

2540 - 2542 SHELBOURNE STREET



2 North West View Across Shelbourne Street
A000 SCALE:



4 South West View Across Shelbourne Street
A000 SCALE:

PROJECT DESCRIPTION

CIVIC ADDRESS:
2540 - 2542 SHELBOURNE STREET
VICTORIA, BC

LEGAL DESCRIPTION:
LOT 9 AND AMENDED LOT 10 (DD141161)
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Group C, 3 Storey Wood Construction

USES:
Residential Townhomes

EXISTING ZONE: R1-B
PROPOSED ZONE: TBD

SITE AREA: 1,526m² (16,426 s.f.)

FLOOR AREAS
TOTAL PROPOSED: 1,703m² (18,330 s.f.)
FLOOR SPACE RATIO: 1.1 : 1 FSR
GRADE OF BUILDING: 20m (GEODETIC)
See Site Plan for Grade Calculation
HEIGHT OF BUILDING: 10.5m
NUMBER OF STOREYS: 3 STOREYS
RESIDENTIAL PARKING: 17 stalls (incl. 2 visitor)
BICYCLE PARKING: 15 Class 1 (in suite) + 6 short term (rack)

SETBACKS:
FRONT (Street): 7.66m
REAR: 3.3m
SIDE (North): 2.44m
SIDE (South): 2.44m
COMBINED SIDE: 4.88m

SUITE COMPOSITION:
TOTAL: 15 SUITES
2 Bed: 12
3 Bed: 3
Ground-Orientated Units: 15
Minimum Unit Floor Area: 113.24m²

BUILDING CODE SUMMARY:

BCBC Part 3, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER
Frame Properties
541 Cornwall Street
Victoria, B.C.
V8V 4K9

ARCHITECT
dHKarchitects
977 Fort Street
Victoria, B.C.
V8V 3K3
P: (250) 658.3367

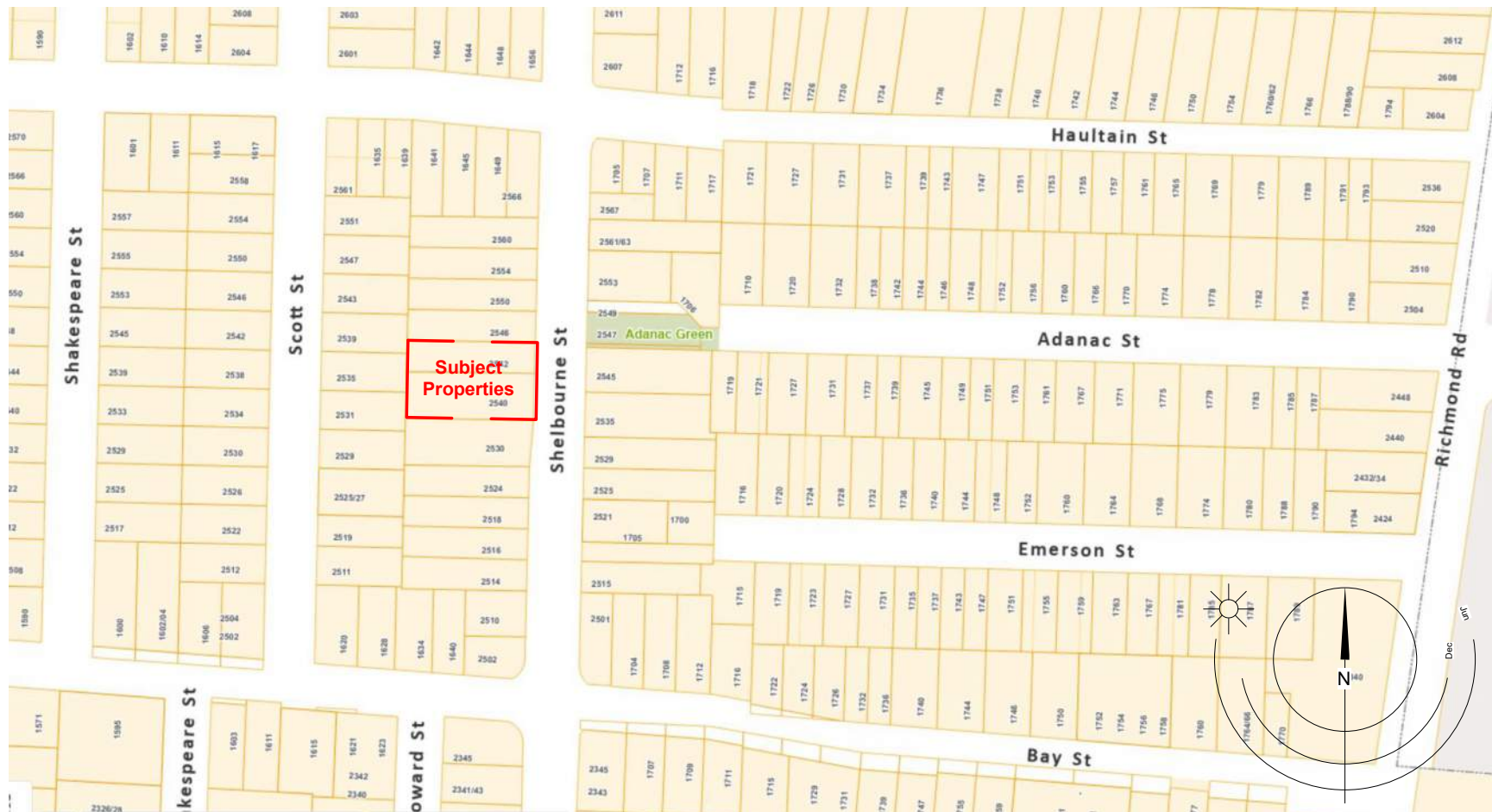
LANDSCAPE CONSULTANT
LADR Landscape Architects Inc.
3-884 Queens Avenue, Street Level,
Victoria, BC, V8T 1M5
P: (250) 596.0105

DRAWING LIST
A000 COVER SHEET
A001 SURVEY
A002 DESIGN TYPES / SHADOW STUDY
A101 SITE PLAN
A201 PLANS
A202 PLANS
A203 PLANS
A301 ELEVATIONS
A302 ELEVATIONS
A303 STREET ELEVATION
A401 SECTIONS
L001 LANDSCAPE PLAN

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM [201] ROOM NAME & ROOM NUMBER
[101a] DOOR NUMBER
See Door Schedule
[W-10] WINDOW NUMBER
See Window Schedule
[W1] WALL TYPE
See Assemblies Schedule
[2.0 hr] RATED WALL DESIGNATION
[00.00] ELEVATION DATUM
[2440] CEILING HEIGHT
[] AREA OF DROP CEILING
[1] KEYNOTE SYMBOL
[12] MATERIAL TAG
[1 A901] INTERIOR ELEVATION REFERENCE
[W1|C1|F1|B1] ROOM FINISHES



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	TID	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	O/H	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
CW	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTDW	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FFE	Finished Floor Elevation	RA	Rubber Base	UNO	Underside of...
FG	Finished Grade	RES	Resilient Flooring	U/S	Underside of...
GB	Grab Bar	RD	Roof Drain	VCT	Vinyl Composition Tile
GBL	Glass Block	RD-P	Roof Drain - Planter	VI	Vision Glass
GL	Glass	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
GWG	Georgian Wire Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
GWB	Gypsum Wallboard	SCW	Solid Core Wood	WVC	Vinyl Wall Covering
HC	Hollow Core	SD	Soap Dispenser	WC	Water Closet
HCV	Hollow Core Wood	SL	Sealer	WD	Wood
H/C	Handicap	SP	Spandrel Glass	WPM	Waterproof Membrane
HM	Hollow Metal	SPC	Solid Particleboard Core	WRC	Water Repellent Coating

**B.C. LAND SURVEYOR'S SITE PLAN OF:
LOT 9 AND AMENDED LOT 10 (DD1481161), BLOCK 6, SECTION 8A,
VICTORIA DISTRICT, PLAN 881A**

LEGEND

Elevations are geodetic based on integrated survey monument 26-43 in Victoria at elevation 17.768m.

Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species

Grade shots are taken at the point marked X

Contours are descriptive, and only accurate to +/- 0.5m interval

- - denotes Lead Plug found
- - denotes Utility Pole
- - denotes Water meter
- ⊥ - denotes Sign
- - denotes catch basin
- MFE - denotes Main Floor Elevation (Doorsill)
- *** - denotes retaining wall (T=Top)
- * - denotes irrigation

Refer to arborist report for tree info.

Parcel Identification Number (PID)
000-040-339 (LOT 9) AND 002-618-541 (AMD LOT 10)

TOTAL SITE AREA
1526 m²

MUNICIPALITY
VICTORIA

CIVIC ADDRESS
2540 AND 2542 SHELBOURNE STREET
VICTORIA, BC

ZONING
R1-B

All rights reserved. No person may copy, reproduce, transmit or alter this document in whole or in part without the written consent of the signatory

This document was prepared for the exclusive use of our client, FRAME PROPERTIES

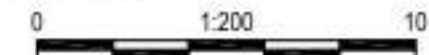
*This document is intended for use as a topographic plan. It is based on Land Title Office records, and does not represent a boundary survey. Critical lot dimensions and areas must be confirmed by a proper cadastral survey.

Undersurface charges and covenant will not be shown on this survey unless such documents are provided and can be shown in two dimensional view.

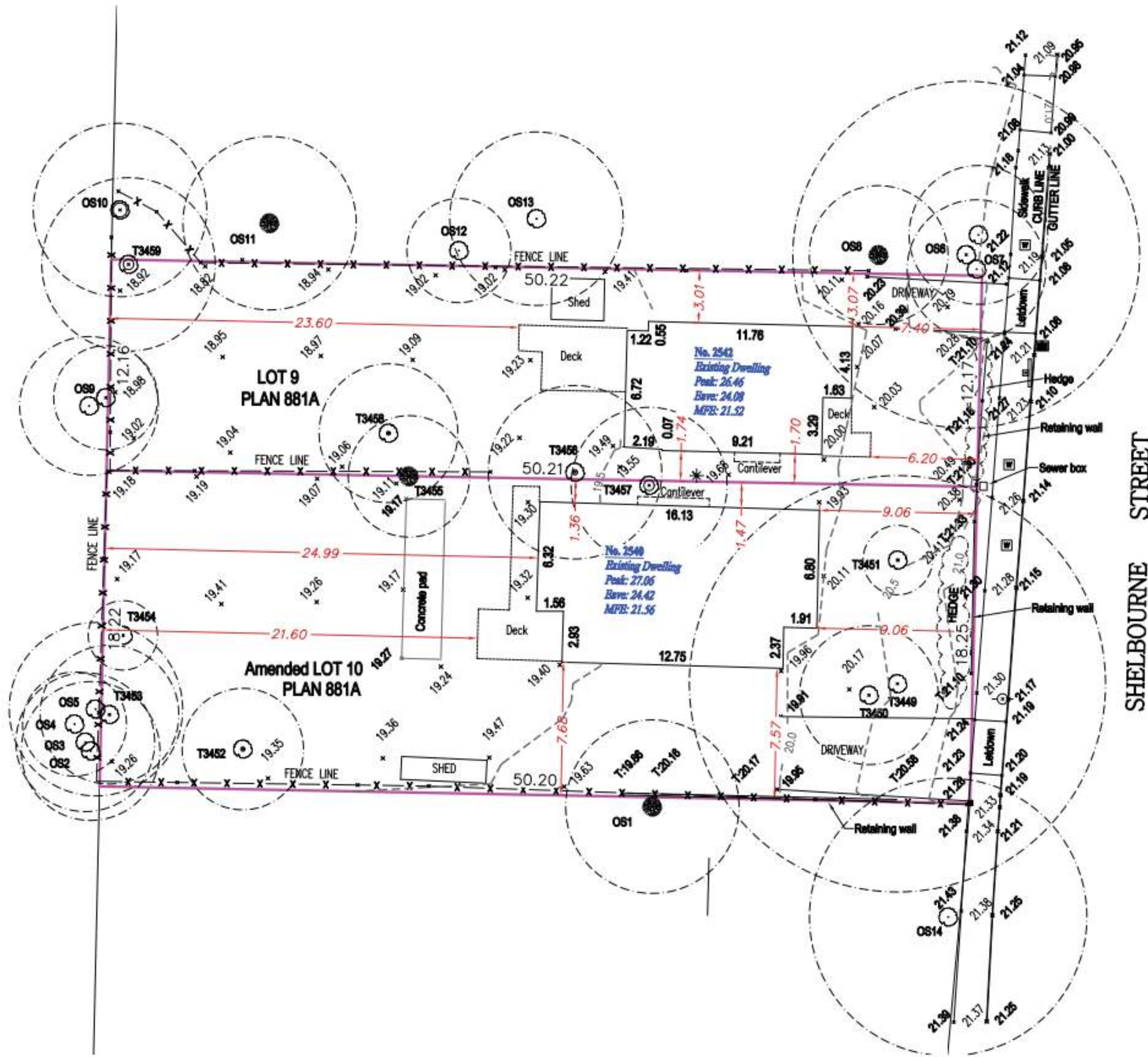
Explorer Land Surveying Inc. accepts no responsibility or liability for any damages that may be suffered by a third party as a result of any decisions made or actions taken based on this document.



SCALE:



All distances are in metres.
The intended plot size of this plan is 610mm in width by 457mm in height (C-size) when plotted at a scale of 1:200



CERTIFIED CORRECT

Lot dimensions are correct according to Land Title Office records.

Kenneth
Ng
F8NUM8

Kenneth KC Ng, BCLS
Field Survey - 8 March, 2022
Dated this 17th of March, 2022.

This document is not valid unless originally signed and sealed or digitally signed with Arbutus digital signature.
Info: <https://www.jarvisl.com>

22/07/18 ISSUED FOR REZONING

Plot Date Drawing File
Drawn By Checked By ADM

Scale 1 : 200 Project Number

NOTE: All dimensions are shown in millimeters.

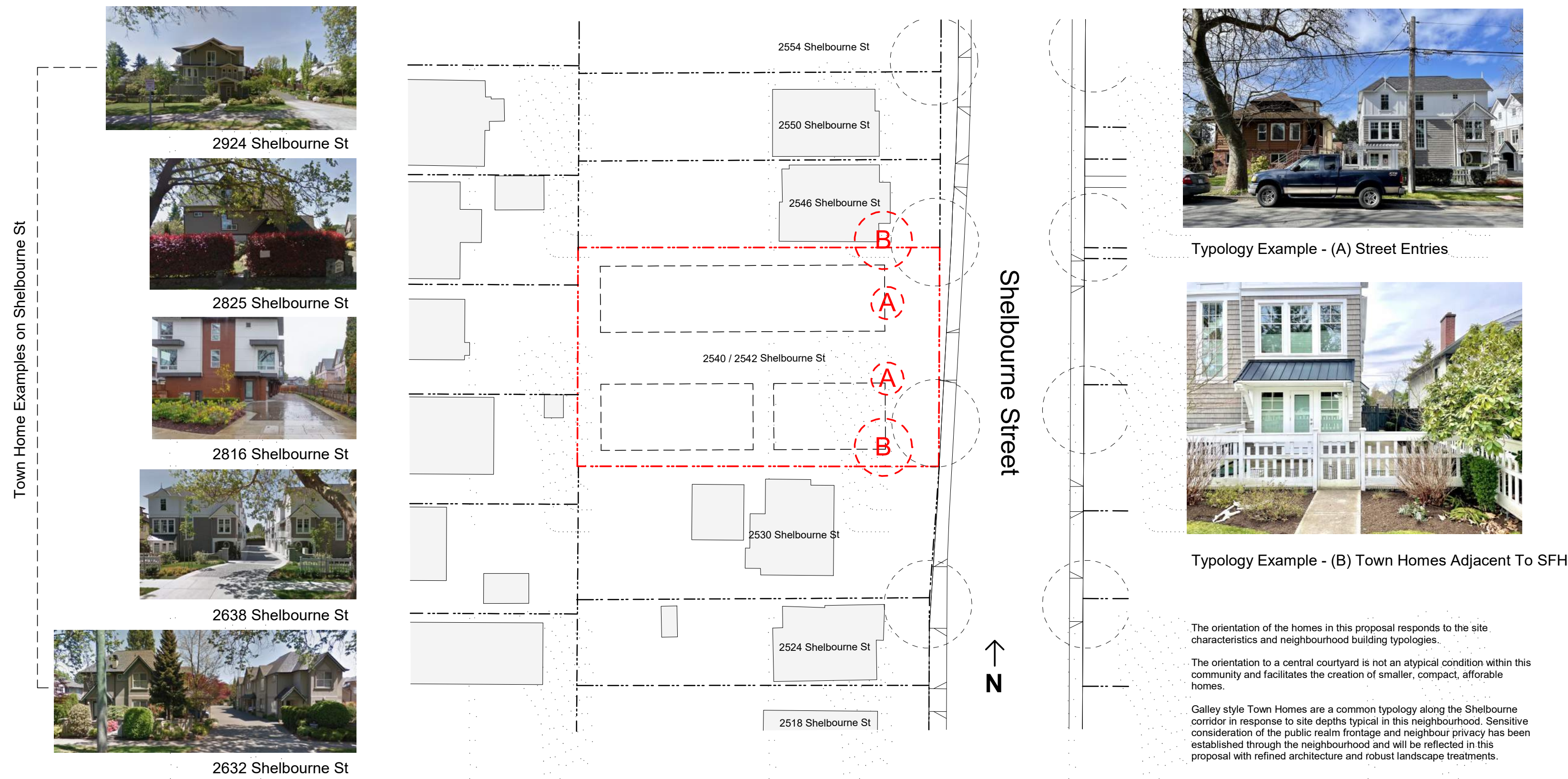
**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Survey



dHka **A001**

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKA ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



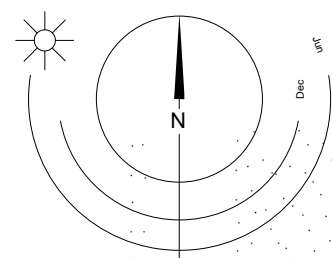
2 Shelbourne Typologies
A002 SCALE: 1 : 2000



3 Shadow Study - Equinox 12PM
A002 SCALE: 1 : 500



4 Shadow Study - Summer Solstice 12PM
A002 SCALE: 1 : 500



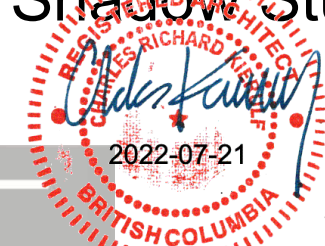
0 12500 25000 mm
1 : 500

22/07/18 ISSUED FOR REZONING

Plot Date	Drawing File
Drawn By	ADM
Checked By	ADM
Scale	As indicated
Project Number	

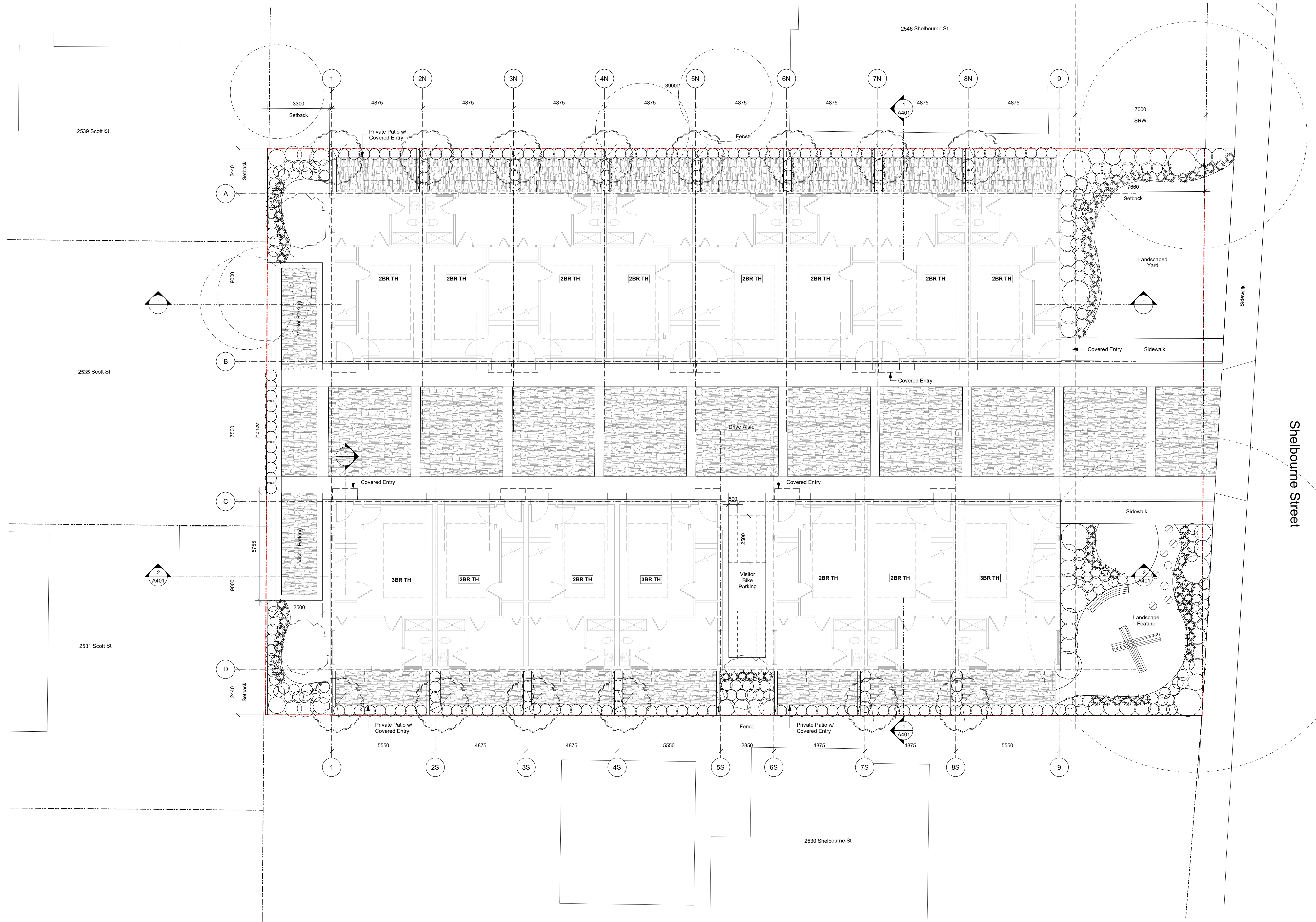
NOTE: All dimensions are shown in millimeters.

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Design Typologies /
Shadow Study



dHkA A002

dHkArchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



Shelbourne Street

22/07/18 ISSUED FOR REZONING

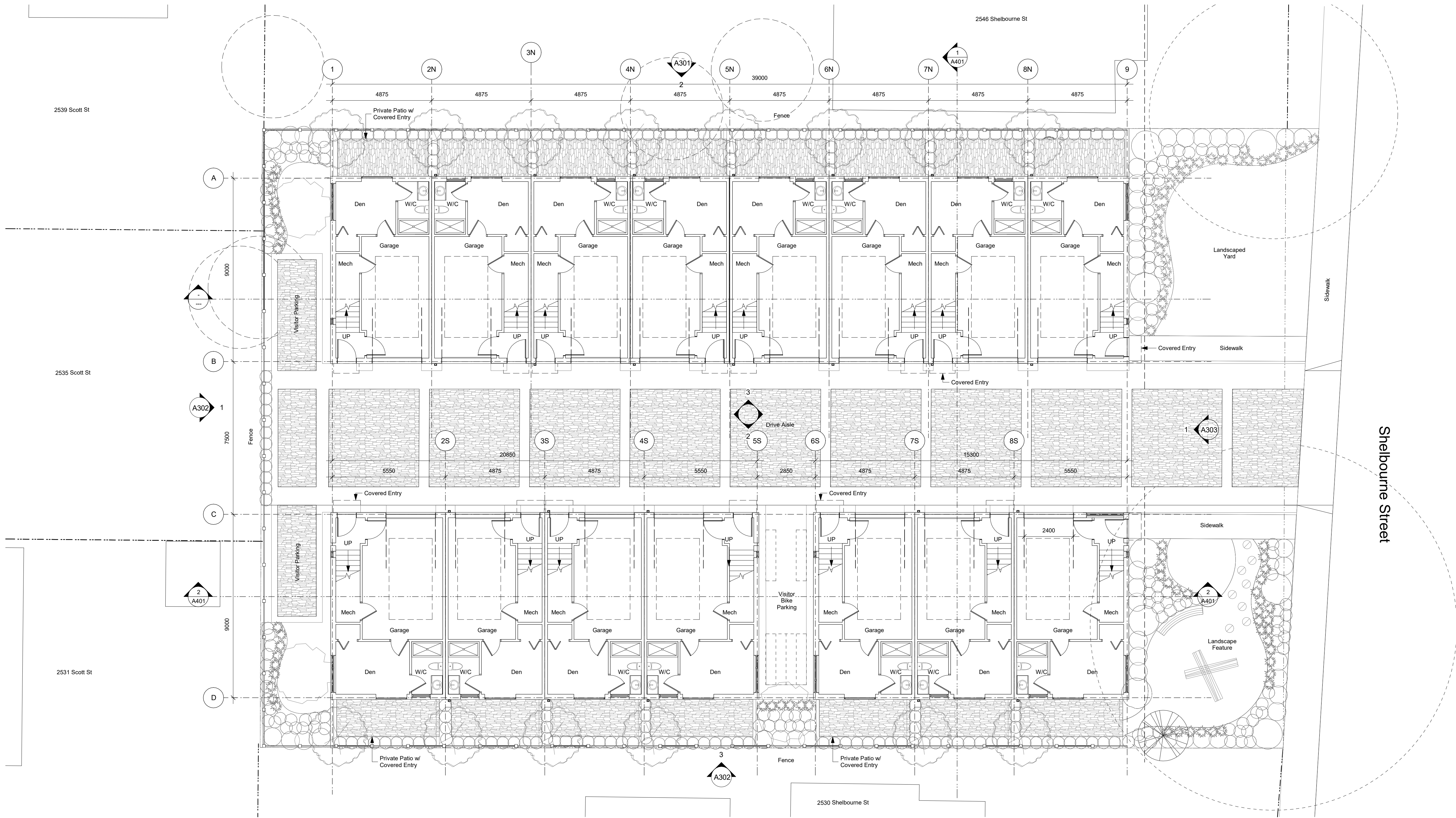
Plot Date
Drawn By ADM/MVR
Scale 1 : 100
Project Number
Checked By
Project Number
ADM

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Site Plan



dHka A101

dHKarchitects
Victoria
977 Fort Street
Nanaimo
102-5190 Dublin Way
V8V 3K3 T 1-250-658-3367
V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Level 1 - Overall Plan
A201 SCALE: 1 : 100

Shelbourne Street

22/07/18 ISSUED FOR REZONING

Plot Date Drawing File
Drawn By ADM/MVR Checked By ADM
Scale 1 : 100 Project Number

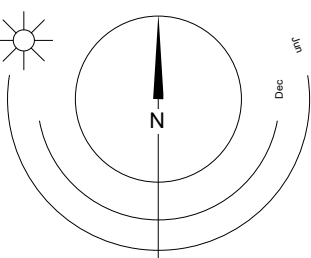
NOTE: All dimensions are shown in millimeters.

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
L1 Plan

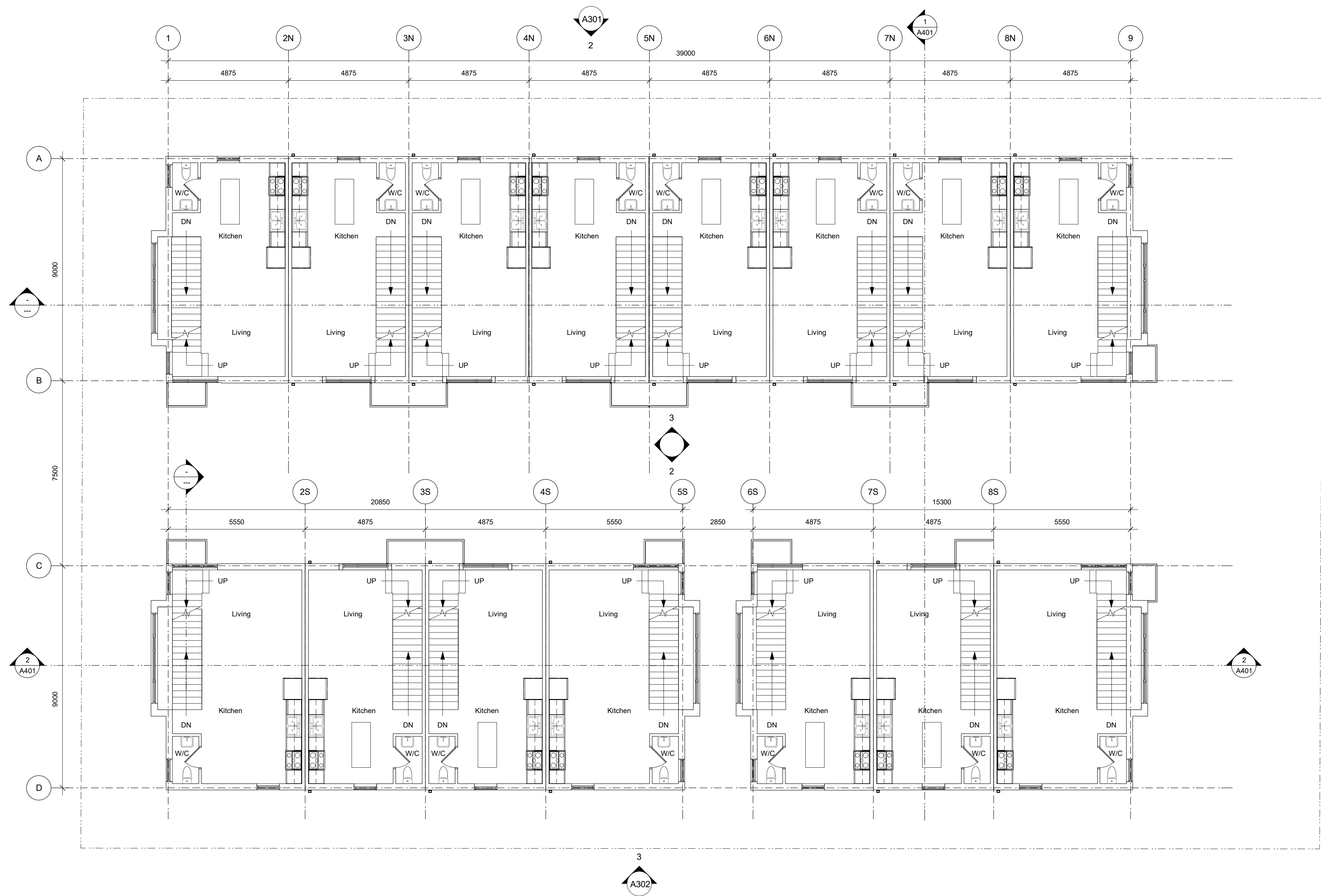


dHkA A201

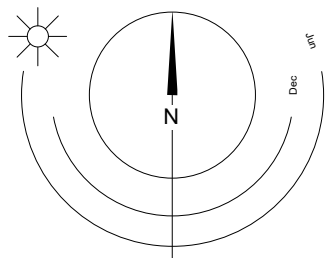
dHkArchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



0 2500 5000 mm
1 : 100



1 Level 2 - Overall Plan
A202 SCALE: 1 : 100



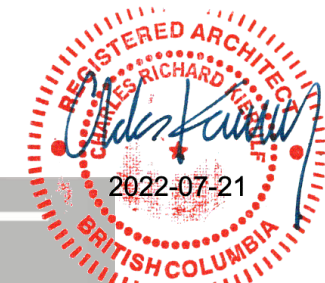
0 2500 5000 mm
1 : 100

22/07/18 ISSUED FOR REZONING

Plot Date Drawing File
Drawn By ADM/MVR Checked By ADM
Scale 1 : 100 Project Number

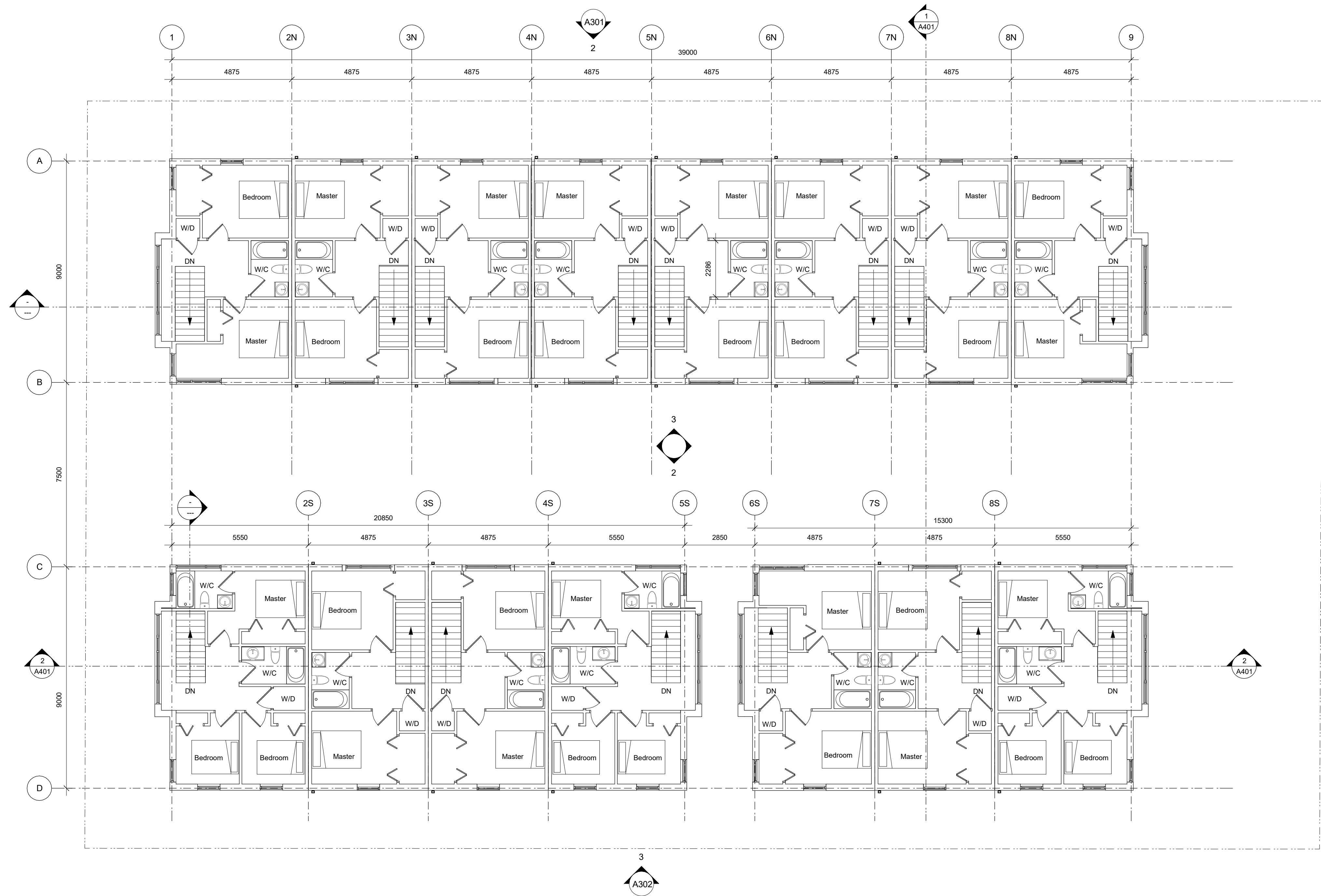
NOTE: All dimensions are shown in millimeters.

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
L2 Plan



dHkA A202

dHk Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHk ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



1 Level 3 - Overall Plan
A203 SCALE: 1 : 100

22/07/18 ISSUED FOR REZONING

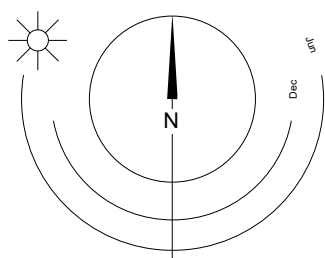
Plot Date
Drawn By ADM/MV/R Checked By ADM
Scale 1 : 100 Project Number
NOTE: All dimensions are shown in millimeters.

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
L3 Plan



dHkA A203

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN
THE PROPERTY OF dHkARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



0 2500 5000 mm
1 : 100

MATERIALS SCHEDULE

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 7 Doors - Painted w/ View Lite
- 8 Doors - Garage Overhead
- 9 Doors - Prefinished Vinyl Siding w/ Low-E Glazing
- 10 Canopy w/ Prefinished Metal Channel Fascia
- 11 Asphalt Shingles - Black
- 12 Prefinished Metal Fascia
- 13 Prefinished Rainwater Leader - Black



1 East Elevation
A301 SCALE: 1 : 100



2 North Townhomes - North Elevation
A301 SCALE: 1 : 100



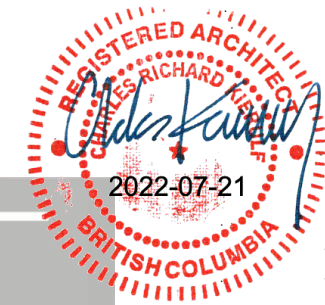
3 North Townhomes - South Elevation
A301 SCALE: 1 : 100

22/07/18 ISSUED FOR REZONING

Plot Date Drawing File
Drawn By ADM/MVR Checked By ADM
Scale 1 : 100 Project Number

NOTE: All dimensions are shown in millimeters.

FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Building Elevations

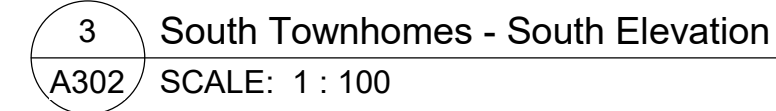
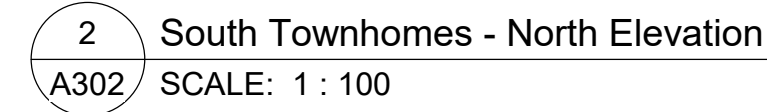
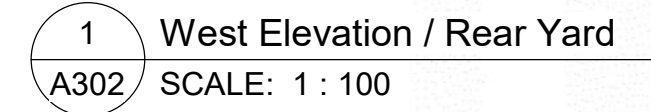


dHKa A301

dHK Architects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHK ARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 7 Doors - Painted w/ View Lite
- 8 Doors - Garage Overhead
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 10 Canopy w/ Prefinished Metal Channel Fascia
- 11 Asphalt Shingles - Black
- 12 Prefinished Metal Fascia
- 13 Prefinished Rainwater Leader - Black



Plot Date		Drawing File	
Drawn By	ADM/MVR	Checked By	ADM
Scale	1 : 100	Project Number	
NOTE: All dimensions are shown in millimeters. . . .			

A302

Victoria
977 Fort Street V8V 3K3 T 1•250•658•3367

Nanaimo
102-5190 Dublin Way V9T 0H2 T 1•250•585•5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF **DHKARCHITECTS** TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT

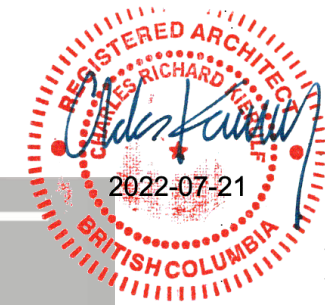


1 East Elevation on Shelbourne Street
A303 SCALE: 1 : 125

Plot Date	Author	Checked By	Checker
Drawn By	Author	Checked By	Checker
Scale	1 : 125	Project Number	

NOTE: All dimensions are shown in millimeters.

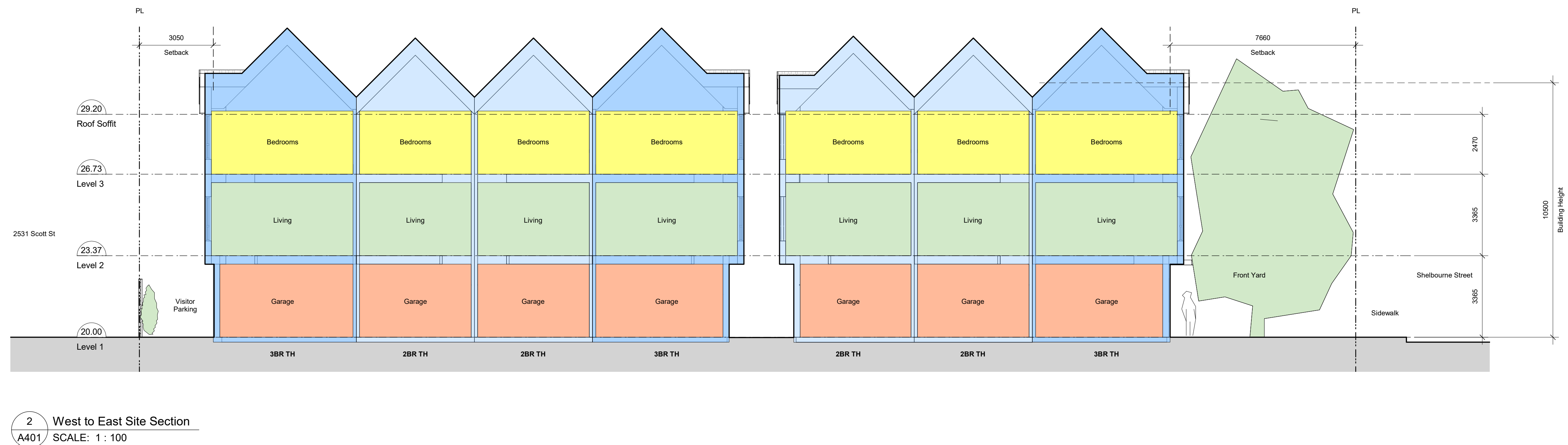
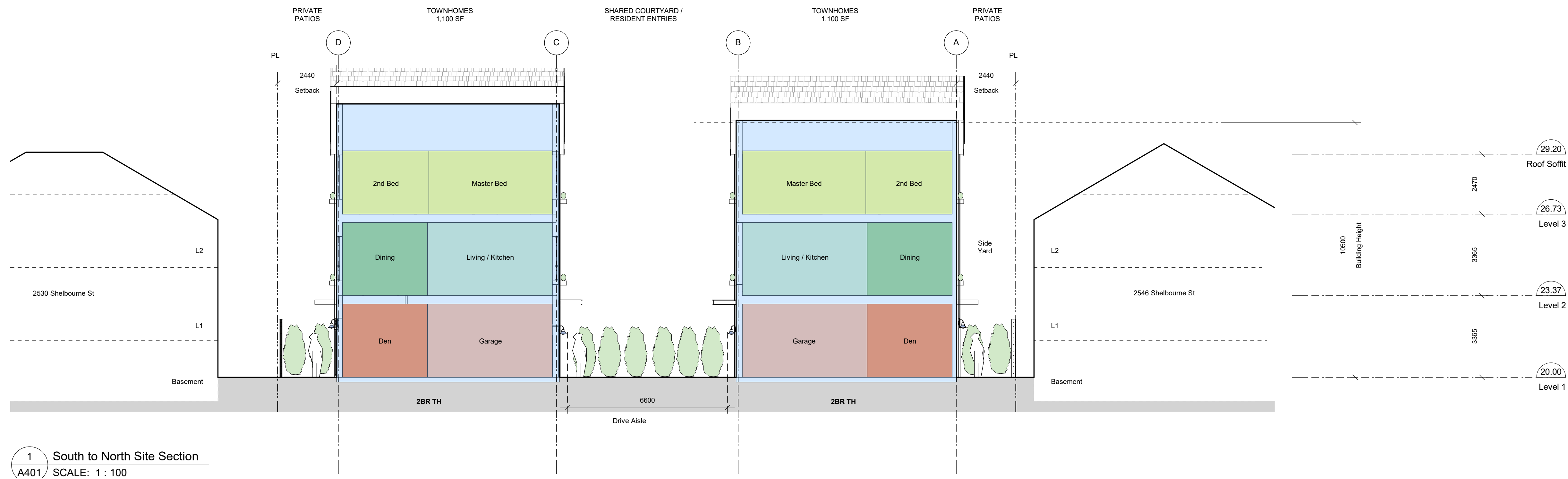
FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Street Elevation



dHka A303

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



22/07/18 ISSUED FOR REZONING

Plot Date 22/07/18
Drawn By ADM/MVR
Scale 1 : 100
Checked By ADM
Project Number

NOTE: All dimensions are shown in millimeters.

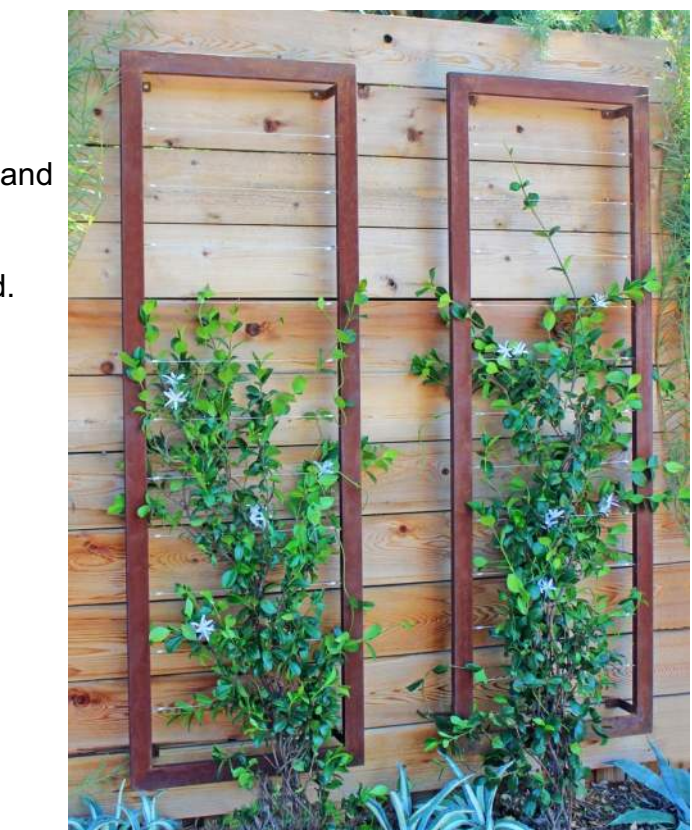
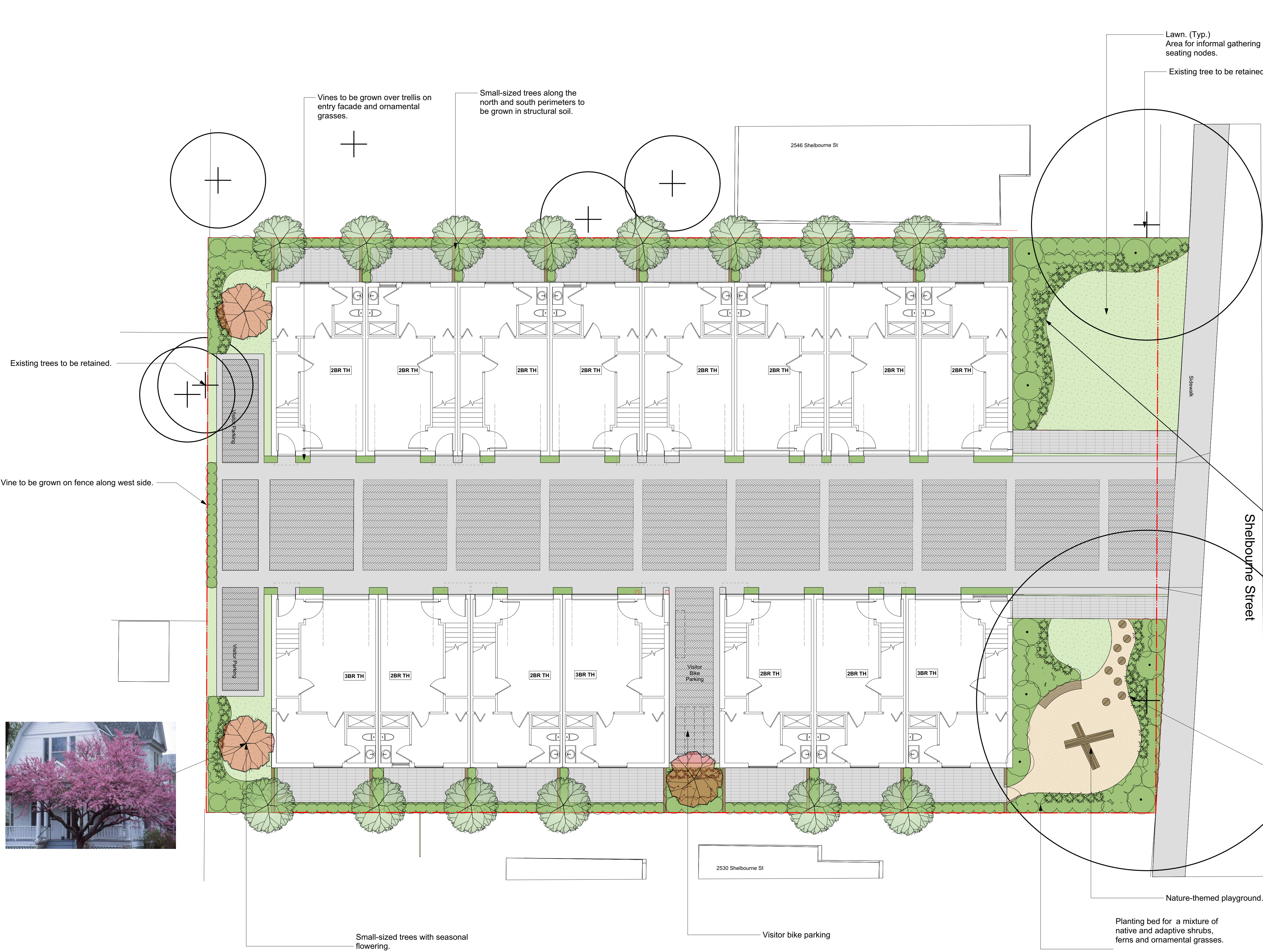
FERNWOOD TOWNHOMES
2540 & 2542 Shelbourne Street, Victoria, BC
Site Sections



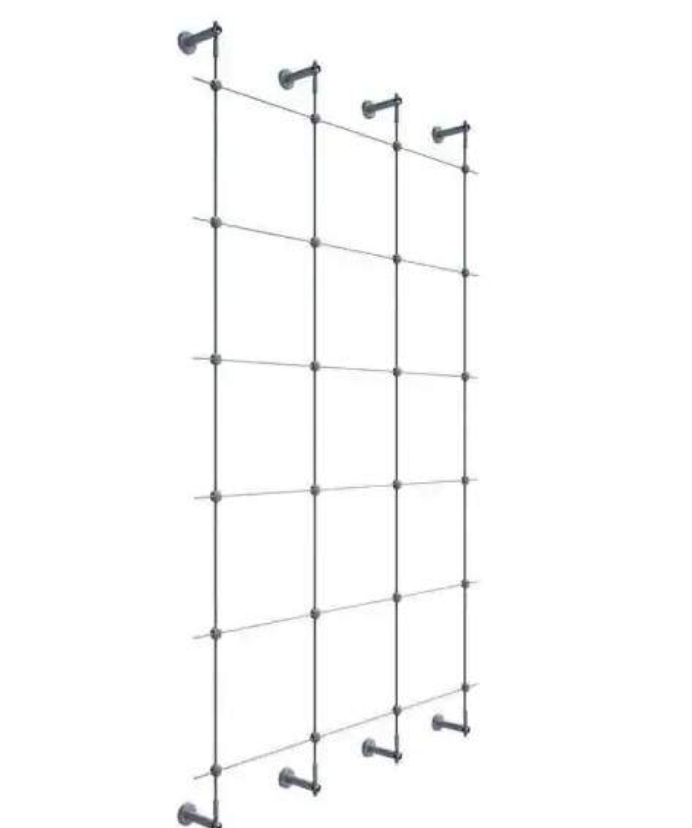
dHka **A401**

dHKarchitects
Victoria
977 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

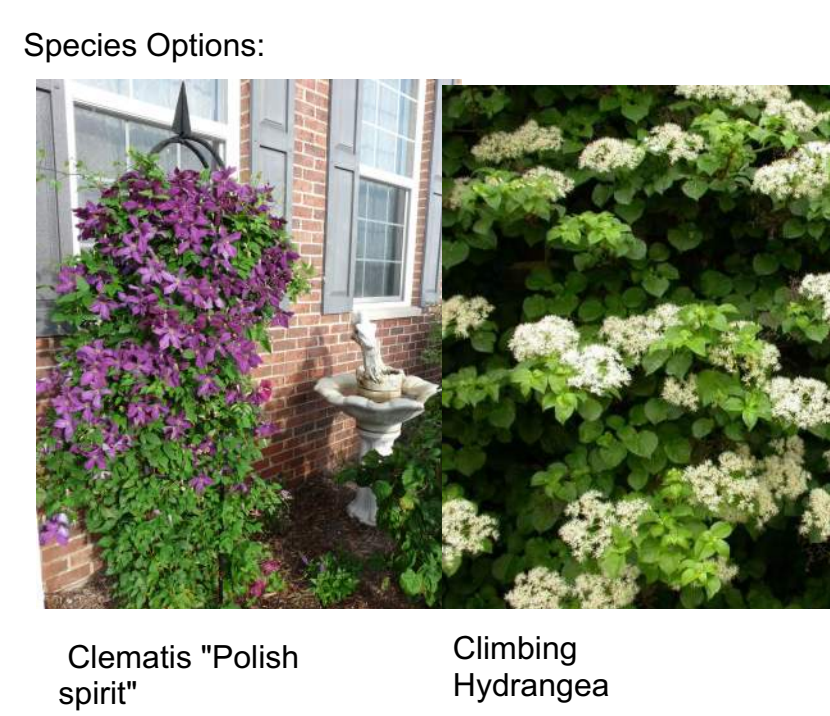
COPYRIGHT RESERVED. THESE PLANS AND DESIGNS ARE AND AT ALL TIMES REMAIN THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT



Wall mounted trellis on facade | Design Option 1

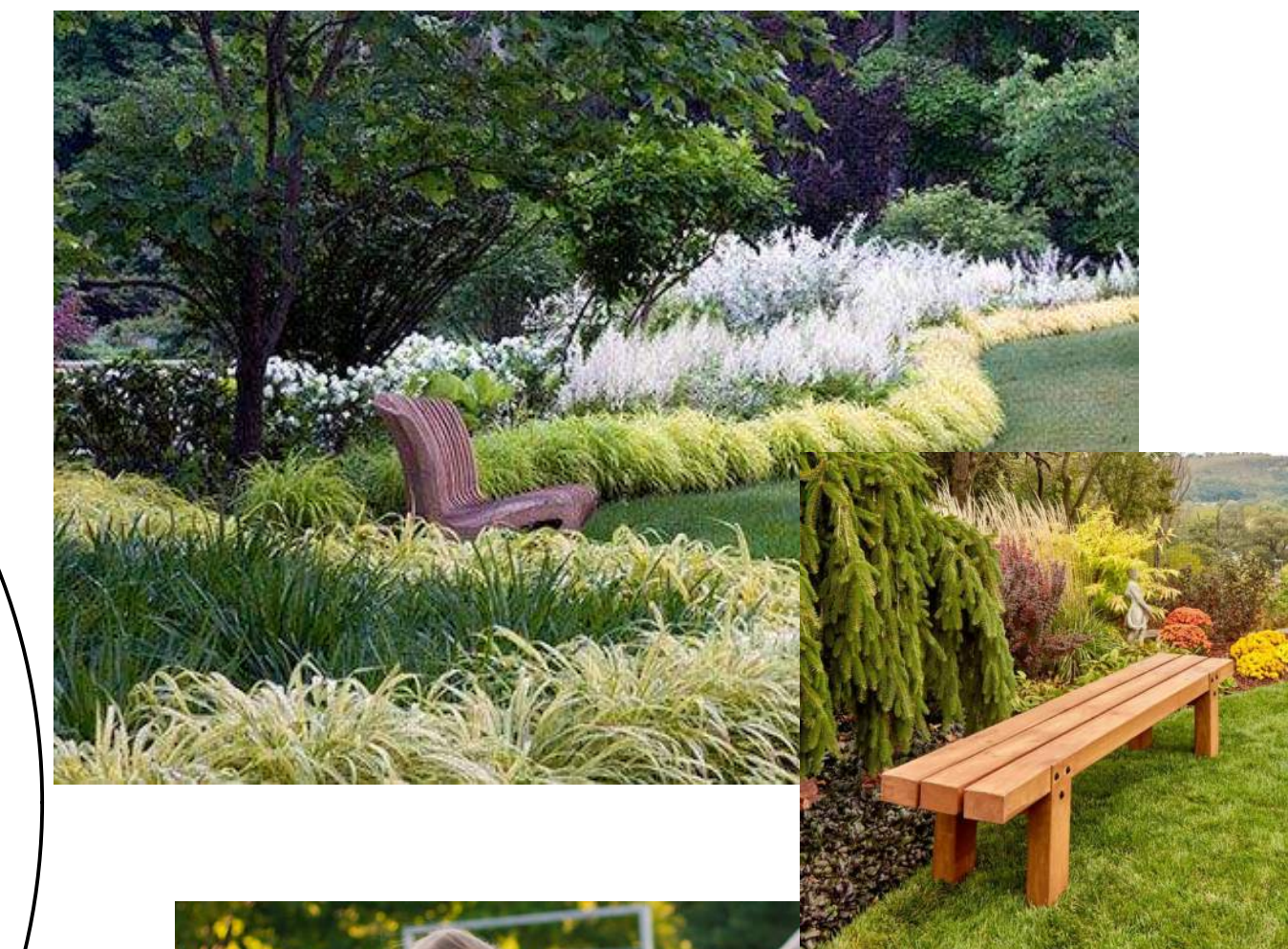
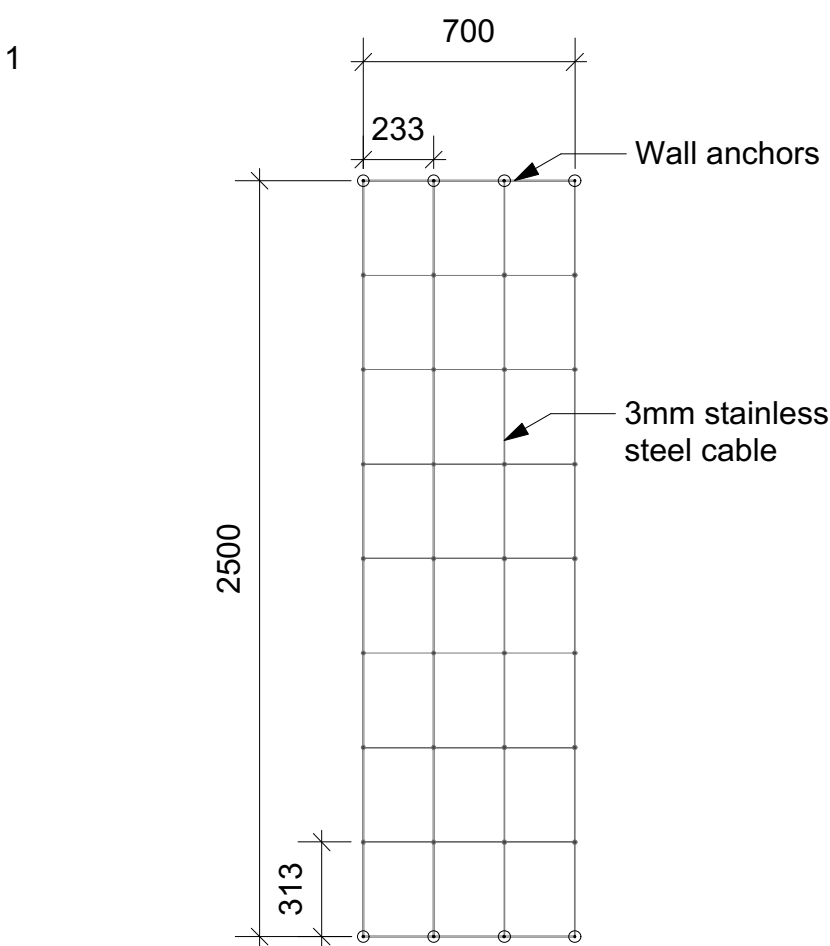


Wall mounted trellis on facade | Design Option 2

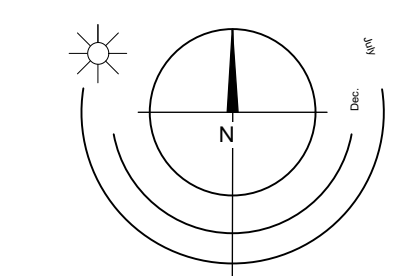


Species Options:

Clematis "Polish spirit" Climbing Hydrangea



Landscape Schematic | 2540 Shelbourne



LADR LANDSCAPE ARCHITECTS

Project No: 2209 MAR-29-22

#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

MAY 11-22