



TMRW.ING

Rezoning + Development Permit
517-533 Chatham Street + 530-538 Herald Street
Victoria, Canada

16 July 2025

Table of Contents



1 Introduction

- 1.01 Project Team
- 1.02 Perspective Views
- 1.03 Introduction
- 1.04 Site Location
- 1.05 Description of Proposal
- 1.06 Project Benefits & Amenities

2 Policy Context

- 2.01 Relevant Policies
- 2.02 Downtown Core Area Plan
- 2.03 Old Town Design Guidelines
- 2.04 Zoning Bylaw (2018) Downtown
- 2.05 Official Community Plan

3 Site Analysis

- 3.01 Site Location
- 3.02 Planning Districts
- 3.03 Site Context
- 3.04 Greenspace
- 3.05 Public Space
- 3.06 Aerial Context
- 3.07 Future Development
- 3.08 Existing Site
- 3.09 Existing Streetscape
- 3.10 Neighbourhood Character
- 3.11 Land Use Designation
- 3.12 Historic Context & Retention

4 Rezoning Rationale

- 4.01 Rezoning Proposal Summary
 - 1 - Neighbourhood-Serving Retail
 - 2 - The Passages
 - 3 - The Pocket Park
 - 4 - Pop-Up Retail
 - 5 - The Courtyard

5 Design Rationale

- 5.01 Historic Architectural Ordering Principles
- 5.02 Architectural Responses
- 5.03 Contextual Response
- 5.04 Responses to Old Town Design Guidelines
 - 5.1 Building Mass, Scale and Siting
 - 5.2 Street Rhythm
 - 5.3 Facade Composition
 - 5.4 Relationship to Street and Open Space
 - 5.5 Materials and Finishes
 - 5.6 Liveability
 - 5.7 Off-Street Parking
- 5.05 Transport Demand Management
- 5.06 Safety & Security
- 5.07 Landscape
- 5.08 CALUC Feedback & Responses

6 Architectural Drawings

- A001 Project Statistics
- A010 Site Survey
- A011 Existing Site Plan
- A012 Site Plan
- A013 Site Photos - Street Context
- A200 Level P2 Plan
- A201 Level P1 Plan
- A202 Level 1 Plan
- A203 Level 1.5 Mezzanine Plan
- A204 Level 2 Plan
- A205 Level 3,5 Plan
- A206 Level 4,6 Plan
- A207 Roof Level Plan
- A300 Building Elevations - East And West
- A301 Building Elevations - North And South
- A302 Building Elevations - Courtyard
- A400 Building Sections E-W
- A401 Building Sections E-W
- A402 Building Sections N-S
- A403 Building Sections N-S
- A003 Gross Floor Area Plans - P1, P2
- A004 Gross Floor Area Plans - L1, L1.5
- A005 Gross Floor Area Plans - L2, L3/5
- A006 Gross Floor Area Plans - L4/6

7 Landscape Drawings

- L0.00 Cover Sheet
- L0.01 Inspiration And Principles
- L0.02 Diagrams
- L0.03 General Notes
- L1.00 Program & Material Precedents
- L1.01 Program & Material Precedents
- L2.00 Overall Site Plan
- L2.01 Materials Plan - Ground Level South
- L2.02 Materials Plan - Roof
- L2.03 Materials Plan - Ground Level North
- L4.00 Grading Plan - Ground Level North
- L4.01 Grading Plan - Ground Level South
- L5.00 Soils Plan - Ground Level
- L5.01 Soils Plan - Roof
- L6.00 Plant List And Images
- L6.01 Planting Plan - Ground Level
- L6.02 Planting Plan - Roof
- L7.00 Lighting Plan - Ground Level
- L7.01 Lighting Plan - Roof
- L7.02 Irrigation Plan - Ground Level
- L7.03 Irrigation Plan - Roof
- L8.00 Sections + Elevations (1)
- L8.01 Sections + Elevations (2)
- L9.00 Hardscape Details
- L9.10 Softscape Details
- L9.20 Furnishing Details

1 Introduction

1.01 Project Team

Development Manager



Intracorp Homes
Suite 600 – 550 Burrard Street
Vancouver, BC V6C 2B5

For 49 years, Intracorp has developed extraordinary homes - and we haven't done it alone. Our partnerships with municipalities and key stakeholder groups have been integral to our success, helping build a reputation based on integrity, expertise, and a solid financial foundation. We take pride in adding value to not only the homes we build, but also the communities we build in, and work to bring unique opportunities to our homeowners, residents, and partners.

Matt Kolec
Director, Development
mkolec@intracorphomes.com

Sasha Kosmajac
Junior Development Manager
skosmajac@intracorphomes.com

Owner



Belmont Properties
1810-1111 W Georgia St,
Vancouver, BC V6E 4M3

Belmont Properties has been family owned and operated since it's founding over 50 years ago. Now in their third generation, Belmont remains committed to the future, providing quality residences for their tenants and creating exceptional communities, while looking ahead for avenues of improvement.

Located throughout Victoria and the Lower Mainland, Belmont's properties are professionally maintained and are home to tenants from all walks of life. Belmont Properties takes the utmost pride in each of its properties and have a steadfast commitment to building long-term relationships while providing good housing for its tenants and the highest standards of service.

Architect



SHAPE Architecture
Suite 1462 - 1464 West 7th Avenue
Vancouver, BC V6H 1C1

SHAPE Architecture is an award-winning practice of architects and designers based in Vancouver. Over the last two decades, their projects have strived for design excellence and include high-performance public buildings, innovative housing typologies, and urban mixed-use projects that together form a critical perspective on how we might create an engaging, humane, and sustainable future for public citizens in modern cities and landscapes.

Nick Sully
Principal Architect
n.sully@shapearchitecture.ca

Avery Titchkosky
Project Architect
a.titchkosky@shapearchitecture.ca

Landscape Architect



Connect Landscape Architecture
2305 Hemlock Street
Vancouver BC V6H 2V1

Connect LA is a full-service landscape architecture firm based in Vancouver, British Columbia. Over 35 years of award-winning success make us a recognized leader in the design and transformation of healthy, vibrant communities. Connect is not just a word in our name. It is the foundation of who we are and what we do. The connections to each other, our clients, and our community fuel our collaborative nature.

Oren Mizrahi
Principal
oren@connectla.ca

INTRODUCTION

On Chatham Street Looking North Towards the Proposed North Elevation

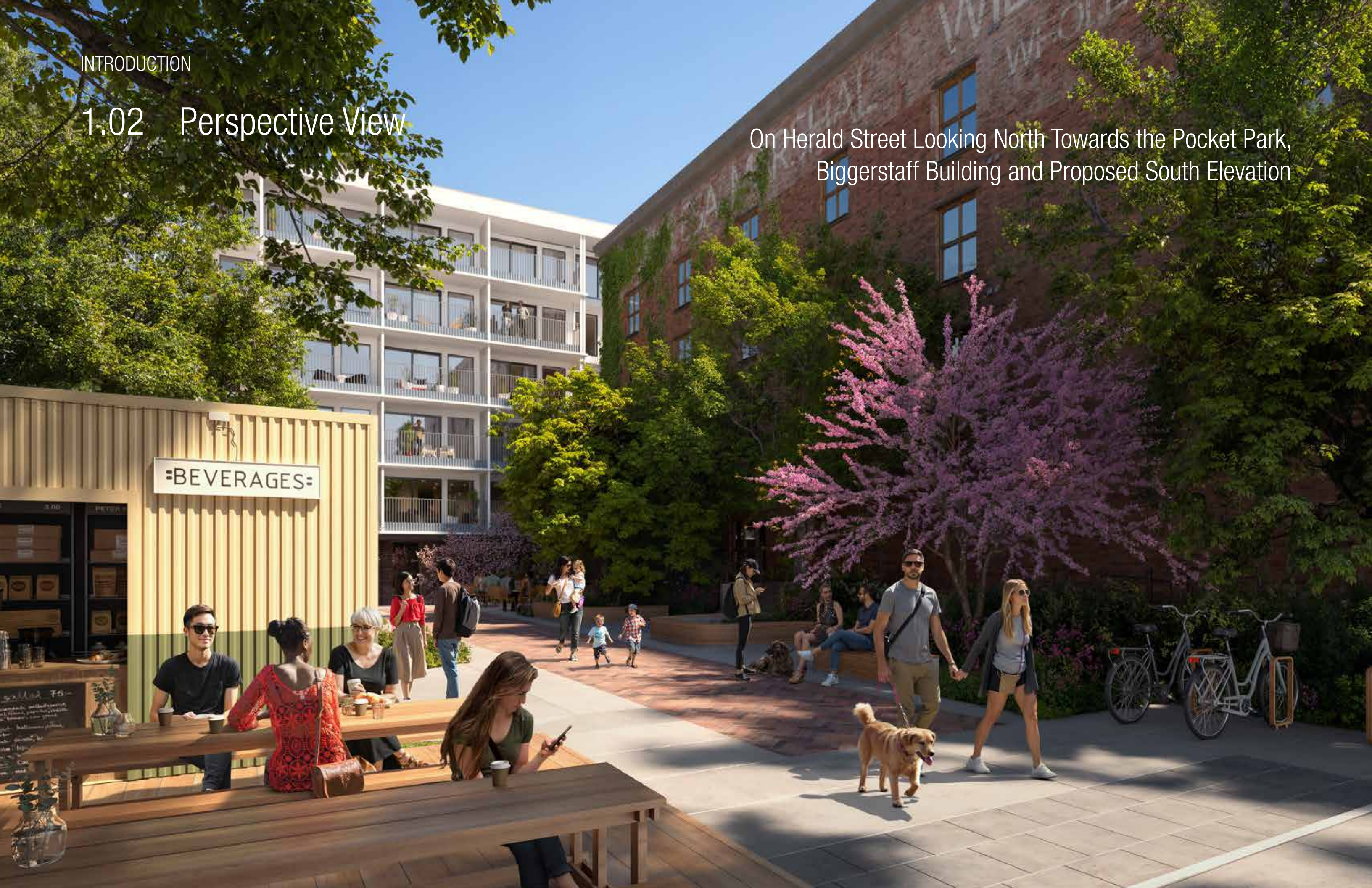
1.02 Perspective View



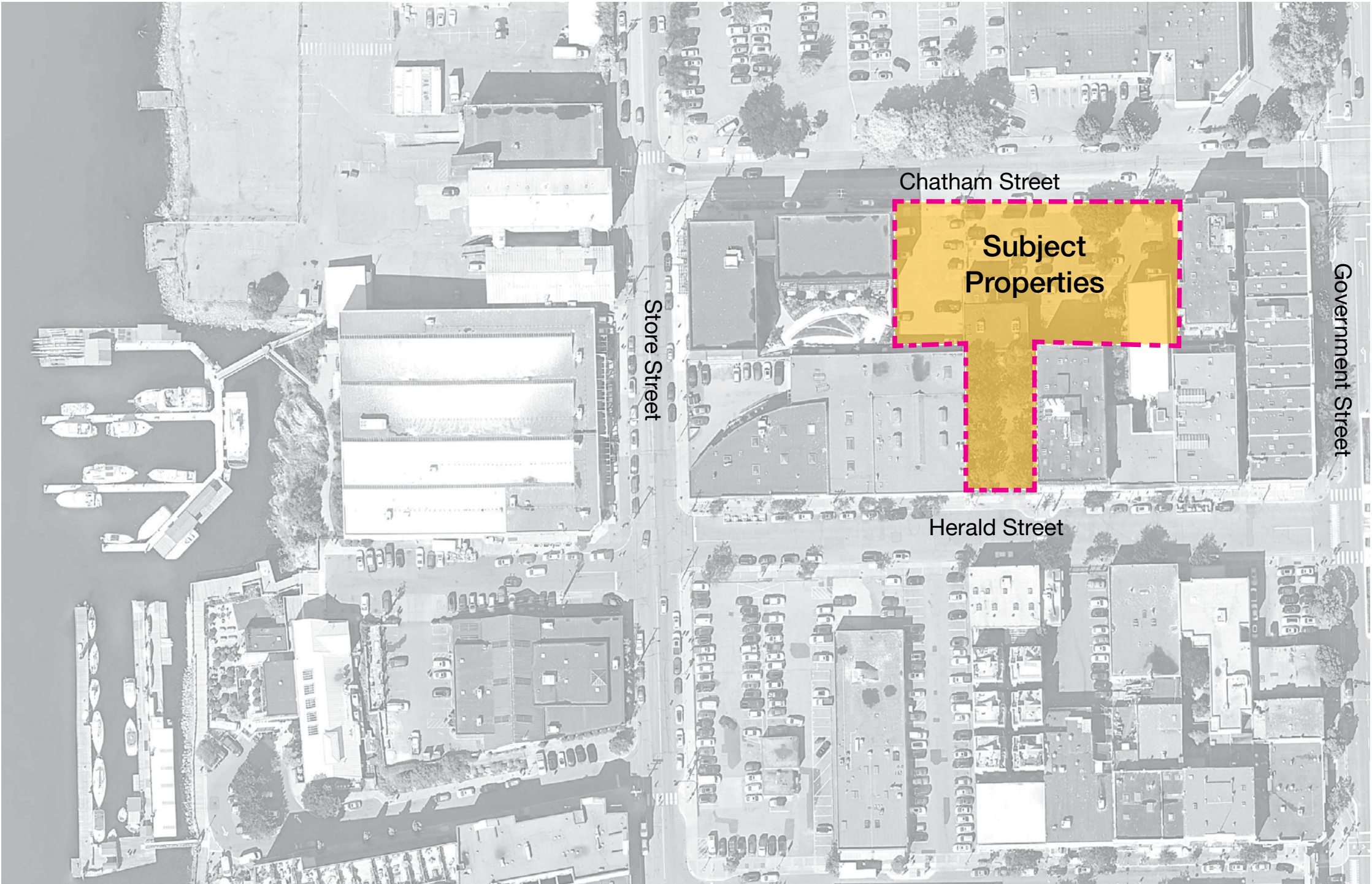
INTRODUCTION

1.02 Perspective View

On Herald Street Looking North Towards the Pocket Park,
Biggerstaff Building and Proposed South Elevation



1.03 Site Location



1.04 Introduction

Intracorp Homes is pleased to submit this proposal for 517–533 Chatham Street and 530–538 Herald Street, located in the heart of Victoria’s historic Old Town. This proposal has been thoughtfully developed in alignment with the Downtown Core Area Plan and Old Town Design Guidelines, reflecting a deep respect for the area’s rich architectural heritage. The project preserves the landmark Biggerstaff and B. Wilson Buildings while introducing a sensitive infill development that complements the existing historic fabric and vibrant urban character.

The project aims to deliver a carefully designed six-storey mixed-use building introducing 134 new homes, consisting of a diverse assortment of unit types to accommodate those in all ages and stages of life. This diverse housing mix supports an inclusive and dynamic downtown community, meeting the pressing demand for accessible, high-quality homes in Victoria’s urban core.

The development will also incorporate sustainable design features to meet BC Energy Step Code 3 and Zero Carbon Emissions Level 4 standards. Ground-floor neighbourhood-serving retail spaces will activate Chatham Street, enhancing the pedestrian experience and supporting local businesses. A new public Pocket Park along Herald Street will introduce much-needed green space, providing a welcoming oasis for residents and visitors alike, and contributing to the overall livability and social fabric of the neighbourhood.

Exceptional connectivity is a key feature of the proposal, extending historic pedestrian passageways and creating new mid-block connections that promote walkability and community interaction. We look forward to collaborating closely with Staff and community stakeholders to refine this proposal and deliver lasting public value through high-quality housing, heritage preservation, thoughtful urban design, and enhanced public amenities that will enrich Victoria’s vibrant downtown.



1.05 Description of Proposal

The application proposes a 6-storey mixed-use building for a total of 134 homes, with an overall site density of 3.0 FAR, guidance provided by the Downtown Core Area Plan and Zoning Bylaw 2018. A variance is proposed to allow for a ~21.5m or 6-storey height, which is contextually appropriate provided the higher density Capital Culture District directly adjacent to the north on Chatham Street, which proposes tower forms with heights up to 14 storeys. The sixth storey contributes to a varied roofline across the Chatham street block, adding architectural interest and variety and creating a sense of uniqueness and distinction to each building’s character along Chatham Street. Furthermore, it advances the intent of the Historic Commercial District characterized by it’s “saw-tooth” streetscape, rising and falling in height.

Development Statistics

- Zoning**
OTD-1
- Proposed Land Use**
Residential, Retail Trade
- Height**
6-Storeys, ~21.5m
- Total Floor Area**
9,547 m²
- Homes**
134
- Residential Floor Area**
7,593 m²
- Commercial Floor Area**
428 m²
- Maximum Allowable FAR**
3.0
- Existing FAR**
1.17
- Proposed Infill FAR**
1.72



1.06 Project Benefits & Amenities

The neighbourhood is rich in history and character, and with limited development opportunities remaining in the area, we view this as a unique opportunity to contribute to its storied context and carry forward its legacy through a contemporary lens. The building features exceptional architecture that offers a modern interpretation of the historic setting, and includes 134 residential units along with ground-floor commercial retail space. The proposed Pocket Park, located within the Chinatown District, will reflect the cultural character of the area while introducing much-needed community greenspace along with pop-up retail to further activate the neighborhood. This project is rooted in the goal of delivering meaningful public benefits across seven key areas.

Creating 134 New Homes in the Downtown Core Area
New homes in the Downtown Core Area, consisting of a diverse mix of unit types, will strengthen the urban fabric and provide residents with diverse options to live, work and play in this growing community, while also helping to meet future housing needs.

New Public Pocket Park
The proposal includes a new 7,400 square feet public Pocket Park on Herald Street, which will add meaningful urban greenspace in an area where no park space exists within a 10 minute walking radius.

Extending a Public Passageway Corridor
The project site connects Herald Street and Chatham Street with a continuous pedestrian connection including a new public Pocket Park, a lush residential Courtyard, and two urban Passages reminiscent of the unique alleyways of Downtown Victoria, directly extending the alleyway network as an extension of Dragon Alley across Herald Street.

Neighbourhood-Serving Retail to Activate the Public Realm
Over 4,600 square feet of retail space facing on Chatham Street will serve the community, while creating new economic opportunities and activating the local public realm. The design of this active public realm takes inspiration from the surrounding historic context and neighbourhood values.

Sustainable and Liveable Courtyard Typology Building
A typology common in the area, which creates a ground floor courtyard amenity for residents, as well as allows natural light and ventilation from two aspects for all units allowing for exceptional occupant comfort. The exterior circulation further reduces overall carbon footprint through passive ventilation and cooling.

Pop Up Retail
Proposed pop-up retail within the Pocket Park will provide opportunities for community connection and public realm activation on Herald Street.

Off-Site Streetscape Improvements
Improving the Chatham Street frontage with offsite pedestrian sidewalk improvements, to connect to a future crosswalk to the north Capital Culture District.

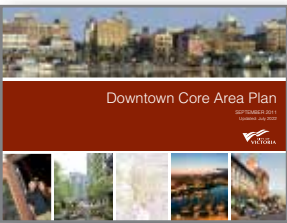


Photo: Looking North onto Herald Street from Dragon Alley

2 Policy Context

2.01 Relevant Policies

The project has been crafted based on the guidance provided in the numerous policies, guidelines, bylaws, bulletins, and building codes which provide for the regulatory framework and vision of the site.



Downtown Core Area Plan

The Downtown Core Area Plan (DCAP) is a long-term vision guiding growth and development in downtown Victoria and surrounding neighborhoods to 2041. It promotes higher-density, transit-oriented development while preserving heritage character, expanding housing options, and enhancing public spaces. The plan aims to balance livability, economic vitality, and sustainability through a framework of strategic policies, urban design guidelines, and a density bonus system.



Old Town Design Guidelines

Victoria’s Old Town Design Guidelines establish form-and-character rules for new constructions and additions in Victoria’s historic core, ensuring new development aligns with heritage context and pedestrian scale through setbacks, façade articulation, and building massing.



Zoning Bylaw (2018) Downtown

The Zoning Bylaw 2018 for downtown Victoria regulates land use, building height, density, setbacks, and design features across four primary zones. It outlines what types of uses are permitted—such as residential, commercial, institutional, and cultural—along with detailed guidelines for building form, active frontages, parking, and public realm integration. The bylaw supports compact, transit-oriented development while protecting heritage character and ensuring compatible urban growth.



Official Community Plan

The Official Community Plan (OCP) for Victoria, is a long-term framework guiding growth through 2041. It outlines a vision for land use, design, transportation, housing, and infrastructure. The plan promotes a compact, walkable city with diverse housing, mixed-use areas, and integrated mobility. It supports sustainable, transit-oriented development, emphasizes climate resilience, and preserves local character. The OCP informs zoning, development approvals, and public investment for coordinated, inclusive planning.



Photo: Looking North along alley from Bastion Square

2.02 Downtown Core Area Plan

The project site is located within the “Historic Commercial District” of the Downtown Core Area. There are five objectives specific to this district and site that are supported by a number of policies and actions, outlined as follows. In addition, the following pages make reference to specific policies that the project supports. It is the intent of the proposed project to support each of these objectives:

1. “That the placemaking character of the HCD is retained and continues to contribute to Victoria’s competitive advantage as a destination for retail, entertainment and tourism.”

Project Response: The design and planning intent of the project are directly informed by the historic context and urban fabric of the HCD, and aspires to reinforce the character of the neighbourhood.

2. “That the HCD becomes a model for sensitive integration of new infill development and public realm improvements into the historic environment.”

Project Response: The proposed courtyard typology creates exceptional livability of homes through dual-aspect exposure, allowing for natural ventilation and passive cooling. Ground floor retail and pocket park space activates the public realm with neighborhood amenity.

3. “That the HCD is able to attract and accommodate growth in the tourism, retail, entertainment sectors.”

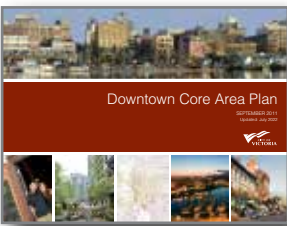
Project Response: The proposed retail further accommodates growth in retail through the addition of approximately 4,600 sf of leasable commercial space, along with Pop-up Retail in the Pocket Park.

4. “That the compact, diverse, low-scale and small-lot character of the HCD is retained.”

Project Response: The design intent is sensitive to the historic property scale, and intends to break down the building scale to fit within this context through notable design moves.

5. “That the local population base is increased through the integration of residential dwellings on the upper storeys of existing buildings.”

Project Response: The project adds 134 new homes, with a diverse unit mix to accommodate those in all ages and stages, and includes family size homes.



2.02 Downtown Core Area Plan



Introduction

2.1. “Creating memorable streets and places that serve both to attract people and to benefit the community.”

Project Response: The building design is unique while being contextual to the surrounding heritage architecture, along with the Pop-up Retail to create an inviting attraction benefiting the community.

2.2. “Celebrating Victoria’s architectural and cultural heritage at every opportunity.”

Project Response: The combination of classical proportions and brick cladding done in a clean modern design, elevates the streetscape.

2.4. “Incorporating and linking public amenity spaces, such as open spaces, parks, plazas, pathways and the waterfront, throughout the Downtown Core Area.”

Project Response: The Pocket Park adds deficient greenspace to this area of downtown, while the direct pedestrian passageway connection through the site linking Herald and Chatham Streets, extends the network of alleyways further north.

3.2. “Using Greenways to create attractive and safe transit/walking links throughout the Downtown Core Area.”

Project Response: The addition of the Passages and Pocket park continue the network of pedestrian connections across this site.

3.3. “Providing safe and direct walking connections throughout the Downtown Core Area that also link public spaces, such as parks, plazas, open spaces and the waterfront.

Project Response: The inclusion of the Passages, Courtyard and Pocket Park continue the network of public spaces across the site.

3.4. “Concentrating higher density and transit-supportive new development within walking distance of the Douglas Street transit corridor.”

Project Response: The project site is located within a 5 minute walk of Douglas Street, and provides density to support the adjacency to the transit corridor.

4.1. “Encouraging high quality architecture and diversity in the design of buildings and surrounding public areas.”

Project Response: The building design takes inspiration from the surrounding context while interpreting it in a modern approach.

4.2. “Recognizing historic buildings for their value and benefit to the Downtown Core Area, and encouraging their rehabilitation, seismic upgrading and integration with new development.”

Project Response: The proposal includes the retention of the existing Biggerstaff heritage building.

4.3. “Supporting context-sensitive developments that complement the existing Downtown Core Area through siting, orientation, massing, height, setbacks, materials and landscaping.”

Project Response: The building design is contextual to the existing urban fabric in it’s siting, massing, height, setbacks and materials.

5.1. “Developing diverse housing types and sizes to attract both individuals and families, including smaller units as well as rowhouses, townhouses and stacked townhouses”.

Project Response: The proposal includes a variety of unit types and sizes, including lofts and studios as well as 1-, 2-, and 3-bedroom units. Almost all units have dual aspect orientation for access to natural light and air from two directions.

2.02 Downtown Core Area Plan



Historic Commercial District

3.22 “...accommodates a diverse range of active commercial uses such as retail stores, cafés and restaurants, along with complementary uses such as multi-residential development...”

Project Response: Neighbourhood-serving, ground-oriented retail is located along the entire length of Chatham street to function as a destination and activate the generous public realm, with 5 stories of multi-unit residential above to provide more housing options to the neighbourhood.

3.24. “Locate active commercial uses such as retail stores, cafés, restaurants... at the street level to encourage increased pedestrian activity and complement the public realm.”

Project Response: Refer to response to item 3.22.

3.29 “...ensure new development is integrated sensitively into the historic context of the HCD.”

Project Response: The design carefully takes design cues from the historic context, including materiality, proportion, scale and architectural detailing.

3.30. “Continue to support policies, regulations and programs to protect heritage buildings and encourage their rehabilitation, seismic upgrade and re-use.”

Project Response: Through sensitive infill development, this addition supports the retention of neighboring heritage buildings ensuring a maintained sense of place.

3.31. “Retain the HCD’s current compact, diverse, low-scale and small-lot character.”

Project Response: The building scale is broken down into four sections to reflect the historic property plat width, thus reflecting the smaller scale heritage character.

3.33 “Locate Residential Units on upper stories...except where residential dwellings are located directly adjacent to...a through-block walkway.”

Project Response: The majority of residential units are located on floors 2 through 6, while there are several loft units located on the ground floor, accessed via the private Courtyard.

2.02 Downtown Core Area Plan



Transportation and Mobility

5.4. “Complete the pedestrian network connections as identified on Map 16 through well-designed streetscape improvements.”
Project Response: The project incorporates a Through-Block pedestrian connection at a location identified as a priority on Map 16. This important continuity of the public realm through the site extends a robust network on alleyways further north and beneficially breaks the scale of the city block down for greater porosity.

5.8. “Ensure that the design and improvement of the pedestrian network considers and integrates opportunities to improve access and movement for people with varying mobility needs.”
Project Response: The pedestrian connection through the site is fully accessible, with a series of thoughtfully designed ramps where required to navigate existing site elevation changes.

5.25. “Improve the amount and design of pedestrian lighting, especially in areas that have higher concentrations of pedestrian activity.”
Project Response: Public realm lighting is thoughtfully integrated into the north elevation to enhance the architectural design and create a pleasant and well-lit pedestrian experience. This approach carries through the Passages, Courtyard and Pocket Park.

5.26. “Continue to incorporate universal access standards within the public realm to improve access for people with varying mobility needs.”
Project Response: See response to 5.8.

5.27. “Ensure that sidewalks are wide enough to support desired levels of activity and to maintain an adequate clear zone for pedestrian travel.”
Project Response: The building design includes an additional setback at the ground level to accommodate the

activation of the public realm by the commercial retail units, while still allowing ample space for pedestrian travel in front of the site.

5.28. “Provide improved street lighting throughout the pedestrian network that ensures adequate levels of night time illumination.”
Project Response: See response to 5.25.

5.30. “Consider opportunities to redesign and replace key pedestrian connections with new through-block walkways within the Priority Through-Block Walkway Areas identified in Map 16.”
Project Response: See response to 5.4.

5.32. “Ensure that the design of new through-block walkways consider and reflect the design criteria described in Appendix 4.”
Project Response: Further design development is required per the design criteria of Appendix 4.

5.38 “Mid-Block Street Crossings” by providing a “mid-block walkway” aligned to a new “mid-block street crossing.”
Project Response: A new mid-block street crossing is proposed to generally align with the Passages on the subject site, as well as the proposed ‘laneway’ included in the new development across Chatham Street.

2.02 Downtown Core Area Plan



Urban Design

6.25 “New Parks, Plazas and Open Space” by contributing a new urban park to an area that is currently limited in it’s greenspace.”

Project Response: The area surrounding the project site is deficient of nearby greenspace. The inclusion of the Pocket Park with Pop-up Retail will activate the public realm of the neighborhood.

6.29. “Ensure that new parks, plazas and open space are located along prominent or active streets in order to contribute to street vitality and to improve their visibility.”

Project Response: The Pocket Park with Pop-up Retail is located directly adjacent Herald Street, with an inviting and open visual connection to the street along the entire width of the site. There is also a direct connection through the Passages from Chatham Street.

6.33. “Ensure that parks, plazas and open spaces are directly adjacent to and

provide direct access to the pedestrian network, cycling network or Greenways.”

Project Response: There is a cycling route on Chatham Street, which would be directly connected to the Pocket Park and Pop-up Retail via the Passages.

6.34. “Where an urban plaza is not located on a corner site, consider a direct connection to a through-block walkway or a mid-block street crossing.”

Project Response: The Pocket Park is not located on a corner, however is connected via a through-block walkway (The Passages) and a mid-block street crossing for both Chatham Street and Herald Street.

6.37. “Encourage the use of high quality finishing materials with detailed architectural quality.”

Project Response: The proposed material palette takes direct inspiration from the immediate historic context, and thus utilizes brick as part of the cladding system,

along with similar paving zones for the landscape design.

6.38. “Ensure that all new parks, plazas and open spaces are individually designed to reflect and complement the surrounding context and to provide a distinctive identity and character.”

Project Response: The Pocket Park with Pop-up Retail faces onto Herald Street and is thus considered under the Chinatown District so the design takes inspiration from this neighbourhood. Given it’s direct connection to Chatham Street via the Passages, there is also some influence from the Old Commercial District design guidelines.

6.39. “Ensure that the overall design, layout and materials result in attractive, identifiable and welcoming spaces.”

Project Response: The clarity and consideration of the public realm spaces was paramount in their design development. The Pocket Park, Passages and Courtyard

were all considered individually to develop their character, while also curated as a continuous network of spaces and experiences across the site. Materiality is used as a subtle wayfinding and programming guide, while landscaping was strategically deployed to dial in visibility across the spaces, balancing privacy with visual connection.

6.43. “Consider integrating the Crime Prevention Through Environmental Design (CPTED) principles along with a range of other design elements to animate and improve the attractiveness, safety and usability all new parks, plazas and open spaces...”

Project Response: CPTED principles were incorporated early as the design developed. Some strategies used include activating the public realm with adjacent uses, allowing for clear sightlines across the site, and utilizing strategic lighting and landscaping to delineate spaces and uses.

2.03 Old Town Design Guidelines

This development responds thoughtfully to Victoria’s Old Town Design Guidelines, ensuring new construction complements the historic character of its context. The proposal addresses five key areas: urban pattern, scale and massing, materials and façade design, public realm enhancements, and heritage integration—supporting a cohesive, respectful, and vibrant urban environment. Critical design elements from the Old Town Design guidelines include:



Urban Pattern and Street Rhythm

The proposal responds to the historic lot pattern and fine-grain rhythm of Old Town. Massing is articulated to reflect narrow frontages and consistent setbacks, reinforcing the visual continuity along Chatham and Herald Streets. The pocket park on Herald enhances pedestrian connectivity and aligns with the intent to create open, human-scaled spaces within the street network.

Scale and Massing

The proposal reflects the scale and proportion of adjacent heritage buildings. Building height and bulk transition sensitively, particularly where the development interfaces with Chinatown and the Old Commercial District. Varied rooflines, step-backs, and vertically-oriented elements are incorporated to reduce perceived mass and maintain a comfortable pedestrian scale.

Materials and Façade Design

The design incorporates durable, high-quality materials—such as brick, metal, and punched windows—that

reflect the texture and character of Old Town. Façade articulation includes a modern interpretation of cornices, recessed entries, and traditional storefront proportions, maintaining a respectful dialogue with nearby heritage structures.

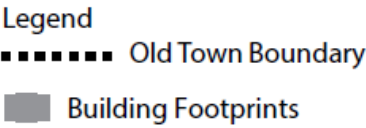
Public Realm and Streetscape

The proposal enhances the pedestrian experience through active frontages, transparent glazing at street level, and fine-grain detailing. The Herald Street pocket park introduces new landscaping, seating, and opportunities for public gatherings that celebrate the area’s cultural identity and invite community use.

Heritage Integration and Contextual Fit

While contemporary in design, the proposal is informed by the surrounding historic context. New architectural elements harmonize with Old Town’s character-defining features, offering a respectful and contextually sensitive evolution of the urban fabric.

Project Site



Map: Old Town Design Guidelines (2019)

2.04 Zoning Bylaw (2018) Downtown

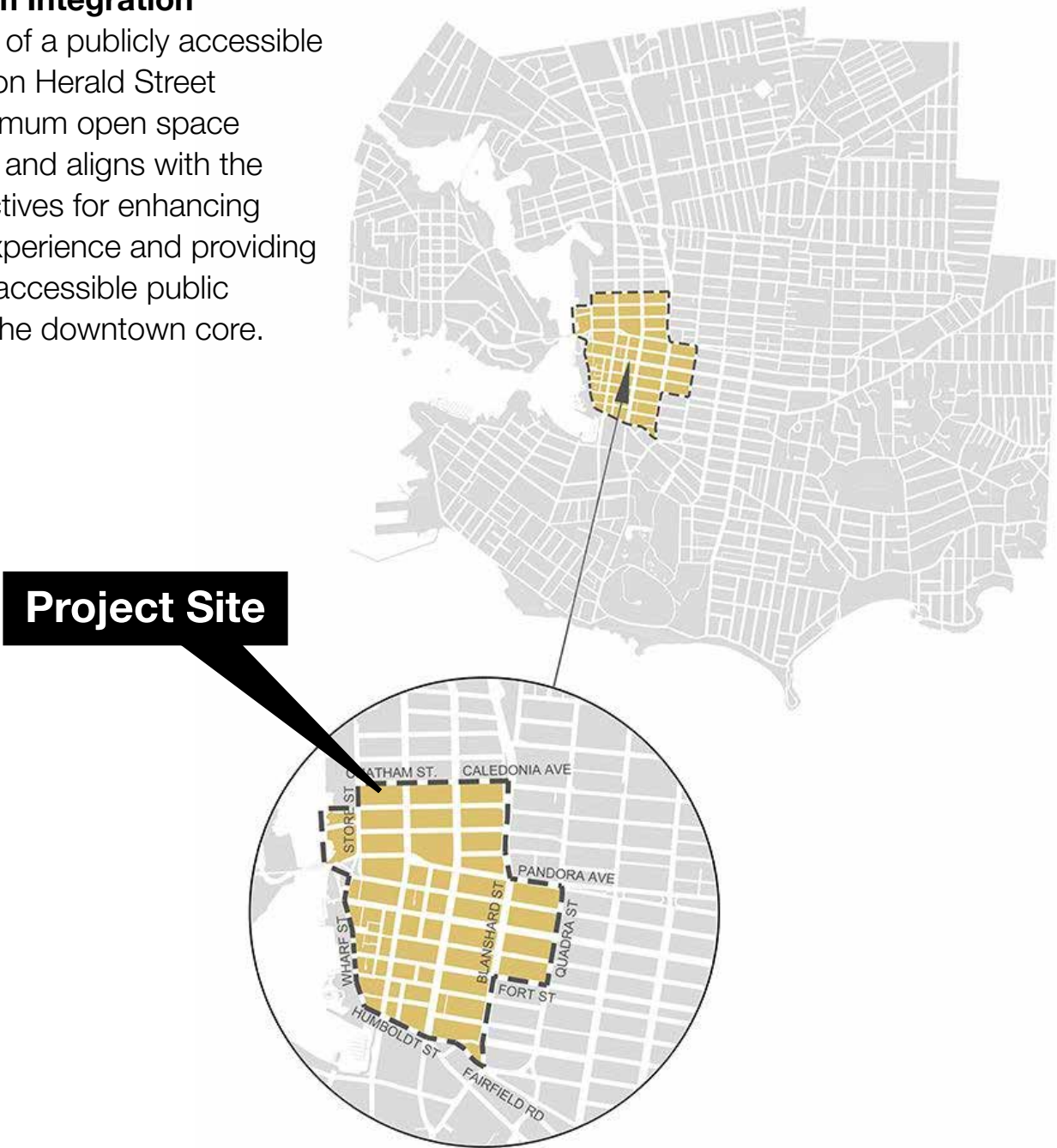
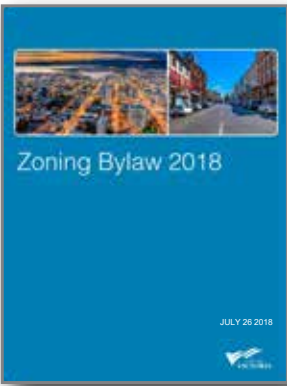
This proposal aligns with the City of Victoria’s Downtown Zoning Bylaw (2018), supporting key objectives related to land use, form, and livability. It addresses five core areas: use and density, height and massing, setbacks and street interface, parking and access, and public realm integration within the downtown planning framework.

Height and Massing
The building height is contextual and integrates thoughtful massing transitions to adjacent heritage contexts, especially along the Chatham and Herald frontages. Step-backs and vertical elements reduce the visual impact while maintaining a strong street wall, consistent with the form and character policies of the bylaw.

Setbacks and Street Interface
The proposal is aligned with front, side, and rear setback requirements, supporting a continuous streetwall along Chatham St., and creating a strong street interface and supporting pedestrian-oriented design. Active commercial frontages and residential entries contribute to animation and safety at the ground level, aligning with zoning requirements for building orientation and interface.

Parking and Access
The project complies with the bylaw’s reduced parking requirements for downtown developments. It incorporates secure bicycle storage and shared vehicle access, promoting sustainable transportation options and reducing reliance on private vehicles.

Public Realm Integration
The inclusion of a publicly accessible pocket park on Herald Street exceeds minimum open space requirements and aligns with the bylaw’s objectives for enhancing pedestrian experience and providing high-quality, accessible public amenities in the downtown core.



Map: Zoning Bylaw (2018) Downtown document

2.05 Official Community Plan

This development aligns with the goals and policies of Victoria’s Official Community Plan (OCP), supporting a walkable, resilient, and livable urban core. The proposal addresses five core OCP themes: urban design and placemaking, land use and density, transportation and mobility, climate resilience, and heritage and cultural integration—reinforcing the city’s vision for sustainable, inclusive, and high-quality development.

Urban Design and Placemaking

The project supports the OCP’s emphasis on human-scaled design, active streetscapes, and public realm improvements. Fine-grain articulation, contextual massing, and pedestrian-oriented frontages create a welcoming and vibrant street experience, particularly along Chatham and Herald Streets. The inclusion of a pocket park furthers the goal of enhancing neighbourhood character and public gathering spaces.

Land Use and Density

Consistent with the Core Residential and Urban Place Designations, the proposal supports compact, mixed-use development within the Downtown Core. The building’s form and density promote efficient land use while accommodating future population and economic growth in a manner that respects the existing context.

Climate Resilience and Sustainability

Design strategies include energy-efficient systems, sustainable materials, and urban greening, contributing to OCP targets for greenhouse gas reduction and climate adaptation. The project reinforces the city’s commitment to sustainable growth and environmental stewardship.

Transportation and Mobility

The development prioritizes walkability and supports multi-modal transportation options through minimal on-site parking, bicycle storage, and active ground-floor uses. These elements align with OCP policies to reduce car dependence and improve pedestrian and cyclist connectivity.

Heritage and Cultural Integration

Rooted in the historical context of Old Town, the proposal reflects the OCP’s goals to conserve and celebrate cultural heritage. Contemporary architecture is carefully calibrated to complement heritage character, supporting a respectful and adaptive evolution of the urban fabric.



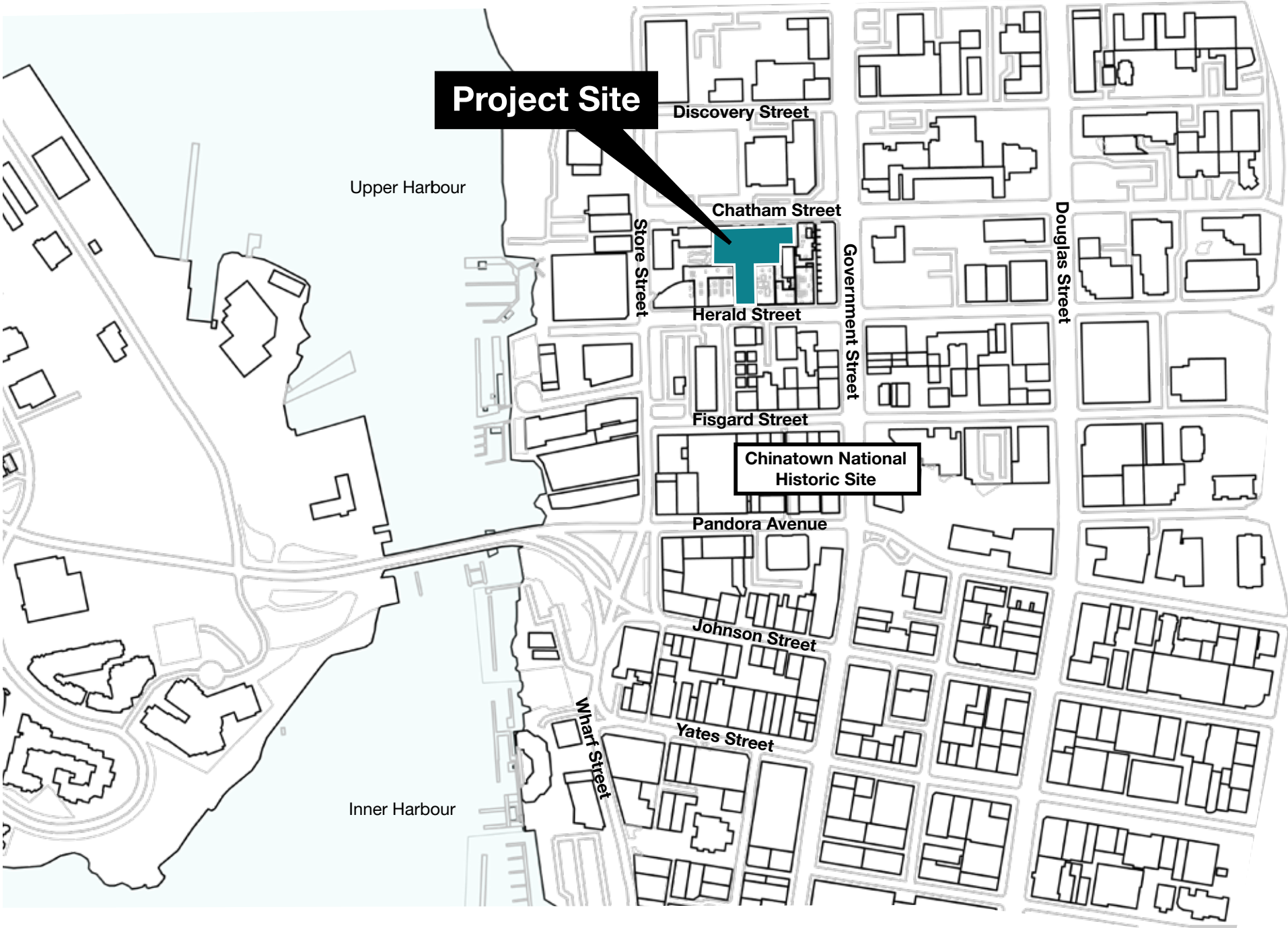
Photo: Waddington Alley, Victoria



3 Site Analysis

3.01 Site Location

Located between Herald and Chatham Streets in Victoria, BC, the site sits at a unique convergence point between three defining areas: Chinatown, the Old Commercial District, and the Waterfront. From Herald Street, it connects to the historic vibrancy of Chinatown, with its narrow alleyways, rich cultural heritage, and fine-grain urban fabric. Along Chatham Street lies the Old Commercial District, characterized by heritage buildings, brick facades, and a walkable streetscape that reflects Victoria’s early commercial roots. To the west, proximity to the waterfront and the emerging Capital Culture District ties the site into a growing cultural and recreational hub, making it a key connector across history, commerce, and public realm.

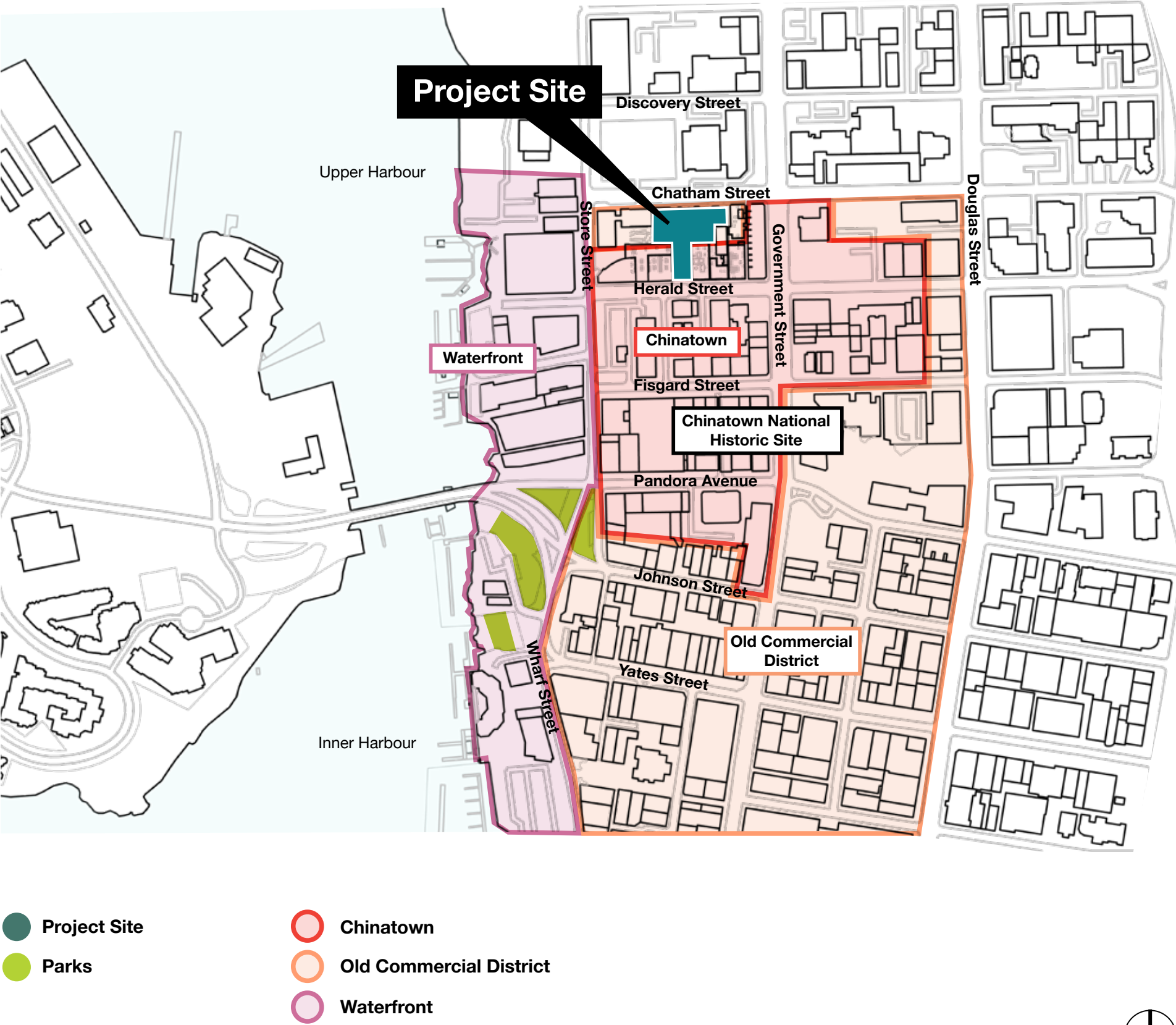


● Project Site



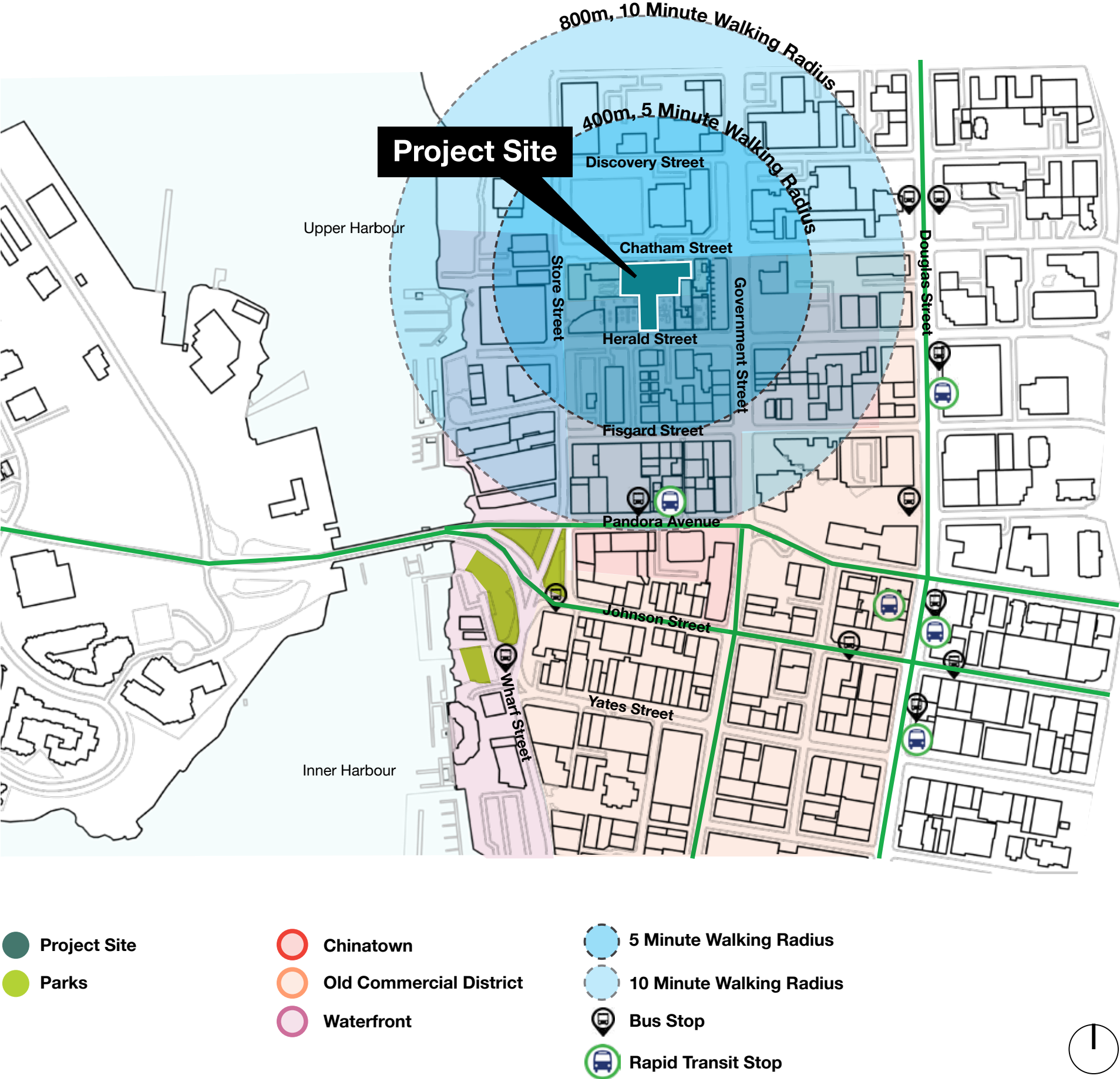
3.02 Planning Districts

The proposed development on Chatham Street, with a pocket park on Herald Street, is uniquely situated at the intersection of three key downtown Victoria planning districts: Chinatown, the Old Commercial District, and the Waterfront. This location offers a rare opportunity to enhance connectivity and character across these diverse areas. The project respects the rich cultural heritage of Chinatown, reinforces the historic urban fabric of the Old Commercial District, and strengthens pedestrian links to the revitalized Waterfront. The Herald Street pocket park will provide much-needed green space, activating the streetscape and enhancing livability. The design balances heritage sensitivity with contemporary urban needs, aligning with the City's vision for a vibrant, inclusive, and walkable downtown.



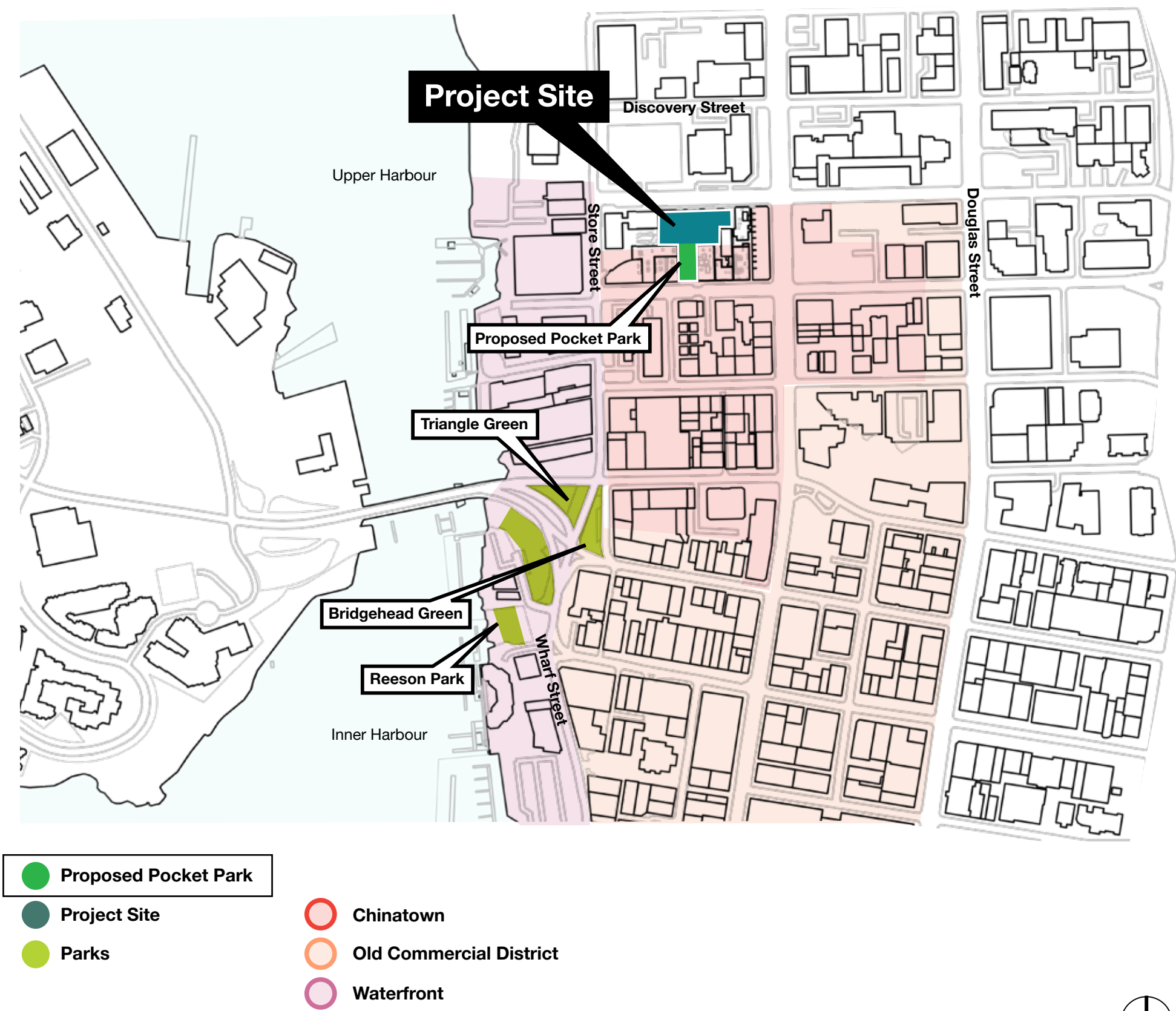
3.03 Site Context

Within a 5- to 10-minute walk from Herald and Chatham Streets in Victoria, BC, residents and visitors enjoy unparalleled access to key urban amenities. The area is well-connected to public transit, including major BC Transit routes along Douglas and Government Streets, providing seamless travel throughout the city. A short stroll leads to vibrant commercial corridors featuring cafés, boutiques, grocery stores, and local breweries. Public access is abundant, with nearby parks, the Inner Harbour, and the Galloping Goose Trail enhancing walkability and recreation. This prime location blends convenience, connectivity, and community, making it a central hub in Victoria’s evolving urban landscape.



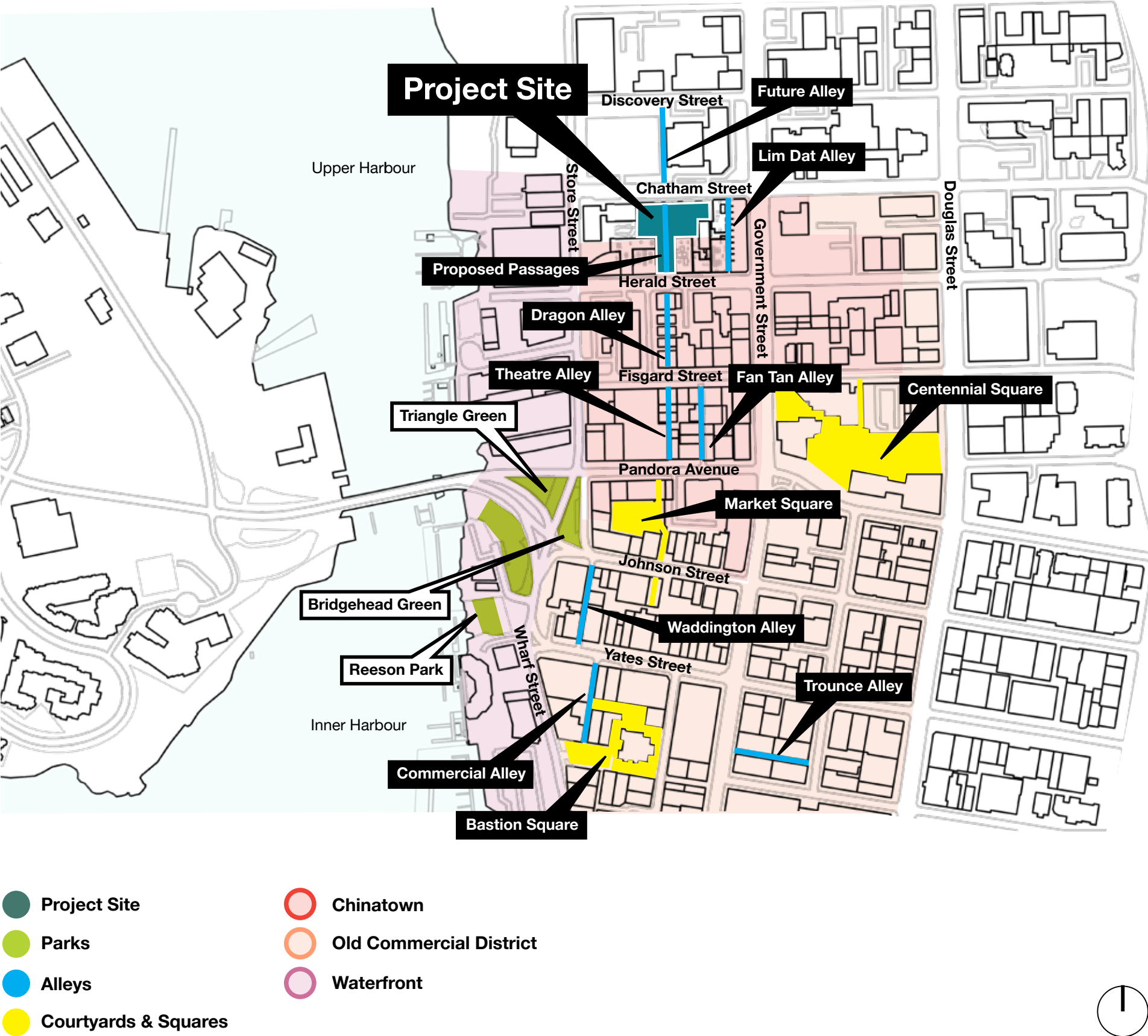
3.04 Greenspace

Downtown Victoria is home to cherished green spaces like Triangle Green, Bridgehead Green, and Reeson Park, offering essential urban respite. However, as density increases, there becomes a growing need for green spaces that connect directly to the city’s network of alley walkways. The proposed pocket park on Herald Street addresses this need by activating an underutilized space and linking it to adjacent pedestrian routes. This intimate green retreat will enhance livability, invite foot traffic, and support local businesses by creating a welcoming, walkable environment. By bridging public space with urban movement, the park becomes a vital connector and community asset in Victoria’s core.



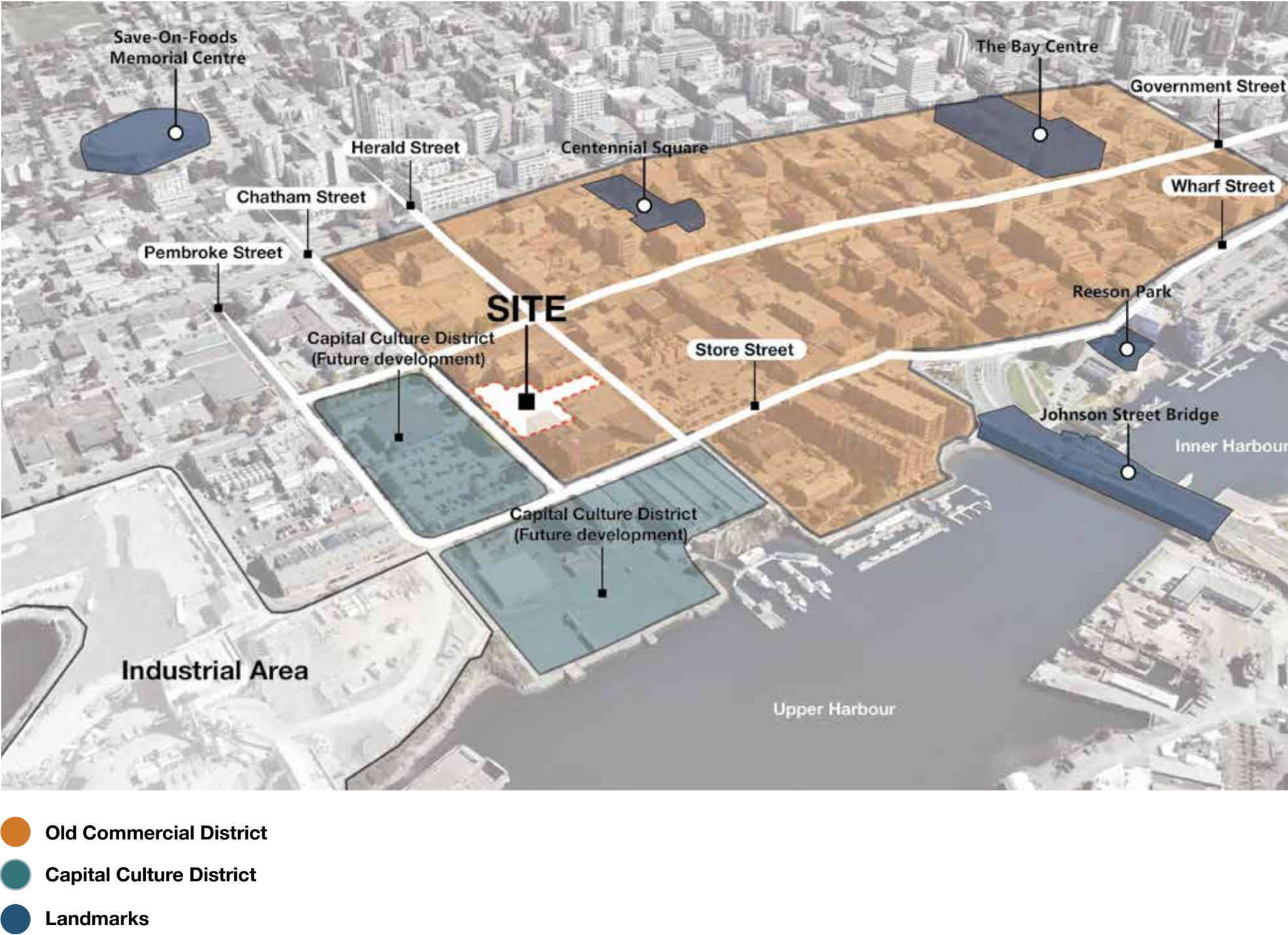
3.05 Public Space

Within Old Town’s rich network of courtyards, squares, and alleyways, the site marks the northern edge of an important public space corridor. Directly across Herald Street, Dragon Alley aligns with the proposed pocket park, reinforcing a continuous, human-scaled pedestrian experience. This project seeks to extend and reinterpret this network by integrating new public space into the site in a contemporary yet contextually sensitive way. The pocket park not only enhances pedestrian connectivity but also contributes to the broader public realm. Along Chatham Street, active ground-floor uses further animate the street, strengthening the area’s identity as a walkable, welcoming urban environment.



3.06 Aerial Context

This proposal, located in Victoria’s Historic Commercial District, serves as a key catalyst for future development in the city’s north end. Positioned directly adjacent to the Capital Culture District development, it strengthens the momentum for revitalization in this emerging cultural and commercial hub. Its integration of heritage character with modern design signals a thoughtful approach to urban growth, encouraging complementary investments and attracting residents, businesses, and creatives. As the area evolves into a vibrant mixed-use district, this project plays a pivotal role in shaping a dynamic future for Victoria’s downtown north end and surrounding neighborhoods.



3.07 Future Development

The future development of Chatham Street will be strongly shaped by the Capital Culture District, which is emerging as a cultural and creative anchor in Victoria’s north end. This district sets the tone for a vibrant, arts-oriented urban identity, encouraging developments that prioritize public space, heritage integration, and community use. Early projects in the area signal alignment with the City’s broader goals of walkability, density, and character-driven growth. The proposed 14-storey with commercial podium build momentum, attracting further investment and reinforcing Chatham Street as a key corridor in Victoria’s evolving downtown. The synergy of arts, culture, and urban design supports a bold, future-facing vision.



Artistic renderings of the Capital Culture District development in Victoria. (D’Ambrosio Architecture & Urbanism/Reliance Properties)



3.08 Existing Site

Transforming the site at Herald and Chatham from a surface parking lot into a residential complex with a central Courtyard and Pocket Park along with neighborhood serving retail, significantly enhances Victoria’s downtown and public realm. This change replaces underutilized land with much-needed housing, while introducing inviting, human-scaled public spaces and commercial opportunities. The Courtyard offers semi-private communal space for residents, fostering social interaction and urban greenery. The Pocket Park, accessible from the street and nearby alleyways, creates a vibrant link in the pedestrian network, encouraging walkability and neighborhood connection. Together, these elements activate the streetscape, support local businesses, and contribute to a more livable, inclusive, and sustainable downtown environment.

Herald Street looking South



Herald Street looking North



Chatham Street looking West



Chatham Street looking South



3.09 Existing Streetscape

Herald Street looking North



Chatham Street looking South



3.10 Neighbourhood Character

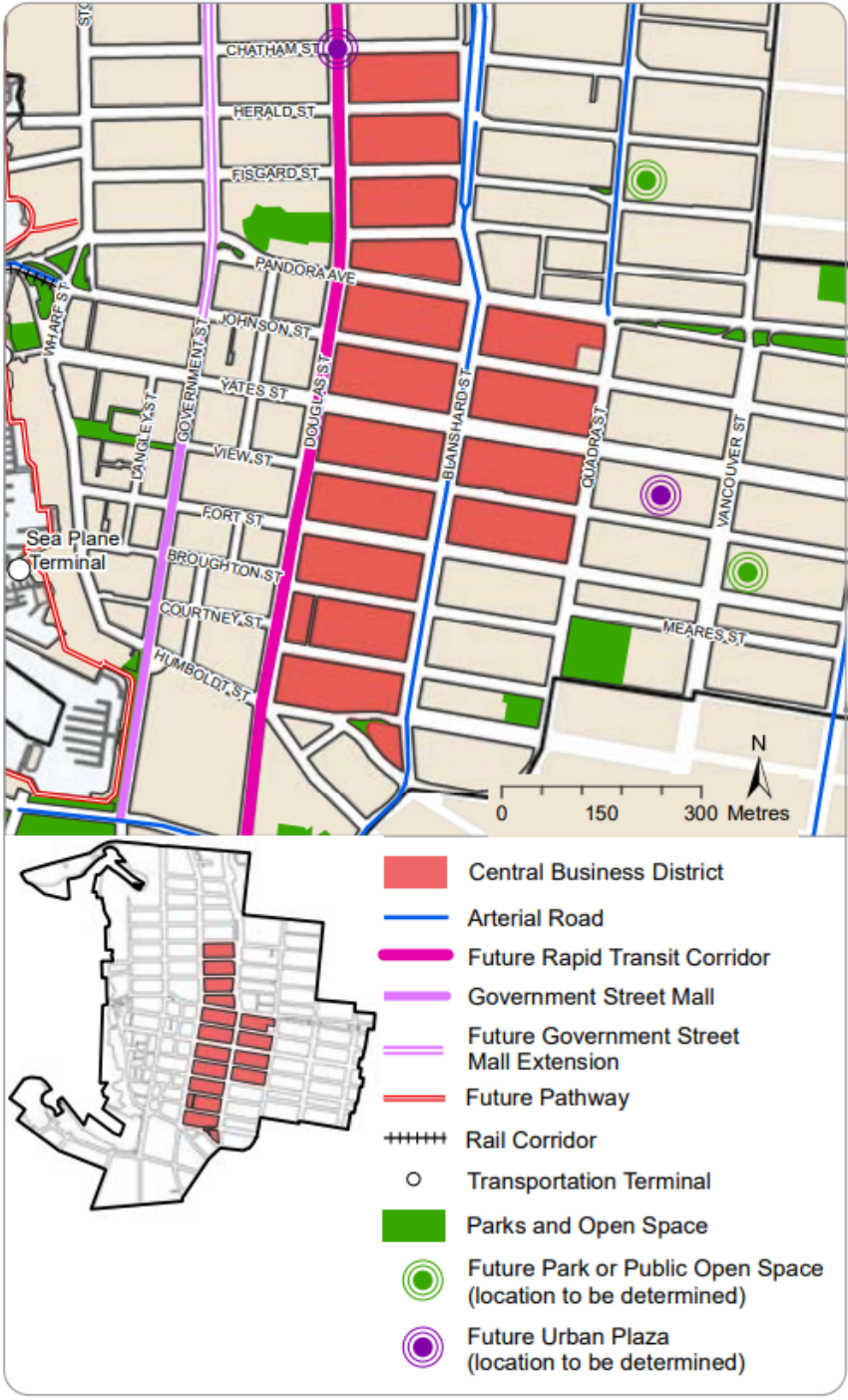
Victoria’s Downtown—particularly within the Old Town District—is distinguished by its historic masonry buildings, narrow passages, and intimate urban scale. Notable features such as the Downtown passages and Dragon Alley reflect a fine-grain network of pedestrian routes, small frontages, and layered architectural expressions. The neighborhood's character is defined by a cohesive material palette of red and buff brick, stone detailing, and traditional storefronts with recessed entries and punched windows. These elements foster a human-scaled, walkable environment rich in texture and history. This proposal draws directly from that context, emphasizing brick construction, vertically oriented windows, and active commercial frontages. The design respects the surrounding architectural language while contributing to the continuity of Old Town’s distinctive urban fabric.



Photos of alleyways throughout Downtown Victoria including Fan Tan Alley, Dragon Alley and the Johnson Street shopping arcade.

3.11 Land Use Designation

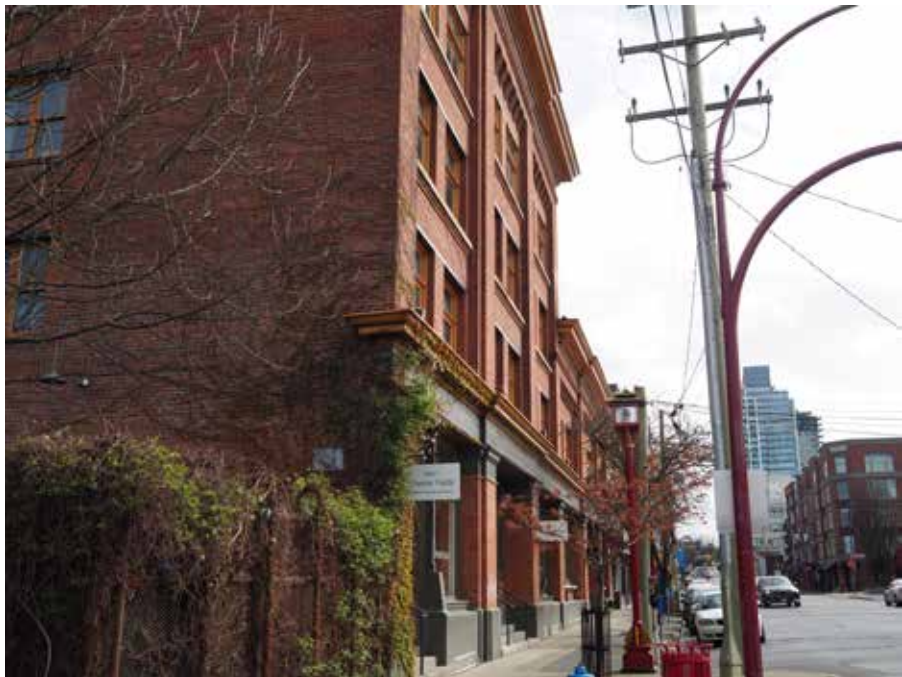
The proposed development, located along Chatham Street with a publicly accessible pocket park on Herald Street, is positioned at the intersection of several key land use designations: the Historic Commercial District, Rock Bay District, and Central Business District. This location supports the City of Victoria’s vision for a vibrant, inclusive, and transit-oriented downtown. The proposal contributes to this objective by reinforcing active, mixed-use frontages adjacent to a designated Future Rapid Transit Corridor, encouraging sustainable transportation choices and urban vitality. The inclusion of the pocket park aligns with the Downtown Core Area Plan’s goals for expanding access to public open space, especially in areas of increasing residential and commercial density. The green space serves as a pedestrian-friendly amenity that enhances connectivity between neighbourhoods, encourages social interaction, and strengthens the sense of place. Together, the development and park provide a thoughtful response to current and future land use priorities, contributing lasting value to the surrounding community.



Source: Downtown Core Area Plan

3.12 Historic Context and Retention

The proposed development respects and celebrates the heritage significance of the site by preserving two of downtown Victoria’s most iconic historic structures—the Biggerstaff Building and the B. Wilson Building. These landmark buildings contribute greatly to the area’s rich architectural character and sense of place. The new infill development is thoughtfully designed to draw inspiration from these heritage assets, ensuring it complements and integrates harmoniously with the surrounding historic fabric. By retaining and enhancing the existing heritage features while introducing new architecture that reflects their form, scale, and detailing, the project strengthens the neighbourhood’s unique identity. It supports both cultural preservation and sensitive, sustainable urban growth within Victoria’s historic core.



Photos of the existing Biggerstaff Building from Herald Street and within the existing courtyard.

4 Rezoning Rationale

4.01 Rezoning Proposal Summary

1. Neighbourhood Serving Retail

Over 4,600 square feet of retail space facing on Chatham Street will serve the community, while creating new economic opportunities and activating the local public realm.

2. The Passages

This improved public connection, evoking the character of the existing alleyway network, would further enhance the connectivity through this neighbourhood in downtown Victoria. These upgrades would also include off-site enhancements to infrastructure, public spaces, and accessibility.

3. Pocket Park

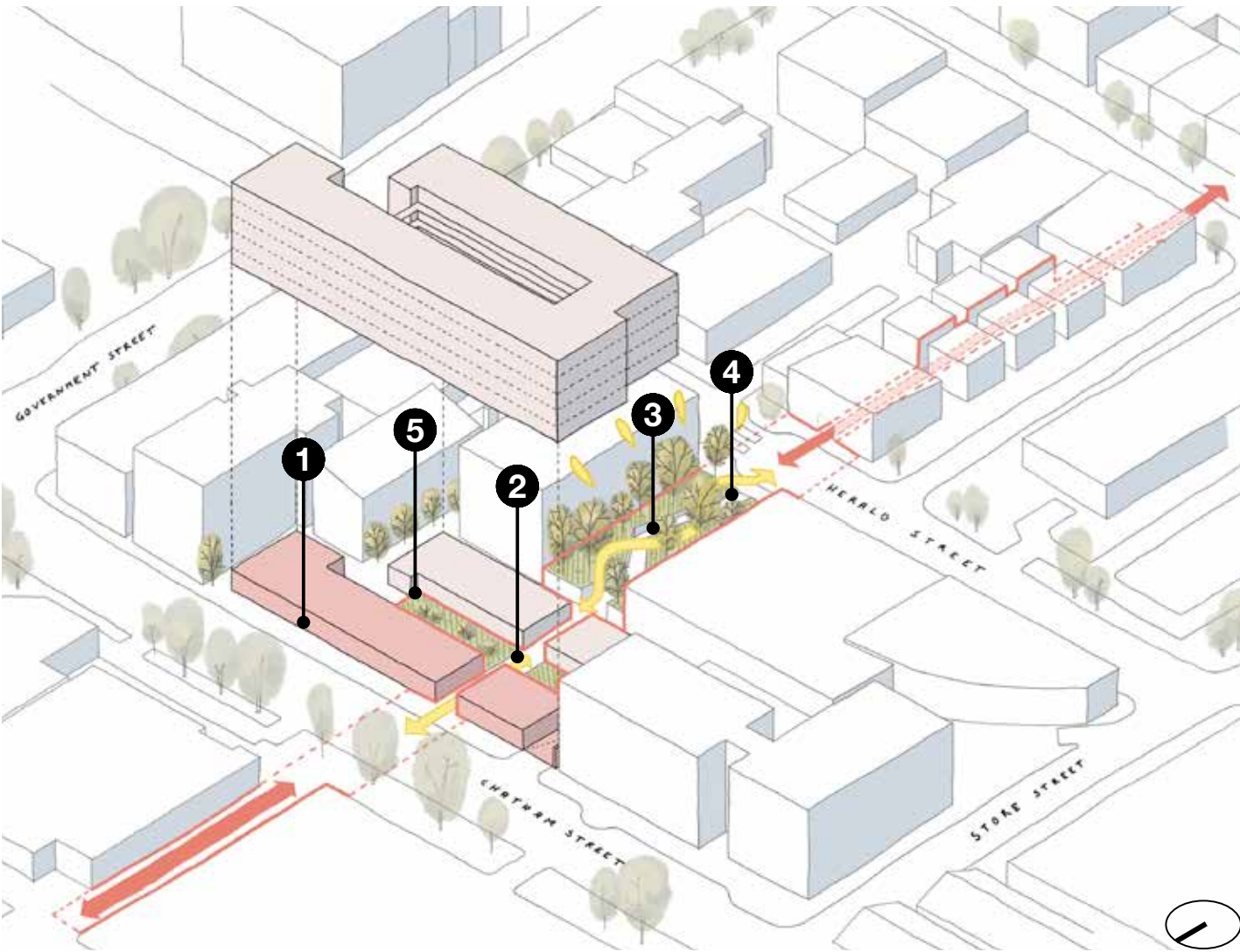
The proposed public Pocket Park along Herald Street, at approximately 7,400 square feet, serves as a gateway for pedestrians, seamlessly linking to Chatham Street via the semi-public Passages and Courtyard. Offering a variety of seating options and luscious planting, this park will provide both residents and the greater community with a place to socialize and relax.

4. Pop-up Retail

The addition of Pop-up Retail within the Pocket Park will enliven the space and adjacent street, and invite residents and the community to connect with their neighbourhood, thus fostering activity, liveability, and supporting Downtown Core objectives.

5. The Courtyard

The two Passages converge on the central Courtyard, which is a semi-private amenity for the residential units, experienced both at grade and at the level of the residential circulation. The public Passages also pass through this naturally lit, landscaped space.



Dragon Alley, this pedestrian path is to the South of the development



Waddington Alley, the incorporation of green and planting along pathway



Market Square exterior circulation around the central courtyard

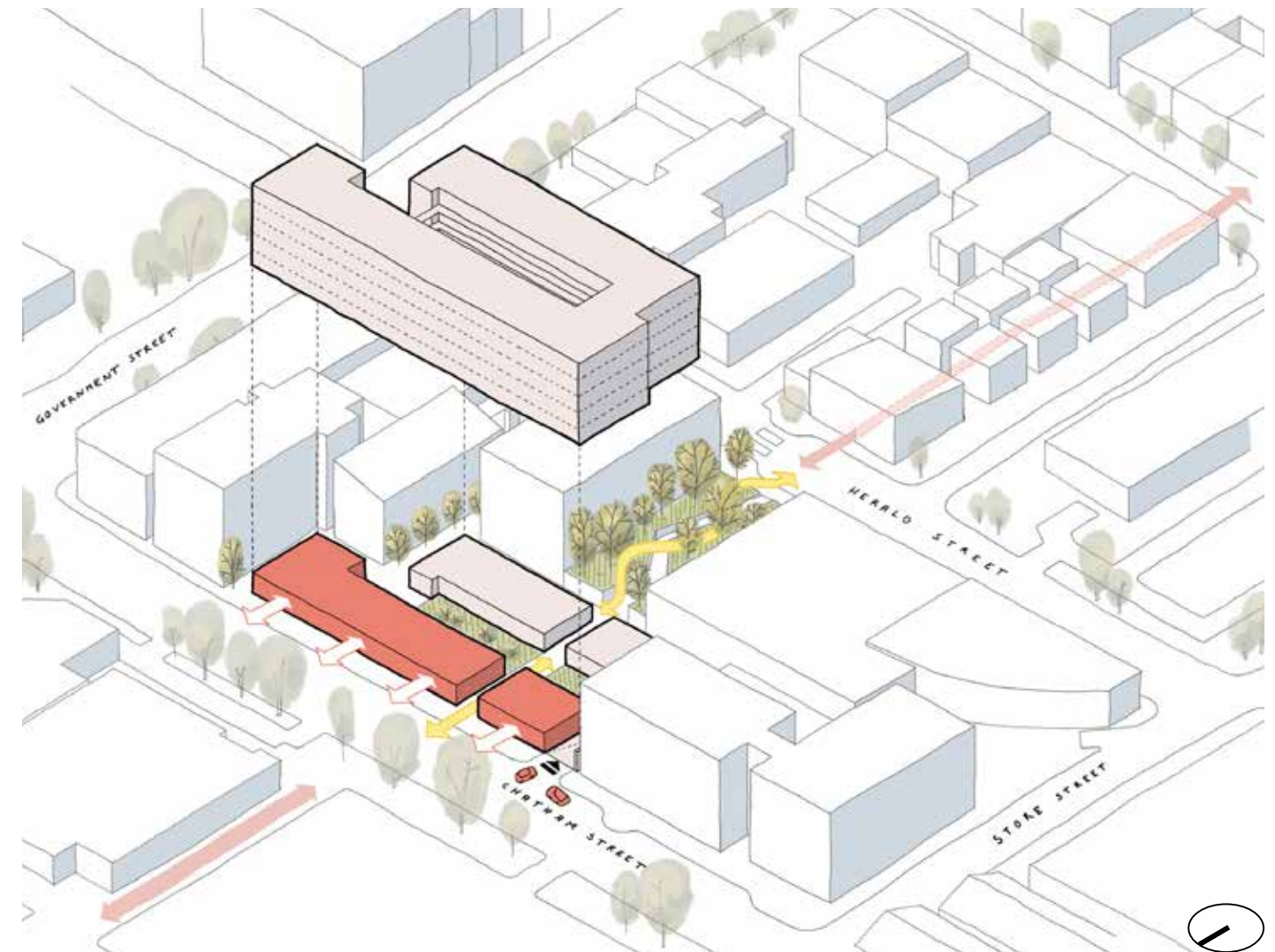
1. Neighbourhood Serving Retail Creating an Active Streetscape

Neighborhood serving, ground-oriented retail fosters opportunities for both new and existing residents to live, shop, and enjoy their neighborhood. The inviting retail environment fronting Chatham, maximizes visibility which contributes to a lively streetscape and provides a sense of security for the community.

Human scale ground floor condition

The ground floor along Chatham Street includes neighbourhood-serving commercial retail units with scale appropriate for the context. The scale along Chatham Street is intended to be broken down into a module in line with surrounding retail, approximately 12-18' wide, with welcoming entrances (OTD 5.4.2). Ground floor height will be greater than 4.5m (OTD 5.4.3), with a sufficient awning for weather protection and lighting create a human scaled pedestrian experience (OTD 5.4.7, 5.4.8, 5.4.9, 5.4.10).

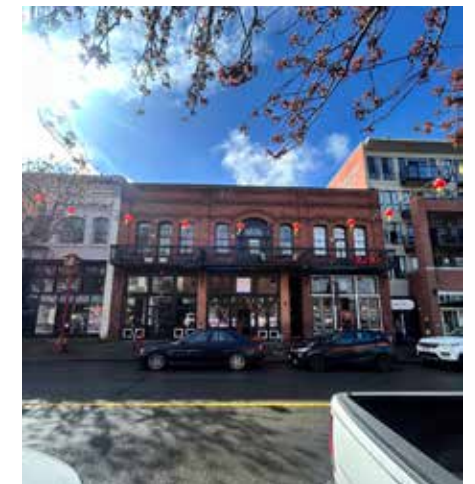
The ground floor retail along Chatham Street is also in direct support of the DCAP Historic Commercial District Objective 3.24 to “Locate active commercial uses...at the street level”.



Herald Street, Victoria



Johnson Street, Victoria



Government Street, Victoria

1. Neighbourhood Serving Retail

Creating an Active Streetscape

View Along Chatham Street Looking West



2. The Passages

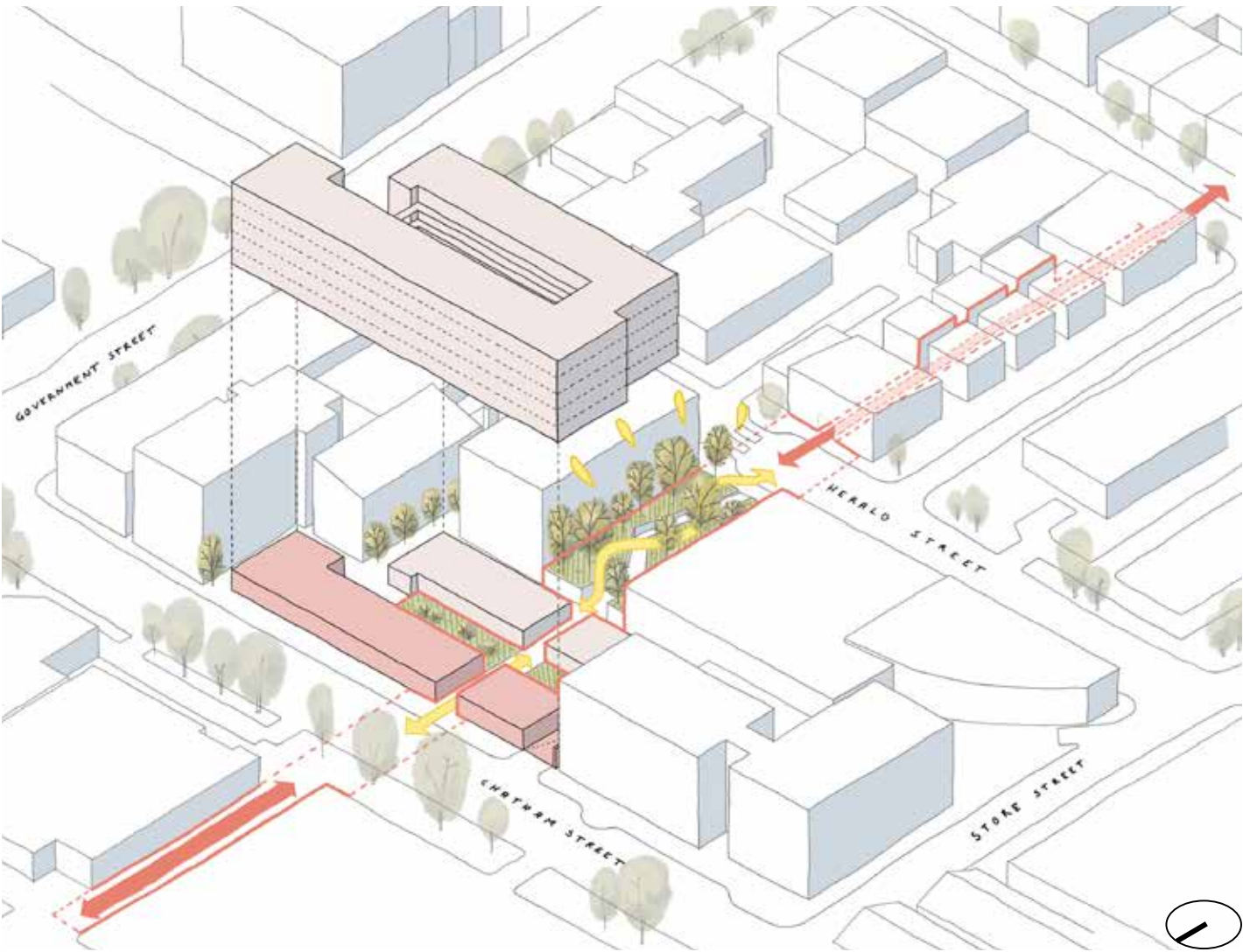
New Urban Connection, Inspired by the Past

To allow a connection across the site, the project utilizes two Passages that connect from Chatham Street and the Pocket Park to the central Courtyard. The Passages are inspired by the many alleyways, arcades and squares of Downtown Victoria that create an urban network of pedestrian connections. Many are remnants from another time, yet have adapted over the years to be a positive contribution to the current fabric of the city, and also a poignant reminder of a divided past. The Passages’ dimensions

and materiality take cues from existing alleyways, as well as the building materials and facade rhythm.

The addition of this mid-block connection is in support of the DCAP “Connectivity” Section 6.34 which states that “where an urban plaza is not located on a corner site, consider a direction connection to a through-block walkway”.

- Retail
- Residential



Bevan Place, Swanley, UK
Gillespies



The Wessel Quarter, Asker Norway
Vignæs+Kosberg++ Architects



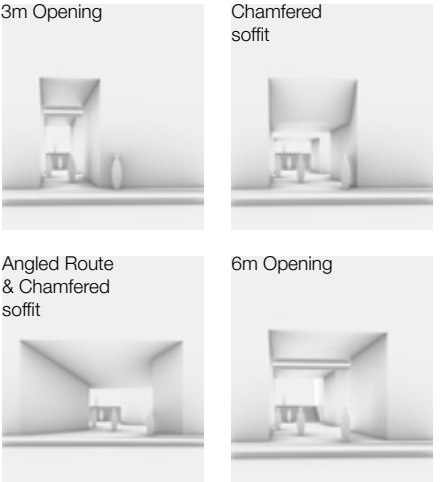
Queens Marque, Halifax
MacKay-Lyons Sweetapple



Johnson Street Shopping Arcade,
Victoria



Market Square Shopping Arcade,
Victoria



Studies of the Passage

2. The Passages

Permeability and Connection through the Site

On Chatham Street Looking South
Towards the Passages and Pocket Park



3. The Pocket Park

Destination Urban Greenspace

The proposed Pocket Park adds much-needed greenspace in an area of Downtown that currently has an obvious deficit. The Pocket Park utilizes the full width of the site along Herald Street to create a strong connection to the adjacent public realm, while on the north side a series of stairs and ramps creates an accessible connection through the site to Chatham Street.

The existing Biggerstaff heritage building is a beautiful brick backdrop for this new public space. Many of the existing trees

will be maintained, with seating designed around the current locations, while further greenery will infill between, creating a lush landscape within the urban environment.

Various types of seating have been included, with integrated bench seating along edges and movable furniture in the central area to create a flexible space that could be utilized for different formal and informal uses, events and performances. The Pop-up Retail is an integral component to activate this public space.

POCKET PARK



3. The Pocket Park Destination Urban Greenspace

On Herald Street Looking North Towards the Pocket Park,
Biggerstaff Building and Proposed South Elevation



4. Pop-Up Retail

Activating the Pocket Park in the Community

A key feature of the project is the inclusion of a temporary pop-up retail installation that activates the public realm and supports local business. Utilizing modified shipping containers, the installation draws from successful precedents such as Batch in Vancouver, offering a utilitarian yet adaptable solution suited to Victoria’s evolving downtown fabric. These compact, modular units can accommodate a rotating mix of local vendors, makers, and entrepreneurs, fostering a dynamic retail presence that evolves with the seasons. In doing so, the pop-up retail supports street-level vibrancy, encourages economic resilience, and contributes to a more inviting and pedestrian-oriented environment. This approach aligns with broader city goals to animate underutilized spaces and strengthen community connection through creative, low-impact interventions.



- 1 Pop-up Retail to activate the Pocket Park and adjacent public realm
- 2 Existing trees retained, as well as new landscaping
- 3 Proposed Building - South Elevation, overlooking the Pocket Park
- 4 Gates are intended to close the Pocket Park from dusk to dawn
- 5 Existing Biggerstaff building provides an authentic heritage brick backdrop

5. The Courtyard

A Sustainable and Liveable Residential Typology

A core tenet of the project is the provision of dual aspect residential units which improve livability by providing access to natural light and fresh air from two orientations. This building typology utilizes a chimney effect to create passive cooling, making the residential units more comfortable in the hottest of months of the year. Additionally, common area energy use will be reduced by naturally ventilating common circulation. There are many local examples of this courtyard typology and the inherent benefits of natural light and air in the immediate context of Victoria.

Benefits:

- 1

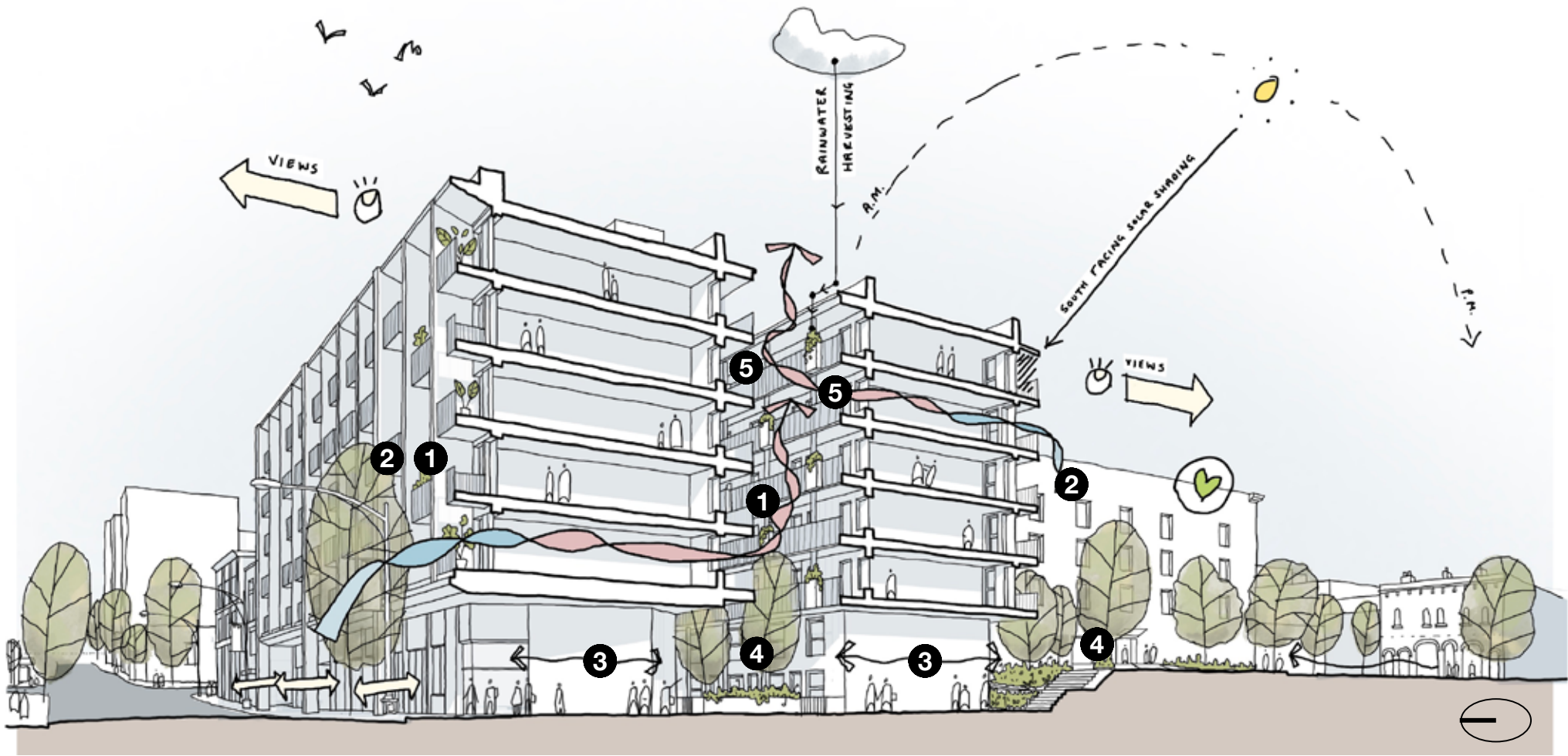
Passive Ventilation - reduced cooling load for circulation and units
- 2

Passive Natural Light - double aspect access to exterior
- 3

Enhanced Public Realm - weather protected breezeway
- 4

CPTED* - Passive natural surveillance through site
- 5

Exterior Circulation and Residential Courtyard



5 Design Rationale

5.01 Historic Architectural Ordering Principles

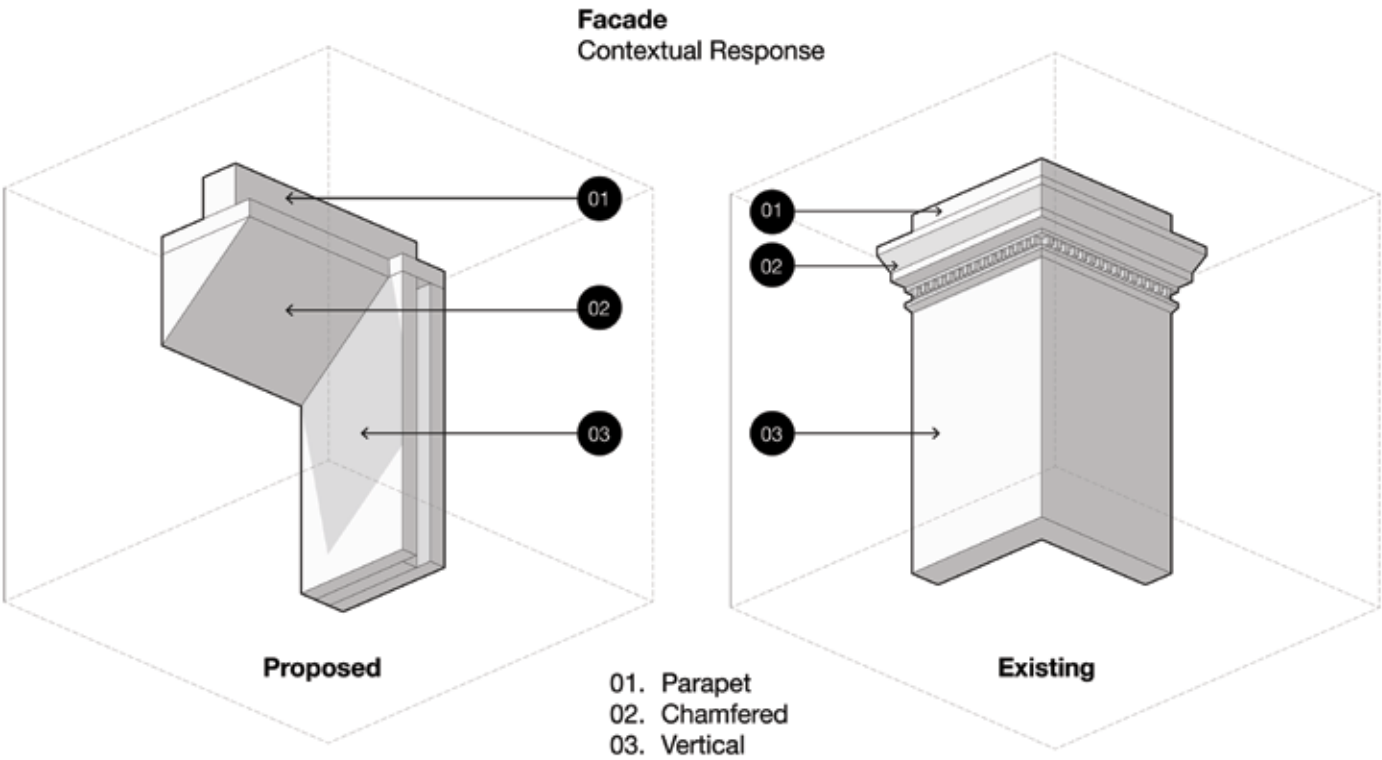
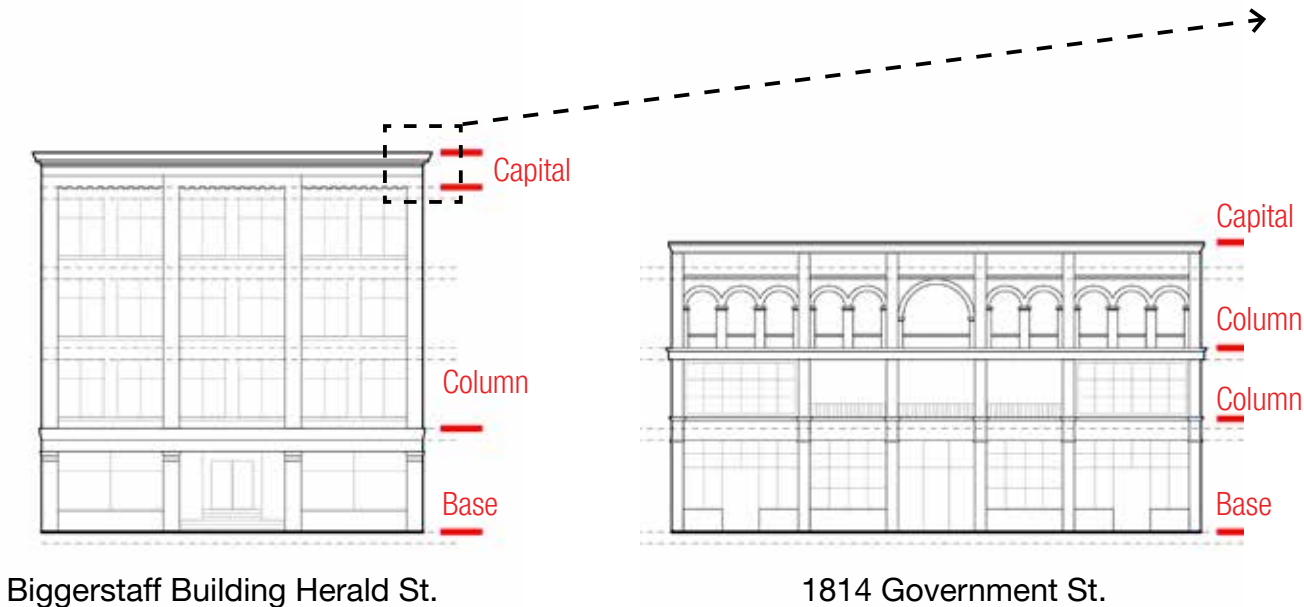
The Old Town Design Guidelines (2019) have five Design Principles and seven Topics of Design Guidelines that apply to this site. The proposal will be designed to meet the architectural merits of the Old Town Design Guidelines and surrounding neighborhood context.

The proposed building reinforces the street wall along Chatham Street while activating the ground floor with neighbourhood-serving retail units and the residential lobby entrance. The inclusion of the Passages, Courtyard and Pocket Park creates a continuous, accessible network of public space which connects between Herald Street and Chatham Street. These

three fundamental design elements directly supports the following Downtown Core Area Plan (DCAP) Sections.

Residential units on the ground floor also activate the semi-public courtyard at various times of the day. The ordering of the primary Chatham St. Elevation is informed by the tripartite ordering of base, column and capital, found in many of the surrounding heritage buildings.

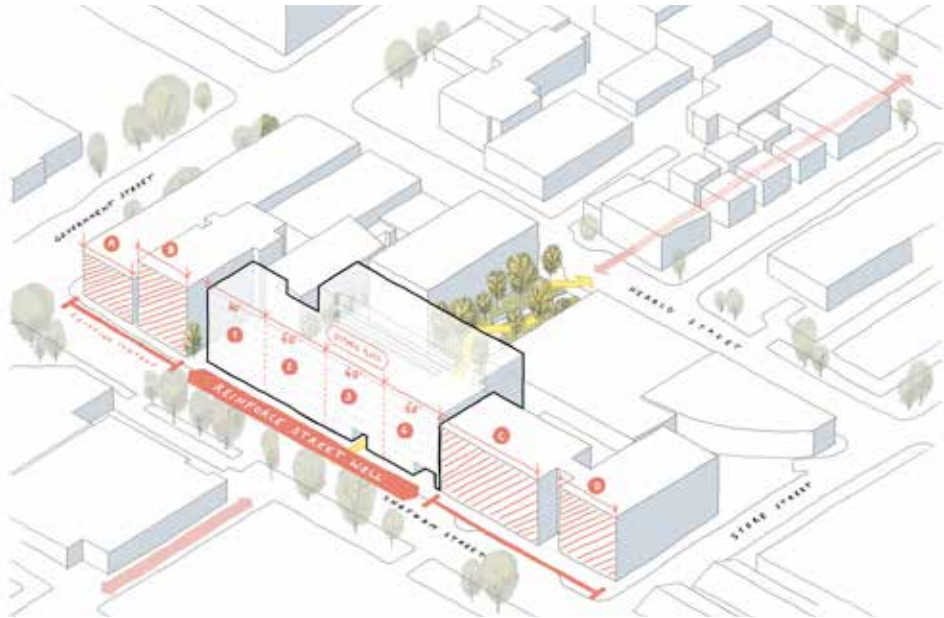
The Chatham Street elevation is modulated horizontally with four distinct ordering lines which imprint the original property plat of 60' onto the street front.



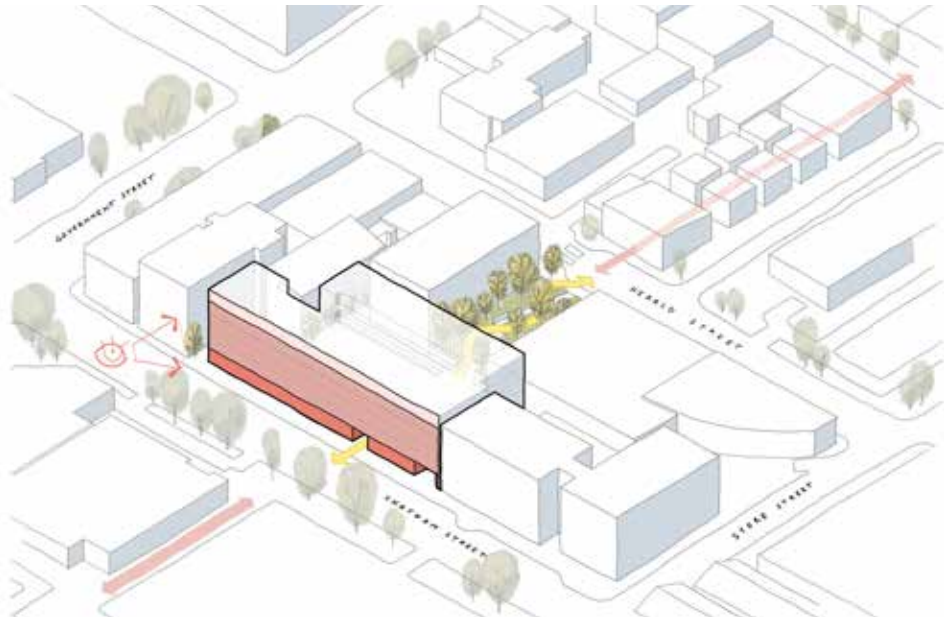
Conceptual Detail Investigation Diagram

5.02 Architectural Responses

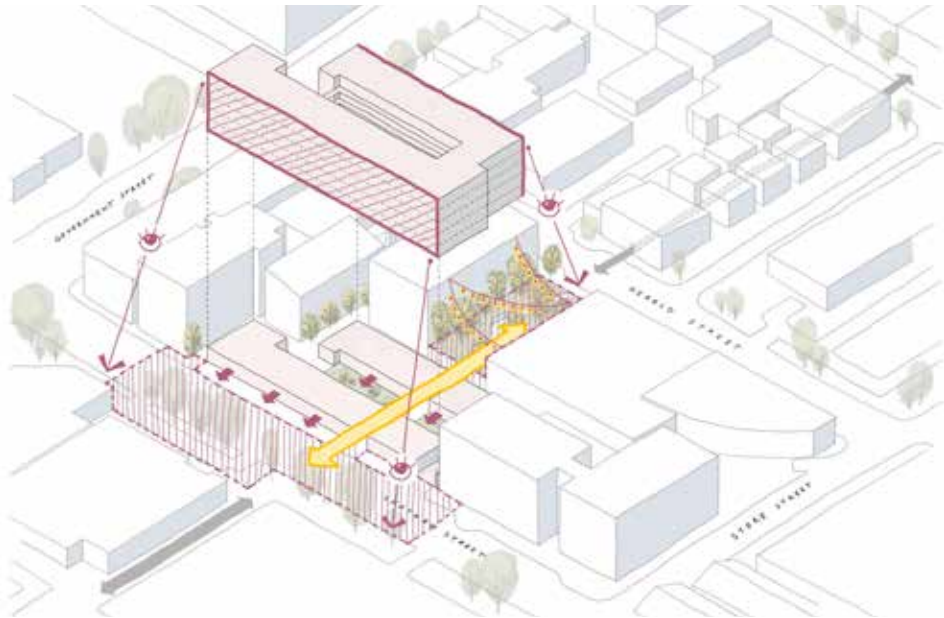
The architecture responds to the context and community through thoughtful and considered moves shown in the diagrams as it relates to street frontage, building scale, architectural ordering, public realm activation, and urban porosity across the site.



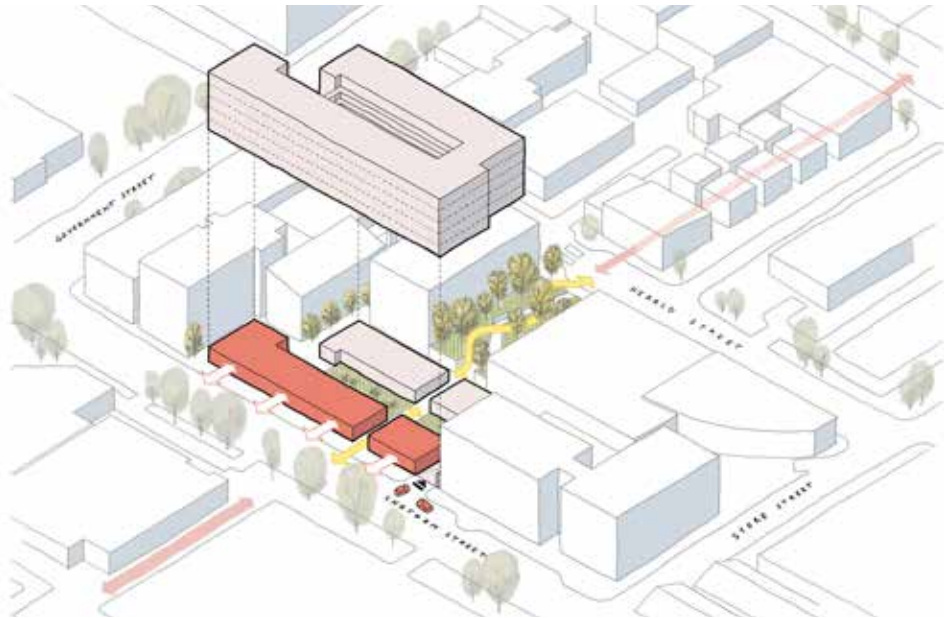
1. Continuous street wall, horizontal scale broken down to align with historic property widths



2. Tripartite horizontal ordering applied, delineating commercial ground floor from upper residential levels



3. Mid-block pedestrian connection continues network of alleyways through the site



4. Residential Courtyard typology provides access to natural light and air to the center of the site and residential units

5.03 Contextual Response: Vertical Articulation & Street Wall

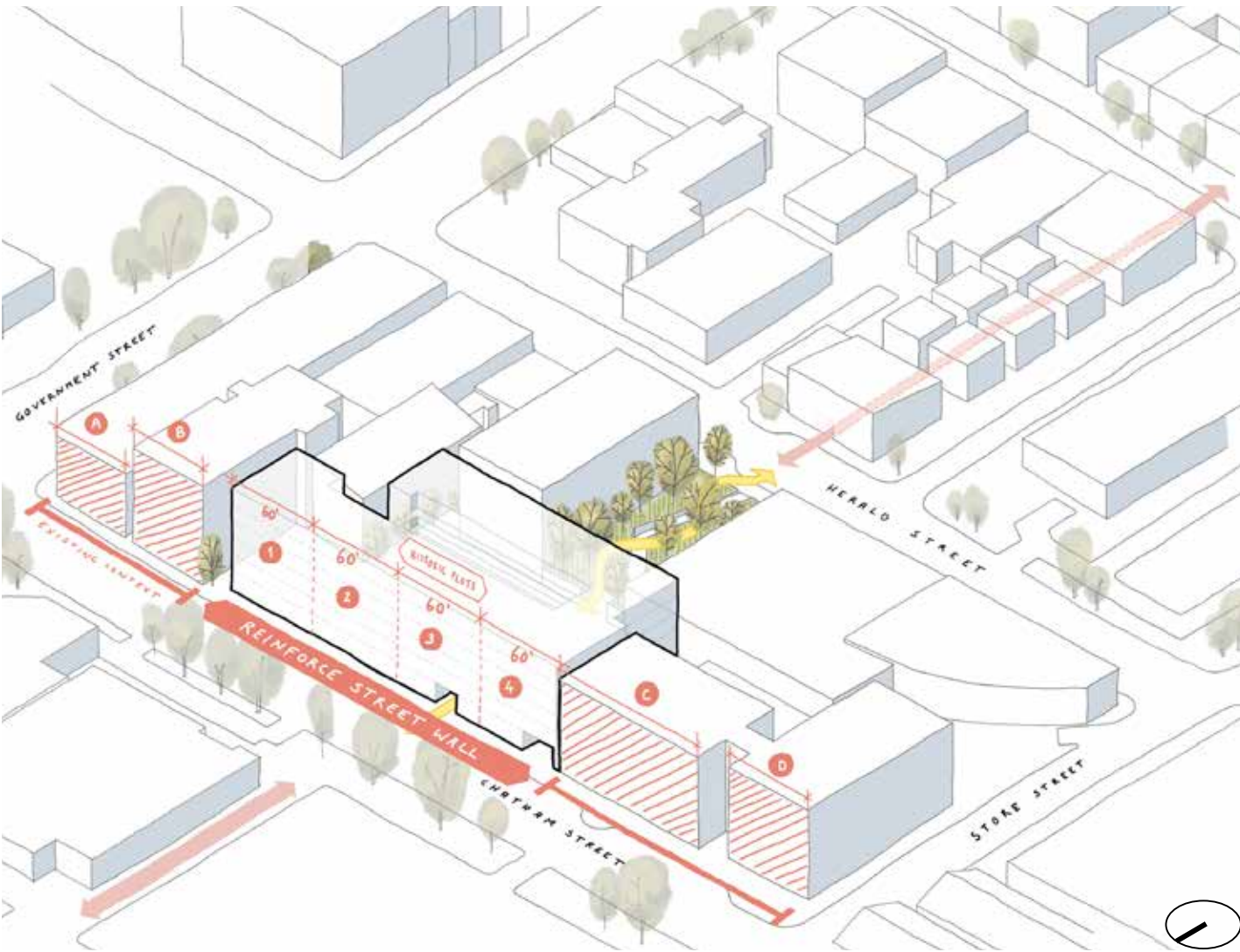
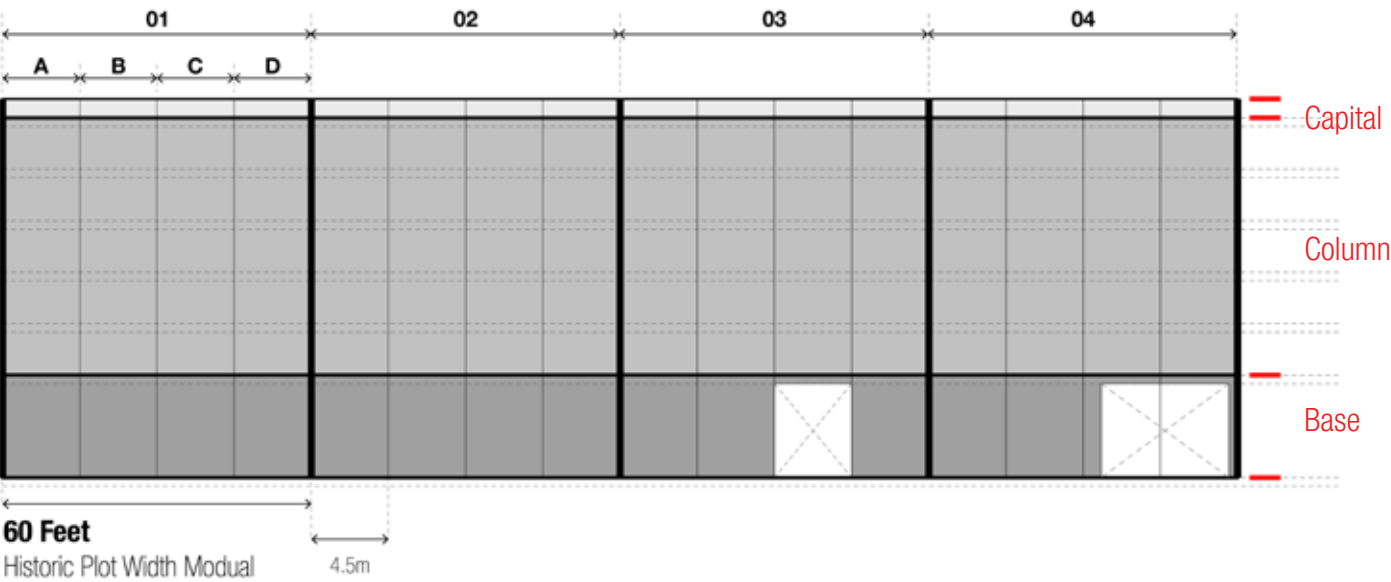
Express Smaller Historic Lot Widths

The proposed building spans an assembly of multiple lots. The design intent is to reference the traditional 66ft (20m) lot and building width pattern within the facade design per the Old Town Design Guidelines (OTD 5.1.8 and 5.2.4), thus articulating the building to fit within the neighbouring context.

Continue the Street Wall

The project supports the Old Town Design Guidelines by providing a continuous street wall frontage along Chatham Street, continuous with the Ironworks building to the west. Within this, our exploration studies the rhythm, proportion and materiality of the facade elements including openings, cladding and balcony guards (OTD 5.2.5).

Design Response: Proposed Building Elevation Diagram



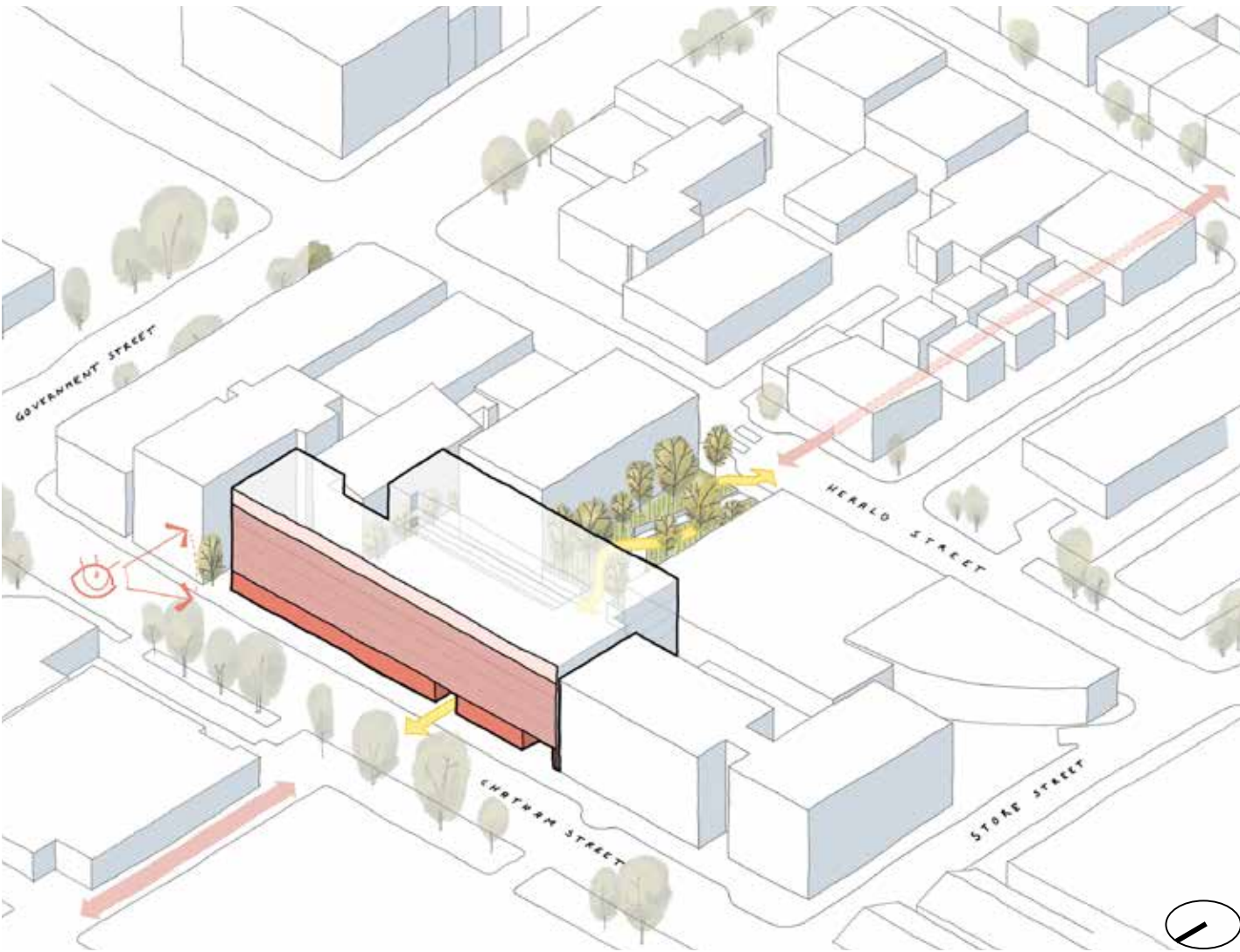
5.03 Contextual Response: Horizontal Ordering & Contextual Materiality

Historic Horizontal Ordering

To fit in with the articulated facades of the context buildings, the intent is to incorporate a contemporary and distinct roofline (OTD 5.1.4). The scale of the street level weather protection and height of glazing is an important consideration, both in the overall elevation composition and also for the human experience at street level.

Contextual Materiality

Materials for the outward facing elevations include glazing, brick, and metal accents of a scale and texture to fit within the industrial nature of the neighbourhood, and brick, which all have the potential to develop a subtle patina, and thus further adapting to the existing context with time.



Investigative Material Palette



Precedent Images: Images are included for material suggestions of the palette that the project is likely to include at critical elevations and interfaces

5.04 Response to Old Town Design Guidelines

5.1 Building Mass, Scale and Siting

- 1

5.1.1

Locate and site new buildings and additions to create a continuous ‘street wall edge’.
- 5

5.1.2

Design new buildings and additions to reflect the established proportions, composition and spatial organization of adjacent historic facades.
- 5.1.3

Design new buildings with a minimum building height of two storeys to maintain continuity of the street wall and to provide a comfortable street enclosure.
- 4

5.1.4

Include a distinct roof line in the building design, through such measures as a simplified or contemporary cornice or parapet.
- 4

5

5.1.5

Ensure that the main facade height of a new building does not exceed the facade height of a directly adjacent lower scale heritage building by more than three storeys to avoid drastic changes in scale along the street.
- 5

5.1.6

Vary the massing of a new building on a corner site to respond to streetscapes with different building heights and scales.
- 2

3

5.1.7

Modulate the overall horizontal and/or vertical building mass on large buildings to achieve a scale that is compatible with adjacent buildings.
- 3

5.1.8

For buildings over 30m in width, incorporate an articulated vertical break in the facade with a patio, courtyard, recessed entryway or other features to help break up the expanse of the facade.
- 2

3

5.1.9

Where possible, position new buildings to maintain views of historic “ghost signs” on the sidewalls of adjacent buildings.

Chatham Street: Looking East



- 1

Aligned Building Face - the primary building face aligns with adjacent buildings to create a continuous street wall edge.
- 2

Primary Vertical Elements - break down the scale to align with the historic property plat widths
- 3

Secondary Vertical Elements - Further break down the horizontal scale and provide privacy between residential units
- 4

Building Crown - the top parapet expression is modern yet references the historic approach
- 5

Building Height - is contextual with adjacent buildings, and introduces a varied roofline along Chatham Street

5.04 Response to Old Town Design Guidelines

5.2 Street Rhythm

- 2

5.2.1 Incorporate frequent entryways at a spacing that reflects the pattern and frequency of entryways that exist throughout the area.
- 1

2

5.2.2 Punctuate and emphasize entryways by incorporating recesses and a high level of design detail in the facade and ground plane.
- 3

5.2.3 Incorporate a rhythm of structural bays, windows, and features.
- 3

5.2.4 Articulate facades, especially for larger buildings, into a series of intervals, using vertically proportioned windows and bays, to reflect and fit within the established streetscape pattern and, more broadly, within the traditional 66ft (20m) lot and building width pattern that exists throughout Old Town.
- 2

4

5.2.5 Provide windows, doors and other architectural elements that are of a scale and proportion similar to the historic architectural pattern and that are designed to support the functional needs of existing and future businesses and residents.
- 3

5.2.6 Incorporate a variety of roof line heights into larger buildings to provide visual relief and variety of scale.

Chatham Street Looking East Toward the Passage



- 1

The Passage - Public mid-block pedestrian connection through the site, with commercial on site and residential lobby on the opposite side.
- 2

Ground-Oriented Retail Units - activates the generous streetside public realm along Chatham. Vertical brick elements with finer material articulation at the commercial entrances introduce a finer scale. Glazing is of a scale and proportion to reflect the historic buildings.
- 3

Architectural Hierarchy - The north elevation has multiple planes of material expression, from the primary and second vertical brick elements, the balconies and the back wall with windows. Similarly on the ground floor frontage, there is a hierarchy of space, planes and materiality.
- 4

Residential Window Scale and Proportion - vertical orientation and proportion reference the historic architectural context.

5.04 Response to Old Town Design Guidelines

5.3 Facade Composition

- 2

5.3.1 Distinguish and define the building base, middle and top through facade articulation (projections and recesses), architectural elements or changes in proportions, and materials and finishes.
- 1

2

5.3.2 Ensure that facade elements such as storey levels, doors, and windows reflect a balanced proportion with respect to their placement, relative height, width and size.
- 3

5.3.3 Maintain a generally consistent building wall or build-to-line along the sidewalk edge.
- 1

5.3.4 Define the top edge of a building by a cornice line or similar articulation.
- 1

5.3.5 Generally align floor heights, mid-cornice lines, window sills and top edges with those of adjacent heritage buildings.
- 1

5.3.6 Provide varied roof lines to create visual interest along the street.
- 3

5.3.7 Incorporate repetitive structural bays with punched window openings in a vertical proportion.
- 3

5.3.8 On corner lots, consider a chamfered building edge with a doorway, opening or other architectural feature to enhance the corner location.
- 4

5.3.9 Windows and window openings should be of similar proportion, recess, and alignment to the original windows in the historic context.
- 3

5.3.10 Consider incorporating recessed balconies in areas where this is an historic characteristic.
- 3

5.3.11 Blank walls that face public streets and open spaces are strongly discouraged and should be avoided. Where unavoidable, blank walls should be screened or enhanced with design elements appropriate to the context.
- 3

5.3.12 Locate and screen roof top structures and mechanical equipment so that they are not visible from the public realm.

Chatham Street Elevation



- 1

Tripartite Organization - The north elevation is horizontally organized with a commercial base, residential middle and modern parapet top. Vertical elements are continuous, while the scale within each element is representative of the programmatic uses within.
- 2

Generous Ground Floor Scale - The scale of the commercial ground level is more generous than the residential levels above, and these relative scales are further expressed with glazing size, materiality, and solid-opening proportions.
- 3

Consistent Building Wall - defines the street space in a consistent manner
- 4

Alternating Balconies - Balconies are recessed within the hierarchical grid of the north elevation, and alternate by floor to break down the scale.
- 5

Heritage Inspired - The top edge of the building is defined by an articulated, modern parapet detail inspired in it's proportion by the articulations on the historical context buildings.

5.04 Response to Old Town Design Guidelines

5.4 Relationship to Street and Open Space

- 1 5.4.1 Design shop fronts entryways with a high level of transparent glazing along the street level.
- 2 5.4.2 Incorporate recessed entryways with unique designs and finishes such as transom windows, use of trim details for windows and doors, and attractive finishing materials on entryway flooring.
- 3 5.4.3 Incorporate a minimum 4.5m ground floor height to support ground floor commercial uses.
- 3 5.4.4 Ensure that the design and finish of the underside of balconies and soffits are considered and integrated with the overall building design.
- 2 4 5.4.5 Vary the planes and textures of storefronts to be similar to nearby heritage buildings.
- 2 5.4.6 Design facades with architectural details and materials that create shadows and depth to achieve a three dimensional quality.
- 3 5.4.7 Integrate planned or future lighting and weather protection features to complement the building design and fenestration pattern.
- 3 5.4.8 Provide architecturally designed lighting elements that are appropriate for the use and scale of the building.
- 2 3 5.4.9 Use lighting to highlight building features and illuminate the public realm while avoiding over illuminating the building or projecting light into the sky or onto adjacent properties.
- 3 5.4.10 Incorporate pedestrian-scale lighting along the length of the building face.
- 3 5.4.11 Control the intensity and impact of building and signage lighting through dimming and variation in colours.

Chatham Street Active Commercial Frontage



- 1 **Generous Glazing** - creates an interior-exterior relationship between retail and public realm
- 2 **Articulated Retail Entrances** - set back, and articulated with brick side walls and special paving
- 3 **Weather Protection and Lighting** - seamlessly integrated into the architecture to create a pleasant pedestrian experience, with lighting along the commercial frontage to enhance the texture of the materiality, while highlighting the key architectural elements
- 4 **Signage** - thoughtfully integrated into the architecture, and inspired by the historic context

5.04 Response to Old Town Design Guidelines

5.4 Relationship to Street and Open Space (continued)

Chatham Street: Looking East toward the Passages

- 4

5.4.12 Design and orient commercial signs so that they are scaled to pedestrians and do not overwhelm the building facade.
- 4

5.4.13 Limit commercial signage in number, location and size to reduce visual clutter and make individual signs easier to see.
- 4

5.4.14 Avoid commercial signage above the ground storey.
- 4

5.4.15 Preferred sign types for Old Town include:
 - projecting two-dimensional or ‘blade’ type signs
 - externally lit signs
 - external neon signs and small neon signs inside windows
 - individual cut out or silhouette letter signs mounted on store fronts
 - restored historic sidewall signs
- 4

5.4.16 Back-lit plastic box signs are strongly discouraged and should be avoided.
- 1

5.4.17 Where functionally appropriate, consider limiting the width of garage entries and driveways to mitigate impacts on the presence of a contiguous street wall along the public realm.
- 1

5.4.18 Locate, design and site garage entrances to minimize impacts on the pedestrian realm.
- 1

5.4.19 Ensure that any on-site loading spaces are not visually open to the sidewalk. If the loading space is on site, it should have an attractive door along the sidewalk similar to a garage opening.
- 5.4.20 Minimize the visual impact of security features such as movable gates or roll-down doors by inseting such features into the storefront bay opening.
- 3

5.4.21 Consider incorporating small setbacks for portions of the facade at street level to accommodate sidewalk cafes, patios and other outdoor seating areas that support animation of the street.



1 Parkade Entrance - limited in width to meeting municipal requirements, and is integrated into the overall north elevation, with brick on either side of the entrance and the covered soffit continuing over the entrance.

2 Security - Gates at the Passage entrance from Chatham Street will be designed to be integrated into the adjacent walls when open.

3 Setback - The entire ground floor commercial level is set back to allow more room on the sidewalk, and each commercial entrance is set back further to create additional space for the public realm and articulate entrances more clearly

4 Signage - perpendicular blade signage and integrated signage at retail entrances make wayfinding intuitive from multiple locations.

5.04 Response to Old Town Design Guidelines

5.5 Materials and Finishes

- 1

3

5.5.1 Incorporate high quality, durable materials into buildings, facades and additions.
- 1

5.5.2 Avoid the extensive use of highly reflective materials.
- 1

3

5.5.3 Use materials with textures and patterns that are visually interesting.
- 1

3

5.5.4 Avoid the use of paint on previously unpainted brick or masonry.
- 2

5.5.5 Consider the use of metal for any proposed balconies that face the street.
- 1

3

5.5.6 Use high-quality materials for canopies and awnings such as metal, wood, woven fabric, canvas or glass.
- 3

5.5.7 Use exterior materials and paint colours that reflect local heritage palettes (refer to municipal staff for specific guidance).

Chatham Street: Architectural Design



- 1

Robust and Contextual Materials - The north elevation consists of brick largely at the ground floor, which also carries up on the primary vertical elements. fibre cement board is utilized as a secondary material, in a dark colour to recede in the background.
- 2

Balcony Guards - A metal picket guard with metal flashing behind the floor level is intended.
- 3

Reference the Historic Colour Palette - The intent for the brick colour is to utilize a colour similar to the contextual historic buildings and alleyways of Downtown Victoria. The fibre cement board will be a darker grey colour as a background colour to further accentuate the brick.

5.04 Response to Old Town Design Guidelines

5.6 Liveability

- 5.6.1 Stagger or offset windows and balconies from those on existing adjacent residential properties that share a side or rear property line to improve privacy and liveability.
- 1

5.6.2 Where feasible and appropriate, incorporate internal courtyards and passageways to increase sunlight access and create semi-private amenity spaces.
- 1

3

5.6.3 Provide residential dwelling units with direct access to private and semi-private open space such as recessed balconies, courtyards or terraces.
- 1

5.6.4 Limit the use of exterior hallways and exterior staircases as a means of mitigating the appearance of large building mass and bulk when viewed from the fronting street.
- 2

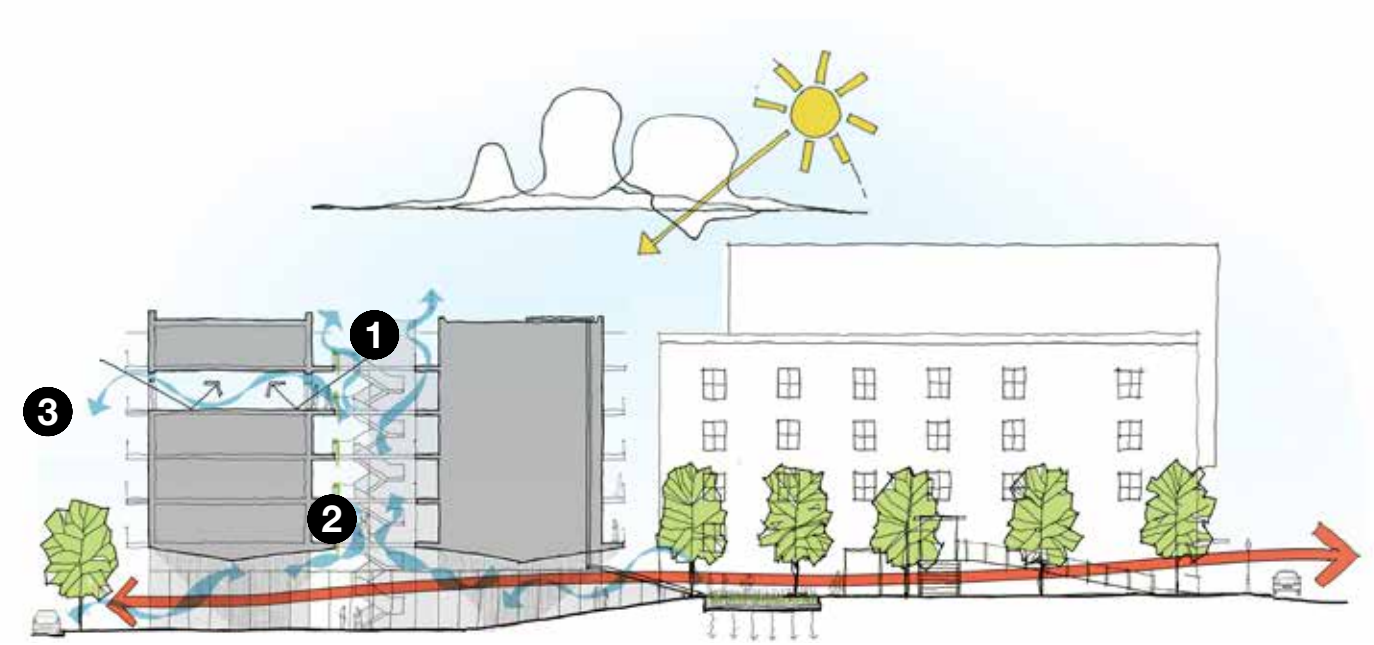
5.6.5 Where a new building or addition includes an exterior hallway or exterior staircase, ensure that they are designed to complement and integrate with the overall building design, the design character of the overall streetscape and not appear purely as a functional component of the building when viewed from the adjacent street.
- 3

5.6.6 Where an exterior hallway or exterior staircase faces directly toward an adjacent residential property, mitigate any impacts from overlook, privacy, noise and light on the adjacent property through strategies such as: architectural screening, light shielding, increased setbacks and the location and siting of these building elements.
- 1

5.6.7 Where at-grade space is limited, common open amenity spaces are encouraged on roof tops and upper terraces.
- 3

5.6.8 The residential portion of buildings should be designed to receive daylight and natural ventilation from at least two sides of a building (dual aspect units either front or back, or on two sides for corner units).
- 5.6.9 Provide sound attenuation for rooftop mechanical units.

Residential Courtyard Circulation and Outdoor Amenity



- 1

Central Courtyard - The project is designed around a central courtyard space that allows natural light and ventilation via access to the inward portion of the residential units. The courtyard is also a semi-private shared amenity space for the residents to use, as well as being a visual amenity from the exterior residential walkways.

stairs, are located within the courtyard space. These elements are integral to the design of the courtyard, and will include consistent detailing with the north and south elevations.
- 2

Exterior Circulation - The exterior circulation for residential units, including walkways and
- 3

Dual Aspect Units - The building is designed around a dual-aspect residential typology with a central courtyard space that contains the residential circulation. This allows almost all of the units to receive daylight and natural ventilation from two sides.

5.04 Response to Old Town Design Guidelines

5.7 Off-Street Parking

- 1

2

5.7.1 Locate off-street motor vehicle parking below grade and/or within a building. Off-street surface parking should not be visible from fronting streets and open spaces.
- 2

5.7.2 Any vehicle entrance and its associated components (doorways, ramps, etc.) should be architecturally integrated into the building so as to minimize its exposure. In particular, recess and enclose entryways and avoid ramps located directly off the street.
- 2

5.7.3 Use high quality materials for parking entrance gates and doors, attractive lighting and low-level landscaping along the street frontage.
- 1

2

5.7.4 Locate parking entrances next to service and utility areas to avoid multiple vehicle access driveways and entrances along the street frontage.
- 2

3

5.7.5 Ensure that the parking entrance does not dominate the building facade and significantly interrupt the provision of a contiguous street wall.
- 2

5.7.6 A variance for off-street bicycle or motor vehicle parking may be considered where providing such parking would negatively impact the streetscape.
- 1

5.7.7 A variance for locating short term bicycle parking on the adjacent public right of way may be considered where it cannot be accommodated on private property, provided it does not impede pedestrian movement.
- 1

5.7.8 Ensure that off-street parking does not negatively impact or prevent the full conservation of heritage buildings.

Chatham Street: Parkade Entrance



- 1

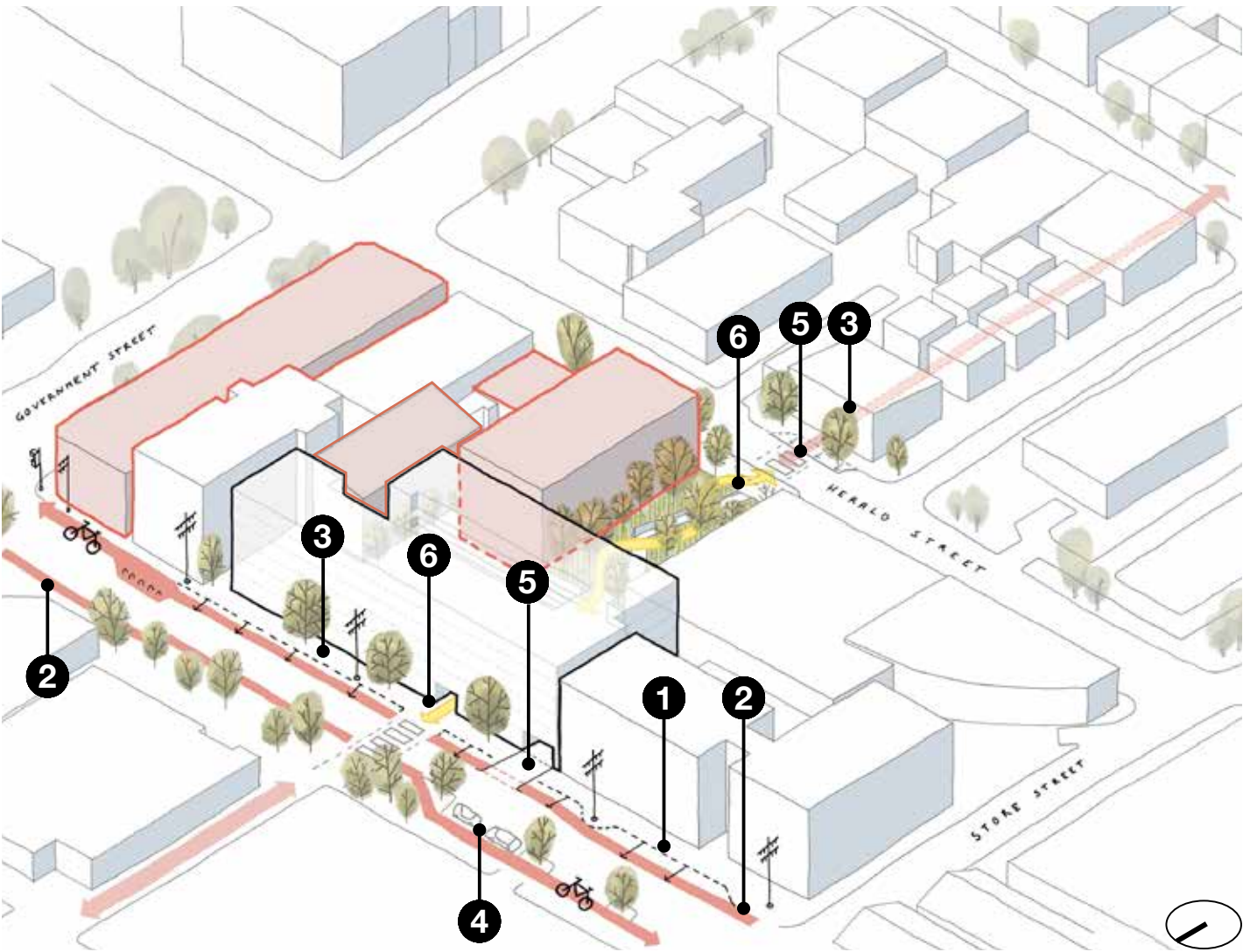
On Site Parking and Loading - Vehicle parking, bike parking and commercial loading spaces are all provided with the underground level.
- 2

Integrated Entrance - the entrance to the parkade is architecturally integrated into the “base” of the north elevation, with the soffit continuous soffit carrying over the parkade entrance, as well as the vertical brick elements framing the entrance. These material wrap into
- 3

Thoughtful Lighting - Lighting similar to the rest of the north elevation commercial level will also be provided at the parkade entrance, as well as sufficient lighting along the parkade ramp. The security gate will be set back from the street to allow a vehicle to pull into the entrance without inhibiting pedestrian flow along the sidewalk.
- the parkade entrance to further enhance the appearance of this vehicle entrance.

5.05 Transportation Demand Management

This downtown Victoria site is exceptionally well-connected to sustainable transportation networks, aligning with the City’s Climate Leadership Plan and GoVictoria mobility strategy. Located directly along major bicycle routes and within steps of multiple high-frequency transit routes, the project supports reduced car dependence and promotes active, low-carbon commuting. While the proposal provides vehicle parking for residential and commercial parking, it also includes enhanced bicycle facilities beyond minimum standards by including oversized lockers for cargo bikes and a bike repair station, encouraging cycling as a primary mode of travel. Diagrams from the Official Community Plan highlight this area as a multimodal hub, reinforcing the site’s strong access to local infrastructure and its alignment with long-term transportation goals.



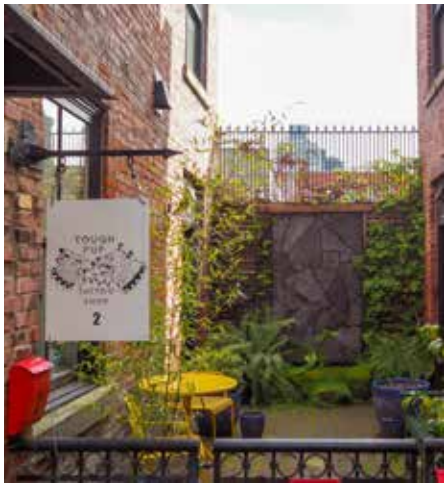
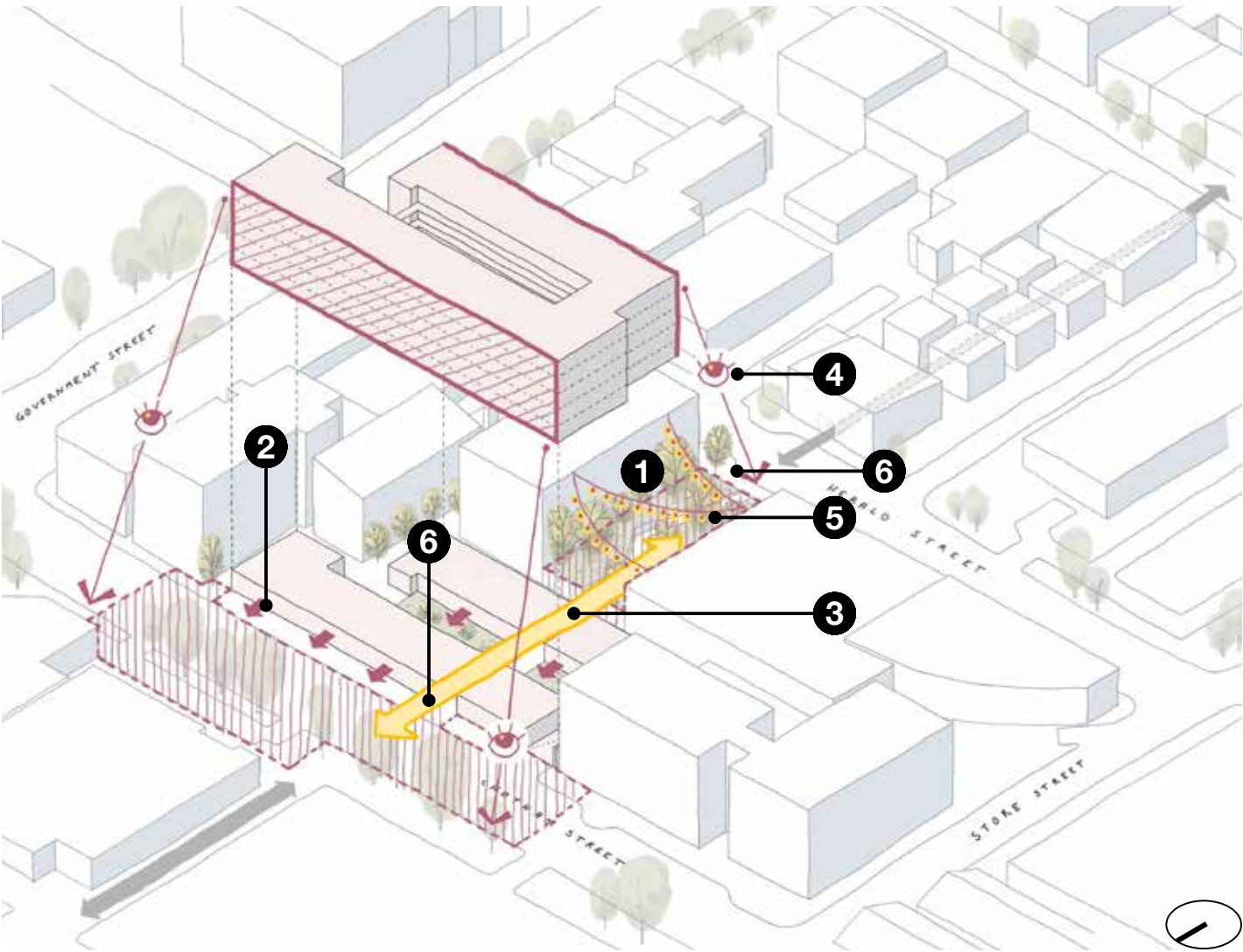
- 1 Existing pavement boundary** - proposal steps out existing curb to facilitate bike lane and tree planting
- 2 Raised grade bike lane**
- 3 Accommodate vehicle loading**
- 4 Encourage urban pedestrian routes** with strategically aligned crossings
- 5 Driveway for parkade access**
- 6 Security Gates at Passages and the Pocket Park** closed from dusk to dawn to address security concerns

5.06 Safety & Security

The exterior residential circulation is contained within the courtyard and is intended to be designed as an integral element of the overall exterior space (OTD 5.6.5). This circulation pattern enhances the character of the development while creating a unique passive surveillance condition that directly addresses CPTED (Crime Prevention Through Environmental Design) principles. By encouraging frequent and visible movement within the semi-private courtyard, the design promotes safety through a significant number of “eyes on the street.”

Additionally, the inclusion of a pocket park and active commercial frontage further contribute to public realm activation. These elements enhance street-level vibrancy and visibility, encouraging positive social interaction, increasing passive surveillance, and fostering a safer, more welcoming environment for both residents and the broader community.

- 1 **Active Support** - Encourages community use of shared courtyard and pocket park
- 2 **Threshold** - Defined edges and design elements establish a sense of ownership
- 3 **Natural Access Control** - Path guides movement through clear, visible routes
- 4 **Natural Surveillance** - Windows and balconies overlook courtyard and park for visibility
- 5 **Maintenance** - Landscaping and lighting kept clean and functional for safety
- 6 **Security Gates at Passages and the Pocket Park** - closed from dusk to dawn to address security concerns



Examples of external thresholds for commercial spaces along Dragon Alley



Examples of lighting applications along Dragon Alley for both internal and external spaces

5.07 Landscape: Vision

VISION

Inspired by the local context at the edge of historic Chinatown and Old Town in Victoria, the landscape emphasizes placemaking, culture, and green space. The design aspires to create a vibrant public and private realm where neighbors and the local community can come together through shared spaces and activities.



PLACE MAKING

Seamlessly blends in the historic
Old Town neighbourhood context.



CULTURE & COMMUNITY

Invite gathering, play, celebration, and reflection.
Cultivate engagement and foster social connection

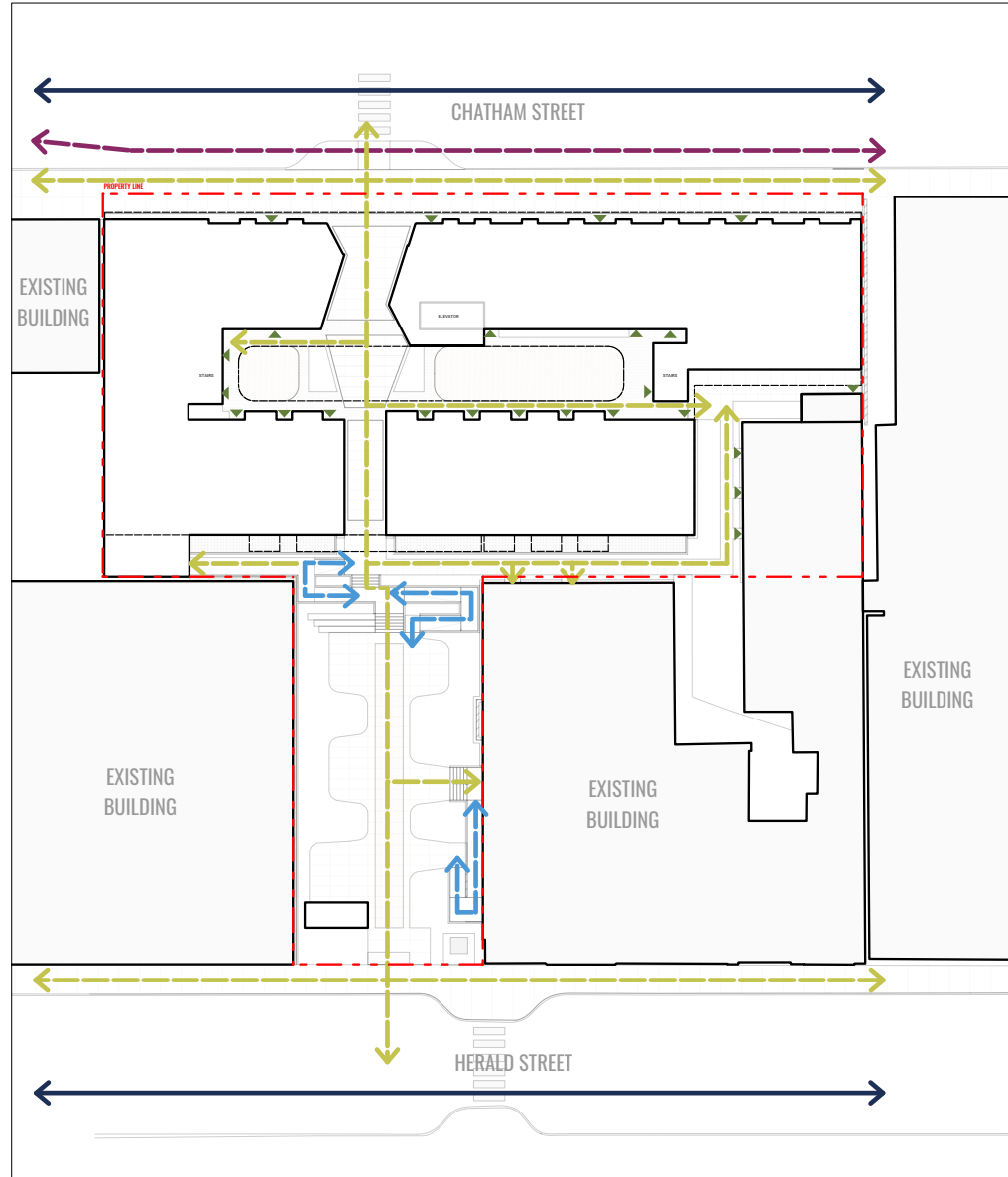


URBAN NATURE

Enrich urban life by weaving green space throughout
Dissolve boundaries between built and wild

5.07 Landscape: Concepts

CIRCULATION



CIRCULATION LEGEND

- PEDESTRIAN CIRCULATION
- BICYCLE CIRCULATION
- ACCESSIBLE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION

TREE MANAGEMENT



TREE MANAGEMENT LEGEND

- EXISTING TREES TO BE RETAINED (TOTAL 14)
- EXISTING TREES TO BE REMOVED (TOTAL 11)
- PROPOSED TREES (ONSITE - 10 SMALL & 9 MEDIUM (OFFSITE TOTAL 2))

5.07 Landscape: Design Guidelines Response



Our site is split between Old Commercial District (to the north) and Chinatown (to the south)

OLD TOWN DESIGN GUIDELINES

OLD TOWN PAVING MATERIALS

- 1 TROWEL JOINT CONCRETE**

 - Installation Method: Cast-in-place
 - Application: Sidewalk fill and frame
 - Colour: Natural
 - Finish: Fine broom finish
- 2 BRICK PAVER TYPE C**

 - Dimensions: 94mm x 194mm x 57mm
 - Application: Paving field
 - Colours: Red brick
 - Finish: Honed
 - Installation Method: Mortar set
- 3 BASALT PAVERS**

 - Dimensions: 300mm x 450mm x 80mm
 - Application: Entry banding
 - Colour: Grey
 - Finish: Flamed
 - Installation Method: Mortar set



DOWNTOWN PUBLIC REALM PLAN STRATEGY + STREETScape PLAN | 53

CHINATOWN DESIGN GUIDELINES

CHINATOWN PAVING MATERIALS

- 1 TROWEL JOINT CONCRETE**

 - Installation Method: Cast-in-place
 - Application: Sidewalk fill and frame
 - Colour: Natural
 - Finish: Fine broom finish
- 2 BASALT PAVERS**

 - Dimensions: 300mm x 450mm x 80mm
 - Installation Method: Mortar set
 - Application: Entry banding
 - Colour: Charcoal grey
 - Finish: Flamed
- 3 EXPOSED AGGREGATE**

 - Installation Method: Cast-in-place
 - Dimensions: Fit to size
 - Application: Main paving field at corners
 - Colour: Dark Grey
- BRICK PAVER TYPE B**

 - Smooth Red Brick
 - Dimensions: 94mm x 194mm x 25mm
 - Application: Sikewalk accents
 - Colour: Orange red
 - Installation Method: Mortar set



DOWNTOWN PUBLIC REALM PLAN STRATEGY + STREETScape PLAN | 63

5.07 Landscape: Design Elements

POCKET PARK

Nestled within the urban fabric, the Pocket Park offers a welcoming green retreat for the community—a place to pause, connect, or enjoy a quiet moment. A central walkway, framed by lush planting, guides visitors through the space, with access provided via a staircase and accessible ramp from the north. This intimate park balances openness and enclosure, creating a flexible, inclusive environment for everyday use.



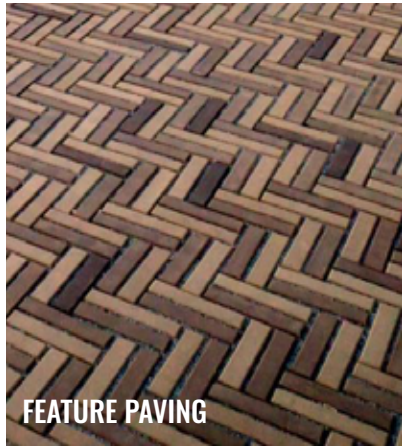
STAGGERED STEPS



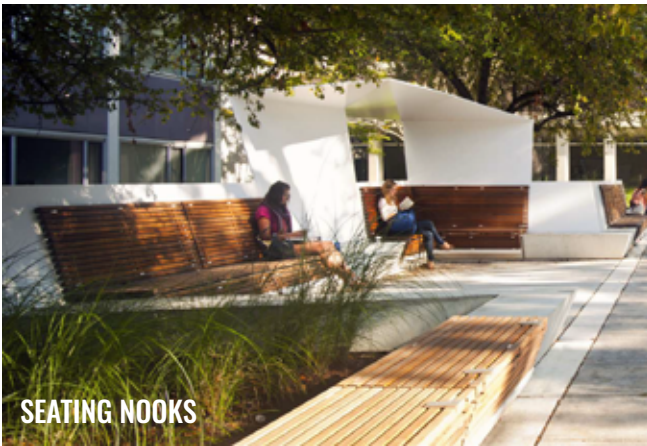
GREEN SPACE



ORGANIC FORMS



FEATURE PAVING



SEATING NOOKS

POP-UP RETAIL

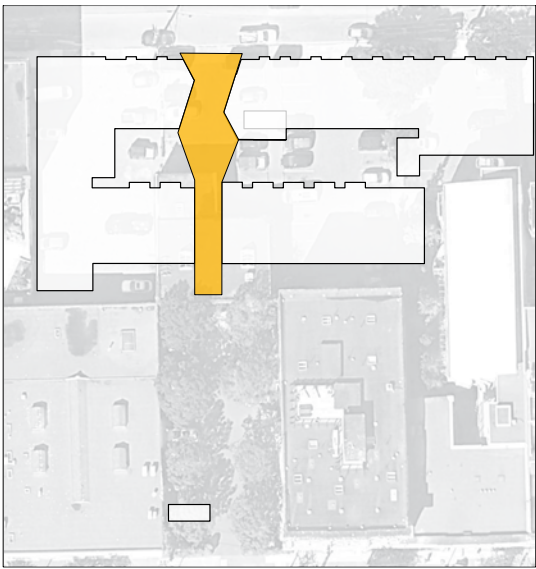
Anchored by a refurbished shipping container, the Pop-Up Patio brings a food and beverage offering to the Pocket Park, creating a lively destination within the green space. This unique feature invites park-goers to gather, dine, and socialize, becoming a vibrant focal point that enhances the park's sense of place and community.



5.07 Landscape: Design Elements

THE PASSAGE

The Passage is a publicly accessible north-south corridor that connects Chatham and Herald Street, offering a clear and welcoming route through the development. Designed to support the historic network of alleyways and laneways in adjacent Chinatown, it invites the public into the site while reinforcing the area's cultural and spatial heritage. This connection enhances permeability and encourages exploration within the urban fabric.



CHATHAM FRONTAGE

The Chatham Street frontage is envisioned as a vibrant commercial edge, supporting local businesses and encouraging pedestrian activity through active retail frontages. Streetscape materials are selected in alignment with the Old Town Design Guidelines, reinforcing the historic character of the area. This treatment creates a cohesive and inviting public realm that blends heritage with contemporary urban life.



5.07 Landscape: Design Elements

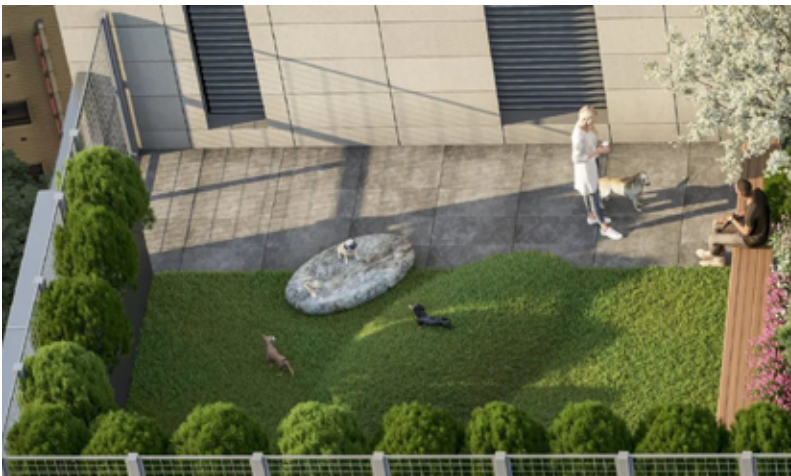
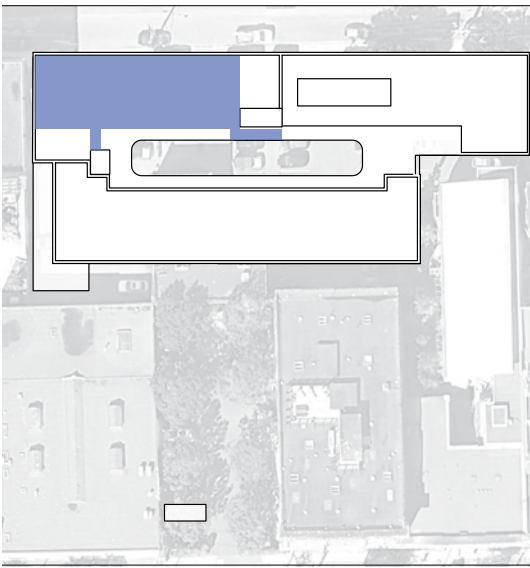
THE COURTYARD

The Courtyard is a quiet, private garden space designed for residents to enjoy from within their homes or viewed from above. Shaded seating, lush planting, and a sculptural water bowl create a serene atmosphere for reflection, conversation, or calm retreat. This intimate landscape offers a moment of pause within the residential setting.



ROOFTOP AMENITY

The rooftop amenity offers residents a dynamic, multi-use outdoor space designed to foster connection and community. With features including a pet relief area, edible gardens, sun deck with bocce court, BBQ dining, and lounge zones, it supports a wide range of shared activities. This elevated retreat becomes a social heart of the building, encouraging everyday interaction and relaxation.



5.08 CALUC Feedback & Responses

A presentation was held to Downtown Residents Association CALUC on Wednesday June 18 2025, to engage in public feedback from this community consultation process.

A summary of what we heard with a project response is illustrated as follows.

1. Concerns were raised regarding the quantity of parking spaces being provided.

Project Response: Given the noted concerns and based on further Traffic Demand Management study, the proposal has been revised to include two levels of underground parking. Refer to the architectural drawings included at the end of this document for updated plans.

2. There were safety and security concerns regarding the Pocket Park, particularly after dark.

Project Response: Through further CPTED analysis, the proposal has been revised to include security gates at the south entrance to the Pocket Park from Herald Street, and at the north entrance via the Passages from Chatham Street. The intent is that the gates would be closed from dusk until dawn, so that the Pocket Park is closed when it's dark, while still being open during daylight hours.

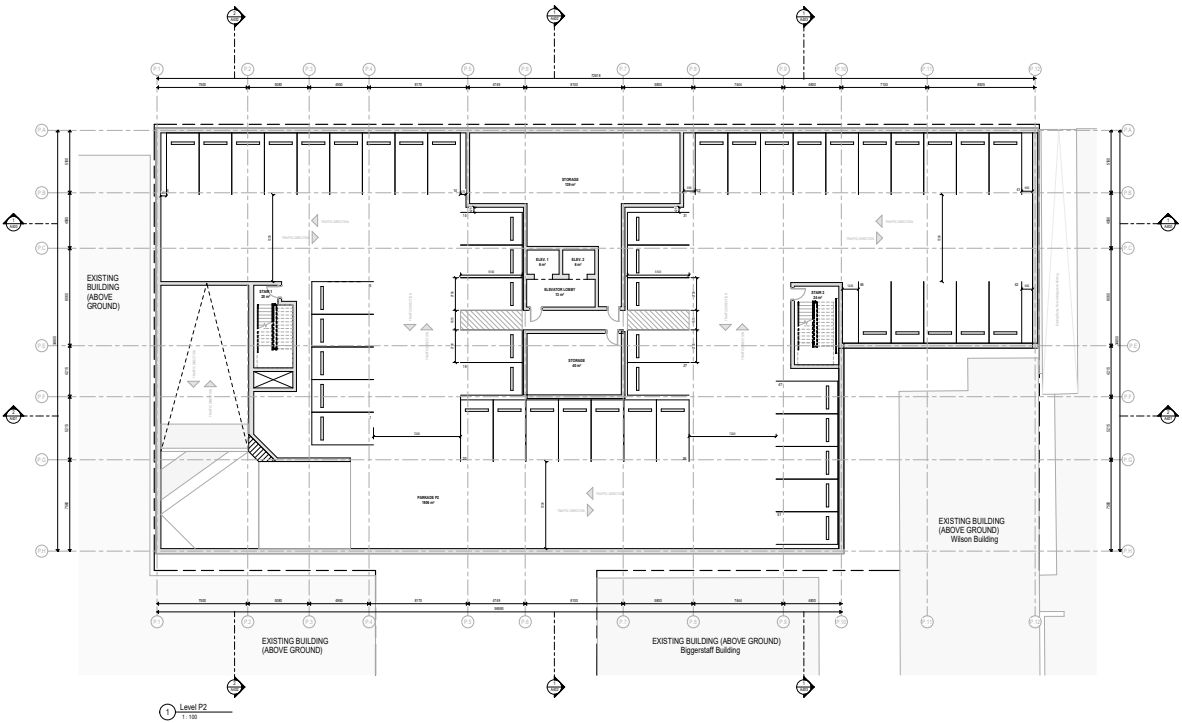


Figure 1: P2 parking level added for additional vehicle parking stalls

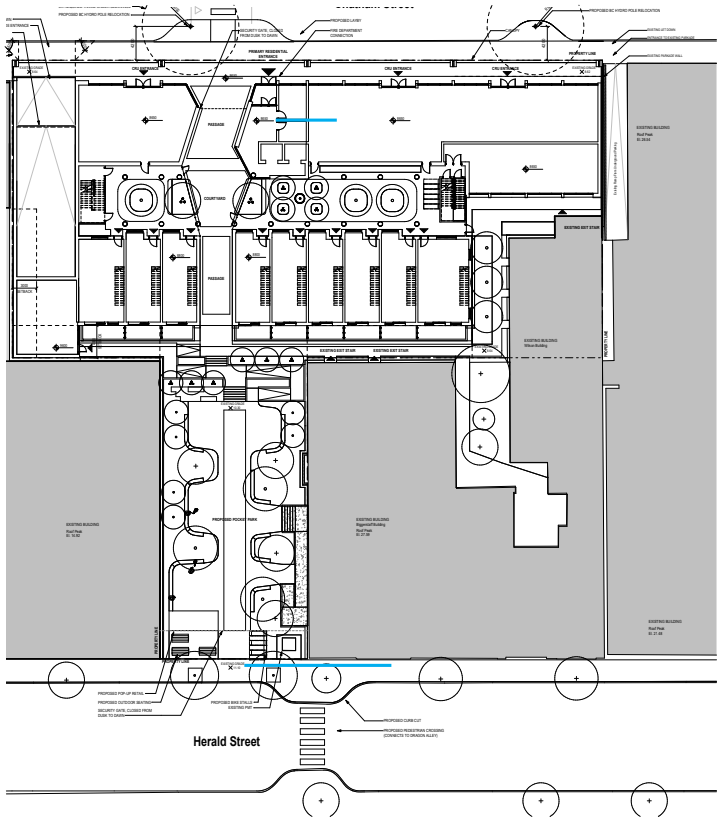


Figure 2: Site Plan indicating proposed gates at the north and south ends of site, to be closed from dusk to dawn.

5.08 CALUC Feedback & Responses (continued)

3. Concern related to separation between adjacent buildings.

Project Response: The Old Town Design Guidelines mandate “to locate and site new buildings and additions to create a continuous streetwall condition” (OTD 5.1.1). To achieve this, the proposal adheres to a zero-lot line at both east and west property lines.

The setback of 555 Chatham from the east property line of the subject site extends approximately 3m adjacent the proposal.

The Old Town Design Guidelines anticipate urban infill redevelopment with minimal building separation to incorporate a continuous streetwall. As such, this 3m separation of 555 Chatham appears to have been previously incorporated in anticipation of future infill redevelopment at the subject site.

We have prepared a study of Horizontal Angle of Daylight with reference from best practice by the City of Vancouver, allowing for each exterior window to have an angle of 50 degrees for which a minimum distance of unobstructed views is at least 2.4m. The proposed building separation exists at 3m, greater than the 2.4m best practice.

This ensures ample natural daylighting for those units at 555 Chatham, and further adheres to code requirements and exposure protection and limiting distance requirements based on BCBC.



Figure 1: Photos of the east property line setback of 555 Chatham Street.

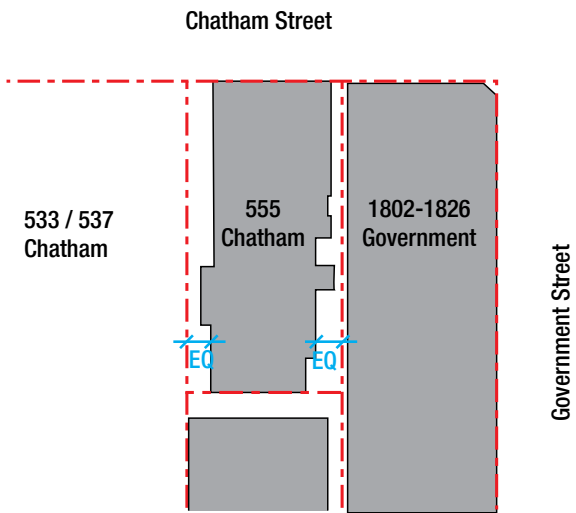


Figure 2: plan diagram illustrating the similar setback on the east and west property lines for 555 Chatham Street.

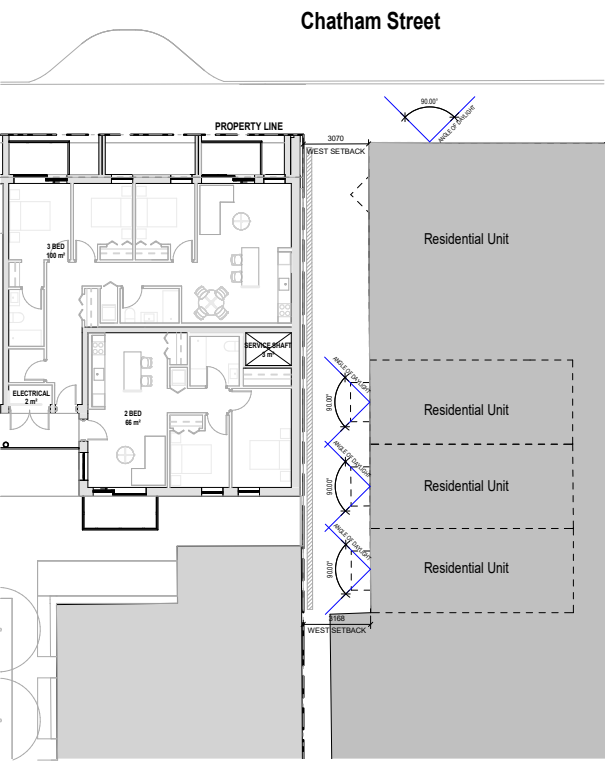


Figure 3: Illustration of Horizontal Angle of Daylight with unobstructed views greater than 2.4m

6 Architectural Drawings



2025-07-16

SYMBOLS LEGEND

VIEW TITLE		VIEW NAME View Scale Ref: 1/ A101	AREA TAG	NAME NAME 150m2
GRD LINE			CEILING TAG	
ELEVATION DATUM			CURTAIN PANEL TAG	
BUILDING ELEVATION			DETAIL ITEM	TYPE NAME
INTERIOR ELEVATION			DOOR TAG	
VIEW REFERENCE		1 / A101	FLOOR TAG	
BUILDING SECTION		Ref	FLOOR FINISH TAG	
WALL SECTION		Ref	KEYNOTE TAG	
CALLOUT ENLARGED PLAN SECTION DETAIL		Ref	MATERIAL TAG	
DETAIL		Ref	CASEWORK TAG	
			PARKING TAG	
			PLUMBING FIXTURE TAG	
			REVISION TAG	
			ROOM TAG	
			SPECIALTY EQUIPMENT TAG	
			STAIR TAG	
			WALL TAG	
			WINDOW TAG	
			SPOT ELEVATION - EXISTING	
			SPOT ELEVATION - TARGET	
			CENTRE LINE	

PROJECT INFORMATION TABLE	
Zone	OTD-1
Proposed zone or site specific zone	New Zone
Site area (ft2)	50,909 sqft
Total floor area (ft2)	87,587 sqft
Commercial floor area (ft2)	4,603 sqft
Floor space ratio	1.72
Site coverage (%)	31.9%
Open site space (%)	14.5%
Height of building (m)	21.500
Number of storeys	6-Storeys
Parking stalls on site	79 Stalls
Bicycle parking number (Class 1 and Class 2)	167 Class A Stalls
Building Setbacks (m)	
Front yard, North	1.87m
Rear yard, South	4.0 m
Side yard, East	3.0 m, mid-block setback
Side yard, West	3.0 m, mid-block setback
Residential Use Details	
Total number of units	134 Units
Unit type	Loft-Units, Studio, 1-Bedroom, 2-Bedroom, 3-Bedroom
Ground-orientated units	9 Loft-Units
Minimum unit floor area (m2)	35m2
Minimum unit floor area (m2)	1389m2

PROJECT STATISTICS

GBA									FAR			
Level	A Residential Saleable Area	B Commercial Saleable Area	C Interior Lobby and Circulation	D Exterior Common/Circulation	E Amenity	F Mech/Elec/Service	G Storage/Bikes	H GBA (H= Sum A-G)	I Exclusion - Bikes	J Exclusion - Loft Mezzanine	K Exclusion - Exterior Common/Circulation	L FAR Area (L=H+J+K)
6	14,840	-	164	2,244	-	99	-	17,347	-	-	2,400	14,947
5	14,840	-	164	2,268	-	99	-	17,371	-	-	2,268	15,103
4	14,840	-	164	2,244	-	99	-	17,347	-	-	2,400	14,947
3	14,840	-	164	2,268	-	99	-	17,371	-	-	2,268	15,103
2	14,840	-	164	2,420	-	99	-	17,523	-	-	2,400	15,103
1.5	2,568	-	-	461	-	-	-	3,029	-	2,568	461	-
1	4,980	4,603	630	414	1,906	285	-	12,798	-	-	630	12,168
Subtotal	81,738	4,603	1,450	12,299	1,906	780	-	102,746	-	2,568	12,827	87,331

	Parkade	Garbage and Recycle	Interior Lobby and Circulation	Exterior Common/Circulation	Amenity	Mech/Elec/Service	Storage/Bikes	GBA (H= Sum A-G)	I Exclusion - Bikes	J Exclusion - Loft Mezzanine	K Exclusion - Exterior Common/Circulation	L FAR Area (L=H+J+K)
P1	15,934	883	932	-	-	1,672	3,202	23,623	-	-	-	23,623
P2	20,650	-	928	-	-	-	1,969	23,747	-	-	-	23,747
Total	96,682	5,486	2,382	12,299	1,906	2,452	3,202	126,389	-	-	-	-

TOTAL SITE STATISTICS

Parcel Area	50,909.00
Dedications	0
Net Parcel Area	50,909.00
FAR Allowable	3.00

Existing - Biggerstaff Building	0.68
Existing - Wilson Buling	0.49
Proposed Building	1.72
Total FAR	2.89

Total Units	134
Number of stories	6

TOTAL BIKE PARKING STATISTICS

Bike Parking Required	Units	Ratio	Total
Dwelling Unit More than 45m2	129	1.25	162
Dwelling Unit Less than 45m2	5	1	5
Total Bike Parking Required			167

Bike Parking Provided	Units	Ratio
Vertical Bike Rack	18	11%
Horizontal Bike Rack (stacked)	96	57%
Oversized Bike Stall	14	8%
Bike Locker	26	23%
Total Bike Stalls	167	

SITE STATISTICS

Site Area	50,909	sf
FSR	1.72	
FSR Allowable	1.83	
FSR Over/Under	-0.11	
Area Over/Under	-5,792	sf

TOTAL PARKING STATISTICS

Parkade Level P1	
Commercial Visitor Stalls	6
Visitor Parking	7
Accessible Stalls (Car)	3
Accessible Stalls (Van)	4
Parking Stall	8
Total Parkade Level 1	28

Parkade Level P2	
Commercial Visitor Stalls	0
Visitor Parking	0
Accessible Stalls (Car)	0
Accessible Stalls (Van)	0
Parking Stall	51
Total Parkade Stalls	51

Total Parking Stalls	
Commercial Visitor Stalls	6
Visitor Parking	7
Accessible Stalls (Car)	3
Accessible Stalls (Van)	4
Parking Stall	59
Total Parkade Level 1	79

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

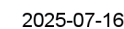
Issued for Rezoning and Development
Permit

Project Information, Symbols, and
Statistics

Date	
Drawn By	ME
Checked By	AT
Scale	1 : 100
Original Size	A0



A001



Revisions		
No.	Description	Date

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development Permit

Existing Site Plan

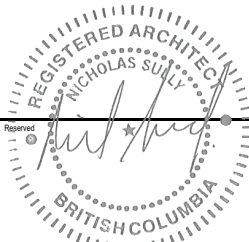
Date	
Drawn By	Author
Checked By	AT
Scale	1 : 150
Original Size	A0



A011



1 Site Plan - Existing
1 : 150



2025-07-16

Revisions		
No.	Description	Date

Key Plan

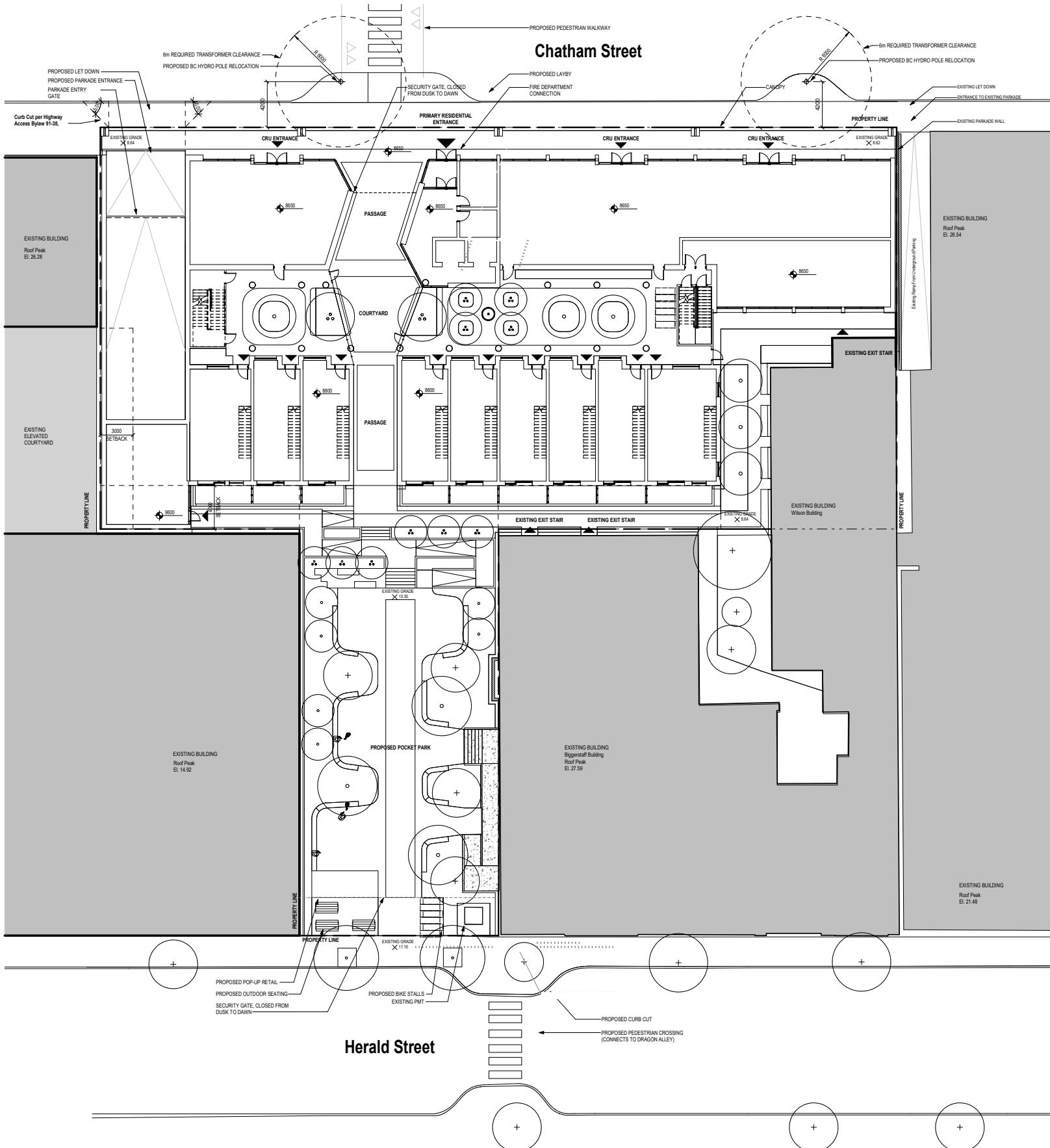
Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

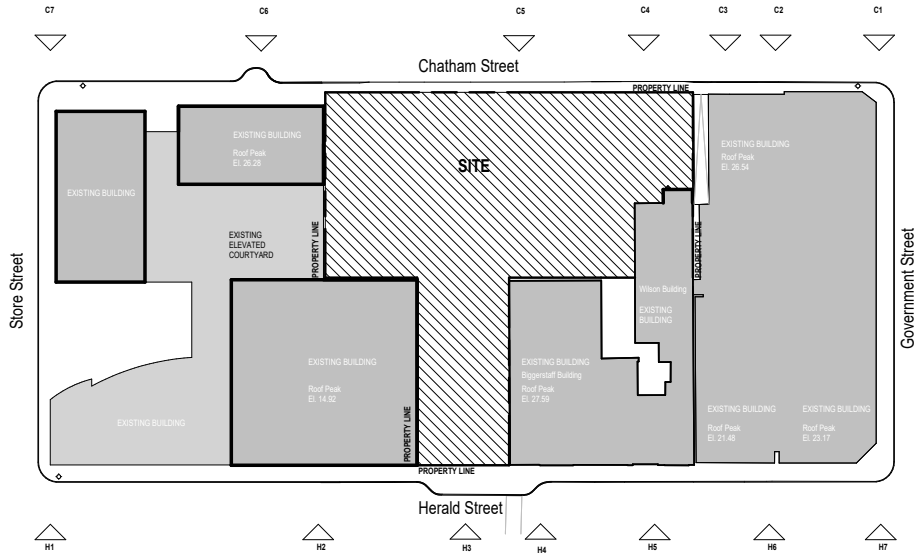
Site Plan

Date
Drawn By ME
Checked By AT
Scale 1 : 150
Original Size A0



1 Site Plan
1 : 150

SITE IMAGE KEY



CHATHAM STREET



Image Reference #: C1
Description: Commercial Building, Two Storey Residential



Image Reference #: C2
Description: Commercial Building, Two Storey Residential



Image Reference #: C3
Description: Adjacent Commercial & Residential Building



Image Reference #: C4
Description: Wilson Building



Image Reference #: C5
Description: North Facade of Biggerstaff



Image Reference #: C6
Description: Adjacent Residential Building, Ironworks



Image Reference #: C7
Description: Adjacent Residential Building, Ironworks

HERALD STREET



Image Reference #: H1
Description: Commercial Unit



Image Reference #: H2
Description: Adjacent Commercial Unit



Image Reference #: H3
Description: Site, with existing trees



Image Reference #: H4
Description: Adjacent Existing Building, Biggerstaff Building (Historical)



Image Reference #: H5
Description: Level Once Commercial, Two Storeys Residential



Image Reference #: H6
Description: Break between buildings



Image Reference #: H7
Description: Commercial Building, Two Storey Residential



2025-07-16

Revisions		
No.	Description	Date

Key Plan

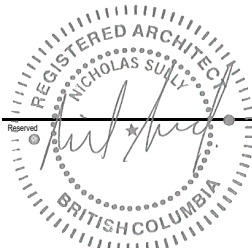
Project 2502

Herald
517-533 Chatham Street + 530-538 Herald Street

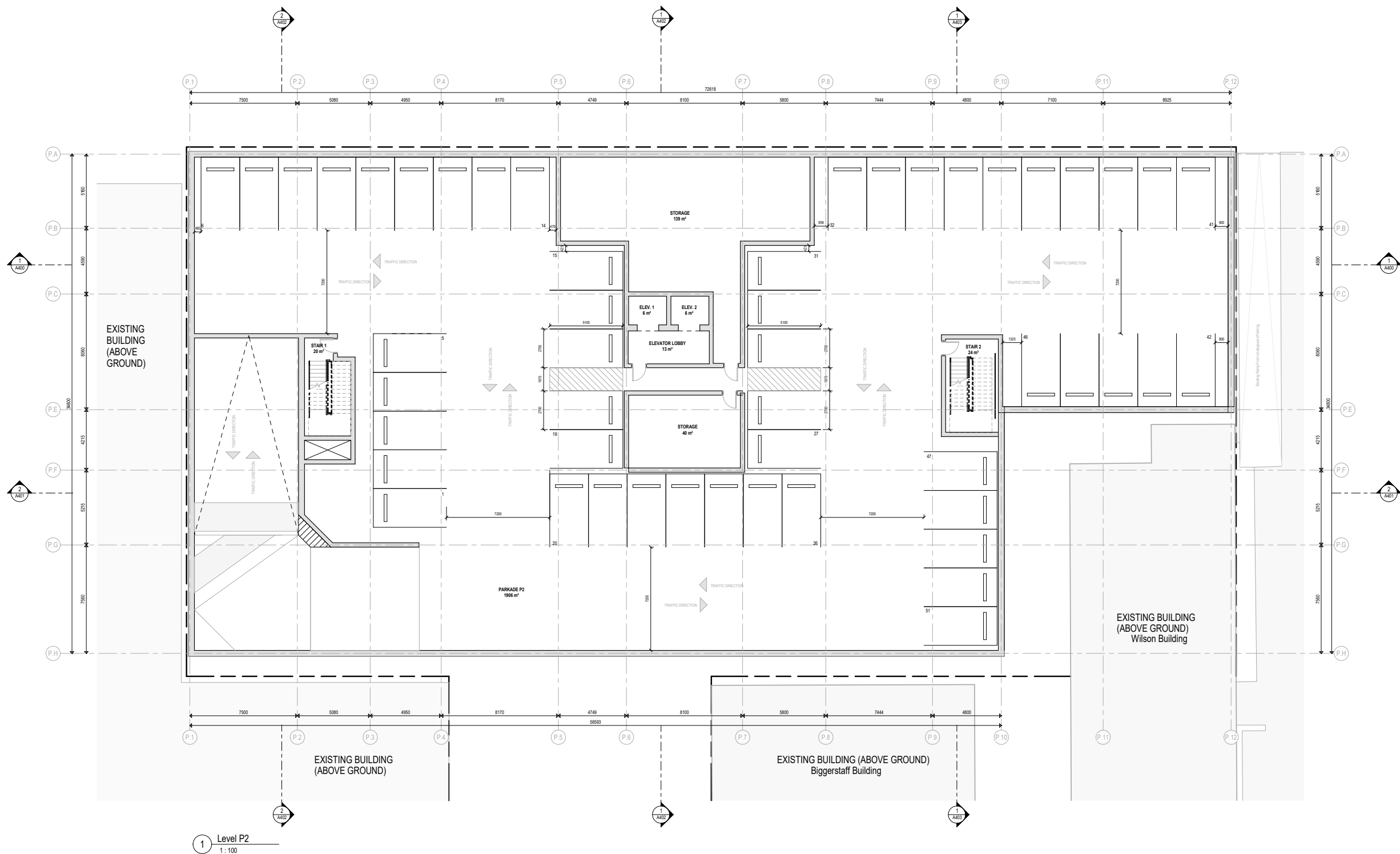
Issued for Rezoning and Development Permit

Site Photos - Street Context

Date	
Drawn By	Author
Checked By	AT
Scale	1: 500
Original Size	A0



2025-07-16



Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

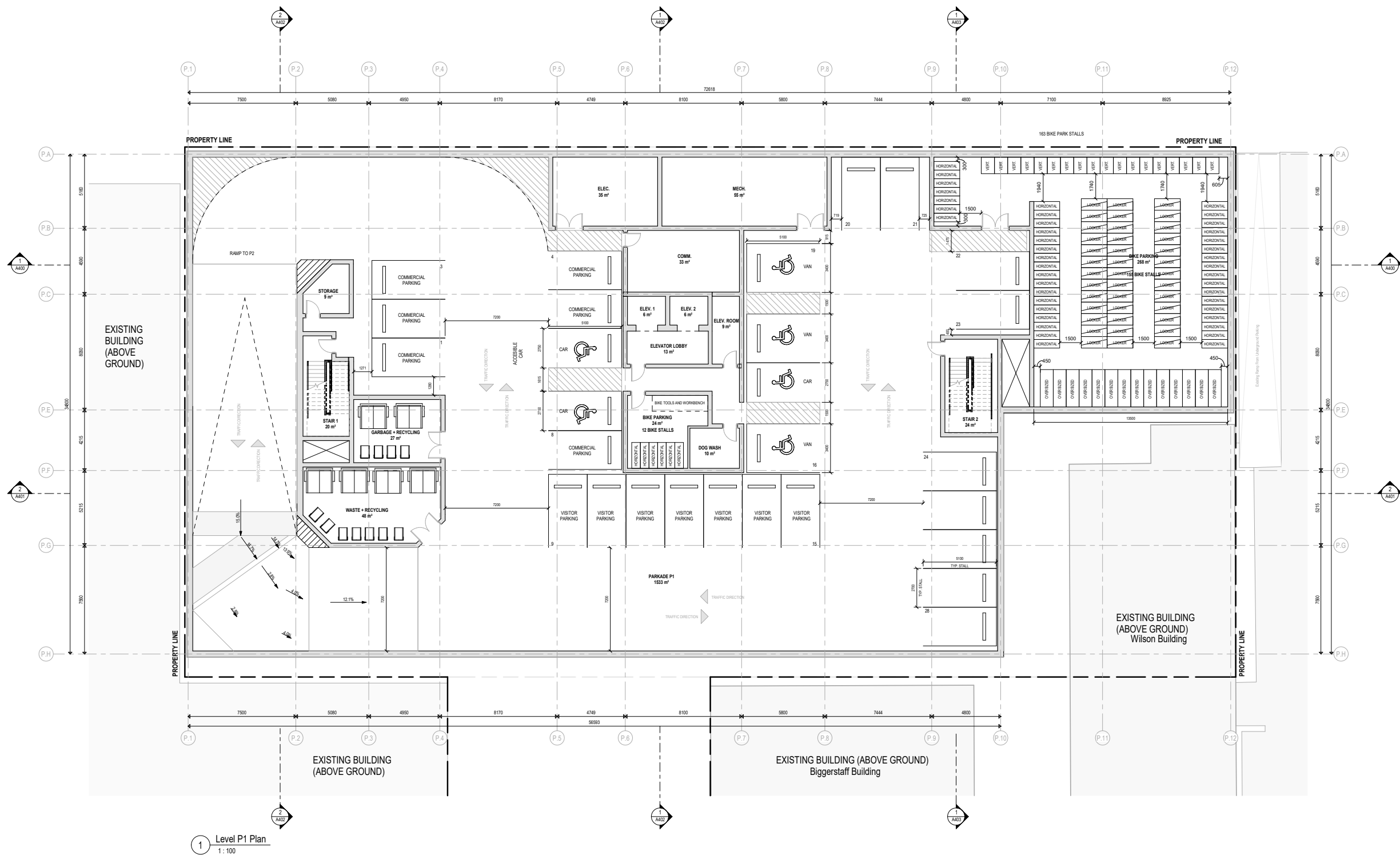
Issued for Rezoning and Development
Permit

Level P2 Plan

Date
Drawn By ME
Checked By AT
Scale 1:100
Original Size A0



2025-07-16



1 Level P1 Plan
1:100

Revisions		
No.	Description	Date
1	Issued for DPERZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

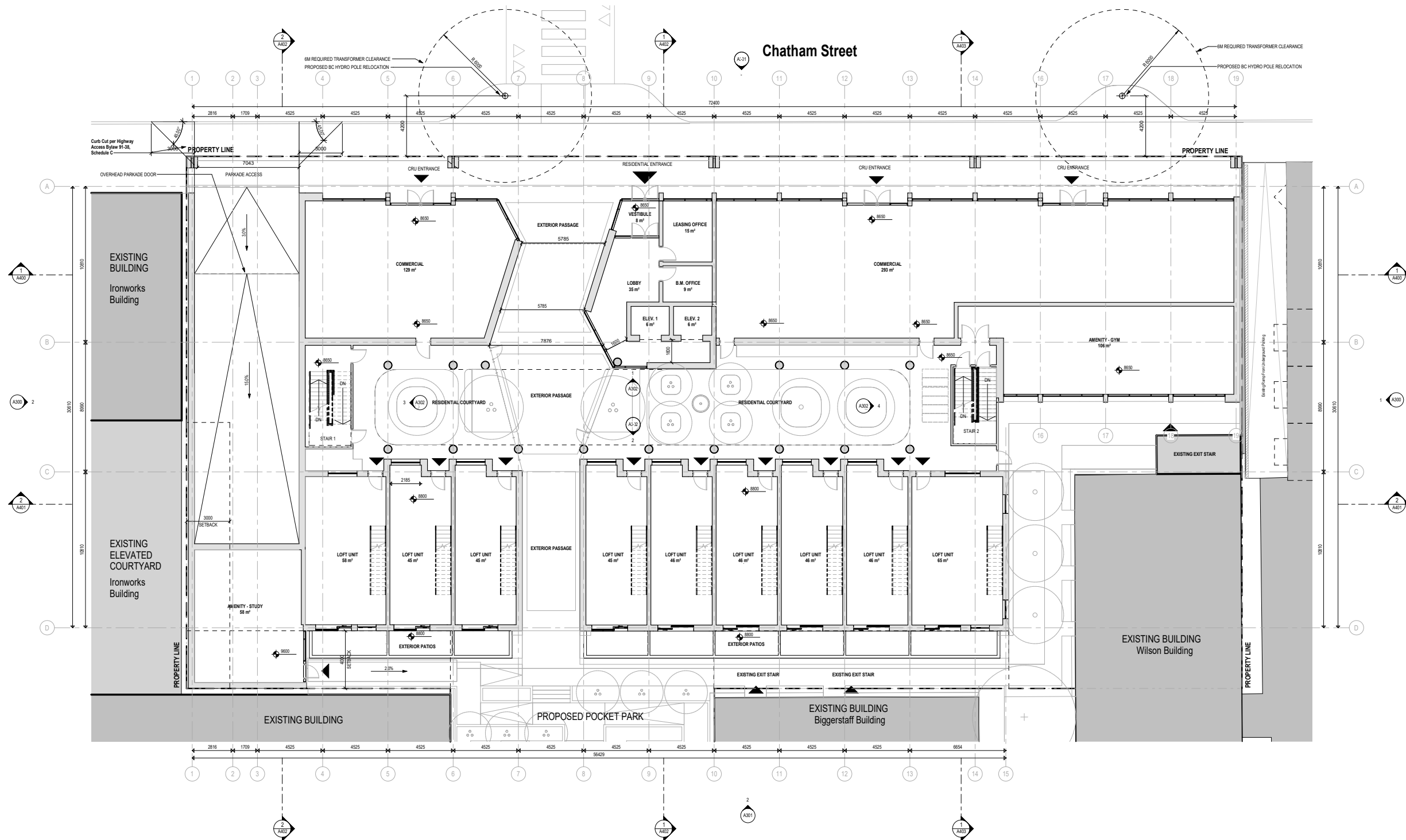
Issued for Rezoning and Development
Permit

Level P1 Plan

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0



2025-07-16



1 Level 1 Plan
1:100

Revisions		
No.	Description	Date
1	Issued for DPERZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

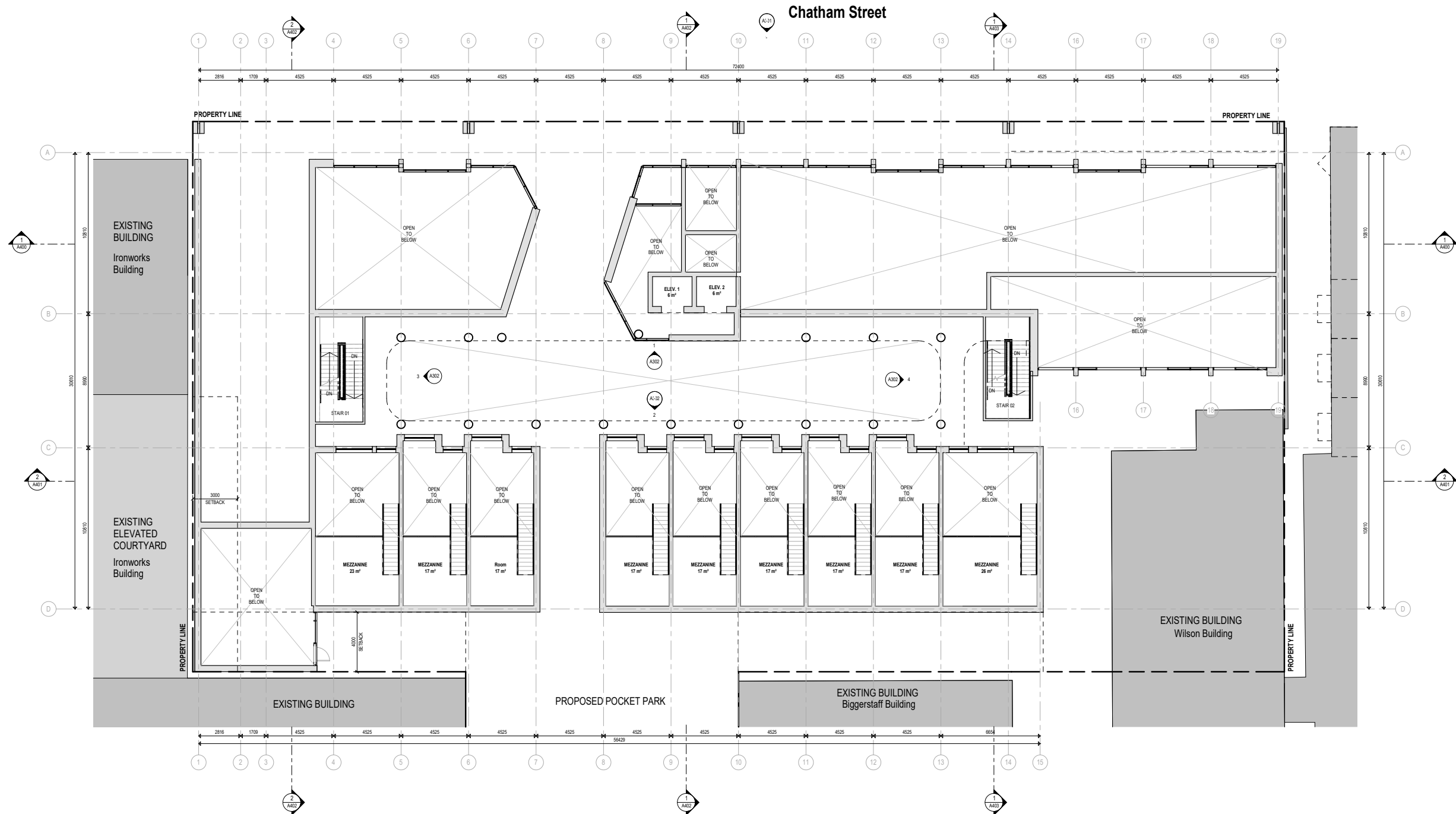
Issued for Rezoning and Development
Permit

Level 1 Plan

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0



2025-07-16



1 Level 1.5 - Mezzanine Plan
1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

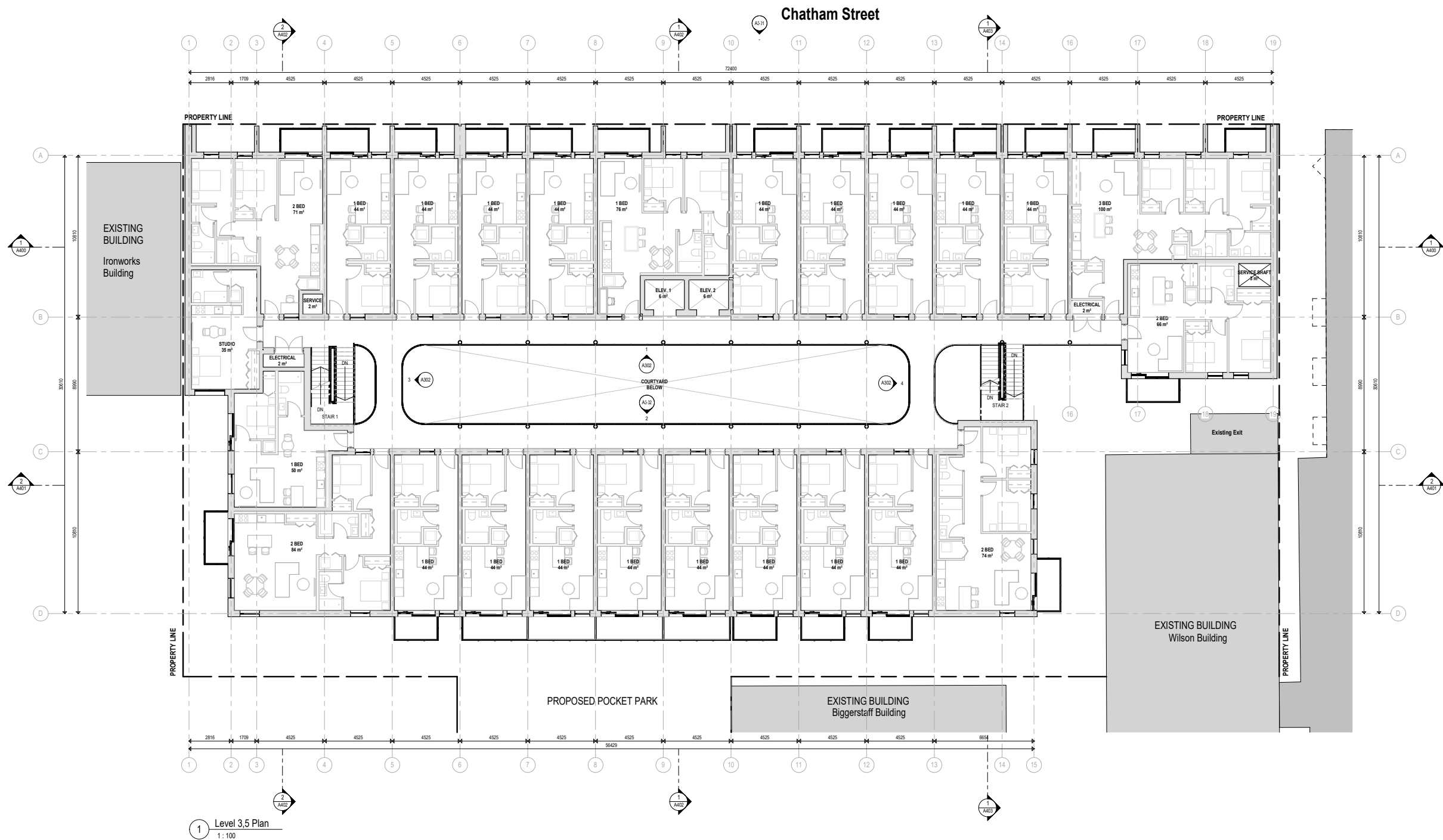
Issued for Rezoning and Development
Permit

Level 1.5 Mezzanine Plan

Date
Drawn By ME
Checked By AT
Scale 1:100
Original Size A0



2025-07-16



1 Level 3,5 Plan
1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

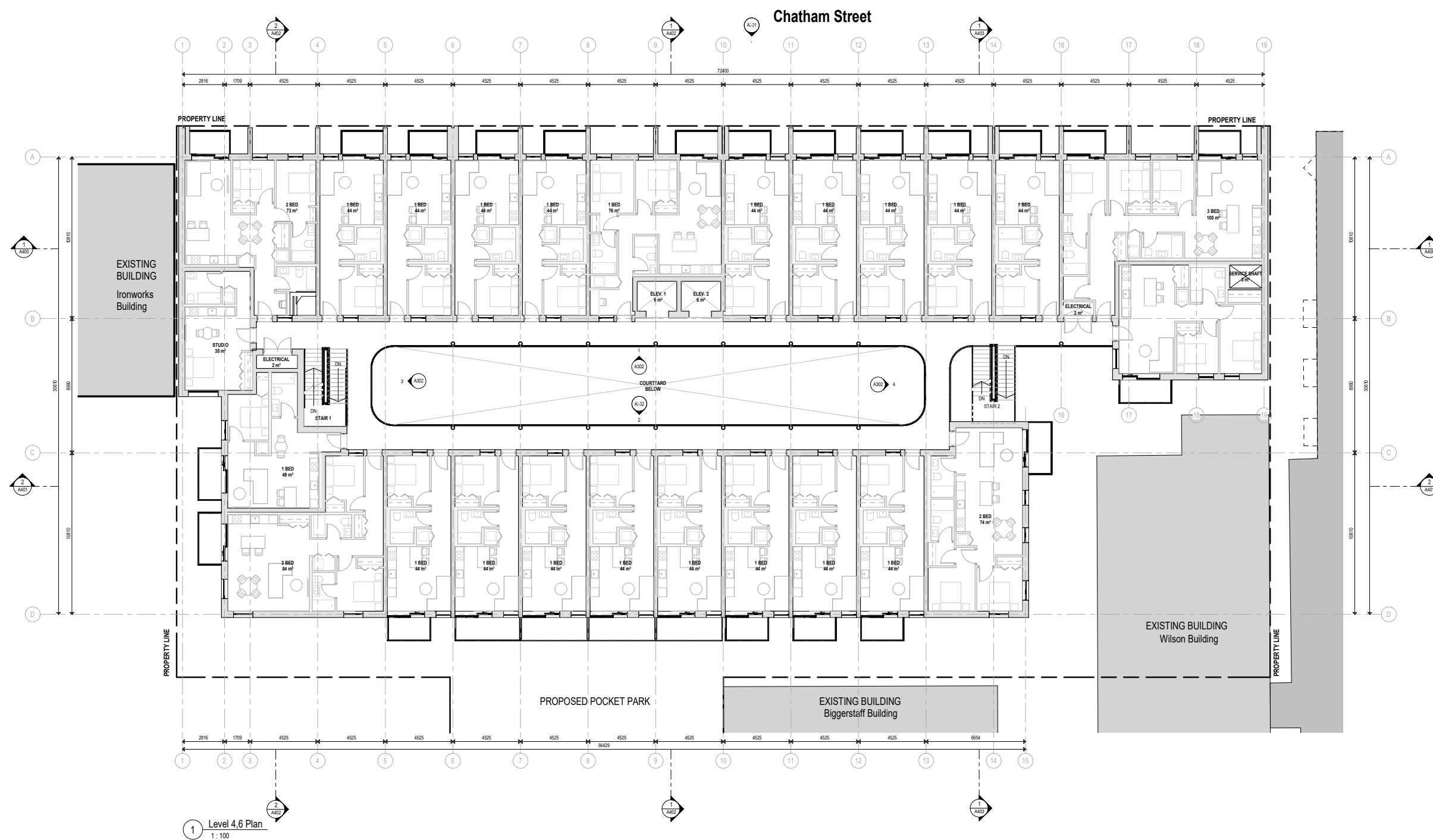
Project 2502

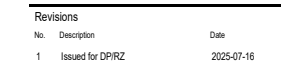
Herald
517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

Level 3,5 Plan

Date	
Drawn By	GM
Checked By	AT
Scale	1:100
Original Size	A0





Key Plan

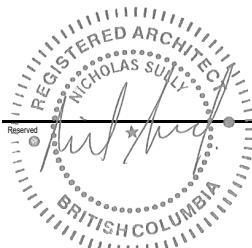
Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development Permit

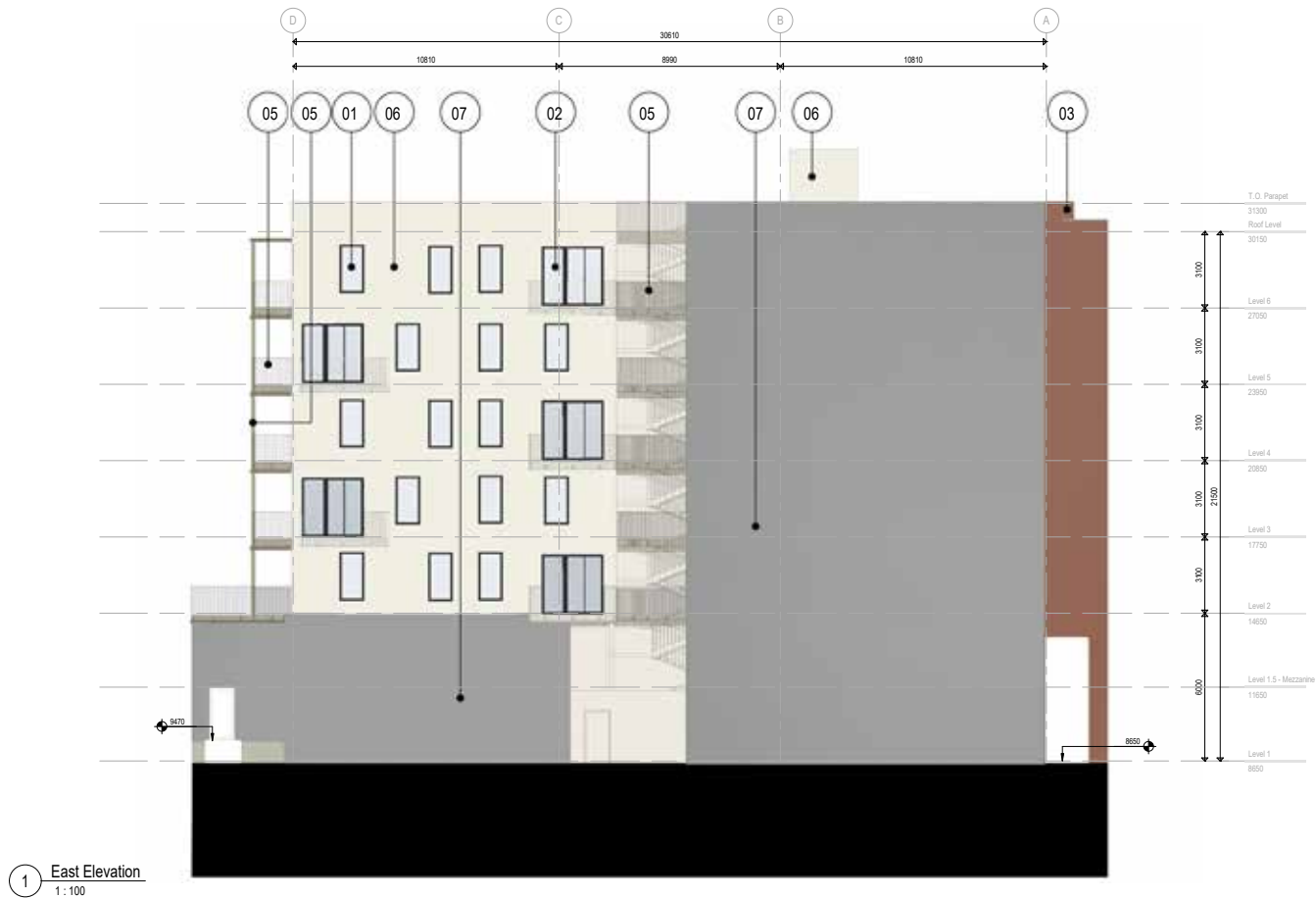
Roof Level Plan	
Date	
Drawn By	ME
Checked By	AT
Scale	1 : 100
Original Size	A0



2025-07-16

MATERIAL LEGEND

- 01 - Glazing
- 02 - Sliding Glass Door
- 03 - Red Brick
- 04 - Charcoal Brick
- 05 - Metal - Vertical & Picket Guards
- 06 - Cementitious Panel - Light
- 07 - Cementitious Panel - Dark



Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

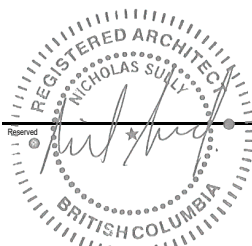
Herald

517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

Building Elevations - East and West

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0



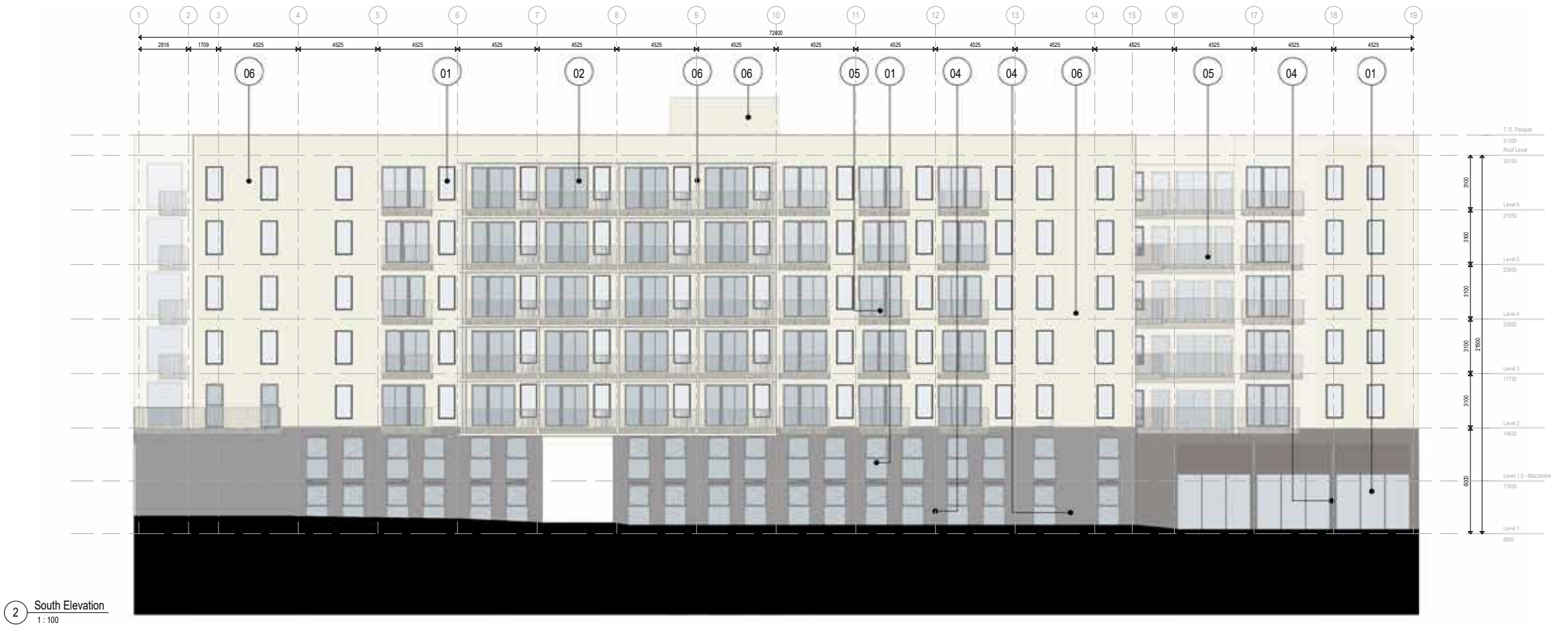
2025-07-16

MATERIAL LEGEND

- 01 - Glazing
- 02 - Sliding Glass Door
- 03 - Red Brick
- 04 - Charcoal Brick
- 05 - Metal Picket Guard
- 06 - Cementitious Panel - Light
- 07 - Cementitious Panel - Dark



1 North Elevation
1: 100



2 South Elevation
1: 100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

Building Elevations - North and South

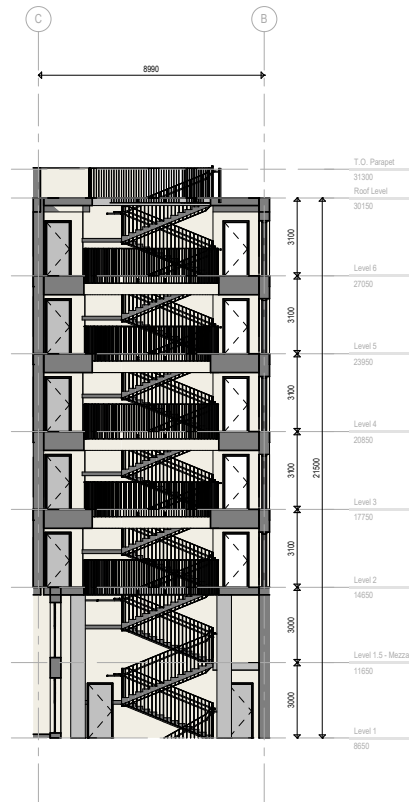
Date	
Drawn By	ME
Checked By	AT
Scale	1: 100
Original Size	A0



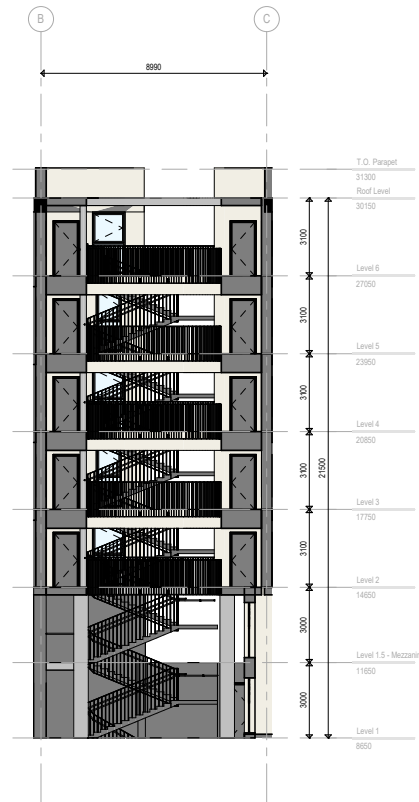
1 Elevation - South Courtyard
1 : 100



2 Elevation - North Courtyard
1 : 100

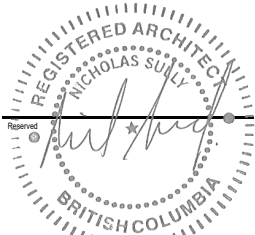


3 Elevation - West Courtyard
1 : 100



4 Elevation - East Courtyard
1 : 100

Seal



2025-07-16

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

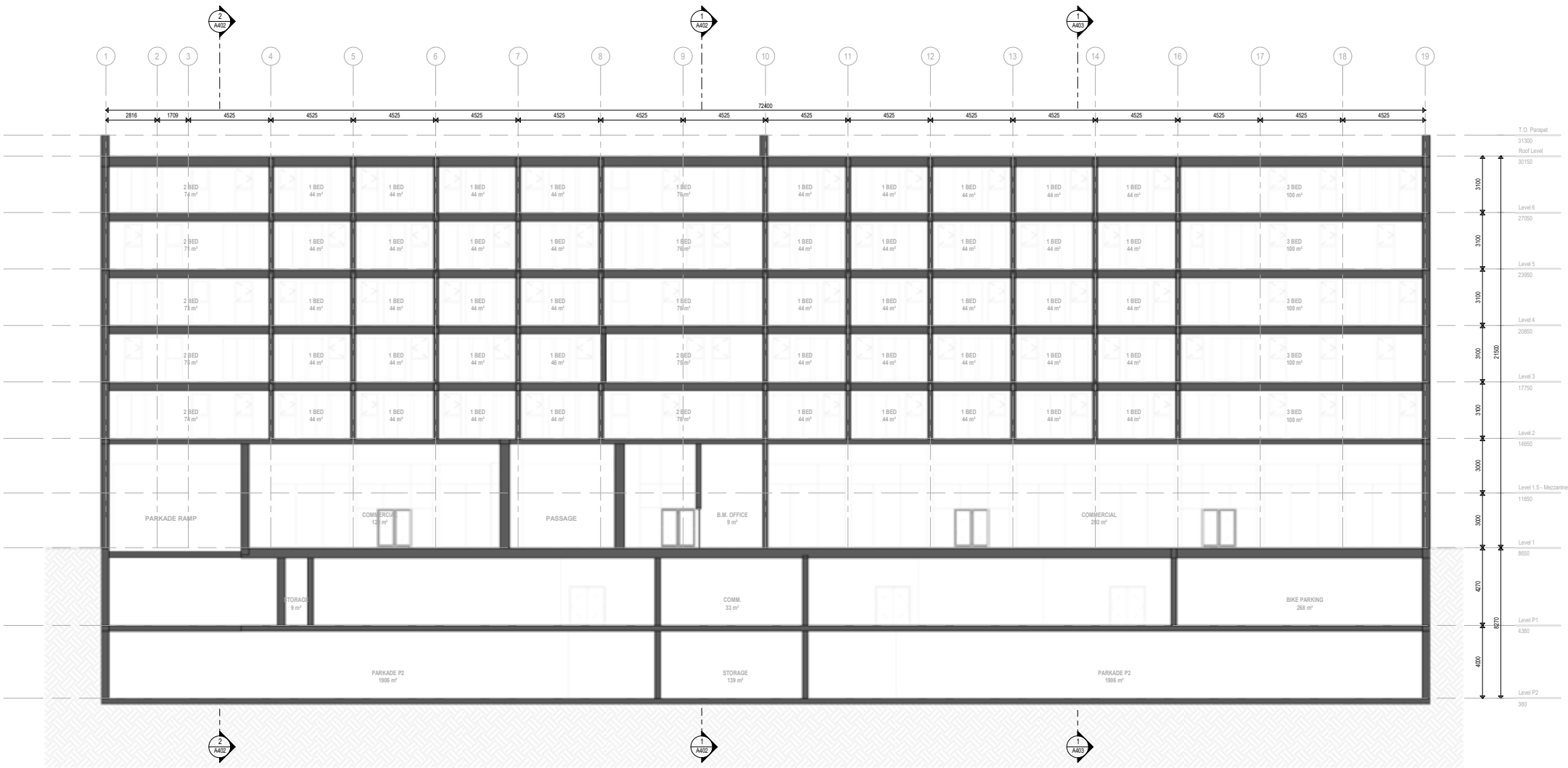
Issued for Rezoning and Development
Permit

Building Elevations - Courtyard

Date	
Drawn By	ME
Checked By	AT
Scale	1 : 100
Original Size	A0



2025-07-16



1 East West Building Section through North Block
1 : 100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

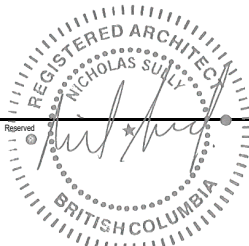
Herald
517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

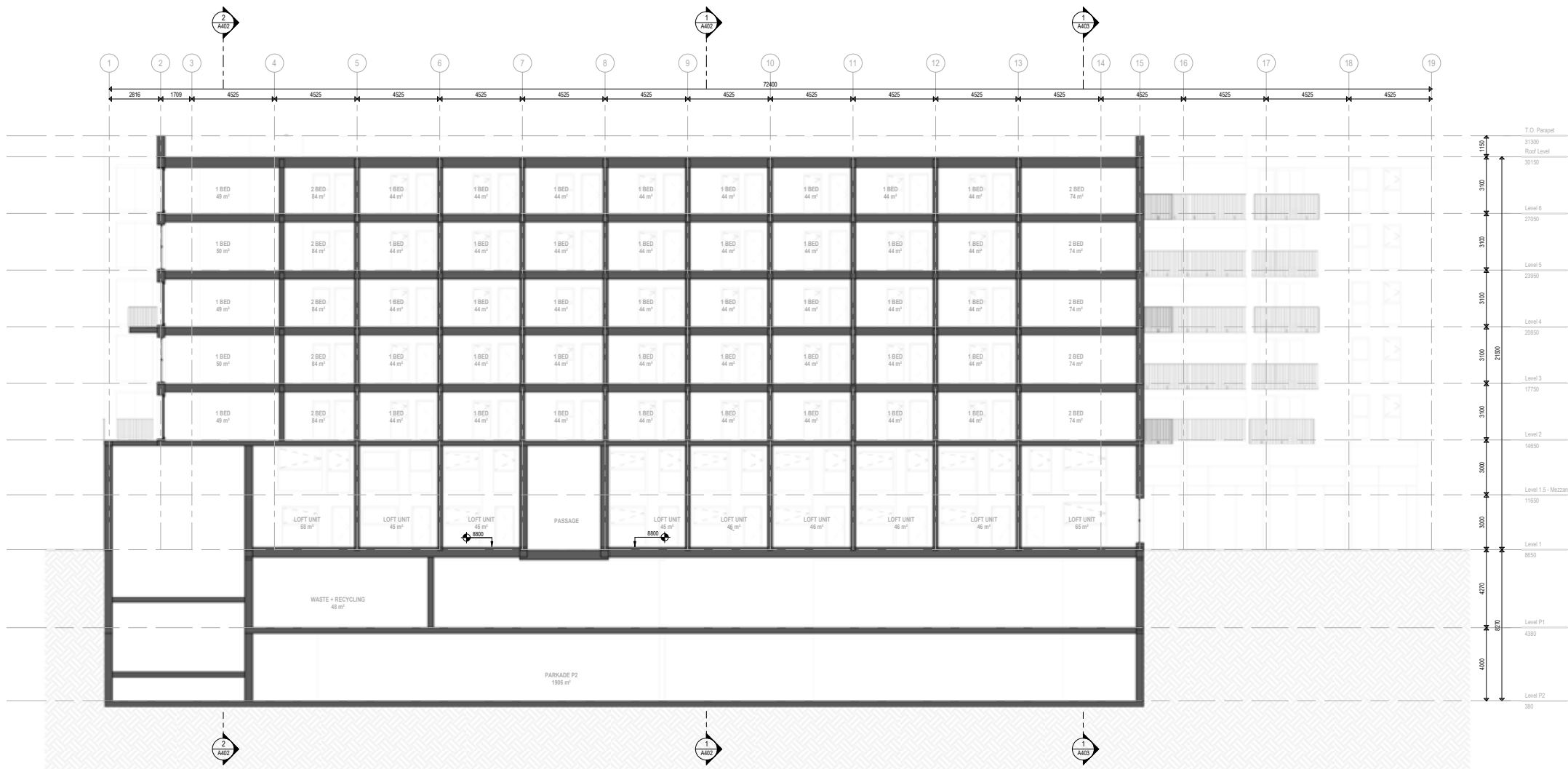
Building Sections E-W

Date	
Drawn By	Author
Checked By	AT
Scale	1 : 100
Original Size	A0

A400



2025-07-16



2 East West Building Section through South Block
1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

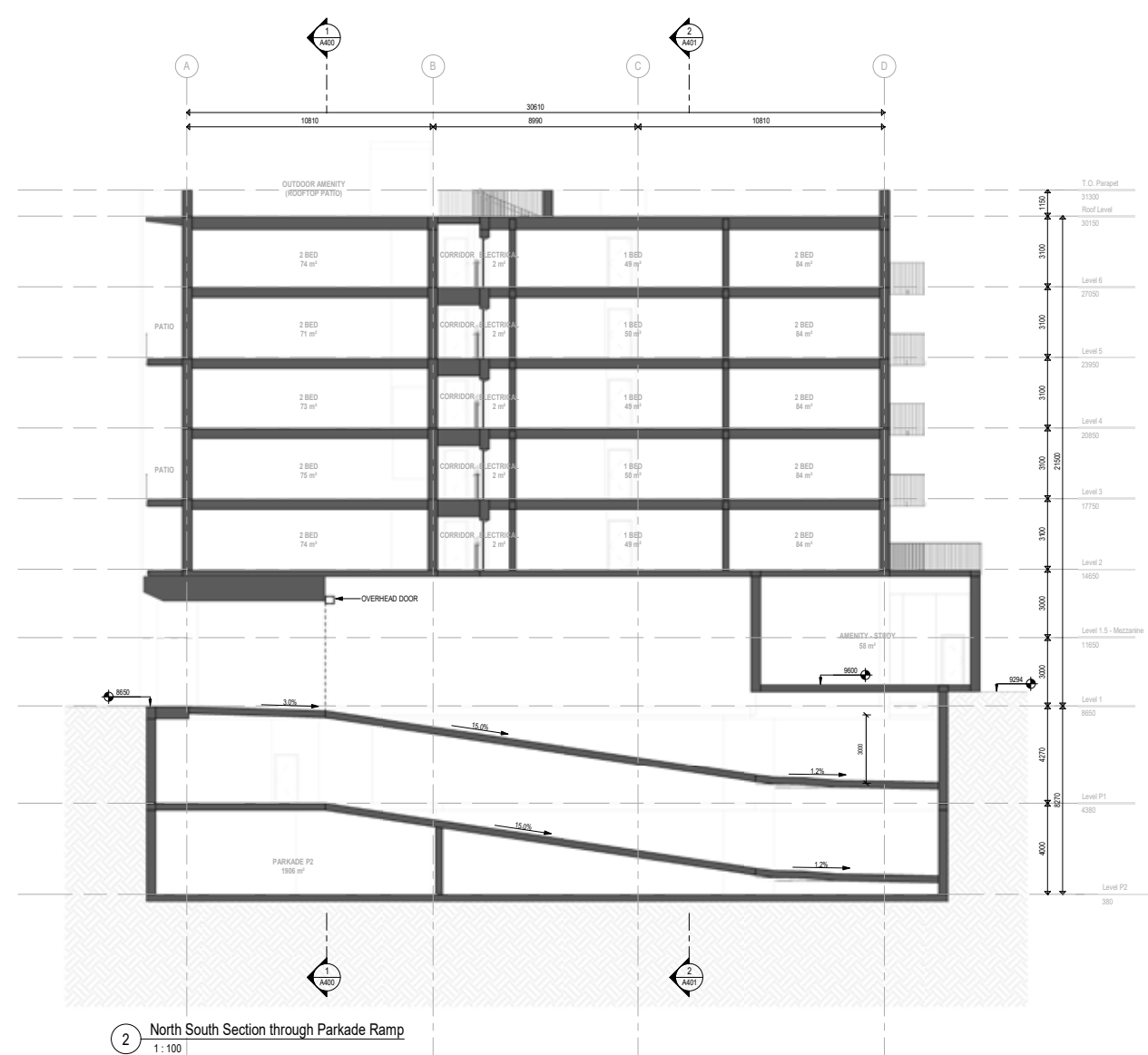
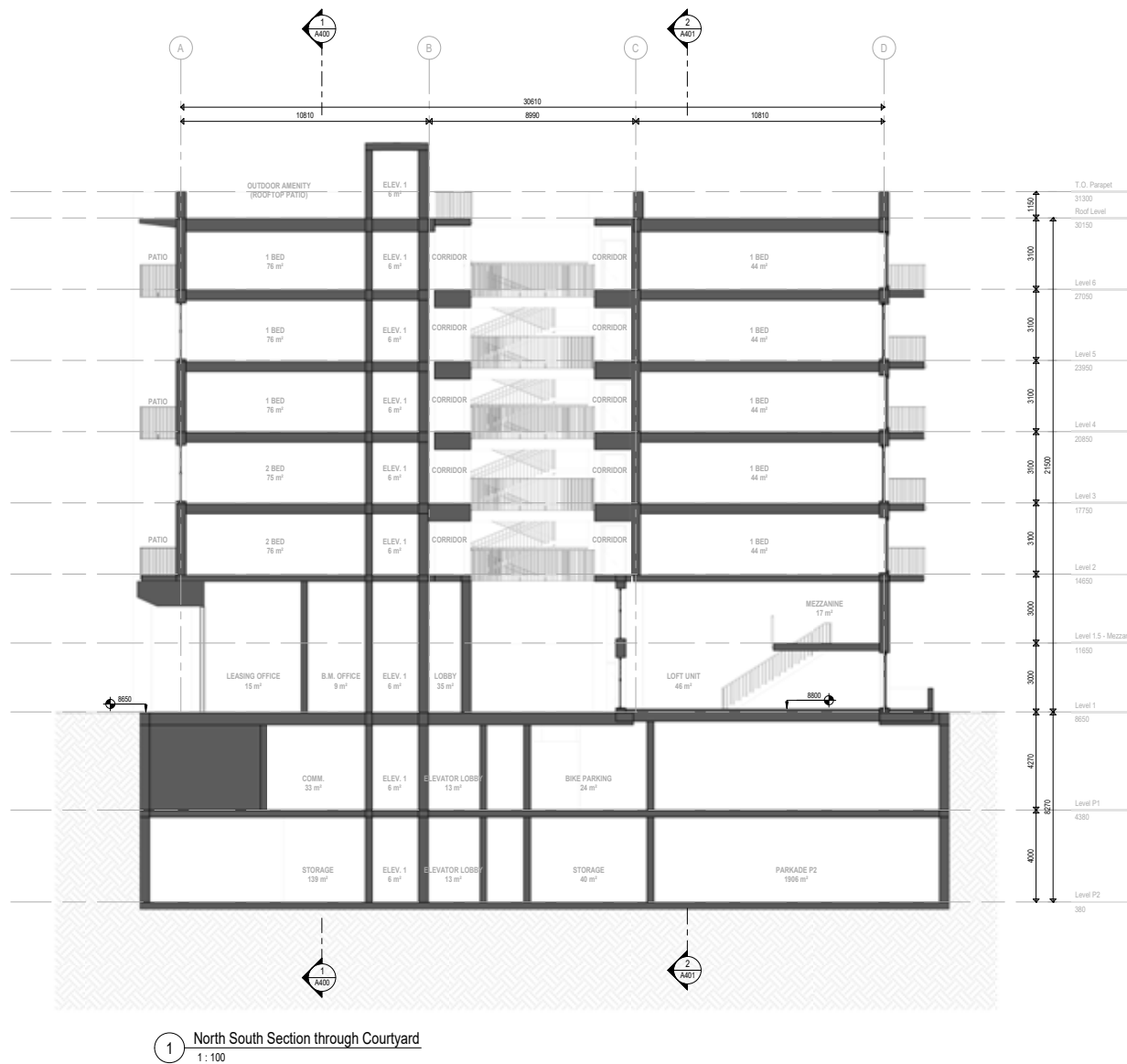
Issued for Rezoning and Development
Permit

Building Sections E-W

Date	
Drawn By	Author
Checked By	AT
Scale	1:100
Original Size	A0



2025-07-16



Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

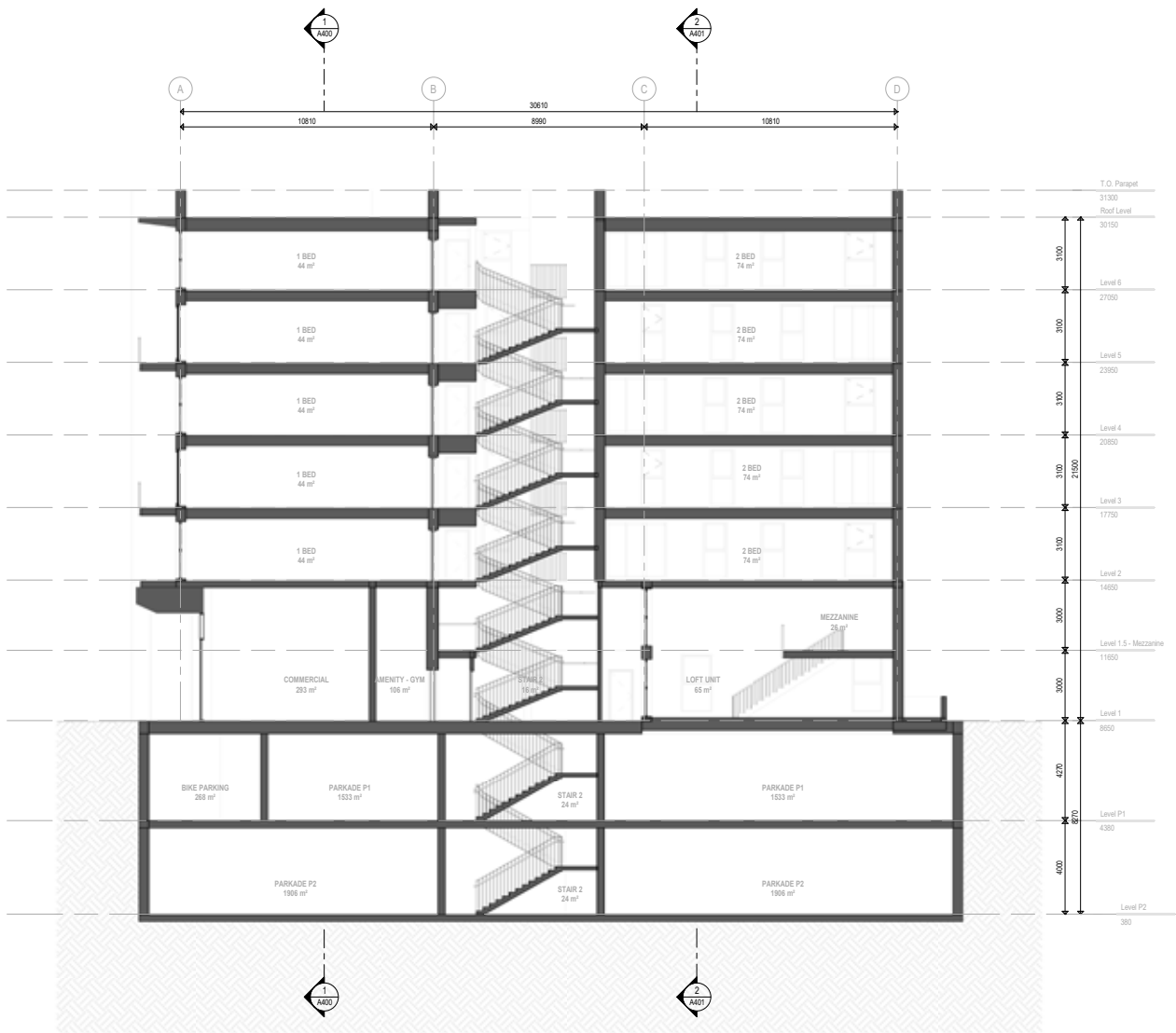
Issued for Rezoning and Development
Permit

Building Sections N-S

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0



2025-07-16



1 North South Section through Stairwell
1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Issued for Rezoning and Development
Permit

Building Sections N-S

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0

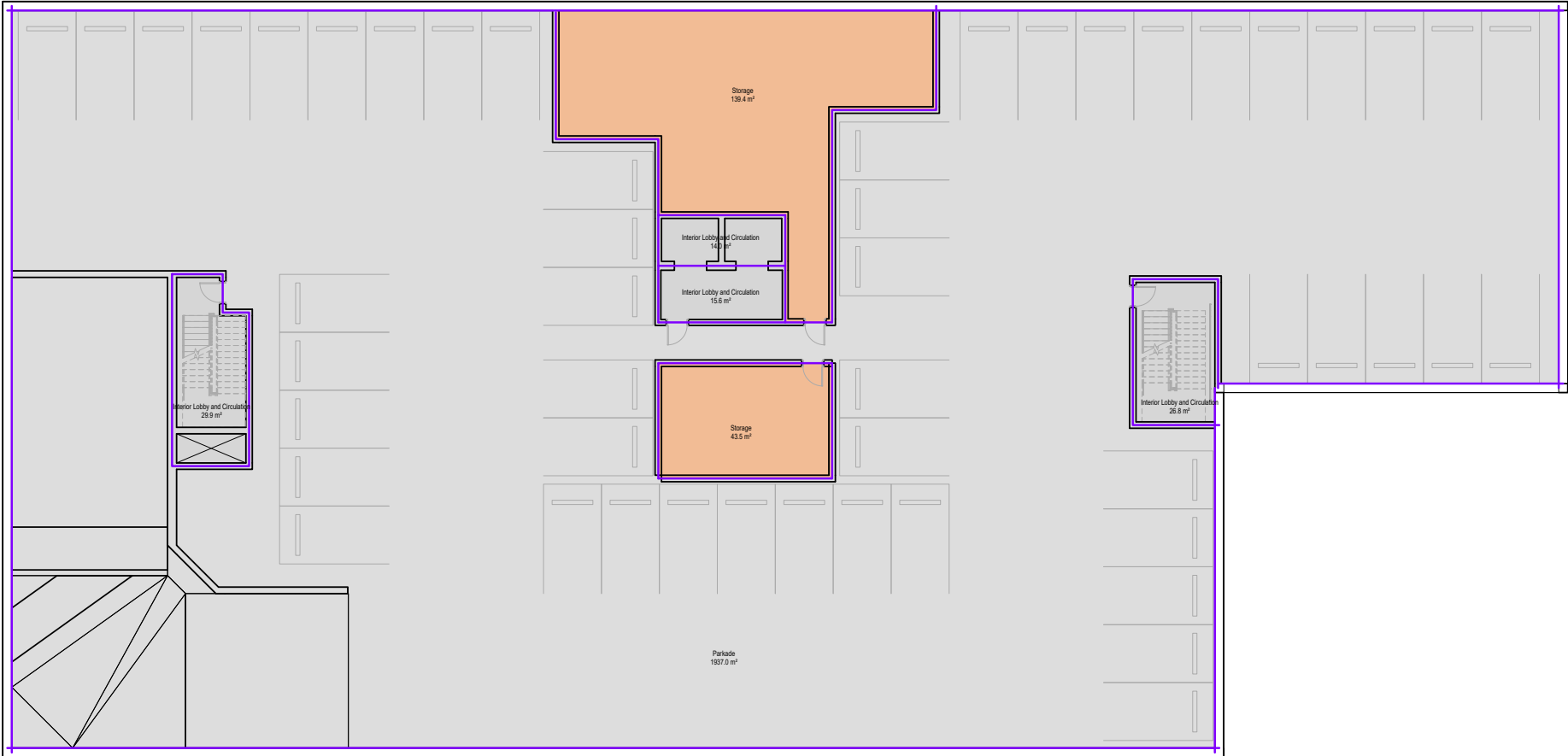
Seal



2025-07-16

Parkade P2

Area Type	Area (m2)	Area (ft2)
Level P2		
Interior Lobby and Circulation	86 m²	928 ft²
Parkade	1927 m²	20850 ft²
Storage	183 m²	1969 ft²
	2206 m²	23747 ft²



Level P1

Area Type	Area (m2)	Area (ft2)
Level P1 Plan		
Dog Wash	9 m²	100 ft²
Garbage + Recycling	62 m²	883 ft²
Interior Lobby and Circulation	87 m²	932 ft²
Mech/Elec/Service	155 m²	1672 ft²
Parkade	1570 m²	16895 ft²
Storage	33 m²	355 ft²
Storage/Bikes	269 m²	2899 ft²
	2206 m²	23736 ft²



Revisions

No.	Description	Date
-----	-------------	------

Key Plan

Project 2502

Herald

532-536 Herald Street & 517-533 Chatham Street

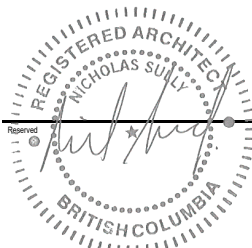
Issued for Rezoning and Development Permit

Project Statistics And Gross Floor Area - P2, P2

Date	2025-07-13
Drawn By	Author
Checked By	AT
Scale	1 : 100
Original Size	A0



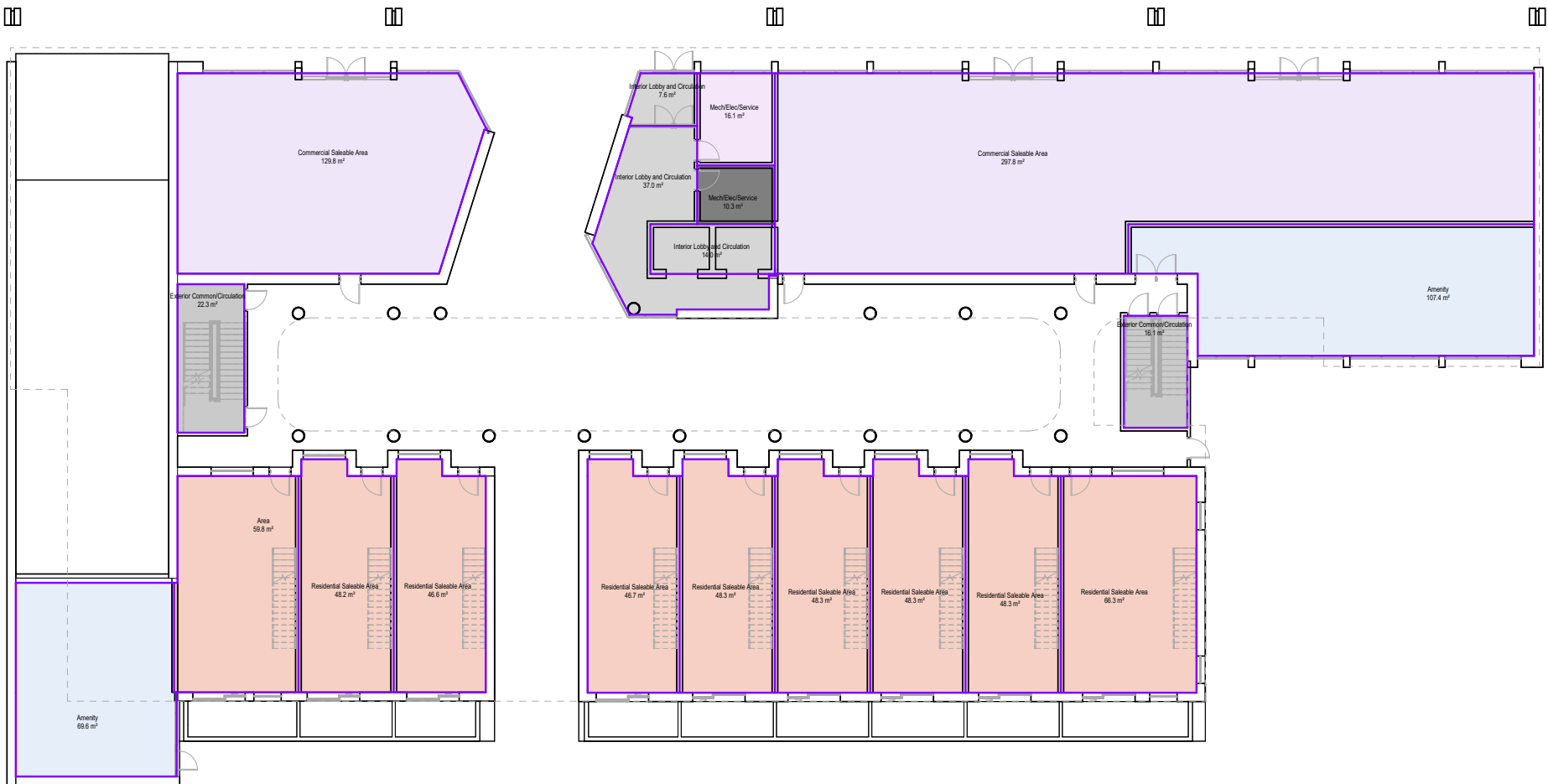
A003



2025-07-16

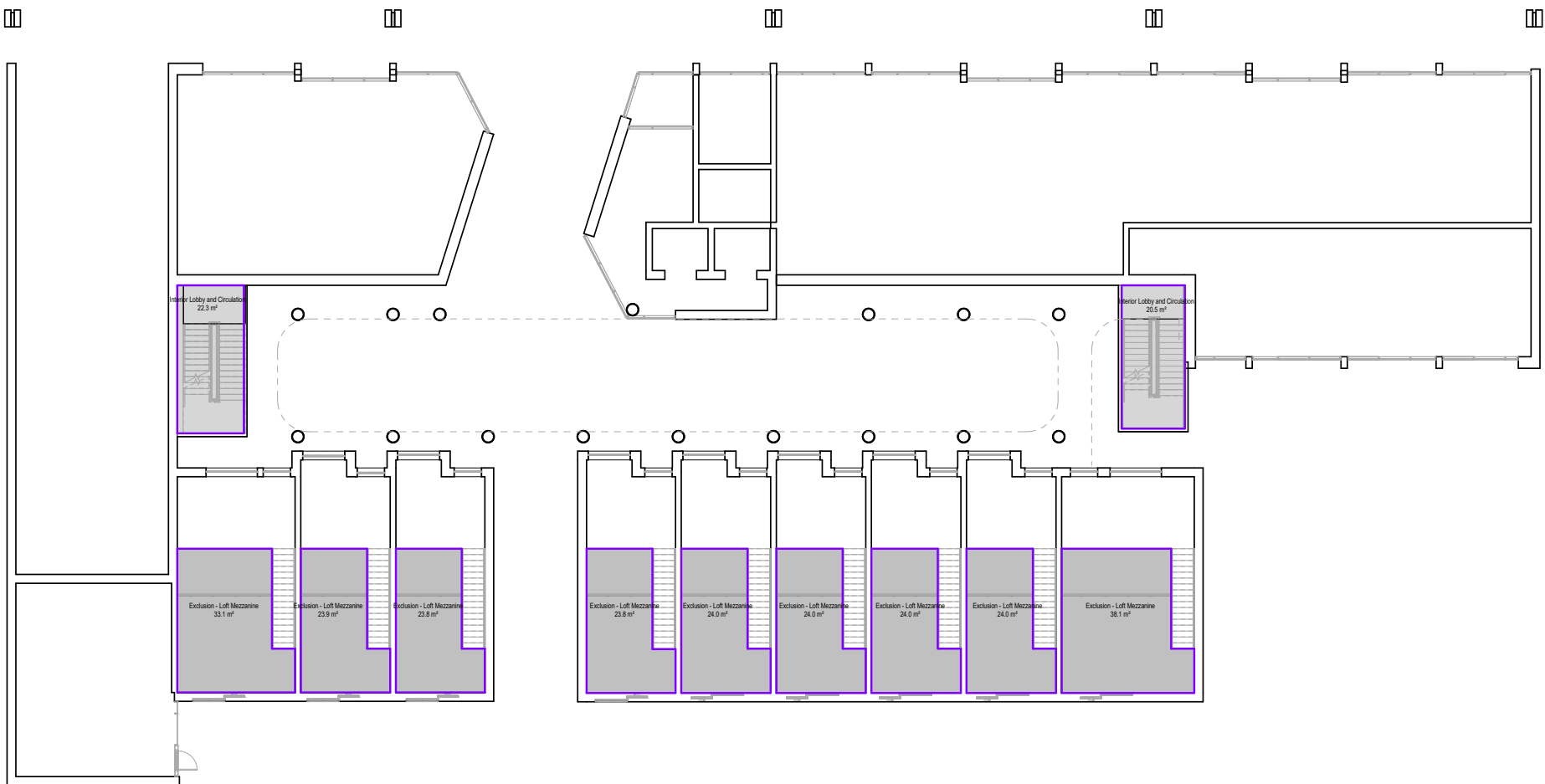
Level L1

Area Type	Area (ft2)
Level 1	
Amenity	1906 ft²
Commercial Saleable Area	4603 ft²
Area	414 ft²
Exterior Common/Circulation	630 ft²
Interior Lobby and Circulation	111 ft²
Mech/Elec/Service	174 ft²
Office	4960 ft²
Residential Saleable Area	12797 ft²
GROSS BUILDABLE AREA	414 ft²
EXCLUDABLE AREA	12383 ft²
TOTAL FAR AREA	



Level 1.5 Mezzanine

Area Type	Area (ft2)
Level 1.5 - Mezzanine	
Exclusion - Loft Mezzanine	2568 ft²
Mezzanine	461 ft²
Interior Lobby and Circulation	3030 ft²
GROSS BUILDABLE AREA	3030 ft²
EXCLUDABLE AREA	3030 ft²
TOTAL FAR AREA	- ft2



Revisions

No.	Description	Date
-----	-------------	------

Key Plan

Project

2502

Herald

532-536 Herald Street & 517-533 Chatham Street

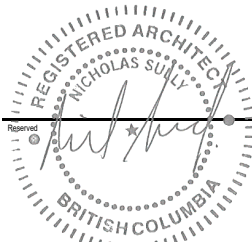
Issued for Rezoning and Development Permit

Gross Floor Area Plans - L1 & Mezzanine

Date	25-07-15
Drawn By	Author
Checked By	AT
Scale	1 : 100
Original Size	A0



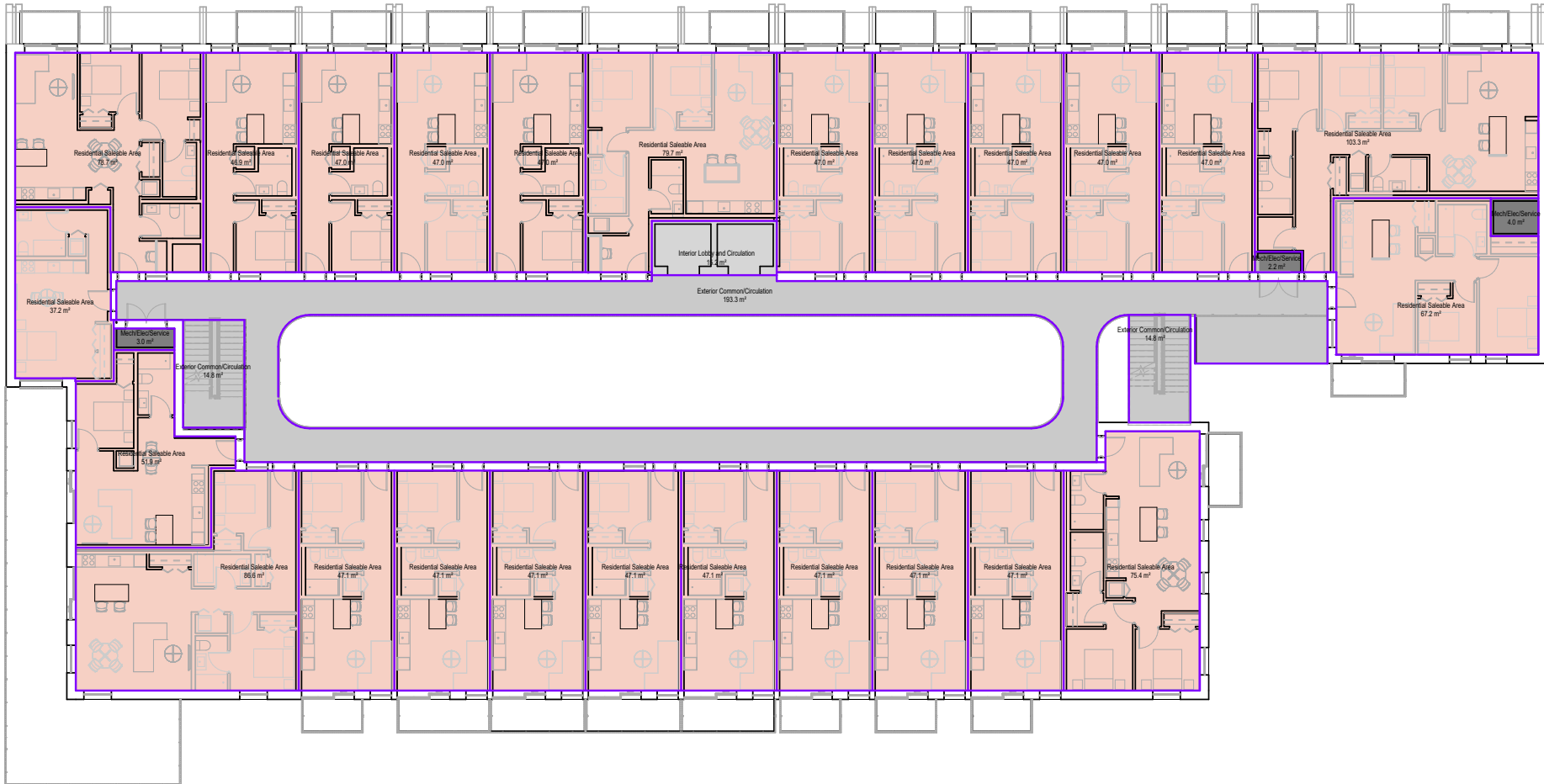
A004



2025-07-16

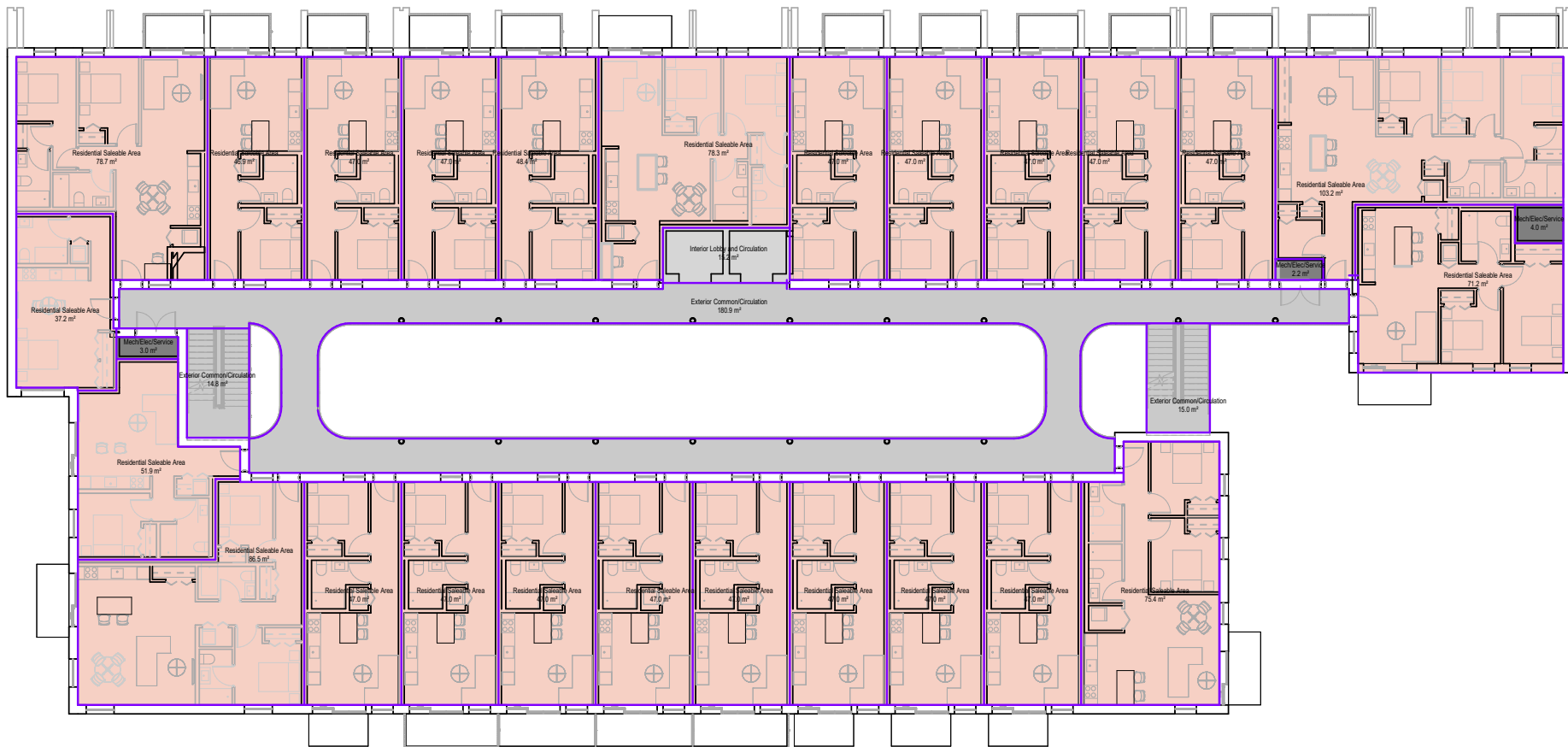
Level L2

Area Type	Area (ft2)
Level 2	
Exterior Common/Circulation	2400 ft²
Interior Lobby and Circulation	164 ft²
Mech/Elec/Service Area	99 ft²
Residential Saleable Area	14552 ft²
GROSS BUILDABLE AREA	17514 ft²
EXCLUDABLE AREA	2400 ft²
TOTAL FAR AREA	15103 ft²



Typical Level L3, L5

Area Type	Area (ft2)
Level 3	
Exterior Common/Circulation	2266 ft²
Interior Lobby and Circulation	163 ft²
Mech/Elec/Service Area	99 ft²
Residential Saleable Area	14585 ft²
GROSS BUILDABLE AREA	17415 ft²
EXCLUDABLE AREA	2266 ft²
TOTAL FAR AREA	15103 ft²



Revisions

No.	Description	Date
-----	-------------	------

Key Plan

Project 2502

Herald

532-536 Herald Street & 517-533
Chatham Street

Issued for Rezoning and Development
Permit

Gross Floor Area Plans - L2 & L3,5

Date	25-07-15
Drawn By	Author
Checked By	AT
Scale	1 : 100
Original Size	A0



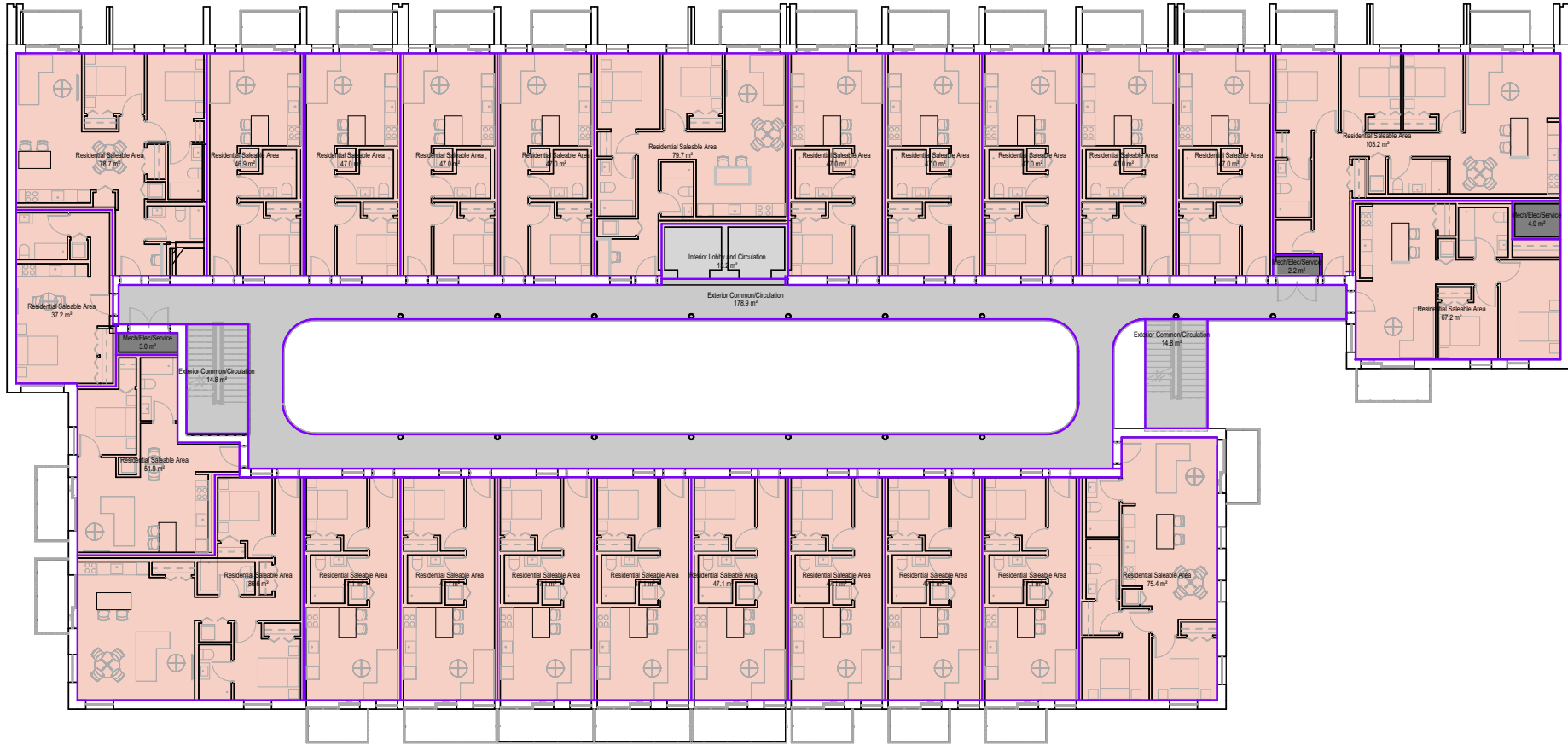
A005



2025-07-16

Typical Level L4,L6

Area Type	Area (ft2)
Level 4	
Exterior	2244 ft²
Common/Circulation	163 ft²
Interior Lobby and Circulation	
Mech/Elect/Service	99 ft²
Residential Saleable Area	14651 ft²
Area	
GROSS BUILDABLE AREA	17357 ft²
EXCLUDABLE AREA	2244 ft²
TOTAL FAR AREA	14947 ft²



Revisions

No.	Description	Date
-----	-------------	------

Key Plan

Project 2502

Herald

532-536 Herald Street & 517-533
Chatham Street

Issued for Rezoning and Development
Permit

Gross Floor Area Plans - L4,L6

Date	25-07-15
Drawn By	Author
Checked By	AT
Scale	1:100
Original Size	A0



A006

7 Landscape Drawings

HERALD & CHATHAM

ISSUED FOR REZONING + DP

JULY 15, 2025

CONTACTS

CONNECT LANDSCAPE ARCHITECTURE
2305 HEMLOCK STREET, VANCOUVER, BC V6H 2V1

OREN MIZRAHI, PRINCIPAL
604-681-3303 x 231
OREN@CONNECTLA.CA

LIVIA NEWMAN, LANDSCAPE DESIGNER
604-681-3303
LIVIA@CONNECTLA.CA

INTRACORP HOMES
550 BURNARD STREET, VANCOUVER, BC V6C 2B5

MATT KOLEC, DEVELOPMENT DIRECTOR
604-801-7032
MKOLEC@INTRACORPHOMES.COM

SHAPE ARCHITECTURE
1462 W 7TH AVE, VANCOUVER, BC V6H 0C3

NICK SULLY, PRINCIPAL
604-687-4457
N.SULLY@SHAPEARCHITECTURE.CA

LANDSCAPE DRAWING INDEX

SHEET NO.	SHEET NAME
L0.00	COVER SHEET
L0.01	INSPIRATION AND PRINCIPLES
L0.02	DIAGRAMS
L0.03	GENERAL NOTES
L1.00	PROGRAM & MATERIAL PRECEDENTS
L1.01	PROGRAM & MATERIAL PRECEDENTS
L2.00	OVERALL SITE PLAN
L2.01	MATERIALS PLAN - GROUND LEVEL SOUTH
L2.02	MATERIALS PLAN - ROOF
L2.03	MATERIALS PLAN - GROUND LEVEL NORTH
L4.00	GRADING PLAN - GROUND LEVEL NORTH
L4.01	GRADING PLAN - GROUND LEVEL SOUTH
L5.00	SOILS PLAN - GROUND LEVEL
L5.01	SOILS PLAN - ROOF
L6.00	PLANT LIST AND IMAGES
L6.01	PLANTING PLAN - GROUND LEVEL
L6.02	PLANTING PLAN - ROOF
L7.00	LIGHTING PLAN - GROUND LEVEL
L7.01	LIGHTING PLAN - ROOF
L7.02	IRRIGATION PLAN - GROUND LEVEL
L7.03	IRRIGATION PLAN - ROOF
L8.00	SECTIONS + ELEVATIONS (1)
L8.01	SECTIONS + ELEVATIONS (2)
L9.00	HARDSCAPE DETAILS
L9.10	SOFTSCAPE DETAILS
L9.20	FURNISHING DETAILS



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

S32-S36 Herald Street &
S17-S33 Chatham Street

COVER SHEET

Date	
Drawn By	LN
Checked By	OM
Scale	N/A
Original Size	



L0.00

VISION

Inspired by the local context at the edge of historic Chinatown and Old Town in Victoria, the landscape emphasizes placemaking, culture, and green space. The design aspires to create a vibrant public and private realm where neighbors and the local community can come together through shared spaces and activities.



PLACE MAKING

Seamlessly blends in the historic Old Town neighbourhood context.



CULTURE & COMMUNITY

Invite gathering, play, celebration, and reflection.
Cultivate engagement and foster social connection



URBAN NATURE

Enrich urban life by weaving green space throughout
Dissolve boundaries between built and wild



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

INSPIRATION AND PRINCIPLES

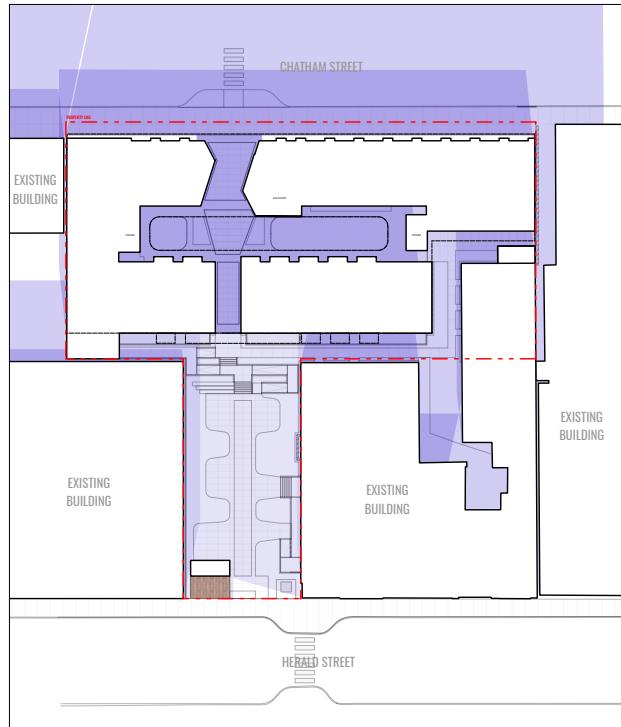
Date	
Drawn By	LN
Checked By	OM
Scale	N/A
Original Size	



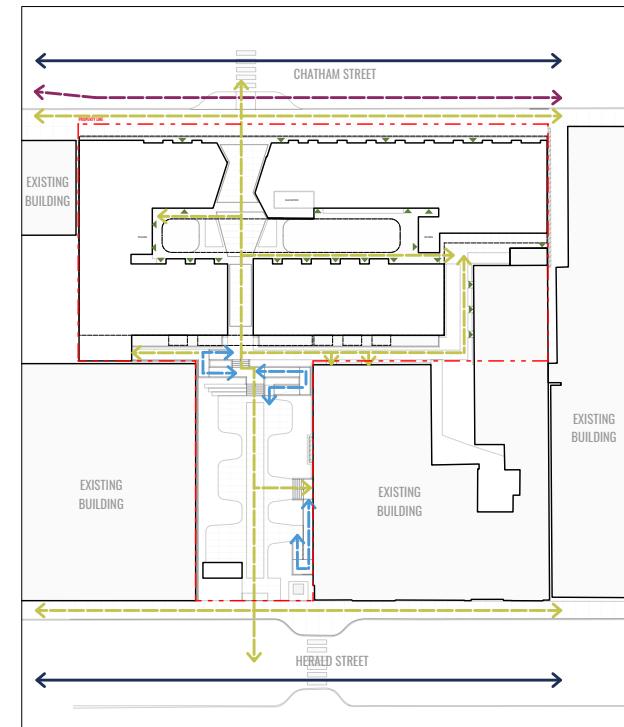
L0.01



SUN/SHADE



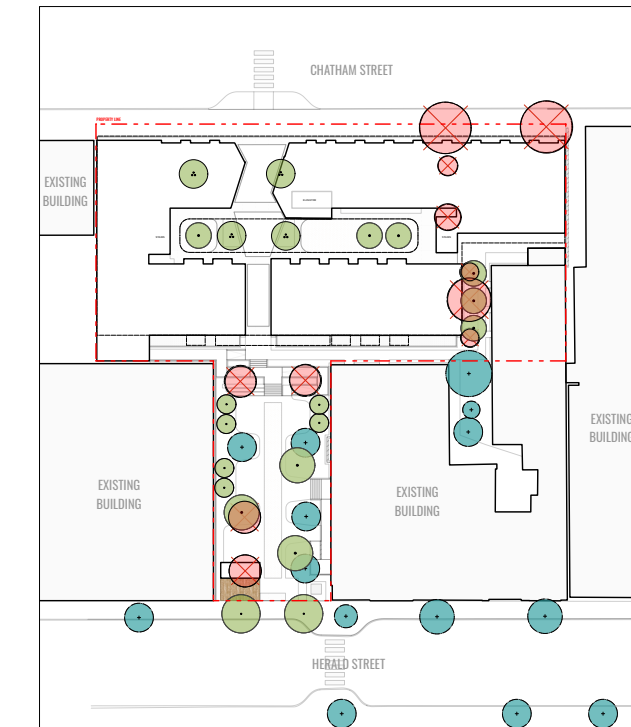
CIRCULATION



CIRCULATION LEGEND

- PEDESTRIAN CIRCULATION
- BICYCLE CIRCULATION
- ACCESSIBLE PEDESTRIAN CIRCULATION
- VEHICULAR CIRCULATION

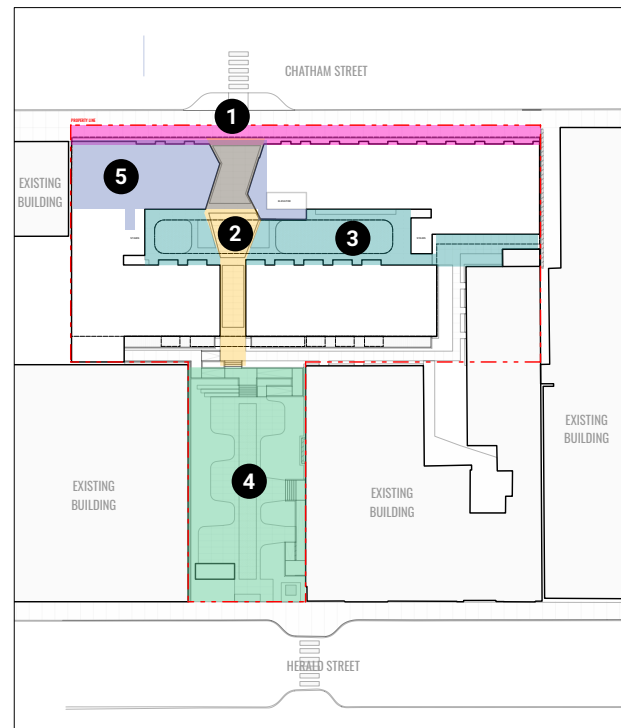
TREE MANAGEMENT



TREE MANAGEMENT LEGEND

- EXISTING TREES TO BE RETAINED (TOTAL 14)
- EXISTING TREES TO BE REMOVED (TOTAL 11)
- PROPOSED TREES (ONSITE - 10 SMALL & 9 MEDIUM (OFFSITE TOTAL 2))

PROGRAM

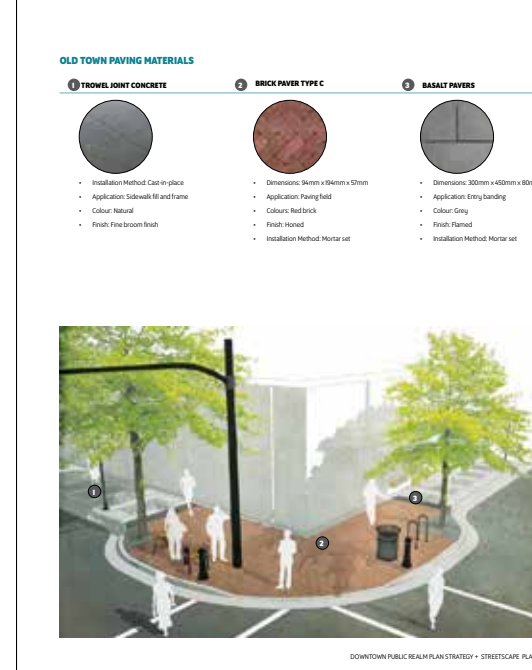


PROGRAM LEGEND

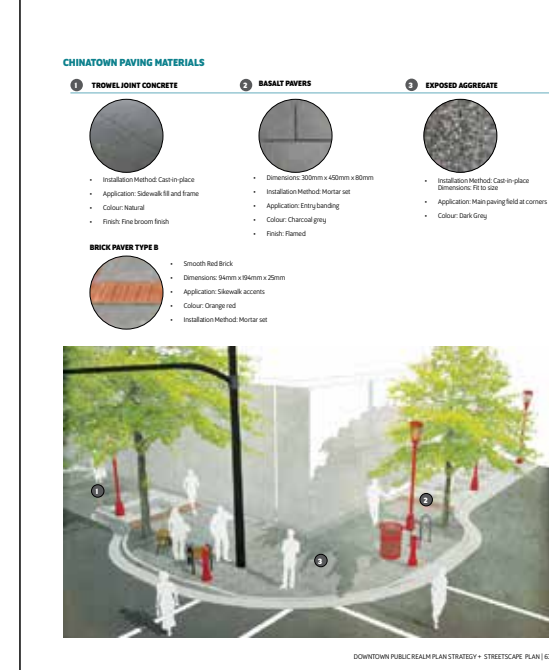
- 1. CHATHAM STREETScape
- 2. THE PASSAGE
- 3. THE COURTYARD
- 4. THE POCKET PARK
- 5. ROOF AMENITY

DESIGN GUIDELINES

OLD TOWN DESIGN GUIDELINES



CHINATOWN DESIGN GUIDELINES



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

DIAGRAMS

Date	LN
Drawn By	OM
Checked By	OM
Scale	1:400
Original Size	





GENERAL NOTES

- A SURVEY HAS BEEN PROVIDED BY THE CLIENT FOR THIS PROJECT. IT HAS BEEN REFORMATTED FOR USE IN AND FOR PREPARING THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN AN OFFICIALLY SIGNED COPYFROM THE CLIENT AND BECOME FAMILIAR WITH IT, THE EXISTING CONDITIONS AND SITE CONTEXT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF SURVEY.
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH EXISTING SITE CONDITIONS PRIOR TO BIDDING AND CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ADHERENCE TO ORDINANCES, REGULATIONS, LAWS AND CODES HAVING JURISDICTION OVER THE PROPERTY PRIOR TO COMMENCING WORK.
- CONTRACTOR IS RESPONSIBLE FOR DETERMINING MEANS AND METHODS FOR CONSTRUCTION. THESE DRAWINGS MAY INDICATE A LIMIT OF PROPOSED IMPROVEMENTS, LIMITS OF SITE DEMOLITION, ETC. FOR DELINEATION OF EXPECTED EXTENTS OF DISTURBANCE. HOWEVER, FINAL IMPACT SHALL BE DETERMINED IN THE FIELD. SHOULD LIMITS OF DISTURBANCE EXCEED BOUNDARIES DEFINED IN DRAWINGS, CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS; ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE STARTING WORK.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL WORK DISTURBED BY CONSTRUCTION OUTSIDE OF LIMIT LINES DEFINED ON DRAWINGS OR THROUGH HIS/HER MEANS AND METHODS TO A CONDITION BETTER THAN OR EQUAL TO THE EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING A COMPLETE UP-TO-DATE SET OF DRAWINGS AND SPECIFICATIONS AT THE CONSTRUCTION SITE AND ENSURING THE DOCUMENTS ARE READILY AVAILABLE FOR REVIEW BY THE LANDSCAPE ARCHITECT AND GOVERNING AGENCY.
- THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY TO ONE ANOTHER AND IMPLIED TO CORRESPOND WITH ONE ANOTHER. ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY.
- LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO THE CONSULTANT FOR REVIEW AND RESPONSE.
- COMPANY X PREPARED THE SURVEY FOR THIS PROJECT. IT HAS BEEN REFORMATTED FOR USE IN AND FOR PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN OFFICIAL-SIGNED COPY FROM COMPANY X (ADDRESS, PHONE NUMBER) AND BECOME FAMILIAR WITH IT, EXISTING CONDITIONS, AND SITE CONTEXT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF THE SURVEY.
- COMPANY Y PREPARED THE GEOTECHNICAL INVESTIGATION AND REPORT FOR THIS PROJECT. IT HAS BEEN REFERENCED DURING PREPARATION OF THESE DOCUMENTS. CONTRACTOR SHALL OBTAIN OFFICIAL-SIGNED COPY FROM COMPANY Y (ADDRESS, PHONE NUMBER) AND BECOME FAMILIAR WITH IT PRIOR TO CONSTRUCTION. ALL DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION IMMEDIATELY. THE LANDSCAPE ARCHITECT IS NOT RESPONSIBLE FOR ERRORS OR OMISSIONS ASSOCIATED WITH PREPARATION OR DOCUMENTATION OF THE REPORT.

GENERAL DEMOLITION NOTES

- REMOVE ITEMS SHOWN ON THE DRAWINGS TO BE REMOVED TO THE FULL DEPTH OF THEIR CONSTRUCTION UNLESS DESIGNATED TO REMAIN.
- VERIFY WITH CONSULTANT THE EXTENT AND LOCATION OF ITEMS TO REMAIN (OR TO BE REMOVED) PRIOR TO COMMENCEMENT OF THE WORK.
- ITEMS (SITE STRUCTURES) ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- CONTACT THE LOCAL UNDERGROUND SERVICE UPDATE FOR UTILITY LOCATION AND IDENTIFICATION PRIOR TO DEMOLITION.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE DRAWINGS MAY VARY IN RELATION TO ACTUAL EXISTING CONDITIONS; ADDITIONAL UTILITIES NOT SHOWN ON THE DRAWINGS MAY EXIST. VERIFY IN THE FIELD THE DATA SHOWN, AND CALL ANY DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT BEFORE STARTING WORK.

GENERAL LAYOUT NOTES

- ALL DIMENSIONS ARE METRIC (METERS) UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL STAKE THE LAYOUT AND ALIGNMENT OF ALL PAVEMENTS, WALLS, AND OTHER SITE FEATURES IN THE FIELD FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO START OF CONSTRUCTION. BRING DISCREPANCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- WRITTEN DIMENSIONS TAKE PRECEDENT OVER SCALE. DO NOT SCALE DRAWINGS.
- ALL DIMENSIONS LABELED "EQ" ARE TO INDICATE EQUAL MEASUREMENTS BETWEEN THE DIMENSIONS END POINTS ON THE DRAWING.
- INSTALL INTERSECTING ELEMENTS AT 90 DEGREES TO EACH OTHER UNLESS OTHERWISE NOTED.
- PROVIDE EXPANSION JOINTS WHERE CONCRETE PLATWORK MEETS VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS, AND BUILDING ELEMENTS AND AS INDICATED ON DRAWINGS AND SPECIFICATIONS.
- UNLESS OTHERWISE NOTED, CONCRETE SCORE AND EXPANSION JOINTS SHALL BE ALIGNED WITH BUILDING FEATURES AND WITH CORNERS OF PAVEMENT. SPACE ADDITIONAL JOINTS BETWEEN THESE POINTS EQUALLY.
- THE CONTRACTOR SHALL PROVIDE SMOOTH LAYOUT ALIGNMENTS BETWEEN EXISTING CONDITIONS AND PROPOSED SITE IMPROVEMENTS.
- ALL CURVES TO BE SMOOTH AND CONTINUOUS.

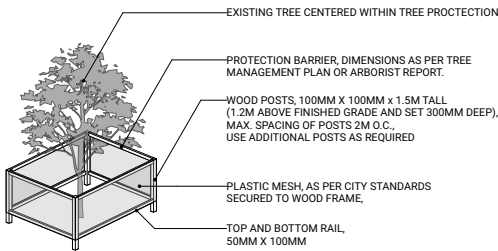
GENERAL GRADING NOTES

- ALL CONTOURS / ELEVATIONS ARE METRIC (METERS). DO NOT SCALE DRAWINGS.
- LANDSCAPE CONTOURING AND BERM LAYOUTS ARE TO BE STAKED OUT AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO FINISH GRADING.
- REFER TO CIVIL DRAWINGS ALL SUBSURFACE DRAINAGE.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 2:1 SLOPE.
- EXISTING UTILITY LIDS/COVERS PROTECTED DURING DEMOLITION TO BE ADJUSTED TO FINAL GRADE AND BE ADJUSTED FOR FUTURE MAINTENANCE ACCESS. REFER TO CIVIL.

TREE AND PLANT PROTECTION NOTES

- PLANT SYMBOLS AS INDICATED ON DRAWINGS NO NOT REPRESENT ACTUAL DRIPLINES. CONTRACTOR SHALL VERIFY IN FIELD PRIOR TO CONSTRUCTION. PROPOSED FENCING SHALL BE PLACED OUTSIDE OF THE ACTUAL DRIPLINE OR AS DIRECTED BY THE LANDSCAPE ARCHITECT IN THE FIELD.
- TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. CONTRACTOR SHALL OBTAIN PERMISSION TO ENTER FROM LANDSCAPE ARCHITECT PRIOR TO CONDUCTING WORK WITHIN THE PLANT PROTECTION ZONES.
- INFORM LANDSCAPE ARCHITECT WHEN ALL TREE BARRIERS HAVE BEEN INSTALLED AND PRIOR TO CONSTRUCTION. ARBORIST TO PROVIDE WRITTEN INSPECTION AND APPROVAL OF ALL BARRIERS BEFORE CONSTRUCTION BEGINS.
- BASED ON CONTRACTOR'S STAGING AND ACCESS REQUIREMENTS, ADDITIONAL TREE PROTECTION FENCING MAY BE REQUIRED.
- TREES INDICATED TO BE REMOVED SHALL ALSO INCLUDE COMPLETE REMOVAL OF STUMP AND ROOTS AND FILLING IN DEPRESSION WITH SUITABLE SOIL FILL.
- ALL EXCAVATION WORK WITHIN TWO METERS OF A TREE PROTECTION ZONE TO BE CONDUCTED UNDER ARBORIST SUPERVISION.
- THE FOLLOWING ACTIONS ARE PROHIBITED: (A) STORAGE OR DUMPING OF BUILDING MATERIALS, OIL, PAINT, CONSTRUCTION DEBRIS, BUILDINGS OR EQUIPMENT WITHIN THE TREE PROTECTION AREAS. (B) PASSAGE OF MACHINERY OF ANY KIND THROUGH OR WITHIN TREE PROTECTION AREAS AT ANY TIME. (C) SOIL DISTURBANCE OR STRIPPING FROM THE TREE PROTECTION AREAS. NATURAL GRADE MUST BE MAINTAINED. (D) STOCKPILING OF SOILS, FILL, SAND, GRAVEL OR OTHER EXCAVATED MATERIALS WITHIN THE TREE PROTECTION AREAS AT ANY TIME, INCLUDING THE DEMOLITION AND SITE PREPARATION PHASES. (E) DIRECT DISCHARGE OF STORM OR SITE DRAINAGE WATERS THROUGH OR INTO THE TREE PROTECTION AREAS.

TREE PROTECTION DETAIL (NTS)



NOTE

- UNLESS NOTED BY THE MUNICIPAL STANDARDS, ANCHORED MODULAR CONSTRUCTION FENCING IS AN ACCEPTABLE ALTERNATIVE TO TIMBER-MESH FENCE TREE PROTECTION DETAIL.

GENERAL PLANTING NOTES

- ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD LATEST EDITION.
- SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF THE PLANT MATERIAL, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANT SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE LANDSCAPE ARCHITECT WILL BE REJECTED.
- PLANT NAMES MAY BE ABBREVIATED ON DRAWINGS. REFER TO PLANT LIST AND LEGENDS FOR SYMBOLS, ABBREVIATIONS, BOTANICAL AND COMMON NAMES, SIZES, ESTIMATED QUANTITIES AND OTHER REMARKS.
- WHERE PROVIDED, AREA TAKEOFFS AND PLANT QUANTITY ESTIMATES IN PLANT LIST ARE FOR INFORMATION ONLY. CONTRACTOR IS RESPONSIBLE TO DO THEIR OWN QUANTITY TAKEOFFS FOR ALL PLANT MATERIAL AND SIZES SHOWN ON THE DRAWINGS. BRING DESREPARNCIES TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
- PRIOR TO INSTALLATION OF PLANT MATERIAL: PLANTS MUST BE PLACED AND LANDSCAPE ARCHITECT CALLED TO SITE TO REVIEW AND APPROVE LAYOUT. CONSULTANT MAY PROVIDE DIRECTIONS FOR LAYOUT MODIFICATIONS UPON REVIEW.
- CONTRACTOR IS RESPONSIBLE TO 'RESTORE' ALL AREAS OF THE SITE, OR ADJACENT AREAS, WHERE DISTURBED THAT MEETS OF EXCEEDS THE CONDITIONS PRIOR TO DISTURBANCE.
- ALL PLANTING AREAS SHALL BE WATERED WITH AN IN-GROUND AUTOMATIC IRRIGATION SYSTEM.
- TREE PLANTING SETBACKS FROM UTILITIES ARE TO FOLLOW THE REQUIRMENTS OF THE AUTHORITY HAVING JURISDICTION.

GENERAL IRRIGATION NOTES

- PROVIDE COMPLETE AUTOMATIC IRRIGATION SYSTEM FOR ALL ON-SITE SOFTSCAPE PLANTING AREAS.
- TEMPORARY ESTABLISHMENT IRRIGATION TO BE PROVIDED AT GRADE WHERE NO AUTOMATIC IRRIGATION IS PRESCRIBED.
- IRRIGATION CONTRACTOR PERFORMING THE WORK MUST HAVE MINIMUM (5) FIVE YEARS DOCUMENTED EXPERIENCE, AND A MEMBER IN GOOD STANDING OF THE IIABC (IRRIGATION INDUSTRY ASSOCIATION OF BC).
- IRRIGATION TO CONFORM TO ALL LOCAL PLUMBING AND ELECTRICAL CODE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH MECHANICAL AND ELECTRICAL CONSULTANTS AND TRADES.
- IRRIGATION STUB-OUTS AND HOSE BIBS PER MECHANICAL PLANS.
- PROVIDE SHOP DRAWINGS FOR IRRIGATION LAYOUT TO CONSULTANT FOR REVIEW AND APPROVAL PRIOR TO FABRICATION AND INSTALLATION. INCLUDE SLEEVING, DRIP LINE, PIPE SIZE, VALVE BOXES, ETC., AND ALL IRRIGATION COMPONENT SPECIFICATIONS. VALVE BOXES TO BE LOCATED IN LOW-VISIBLE, PLANTED AREAS ONLY AND LOCATIONS TO BE APPROVED.
- LEED WATER EFFICIENCY CREDIT CRITERIA TO BE MET (MIN. 50% REDUCTION IN POTABLE IRRIGATION WATER) AND DEMONSTRATED AS PART OF SHOP DRAWING SUBMITTAL.
- HIGH-EFFICIENCY IRRIGATION TECHNOLOGY TO INCLUDE (BUT NOT LIMITED TO): CENTRAL SHUT-OFF VALVE, HIGH-EFFICIENCY DRIP IRRIGATION LINES, HIGH-EFFICIENCY POP-UP SPRINKLERS AND MOTION SENSOR / RAIN DELAY CONTROLLER.
- TEST SYSTEM PRIOR TO COMPLETION OF LANDSCAPE WORKS TO ENSURE NO LEAKAGE AND SPECIFIED PSI IS MET. PROVIDE WRITTEN NOTICE THAT PRESSURE TESTING HAS MET STANDARDS (LEAKS SHALL NOT BE REPAIRED BY PATCHING).
- INSTRUCT OWNER'S PERSONNEL IN THE OPERATION AND MAINTENANCE OF SYSTEM, INCLUDING ADJUSTING OF SPRINKLER HEADS. USE OPERATION AND MAINTENANCE MATERIAL AS BASIS FOR DEMONSTRATION.

GENERAL ESTABLISHMENT IRRIGATION NOTES

- ALL PLANTING AREAS ARE TO BE WATERED FROM TIME OF INSTALLATION FOR DURATION AS SPECIFIED.
- ALL PLANTED AREAS ARE TO BE IRRIGATED THROUGH AN AUTOMATIC IRRIGATION SYSTEMS.
- ONE-YEAR ESTABLISHMENT IRRIGATION PER SPECIFICATIONS.
- STUB-OUT CONNECTIONS ARE PROVIDED AS SHOWN FOR THE INSTALLATION OF AN AUTOMATIC IRRIGATION SYSTEM. COORDINATE WITH CIVIL CONTRACTOR TO PROVIDE PVC SLEEVING WHERE REQUIRED.
- SUBMIT SHOP DRAWING FOR TEMPORARY AUTOMATIC IRRIGATION SYSTEM FOR APPROVAL BY LANDSCAPE AND MECHANICAL PRIOR TO INSTALLATION.
- PROVIDE TREGATOR® SLOW RELEASE WATERING BAG - (1) PER TREE.

GENERAL SITE LIGHTING NOTES

- LIGHTING SYMBOLS ON PLANS ARE DIAGRAMMATIC. REFER TO ELECTRICAL DRAWINGS, DETAILS AND SPECIFICATIONS FOR ACTUAL DIMENSIONS, PRODUCT INFORMATION, AND WIRING.
- LAYOUT DIMENSIONS ARE FOR GENERAL REFERENCE ONLY. STAKE LOCATION OF LIGHTS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- COORDINATE WITH EXISTING AND PROPOSED UTILITIES. ALL FOOTINGS TO BE MINIMUM 1.0M AWAY FROM UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS FOR DIRECTION ON FIXTURE PLACEMENT.

LIST OF ABBREVIATIONS

AD AREA DRAIN	LP LOW POINT
ALT ALTERNATE	M METERS
ALUM ALUMINUM	MAX MAXIMUM
APPROX APPROXIMATE	MH MANHOLE
ARCH ARCHITECT / ARCHITECTURAL	MIN MINIMUM
AVG AVERAGE	MISC MISCELLANEOUS
B BOTTOM	NIC NOT IN CONTRACT
BC BOTTOM OF CURB ELEVATION	NO NUMBER
BG BUILDING GRADE	NTS NOT TO SCALE
BLDG BUILDING	OC ON CENTRE
BOL BOLLARD	OD OUTSIDE DIMENSION
BR BOTTOM OF RAMP	PA PLANTING AREA
BS BOTTOM OF STEP	PC POINT OF CURVATURE
BW BOTTOM OF WALL	PD PLANTER DRAIN
CAL CALIPER	PER PERPENDICULAR
CB CATCH BASIN	PI POINT OF INTERSECTION
CIV CIVIL	PIP POUR-IN-PLACE
CJ CONTROL JOINT	PL PROPERTY LINE
CL CENTRE LINE	PO POINT OF ORIGIN
CO CLEAN OUT	PSI POUNDS PER SQUARE INCH
COJ CONSTRUCTION JOINT	QTY QUANTITY
COMP COMPACTED	R RISER
CONC CONCRETE	RA RADIUS
CONT CONTINUOUS	REBAR REINFORCING BAR
DEG DEGREE	REQ'D REQUIRED
DEMO DEMOLISH, DEMOLITION	ROW RIGHT OF WAY
DET DETAIL	SAN SANITARY
DIA DIAMETER	SB SETBACK
DIM DIMENSION	SECT SECTION
DN DOWN	SHT SHEET
DWG DRAWING	SPEC SPECIFICATIONS
E.W. EACH WAY	SQ SQUARE
EA EACH	SS STAINLESS STEEL
EJ EXPANSION JOINT	ST STORM SEWER
EL ELEVATION	STD STANDARD
ENG ENGINEER/ENGINEERING	STL STEEL
EQ EQUAL	T TOP
EX EXISTING	T+B TOP AND BOTTOM
FC FLUSH CURB	TAN TANGENCY
FFE FINISHED FLOOR ELEVATION	TC TOP OF CURB ELEVATION
FG FINISHED GRADE	TD TRENCH DRAIN
FIN FINISH	TEMP TEMPORARY
FOC FACE OF CURB	TF TOP OF FOOTING
FTG FOOTING	THK THICK
GA GAUGE	TOS TOP OF SLAB
GALV GALVANIZED	TPZ TREE PROTECTION ZONE
GEN GENERAL	TR TOP OF RAMP
HEF HORIZONTAL EACH FACE	TS TOP OF STAIRS
HP HIGH POINT	TW TOP OF WALL
HT HEIGHT	TYP TYPICAL
HWL HIGH WATER LEVEL	VEF VERTICAL EACH FACE
ID INSIDE DIAMETER/DIMENSION	VERT VERTICAL
INCL INCLUDE / INCLUDING	W/ WITH
INV INVERT ELEVATION	W/O WITHOUT
JT JOINT	WF WATER FEATURE
LOW LIMIT OF WORK	@ AT

Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

Project	25-108
---------	--------

Herald

532-536 Herald Street &
517-533 Chatham Street

GENERAL NOTES

Date	
Drawn By	LN
Checked By	OM
Scale	N/A
Original Size	



L0.03

POCKET PARK

Nestled within the urban fabric, the Pocket Park offers a welcoming green retreat for the community—a place to pause, connect, or enjoy a quiet moment. A central walkway, framed by lush planting, guides visitors through the space, with access provided via a staircase and accessible ramp from the north. This intimate park balances openness and enclosure, creating a flexible, inclusive environment for everyday use.



THE PASSAGE

The Passage is a publicly accessible north-south corridor that connects Chatham and Herald Street, offering a clear and welcoming route through the development. Designed to support the historic network of alleyways and laneways in adjacent Chinatown, it invites the public into the site while reinforcing the area's cultural and spatial heritage. This connection enhances permeability and encourages exploration within the urban fabric.



POP UP PATIO IN PARK

Anchored by a refurbished shipping container, the Pop-Up Patio brings a food and beverage offering to the Pocket Park, creating a lively destination within the green space. This unique feature invites park-goers to gather, dine, and socialize, becoming a vibrant focal point that enhances the park's sense of place and community.



CHATHAM FRONTAGE

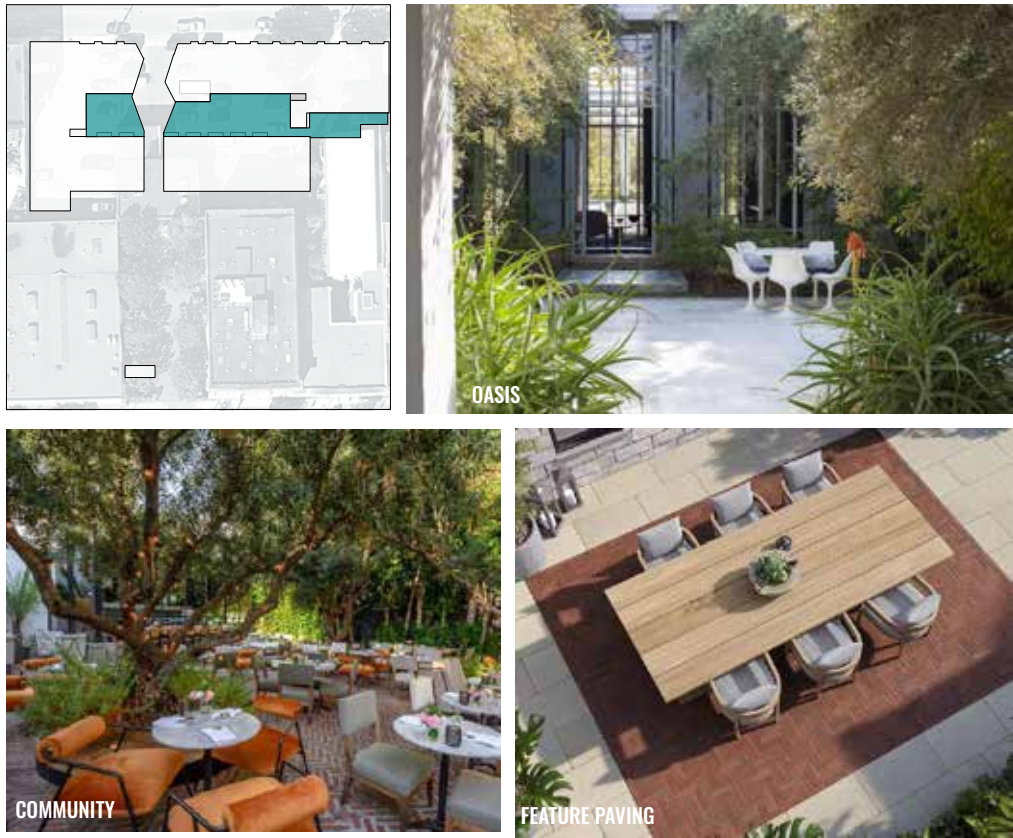
The Chatham Street frontage is envisioned as a vibrant commercial edge, supporting local businesses and encouraging pedestrian activity through active retail frontages. Streetscape materials are selected in alignment with the Old Town Design Guidelines, reinforcing the historic character of the area. This treatment creates a cohesive and inviting public realm that blends heritage with contemporary urban life.



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezonning + DP	25-07-15

THE COURTYARD

The Courtyard is a quiet, private garden space designed for residents to enjoy from within their homes or viewed from above. Shaded seating, lush planting, and a sculptural water bowl create a serene atmosphere for reflection, conversation, or calm retreat. This intimate landscape offers a moment of pause within the residential setting.



ROOFTOP AMENITY

The rooftop amenity offers residents a dynamic, multi-use outdoor space designed to foster connection and community. With features including a pet relief area, edible gardens, sun deck with bocce court, BBQ dining, and lounge zones, it supports a wide range of shared activities. This elevated retreat becomes a social heart of the building, encouraging everyday interaction and relaxation.



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

PROGRAM & MATERIAL PRECEDENTS

Date	
Drawn By	LN
Checked By	OM
Scale	N/A
Original Size	



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

OVERALL SITE PLAN

Date
Drawn By LN
Checked By OM
Scale 1:150
Original Size



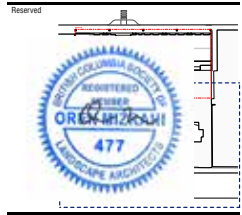
L2.00

PROGRAM LEGEND

1. CHATHAM STREETSCAPE
2. THE PASSAGE
3. THE COURTYARD
4. THE POCKET PARK
5. POP UP PATIO
6. ROOF AMENITY



0 5 10 M



MATERIALS LEGEND

KEY	DESCRIPTION	DETAILS
HARDSCAPE		
	CIP CONCRETE PAVING	1 / L9.00 2 / L9.00
	CONCRETE UNIT PAVER	4 / L9.00 5 / L9.00
	STONE PAVER BASALT	7 / L9.00 8 / L9.00
	CONCRETE SLAB PAVER TYPE 1	9 / L9.00
	CONCRETE SLAB PAVER TYPE 2	9 / L9.00
	ARTIFICIAL TURF WITH MOUND	11 / L9.00 12 / L9.00
	WOOD DECK	10 / L9.00

SOFTSCAPE

	LOW PLANTING AREA	1 / L9.10 2 / L9.10
	SHADE GARDEN	3 / L9.10 4 / L9.10
	HEDGE	1 / L9.10 2 / L9.10
	EXISTING LANDSCAPE	
	EDIBLE PLANTING	4 / L9.10
	GREEN ROOF	5 / L9.10
	PROPOSED TREE	1 / L9.10 2 / L9.10
	EXISTING TREE TO RETAIN	

FURNISHING

	BIKE RACK QTY: 6 (12 SPACES)	8 / L9.20
	BENCH TYPE 1 SEAT WALL	4 / L9.20
	BENCH TYPE 2 FREE STANDING	5 / L9.20
	FLEXIBLE SEATING	7 / L9.20
	PICNIC TABLE	
	OUTDOOR DINING TABLE	6 / L9.20
	LOUNGE FURNITURE BY OWNER	

	RAISED METAL PLANTER	2 / L9.20 3 / L9.20
	TRELLIS	
	BBQ & COUNTER	10 / L9.20
	FIRE PIT	11 / L9.20
	WATER BOWL	9 / L9.20
	FENCE AND GATE	12 / L9.20
	ENTRANCE FENCE AND GATE	

Revisions

No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

Project 25-108

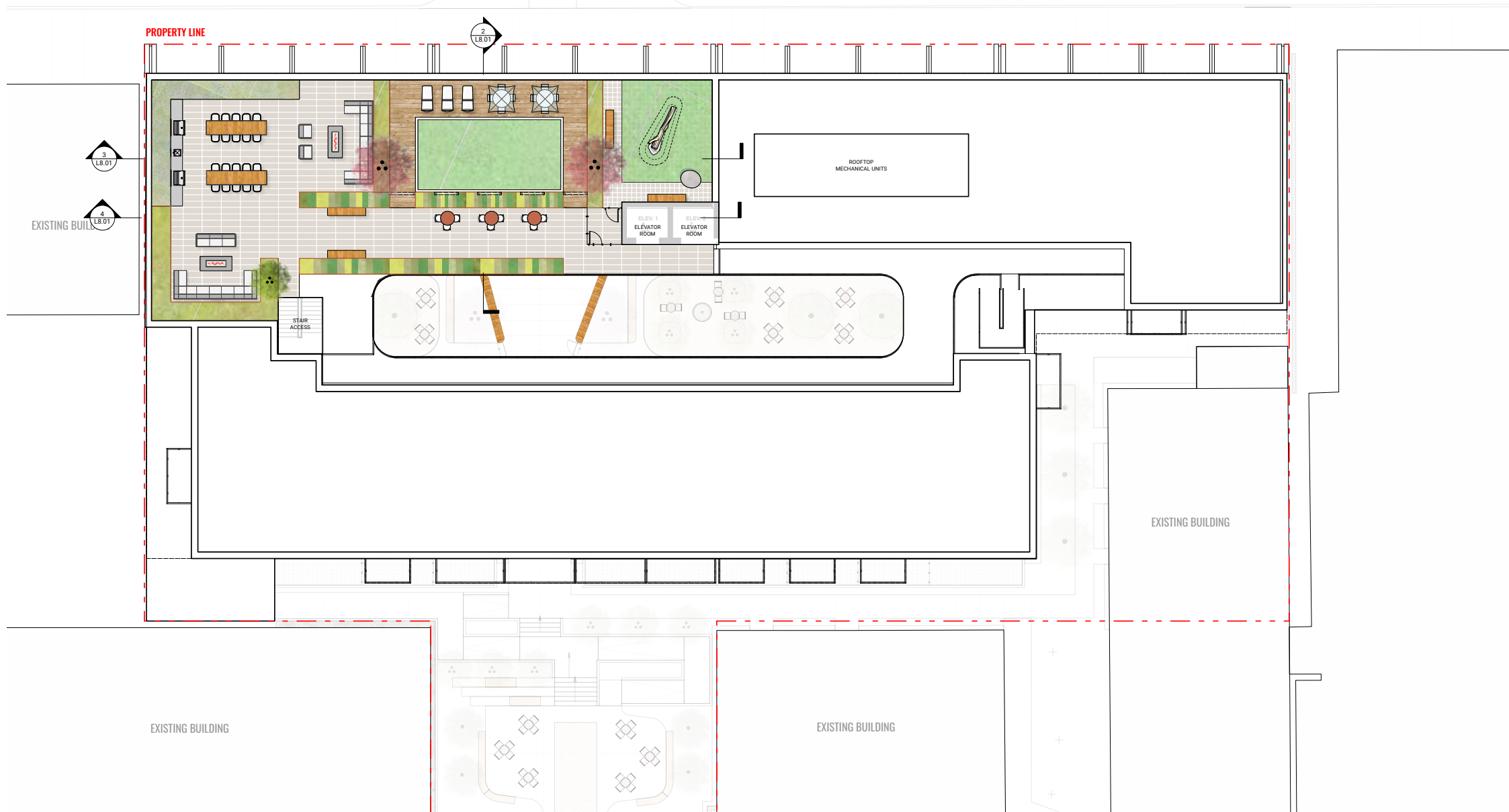
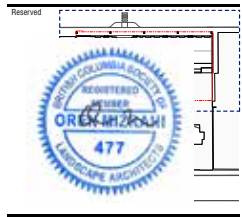
Herald

532-536 Herald Street &
517-533 Chatham Street

MATERIALS PLAN - GROUND LEVEL SOUTH

Date	LN
Drawn By	OM
Checked By	1:100
Scale	Original Size

L2.01



MATERIALS LEGEND

KEY	DESCRIPTION	DETAILS
HARDSCAPE		
	CIP CONCRETE PAVING	1 / L9.00 2 / L9.00
	CONCRETE UNIT PAVER	4 / L9.00 5 / L9.00
	STONE PAVER BASALT	7 / L9.00 8 / L9.00
	CONCRETE SLAB PAVER TYPE 1	9 / L9.00
	CONCRETE SLAB PAVER TYPE 2	9 / L9.00
	ARTIFICIAL TURF WITH MOUND	11 / L9.00 12 / L9.00
	WOOD DECK	10 / L9.00

SOFTSCAPE

	LOW PLANTING AREA	1 / L9.10 2 / L9.10
	SHADE GARDEN	3 / L9.10 4 / L9.10
	HEDGE	1 / L9.10 2 / L9.10
	EXISTING LANDSCAPE	
	EDIBLE PLANTING	4 / L9.10
	GREEN ROOF	5 / L9.10
	PROPOSED TREE	1 / L9.10 2 / L9.10
	EXISTING TREE TO RETAIN	

FURNISHING

	BIKE RACK QTY: 6 (12 SPACES)	8 / L9.20
	BENCH TYPE 1 SEAT WALL	4 / L9.20
	BENCH TYPE 2 FREE STANDING	5 / L9.20
	FLEXIBLE SEATING	7 / L9.20
	PICNIC TABLE	
	OUTDOOR DINING TABLE	6 / L9.20
	LOUNGE FURNITURE BY OWNER	

	RAISED METAL PLANTER	2 / L9.20 3 / L9.20
	TRELLIS	
	BBQ & COUNTER	10 / L9.20
	FIRE PIT	11 / L9.20
	WATER BOWL	9 / L9.20
	FENCE AND GATE	12 / L9.20
	ENTRANCE FENCE AND GATE	

Revisions

No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

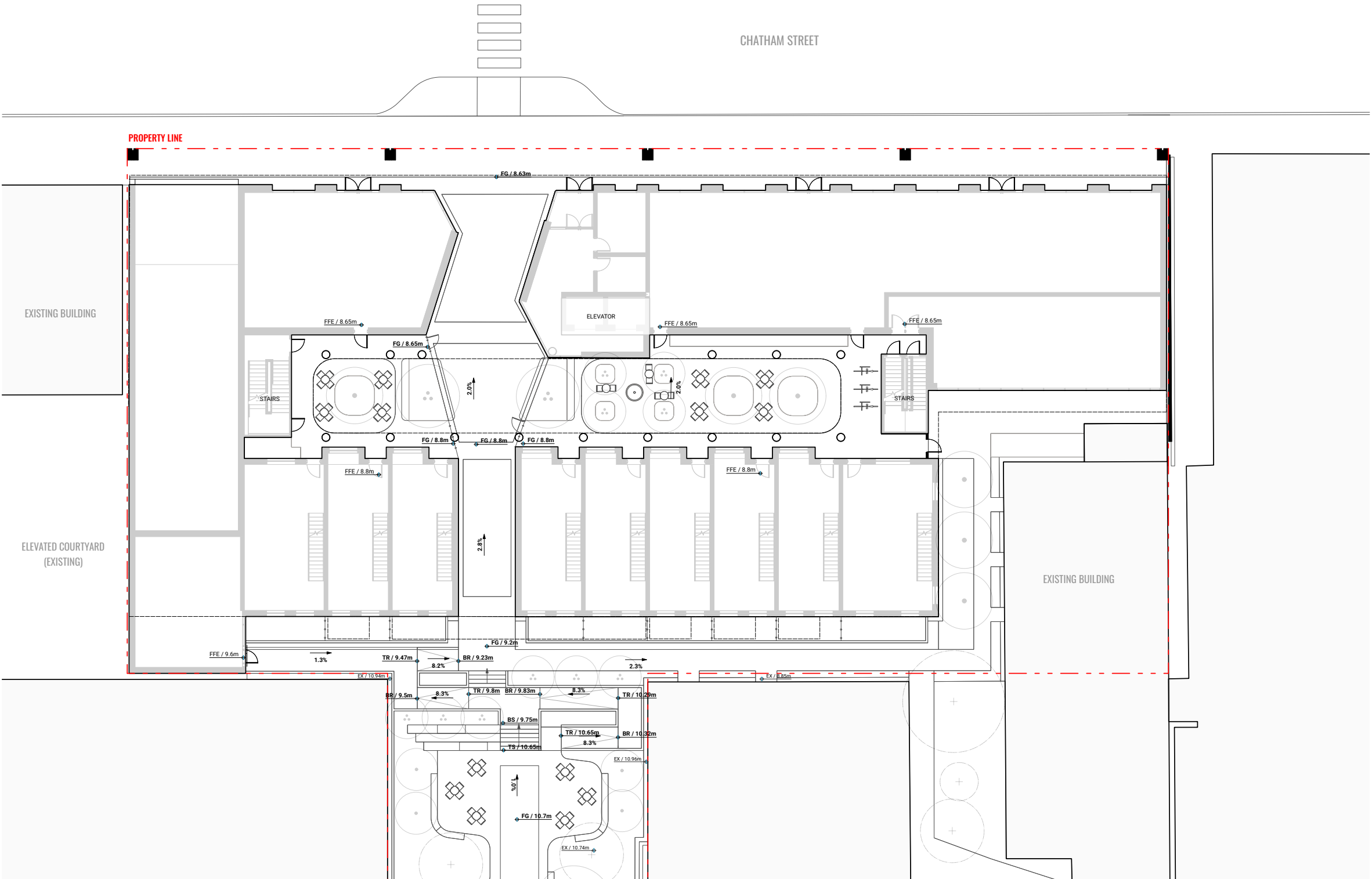
Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

MATERIALS PLAN - ROOF

Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	



GRADING LEGEND

KEY

DESCRIPTION

FG / 0m

PROPOSED FIELD GRADE

TS/BS / 0m

TOP OF STAIR / BOTTOM OF STAIR

TW/BW / 0m

TOP OF WALL / BOTTOM OF WALL

2.0%

PROPOSED SLOPE

HP / 0m

HIGH POINT / RIDGE ELEVATION

LP / 0m

LOW POINT / DRAIN ELEVATION

1.0m

EXISTING CONTOUR

1.0m

PROPOSED CONTOUR (MINOR)

5.0m

PROPOSED CONTOUR (MAJOR)

BG / 0m

BUILDING GRADE (PER SURVEY/ARCHITECTURE)

IBG / 0m

INTERPOLATED BUILDING GRADE

EX / 0m

EXISTING GRADE (PER SURVEY)

TC/BC / 0m

TOP OF CURB / BOTTOM OF CURB (PER CIVIL)

FFE / 0m

FINISHED FLOOR ELEVATION (PER ARCHITECTURE)

TOS / 0m

TOP OF SLAB ELEVATION (PER ARCHITECTURE)

Revisions

No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

GRADING PLAN - GROUND LEVEL NORTH

Date	LN
Drawn By	OM
Checked By	1:100
Scale	
Original Size	

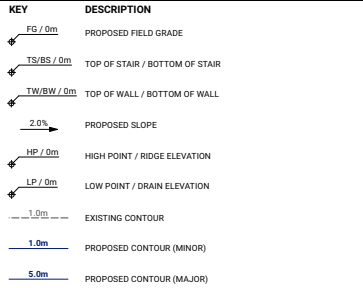
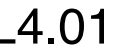








L4.00








Key Plan

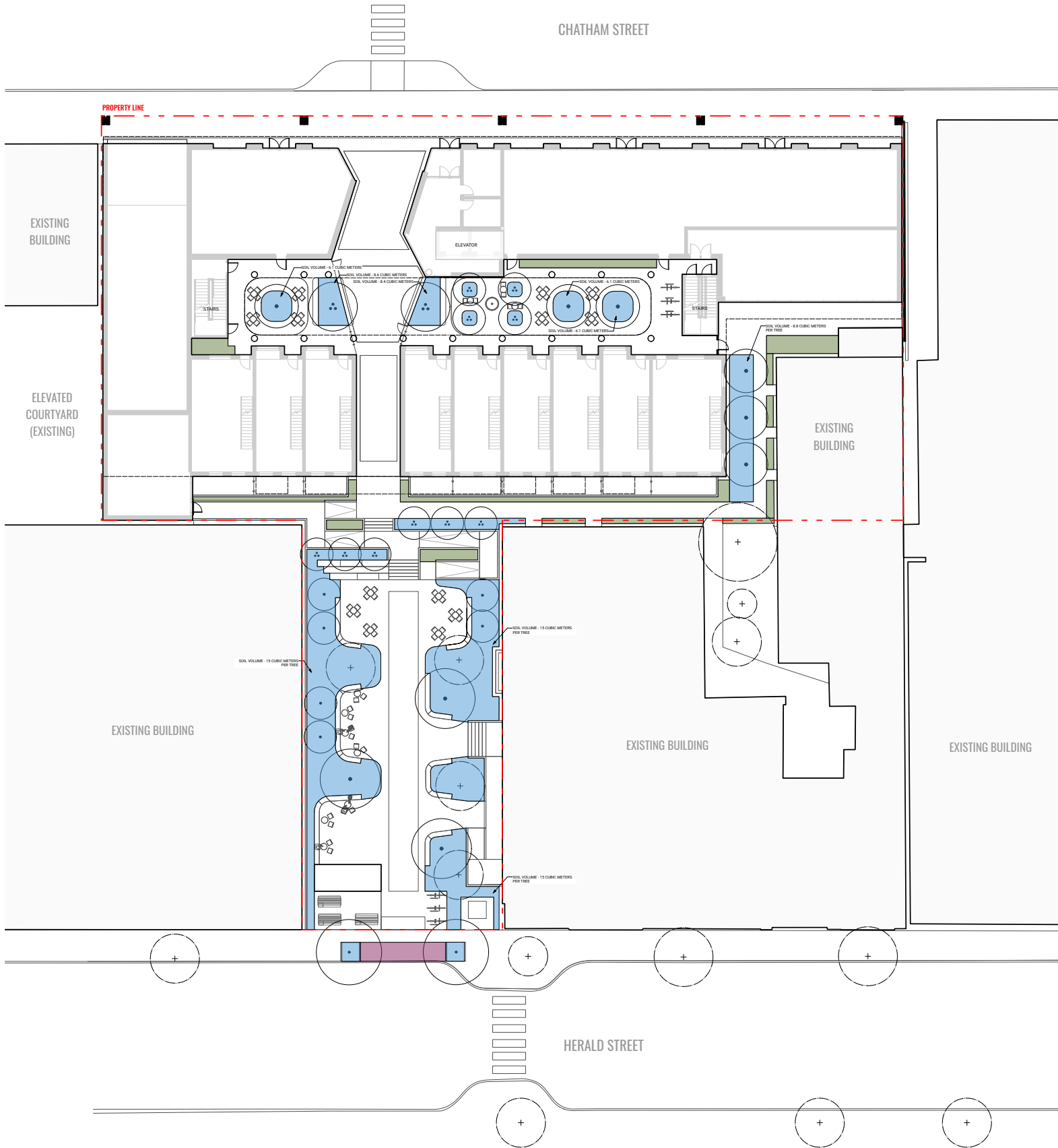
Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	



 BG / 0m	BUILDING GRADE (PER SURVEY/ARCHITECTURE)
 IBG / 0m	INTERPOLATED BUILDING GRADE
 EX / 0m	EXISTING GRADE (PER SURVEY)
 TC/BC / 0m	TOP OF CURB / BOTTOM OF CURB (PER CIVIL)
 FFE / 0m	FINISHED FLOOR ELEVATION (PER ARCHITECTURE)
 TOS / 0m	TOP OF SLAB ELEVATION (PER ARCHITECTURE)

SOILS LEGEND

KEY	DESCRIPTION
	GROWING MEDIUM 150MM DEPTH
	GROWING MEDIUM 450MM DEPTH
	GROWING MEDIUM 600MM DEPTH
	GROWING MEDIUM 900MM DEPTH
	STRUCTURAL SOIL 900MM DEPTH



Reserved



Revisions

No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

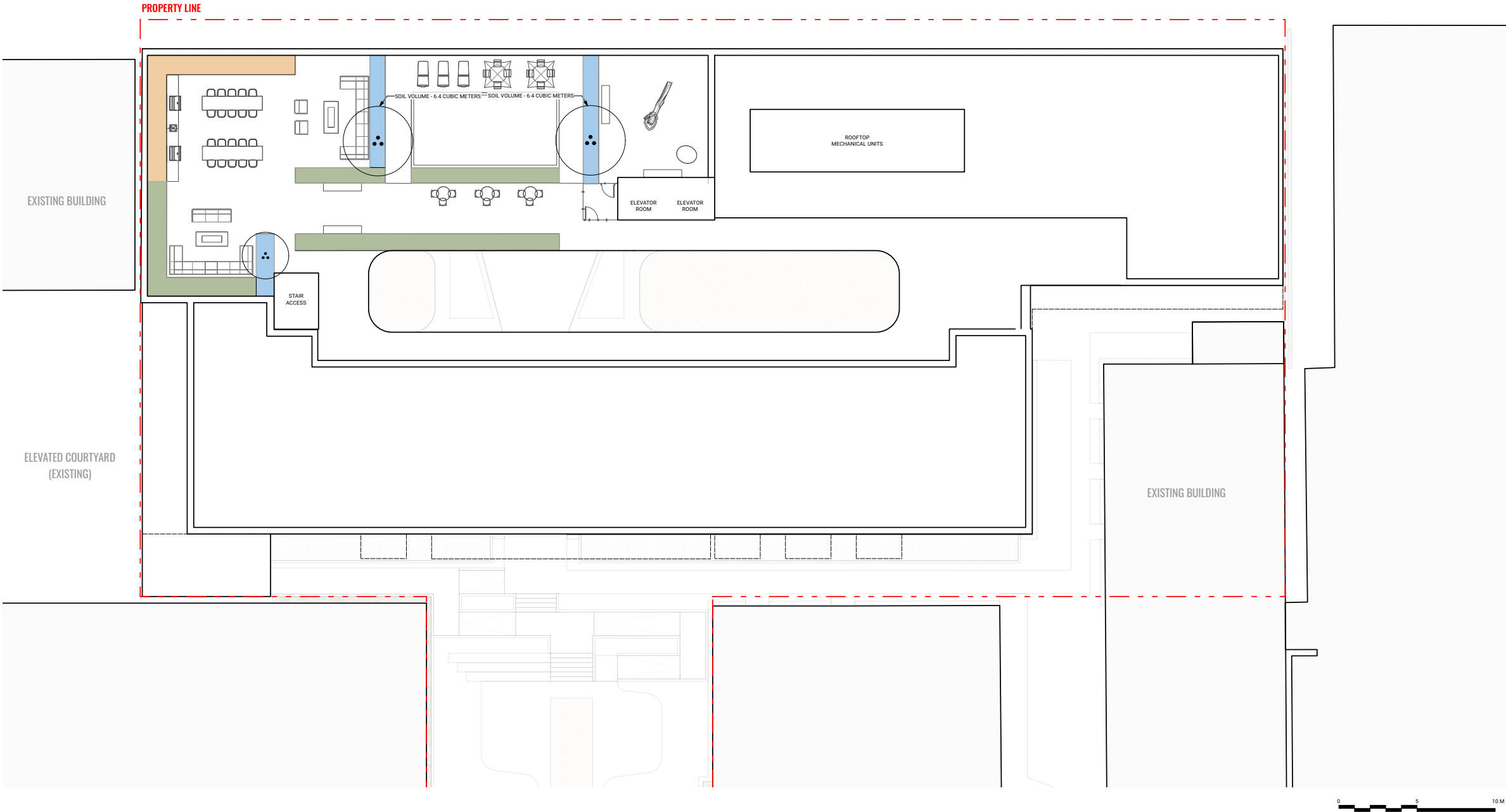
SOILS PLAN - GROUND LEVEL

Date	
Drawn By	LN
Checked By	OM
Scale	1:150
Original Size	

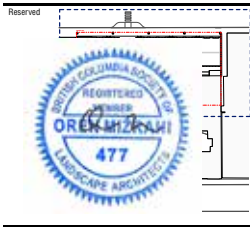
0 5 10 M



L5.00



SOILS LEGEND	
KEY	DESCRIPTION
	GROWING MEDIUM 150MM DEPTH
	GROWING MEDIUM 450MM DEPTH
	GROWING MEDIUM 600MM DEPTH
	GROWING MEDIUM 900MM DEPTH
	STRUCTURAL SOIL 900MM DEPTH



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project	25-108
---------	--------

Herald

533-536 Herald Street &
917-533 Chatham Street

SOILS PLAN - ROOF

Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	

PLANT LIS

ID	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS TREES					
ADI	6	Acer circinatum	Vine Maple	#25 pot	AS SHOWN
APs	4	Acer palmatum 'Sango Kaku'	Coral Bark Maple	3m HT., multistem	AS SHOWN
AA	11	Amelanchier alnifolia	Serviceberry	2-3m HT., multistem	AS SHOWN
BN	3	Betula nigra DURA-HEAT 'BNMTF'	Pyramidal River Birch	6cm. cal.	AS SHOWN
CONIFEROUS TREES					
PC	6	Pinus contorta ssp. contorta	Shore Pine	3m HT.	AS SHOWN

MASS PLANTING LIST

AREA NAME	QTY	%	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
Hedge						
Low Planting Area	101	100%	Taxus x media 'Hicksii'	Hick's Yew	1.5m HT.	---
	111	10%	Aquilegia formosa	Red Columbine	#1 pot	450 o.c.
	126	5%	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	300 o.c.
	111	10%	Blechnum spicant	Deer Fern	#1 pot	450 o.c.
	126	5%	Fragaria chiloensis	Coastal Strawberry	10cm pot	300 o.c.
	82	20%	Hosta 'Patriot'	Plantain Lily 'Patriot'	#1 pot	750 o.c.
	111	10%	Mahonia repens	Creeping Oregon Grape	#1 pot	450 o.c.
	56	5%	Maianthemum racemosum	False Solomon's Seal	#1 pot	450 o.c.
	126	5%	Oxalis oregana	Redwood Sorrel	#1 pot	300 o.c.
	126	20%	Polystichum setiferum	Soft Field Fern	#1 pot	600 o.c.
Rooftop Shrubs	20	5%	Allium cernuum	Nodding Onion	bulbs	300 o.c.
	9	5%	Aster laevis	Smooth Aster	#1 pot	450 o.c.
	9	5%	Echinacea purpurea	Coneflower	#1 pot	450 o.c.
	15	15%	Gaultheria shallon	Salal	#1 pot	600 o.c.
	5	20%	Holodiscus discolor	Oceanspray	#1 pot	1200 o.c.
	7	15%	Philadelphus lewisii 'Blizzard'	Blizzard Mock Orange	#3 pot	900 o.c.
	5	20%	Ribes sanguineum	Red Flowering Currant	#3 pot	1200 o.c.
Shade Garden	7	15%	Rosa nutkana	Nootka Rose	#3 pot	900 o.c.
	22	2%	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot	300 o.c.
	12	5%	Athyrium filix-femina	Lady Fern	#1 pot	600 o.c.
	23	5%	Blechnum spicant	Deer Fern	#1 pot	450 o.c.
	6	15%	Cornus sericea	Red Twig Dogwood	#3 pot	1500 o.c.
	22	2%	Gaultheria procumbens	Wintergreen	#1 pot	300 o.c.
	12	5%	Gaultheria shallon	Salal	#1 pot	600 o.c.
	11	15%	Holodiscus discolor	Oceanspray	#1 pot	1200 o.c.
	23	5%	Mahonia repens	Creeping Oregon Grape	#1 pot	450 o.c.
	22	2%	Oxalis oregana	Redwood Sorrel	#1 pot	300 o.c.
	11	15%	Physocarpus capitatus	Pacific ninebark	#1 pot	1200 o.c.
	11	15%	Ribes sanguineum	Red Flowering Currant	#3 pot	1200 o.c.
	11	15%	Vaccinium ovatum	Evergreen Huckleberry	#1 pot	1200 o.c.



Revisions

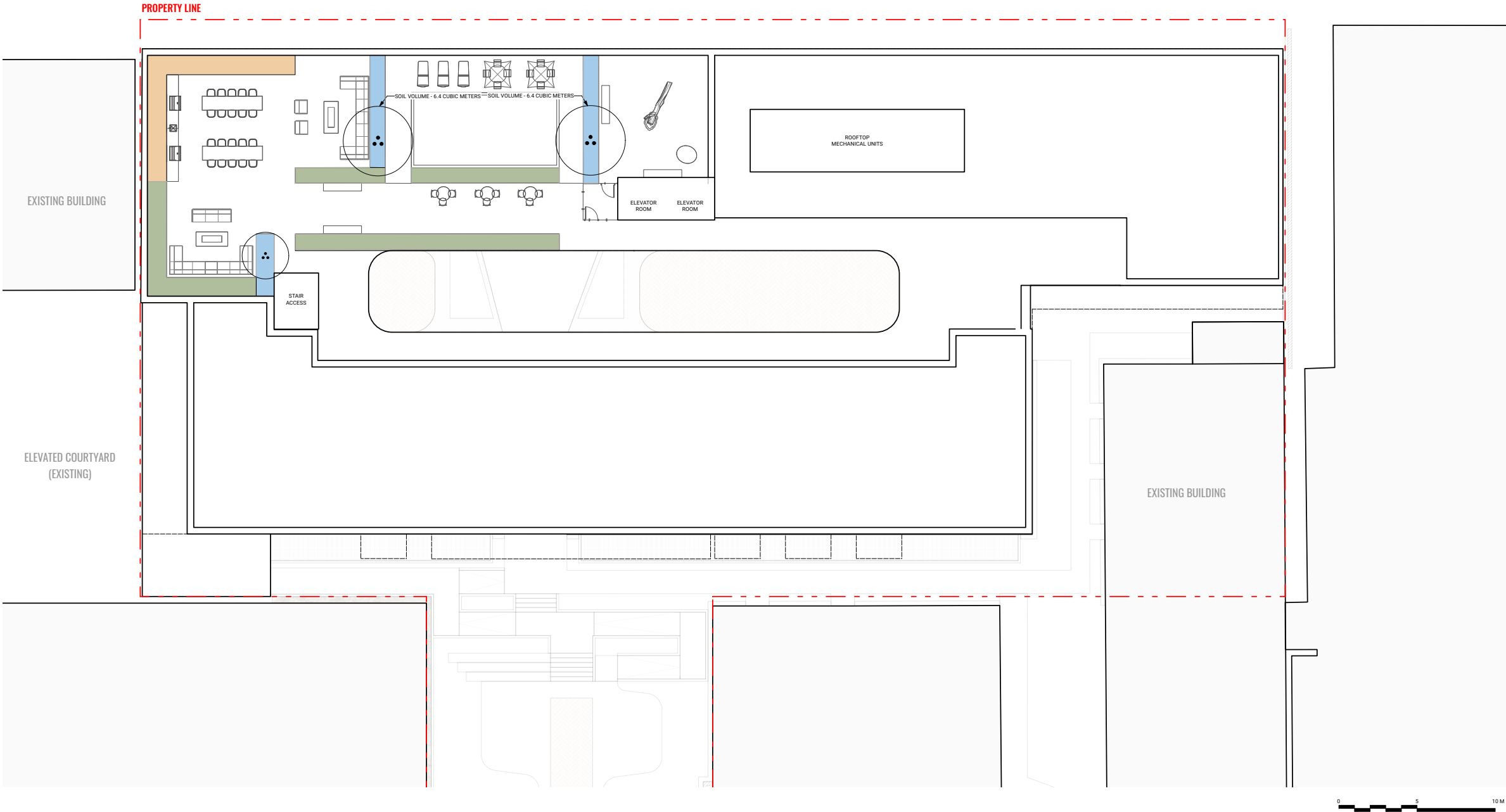
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Herald

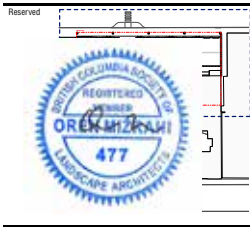
PLANT LIST AND IMAGES

Date	LN
Drawn By	OM
Checked By	N/A
Scale	N/A
Original Size	





SOILS LEGEND	
KEY	DESCRIPTION
<div></div>	GROWING MEDIUM 150MM DEPTH
<div></div>	GROWING MEDIUM 450MM DEPTH
<div></div>	GROWING MEDIUM 600MM DEPTH
<div></div>	GROWING MEDIUM 900MM DEPTH
<div></div>	STRUCTURAL SOIL 900MM DEPTH



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

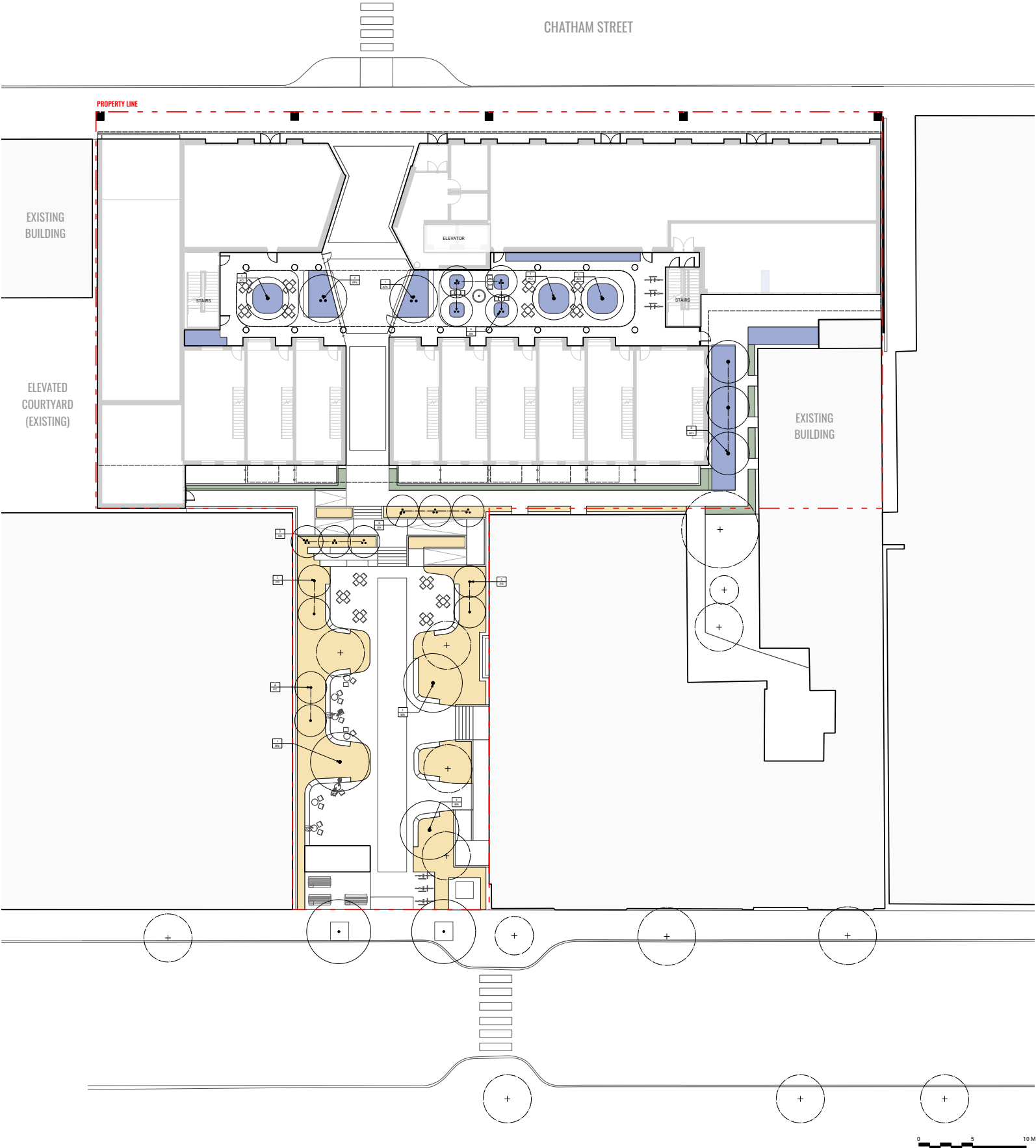
Project	25-108
---------	--------

Herald

533-536 Herald Street &
917-533 Chatham Street

SOILS PLAN - ROOF

Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

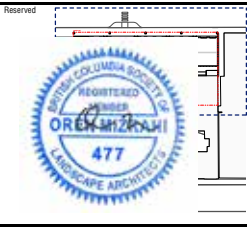
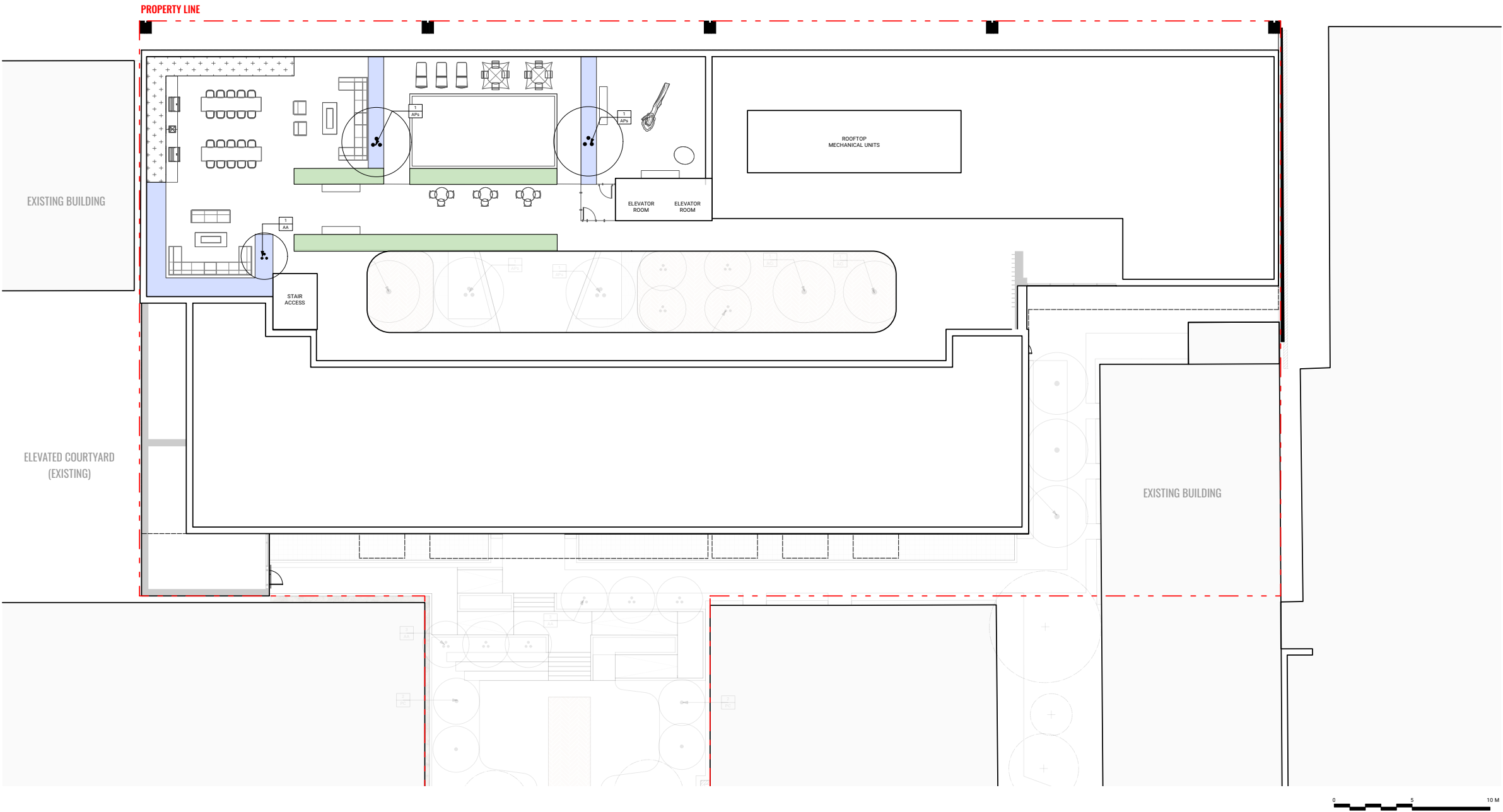
Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

PLANTING PLAN - GROUND LEVEL

Date	LN
Drawn By	OM
Checked By	1:150
Scale	
Original Size	



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

PLANTING PLAN - ROOF

Date
Drawn By LN
Checked By OM
Scale 1:100
Original Size

LIGHTING LEGEND

KEY

DESCRIPTION

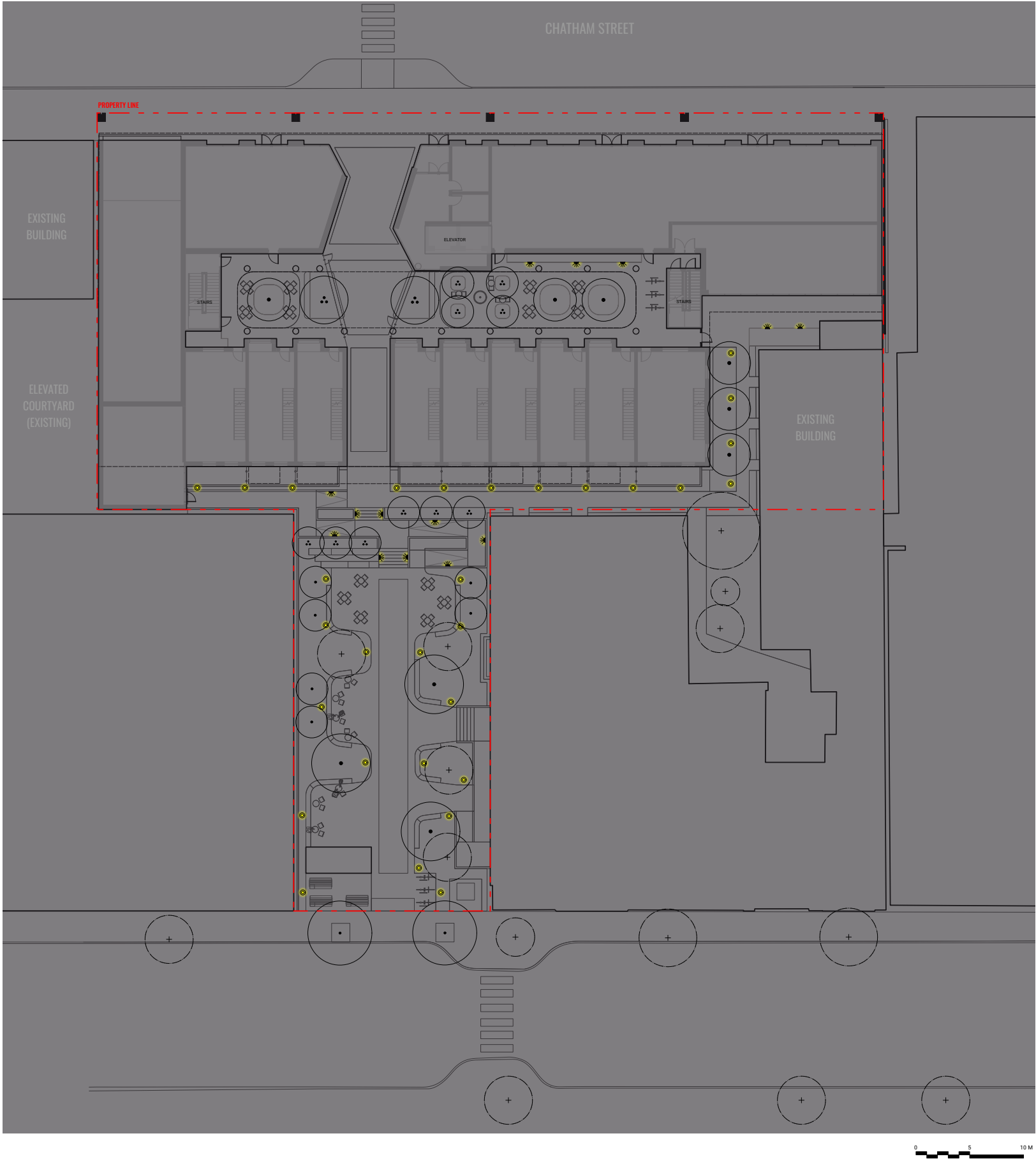
LIGHT TYPE 1: WALL / STEP LIGHT

LIGHT TYPE 2: INGROUND LIGHT

LIGHT TYPE 3: BOLLARD LIGHT

NOTE:

LIGHTS AS PER ELECTRICAL. SHOWN FOR REFERENCE ONLY.



connectLANDSCAPE ARCHITECTURE

2305 Hemlock Street
Vancouver, BC, V6H 2V1
Canada

tel 604 681 3303
email info@connectla.ca
web www.connectla.ca

Copyright reserved. These drawings and designs contained herein, in whole, may be referred from any and all at times remains the exclusive property of Connect Landscape Architecture, Inc. (CLAI), and all of them shall remain the exclusive property of CLAI. No fee for copyright and ownership is to be charged, which cannot be used for any purposes with the express written consent of CLAI.

Seal

Reserved

Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

532-536 Herald Street &
517-533 Chatham Street

LIGHTING PLAN - GROUND LEVEL

Date

LN

Drawn By

OM

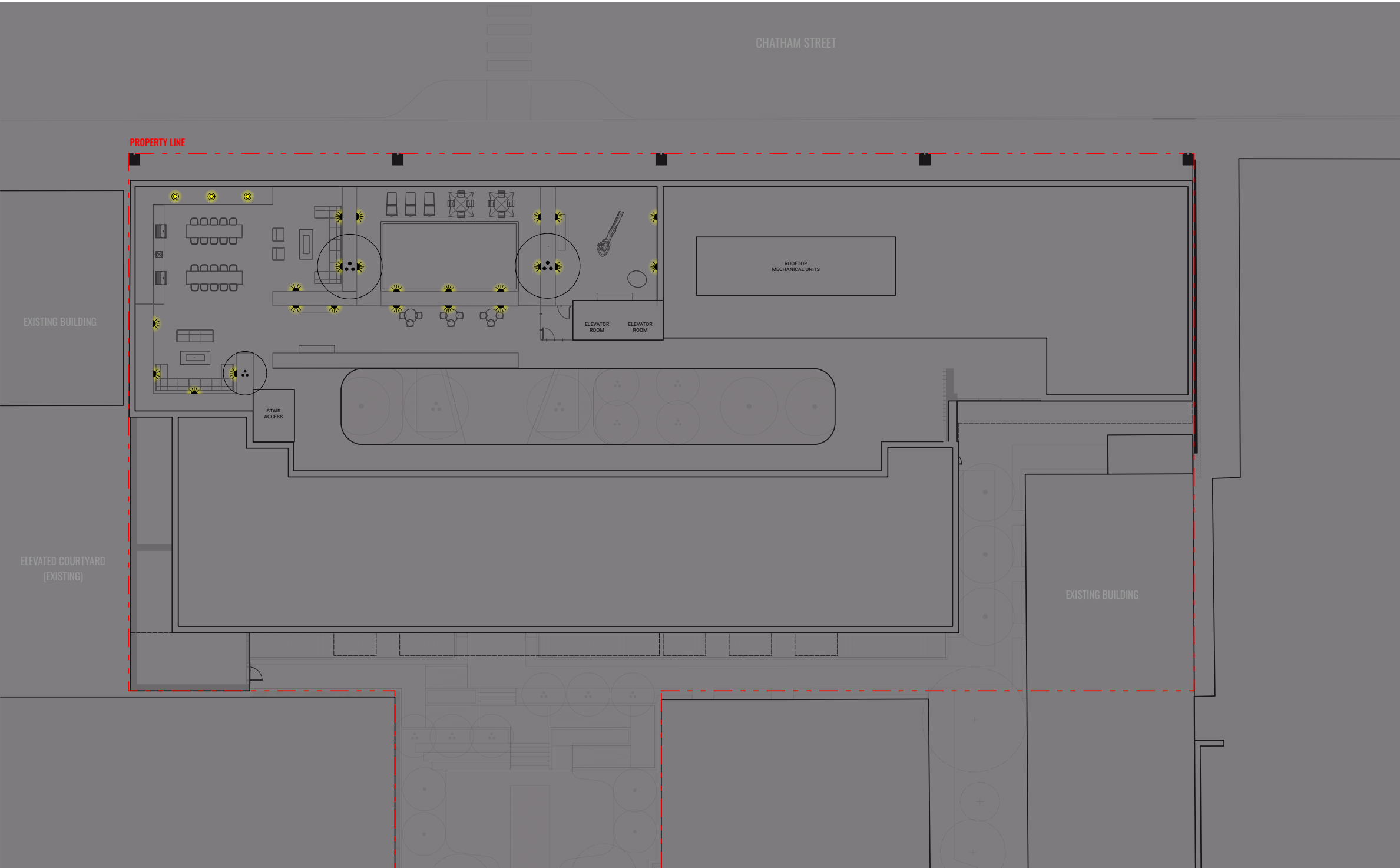
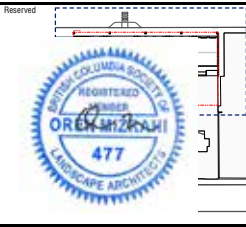
Checked By

1:150

Scale

Original Size

L7.00



LIGHTING LEGEND

KEY	DESCRIPTION
	LIGHT TYPE 1: WALL / STEP LIGHT
	LIGHT TYPE 2: INGROUND LIGHT
	LIGHT TYPE 3: BOLLARD LIGHT

NOTE:
LIGHTS AS PER ELECTRICAL. SHOWN FOR REFERENCE ONLY.

0 5 10 M

Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project	25-108
---------	--------

Herald

532-536 Herald Street &
517-533 Chatham Street

LIGHTING PLAN - ROOF

Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	

IRRIGATION LEGEND

KEY

DESCRIPTION

HB

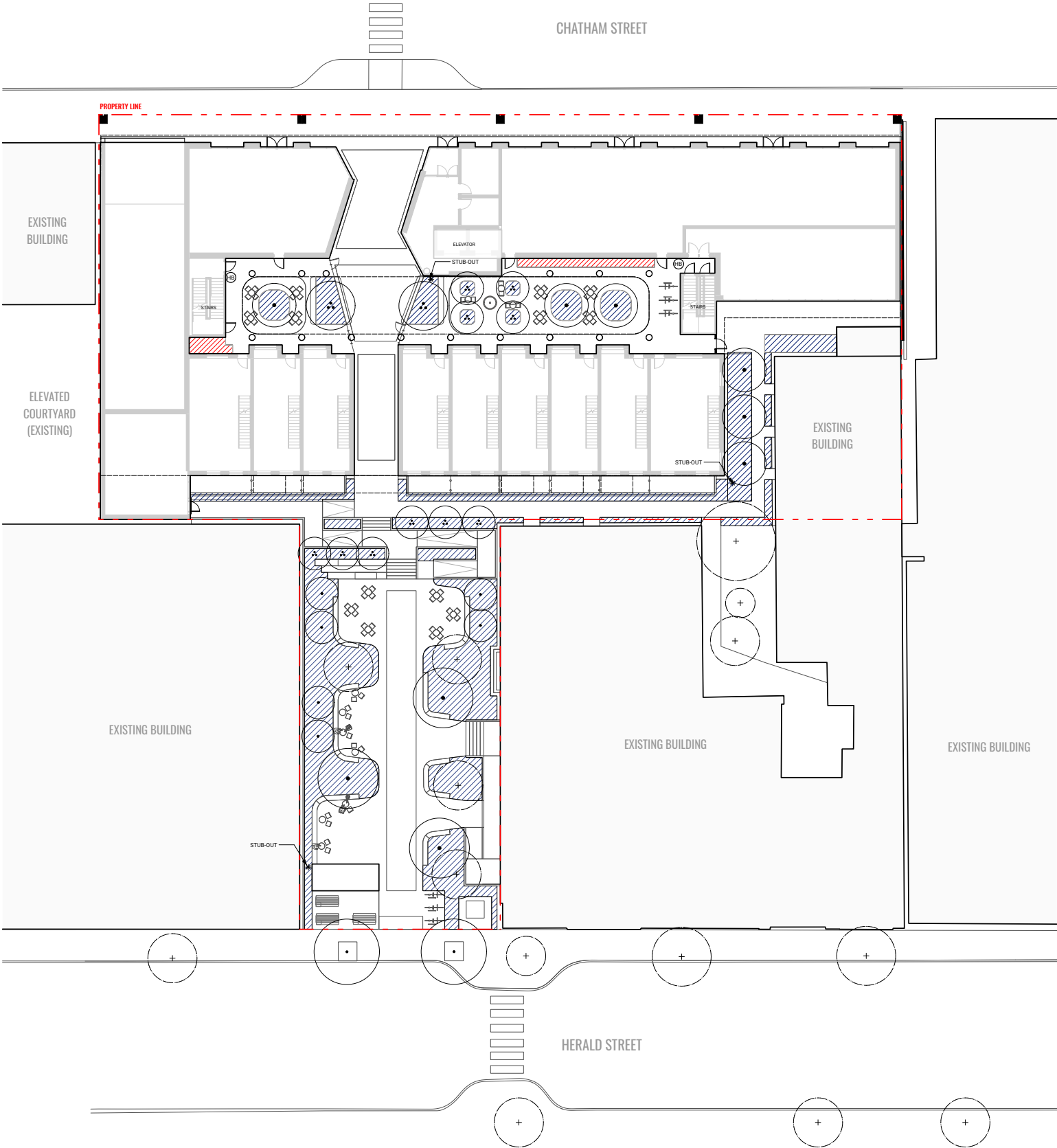
HOSE BIB
REFER TO ELECTRICAL & MECHANICAL

*

STUB-OUT
REFER TO ELECTRICAL & MECHANICAL

IRRIGATED PLANTING
HEAT TRACED

IRRIGATED PLANTING



Reserved



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

Project 25-108

Herald

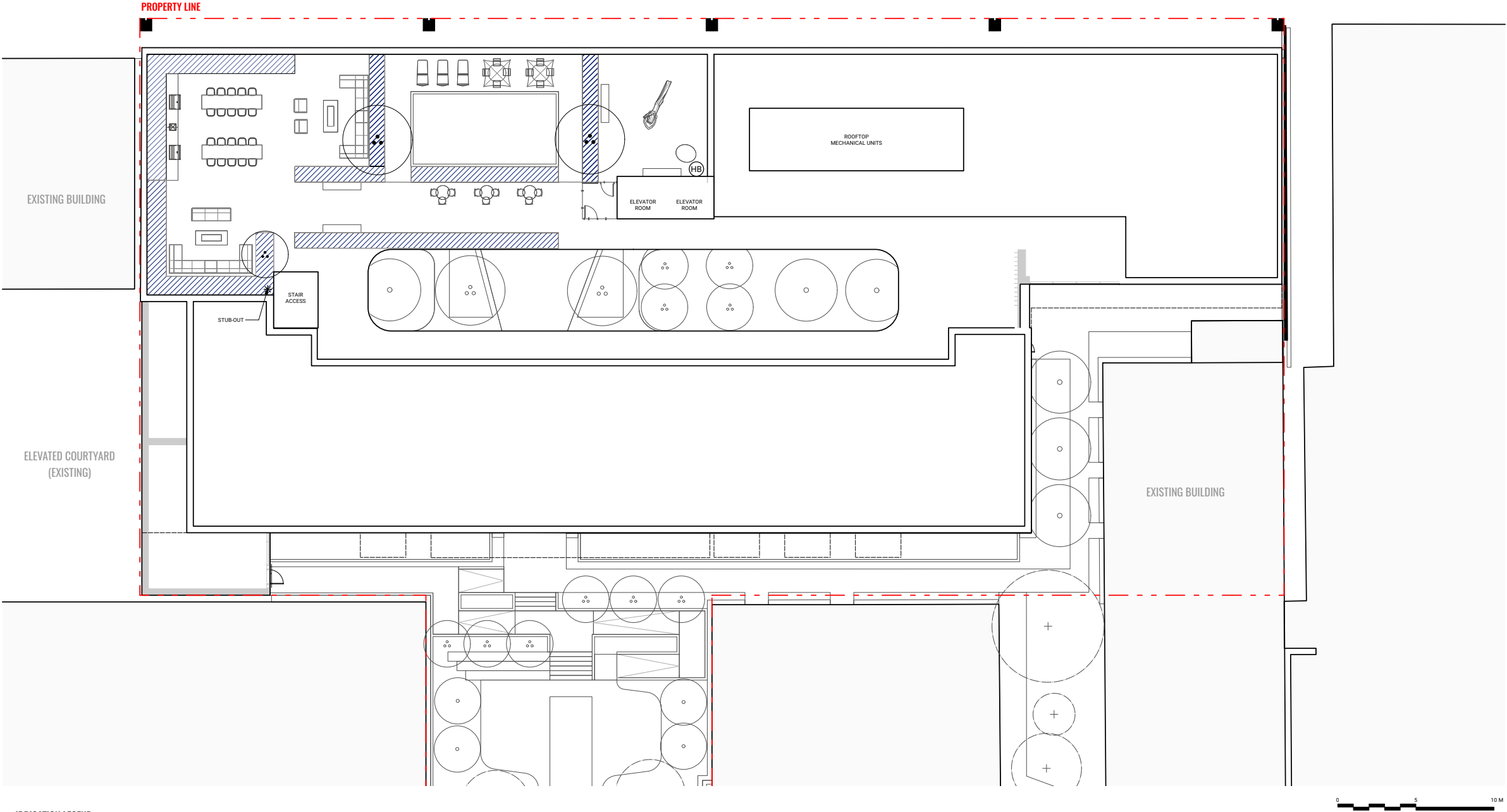
532-536 Herald Street &
517-533 Chatham Street

IRRIGATION PLAN - GROUND
LEVEL

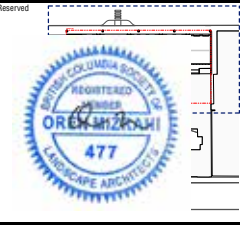
Date	LN
Drawn By	OM
Checked By	1:150
Scale	
Original Size	



L7.02



IRRIGATION LEGEND	
KEY	DESCRIPTION
(HB)	HOSE BIB REFER TO ELECTRICAL & MECHANICAL
*	STUB-OUT REFER TO ELECTRICAL & MECHANICAL
	IRRIGATED PLANTING HEAT TRACED
	IRRIGATED PLANTING



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

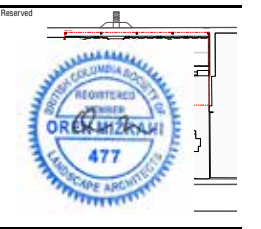
Project	25-108
---------	--------

Herald

532-536 Herald Street &
517-533 Chatham Street

IRRIGATION PLAN - ROOF

Date	
Drawn By	LN
Checked By	OM
Scale	1:100
Original Size	



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

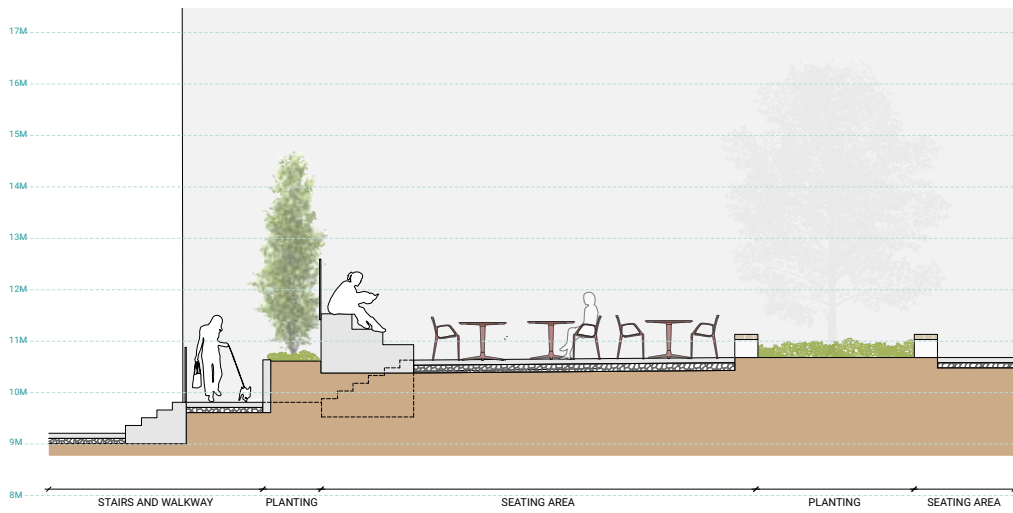
Project 25-108

Herald

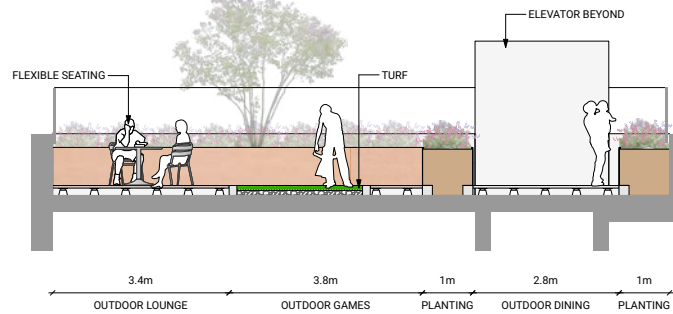
532-536 Herald Street &
517-533 Chatham Street

SECTIONS + ELEVATIONS (1)

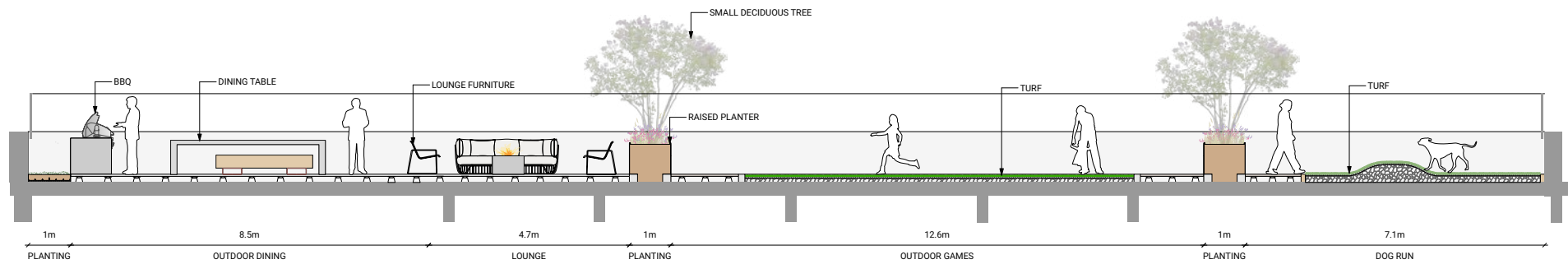
Date	
Drawn By	LN
Checked By	OM
Scale	1:50
Original Size	



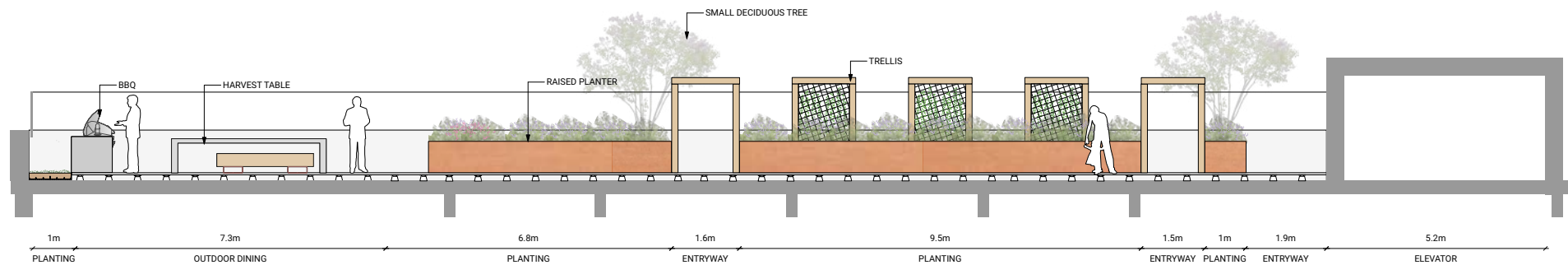
1 SECTION THROUGH PARKLET
Scale: 1:50



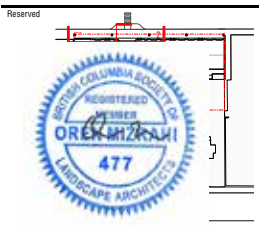
2 SECTION THROUGH ROOF AMENITY LOOKING EAST
Scale: 1:50



3 SECTION THROUGH ROOF AMENITY LOOKING NORTH
Scale: 1:50



4 SECTION THROUGH ROOF AMENITY LOOKING NORTH
Scale: 1:50

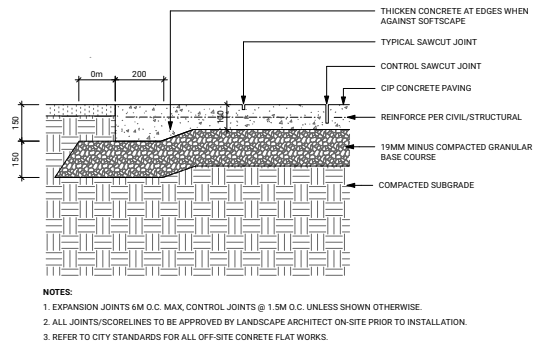


Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Redlining + DP	25-07-15

Key Plan

Project	25-108
Herald	
532-536 Herald Street & 617-632 Chatham Street	

SECTIONS + ELEVATIONS (2)		
Date	LN	
Drawn By	OM	
Checked By		
Scale	1:50	
Original Size		

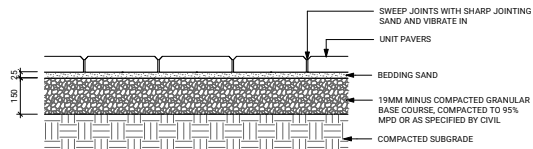


- NOTES:
1. EXPANSION JOINTS 6M O.C. MAX, CONTROL JOINTS @ 1.5M O.C. UNLESS SHOWN OTHERWISE.
 2. ALL JOINTS/SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
 3. REFER TO CITY STANDARDS FOR ALL OFF-SITE CONCRETE FLAT WORKS.

1 CIP CONCRETE - ON GRADE
Scale: 1:10

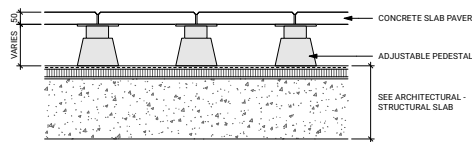


FEATURE CONCRETE UNIT PAVER

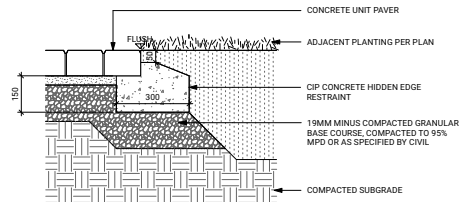


- ON GRADE
- NOTES:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION

5 CONCRETE UNIT PAVERS - ON GRADE
Scale: 1:10

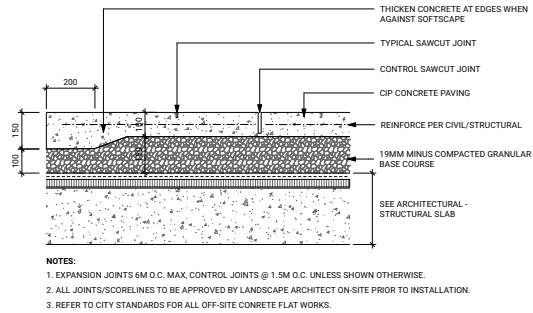


9 CONCRETE SLAB PAVERS ON PEDESTAL - ON SLAB
Scale: 1:10



- NOTES:
1. CIP CONCRETE EDGE RESTRAINT SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PAVER INSTALLATION.

13 UNIT PAVER AT PLANTING
Scale: 1:10

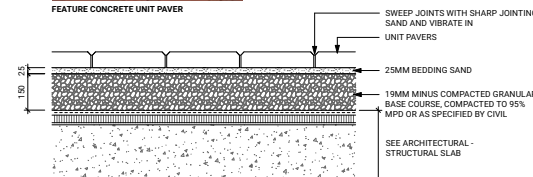


- NOTES:
1. EXPANSION JOINTS 6M O.C. MAX, CONTROL JOINTS @ 1.5M O.C. UNLESS SHOWN OTHERWISE.
 2. ALL JOINTS/SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.
 3. REFER TO CITY STANDARDS FOR ALL OFF-SITE CONCRETE FLAT WORKS.

2 CIP CONCRETE - ON SLAB
Scale: 1:10

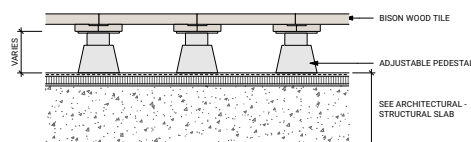


FEATURE CONCRETE UNIT PAVER

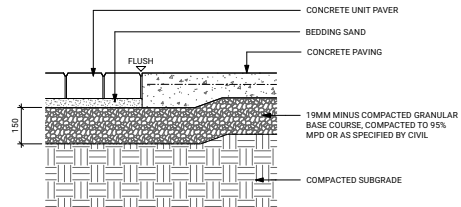


- ON SLAB
- NOTES:
1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION

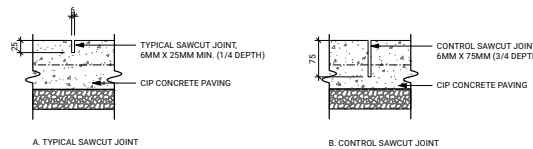
6 CONCRETE UNIT PAVERS - ON SLAB
Scale: 1:10



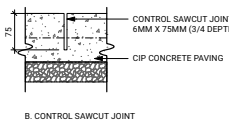
10 WOOD TILE - ON SLAB
Scale: 1:10



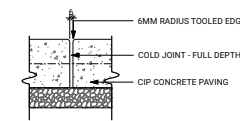
14 UNIT PAVER AT CONCRETE PAVING
Scale: 1:10



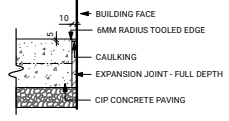
A. TYPICAL SAWCUT JOINT



B. CONTROL SAWCUT JOINT



C. COLD JOINT PAVING TO PAVING

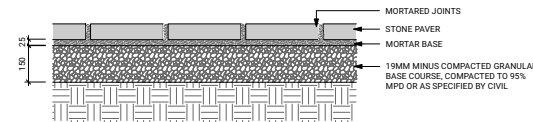


D. EXPANSION JOINT PAVING TO BUILDING FACE

3 CIP CONCRETE PAVING JOINTS
Scale: 1:5

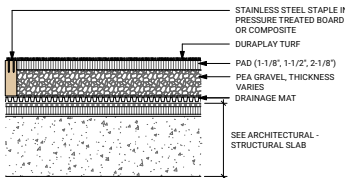


BASALT STONE PAVER

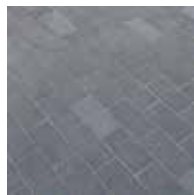


7 STONE PAVER - ON GRADE
Scale: 1:10

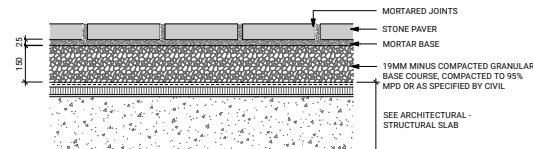
PRODUCT: DURAPLAY ARENA PRO BY CHALLENGER TURF OR EQUIVALENT
PILE HEIGHT: 7/16"
PILE GAUGE: 3/16"



11 ARTIFICIAL TURF - ON SLAB
Scale: 1:10

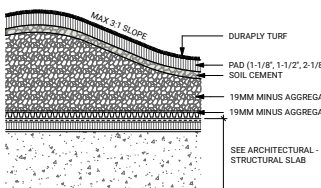


BASALT STONE PAVER



8 STONE PAVER - ON SLAB
Scale: 1:10

PRODUCT: DURAPLAY ARENA PRO BY CHALLENGER TURF OR EQUIVALENT
PILE HEIGHT: 7/16"
PILE GAUGE: 3/16"



12 ARTIFICIAL TURF MOUND - ON SLAB
Scale: 1:10

Revisions		
No.	Description	Date
2	Issued for CALLIC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALLIC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Key Plan

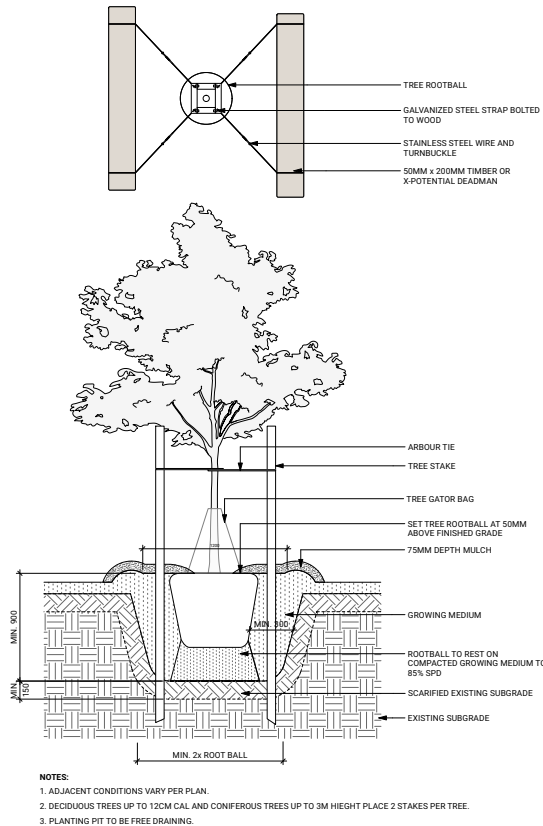
Project 25-108

Herald

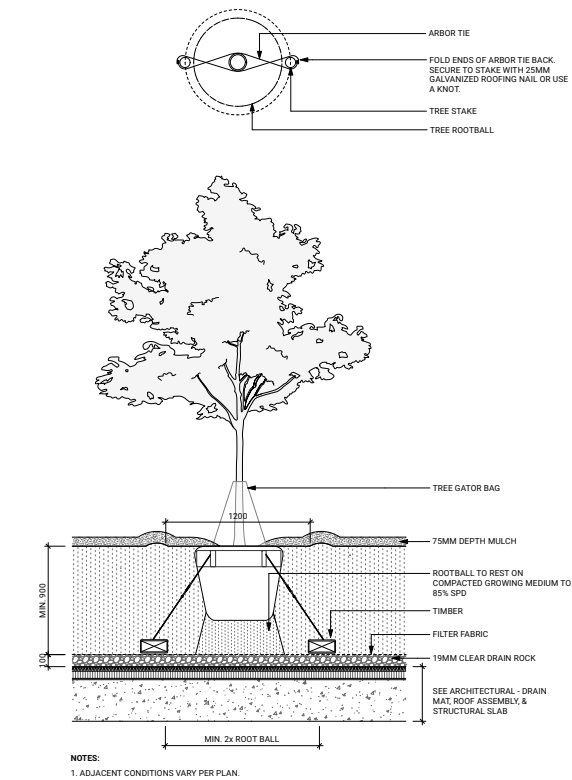
532-536 Herald Street &
517-533 Chatham Street

HARDSCAPE DETAILS

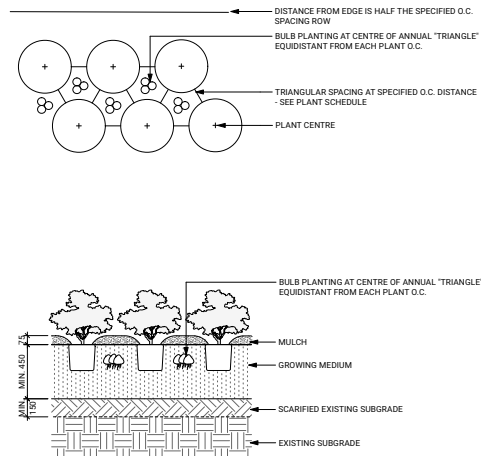
Date	LN
Drawn By	OM
Checked By	AS SHOWN
Scale	Original Size



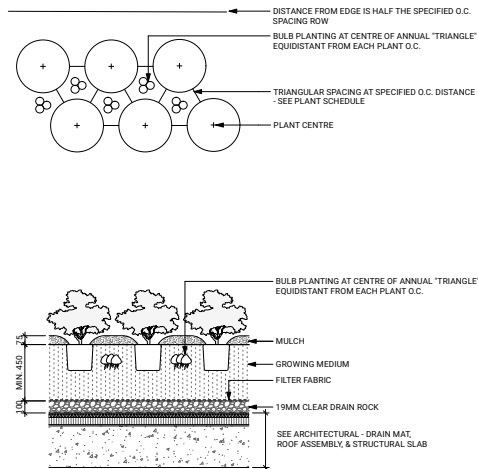
1 **TREE PLANTING - ON GRADE**
Scale: 1:20



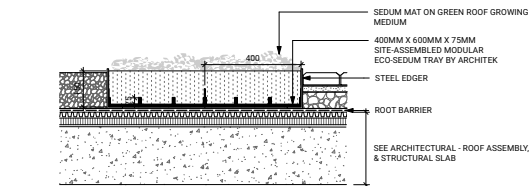
2 **TREE PLANTING - ON SLAB**
Scale: 1:20



3 **PLANTING - ON GRADE**
Scale: 1:20



4 **PLANTING - ON SLAB**
Scale: 1:20



5 **GREEN ROOF**
Scale: 1:10

Revisions		
No.	Description	Date
2	Issued for CALLUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALLUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Rezoning + DP	25-07-15

Key Plan

Project 25-108

Herald

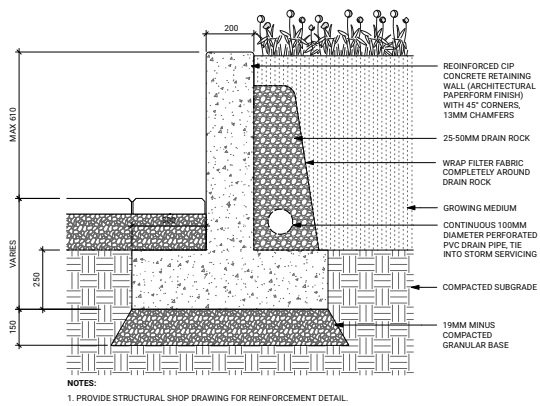
532-536 Herald Street &
517-533 Chatham Street

SOFTSCAPE DETAILS

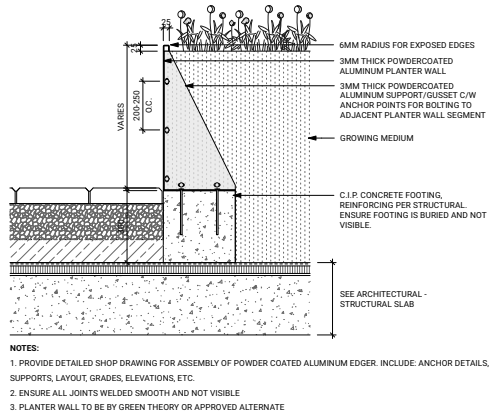
Date
Drawn By LN
Checked By OM
Scale AS SHOWN
Original Size



L9.10



1 CIP CONCRETE WALL - ON GRADE
Scale: 1:10

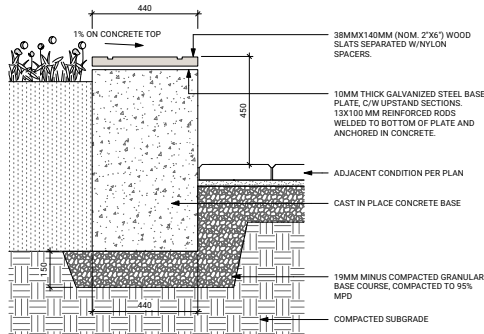


2 METAL PLANTER WALL ON FOOTING - ON SLAB
Scale: 1:10

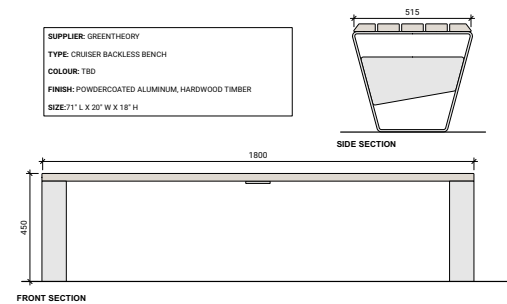


SUPPLIER: GREEN THEORY
TYPE: FREESTANDING METAL PLANTER
SIZE/VARIES, PER PLAN
COLOUR / FINISH: TBD

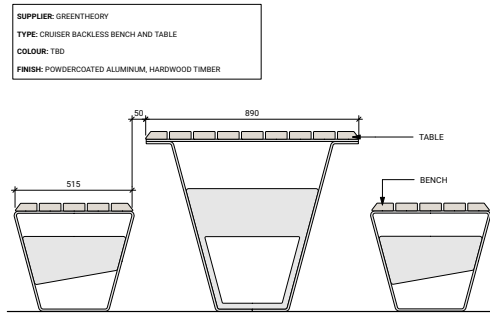
3 METAL PLANTER - FREESTANDING
Scale: 1:10



4 BENCH TYPE 1 - SEAT WALL
Scale: 1:10



5 BENCH TYPE 2
Scale: 1:10

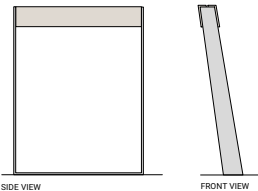


6 HARVEST TABLE
Scale: 1:10



NOTE: IMAGE SHOWN FOR REFERENCE ONLY
SUPPLIER: LANDSCAPE FORMS
TYPE: CATENA TABLE
FINISH: STEEL WITH POWDERCOATING (COLOR TBD)
SIZE: ROUND 36" AND 42" DIAMETERS
COMPLETE WITH SET OF (2) OR (4) CHAIRS PER PLANS
SUPPLIER: LANDSCAPE FORMS
TYPE: T1 CHAIR
FINISH: POWDERCOATED ALUMINUM (COLOR TBD)
COMPLETE WITH UMBRELLA PER PLANS
SUPPLIER: LANDSCAPE FORMS
TYPE: EQUINOX
FINISH: SUNBrella CANOPY FABRIC AND POWDERCOATED METAL (COLOR TBD)

7 TABLE AND CHAIRS
Scale: 1:10



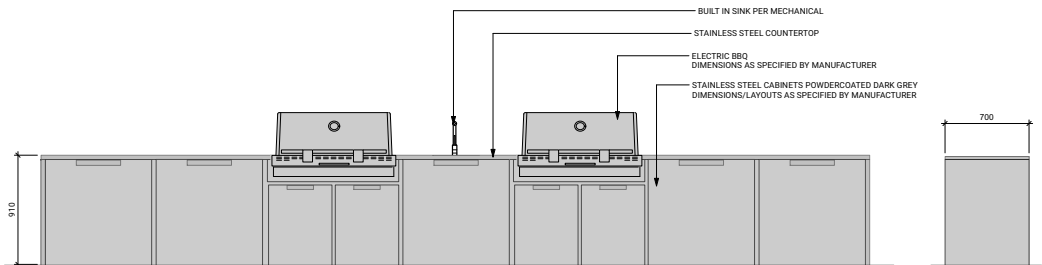
NOTE: IMAGE SHOWN FOR REFERENCE ONLY
SUPPLIER: MMCTC
TYPE: BIKEBLOCQ

8 BIKE RACK
Scale: 1:10



NOTE: IMAGE SHOWN FOR REFERENCE ONLY
SUPPLIER: SOLUS
TYPE: DOME 48 WATER FEATURE
SIZE: 48" DIAMETER
COLOUR / FINISH: TBD
NOTES:
1. INSTALL PER MANUFACTURER'S INSTRUCTIONS
2. REQUIRES ELECTRICAL CONNECTION

9 WATER BOWL
Scale: 1:10

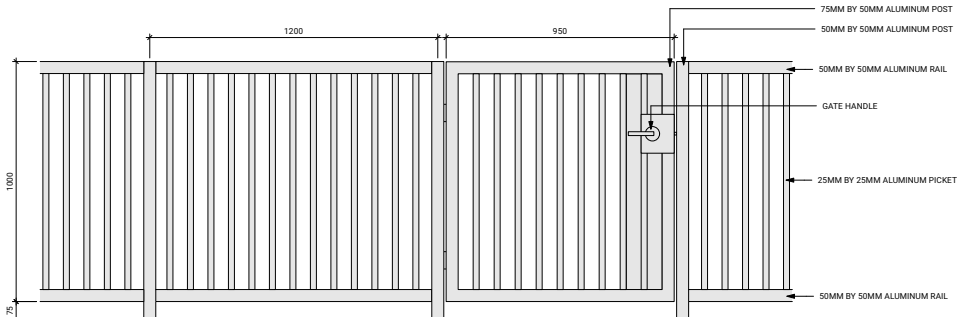


10 BBQ AND COUNTER
Scale: 1:20



NOTE: IMAGE SHOWN FOR REFERENCE ONLY
SUPPLIER: DREAMCAST DESIGN
TYPE: LINEA 48 OUTDOOR FIRE TABLE. PROPANE, W/ LINEAR GLASS GUARD, RIVER STONES AND ASPEN BIRCH APC LOG SE
FINISH: TBD
SIZE: 24" X 48" X 13"
NOTES:
1. INSTALL PER MANUFACTURER'S INSTRUCTIONS
2. REQUIRES ELECTRICAL AND PROPANE CONNECTION

11 FIRE PIT
Scale: 1:10



12 FENCE AND GATE
Scale: 1:10



Revisions		
No.	Description	Date
2	Issued for CALUC Review	25-05-07
3	Issued for Coordination	25-05-21
4	Issued for CALUC	25-05-22
5	Issued for Draft 1	25-06-11
6	Issued for Draft 2	25-06-17
7	Issued for Coordination	25-06-25
8	Issued for Draft 3	25-07-03
9	Issued for Reasoning + DP	25-07-15

Date	LN
Drawn By	OM
Checked By	AS SHOWN
Scale	AS SHOWN
Original Size	

