

SMARTSTOP SELF - STORAGE DOBNEY FOUNDRY, VICTORIA, B.C.

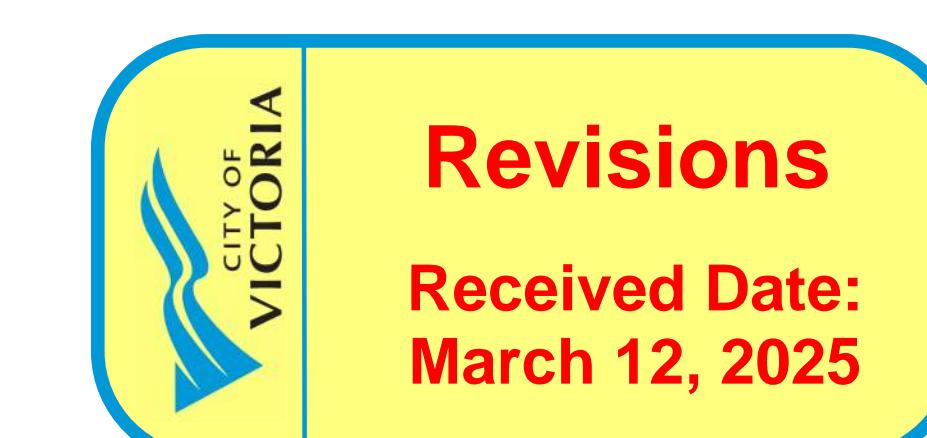
APPLICATION FOR DELEGATED DEVELOPMENT PERMIT



LIST OF DRAWINGS

ARCHITECTURAL

A-001	COVER PAGE
A-100	SITE PLAN EXISTING
A-101	SITE PLAN PROPOSED
A-102	CONSTRUCTION MANAGEMENT PLAN
A-103	BASEMENT 2 FLOOR PLAN
A-111	PARTIAL BASEMENT FLOOR PLAN
A-111A	GROUND & SPLIT GROUND FLOOR PLAN
A-112	SECOND FLOOR PLAN
A-113	THIRD FLOOR PLAN
A-114	FOURTH FLOOR PLAN
A-151	ROOF PLAN
A-200	NORTH AND EAST EXTERIOR ELEVATIONS
A-201	SOUTH AND WEST EXTERIOR ELEVATIONS
A-210	EXTERIOR FINISHES
A-212	EXTERIOR CONTEXT ELEVATIONS
A-300	BUILDING SECTIONS
A-310	PARTIAL SOUTH ELEVATION AND SECTION
A-311	PARTIAL SOUTH ELEVATION AND SECTION
A-312	PARTIAL NORTH ELEVATION AND SECTION
A-901	SUN STUDIES



A-400	PERSPECTIVE VIEW
A-401	PERSPECTIVE VIEW
A-402	PERSPECTIVE VIEW
A-403	PERSPECTIVE VIEW
A-410	3D ARIAL VIEW
A-411	3D ARIAL VIEW
A-412	3D PERSPECTIVES

A-901	SUN STUDIES
-------	-------------

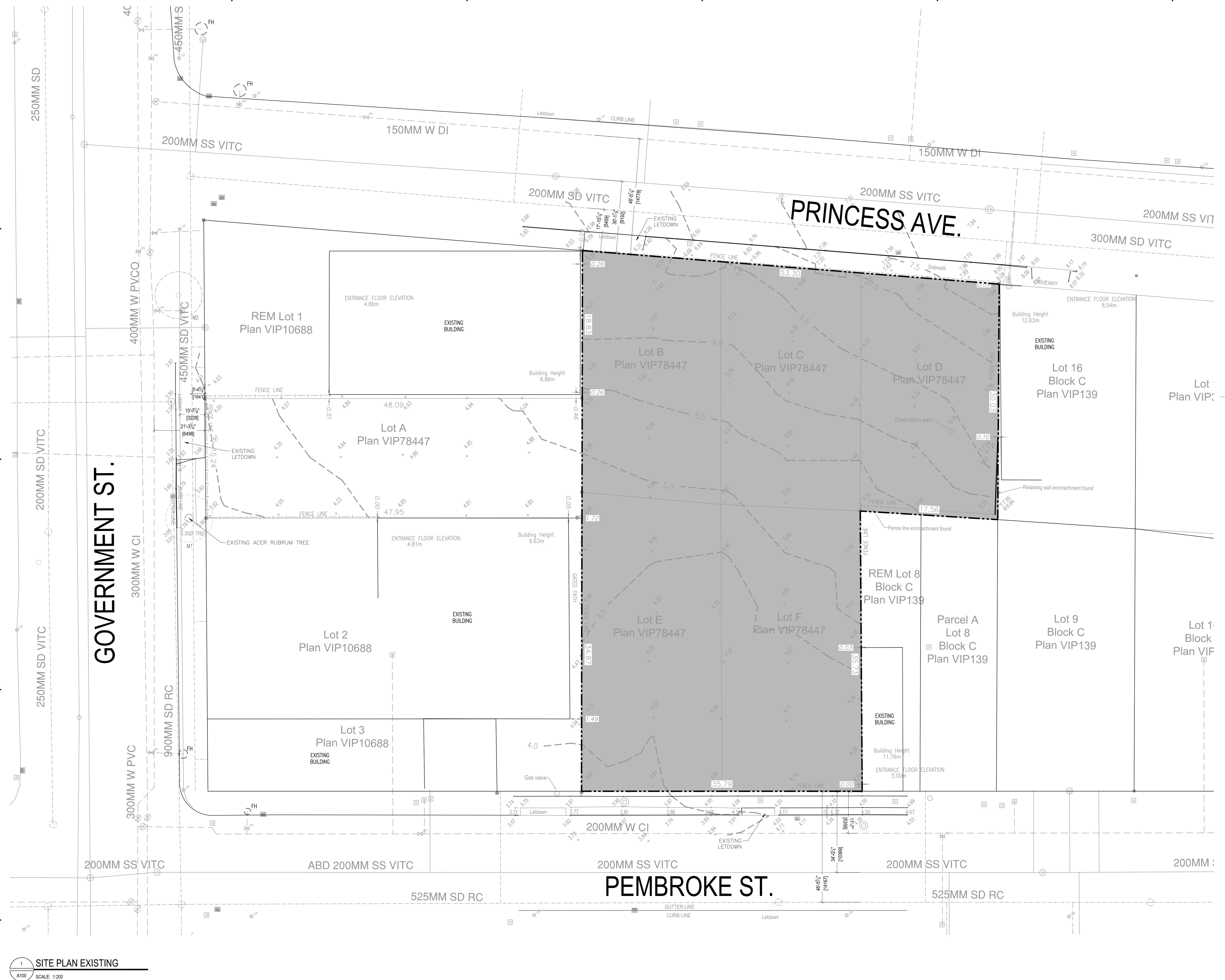
LANDSCAPE

L1	LANDSCAPE PLAN
L2	LANDSCAPE SPECIFICATIONS
L3	LANDSCAPE SOIL SPECIFICATIONS

CIVIL

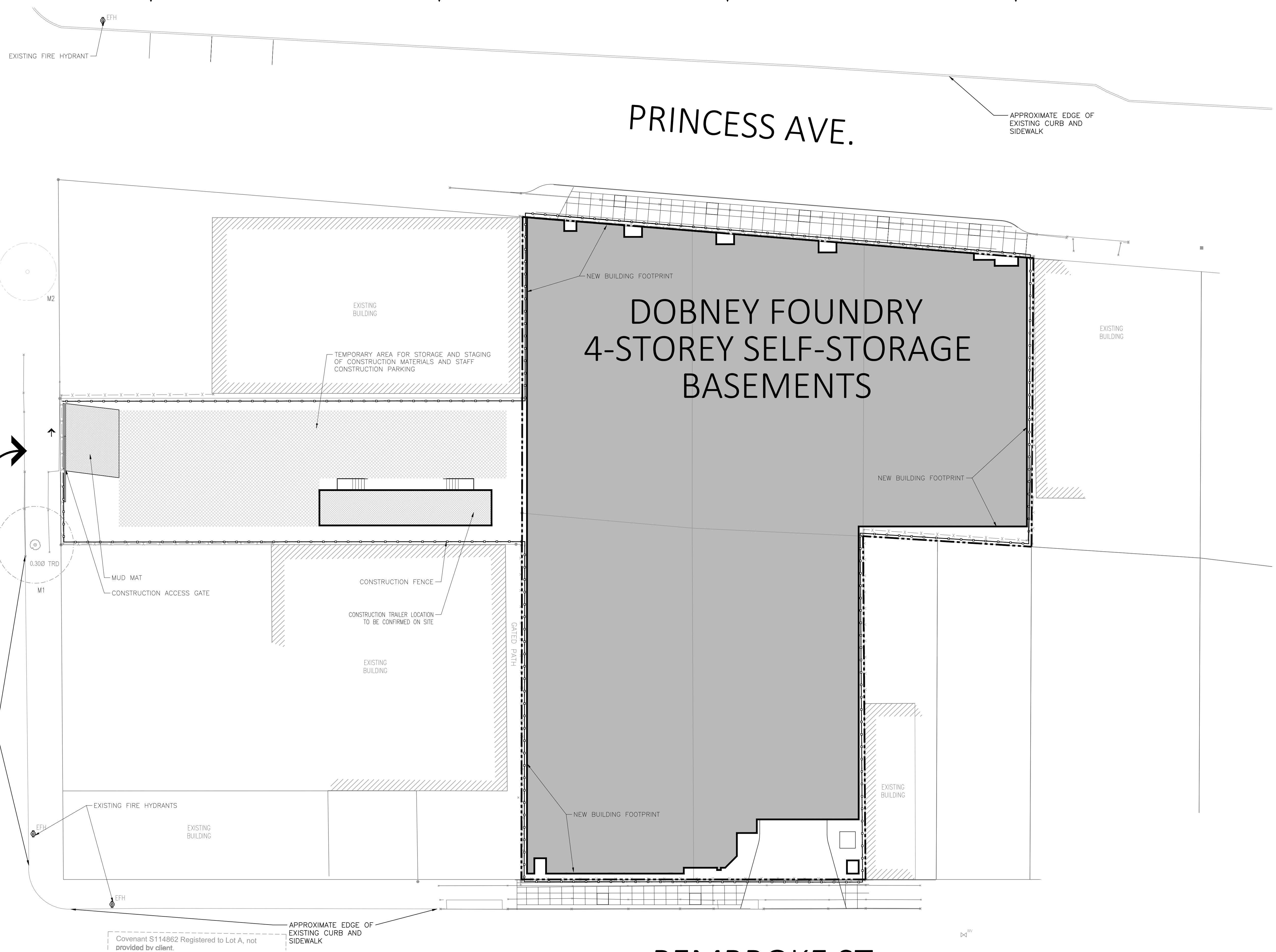
23-079-CSP	PRELIMINARY CIVIL PLAN
------------	------------------------

ITEM	BRITISH COLUMBIA BUILDING CODE DATA MATRIX- PART 3	BCBC Reference		
1	Project Description: NEW CONSTRUCTION OF A 4 STOREY SELF-STORAGE BUILDING WITH 2 BASEMENTS	Part 3		
2	Major Occupancy: F2 (SELF-STORAGE) & F (RETAIL STORE) Subsidiary Occupancy: D (OFFICE) & F3 (STORAGE GARAGE)	3.1.2.1(1)		
3	Building Area Proposed: 29,492.3 m ² (2,739.9 m ²) GREATEST HORIZONTAL AREA MEASURED FROM EXTERIOR FACES OF EXTERIOR WALLS	1.4.1.2		
4	Gross Floor Area Proposed: 15,834.5 m ² (14,291.7 m ²)			
5	Basement 2 Proposed: 29,516.8 m ² (2,742.4 m ²)			
6	Partial Basement Proposed: 19,629.2 m ² (1,823.6 m ²)			
7	Ground/Split Ground Proposed: 29,318.7 m ² (2,723.8 m ²) Office Floor Area: 1,287.9 m ² (119.6 m ²)			
8	Second Proposed: 25,068.4 m ² (2,328.9 m ²) Mercantile Floor Area: 5,541.4 m ² (514.8 m ²)			
9	Third Proposed: 25,149.7 m ² (2,336.5 m ²) Int. Parking Floor Area: 7,464.2 m ² (693.4 m ²)			
10	Fourth Proposed: 25,149.7 m ² (2,336.5 m ²)			
11	Number of Storeys Above Grade: 4 Below Grade: 2	3.2.1.1, 3.2.2.15		
12	Height of Building (m): 14.9 (AVERAGE TO TOP OF ROOF)			
13	Number of Streets/ Fire Fighting Access: 2	3.2.2.10 & 3.2.5		
14	Building Classification: 3.2.2.77 GROUP F, DIVISION 2, UP TO 4 STOREYS, INCREASED AREA, SPRINKLERED 3.2.2.66 GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED PER 3.2.2.6, THE REQUIREMENTS OF THE MOST RESTRICTED MAJOR OCCUPANCY SHALL APPLY TO THE WHOLE BUILDING.	3.2.2.6		
15	Sprinkler system proposed: ENTIRE BUILDING	3.2.2.77, 3.2.2.66		
16	Standpipe required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.8		
17	Fire Alarm Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4		
18	Water Service/Supply is Adequate: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7		
19	High Building: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6		
20	Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both	3.2.2.77		
21	Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both			
22	Mezzanine Area: N/A	3.2.1.1,(3)-(8)		
23	Occupant Load Based on: Self Storage (F2) <input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> Design of Building Office (D) <input type="checkbox"/> m ² / person <input type="checkbox"/> Design of Building	3.1.17.1		
24	95 m ² / 9.3 = 10			
25	Barrier Free Design: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8		
26	Hazardous Substances: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2		
27	Required Fire Resistance Ratings (FRR)	Horizontal Assemblies FRR (Hours)	Horizontal Assemblies FRR (Hours)	3.2.2.77, 3.2.2.66
28				3.2.1.4, 3.3.1.1
29				3.2.2.66
30				3.2.2.15,(2)
31				
32				
33				
34				
35				
36				
37				
38				
39				
40				
41				
42				
43				
44				
45				
46				
47				
48				
49				
50				
51				
52				
53				
54				
55				
56				
57				
58				
59				
60				
61				
62				
63				
64				
65				
66				
67				
68				
69				
70				
71				
72				
73				
74				
75				
76				
77				
78				
79				
80				
81				
82				
83				
84				
85				
86				
87				
88				
89				
90				
91				
92				
93				
94				
95				
96				
97				
98				
99				
100				
101				
102				
103				
104				
105				
106				
107				
108				
109				
110				
111				
112				
113				
114				
115				
116				
117				
118				
119				
120				
121				
122				
123				
124				
125				
126				
127				
128				
129				
130				
131				
132				
133				
134				
135				
136				
137				
138				
139				
140				
141				
142				
143				
144				
145				
146				
147				
148				
149				
150				
151				
152				
153				
154				
155				
156				
157				
158				
159				
160				
161				



© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC	
FOR DELEGATED DEVELOPMENT PERMIT	
GENERAL NOTES TYPICAL:	
9	2024-04-12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024-04-09 FOR TENDER
7	2024-04-15 FOR DEVELOPMENT PERMIT
6	2024-05-20 FOR DEVELOPMENT PERMIT
5	2024-05-31 FOR DEVELOPMENT PERMIT
4	2024-06-15 FOR DEVELOPMENT PERMIT
3	2024-06-30 FOR DEVELOPMENT PERMIT
2	2024-07-14 FOR DISCUSSION
1	2024-07-30 FOR DISCUSSION
*	YYYY-MM-DD REVISIONS

GOVERNMENT ST.



PEMBROKE ST.

1 CONSTRUCTION MANAGEMENT PLAN
A101A SCALE: 1:200

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:
 • CONTRACTOR OR PERMIT HOLDER TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 • DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.
 • DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STATED AND SIGNED BY THE ARCHITECT AND CONTRACTOR.
 • CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 • ALL DRAWINGS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

GRAPHIC SCALE
5 0 10 metres

SITE PLAN BASED ON SURVEY BY EXPLORER FILE 11874 DATED 2022-11-30.

TIMEFRAME:
17 MONTHS CONSTRUCTION PERIOD

9 2024.11.12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT

8 2024.11.22 ISSUED FOR ADDENDUM 01

7 2024.11.20 FOR DEVELOPMENT PERMIT

6 2023.12.20 FOR DEVELOPMENT PERMIT

5 2023.10.30 FOR DEVELOPMENT PERMIT

4 2023.08.15 FOR DEVELOPMENT PERMIT

3 2023.04.21 FOR DEVELOPMENT PERMIT

2 2023.04.14 FOR DESIGNATION

1 2023.04.06 FOR DISCUSSION

• YYYY-MM-DD REVISIONS

DESIGNER:

CIVIL:

ELECTRICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

LANDSCAPE:

PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5C6G9
TEL: 604.294.0011

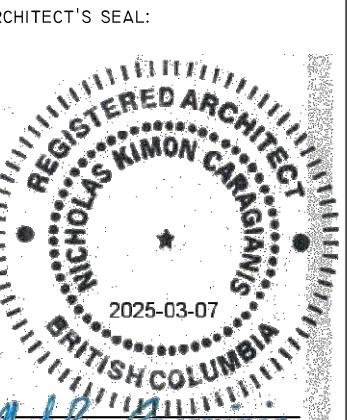
CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH



TN: TRUE NORTH

ARCHITECT:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

CONSTRUCTION
MANAGEMENT PLAN

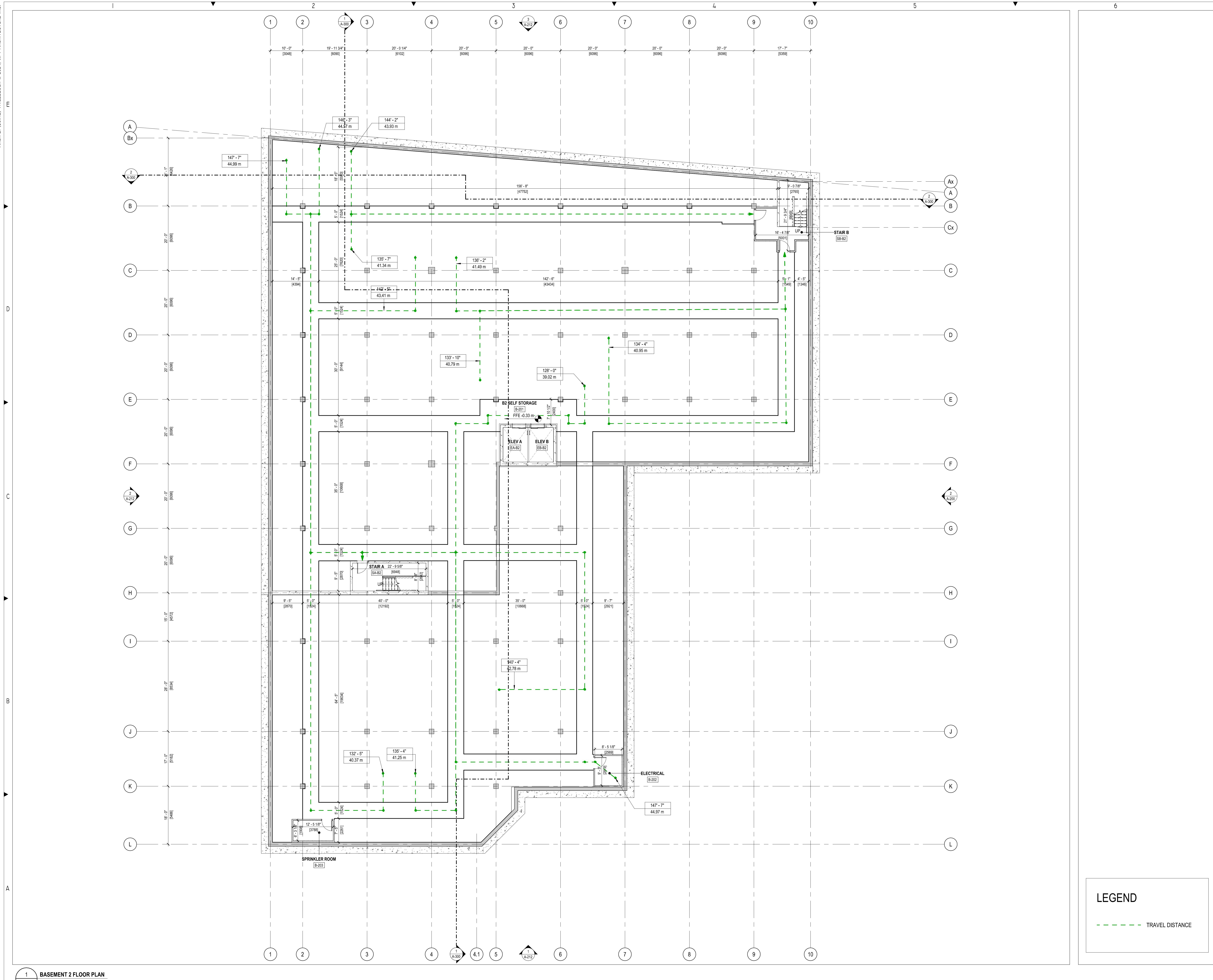
SCALE:

1:200

DRAWN BY:

AF

A101



ELIGATED DEVELOPMENT PERMIT

AL NOTES TYPICAL:
TOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS,
NS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND
TE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS
REPANCIES TO THE ARCHITECT IN WRITING PRIOR TO
NG WITH THE WORK.
TS ARE TO BE READ IN CONJUNCTION WITH ALL
ANTS' DOCUMENTATION.
CALE DRAWINGS. DO NOT USE DOCUMENTS FOR
CTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND
AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
TOR AND CONSTRUCTION MUST COMPLY WITH
IT CODES, BYLAWS, PROVINCIAL AND FEDERAL
ORY REQUIREMENTS.
MENTS REMAIN THE PROPERTY OF THE CONSULTANTS
NOT BE USED OR REPRODUCED WITHOUT WRITTEN
ON.

11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT						
03.05	FOR DEVELOPMENT PERMIT						
12.20	FOR DEVELOPMENT PERMIT						
10.31	FOR DEVELOPMENT PERMIT						
08.15	FOR DEVELOPMENT PERMIT						
MM-DD	REVISIONS						

MM-DD | REVISIONS

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.

TEL: 905 507 0000
AL:
RJC
1515 DOUGLAS STREET, SUITE 330
Vancouver, BC

TEL: 250 386 7794

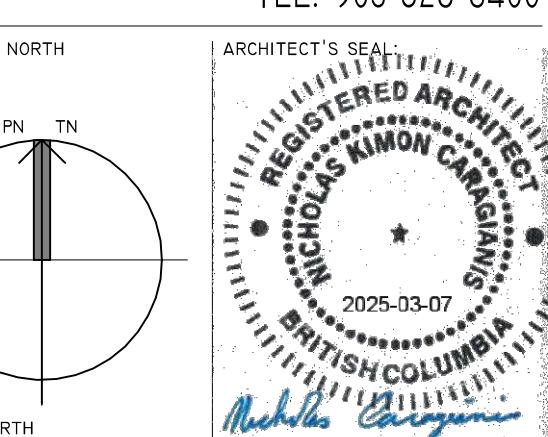
ENVELOPE.
WSP
100-20339 96 AVENUE
LANGLEY, BC.

TEL: 604 555 2992

BURNABY, BC
TEL: 604 294 0011

Storage **SMARTCENTRES®**
REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5



PROJECT #:	0076.01	MUNICIPAL #:	
PROJECT #:		CLIENT CONTRACT #:	

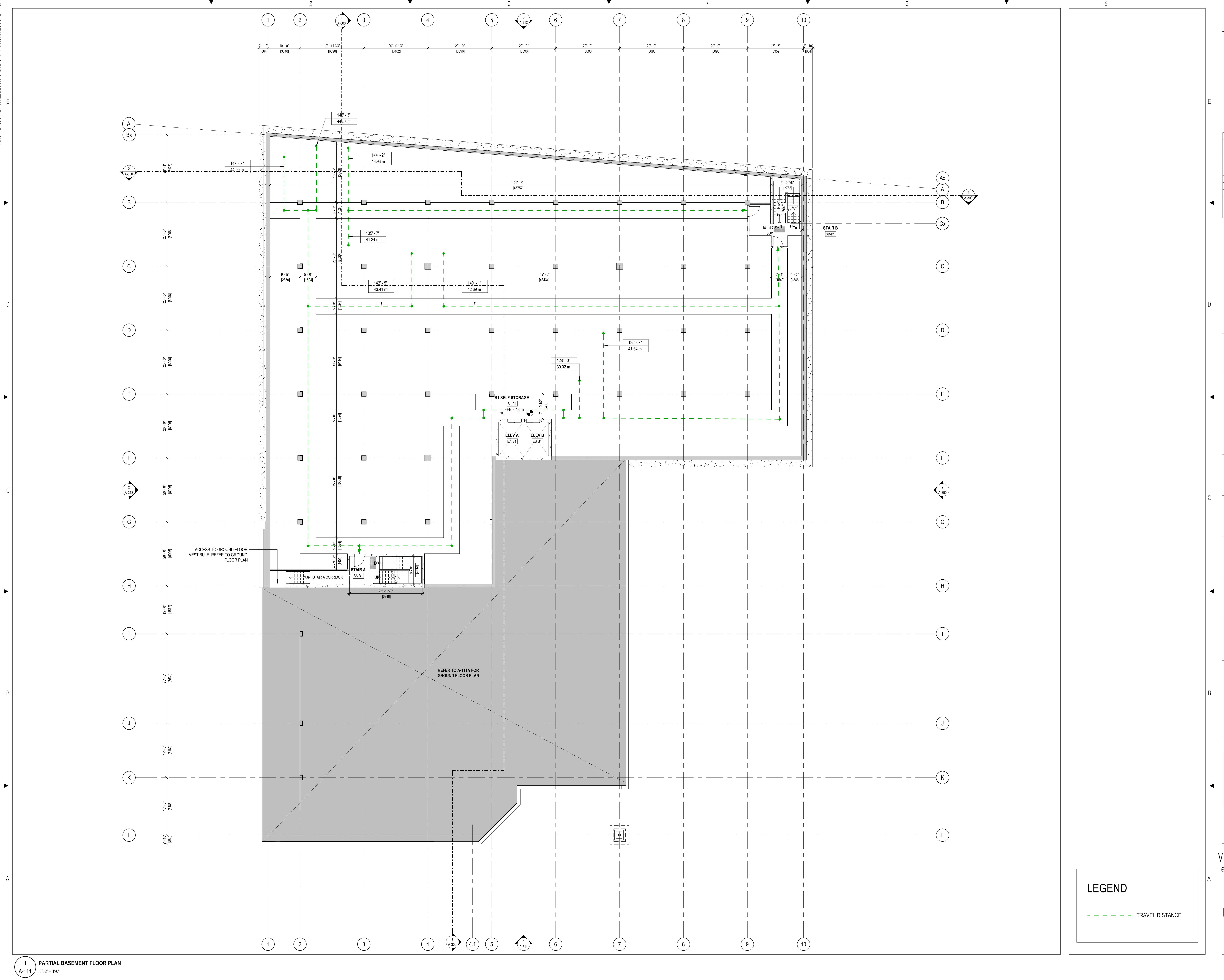
NAME AND LOCATION:
TRIA SELF STORAGE INC
7, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

1E:

EMENT 2 FLOOR PLAN

SHEET #:

A-110

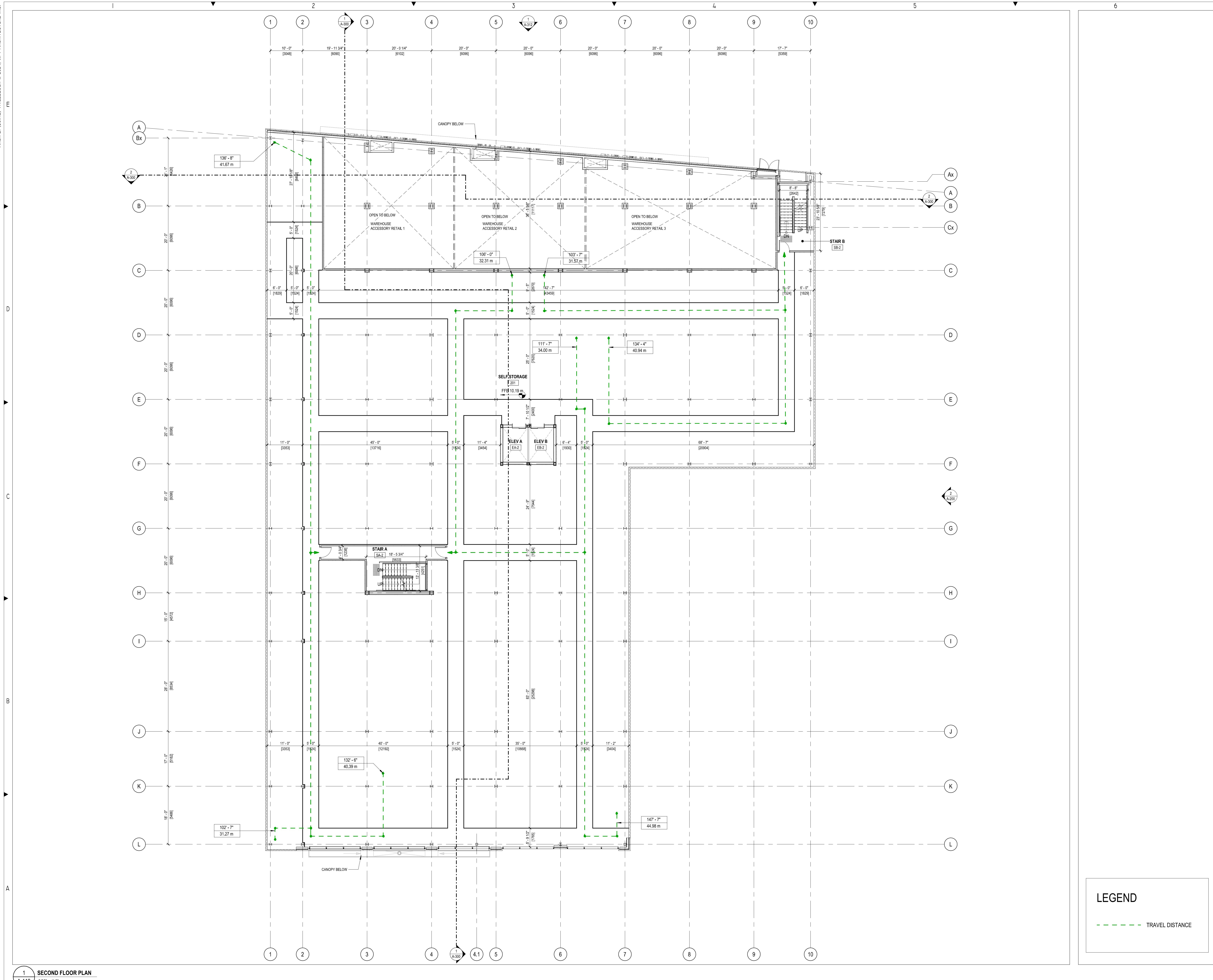


GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT CONSTRUCT UNTIL DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONSTRUCTION AND CONSTRUCTION MUST COMPLY WITH APPROPRIATE CODES, INCLUDING PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

DATE	REVISIONS
8	2024.11.12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.20 FOR DEVELOPMENT PERMIT
6	2023.12.20 FOR DEVELOPMENT PERMIT
5	2023.10.31 FOR DEVELOPMENT PERMIT
4	2023.08.15 FOR DEVELOPMENT PERMIT
3	2023.04.21 FOR DEVELOPMENT PERMIT
2	2023.04.14 FOR DISCUSSION
1	2023.04.06 FOR DISCUSSION
	# YYYY-MM-DD REVISIONS

YYYY-MM-DD REVISIONS



ELIGATED DEVELOPMENT PERMIT

AL NOTES TYPICAL:
TOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS,
NS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND
TE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS
REPANCIES TO THE ARCHITECT IN WRITING PRIOR TO
NG WITH THE WORK.
TS ARE TO BE READ IN CONJUNCTION WITH ALL
ANTS' DOCUMENTATION.
CALE DRAWINGS. DO NOT USE DOCUMENTS FOR
CTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND
AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
TOR AND CONSTRUCTION MUST COMPLY WITH
IT CODES, BYLAWS, PROVINCIAL AND FEDERAL
ORY REQUIREMENTS.
MENTS REMAIN THE PROPERTY OF THE CONSULTANTS
NOT BE USED OR REPRODUCED WITHOUT WRITTEN
ON.

4.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
4.03.22	FOR DEVELOPMENT PERMIT
4.03.05	FOR DEVELOPMENT PERMIT
3.12.20	FOR DEVELOPMENT PERMIT
3.10.31	FOR DEVELOPMENT PERMIT
3.08.15	FOR DEVELOPMENT PERMIT
3.04.21	FOR DEVELOPMENT PERMIT
3.04.14	FOR DISCUSSION
3.04.06	FOR DISCUSSION
MM-DD	REVISIONS

ANSWER KEYS

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.

AL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

An architectural stamp and a compass rose. The stamp on the right is circular with a decorative border. The text 'REGISTERED ARCHITECT' is at the top, 'NICHOLAS KIMON CARAGIANS' is in the center, '2025-03-07' is at the bottom, 'BRITISH COLUMBIA' is on the right, and a signature 'Nicholas Caragians' is at the bottom. The compass rose on the left is a circle with a vertical line through the center. The top half of the vertical line has 'PN' at the top and 'TN' at the bottom. The bottom half has 'RTH' at the bottom and 'UTH' at the top. The horizontal line through the center has 'L' on the left and 'R' on the right.

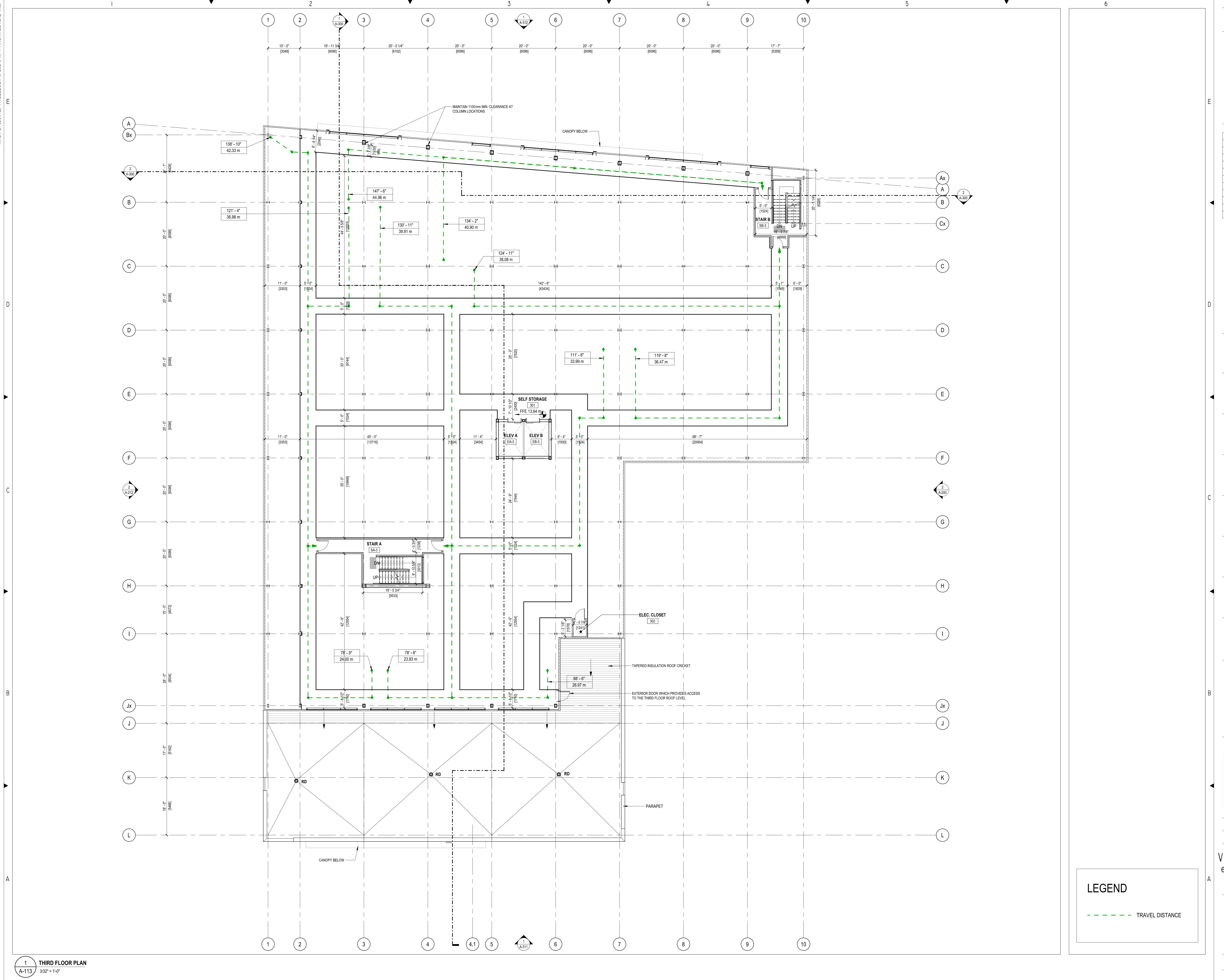
JECT #:	MUNICIPAL #:
0076.01	
JECT #:	CLIENT CONTRACT #:
AME AND LOCATION:	

1E:

SECOND FLOOR PLAN

SHEET #:

A-112



GENERAL NOTES TYPICAL:	
CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.	
DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.	
DO NOT CONSTRUCT UNLESS DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.	
CONSTRUCTION AND CONSTRUCTION MUST COMPLY WITH PORTER COUNCIL, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.	
ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.	

9	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024.03.22	FOR DEVELOPMENT PERMIT
7	2024.03.20	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
	##	YYYY-MM-DD REVISIONS

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PROJECT NORTH

REGISTERED ARCHITECT
KIMON CAMPBELL
2025-03-07

BRITISH COLUMBIA

Architect's Seal:

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 **MUNICIPAL #:**
CLIENT PROJECT #: **CLIENT CONTRACT #:**

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

THIRD FLOOR PLAN

SCALE: 3/32" = 1'-0" **SHEET #:** A-113

DRAWN BY: PM

A-113

NOTES TYPICAL:
ER IS RESPONSIBLE TO VERIFY ALL DRAWINGS,
, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND
E CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS
PANCIES TO THE ARCHITECT IN WRITING PRIOR TO
G WITH THE WORK.
ARE TO BE READ IN CONJUNCTION WITH ALL
TS' DOCUMENTATION.
LE DRAWINGS. DO NOT USE DOCUMENTS FOR
ION UNLESS INDICATED AS "FOR CONSTRUCTION" AND
ND SIGNED BY THE ARCHITECT AND CONSULTANTS.
R AND CONSTRUCTION MUST COMPLY WITH
CODES, BYLAWS, PROVINCIAL AND FEDERAL
Y REQUIREMENTS.
ENTS REMAIN THE PROPERTY OF THE CONSULTANTS
OT BE USED OR REPRODUCED WITHOUT WRITTEN

1.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
3.22	FOR DEVELOPMENT PERMIT
3.05	FOR DEVELOPMENT PERMIT
2.20	FOR DEVELOPMENT PERMIT
0.31	FOR DEVELOPMENT PERMIT
3.15	FOR DEVELOPMENT PERMIT
4.21	FOR DEVELOPMENT PERMIT
M-DD	REVISIONS

M-DD | REVISIONS

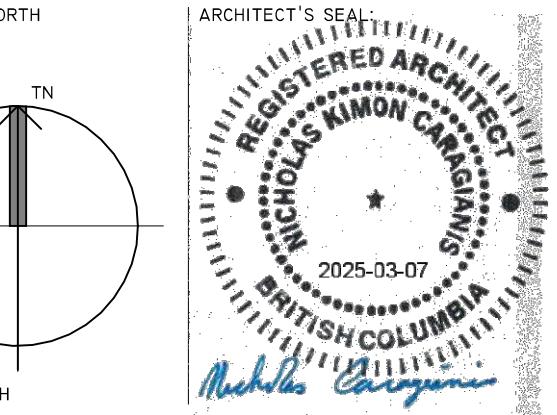
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL 926-5232

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

35 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011



Digitized by srujanika@gmail.com



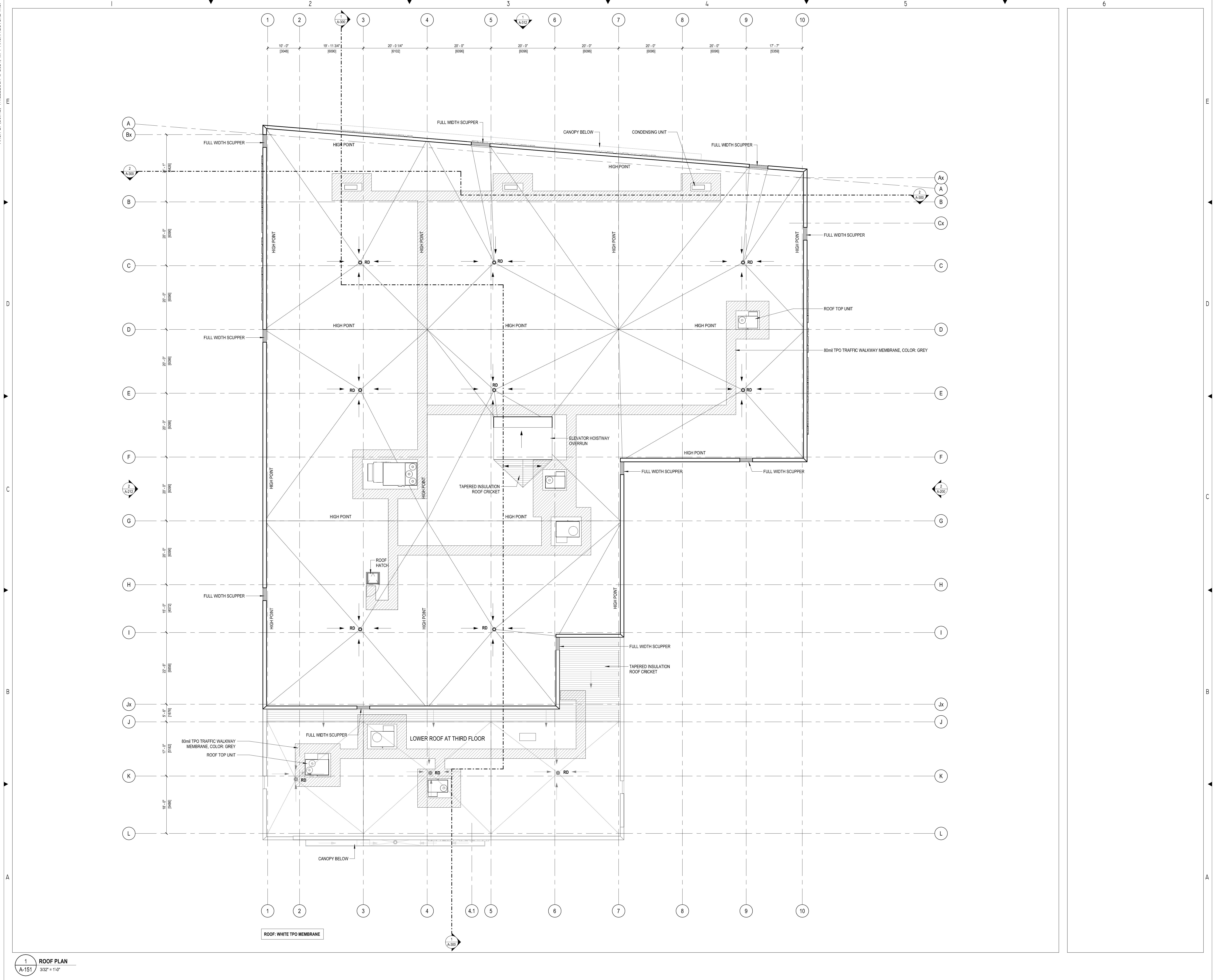
UNIT #:	MUNICIPAL #:
76.01	
STRUCTURE #:	CLIENT CONTRACT #:

ME AND LOCATION:
IA SELF STORAGE INC
629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICORIA, BRITISH COLUMBIA

ROOF PLAN

SHEET #:

1

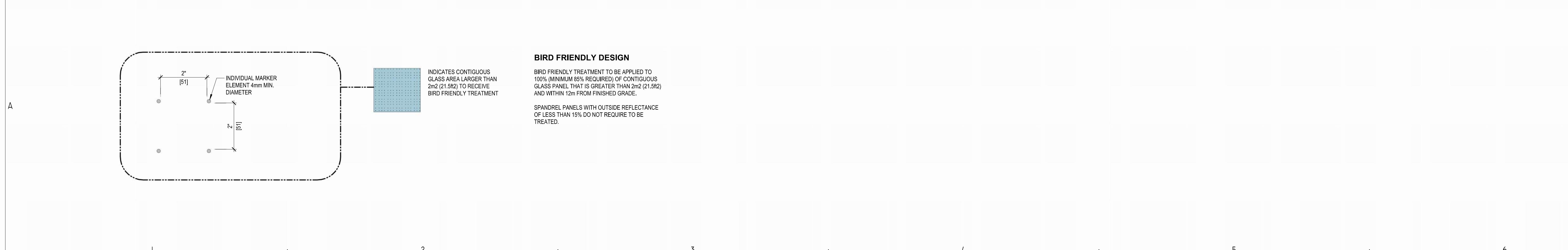
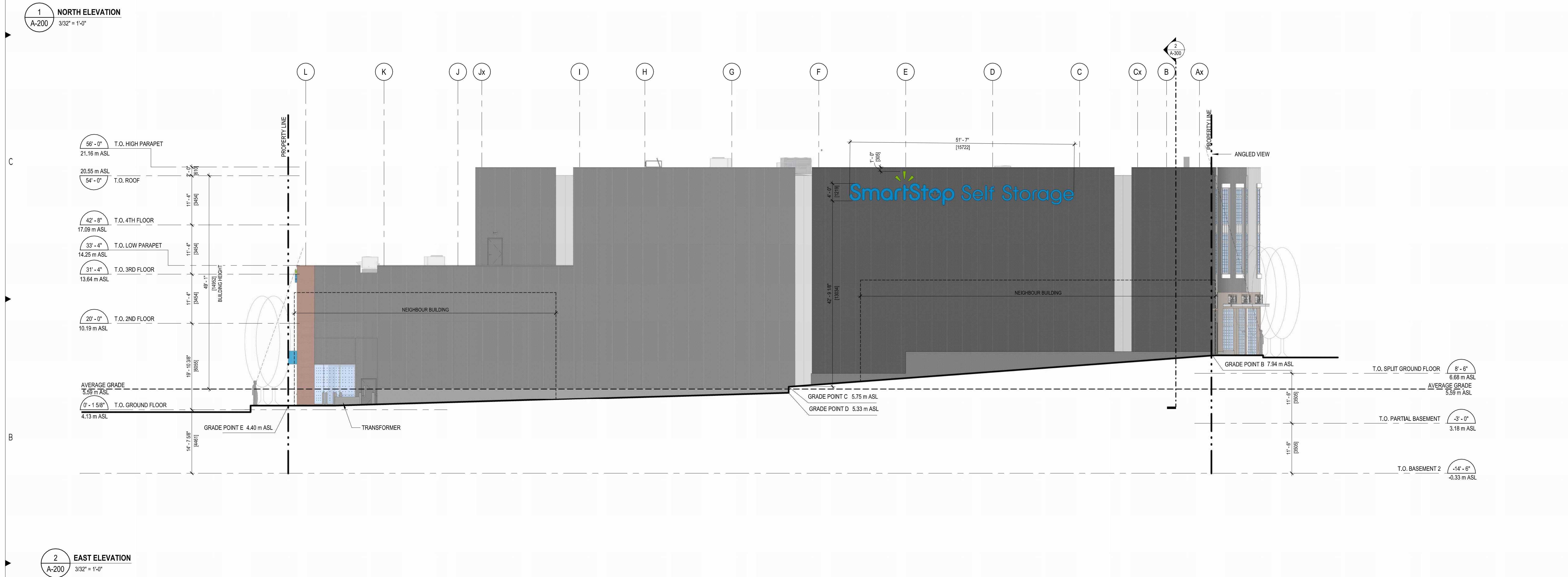


GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANTS IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- PERTINENT CODES, STANDARDS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.01	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION

YYYY-MM-DD REVISIONS



WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

NORTH AND EAST EXTERIOR ELEVATIONS

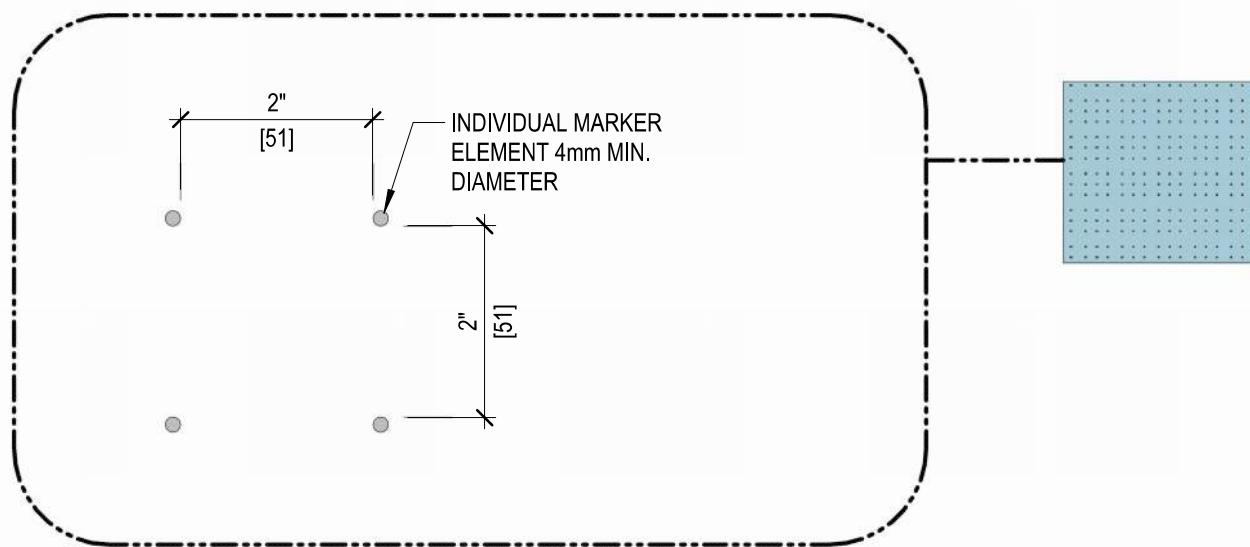
SCALE: AS INDICATED
DRAWN BY: KB
SHEET #: A-200

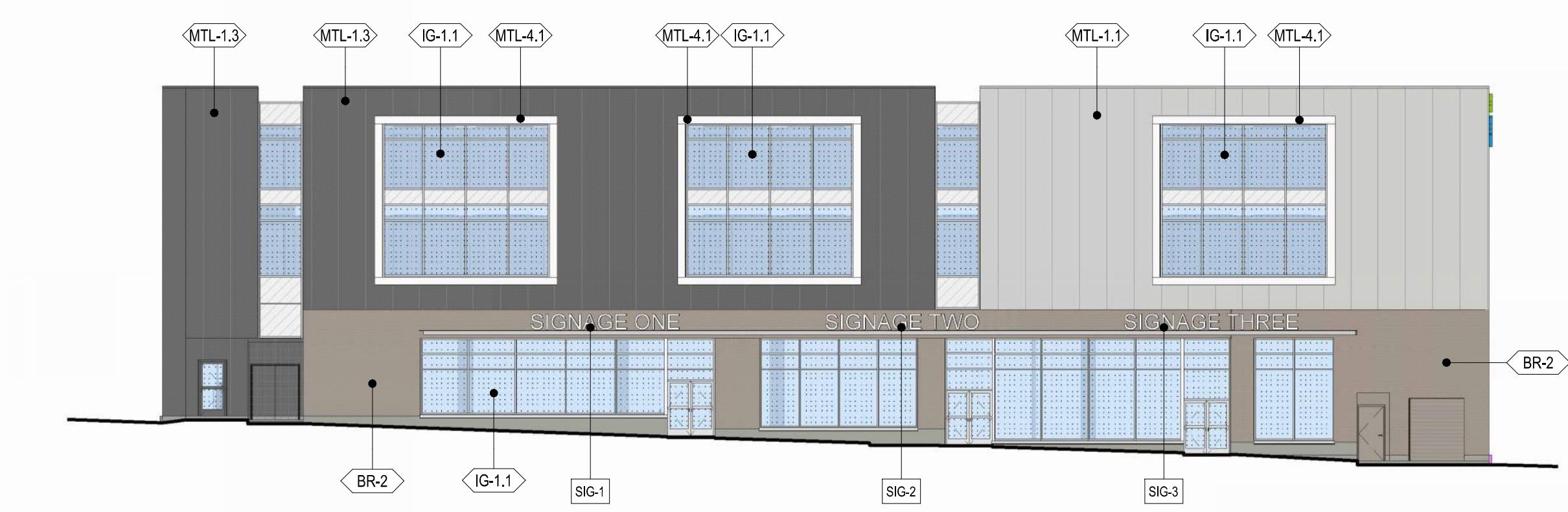
A-200

BIRD FRIENDLY DESIGN

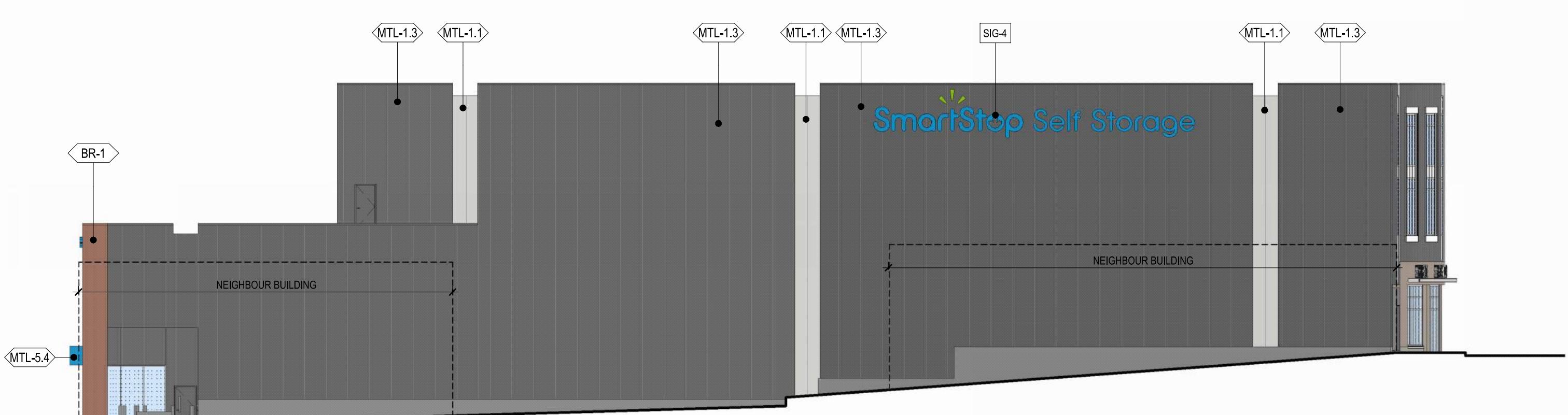
INDIVIDUAL MARKER ELEMENT 4mm MIN. DIAMETER
INDICATES CONTIGUOUS GLASS AREA LARGER THAN 2m² (21.5ft²) AND WITHIN 12m FROM FINISHED GRADE.

SPANDREL PANELS WITH OUTSIDE REFLECTANCE OF LESS THAN 15% DO NOT REQUIRE TO BE TREATED.





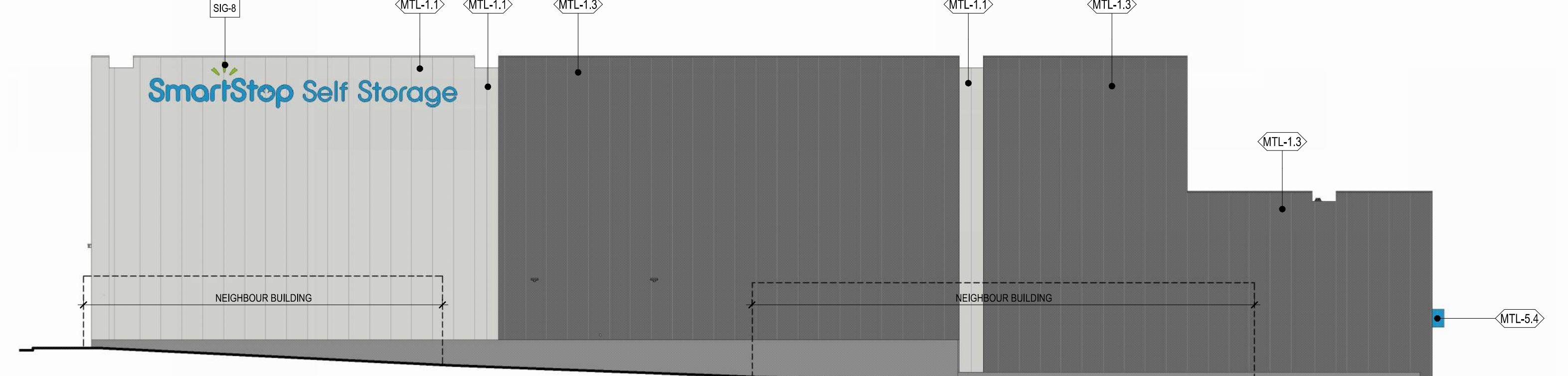
1 NORTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



2 EAST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



3 SOUTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



4 WEST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"

BY LAW NO. 14-097 | ARTERIAL COMMERCIAL SIGN ZONE

A fascia sign shall not have a display surface exceeding 9 m² (96.88 sq ft).

NORTH ELEVATION

SIGNAGE 1 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.0 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 2 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.4 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 3 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.7 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 22.6 sq. ft. (2.1 m²)

EAST ELEVATION

SIGNAGE 4 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 13 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)

SOUTH ELEVATION

SIGNAGE 5 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 9 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 23.4 sq. ft. (2.17 m²)

SIGNAGE 6 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 2.6 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 4.3 sq. ft. (0.4 m²)

SIGNAGE 7 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 12.5 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 11 sq. ft. (1.02 m²)

WEST ELEVATION

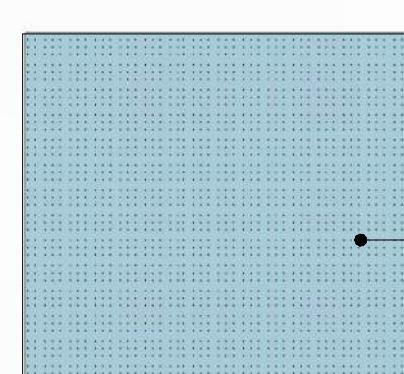
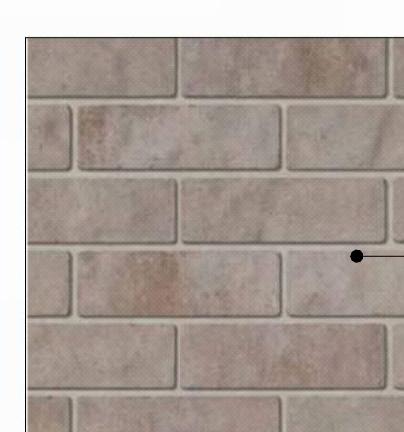
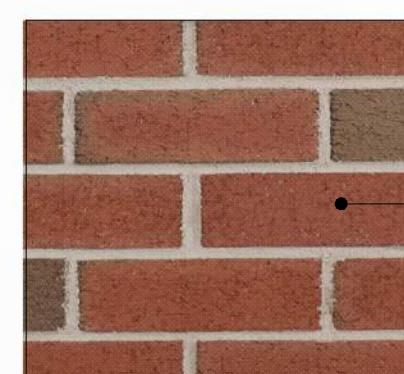
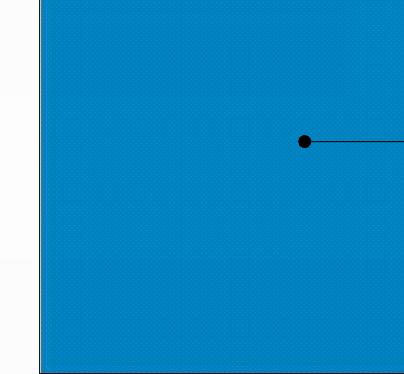
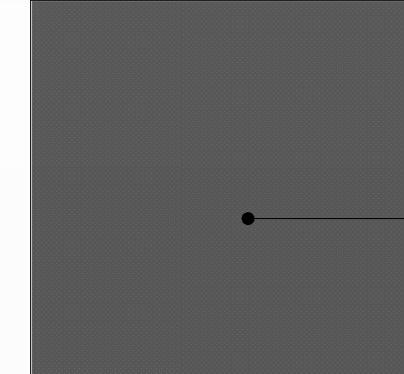
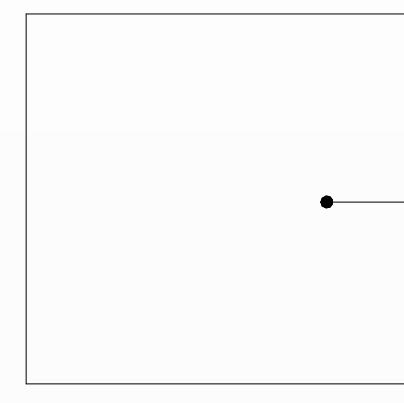
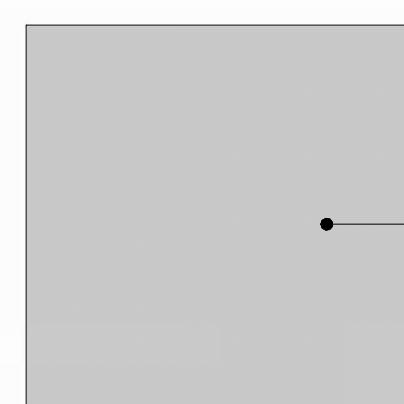
SIGNAGE 8 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 2.6 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)

5 MTL-1.1
INSULATED METAL PANEL
ACCENT PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7064 "PASSIVE"

6 MTL-4.1
ALUMINUM COMPOSITE PANEL
DISPLAY FEATURE WALL
ORIENTATION - HORIZONTAL/VERTICAL
COLOUR - WHITE

7 MTL-1.3
INSULATED METAL PANEL
MAIN PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7674 "PEPPERCORN"

8 MTL-5.4
METAL LINEAR PANEL
CANOPY FASCIA & SOFFIT
ORIENTATION - VERTICAL
COLOUR - PMS 7461 "SMARTSTOP BLUE"



© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT
GENERAL NOTES TYPICAL:
• CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSION DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANTS PRIOR TO PROCEEDING WITH THE WORK.
• DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
• DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
• ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

7	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
6	2024.10.23	ISSUED FOR BUILDING PERMIT COMMENTS
5	2024.10.15	ISSUED FOR SIGNAGE TENDER
4	2024.10.10	ISSUED FOR TENDER
3	2024.09.03	ISSUED FOR PERMIT
2	2024.08.08	ISSUED FOR 70% SUBMISSION
1	2024.03.05	FOR DEVELOPMENT PERMIT

YYYY-MM-DD | REVISIONS

CIVIL:
ELECTRICAL:
MECHANICAL:
STRUCTURAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

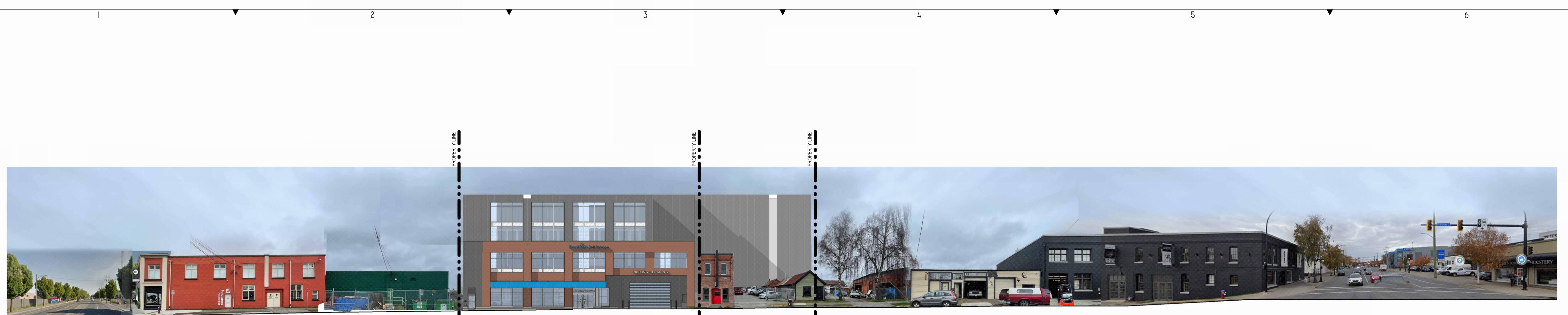
PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT:
REGISTERED ARCHITECT
MICHAEL KIRKON CAMPBELL
2025-03-07
BRITISH COLUMBIA
Michele Kirkon Campbell

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
EXTERIOR FINISHES

SCALE:
1/16" = 1'-0"
DRAWN BY:
KB
SHEET #:
A-210



1 SOUTH - PEMBROKE STREET
A-212 1:275



2 WEST - GOVERNMENT STREET
A-212 1:275



3 NORTH - PRINCESS AVENUE
A-212 1:275

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.10.31	FOR DEVELOPMENT PERMIT
3	2023.08.15	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
	##	YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON CAMPBELL
2025-03-07
BRITISH COLUMBIA
Architect:
Michele Augerino

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

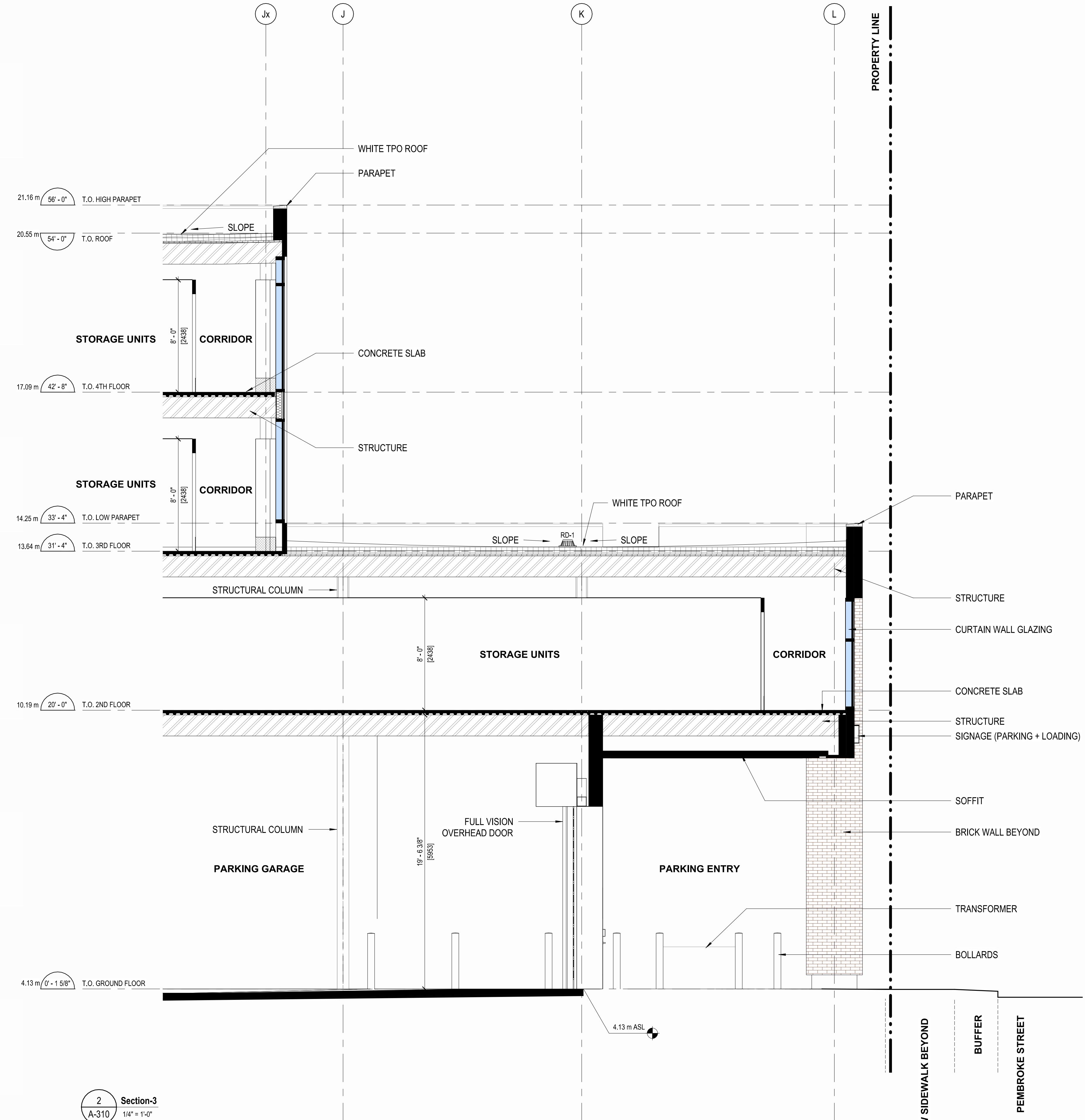
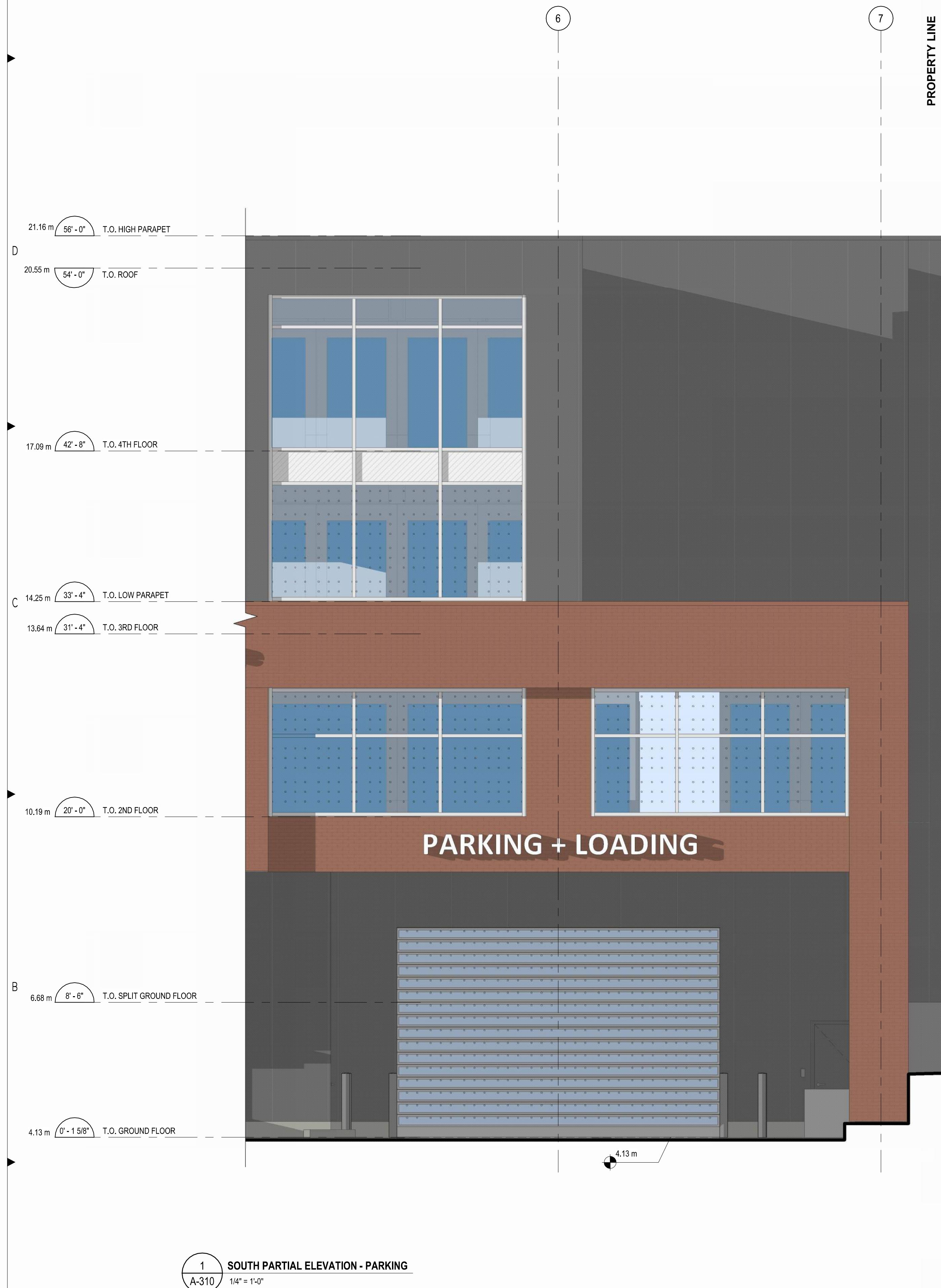
WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

EXTERIOR CONTEXT
ELEVATIONS

SCALE: 1:275
DRAWN BY: KB
SHEET #: A-212



TE: ALL GRADING TO BE CONFIRMED AT SITE

SHEET #:

AL NOTES TYPICAL:
TOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS,
NS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND
TE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS
REPANCIOS TO THE ARCHITECT IN WRITING PRIOR TO
NG WITH THE WORK.
TS ARE TO BE READ IN CONJUNCTION WITH ALL
ANTS' DOCUMENTATION.
CALE DRAWINGS. DO NOT USE DOCUMENTS FOR
CTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND
AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
TOR AND CONSTRUCTION MUST COMPLY WITH
IT CODES, BYLAWS, PROVINCIAL AND FEDERAL
ORY REQUIREMENTS.
UMENTS REMAIN THE PROPERTY OF THE CONSULTANTS
NOT BE USED OR REPRODUCED WITHOUT WRITTEN
ON.

4.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT	
4.03.05	FOR DEVELOPMENT PERMIT	
4.12.20	FOR DEVELOPMENT PERMIT	
3.10.31	FOR DEVELOPMENT PERMIT	
3.08.15	FOR DEVELOPMENT PERMIT	
3.04.21	FOR DEVELOPMENT PERMIT	
MM-DD	REVISIONS	

MM-DD REVISIONS

L: **QUASAR**
250 DOWNTREE DAIRY RD

250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

AL:

QUASAR

250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

AL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794
ENVELOPE: WCR

WSP
100-20339 96 AVENUE
ANGLEY, BC.
TEL: 604 533 2992

NG:

PMG

185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC

The image contains two logos. On the left is the SmartStop Storage logo, which features the word 'SmartStop' in blue with a stylized sun icon above it, and 'Storage' in a smaller blue font below. On the right is the SmartCentres logo, which features a stylized orange and black penguin head icon above the word 'SMARTCENTRES' in bold red and black letters, with 'REAL ESTATE INVESTMENT TRUST' in a smaller black font below it.

NORTH

PN TN

TEL: 905 326 6400

ARCHITECT'S SEAL:

NICHOLAS KIMON CARRIGANIS

REGISTERED ARCHITECT

BRITISH COLUMBIA

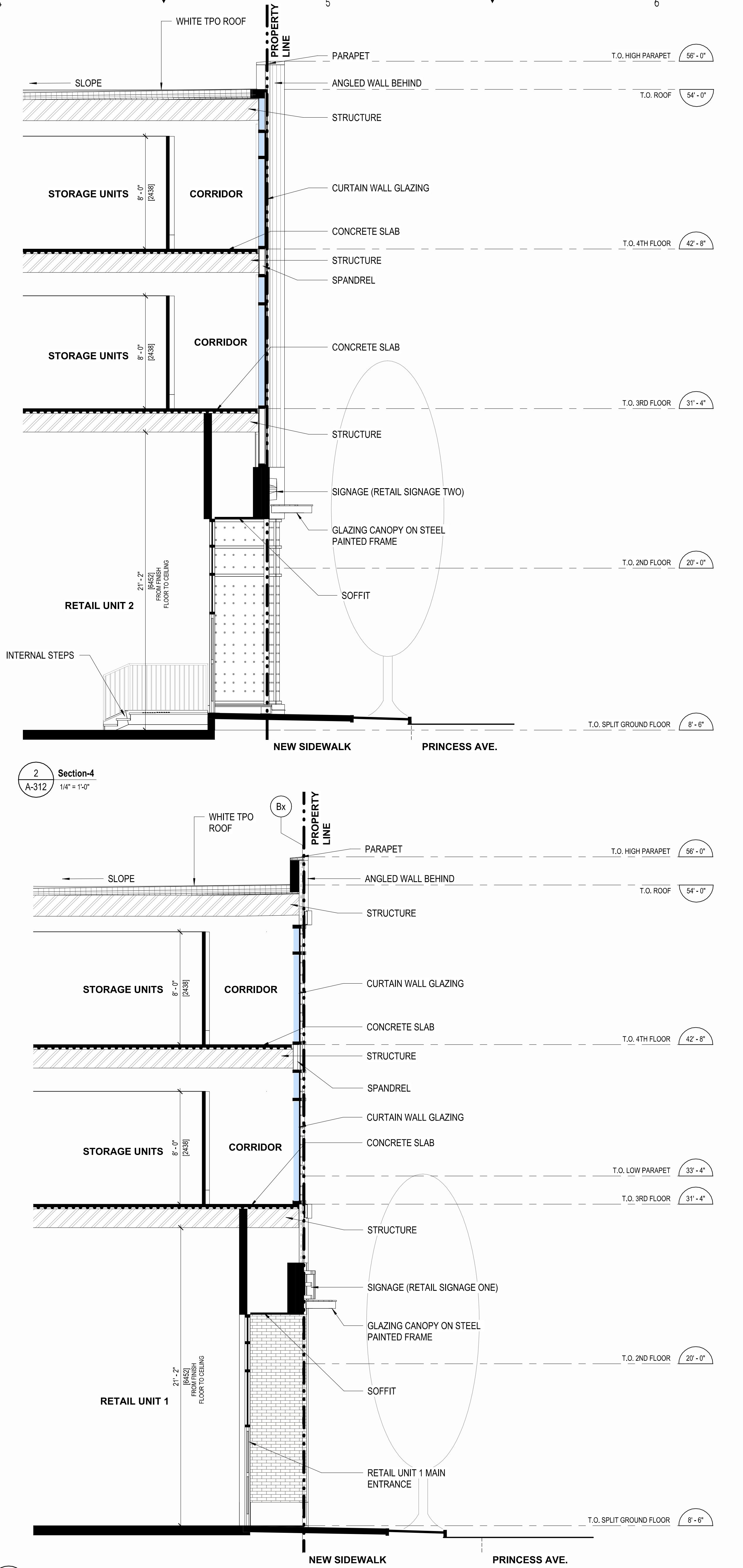
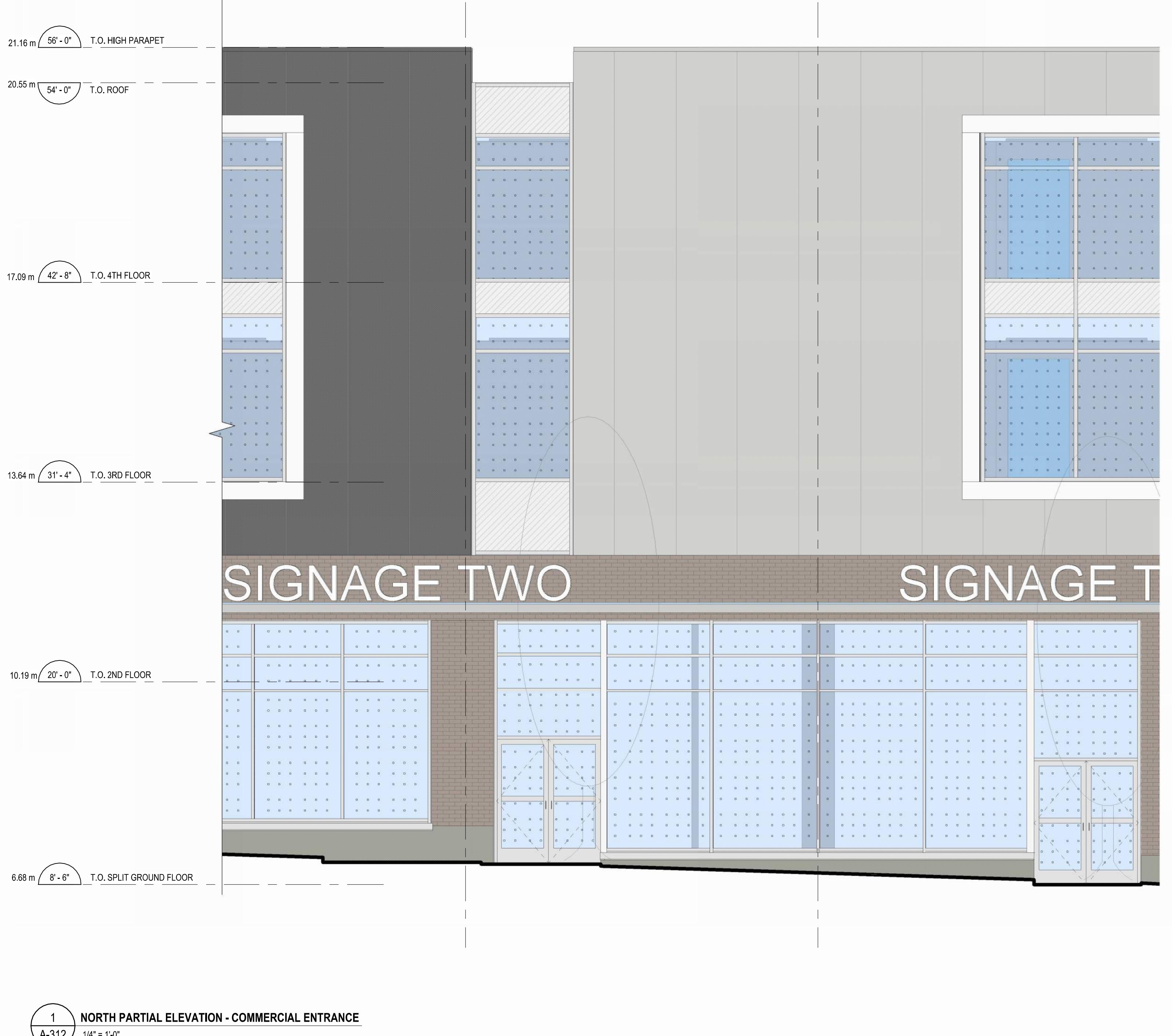
2025-03-07

PROJECT #:	MUNICIPAL #:
0076.01	
OBJECT #:	CLIENT CONTRACT #:
NAME AND LOCATION:	
DIA SELECT STORAGE, INC.	

7, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

ME: **AI SOUTH ELEVATION**

SHEET #:



© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:
 • CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 • DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
 • DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 • ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6 2024.11.12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT
 5 2024.03.05 FOR DEVELOPMENT PERMIT
 4 2023.12.20 FOR DEVELOPMENT PERMIT
 3 2023.10.31 FOR DEVELOPMENT PERMIT
 2 2023.08.15 FOR DEVELOPMENT PERMIT
 1 2023.04.21 FOR DEVELOPMENT PERMIT

YYYY-MM-DD REVISIONS

CIVIL:
 ELECTRICAL:
QUASAR
 250 ROWNTREE DAIRY RD,
 WOODBRIDGE, ON.
 TEL: 905 507 0800

MECHANICAL:
QUASAR
 250 ROWNTREE DAIRY RD,
 WOODBRIDGE, ON.
 TEL: 905 507 0800

STRUCTURAL:
RJC
 1515 DOUGLAS STREET, SUITE 330
 VICTORIA, BC.
 TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
 100-20339 96 AVENUE
 LANGLEY, BC.
 TEL: 604 533 2992

LANDSCAPING:
PMG
 4185 STILL CREEK DRIVE, SUITE C100
 BURNABY, BC
 TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage **SMARTCENTRES**
 REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
 3200 HIGHWAY 7, SUITE C100
 VAUGHAN, ON L4K 5Z5
 TEL: 905 326 6400

PN: PROJECT NORTH
PN: TN
ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON CAMPBELL
2025-03-07
BRITISH COLUMBIA
Michele Langford

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
 621, 627, 629 PRINCESS AVENUE AND
 616, 624 PEMBROKE STREET
 VICTORIA, BRITISH COLUMBIA
SHEET NAME:
 PARTIAL NORTH ELEVATION AND SECTION
SCALE: 1/4" = 1'-0"
DRAWN BY: PM
SHEET #: A-312



VIEW FROM PRINCESS AVENUE LOOKING SOUTH-WEST AT THE NORTH FAÇADE

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:
• CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
• DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
• DO NOT CONSTRUCT UNTIL DOCUMENTATION IS STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
• CONSTRUCTION AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, LOCAL, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
• ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
		## YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage 
SMARTCENTRES 
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON C. KIMON
2025-03-07
BRITISH COLUMBIA
Architect:
Makoto Otagiri

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

A
PERSPECTIVE VIEW

A-400

SCALE: SHEET #:
DRAWN BY: PM
A-400



VIEW FROM PEMBROKE STREET LOOKING NORTH-WEST AT THE SOUTH FAÇADE

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT SIGN DRAWINGS UNTIL CONSTRUCTION HAS BEEN COMPLETED AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, LOCAL, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT	
5	2024.03.05	FOR DEVELOPMENT PERMIT	
4	2023.12.20	FOR DEVELOPMENT PERMIT	
3	2023.10.31	FOR DEVELOPMENT PERMIT	
2	2023.08.15	FOR DEVELOPMENT PERMIT	
1	2023.04.21	FOR DEVELOPMENT PERMIT	
			## YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON KARAKASIS
2025-03-07
BRITISH COLUMBIA
Makoto Ono

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

A
PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: A.F
A-401



STREET LEVEL VIEW ON PEMBROKE STREET

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONSTRUCTION MUST COMPLY WITH APPROPRIATE LOCAL, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT	
5	2024.03.05	FOR DEVELOPMENT PERMIT	
4	2023.12.20	FOR DEVELOPMENT PERMIT	
3	2023.10.31	FOR DEVELOPMENT PERMIT	
2	2023.08.15	FOR DEVELOPMENT PERMIT	
1	2023.04.21	FOR DEVELOPMENT PERMIT	
	##	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TN
ARCHITECT'S SEAL
REGISTERED ARCHITECT
MICHAEL KIMON CAMPBELL
2025-03-07
BRITISH COLUMBIA
Michael Kimon Campbell

B:
TN: TRUE NORTH
ARCHITECT:
WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE: **DRAWN BY:** **SHEET #:**
A.F. A-402



STREET LEVEL VIEW ON PRINCESS AVENUE

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONSULTANT AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, LOCAL, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
		## YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:

SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON KIMON
2025-03-07
BRITISH COLUMBIA
Makoto Otaguro

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: PM
A-403

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT		
5	2024.03.05	FOR DEVELOPMENT PERMIT		
4	2023.12.20	FOR DEVELOPMENT PERMIT		
3	2023.10.31	FOR DEVELOPMENT PERMIT		
2	2023.08.15	FOR DEVELOPMENT PERMIT		
1	2023.04.21	FOR DEVELOPMENT PERMIT		
		## YYYY-MM-DD REVISIONS		



AERIAL VIEW LOOKING NORTH-EAST AT THE PROPOSED BUILDING IN CONTEXT

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:
PROJECT CONTRACT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:
DRAWN BY: PM
A-410

DRAWN BY: PM

A-410

ARCHITECT'S SEAL
REGISTERED ARCHITECT
KIMON CAMPBELL
2025-03-07
Michele Argueta

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

YYYY-MM-DD | REVISIONS



AERIAL VIEW LOOKING NORTH-WEST AT THE PROPOSED BUILDING IN CONTEXT

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:
 CLIENT PROJECT #: CLIENT CONTRACT #:

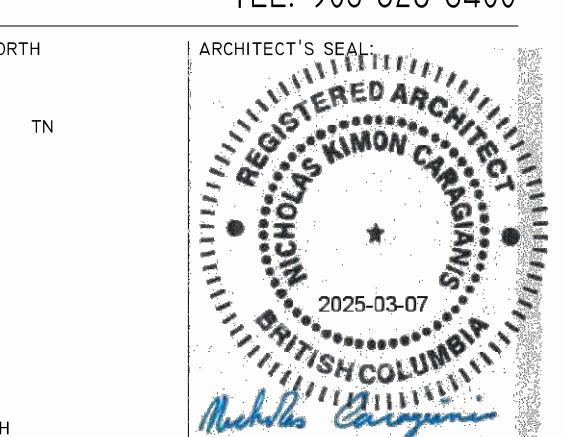
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
 621, 627, 629 PRINCESS AVENUE AND
 616, 624 PEMBROKE STREET
 VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:
 DRAWN BY: PM

A-411





PERSPECTIVE VIEW LOOKING NORTH-EAST AT SOUTH WEST CORNER



PERSPECTIVE VIEW LOOKING NORTH-WEST AT SOUTH EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-WEST AT NORTH-EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-EAST AT NORTH-WEST CORNER

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

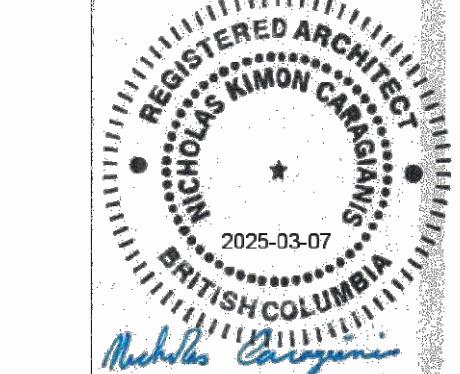
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:



SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PROJECT'S SEAL:



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D PERSPECTIVES

SCALE:

SHEET #:

DRAWN BY:

A-412



© COPYRIGHT PROTECTED 2022, WPT ARCHITECTURE INC.
FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:
• CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, CONTRACTS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
• DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION.
• DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
• CONSTRUCTION AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODE, BY-LAW, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
• ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.05	FOR DISCUSSION
#	YYYY-MM-DD	REVISIONS



GINKGO BILoba 'PRINCETON SENTRY' QUERCUS FAINETTO 'SCHMIDT'

WISHBONE INDUSTRIES: LOOP BIKE RACK - LBRP-1-SS MOUNT TO CONCRETE SIDEWALK PAD

WISHBONE 2 Space Loop Bike Racks in Quesnel BC

NOTES:
CITY OF VICTORIA IRRIGATION:
 1. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, MUST FOLLOW CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C. BYLAW 12-042, SUBDIVISION BYLAW.
 2. IRRIGATION SYSTEMS MUST BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION. CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48HRS NOTICE FOR IRRIGATION INSPECTIONS.
 3. REQUIRED PARKS INSPECTIONS FOR IRRIGATION:
 - IRIGATION SLEEVES PRIOR TO BACKFILLING.
 - DRAIN TRENCHES, MANHOLE AND DRAINAGE.
 - PRESSURE TEST.
 - IRRIGATION SYSTEM, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED. BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).
 - IRRIGATION SYSTEM, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED. BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).
 - NO CHARGE FOR WATER SERVICE TO BE AT THE EXPENSE OF THE APPLICANT. PARKS IS NOW REQUESTING THAT 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.
 - HARD SURFACES. INSTALLATION WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.

CITY OF VICTORIA SPECIFICATIONS:
 1. STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8CM DIAMETER CALIPER MEASURED 15CM ABOVE GROUND, AND WELL-BALANCED GROWN WITH BRANCHING STARTING AT 1.8-2.5M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTARY DRAWING SD-P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD AND SIDEWALK PAVING).

REQUIREMENTS FOR PLANTING:
 1. SOIL TEST OF GROWING MEDIUM: SOIL TEST FOR THE GROWING MEDIA FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS REQUIREMENT ENTITLED 'THE CANADIAN LANDSCAPE STANDARD'.

SCHEDULE B3.4 AND SCHEDULE C: THE REQUIREMENT FOR PLANTING AND INSPECTION AND DEVELOPMENT SERVICING BYLAW NO 12-042 AND TH ASSOCIATED SCHEDULE CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBPAGE.

4. PROPOSED STREET TREE LOCATIONS AND SPECIES SELECTION: PROPOSED STREET TREE LOCATIONS MUST BE INDICATED AND SHALL RESPECT THE MINIMUM OFFSITE CIVIL INFRASTRUCTURE OUTLINED IN VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW, SCHEDULE C. TREES PLANTED 1.0M OR LESS FROM CURBS OR SIDEWALKS ARE TO HAVE ROOT BARRIERS TO PROTECT CIVIL INFRASTRUCTURE. PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIREMENT INSPECTION TIME TO SCHEDULE AN INSPECTION.

REQUIRED PARKS INSPECTIONS FOR STREET TREE PLANTING:
 1. INSPECTION OF EXCAVATED TREE PITS, STRUCTURAL SOIL, ROOT BARRIERS.
 2. INSPECTION OF TREE STOCK PRIOR TO PLANTING.
 3. INSPECTION OF INSTALLED TREE - TREE PLANTING, GRATE/GUARD, STAKES, ETC. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	CITY OF VICTORIA SCHEDULE E SIZE							
					7CM CAL	2M STD. & B&B	8CM CAL	1.8M STD.	1.8M STD. & B&B	LARGE	1.8M STD.	LARGE
TREE	2	GINKGO BILoba 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR HUNGARIAN OAK	7CM CAL; 2M STD. & B&B 8CM CAL; 1.8M STD. & B&B								
	5	QUERCUS FAINETTO 'SCHMIDT'										

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DESIRED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRAZER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PROVIDED BY THE CNA. * CONTRACTOR IS RESPONSIBLE FOR SUBSTITUTIONS. * CONTRACTOR IS RESPONSIBLE FOR SUBSTITUTIONS. * CONTRACTOR IS RESPONSIBLE FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY.

NOTES:
 1. CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CITY OF VICTORIA STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO SUBMISSION TO COV NO LESS THAN 30 DAYS PRIOR TO INSTALLATION.
 2. TEMPORARY CONSTRUCTION STAGING AREA TO BE LOCATED AT 2121 GOVERNMENT STREET.

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES		0
ON SITE TREES PROPOSED FOR CIL		15
OFF SITE TREES PROPOSED FOR CIL		7
OFF SITE TREES PROPOSED FOR CIL		0
CIL PROPOSED 15 X \$2,000 = \$30,000		

1m (3.28') DEPTH OF STRUCTURAL SOIL
SIDE WALK REFER TO 'ROCK BAY DISTRICT' SIDEWALK PATTERN

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

REPLACEMENT TREES: REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHEN PLANTING IS OUTSIDE OF THE PRESCRIBED TIME PERIOD, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED IN THE SUMMER AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

FENCE LEGEND:

TOTAL REPLACEMENT TREES</

PART ONE GENERAL REQUIREMENTS

1 REFERENCES
1 CEC Doc 2 2008
2 Canadian Landscape Standard, latest edition, prepared by the Canadian Society of Landscape Architects and the Canadian Landscape & Nursery Association, jointly. All work and services shall meet standards as set out in the Canadian Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction.

3 MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, 2000 edition, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division

4 STANDARD FOR LANDSCAPE MATERIALS, 2008 prepared by the Irrigation Industry Association of British Columbia

5 MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED

6 TESTS & REVIEW
1 A current test more than one month old for any growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 14 Growing Medium Testing for procedure.

2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.

13 SUBMITTALS
1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.

2 Submits to consist of product sample or manufacturer's product description.

14 SITE & VIEW
1 In order to be necessary, the Landscape Architect shall inspect the Dower and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as it is necessary to the inspection to confirm conformance to the plans and specifications. Contract Owner Representative to arrange for site observation at the appropriate time.

2 Start at Site Meeting, General Contract Prior to any site disturbance, with the general contractor to review free preservation areas, general landscape issues and municipal requirements.

3 Start at Site Meeting, General Contract (or separate) At the start of work with Owner's Representative, Site Superintendent and landscape contractor, a meeting is to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results for review.

4 Provide Site View to observe materials and workmanship as necessary through the course of the work. Review of different aspects of the work may be dealt with on any single point. Such elements may include Site Layout, Rough Grading, Growing Medium - quality, depth, finish grading, Drainage Materials, Lawns or Grass areas, Planting Areas, Irrigation Systems, Irrigation Piping, Irrigation Valves, Irrigation Pumping Systems, Irrigation Pump, Irrigation Equipment, Site Furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Paving, Fencing, Non-structural walls and stairs, Unit Paving.

5 Check for any existing structures, accounting of all substitutions, deletions, plant, plants, properties of deficiency list, and recommendations for completion. Certificate of Completion Upon the declaration of the Landscape Architect that the work has been completed to the satisfaction of the Landscape Architect.

6 Certificate of Completion Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule 'C' will be issued where required.

7 Warranty Review Prior to the completion of the warranty period (1-12 months after issuance of the Certificate of Completion), review all warranty material and report recommendations for warranty replacement.

15 WORKSCHEDULE
1 Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.

2 All work and supervision shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.

3 A site visit is required to become familiar with site conditions before bidding and before start of work.

4 Confirm location of all services before proceeding with any work.

5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.

6 Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.

7 Collect and dispose of all debris and/or excess material from landscape operations. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.

8 Where new work connects with existing, and where existing work is altered, make good to match existing undisturbed condition.

16 WARRANTIES
1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.

2 Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

1 SCOPE OF WORK
1 Other conditions of project apply. Confirm Scope of Work at time of tender.

2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:

21 Retention of Existing Trees where shown on drawings.
22 Soil Testing and Laboratory Testing of all soils.
23 Testing and placement of growing medium.
24 Testing of imported growing medium and/or topsoil.
25 Submission of soil samples for testing requirements of soil test and Table One.
26 Preparation of planting beds, supply of plant material and planting.
27 Preparation of rough grass areas, supply of materials and seeding.
28 Preparation of lawns, supply of materials and seeding.
29 Supply and placement of bark mulch.
30 Removal of trees and shrubs from landscaped areas not accepted by Owner.
31 SEPARATE PRICE Establishment Maintenance, Section 3.11.
32 Other work. Work other than this list, not specified by Landscape Architect.

22 MATERIALS
1 Growing Medium Conform to Canadian Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.

TABLE ONE PROPERTIES OF GROWING MEDIUM FOR LEVEL 1 (GROWING) AND LEVEL 3 (MODERATE) AREAS
Canadian System of Soil Classification Textural Class: "Loamy Sand" to "Sandy Loam"

Application	Low Traffic Areas Traffic & Edge Shrub		High Traffic Lawns & Areas		Planting Areas and Shrub
	2L	2H	2H	2P	
Texture					
Coarse Gravel	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
larger than 75mm	0 - 1%	0 - 1%	0 - 1%	0 - 1%	
larger than 2mm	0 - 5%	0 - 5%	0 - 5%	0 - 5%	
Sand					
larger than 0.5mm	50 - 80%	70 - 90%	40 - 80%	40 - 80%	
smaller than 0.2mm	10 - 25%	0 - 15%	10 - 25%	10 - 25%	
Clay	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
larger than 0.05mm	0 - 25%	0 - 15%	0 - 25%	0 - 25%	
Clay and Silt (Combined)	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
larger than 0.05mm	maximum 35%	maximum 35%	maximum 35%	maximum 35%	
Organic Content (soilless)	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
Organic Content (inert)	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
Andy (soil)	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		
Dr. aggregate	Percent of Dry Weight of Total Growing Medium		Percent of Dry Weight of Total Growing Medium		

2 Fertilizer An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (K) in proportions required by soil test.

3 Lime Ground agricultural limestone. Meet requirements of the Canadian Landscape Standard.

4 Organic Additive Commercial compost to the requirements of the Canadian Landscape Standard, latest edition and pre-approved by the Landscape Architect. Recommended Suppliers: The Answer Garden Products, Fraser Rimond Sols & Fils, Stream Organics Management.

5 Sand Clean, washed sand used to meet requirements of the Canadian Landscape Standard.

6 Coated Bulk Mulch 30mm (1/8") minus for timber bark chips and fines, fine chucks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange in colour bark will be rejected.

7 Herbicides and Pesticides If used, must conform to all Federal, provincial and local statutes. Applies must hold current licenses issued by the appropriate authorities in the area.

8 Filter Fabric A non biodegradable blanket or other filtering membrane that will allow the passage of water but not soil particles. (Such as MRPAFL 10 NL, GEOLON NL or AMCO 6545 or alternative product pre-approved by the Landscape Architect.)

9 Drainage Pipe required. Schedule 40 PVC nominal size.

10 Drain Grate Clean, round, inert, durable, and have a maximum size of 10mm and containing no material smaller than 10mm.

11 Plant Material To the requirements of the Canadian Landscape Standard. Refer to 3.9 Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.

12 Sed. Ref. to individual sections in this specification.

13 Supplier and installers of segmental block walls to provide engineered drawings for all walls, signed and sealed drawings for all walls, individually, in excess of 12m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed by a certified Professional Engineer; include cost of engineering services in Tender price.

14 Miscellaneous Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

31 RETENTION OF EXISTING TREES
1 Prior to any work on site - protect individual trees or plant groupings as defined on landscape plans as vegetation retention areas.
2 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements.

3 Do not strip soil, construction materials, or excavated materials within vegetation retention areas.

4 Do not strip soil, fuel or service vehicles within vegetation retention areas.

5 No debris fires, cleaning fires or trash burn shall be permitted within vegetation retention areas.

6 No excavations, drain or service trenches for any other purpose shall be permitted within vegetation retention areas without a review of the proposed excavation by the Landscape Architect.

7 Do not cut branches or roots of retained trees without the approval of the Landscape Architect.

8 Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992.

9 Replacement planting of equivalent value to the disturbance will be required. The cost of evaluation and of the replacement planting will be the responsibility of the General Contractor and the Landscape Architect.

10 Municipalities with specific tree retention bylaws shall follow those bylaws.

11 In situations where required construction may disturb existing vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.

12 HT. PLANTING
1 A current test more than one month old for any growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 14 Growing Medium Testing for procedure.

2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.

13 SUBMITTALS
1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.

2 Submits to consist of product sample or manufacturer's product description.

14 SITE & VIEW
1 In order to be necessary, the Landscape Architect shall inspect the Dower and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as it is necessary to the inspection to confirm conformance to the plans and specifications. Contract Owner Representative to arrange for site observation at the appropriate time.

2 Start at Site Meeting, General Contract Prior to any site disturbance, with the general contractor to review free preservation areas, general landscape issues and municipal requirements.

3 Start at Site Meeting, General Contract (or separate) At the start of work with Owner's Representative, Site Superintendent and landscape contractor, a meeting is to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Provide growing medium test results for review.

4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum slopes of 10%.

5 Construct walls true to grade and grade, smooth and free of sag or high points. Minimum 2% slope, maximum slope 10%. Ensure positive drainage to collection points.

6 Relate Work - Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Grit Walls.

7 Work included Site finish grading and surface drainage. Installation of any drainage systems defined on landscape plans. Note: Catch basins shown on landscape plans for collection of surface water.

8 Coordinate location of all existing utilities and structures under ground prior to commencing work, which may be located on drawings and conduct a walk through to verify the location and condition of existing utilities and structures.

9 Planter drains on site. Refer to Section 3.10, Installing Landscapes on Structures.

10 Execute and backfill in accordance with engineering details and specifications.

11 Do trenching and backfilling in accordance with engineering details and specifications.

12 Do not compact soil on topsoil, true to grade and with moist soil.

13 Grade to 100% of the required slope or grade.

14 Grade to 100% of the required slope or grade.

15 Grade to 100% of the required slope or grade.

16 Grade to 100% of the required slope or grade.

17 Grade to 100% of the required slope or grade.

18 Grade to 100% of the required slope or grade.

19 Grade to 100% of the required slope or grade.

20 Grade to 100% of the required slope or grade.

21 Grade to 100% of the required slope or grade.

22 Grade to 100% of the required slope or grade.

23 Grade to 100% of the required slope or grade.

24 Grade to 100% of the required slope or grade.

25 Grade to 100% of the required slope or grade.

26 Grade to 100% of the required slope or grade.

27 Grade to 100% of the required slope or grade.

28 Grade to 100% of the required slope or grade.

29 Grade to 100% of the required slope or grade.

30 Grade to 100% of the required slope or grade.

31 Grade to 100% of the required slope or grade.

32 Grade to 100% of the required slope or grade.

33 Grade to 100% of the required slope or grade.

34 Grade to 100% of the required slope or grade.

PART ONE - GENERAL	
11 COPYRIGHT	
1. The Structural Soil specification is provided as an instrument of service and remains the property of PMG landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects.	
12 SCOPE OF WORK	
1. The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.	
2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals is the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.	
3. Refer to drawings for location and dimension of structural soil mixture.	
4. All other related work as described in the drawings and/or this specification.	
13 RELATED WORK	
1. Section 01050, Landscape Requirements 2. Section 01700, Landscape Drainage 3. Section 02800, Irrigation Systems 4. Section 03933, Sodding (Seedling) 5. Section 02906, Planting Trees, Shrubs, and Groundcover	
14 RELATED MASTER MUNICIPAL SPECIFICATIONS	
1. Contractor to report all conflicts with civil engineering to Landscape Architect 2. Section 02720, Site Grading 3. Section 02223, Excavating, Trenching, and Backfilling 4. Section 02226, Aggregates and Granular Materials 5. Section 02227, Soil Stabilizers 6. Section 03721, Storm Sewers 7. Section 02725, Manholes and Catch Basins	
15 STANDARDS	
1. BCSLA/BCNLNA Landscape Standard (most current edition) 2. Canadian System of Soil Classification	
16 QUALITY ASSURANCE	
1. All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any material to the site, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.1 of this section.	
2. All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive admixtures supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive admixture.	
2.1. Gravel, sand and fines content each at a % of dry weight mineral 2.2. Organic material content as a percentage of dry weight 2.3. Acidity (pH) 2.4. Salinity in mmhos/cm at 25 degrees C. 2.5. Base fertility (total nitrogen available K, Ca, Mg, P) 2.6. Recommendation for incorporation of necessary amendments.	
3. Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.	
4. Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.	
5. Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.	
6. Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.	
7. Aggregate Test: 7.1. Provide source and sieve designation of intended aggregate material prior to ordering 7.2. At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does meet specification and for correction of any deficiencies. 7.3. Submit 2.5kg sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.	
8. Structural Soil Mix Design: 8.1. Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 2 days prior to mixing samples. 8.2. Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.	
17 SCHEDULING	
1. Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors	
2. Schedule to include: 2.1. Date for commencement of preparation of structural soil at source 2.2. sub grade preparation at site 2.3. shipping dates 2.4. arrival dates on site 2.5. installation dates	
3. Schedule work to co-ordinate with installation of any drainage, irrigation, tree grade frostings, lighting, paving etc.	
4. Complete work to ensure tree planting will occur under optimum conditions	
5. Do not handle or place structural soil mix in rain.	
18 FIELD REVIEW	
1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.	
2. Co-ordinate site meeting with Consultant at the following times: 2.1. drainage installation and connection 2.2. irrigation installation and connection 2.3. mixing of structural soil mixture 2.4. installation of structural soil mixture 2.5. sub grade preparation and layout 2.6. installation of trees	
3. Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 18.2.	
19 SAMPLES	
1. Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 13.2 and 13.3	
100 PRODUCT HANDLING	
1. All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition.	
2. Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.	
111 DELIVERY, STORAGE AND PROTECTION	
1. For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.	
2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.	
3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of material approved by the Consultant until such time as materials installed.	
4. All material to be stockpiled shall be protected in accordance with B.C. Ministry of Environment guidelines.	

PART TWO - PRODUCTS																							
2.1 GROWING MEDIUM																							
1. TABLE ONE 1.1. Provide all growing medium required to complete the work. 1.2. Comply with the requirements of Table 1 below. 1.3. Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.																							
TABLE ONE																							
<table border="1"> <thead> <tr> <th>PROPERTIES</th> <th>GROWING MEDIUM FOR GAP-GRADED MIXTURE</th> </tr> </thead> <tbody> <tr> <td>TEXTURE: Particle size classes by the Canadian System of Soil Classification</td> <td></td> </tr> <tr> <td>Gravel: greater than 2mm - less than 75mm</td> <td>0</td> </tr> <tr> <td>Sand: greater than 0.05mm - less than 2mm</td> <td>maximum 60%</td> </tr> <tr> <td>Silt: greater than 0.002mm - less than 0.05mm</td> <td>maximum 55%</td> </tr> <tr> <td>Clay less than 0.002mm</td> <td>maximum 15%</td> </tr> <tr> <td>Clay and Silt Combined</td> <td>maximum 10%</td> </tr> <tr> <td>AC/DT (pH)</td> <td>6.0 - 7.0</td> </tr> <tr> <td>DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place</td> <td>30</td> </tr> <tr> <td>SALINITY: Saturated extract conductivity shall not exceed</td> <td>3.0 mmhos/cm at 25°C</td> </tr> <tr> <td>ORGANIC CONTENT: Percent of Dry Weight (%)</td> <td>8% - 12%</td> </tr> </tbody> </table>		PROPERTIES	GROWING MEDIUM FOR GAP-GRADED MIXTURE	TEXTURE: Particle size classes by the Canadian System of Soil Classification		Gravel: greater than 2mm - less than 75mm	0	Sand: greater than 0.05mm - less than 2mm	maximum 60%	Silt: greater than 0.002mm - less than 0.05mm	maximum 55%	Clay less than 0.002mm	maximum 15%	Clay and Silt Combined	maximum 10%	AC/DT (pH)	6.0 - 7.0	DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place	30	SALINITY: Saturated extract conductivity shall not exceed	3.0 mmhos/cm at 25°C	ORGANIC CONTENT: Percent of Dry Weight (%)	8% - 12%
PROPERTIES	GROWING MEDIUM FOR GAP-GRADED MIXTURE																						
TEXTURE: Particle size classes by the Canadian System of Soil Classification																							
Gravel: greater than 2mm - less than 75mm	0																						
Sand: greater than 0.05mm - less than 2mm	maximum 60%																						
Silt: greater than 0.002mm - less than 0.05mm	maximum 55%																						
Clay less than 0.002mm	maximum 15%																						
Clay and Silt Combined	maximum 10%																						
AC/DT (pH)	6.0 - 7.0																						
DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place	30																						
SALINITY: Saturated extract conductivity shall not exceed	3.0 mmhos/cm at 25°C																						
ORGANIC CONTENT: Percent of Dry Weight (%)	8% - 12%																						
2.2 AGGREGATE																							
1. Clean inert stone of high angularity is preferred over washed gravel. 2. Stone dimension aspect ratio should approach 1:1 with a maximum of 2:1 length: width: depth. 3. Single size stone, 75mm clear sieve designation: Blasted Quarry Rock. 4. Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 15 and 18. 5. Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.																							
2.3 SOIL STABILIZER																							
1. A non-toxic organic binder. Product: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC, 604-607-3002 (or approved equal)																							
2.4 GRANULAR BASE																							
1. To Master Municipal Specification Section 02226, Aggregates and Granular Materials.																							
2.5 PAVING MATERIALS																							
1. Refer to architectural drawings.																							
2.6 FILTER FABRIC																							
1. Non Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed. 2. Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conform to the following ASTM designations: - Grab Tensile Strength ASTM-D-4432, 4000 kN - Tensile Elongation ASTM-D-4432 50% - Static CBR Puncture test ASTM-D-2424 - Flow Rate ASTM-D-4491 610 l/min/m ² 3. Fabric shall be Amoco 45x5 or approved equivalent.																							
3.1 SUBGRADE																							
1. Provide source and sieve designation of intended aggregate material prior to ordering 1.2. At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does meet specification and for correction of any deficiencies. 1.3. Submit 2.5kg sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.																							
3.2 PREPARATION OF EXISTING GRADE																							
1. Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed. 2. Excavate French trench to Master Municipal Specification Section 02223, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix. 2.1 Refer to contract drawings for areas to be treated and to details for dimensions 2.2 Compact to 95% Modified Proctor Density 2.3 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings. 4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture. 5. Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.																							
3.3 SUBDRAINS																							
1. Install all requirements of Master Municipal Specifications. Refer to Section 02660, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins 1.1. Install prior to installation of the structural soil mixture. 1.2. Co-ordinate all contract drainage work with other drainage on-site 1.3. Confirm location of storm sewer connections with civil engineer.																							
3.4 IRRIGATION																							
1. Install to requirements of Section 02800, Irrigation System. Refer also to Irrigation Drawings. 1.1. Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting. 1.2. Co-ordinate all contract irrigation work with other civil engineering and drainage on-site 1.3. Confirm location of irrigation connections with civil engineer.																							
3.5 MIXING STRUCTURAL SOIL MATERIAL																							
1. Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone. 2. Base Ratio of Materials: - 4 cu metre of aggregate stone section 2.2 - 1.2 cu metre of Growing Medium section 2.1 - 2 kg Stabilizer section 2.3 + Water as required * The amount of water required will vary according to moisture present in growing medium. 3. Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.																							
3.6 MIXING																							
1. Do not OVER MIX, OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material. 2. All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment. 3. Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.																							

PART THREE - EXECUTION (cont)	
3.7 PLACEMENT	
1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture. 2. Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement. 3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture. 4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer. 5. Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 15 6. Provide uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade. 7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc. have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2.1) added to surround the root ball.	
3.8 INSTALLATION OF FILTER FABRIC	
1. After approval of structural soil mixture compaction, install Filter Fabric. 2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.	
3.9 GRANULAR BASE MATERIAL	
1. Place minimum 75 mm granular base on top of filter fabric over structural soil layer. 2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials. 3. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.	
3.10 PROTECTION	
1. Protect existing conditions from damage or staining and make good any damage. 2. All damage will be repaired at the expense of the installation contractor.	
3.11 TREE PLANTING	
1. Remove structural soil or other backfill material (sand, see comments in section 3.7) from the full dimensions of the tree grate area (12m x 12m x depth of root ball). 2. Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole. 3. Ensure tree is planted in the exact centre of the proposed planting station straight and true. 4. Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic root ball tie, cut improperly sized wire baskets, pull back burlap from around trunk etc. 5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material. 6. Place 50mm depth composted fir/bark mulch over the top of the open tree pit area.	
3.12 TREE GRATES	
1. Site Furniture and to contract drawings for tree grates, frames and footings.	
3.13 ACCEPTANCE	
1. Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving. 2. Finish grade shall be to within 15mm of proposed grades within 3.0m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.	
3.14 SURPLUS MATERIAL	
1. Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site. 2. Clean up any soil or dirt spilled on any paved surface at the end of each working day. 3. Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.	
3.15 SURPLUS MATERIAL	
1. REV. 25.MAR.05 REV. PER NEW SITE PLAN BA 18. 25.JAN.15 REV. PER CITY COMMENTS JL 17. 24.NOV.21 NEW SITE PLAN JL 16. 24.NOV.12 NEW CIVIL PLAN JL 15. 24.OCT.25 NEW SITE PLAN JL 14. 24.OCT.21 ISSUED FOR PERMIT COMMENTS JL 13. 24.OCT.07 RE-ISSUED FOR TENDER JL 12. 24.SEP.24 ISSUED FOR TENDER JL 11. 24.SEP.19 UPDATE PER COMMENTS JL 10. 24.AUG.26 UPDATE PER COMMENTS CLG 9. 24.APR.05 REV. PER NEW SITE PLAN BA 8. 24.MAR.22 UPDATE BUILDING PLAN BA 7. 24.FEB.29 UPDATE PER COMMENTS BA 6. 24.JAN.27 REV. PER CITY COMMENTS BA 5. 24.JAN.24 REV. PER CIVIL COMMENTS BA 4. 23.OCT.18 SITE PLAN/CITY COMMENTS BA 3. 23.OCT.30 SITE PLAN/CITY COMMENTS BA 2. 23.JUL.25 SHEET TREE ADD/SOI VOLUMES CW 1. 23.JUL.21 REV. PER NEW SITE PLAN/CITY COMMENTS BA	
NO. DATE	REVISION DESCRIPTION DR.
CLIENT:	
PROJECT:	
<p>SMARTSTOP SELF STORAGE PEMBROKE ST. VICTORIA, B.C.</p> <p>DRAWING TITLE: STRUCTURAL SOIL SPECIFICATIONS</p>	
DATE: 23.APR.12 DRAWING NUMBER: L3	
SCALE: MM	
DRAWN: MM	OF 3
DESIGN: MM	
CHKD: BA	
23064-19.ZIP PMG PROJECT NUMBER: 23-064	



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

©Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.