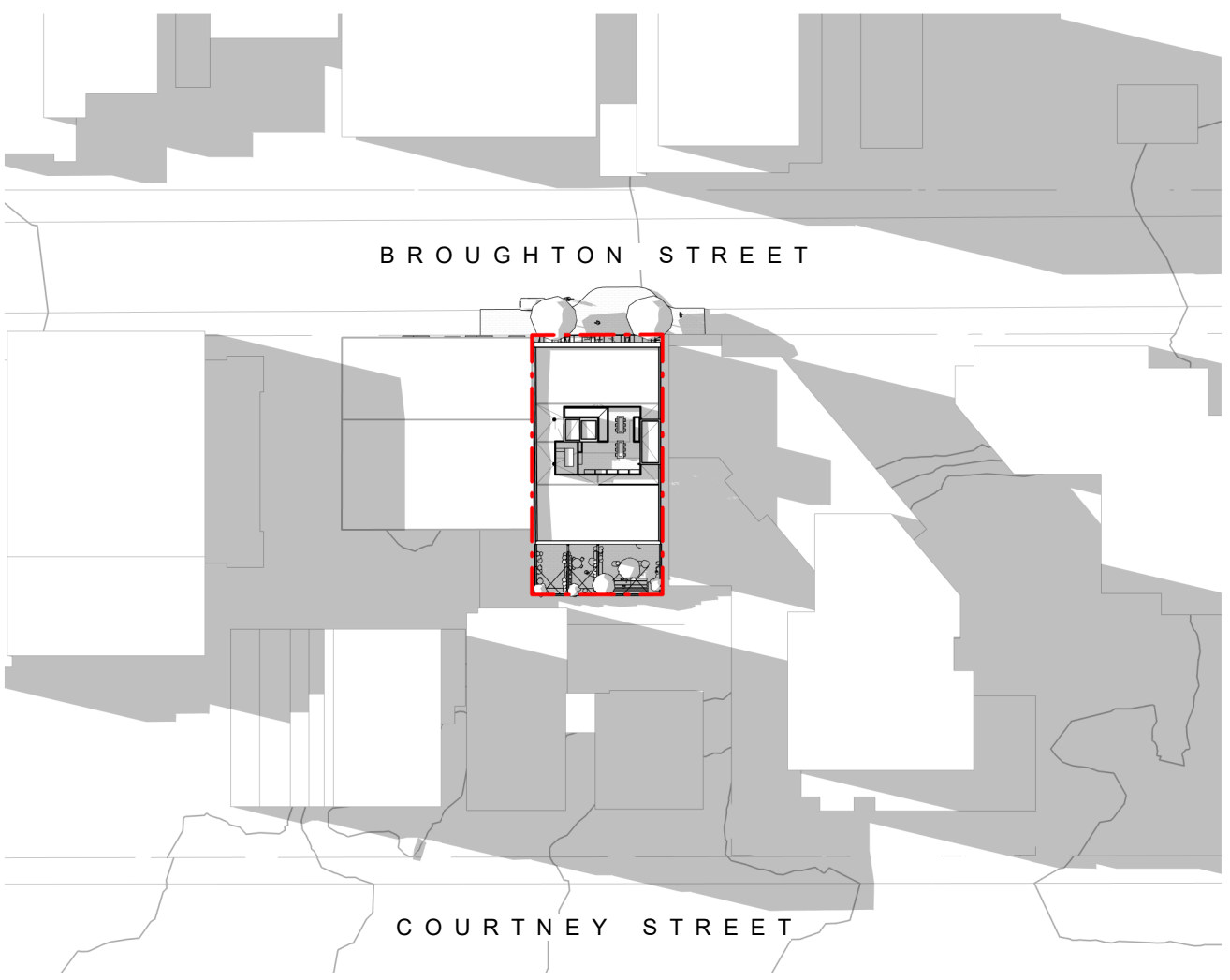
Summer Solstice 9am



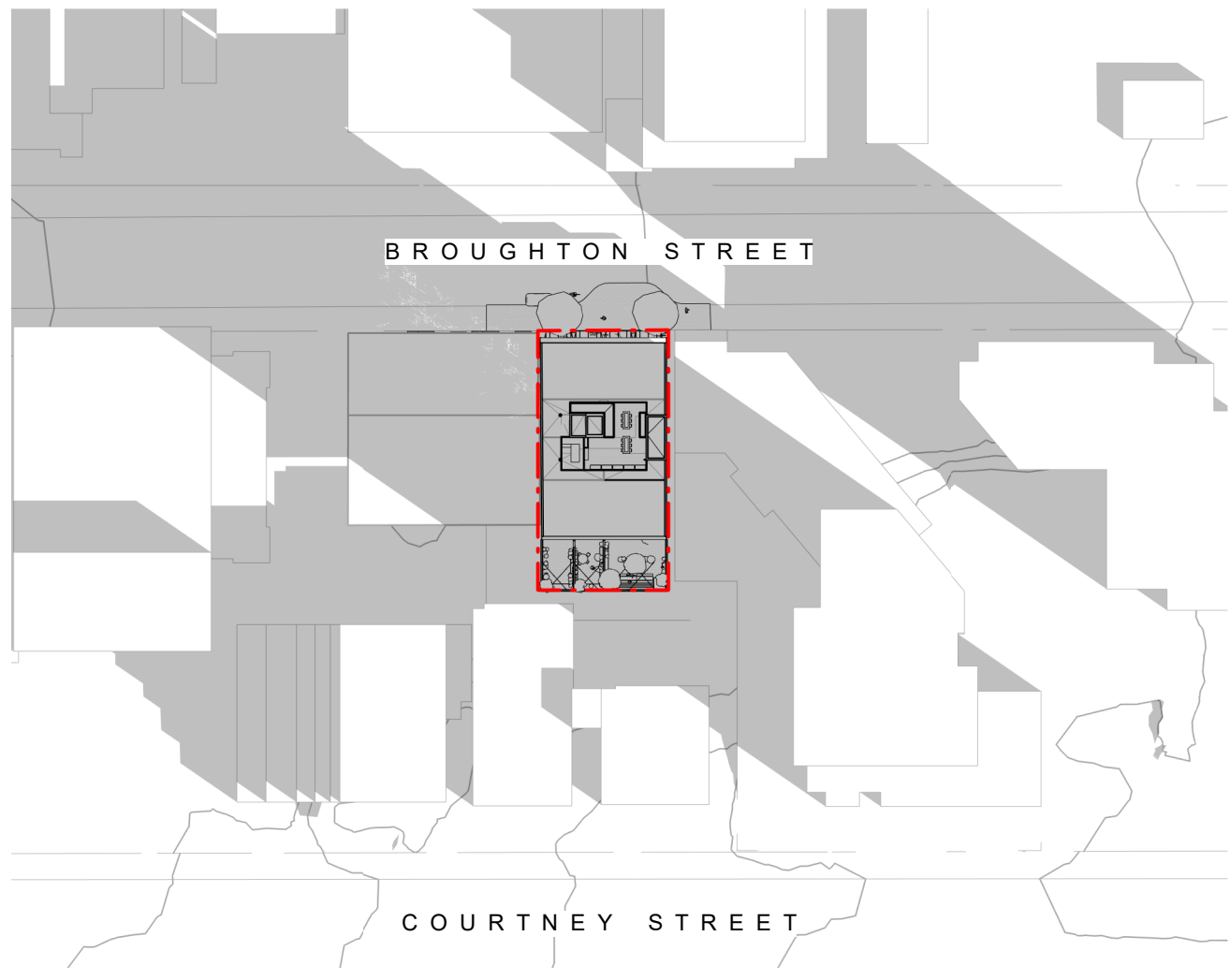
Summer Solstice Noon



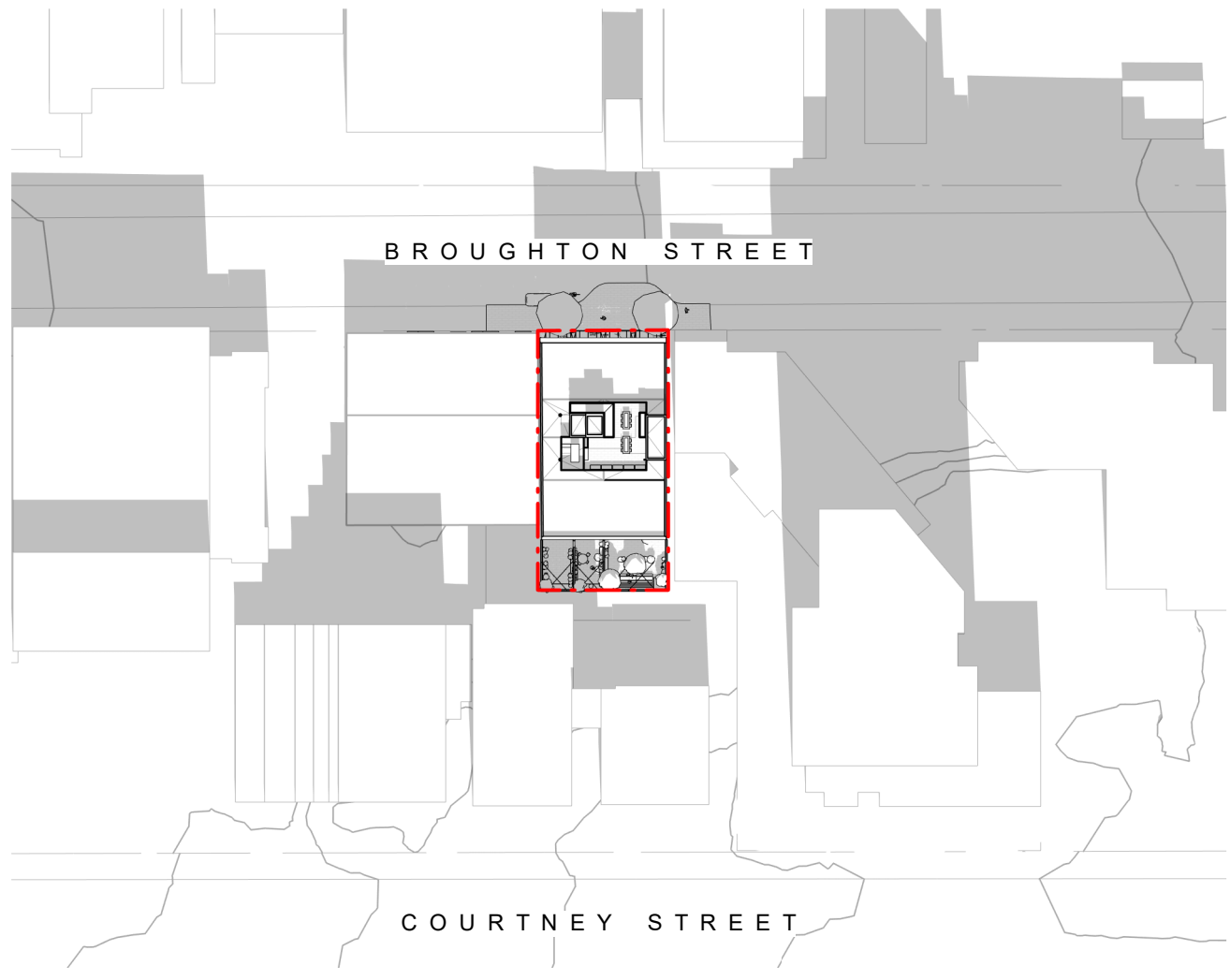
Summer Solstice 3pm



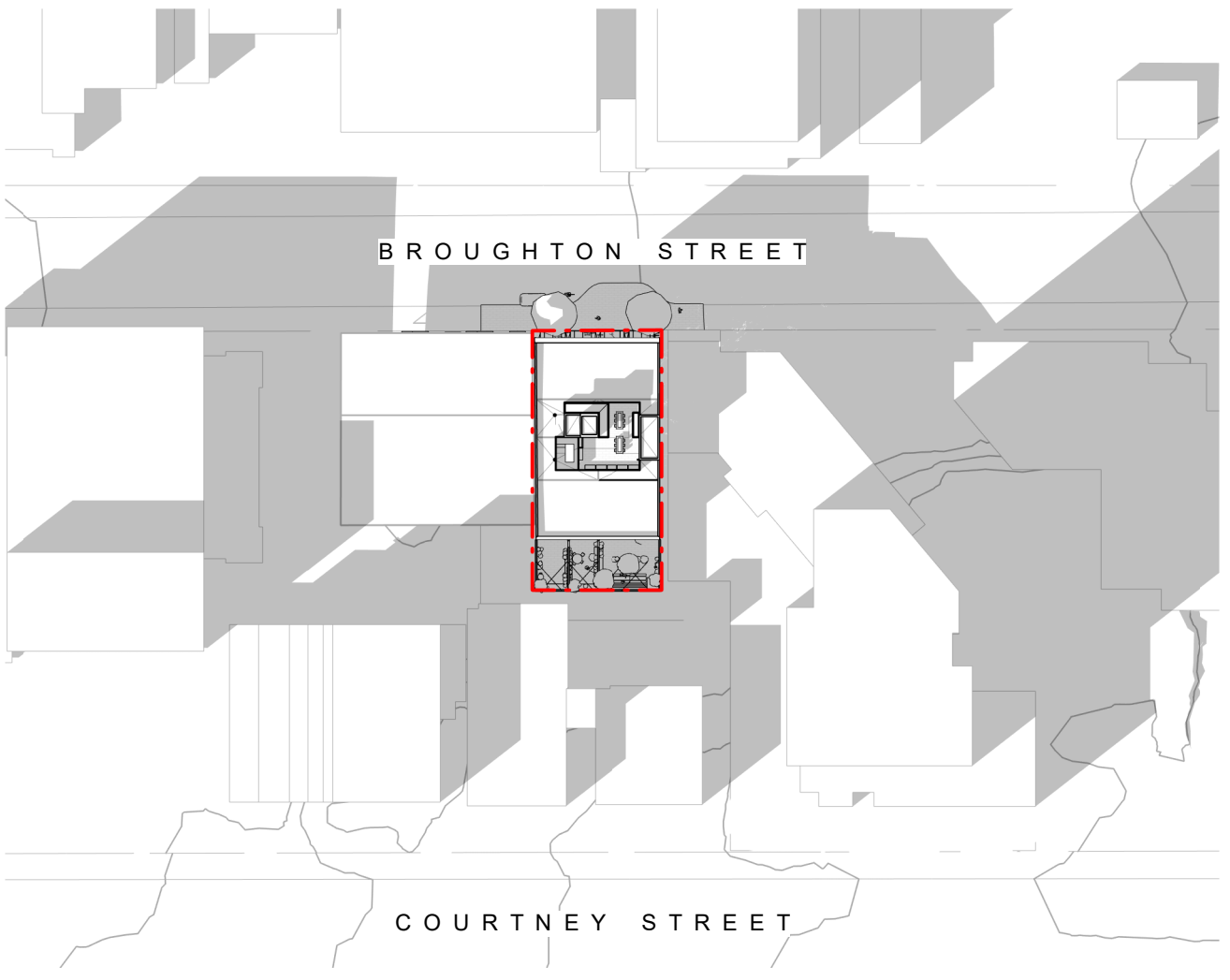
Summer Solstice 6pm



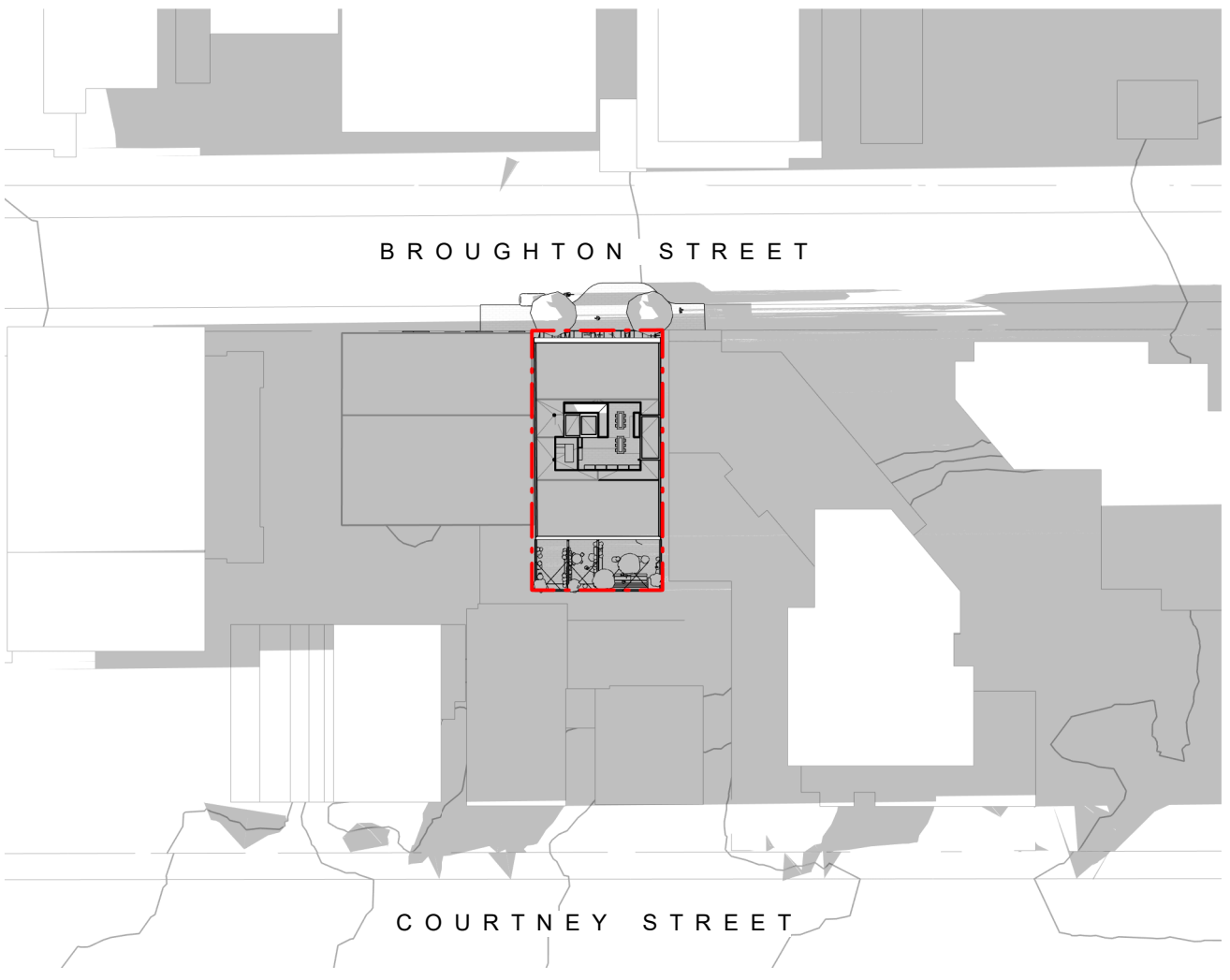
Equinox 9am



Equinox Noon



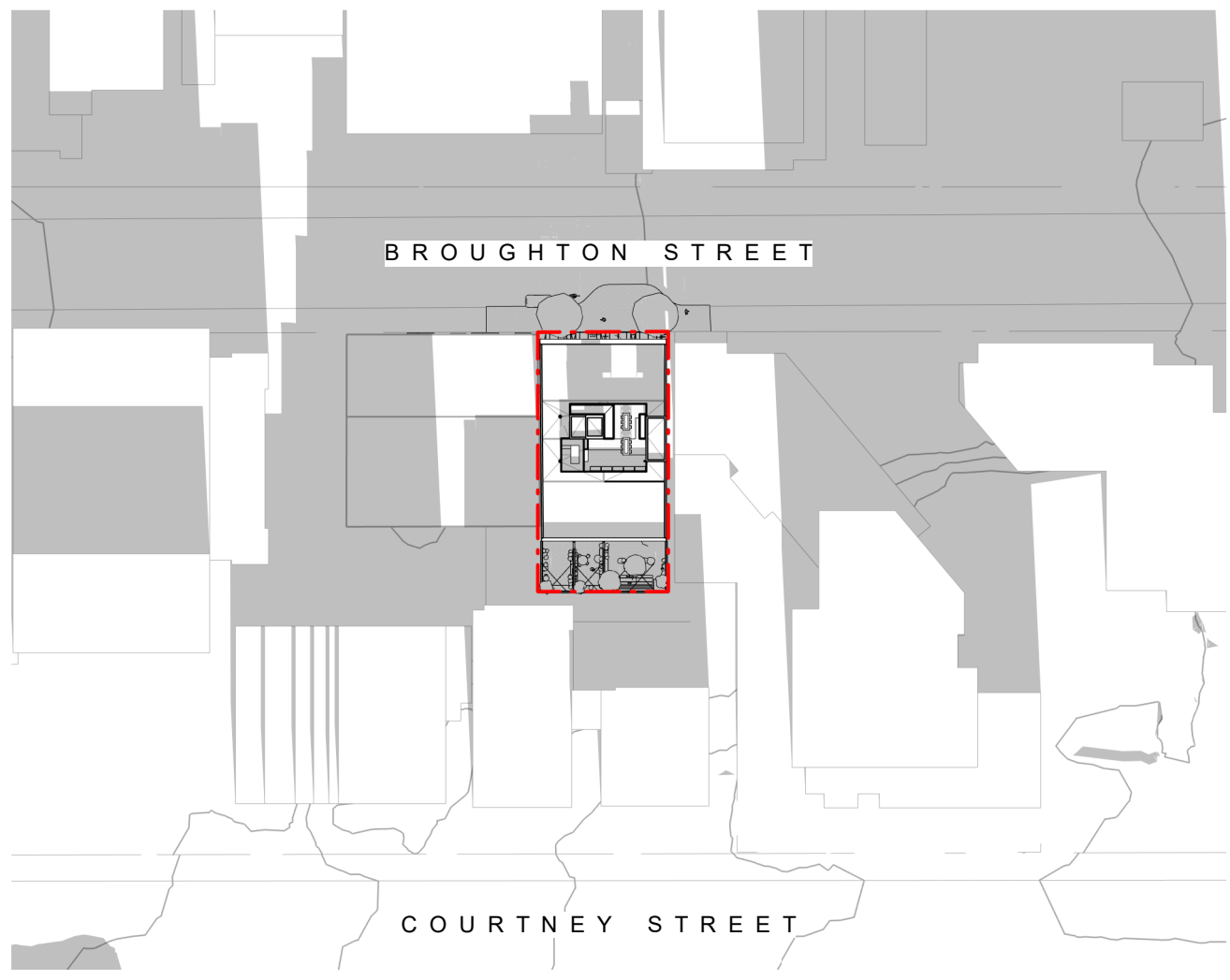
Equinox 3pm



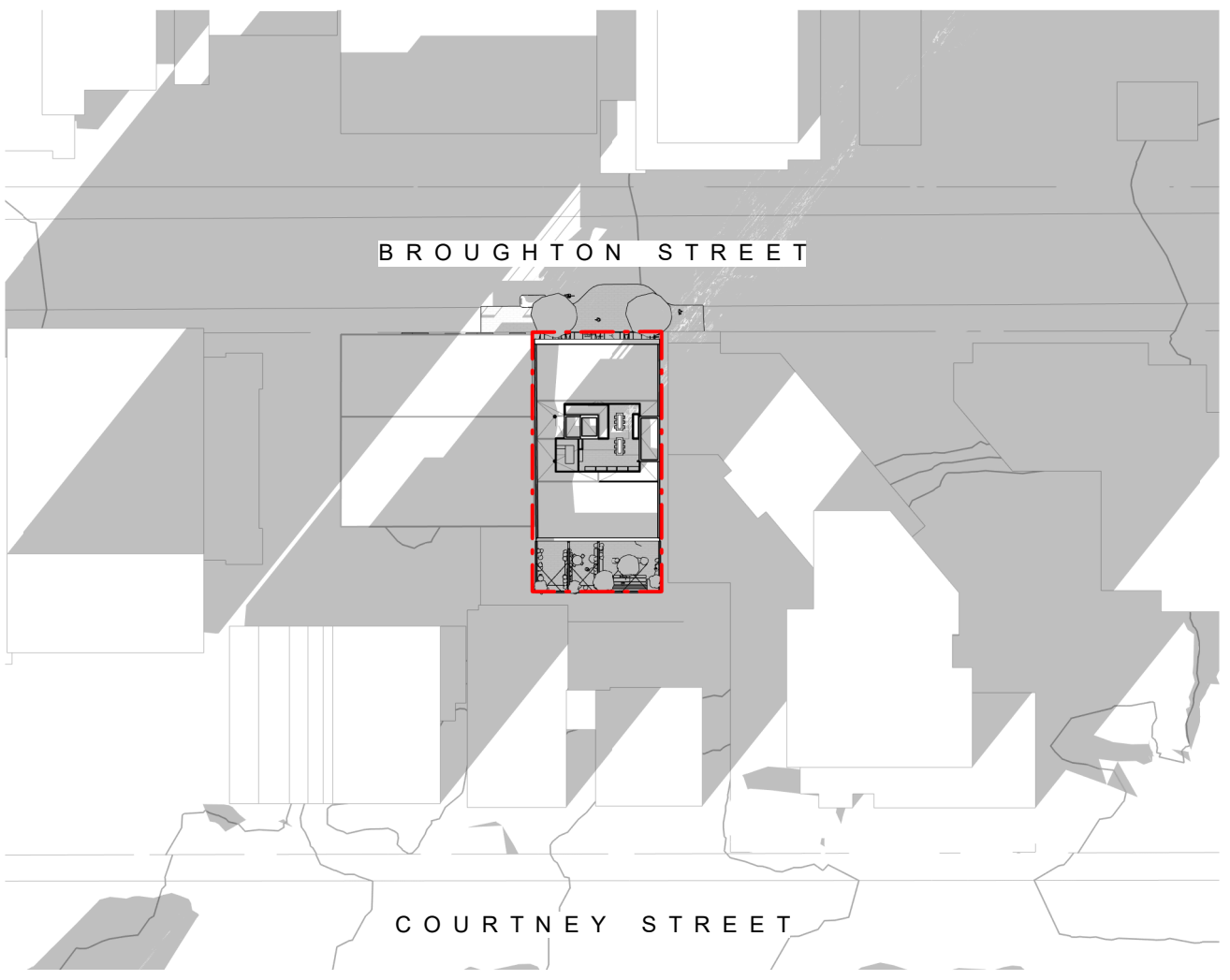
Equinox 6pm



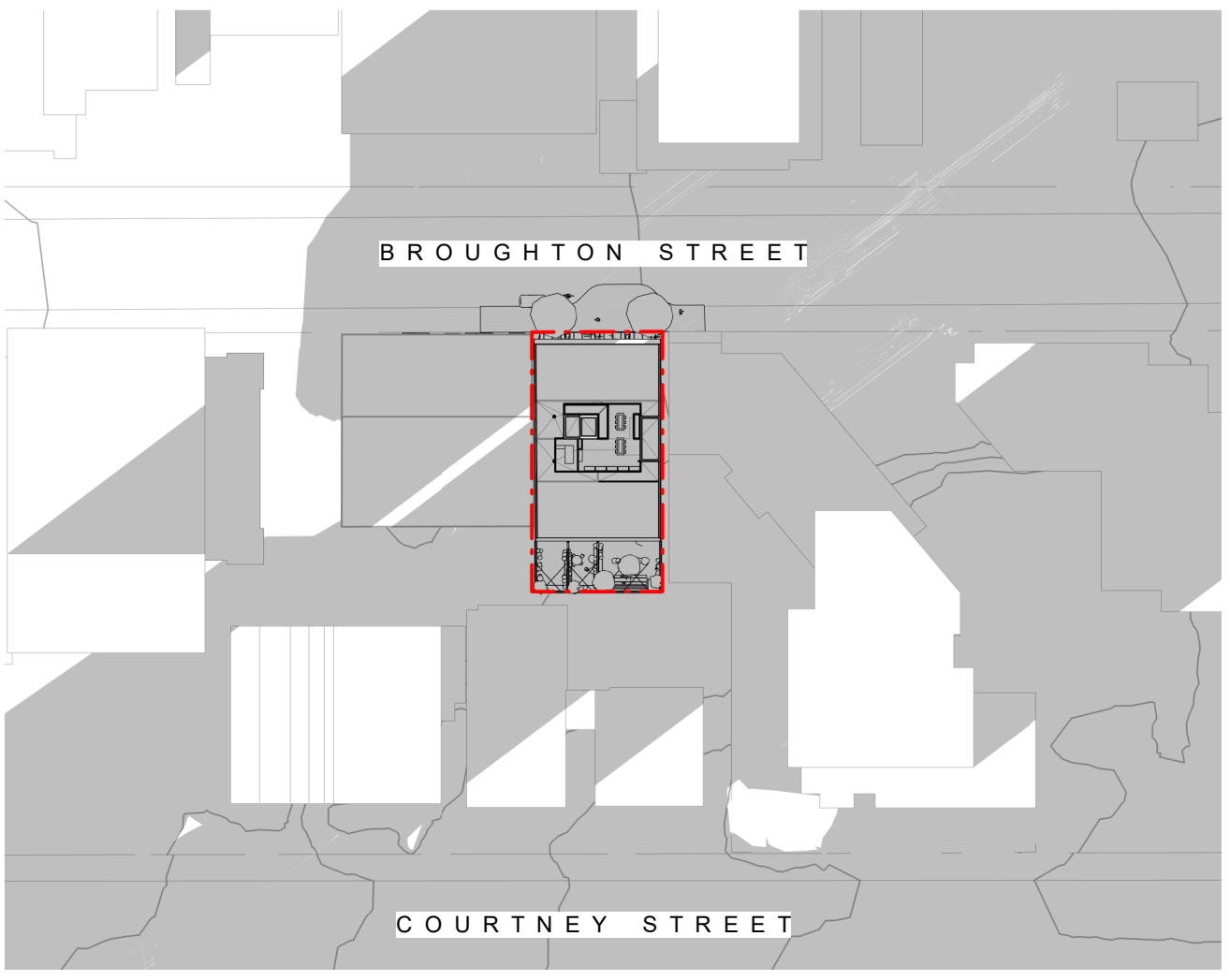
Winter Solstice 9am



Winter Solstice Noon

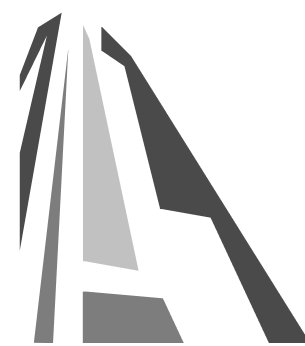


Winter Solstice 3pm




Winter Solstice 6pm

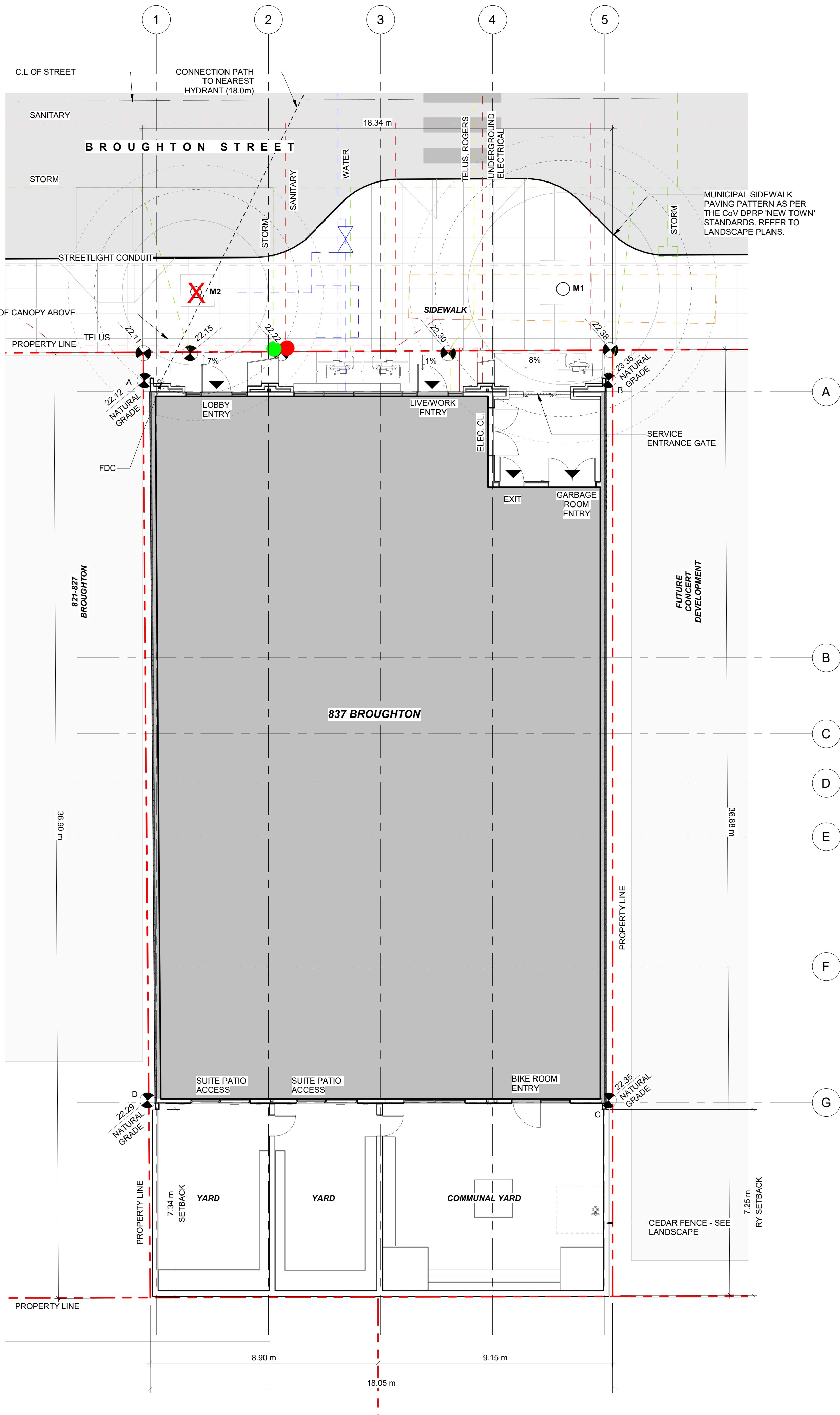
2	DDP Application	July 25th, 2025
NO.	DESCRIPTION	DATE



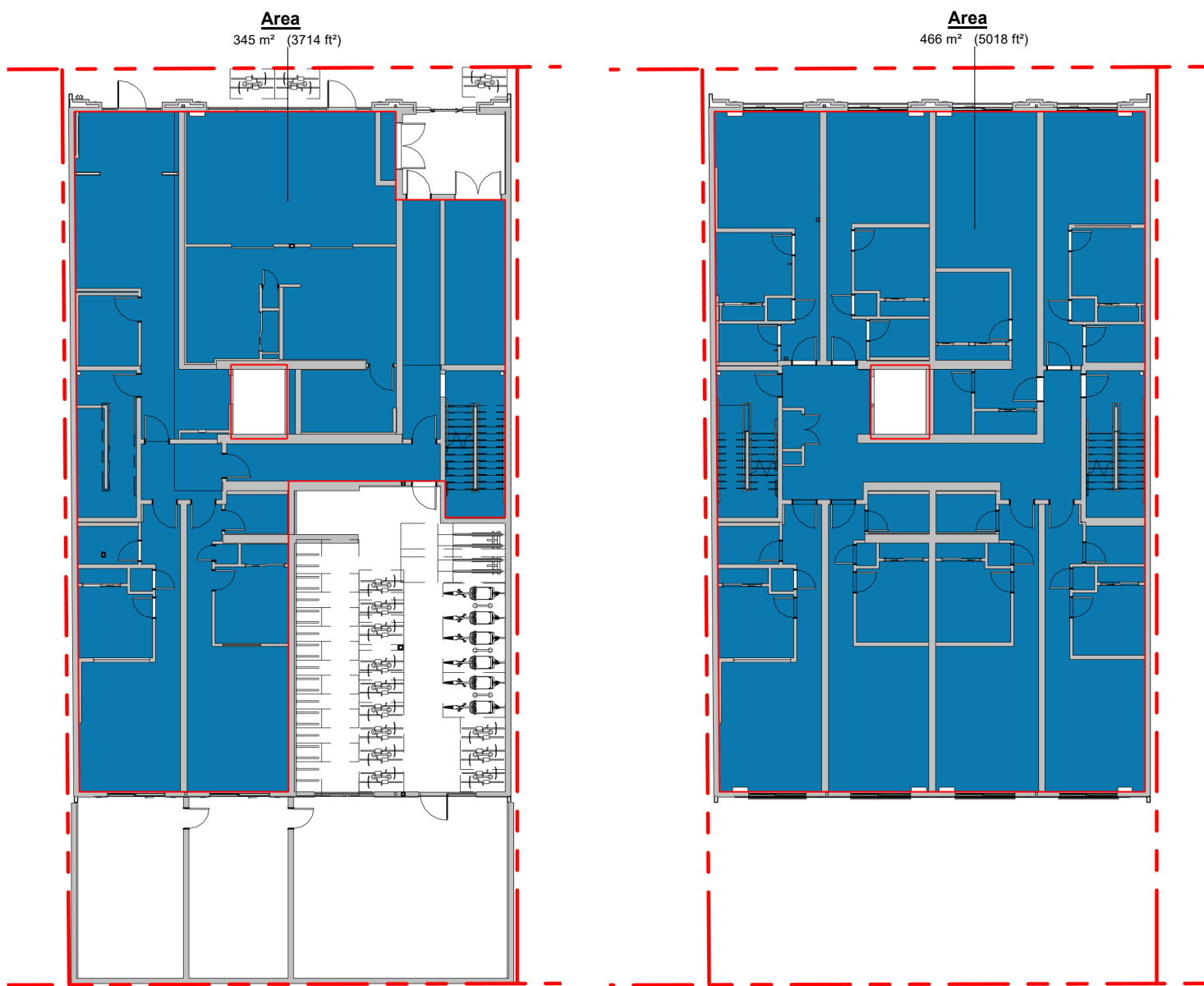
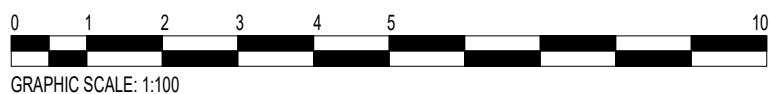
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837 Broughton Street	
FORT PROPERTIES	
Sheet Name Shadow Study	
Date July 25, 2025	
Scale	Project # 2401
	Revision July 25th, 2025
	Sheet # A012

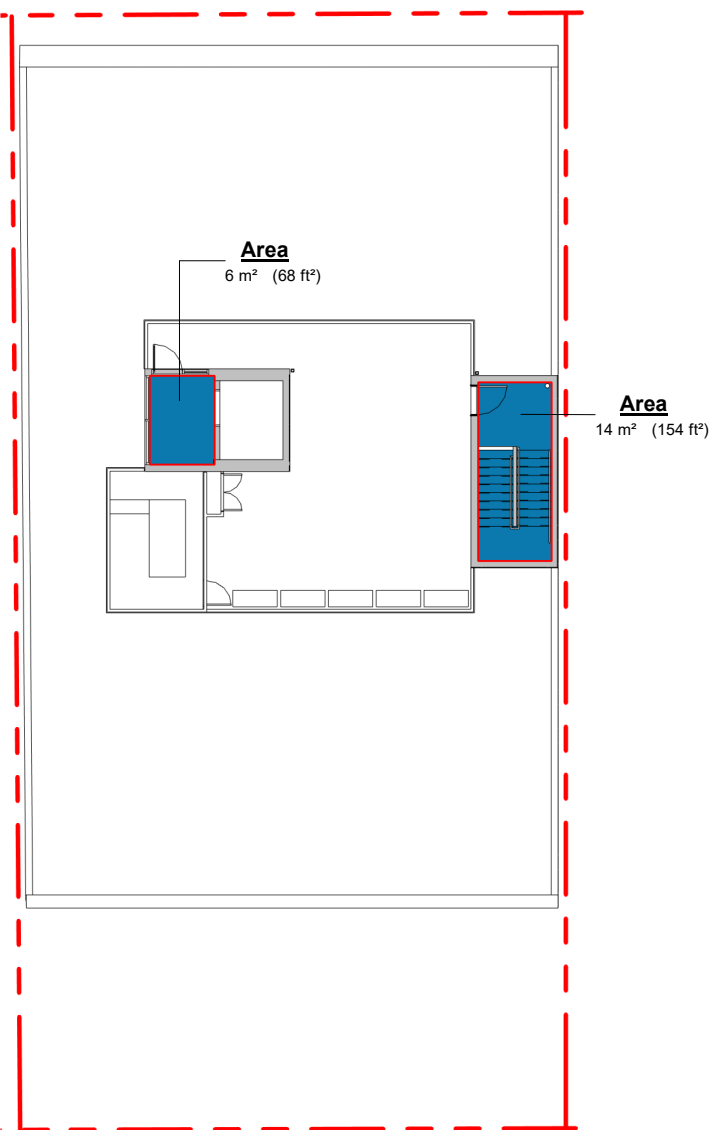


1 Proposed Site Plan
SCALE = 1 : 100

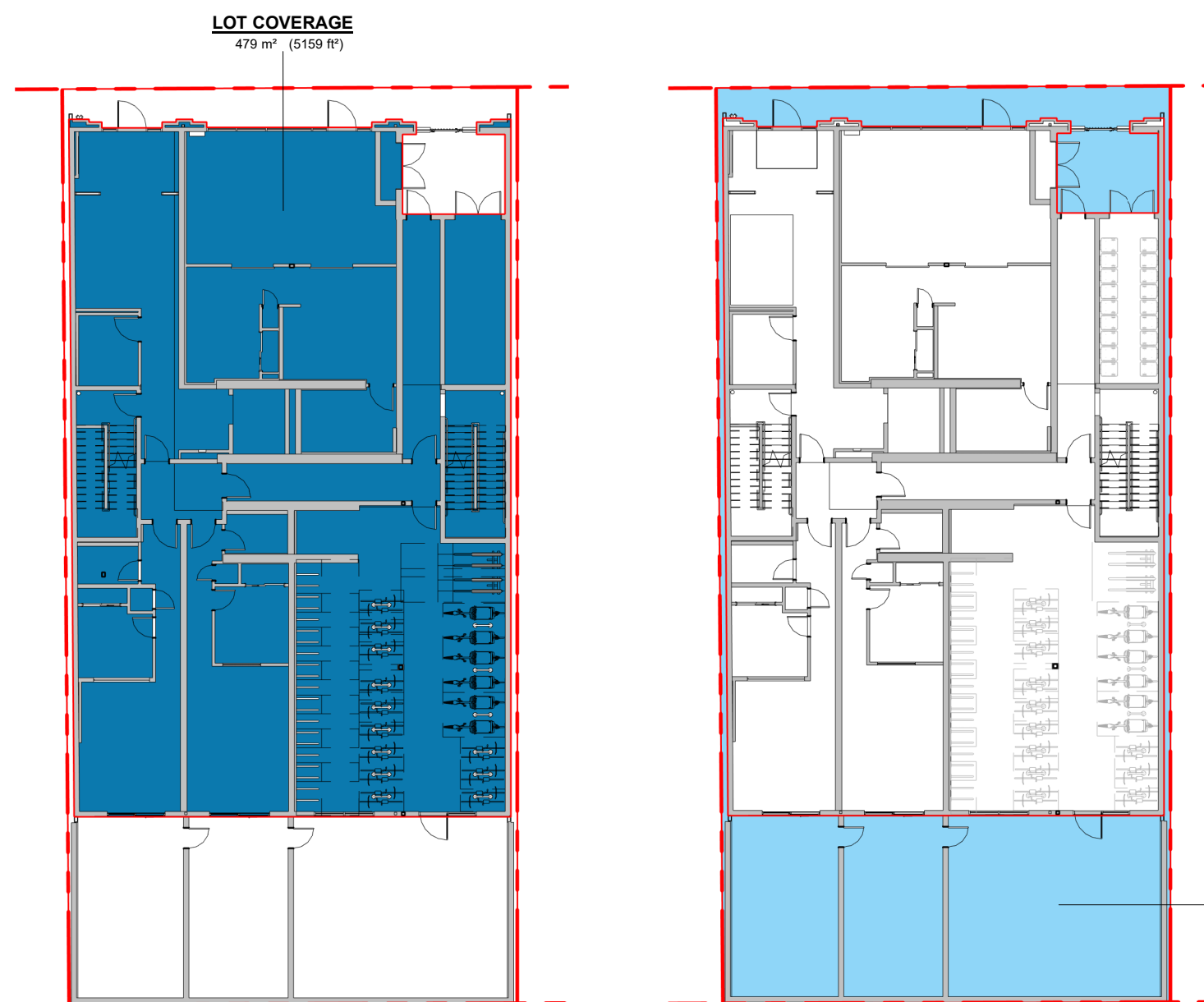


2 Floor Area - Level 1
SCALE = 1 : 250

3 Floor Area - Levels 2-6
SCALE = 1 : 250



4 Floor Area - Roof
SCALE = 1 : 250



5 Site Coverage
SCALE = 1 : 250

6 Open Site Space
SCALE = 1 : 250



DATA

MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	837 BROUGHTON STREET, VICTORIA, BC
LEGAL DESCRIPTION	LOT B, LOTS 255 AND 256, VICTORIA CITY, PLAN 16658
PROJECT DESCRIPTION	6 STOREY RESIDENTIAL BUILDING

PROJECT INFORMATION

ZONE	RMD-4 ZONE, RESIDENTIAL MIXED USE BROUGHTON STREET (SOUTH) DISTRICT	
SITE AREA (m²)	UNKNOWN	
TOTAL FLOOR AREA (m²)	671.2m²	
COMMERCIAL FLOOR AREA (m²)	2,695m² (SEE CALCULATION)	
FLOOR SPACE RATIO	100m²	
SITE COVERAGE (%)	4.1 : 1	
OPEN SITE SPACE (%)	72%	
HEIGHT OF BUILDING (m)	28%	
NUMBER OF STOREYS	23.5m	
PARKING STALLS (#) ON SITE	REQUIRED	PROVIDED
BICYCLE PARKING (#) SHORT TERM	30	0
BICYCLE PARKING (#) LONG TERM	6	6
	51	59

BUILDING SETBACKS (m)

FRONT YARD	0.99m
REAR YARD	7.00m
SIDE YARD (EAST)	0.00m
SIDE YARD (WEST)	0.00m
COMBINED SIDE YARD	0.00m

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	43
UNIT TYPE	Live / Work (1), 1 Bedroom (42)
GROUND ORIENTED UNITS	3
MINIMUM UNIT FLOOR AREA (m²)	40.6m²
TOTAL RESIDENTIAL FLOOR AREA (m²)	2154.8m²

SUPPORTING CALCULATIONS

ZONING REGULATION BYLAW FLOOR AREAS

Basement	n / a	Measured to interior face of exterior walls, exclusive of basement, elevator shaft and required bike parking.
Level 1	345m²	
Level 2	466m²	
Level 3	466m²	
Level 4	466m²	
Level 5	466m²	
Level 6	466m²	
Rooftop	20m²	
	2,695m²	

FLOOR SPACE RATIO

2695m² / 671.2m² = 4.1 : 1

SITE COVERAGE

481m² / 671.2m² = 0.72 (72%)

OPEN SITE SPACE

190m² / 671.2m² = 0.28 (28%)

AVERAGE GRADE CALCULATIONS

ZONING REGULATION BYLAW SCHEDULE A

Grade Points	Lengths
A	22.12m
B	22.35m
C	22.35m
D	22.29m

Calculation

A-B	(22.12 + 22.35)/2	x	18.15	=	403.57
B-C	(22.35 + 22.35)/2	x	27.36	=	611.50
C-D	(22.35 + 22.29)/2	x	18.15	=	405.11
D-A	(22.29 + 22.12)/2	x	27.36	=	607.53
			91.02		2,027.70

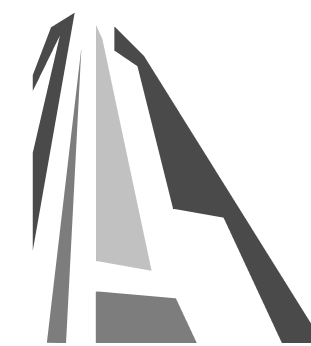
AVERAGE GRADE = 2,027.70 / 91.02 = 22.28

NOTE: There is no proposed change to the average grade of the site.

BC Building Code Grade is determined as the lowest average grade at an exterior wall. This occurs at the project's West side (D-A): (22.29+22.12) / 2 = 22.21

BCBC GRADE = 22.21

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street
FORT PROPERTIES

Sheet Name
Site Plan and Zoning Data

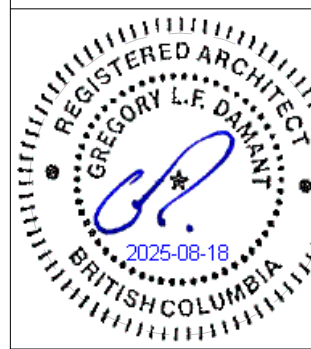
Date
July 25, 2025

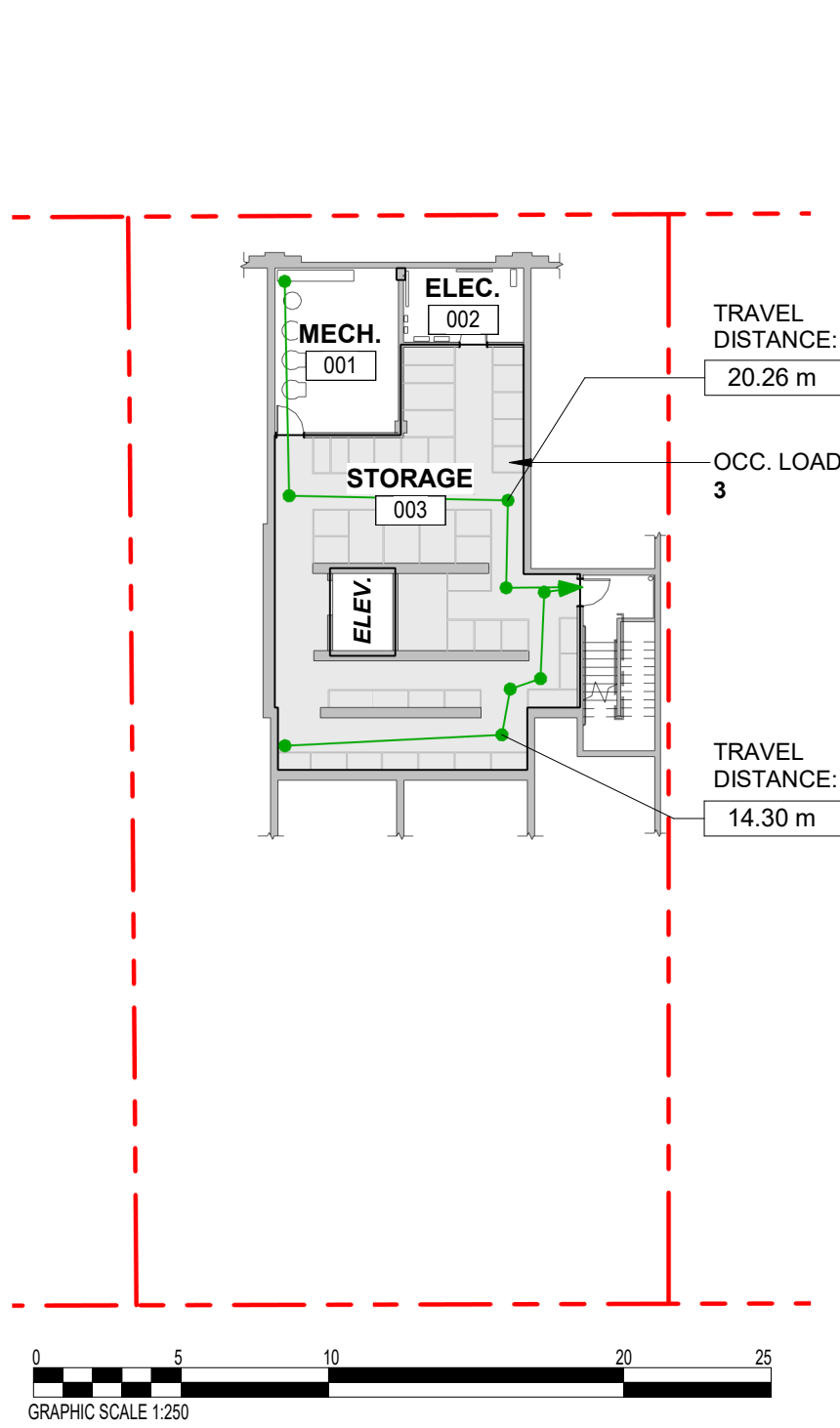
Scale
As indicated

Project #
2401

Revision
July 25th, 2025
2

Sheet #
A050





1 Basement - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : STORAGE
(110.9) / 46.0 = 2.4 (3)

OCCUPANCY : Group C - Residential

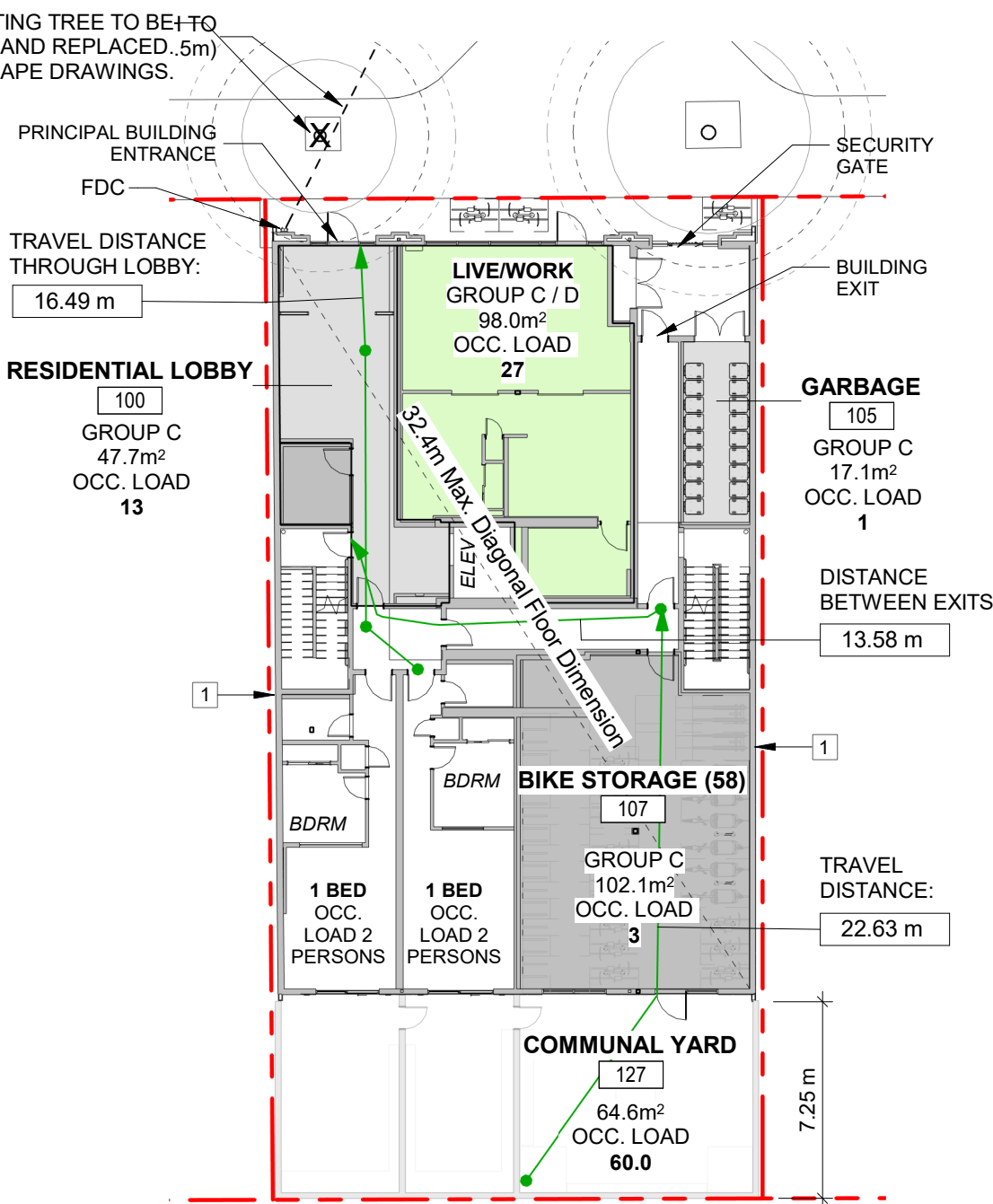
MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 25m
ACTUAL TRAVEL DISTANCE: 20.26m

MAX. FLOOR AREA: 150m²
ACTUAL FLOOR AREA: 134m²

NUMBER OF EXITS: 1 (3.4.2.1)



2 Level 1 - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : Group C - Residential

OCCUPANCY : PUBLIC CORRIDORS INTENDED FOR OCCUPANCIES (RESIDENTIAL LOBBY)
47.7 / 3.7 = 12.9 (13)

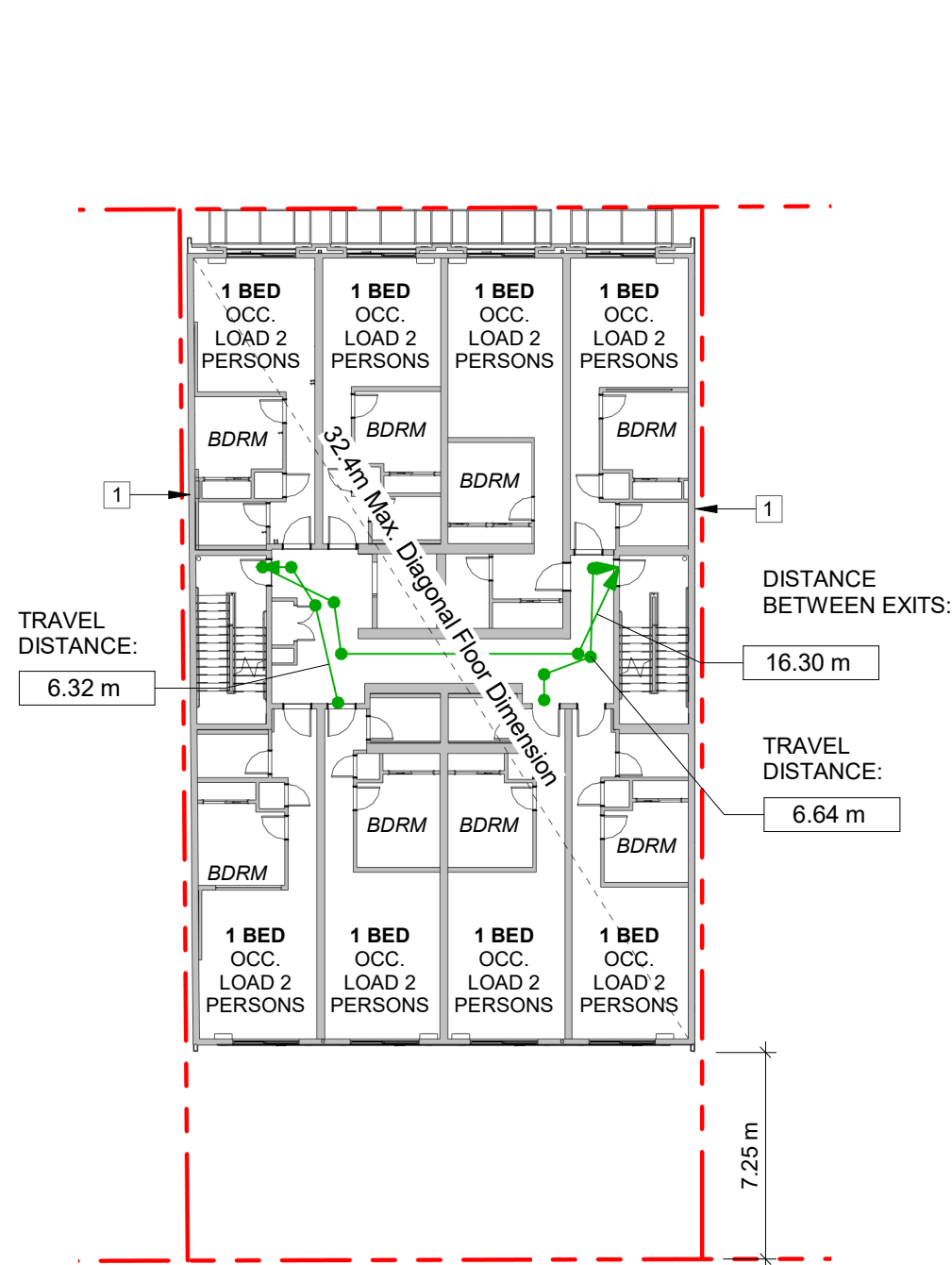
OCCUPANCY : MERCANTILE USES (LIVE/WORK)
98.0 / 3.7 = 26.5 (27)

OCCUPANCY : STORAGE (GARBAGE ROOM)
17.1 / 46 = 0.4 (1)

OCCUPANCY : GROUP C
2 bedrooms x 2 persons / bedroom = 4

OCCUPANCY : STORAGE (BIKE STORAGE)
102.1 / 46 = 2.2 (3)

OCCUPANCY : SPACE WITH NON-FIXED SEATS AND TABLES (COMMUNAL YARD)
64.6 / 0.95 = 68.0
Posted design occupancy = 60



3 Level 2-6 - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : Group C - Residential

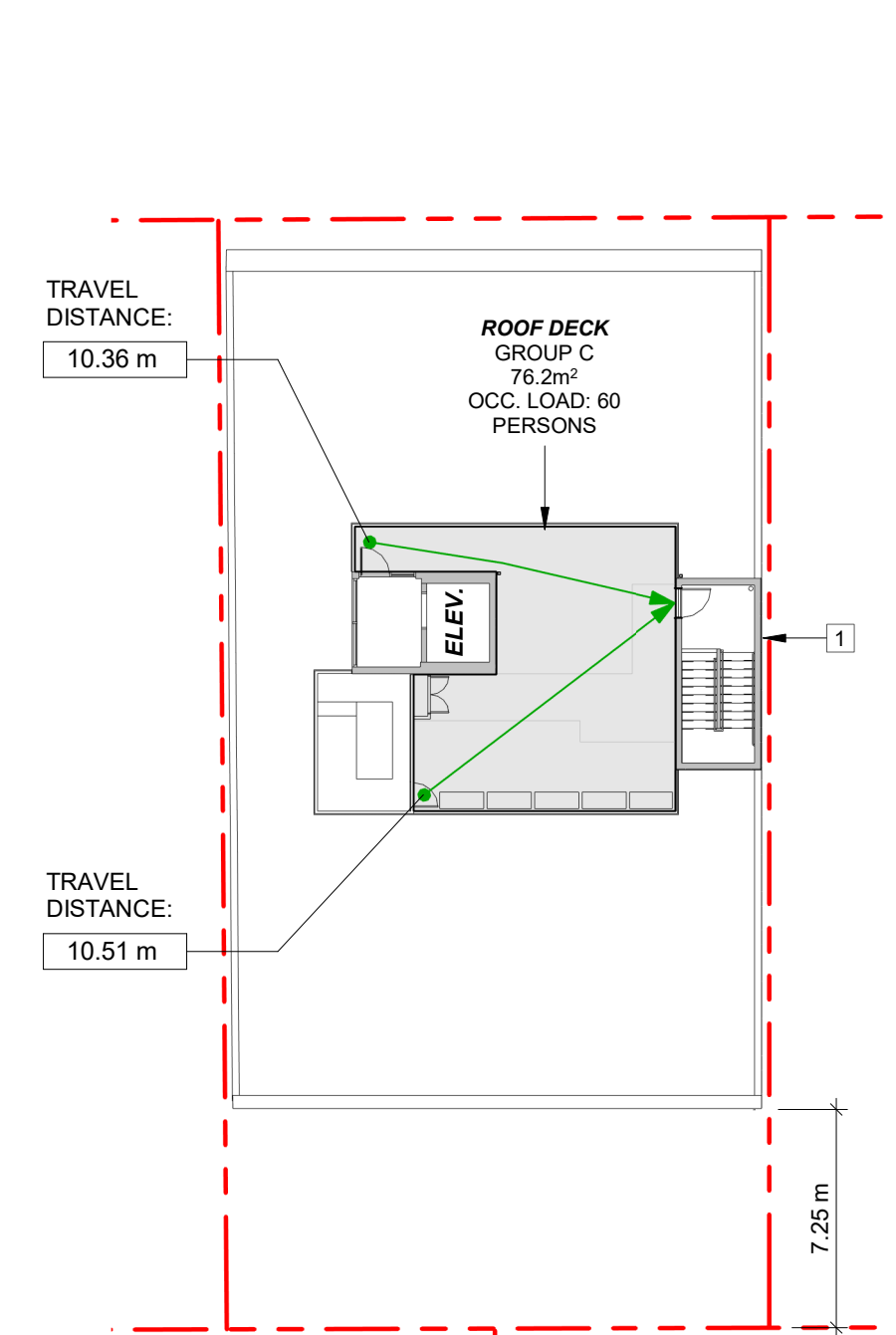
OCCUPANCY : GROUP C
40 bedrooms x 2 persons per bedroom = 80 persons (16 persons / level)

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 30m

NUMBER OF EXITS: 2



4 Rooftop - Code Review Key Plan
SCALE = 1 : 250

OCCUPANT LOAD (3.1.17.1)
OCCUPANCY : Group C - Residential

OCCUPANCY : SPACE WITH NON-FIXED SEATS AND TABLES (ROOFTOP DECK)
76.2 / 0.95 = 80.2
Posted design occupancy = 60

MINIMUM EXIT WIDTH
Ramps, Corridors, Passageways: 1100mm
(Table 3.4.3.2-A).

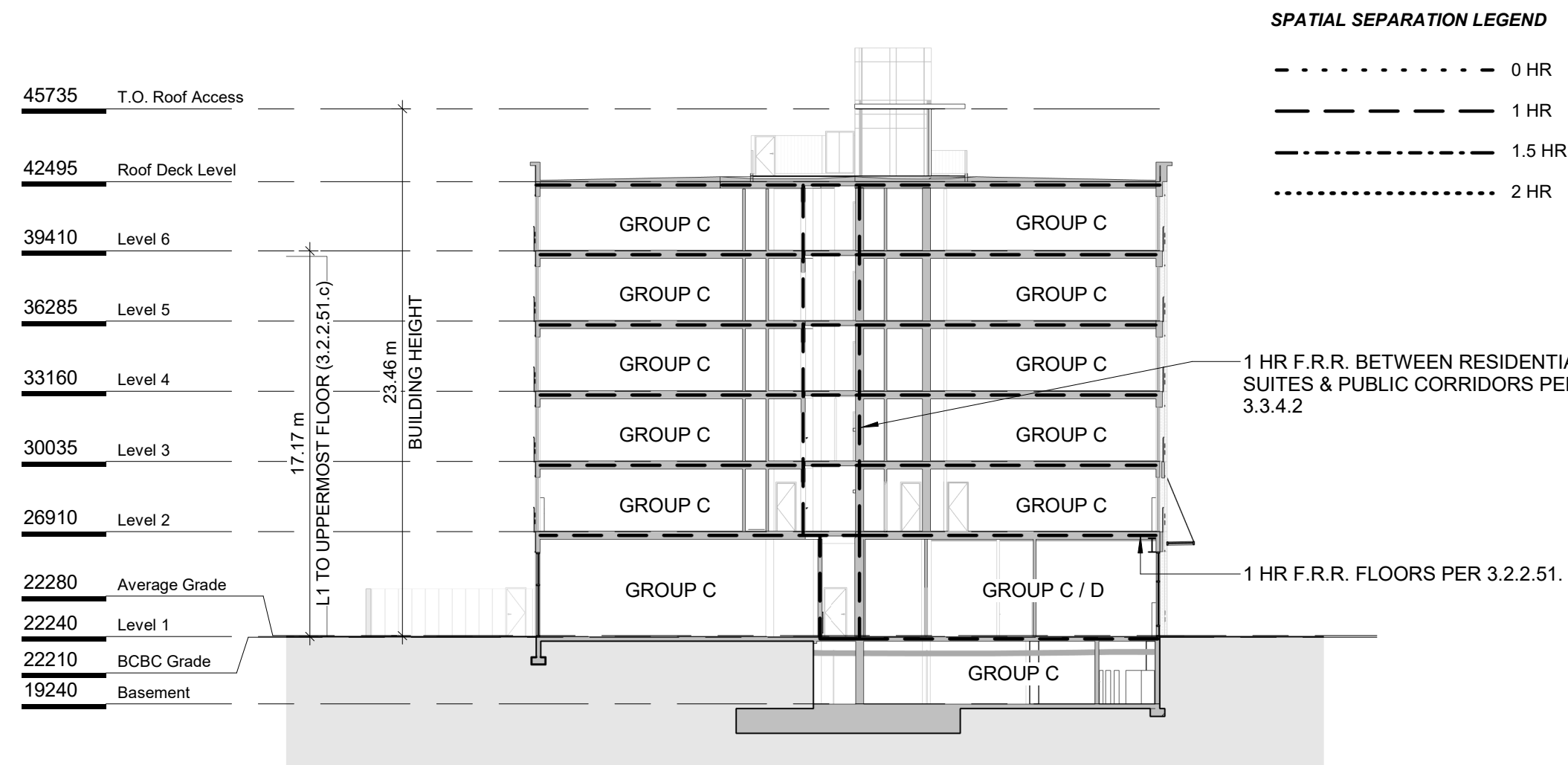
Stairs: 1100mm (Table 3.4.3.2-A).

MAX. TRAVEL DISTANCE PERMITTED: 30m

NUMBER OF EXITS: 2

OCCUPANCY SUMMARY

Level	Area	Occupancy
Basement	Storage	3
Level 1	Residential Lobby	13
	Live / Work	27
	Garbage Room	1
	Units (2)	4
	Bike Storage	3
	Communal Yard	60
	Level 1 Total	108
Levels 2-6	Units (40)	80
Rooftop	Rooftop Total	60
Building Total		251



5 Code Review Key Building Section
SCALE = 1 : 250

BUILDING CODE ANALYSIS													
PROJECT TYPE	NEW CONSTRUCTION <input checked="" type="checkbox"/>												
	RENOVATION <input type="checkbox"/> ADDITION <input type="checkbox"/>												
GOVERNING BUILDING CODE	2024 BC BUILDING CODE PART <input type="text" value="3"/>												
MAJOR OCCUPANCIES	A1 <input type="checkbox"/>	A2 <input type="checkbox"/>	A3 <input type="checkbox"/>	A4 <input type="checkbox"/>	B1 <input type="checkbox"/>	B2 <input type="checkbox"/>	C <input checked="" type="checkbox"/>	D <input type="checkbox"/>	E <input type="checkbox"/>	F1 <input type="checkbox"/>	F2 <input type="checkbox"/>	F3 <input type="checkbox"/>	3.1.2.1.
MULTIPLE MAJOR OCCUPANCIES	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>												
BUILDING AREA	<input type="text" value="481"/> m² (Outside face of Exterior Walls)												
GRADE	<input type="text" value="22.21"/> m												
BUILDING HEIGHT (STOREYS, m)	<input type="text" value="6"/> STOREYS ABOVE GRADE <input type="text" value="23.22"/> m												
	<input type="text" value="1"/> STOREYS BELOW GRADE												

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION		
CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.51
MAXIMUM BUILDING AREA	1500 m ²	3.2.2.51
NUMBER OF STREETS FACING	1	3.2.2.10
CONSTRUCTION TYPES PERMITTED	COMBUSTIBLE <input checked="" type="checkbox"/> NON - COMBUSTIBLE <input checked="" type="checkbox"/> EMTCC* <input checked="" type="checkbox"/>	3.2.2.51
INTERCONNECTED FLOOR SPACE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

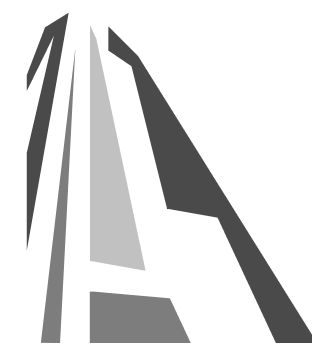
EXITS FROM FLOOR AREAS		
NUMBER OF EXITS REQUIRED	2	3.4.2.1.
SEPARATION OF EXITS (MIN.)	9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	GROUP C 45 m	3.4.2.5.
MEZZANINE	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	3.2.8.

FIRE RESISTANCE RATINGS		
HORIZONTAL SEPARATIONS	1 hrs FLOORS 1 hrs ROOF	3.2.2.51
EXITS	1 hrs	3.4.4.1

FIRE SEPARATIONS AND FIRE RESISTANCE RATINGS (F.R.R.)		
HORIZONTAL SEPARATIONS	1 HR FLOORS 1 HR ROOF	3.2.2.51 (2)
LOADBEARING STRUCTURE	NOT LESS THAN THE SUPPORTED ASSEMBLY	3.2.2.51 (2)
BETWEEN SUITES	1 HR	3.3.1.1.
BETWEEN SUITES & PUBLIC CORRIDOR	1 HR	3.3.1.1.
PUBLIC CORRIDOR	1 HR	3.2.1.4.
STORAGE ROOMS	1 HR	3.3.4.3.
EXIT ENCLOSURES	1 HR	3.4.4.1.
ELEVATOR HOISTWAY	1 HR	3.5.3.1.
SERVICE ROOMS	1 HR	3.6.2.1.
COMBUSTIBLE REFUSE & RECYCLING	1 HR	3.6.2.5.
VERTICAL SERVICE SPACES	45 MIN.	3.6.3.1.

1 ALTERNATIVE SOLUTION TO BE IMPLEMENTED TO ALLOW WOOD FRAME CONSTRUCTION

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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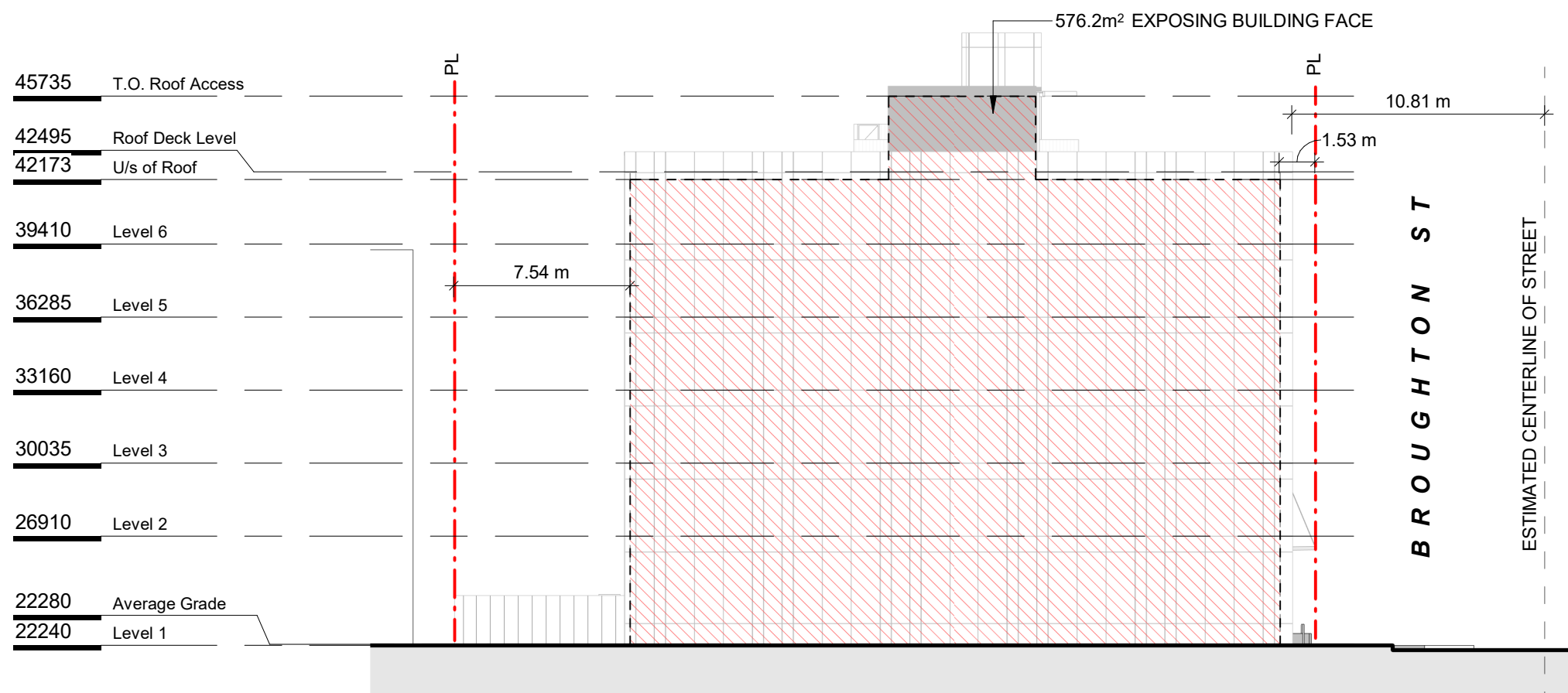
837 Broughton Street		
FORT PROPERTIES		
Sheet Name		
Code Analysis		
Date		
July 25, 2025		
Scale	As indicated	Project #
		2401
Revision		2
July 25th, 2025		
Sheet #		A051





1 North Elevation - Limiting Distance Key
SCALE = 1 : 250

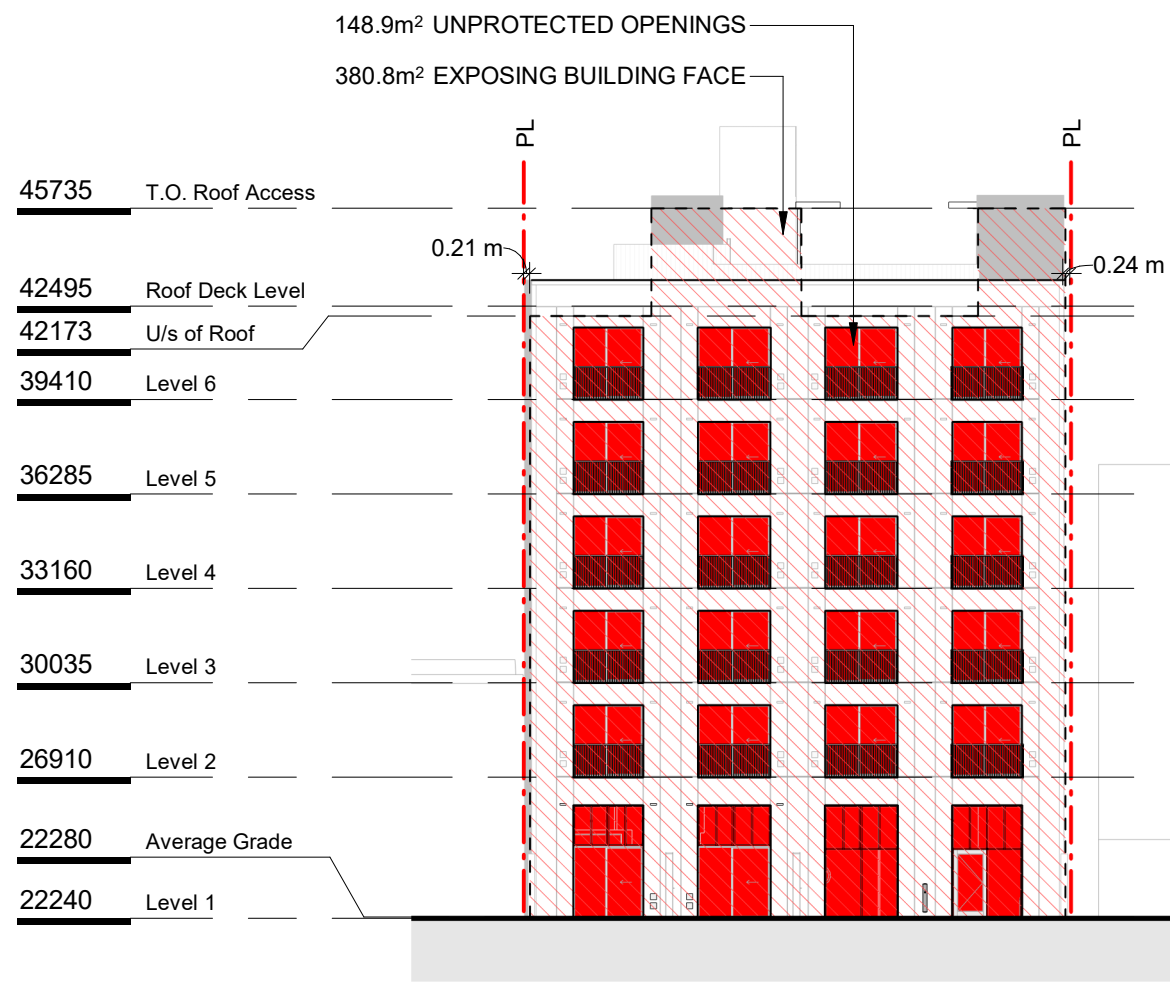
Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	10.8m	100%	383.4m²	151.5m²	39.5%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	100%	n / a	Any	Combustible or Noncombustible



2 East Elevation - Limiting Distance Key
SCALE = 1 : 250

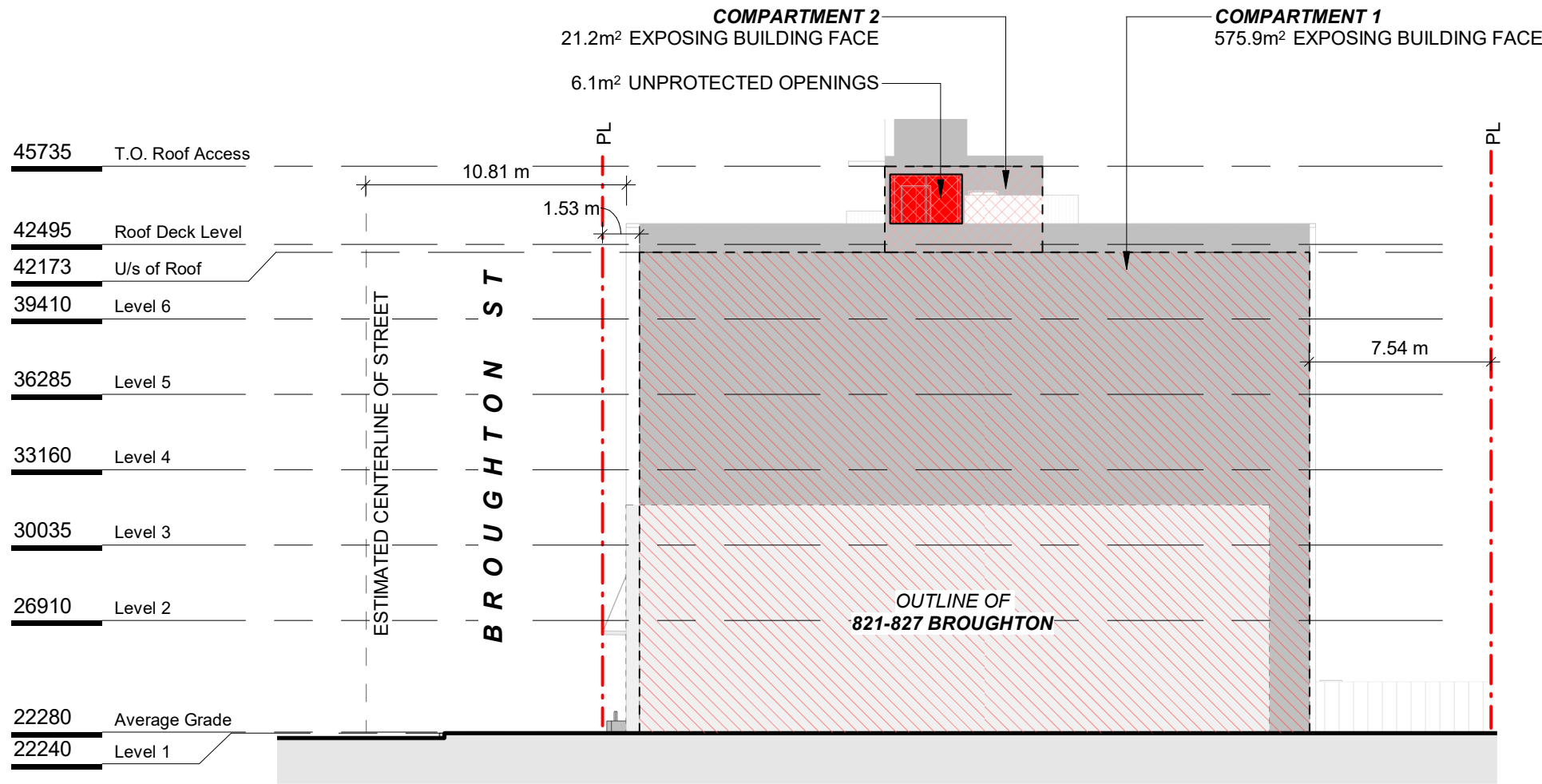
Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	0m	0%	576.2m²	0m²	0%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	0%	1h	Noncombustible ¹	Noncombustible

1 ALTERNATIVE SOLUTION TO BE IMPLEMENTED TO ALLOW WOOD FRAME CONSTRUCTION



3 South Elevation - Limiting Distance Key
SCALE = 1 : 250

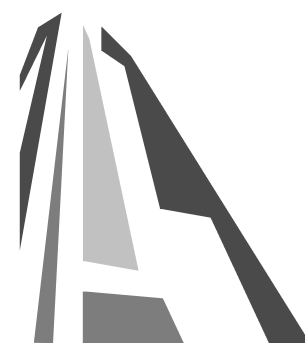
Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
	7.0m	66%	380.8m²	148.9m²	39.1%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
	Group C	66%	n / a	Any	Combustible or Noncombustible



4 West Elevation - Limiting Distance Key
SCALE = 1 : 250

Table 3.2.3.1-D	Limiting Distance (m)	Allowable Openings (%)	Area of Exposing Building Face (m²)	Proposed Openings (m²)	Proposed Openings (%)
COMPARTMENT 1	0m	0%	553.2m²	0m²	0%
COMPARTMENT 2	4.33m	90%	21.2m²	6.1m²	28.8%
Table 3.2.3.7	Occupancy Classification	Allowable Openings (%)	Required FRR	Required Type of Construction	Required Type of Cladding
COMPARTMENT 1	Group C	0%	1h	Noncombustible ¹	Noncombustible
COMPARTMENT 2	Group C	90%	45 min	Any	Combustible or Noncombustible

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name
Spatial Separations

Date
July 25, 2025

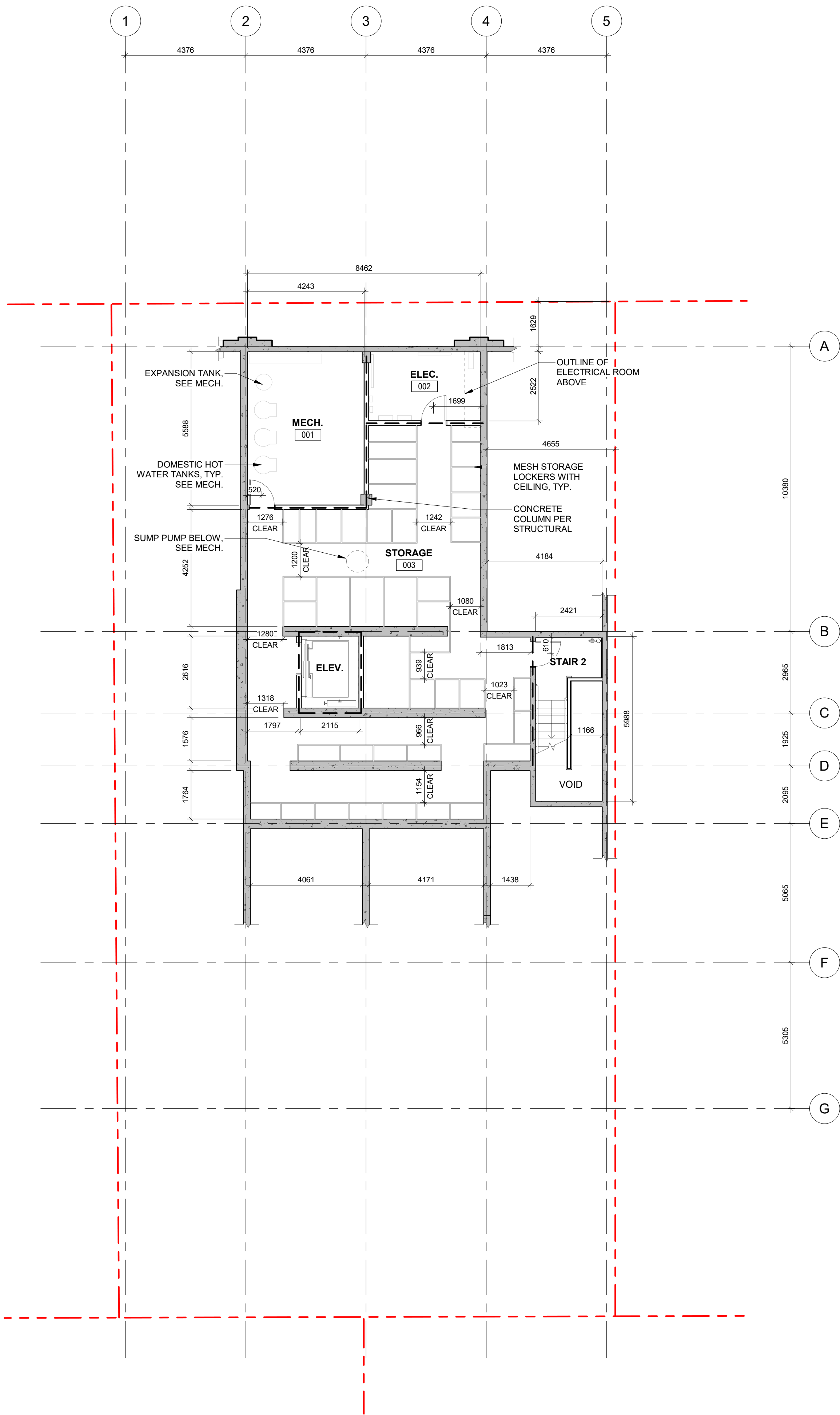
Scale
1 : 250

Project #
2401

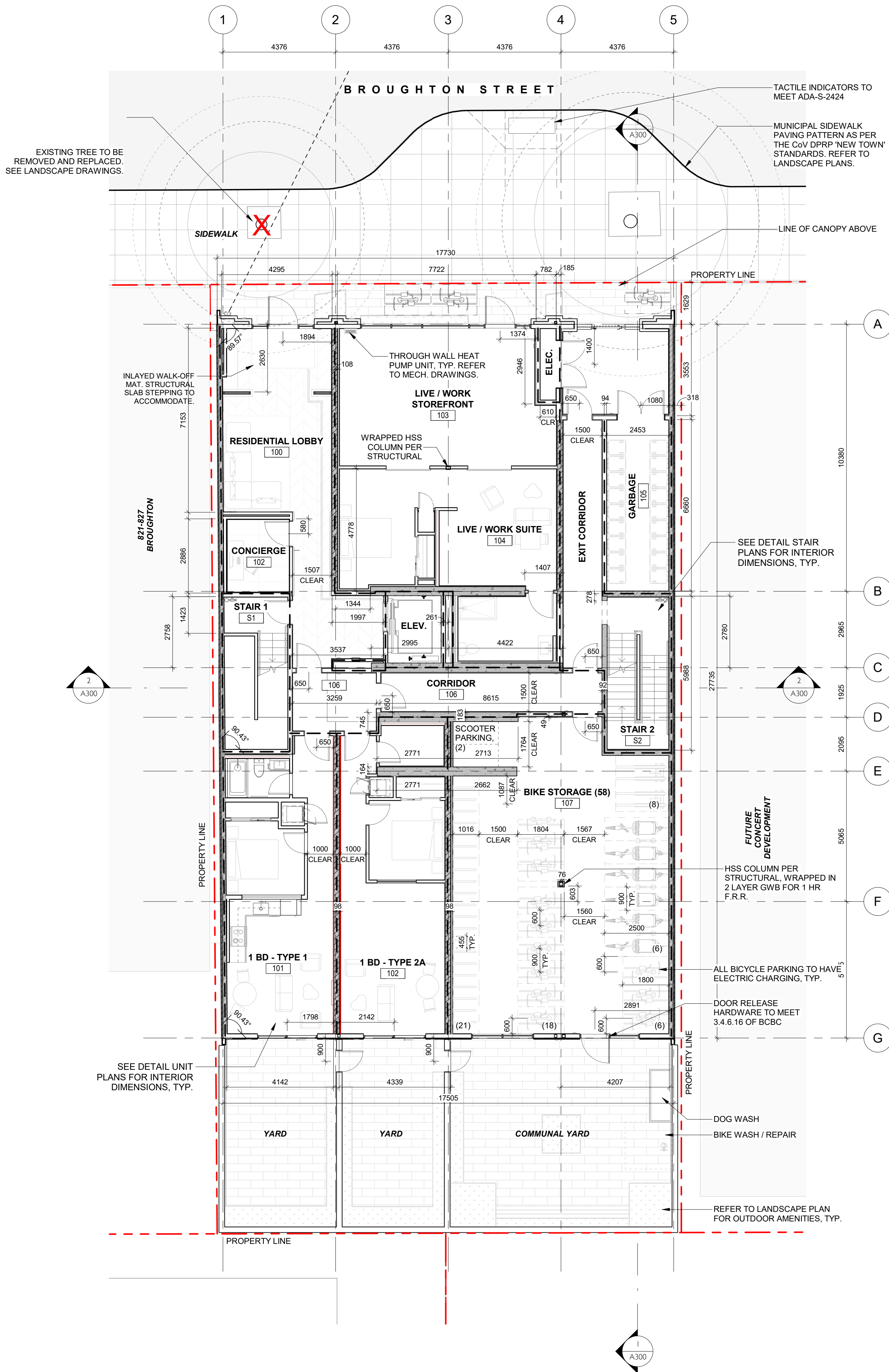
Revision
July 25th, 2025

Sheet #
A052

8/5/2025 11:40:48 AM



2 Basement - Dimensions
SCALE = 1 : 100



1 Level 1 - Dimensions
SCALE = 1 : 100

FIRE SEPARATION LEGEND

- 0 HR
- 1 HR
- 1.5 HR
- 2 HR

NOTATION LEGEND

- WOOD FRAME WALL
- WOOD FRAME SHEAR / BEARING WALL: 1hr FRR
- WOOD FRAME SANITARY CHASE
- WOOD FRAME WATER RISER / METER
- REINFORCED CONCRETE: SEE STRUCTURAL
- 301.3 DOOR TAG
- P1 ASSEMBLY TAG
- 1-W01 GLAZING TAG (UNIT, ELEVATION, #)
- ELEC ELECTRICAL PANEL
- COMM COMMS PANEL
- H20 HOSE BIBB
- PS PULL STATION
- HC ADO ACTUATOR
- PD PLANTER DRAIN
- BD BI-LEVEL DRAIN
- TD TRENCH DRAIN
- QUIETROCK ES

GENERAL NOTES

- ALL DIMENSIONS ARE TO GRIDLINES, FACE OF CONCRETE, FACE OF EXTERIOR SHEATHING, FACE OF FRAMING, UNLESS NOTED OTHERWISE (UNO).
- ALL OPENING DIMENSIONS, WHEN SHOWN, ARE TO HEEL DEPTH OF FRAME, OR CENTER OF UNIT. REFER GLAZING SCHEDULE.
- DOOR DIMENSIONS GIVEN ARE CLEAR SLAB WIDTHS, EXCLUSIVE OF FRAMES. REFER DOOR SCHEDULE.

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name

Proposed Basement and
Level 1 Floor Plans

Date July 25, 2025

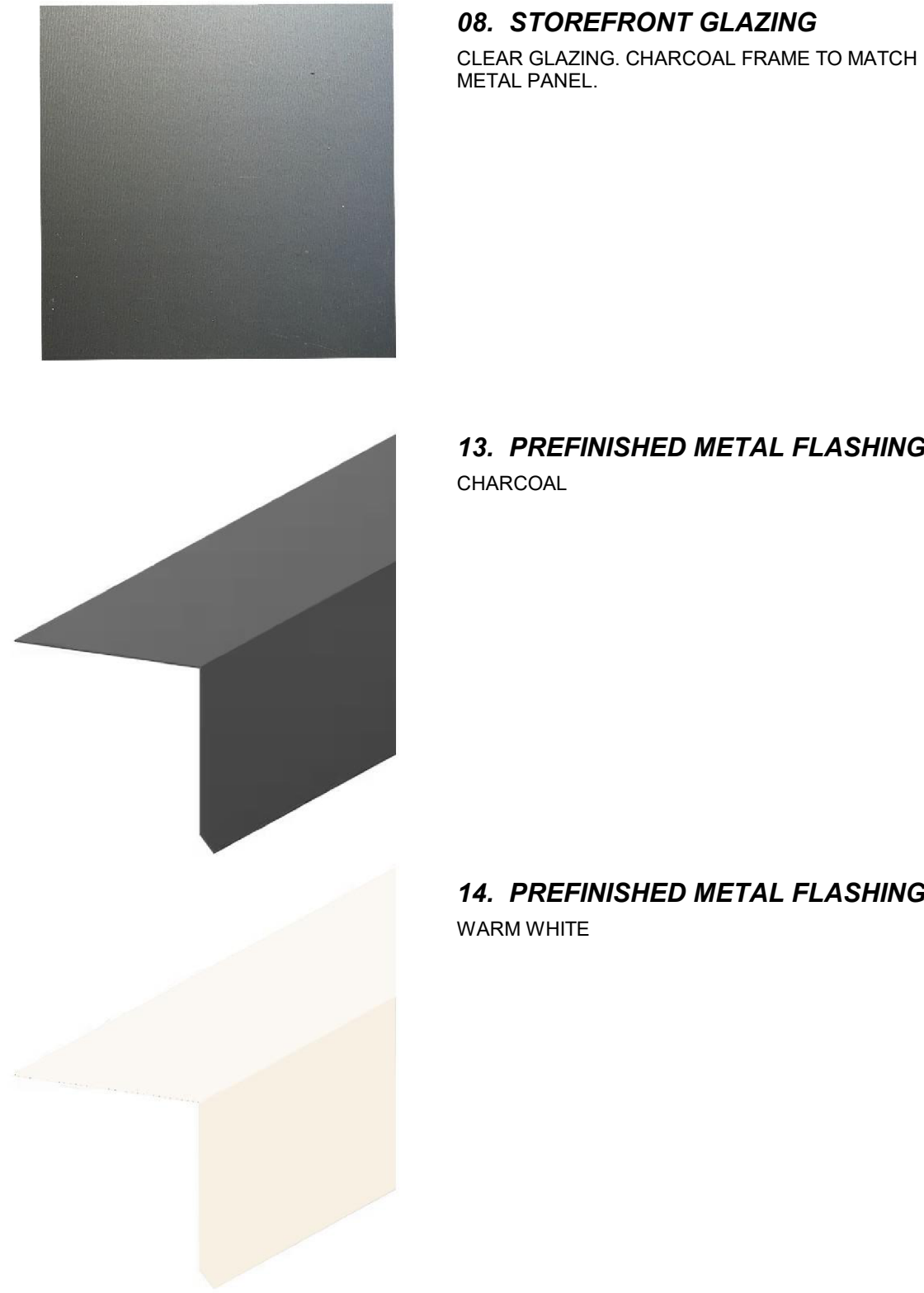
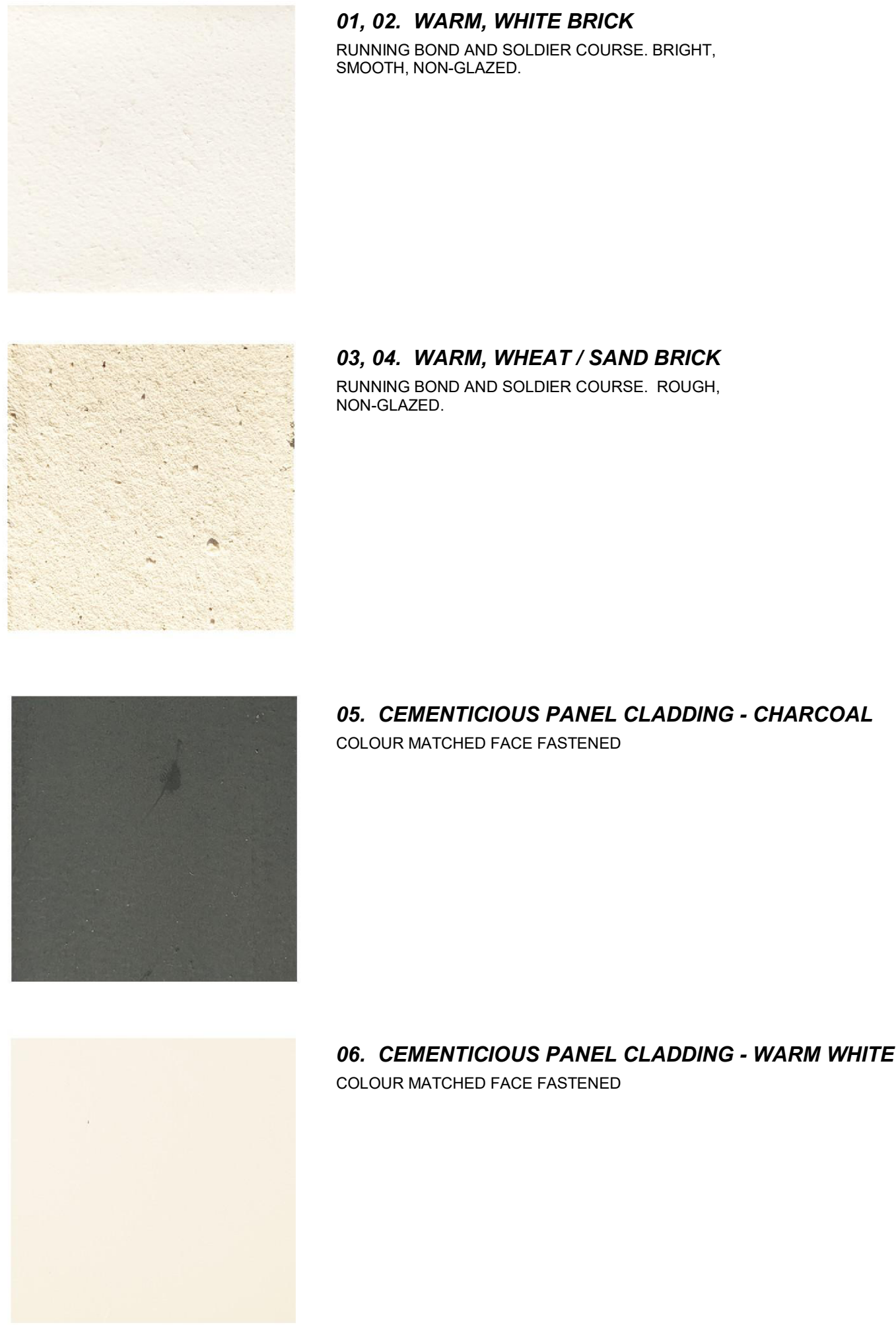
Scale As indicated Project # 2401

Revision July 25th, 2025 2

Sheet # A101

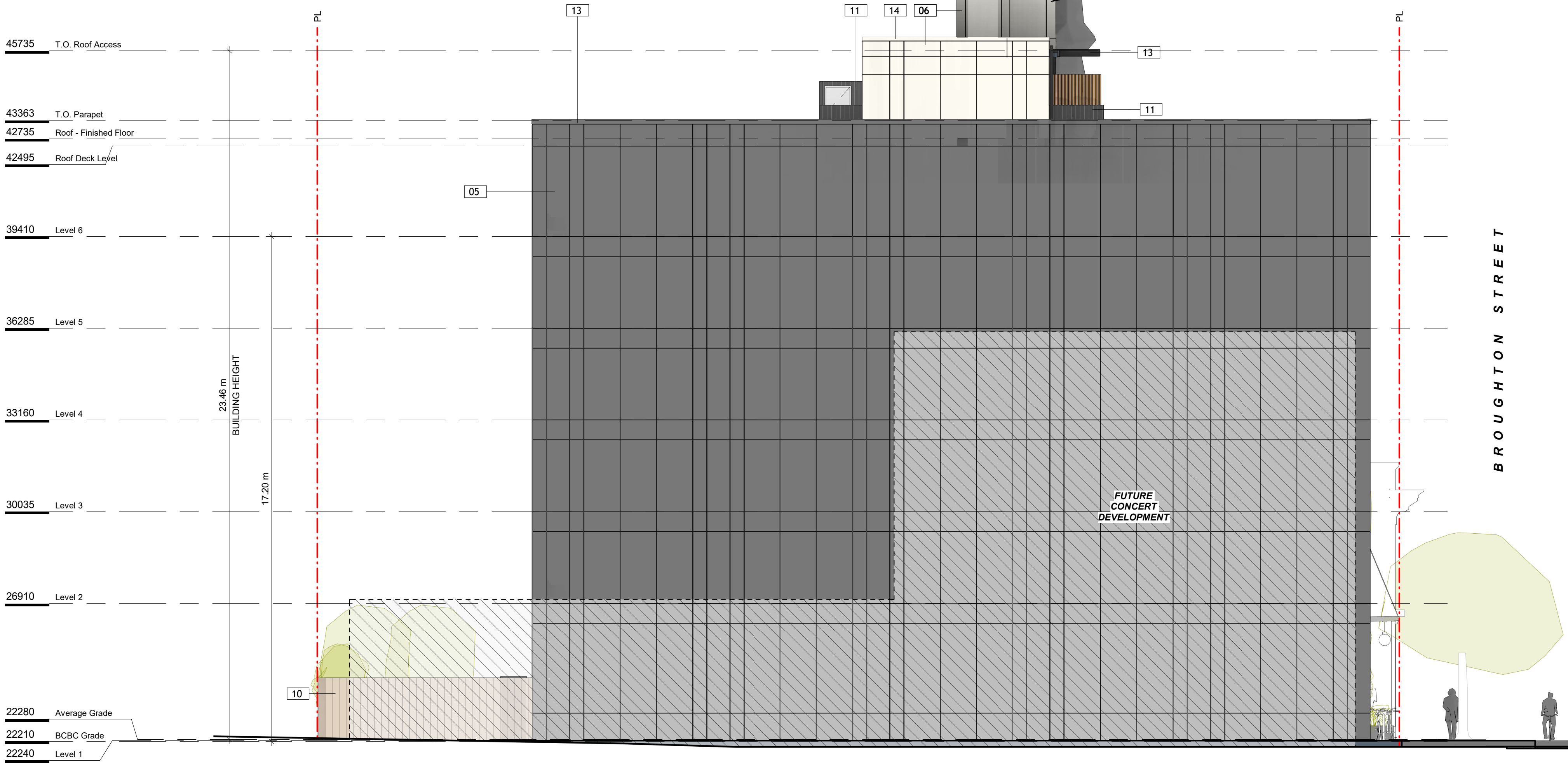
REGISTERED ARCHITECT
GREGORY L.F. DUNN
2025-08-18
BRITISH COLUMBIA

8/5/2025 11:40:50 AM



1 North Elevation
SCALE = 1 : 100

- 01 RUNNING BOND BRICK - bright, warm white, smooth, non-glazed
02 SOLDIER COURSE BRICK - bright, warm white, smooth, non-glazed
03 RUNNING BOND BRICK - light wheat or sand tone, rough, non-glazed
04 SOLDIER COURSE BRICK - light wheat or sand tone, rough, non-glazed
05 FIBRE CEMENT CLADDING - charcoal, panelized, face-fastened
06 FIBRE CEMENT CLADDING - warm white, panelized, face-fastened
07 VINYL OR FIBREGLASS WINDOWS - charcoal or grey to match metal panel
08 CURTAIN WALL GLAZING - charcoal or grey to match metal panel
10 WOOD FENCE - natural
11 WOOD FENCE - dark grey stain
12 ALUMINUM PICKET GUARD - grey or zinc
13 PREFINISHED METAL FLASHING - charcoal
14 PREFINISHED METAL FLASHING - warm white



2 East Elevation
SCALE = 1 : 100

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name
Building Elevations N-E

Date
July 25, 2025

Scale
As indicated

Project #
2401

Revision
July 25th, 2025

2

Sheet #
A200

8/5/2025 11:41:02 AM



01, 02. WARM, WHITE BRICK
RUNNING BOND AND SOLDIER COURSE. BRIGHT, SMOOTH, NON-GLAZED.



03, 04. WARM, WHEAT / SAND BRICK
RUNNING BOND AND SOLDIER COURSE. ROUGH, NON-GLAZED.



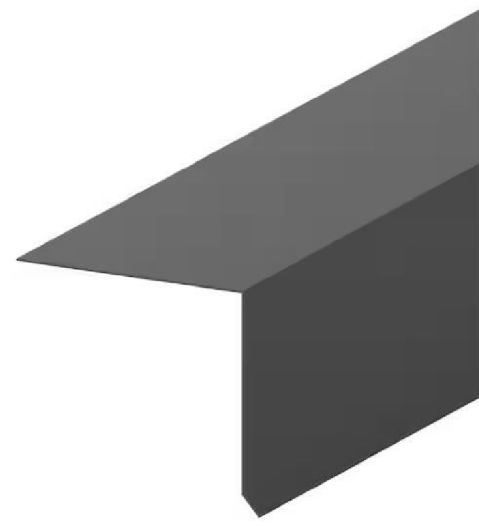
05. CEMENTICIOUS PANEL CLADDING - CHARCOAL
COLOUR MATCHED FACE FASTENED



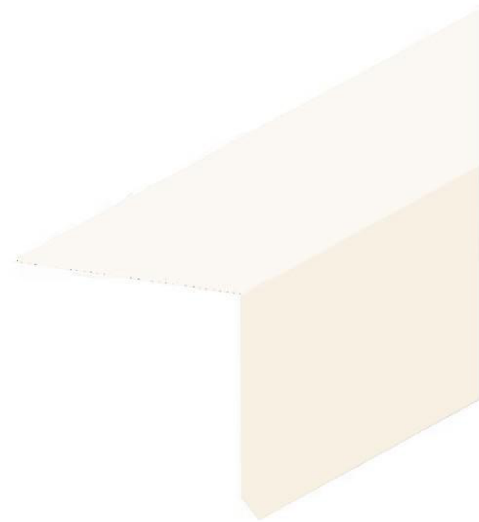
06. CEMENTICIOUS PANEL CLADDING - WARM WHITE
COLOUR MATCHED FACE FASTENED



08. STOREFRONT GLAZING
CLEAR GLAZING. CHARCOAL FRAME TO MATCH METAL PANEL.

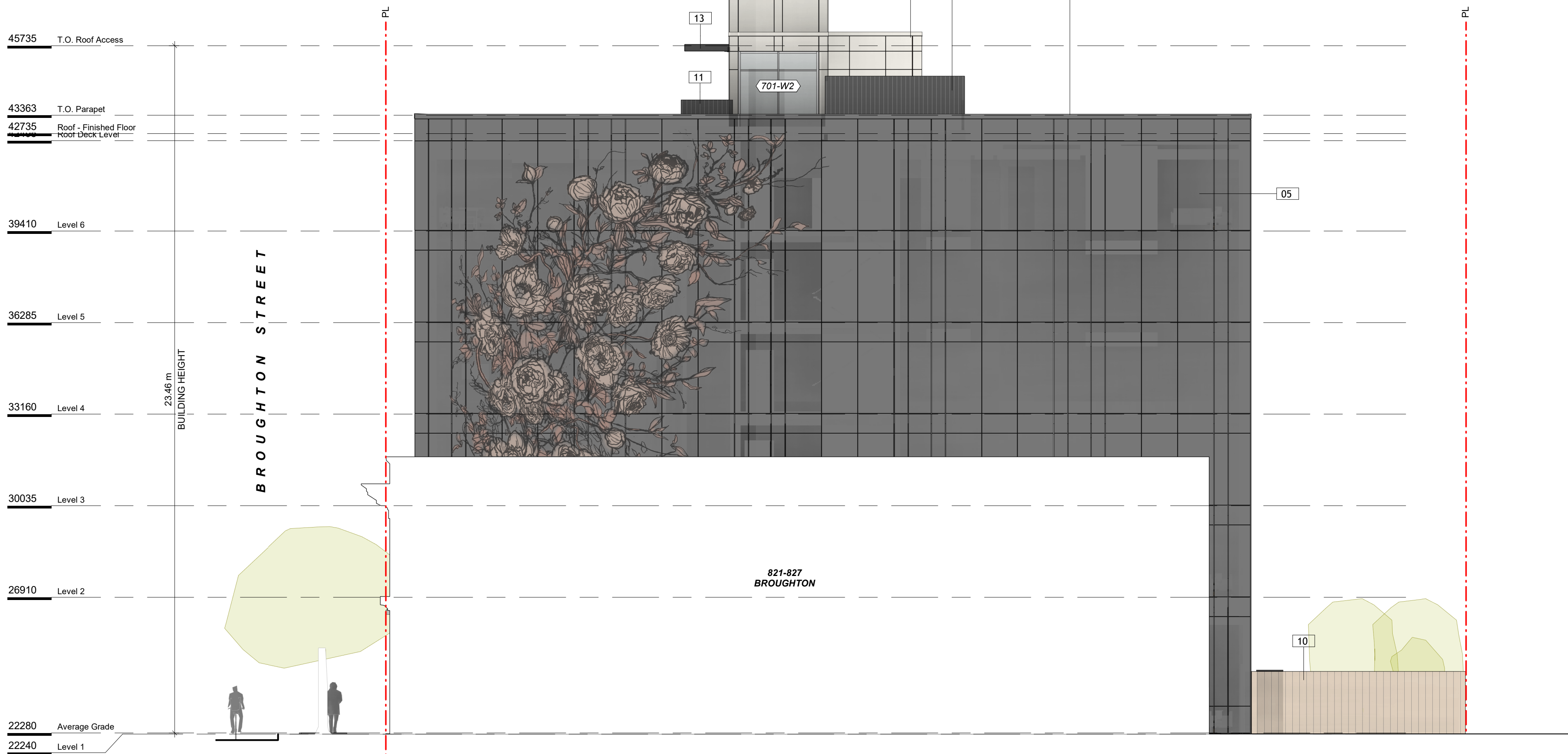


13. PREFINISHED METAL FLASHING
CHARCOAL



14. PREFINISHED METAL FLASHING
WARM WHITE

- 01 RUNNING BOND BRICK - bright, warm white, smooth, non-glazed
02 SOLDIER COURSE BRICK - bright, warm white, smooth, non-glazed
03 RUNNING BOND BRICK - light wheat or sand tone, rough, non-glazed
04 SOLDIER COURSE BRICK - light wheat or sand tone, rough, non-glazed
05 FIBRE CEMENT CLADDING - charcoal, panelized, face-fastened
06 FIBRE CEMENT CLADDING - warm white, panelized, face-fastened
07 VINYL OR FIBREGLASS WINDOWS - charcoal or grey to match metal panel
08 CURTAIN WALL GLAZING - charcoal or grey to match metal panel
10 WOOD FENCE - natural
11 WOOD FENCE - dark grey stain
12 ALUMINUM PICKET GUARD - grey or zinc
13 PREFINISHED METAL FLASHING - charcoal
14 PREFINISHED METAL FLASHING - warm white

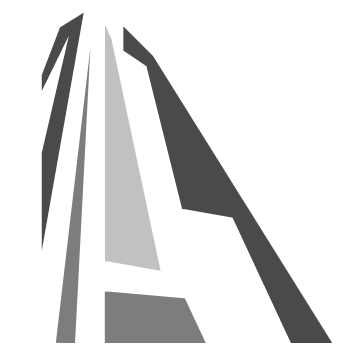


2 West Elevation
SCALE = 1 : 100



1 South Elevation
SCALE = 1 : 100

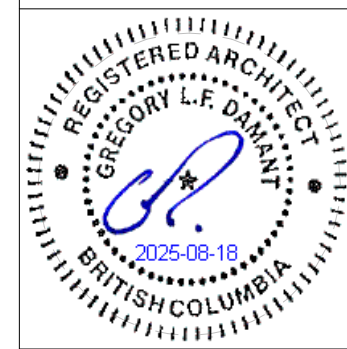
2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



CASCADIA ARCHITECTS INC

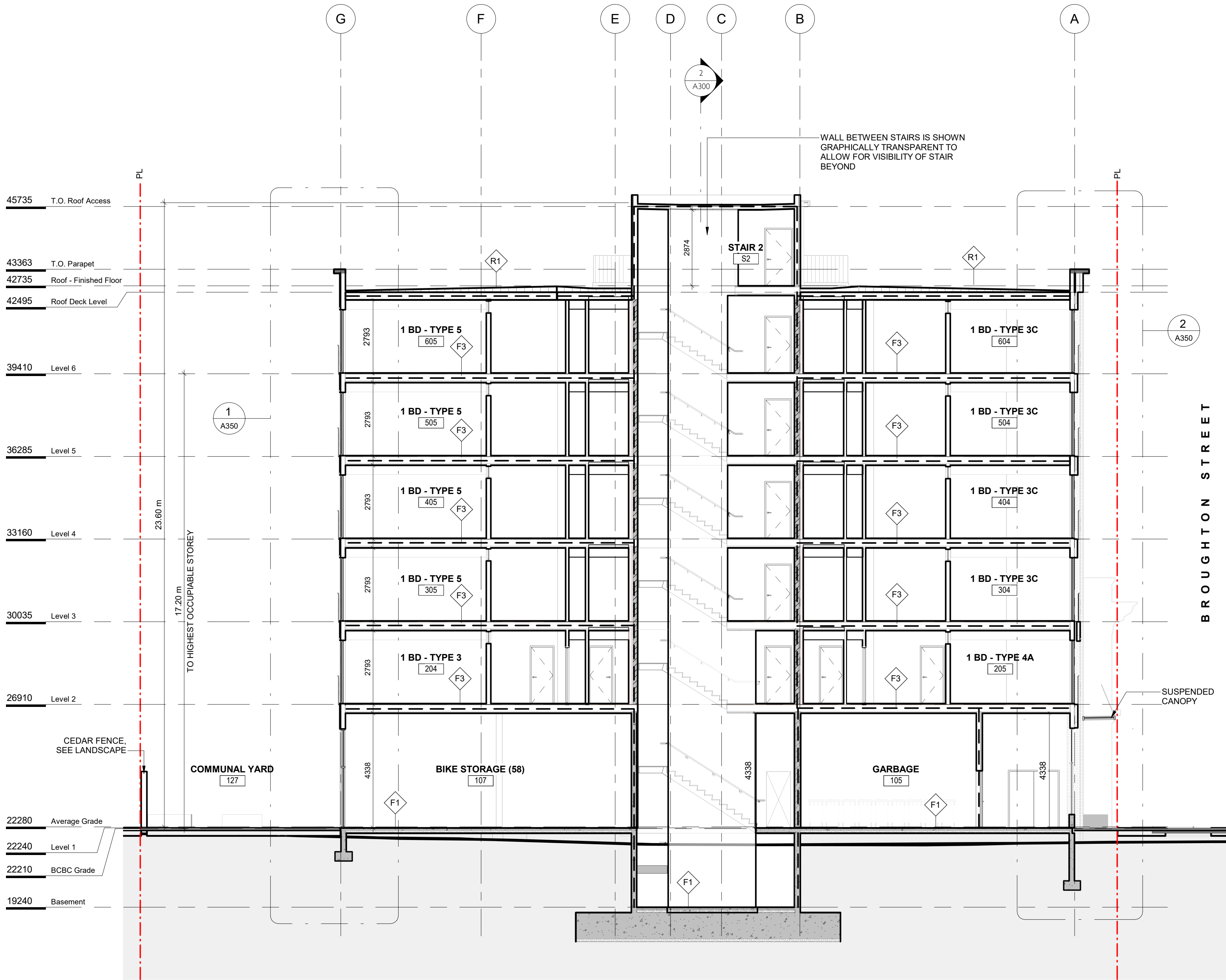
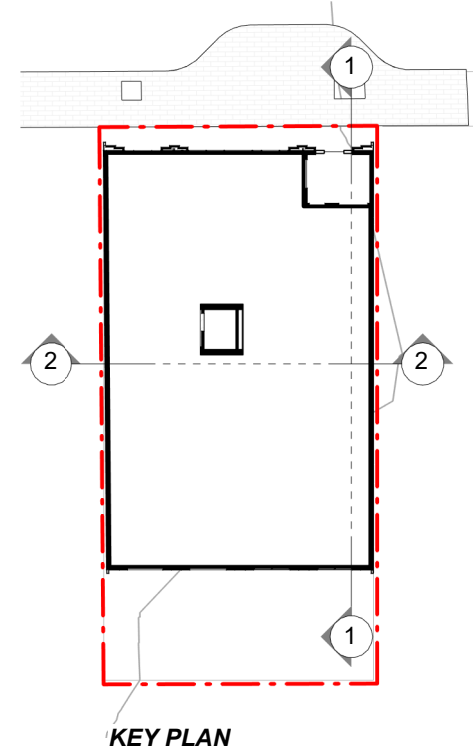
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837 Broughton Street		
FORT PROPERTIES		
Project North		
Sheet Name		
Building Elevations S-W		
Date		
July 25, 2025		
Scale		Project #
As indicated		2401
Revision		2
July 25th, 2025		
Sheet #		A201

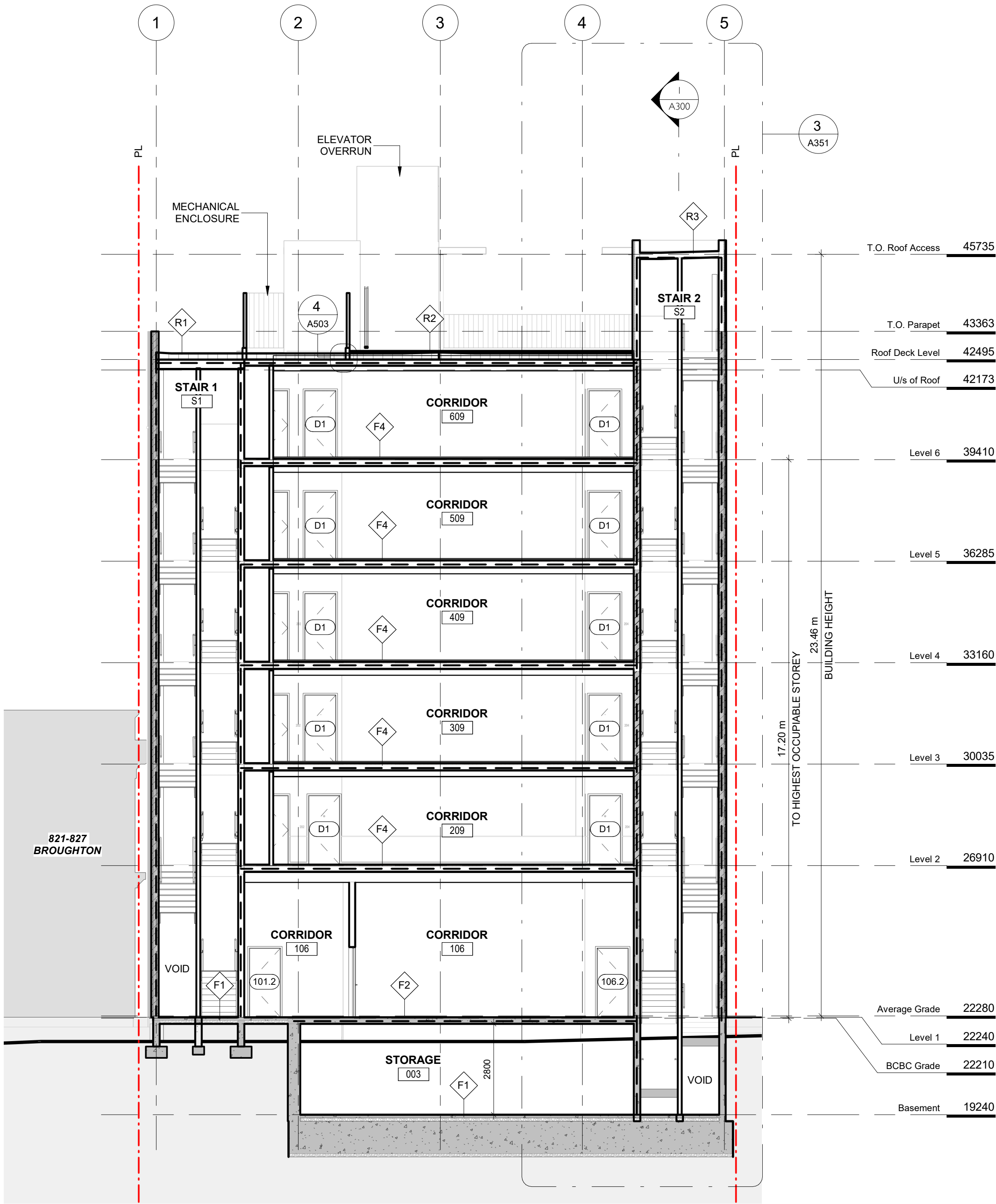


FIRE SEPARATION LEGEND

- 0 HR
----- 1 HR
----- 1.5 HR
..... 2 HR

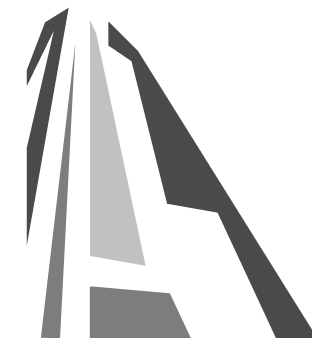


1 Building Section at GL 5
SCALE = 1 : 100



2 Building Section through Stairwells
SCALE = 1 : 100

2	DDP Application	July 25th, 2025
1	Re-issued for Building Permit	April 14th, 2025
NO.	DESCRIPTION	DATE



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837 Broughton Street

FORT PROPERTIES

Sheet Name
Building Sections

Date
July 25, 2025

Scale
As indicated

Project #
2401

Revision
July 25th, 2025

2

Sheet #
A300





12	July 29-25	Issued for DDP
11	July 15-25	Issued for Building Permit
10	Apr 4-25	Issued for Building Permit
9	Feb 3-25	Issued for Building Permit
8	Jan 17-25	Re-issued for 90% Building Permit
7	Dec 23-24	Issued for 90% Building Permit
6	Nov 27-24	Issued for Building Permit
5	Nov 22-24	Issued for 50% BP Coordination
4	Sept 5-24	Re-issued for Rezoning/DP
3	Jul 16-24	Re-issued for Rezoning/DP
2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street
Victoria, BC

TITLE

Ground Level
Planting Plan

SCALE

As Shown

DRAWN

CW

CHECKED

CW

PROJECT No.

2404

DATE

March 7-24

SHEET

L1 of 3

Required Nursery Stock

Trees

ID	Quantity	Botanical Name	Common Name	Size
BeNDH	3	Betula nigra 'Dura Heat'	Dura Heat Birch	6cm cal.
CoF	2	Cornus florida 'Cloud 9'	Cloud 9 Dogwood	5cm cal.
PrKa	1	Prunus serrulata 'Kanzan'	Cherry Kanzan	6cm Cal.

Large Shrubs

ID	Quantity	Botanical Name	Common Name	Size
PrLC	37	Prunus laurocerasus 'Caucasia'	Cherry Laurel	2M ht./pleached

Small Shrubs

ID	Quantity	Botanical Name	Common Name	Size
GaSh	51	Gaultheria shallon	Salal	#1 pot

Perennials, Annuals and Ferns

ID	Quantity	Botanical Name	Common Name	Size
BiSp	51	Blechnum spicant	Deer Fern	#1 pot
PoMu	4	Polystichum munitum	Sword Fern	#1 pot

Groundcovers

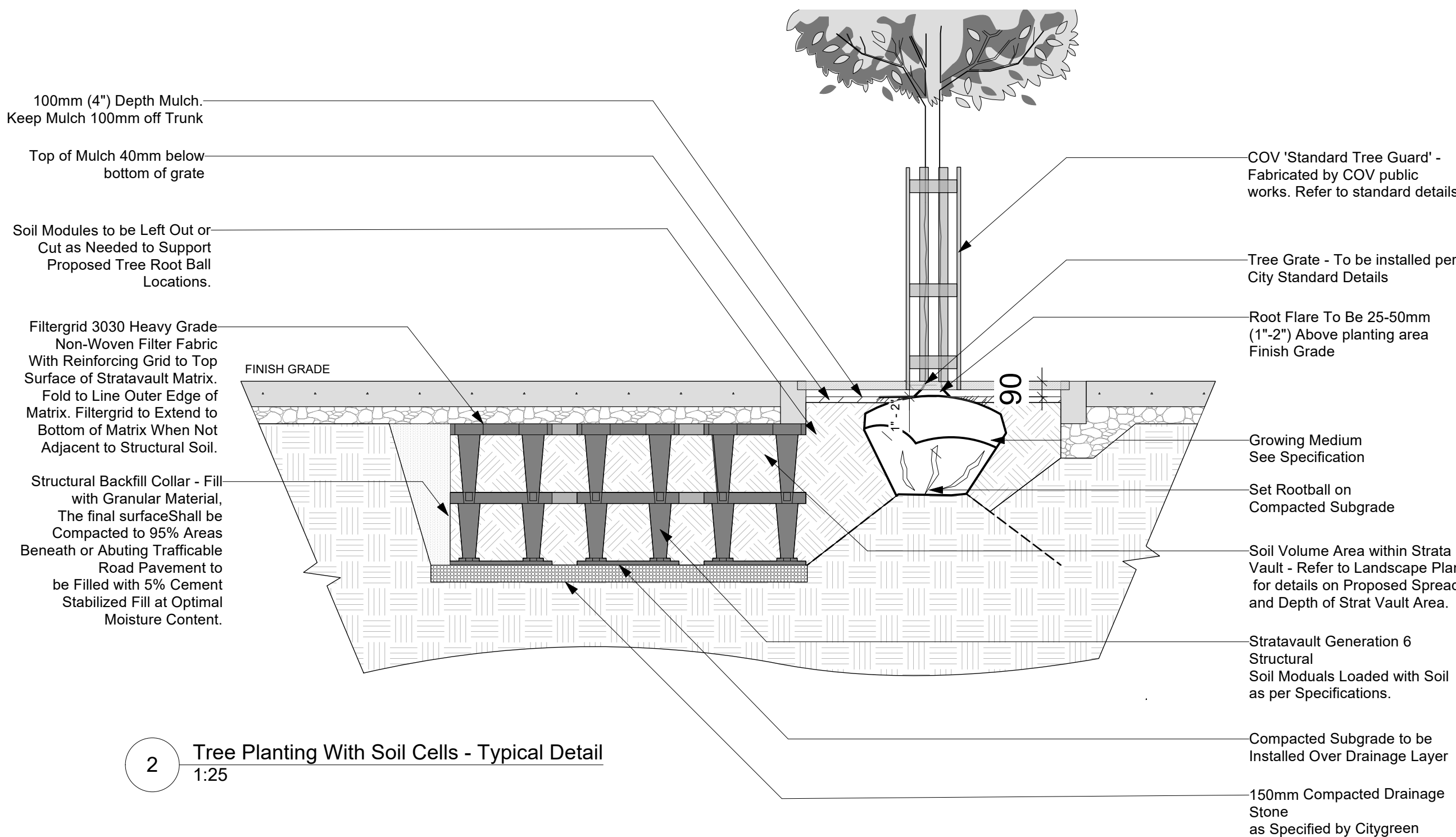
ID	Quantity	Botanical Name	Common Name	Size
ArUU	10	Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnickinnick	#1 pot

Vines

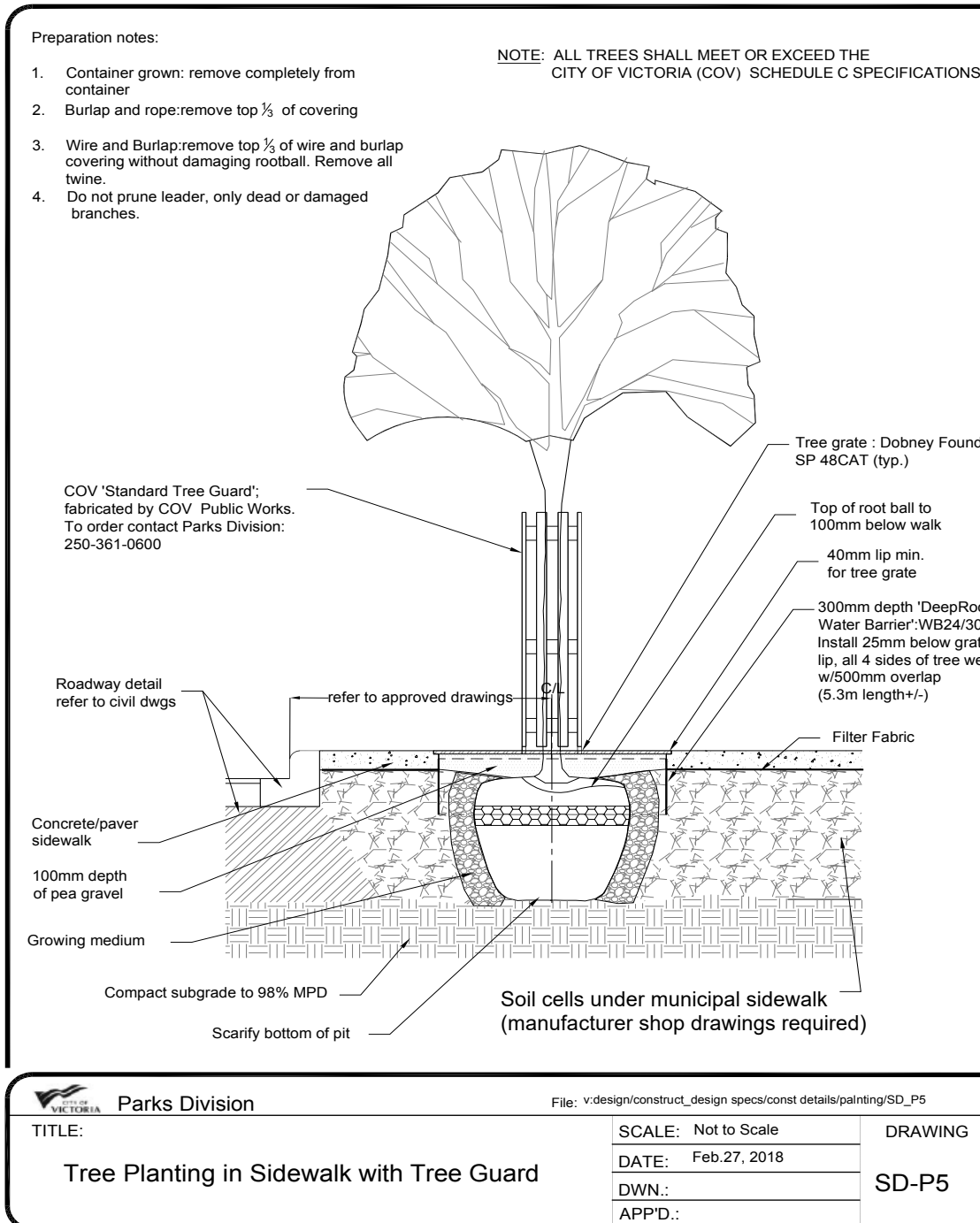
ID	Quantity	Botanical Name	Common Name	Size
HyAP	4	Hydrangea anomala petiolaris	Climbing Hydrangea	#10 pot
PaQu	4	Parthenocissus quinquefolia	Virginia Creeper	#10 pot

Notes:

- All work to be completed to current CSLA Canadian Landscape Standards
- All soft landscape to be irrigated with an automatic irrigation system



2 Tree Planting With Soil Cells - Typical Detail
1:25



CoV Tree Planting Notes

- Proposed street tree locations and species selection requires Parks approval. Proposed street tree locations must be indicated and shall respect the minimum offsets from infrastructure outlined in Victoria Subdivision and Development Servicing Bylaw, Schedule C. Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure. Please contact Rob Hughes, rhughes@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
- Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P5 (Tree Planting in Sidewalk with Tree Guard) and the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- New municipal trees shall be procured and planted by the applicant. If it is determined that tree M1 requires removal, a new tree in soil cells will be required. A separate water service will also be required to irrigate the municipal trees.
- Soil cells and Parks trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.

Area of required soil cells for Off-site Replacement Trees (20.0m3 @ .92M depth)

New boulevard tree - 1 - Prunus serrulata 'Kanzan'

BROUGHTON STREET

M2

M1

PROPERTY LINE

1-PrKa
4-PoMu
2-PaQu
10-GaSh

2-PaQu

LIVE / WORK
STOREFRONT
103

RESIDENTIAL LOBBY
100

ELEC.
E
1

LIVE / WORK SUITE
104

EXIT CORRIDOR

GARAGE
105

FUTURE
CONCERT
DEVELOPMENT

ELEV.

CORRIDOR
106

STAIR 2
S2

BIKE STORAGE (59)
107

1 BD - TYPE 1
101

1 BD - TYPE 2A
102

(21)

10-BISp
1-CoF

10-ArUU

8-PrLC

1-BeNDH

1-BeNDH

1-BeNDH

4-PrLC

4-HvAP

12-GaSh

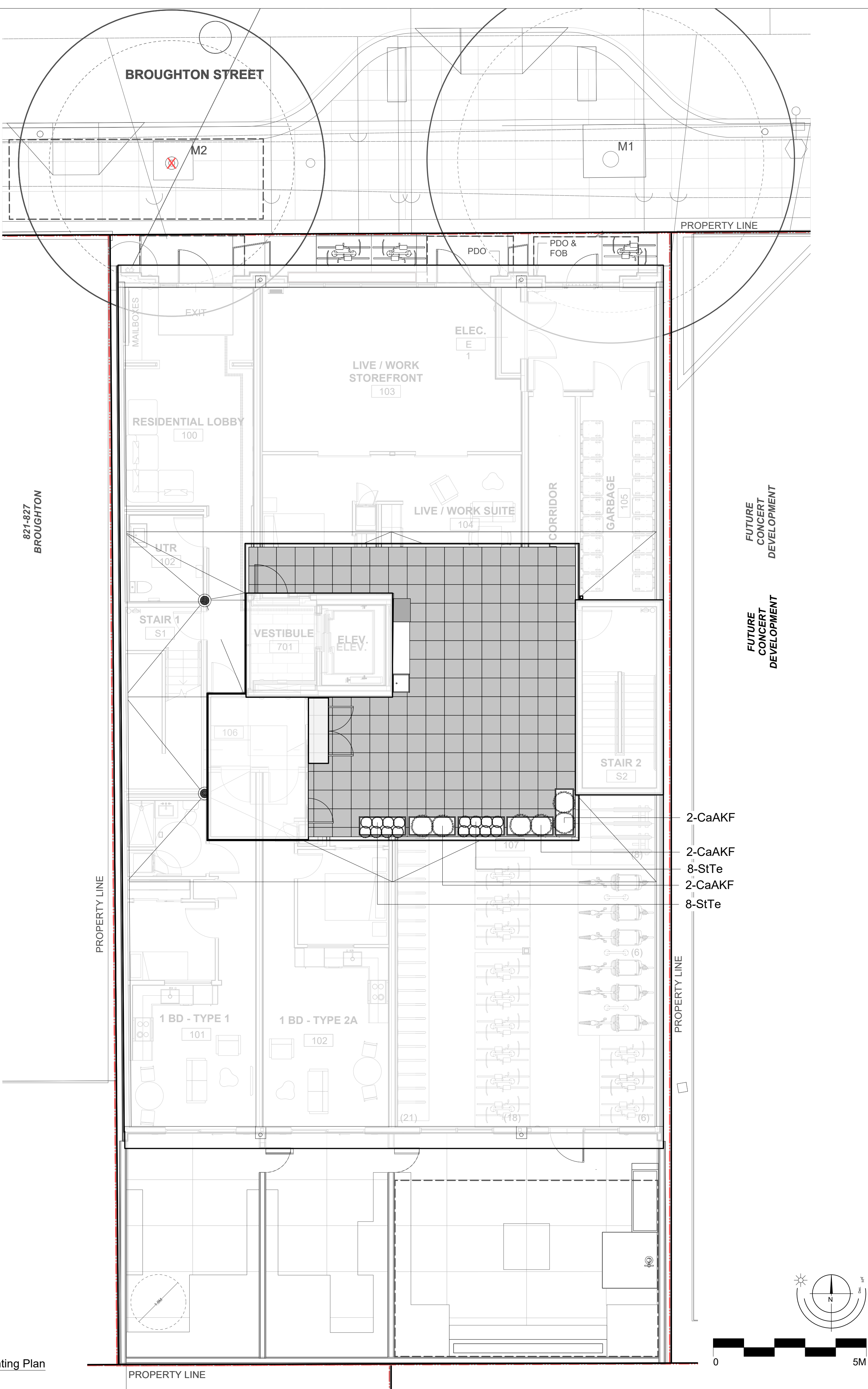
8-GaSh

10-BISp

3-BISp

4-BISp

3-BISp



Required Nursery Stock

Rooftop Planting				
ID	Quantity	Botanical Name	Common Name	Size
CaAKF	6	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
StTe	16	Stipa tenuissima	Mexican Feather Grass	#1 pot

- Notes:
- All work to be completed to current BCSLA Landscape Standards
 - All soft landscape to be irrigated with an automatic irrigation system

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12	July 29-25	Issued for DDP
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2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS

 **LADR LANDSCAPE ARCHITECTS**

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street
Victoria, BC

TITLE

Rooftop
Planting Plan

SCALE	DRAWN	CW
As Shown	CHECKED	CW

PROJECT No. 2404

DATE	L2 of 3
March 7-24	SHEET

Area of required soil cells for Off-site Replacement Trees (20.0m3 @ 92M depth)

New boulevard tree - 1 - Prunus serrulata 'Kanzan'

821-827
BROUGHTON

PROPERTY LINE

PROPERTY LINE

FUTURE
CONCERT
DEVELOPMENT

BROUGHTON STREET

LINE OF CANOPY OVERHEAD

LINE OF CANOPY OVERHEAD

LINE OF CANOPY OVERHEAD

RESIDENTIAL LOBBY

LIVE / WORK
STOREFRONT

103

LIVE / WORK SUITE

104

CORRIDOR

106

BIKE STORAGE (59)

107

1 BD - TYPE 1

101

1 BD - TYPE 2A

102

PROPERTY LINE

Replacement Tree #1
Betula nigra 'Dura Heat'

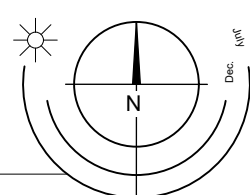
Replacement Tree #3
Betula nigra 'Dura Heat'

Replacement Tree #2
Betula nigra 'Dura Heat'

1-BeNDH

1-BeNDH

1-BeNDH



	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected trees removed	X 1	A.	0
B. Replacement trees proposed per Schedule "E", Part 1	X 1	B.	3
C. Replacement trees proposed from Schedule "E", Part 2	X 0.5	C.	0
D. Replacement trees proposed per Schedule "E", Part 3	X 1	D.	0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number		E.	3
F. Onsite replacement tree deficit (A-E) Record 0 if negative number		F.	0
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot		G.	3
H. Protected trees retained (other than specimen trees)	X 1	H.	0
I. Specimen trees retained	X 3	I.	0
J. Trees per lot deficit (G-(B+C+H+I) Record 0 if negative number		J.	0
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	X 1	K.	2
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	X 1	L.	3
M. Replacement trees proposed from Schedule "E", Part 2	X 0.5	M.	0
N. Total replacement trees proposed (L+M) Round down to nearest whole number		N.	3
O. Offsite replacement tree deficit (K-N) Record 0 if negative number		O.	0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number		P.	0
Q. Offsite trees proposed for cash-in-lieu Enter O.		Q.	0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)		R.	\$0.00

REQUIRED ON-SITE
REPLACEMENT TREES: 3

Replacement Trees Proposed

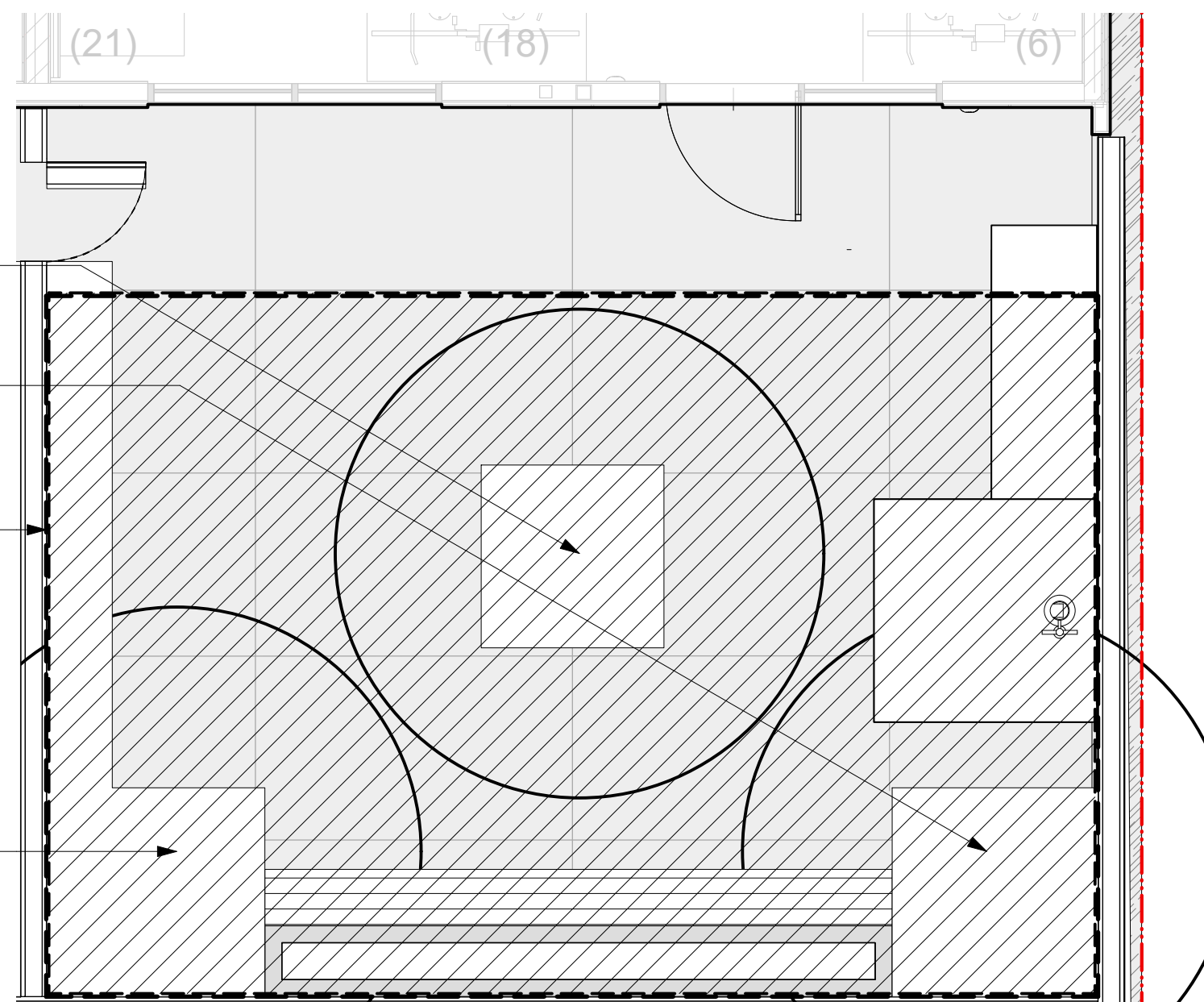
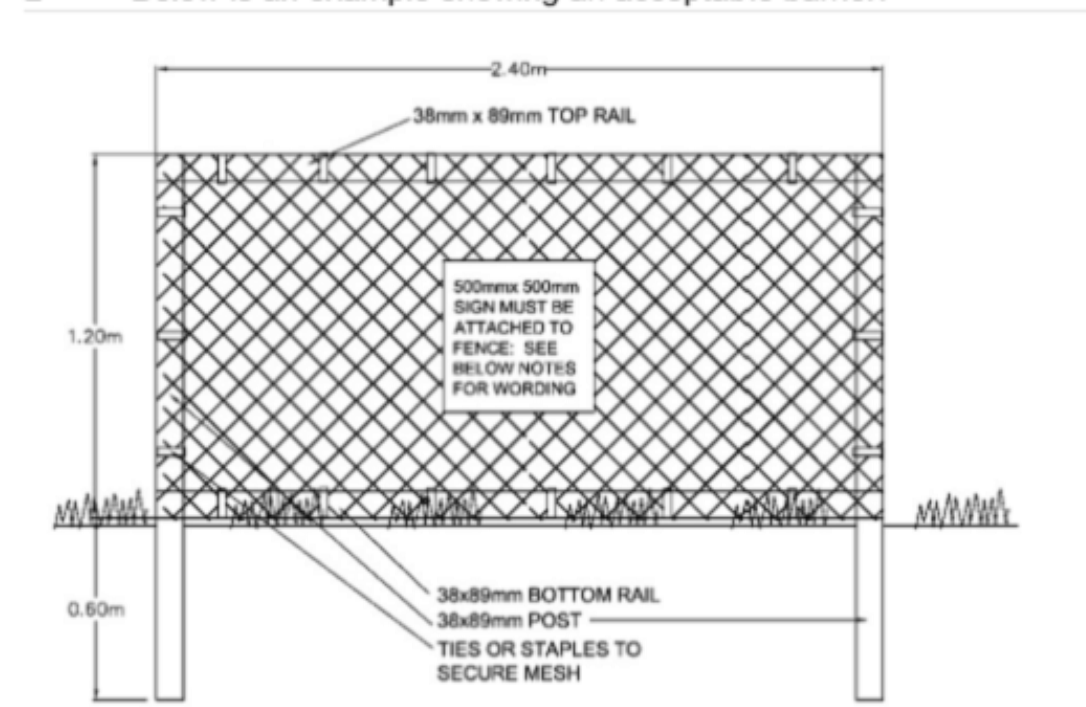
Soil Volume Required (m3)

Planting Area ID	Area (M2)	Soil Volume multiplier*	Estimated soil Volume	A	B	C	D	E	F	G	Total **
				# Small	# Medium	# Large		Small	Medium	Large	
				Onsite							
1	49	0.92	45.1		3				45		45
1 (OFFSITE)	21.8	0.92	20.0		1				20		20
Offsite (Excluding City Property)								E	F	G	TOTAL
				Calculation				If B = 1, B x 8 If B > 1, B x 6	If C = 1, C x 20 If C > 1, C x 15	If D = 1, D x 35 If D > 1, D x 30	E + F + G

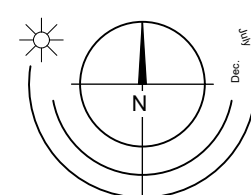
* On ground (excluding exposed bedrock): use 1, On structure: use depth of soil, On soil cells: use 0.92, On structural soil: use 0.2
** Total must not exceed A. If Total exceeds A, then the number or size of proposed replacement trees must be reduced.

TREE PROTECTION BARRIER REQUIREMENTS

- The requirements for tree protection barriers are as follows:
 - The barrier must be placed around the outside of the protected root zone of the tree, or as approved by the Director; and
 - The barrier must meet the following specifications:
 - it must have a minimum height of 1.2 m,
 - 38 mm x 89 mm timbers must be used for vertical posts, top and bottom rails (in rocky areas, metal posts (T-bar or rebar) drilled into rock will be accepted), and cross-bracing (in an "X"),
 - spacing between vertical posts must be a maximum of 3.0 metres on center,
 - the structure must be sturdy with vertical posts driven firmly into the ground,
 - there must be continuous plastic mesh high visibility screening (e.g. orange snow fencing), and
 - it must have visible all weather 500 mm x 500 mm signage on it with the wording "Warning – Tree Protection Area".
- Below is an example showing an acceptable barrier:



2 Detail Plan - Communal Courtyard
1:50



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12	July 29-25	Issued for DDP
11	July 15-25	Issued for Building Permit
10	Apr 4-25	Issued for Building Permit
9	Feb 3-25	Issued for Building Permit
8	Jan 17-25	Re-issued for 90% Building Permit
7	Dec 23-24	Issued for 90% Building Permit
6	Nov 27-24	Issued for Building Permit
5	Nov 22-24	Issued for 50% BP Coordination
4	Sept 5-24	Re-issued for Rezoning/DP
3	Jul 16-24	Re-issued for Rezoning/DP
2	Jul 9-24	Re-issued for Rezoning/DP
1	Apr 19-24	Issued for Rezoning/DP

REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

837 Broughton Street
Victoria, BC

TITLE

Tree Management Plan

SCALE

As Shown

DRAWN

CW

CHECKED

CW

PROJECT No.

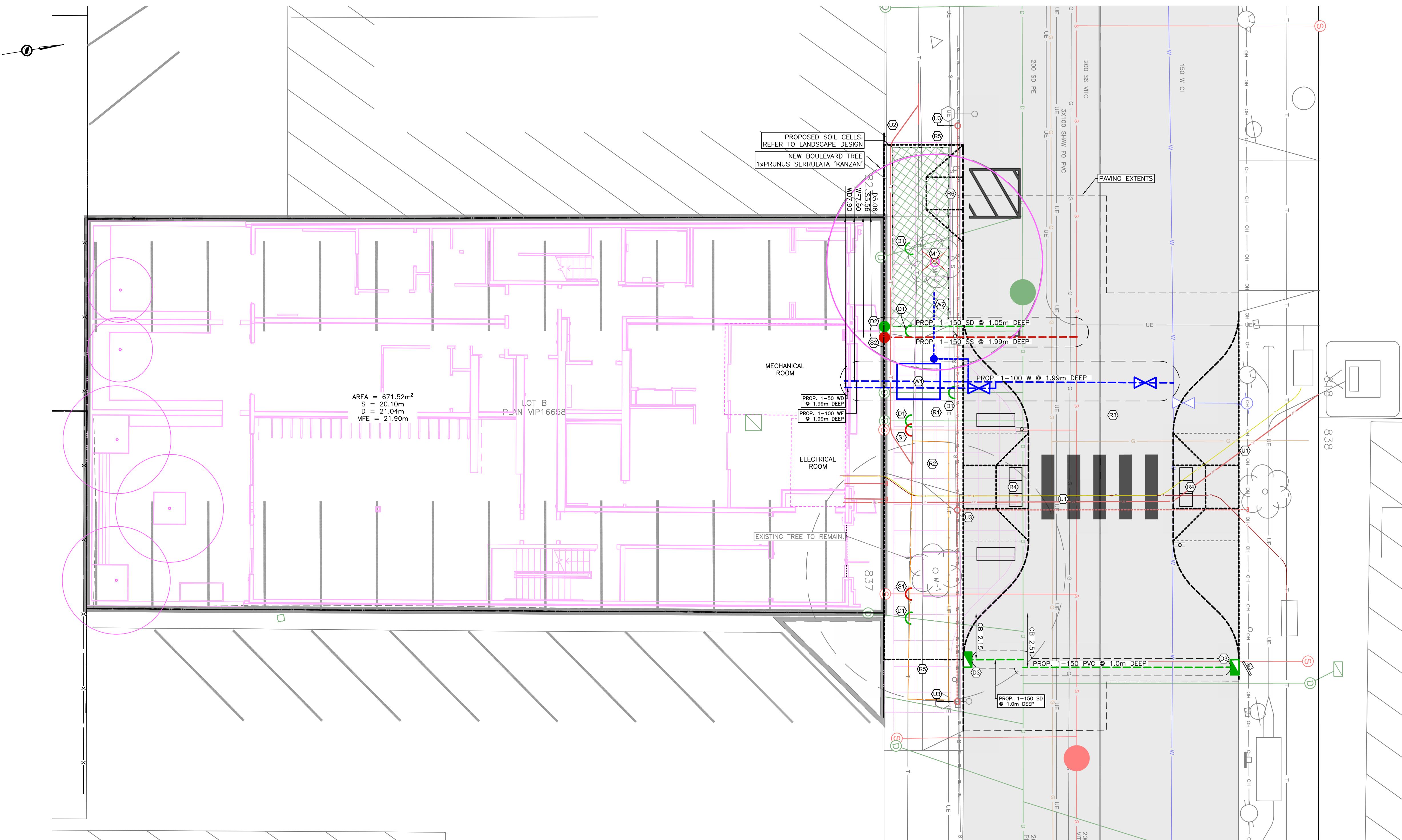
2404

DATE

March 7-24

L3 of 3

SHEET



SHEET NOTES:

DRAIN

- (D1) CONTRACTOR TO CAP EXISTING DRAIN SERVICES AT DEVELOPERS EXPENSE.
- (D2) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 150mm DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE AT DEVELOPERS EXPENSE.
- (D3) CONTRACTOR TO INSTALL NEW CATCH BASIN AND LEAD AS PER CITY OF VICTORIA DETAIL S11b. CITY OF VICTORIA CREWS TO CONNECT NEW LEAD TO EXISTING MAIN AT DEVELOPERS EXPENSE.

SANITARY

- (S1) CONTRACTOR TO CAP EXISTING SANITARY SERVICES AT DEVELOPERS EXPENSE.
- (S2) CITY OF VICTORIA CREWS TO INSTALL PROPOSED 150mm SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT PROPERTY LINE AT DEVELOPERS EXPENSE.

WATER

- (W1) CITY OF VICTORIA CREWS TO INSTALL PROPOSED FIRE AND DOMESTIC WATER SERVICES COMPLETE WITH WATER METER CHAMBER AS PER CITY OF VICTORIA SD W21 AT DEVELOPERS EXPENSE.
- (W2) CITY OF VICTORIA CREWS TO INSTALL NEW 25mm IRRIGATION SERVICE AND METER. CONTRACTOR TO INSTALL IRRIGATION SLEEVING AS REQUIRED.

ROAD

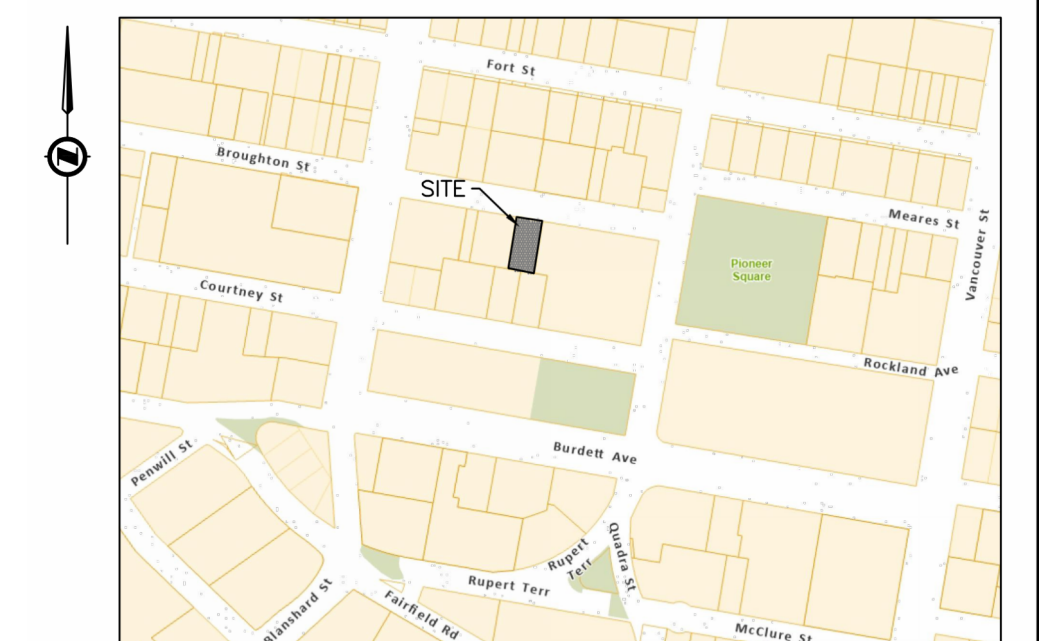
- (R1) EXISTING DRIVEWAY TO BE REMOVED.
- (R2) EXISTING FRONTAGE TO BE REMOVED AND RECONSTRUCTED COMPLETE WITH NEW CURB, GUTTER AND SIDEWALK AT DEVELOPERS EXPENSE. PROPOSED SIDEWALK TO BE "NEW TOWN" PATTERN. REFER TO LANDSCAPE PLANS FOR DETAILS.
- (R3) CONTRACTOR TO MILL AND FILL ASPHALT AS REQUIRED FOR ENTIRE FRONTAGE AT DEVELOPERS EXPENSE. BROUGHTON STREET ROAD WORKS SUBJECT TO CITY OF VICTORIA CONCRETE ROAD BASE RESTORATION REQUIREMENTS.
- (R4) CONTRACTOR TO INSTALL NEW CROSSWALK BULB COMPLETE WITH DROPS AS PER CITY OF VICTORIA STANDARD C9b. CROSS WALK MARKINGS AND SIGNAGE. SEE SHEET C3 FOR GRADING, LINE PAINTING AND SIGNAGE DETAILS.
- (R5) CONTRACTOR TO TIE PROPOSED SIDEWALK INTO EXISTING AT NEAREST CONTROL JOINT.
- (R6) CONTRACTOR TO INSTALL ON-STREET ACCESSIBLE PARKING STALL COMPLETE WITH PEDESTRIAN LET DOWN AS PER CITY OF VICTORIA DETAIL SD C9b. AND PAINT MARKINGS AS PER CITY OF VICTORIA DETAIL SD C16. SEE SHEET C3 FOR GRADING, LINE PAINTING AND SIGNAGE DETAILS.

UTILITIES

- (U1) PROPOSED BC HYDRO, TELUS AND ROGERS SERVICING. REFER TO UTILITIES DESIGNS FOR DETAILS.
- (U2) EXISTING TELUS DUCTS TO BE RELOCATED AS REQUIRED. DESIGN BY TELUS.
- (U3) PROPOSED STREETLIGHT CONDUIT COMPLETE WITH JUNCTION BOXES. REFER TO ELECTRICAL PLANS FOR DETAILS.

MISCELLANEOUS

- (M1) EXISTING TREE, M2 TO BE REMOVED AND REPLACED. REFER TO ARBORIST REPORT AND LANDSCAPE DESIGN FOR DETAILS.



KEY PLAN
NTS

LEGAL DESCRIPTION: LOT B, LOTS 255 AND 256, VICTORIA CITY, PLAN 16658

BENCHMARK: MONUMENT 16-114
ELEV. 21.084m

**837 BROUGHTON STREET
PRELIMINARY SITE
SERVICING**

Scale
horiz. 1:100
Sheet 1 of 1
Eng. Project No. 34738
Drafted by. JA



JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

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