



# 2540 - 2542 SHELBOURNE STREET



2 North West View Across Shelbourne Street  
A000 SCALE:



4 South West View Across Shelbourne Street  
A000 SCALE:

## PROJECT DESCRIPTION

CIVIC ADDRESS:  
2540 - 2542 SHELBOURNE STREET  
VICTORIA, BC  
LEGAL DESCRIPTION:  
LOT 9 AND AMENDED LOT 10 (DD141161)  
BLOCK 6, SECTION 6A VICTORIA DISTRICT PLAN 881A

## ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:  
Group C, 3 Storey Wood Construction

USES:  
Residential Townhomes

EXISTING ZONE:

R1-B

PROPOSED ZONE:

TBD

SITE AREA:

1,526m<sup>2</sup> (16,426 s.f.)

FLOOR AREAS

TOTAL PROPOSED: 1,703m<sup>2</sup> (18,330 s.f.)

FLOOR SPACE RATIO:

1.1 : 1 FSR

GRADE OF BUILDING:

20m (GEODETIC)  
See Site Plan for Grade Calculation

HEIGHT OF BUILDING:

10.5m

NUMBER OF STOREYS:

3 STOREYS

RESIDENTIAL PARKING:

17 stalls (incl. 2 visitor)

BICYCLE PARKING:

15 Class 1 (in suite) + 6 short term (rack)

SETBACKS:

FRONT (Street): 7.66m

REAR: 3.3m

SIDE (North): 2.44m

SIDE (South): 2.44m

COMBINED SIDE: 4.88m

SUITE COMPOSITION:

TOTAL: 15 SUITES

2 Bed: 12

3 Bed: 3

Ground-Oriented Units: 15

Minimum Unit Floor Area: 113.24m<sup>2</sup>

BUILDING CODE SUMMARY:

BCBC Part 3, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

## PROJECT DIRECTORY

### DEVELOPER

Frame Properties  
541 Cowichan Street  
Victoria, B.C.  
V8V 4K9

### LEGAL DESCRIPTION

LOT 9 AND AMENDED LOT 10 (DD141161)

BLOCK 6, SECTION 6A VICTORIA DISTRICT PLAN 881A

### ARCHITECT

dHKArchitects  
977 Fort Street  
Victoria, B.C.  
V8V 3K3  
P. (250) 658.3367

### LANDSCAPE CONSULTANT

LADR Landscape Architects Inc.  
100 Quay Quay Avenue, Street Level,  
Victoria, BC, V8T 1M5  
P. (250) 598.0105

## DRAWING LIST

A000	COVER SHEET
A001	SURVEY
A101	DESIGN TYPES / SHADOW STUDY
A201	SITE PLAN
A301	PLANS
A302	PLANS
A303	ELEVATIONS
A304	ELEVATIONS
A401	STREET ELEVATION
L001	SECTION
	LANDSCAPE PLAN

## ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

201	ROOM NAME & ROOM NUMBER
101a	DOOR NUMBER See Door Schedule
W-10	WINDOW NUMBER See Window Schedule
W1	WALL TYPE See Assemblies Schedule
2.0 hr	RATED WALL DESIGNATION
0.00	ELEVATION DATUM
2440	CEILING HEIGHT
	AREA OF DROP CEILING
1	KEYNOTE SYMBOL
12	MATERIAL TAG
1 A601	INTERIOR ELEVATION REFERENCE
W1 C1 F1 B1	ROOM FINISHES

REGISTERED ARCHITECT  
dHKArchitects  
2022-07-21

BRITISH COLUMBIA

A000

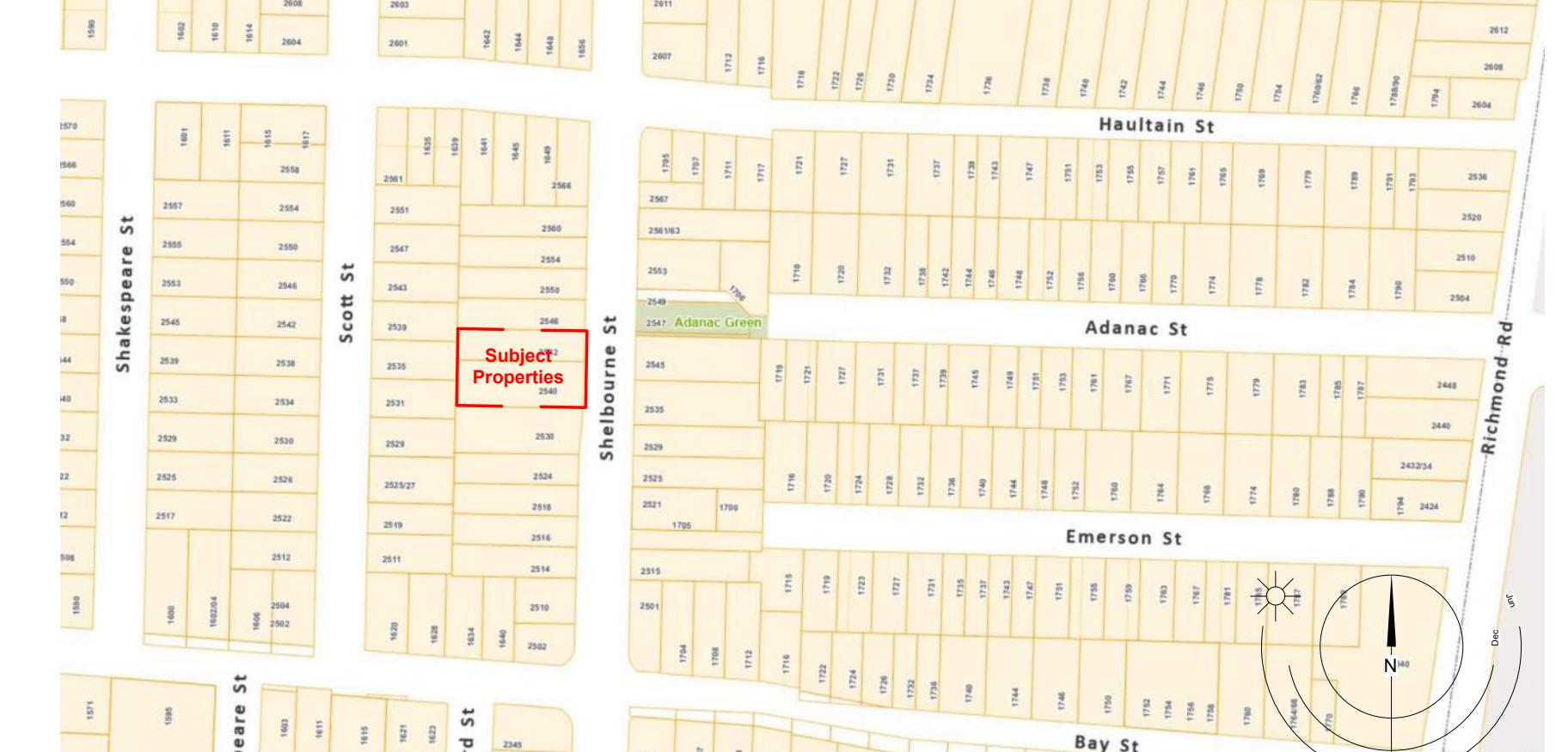
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## LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustic Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminums	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CBM	Commercial Backing Board	LAM	Laminate	SF	Sheet Vinyl Flooring
Conc	Concrete	LP	Low Point	TB	Towel Box
CBK	Concrete Block	MDFB	Medium Density Fibreboard Base	T/D	Tempered / Double Glazed
CL	Centerline	MR	Mirror	TLAM	Tempered Laminate Glass
CPT	Carpet Tile	MP	Metal Panel	TG	Tempered Glass
CE	Ceramic	O/H	Overhead	TGS	Transom Glass
CW	Complete With	OW	Overhead Window	TOC	Top of Concrete
DD	Deck Drain	PF	Prefinished	TOD	Top of Drain
EL	Elevation	PLAM	Plastic Laminate	TOI	Top of Insulation
EP/C	Epoxy / Polymer Coating	PLS	Plaster	TOP	Top of Carpet
EXP AGG	Exposed Aggregate	PSF	Preformed Steel Frame	TOS	Top of Sheet
EXT	Exterior	PT	Paint	TOW	Top of Wall
FD	Floor Drain	PTD/W	Paper Towel Dispenser	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTD/W	Paper Towel Dispenser / Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FEF	Floating Floor Elevation	RA	Radius	UO	Unless Otherwise
FG	Finished Grade	RB	Rubber Base	UOS	Underside of...
GB	Grab Bar	RES	Resilient Flooring	VCT	Vinyl Composition Tile
GBL	Glass Block	RD	Root Drain	VG	Vinyl Glass
GWG	Georgian Wire Glass	RDP	Root Planter	VIS	Vinyl Impact Sheet
GWB	Gypsum Wallboard	RWL	Rain Water Leader	VT	Vinyl Tile
HC	Hollow Core	SAFI	Spray Applied Fibrous Insulation	VWC	Vinyl Wall Covering
HCW	Hollow Core Wood	SCW	Solid Core Wood	WC	Water Closet
HCW	Hollow Core Wood	SD	Solid Dispenser	WD	Wood
HM	Hollow Metal	SP	Spandrel Glass	WPM	Waterproof Membrane
		SPC	Solid Particleboard Core	WRC	Water Repellant Coating



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Drawn By ADM / RCI Checked By ADM  
Scale As Indicated Project Number

NOTE: All dimensions are shown in millimeters.

## FERNWOOD TOWNHOMES

2540 & 2542 Shelbourne Street, Victoria, BC

## Project Data

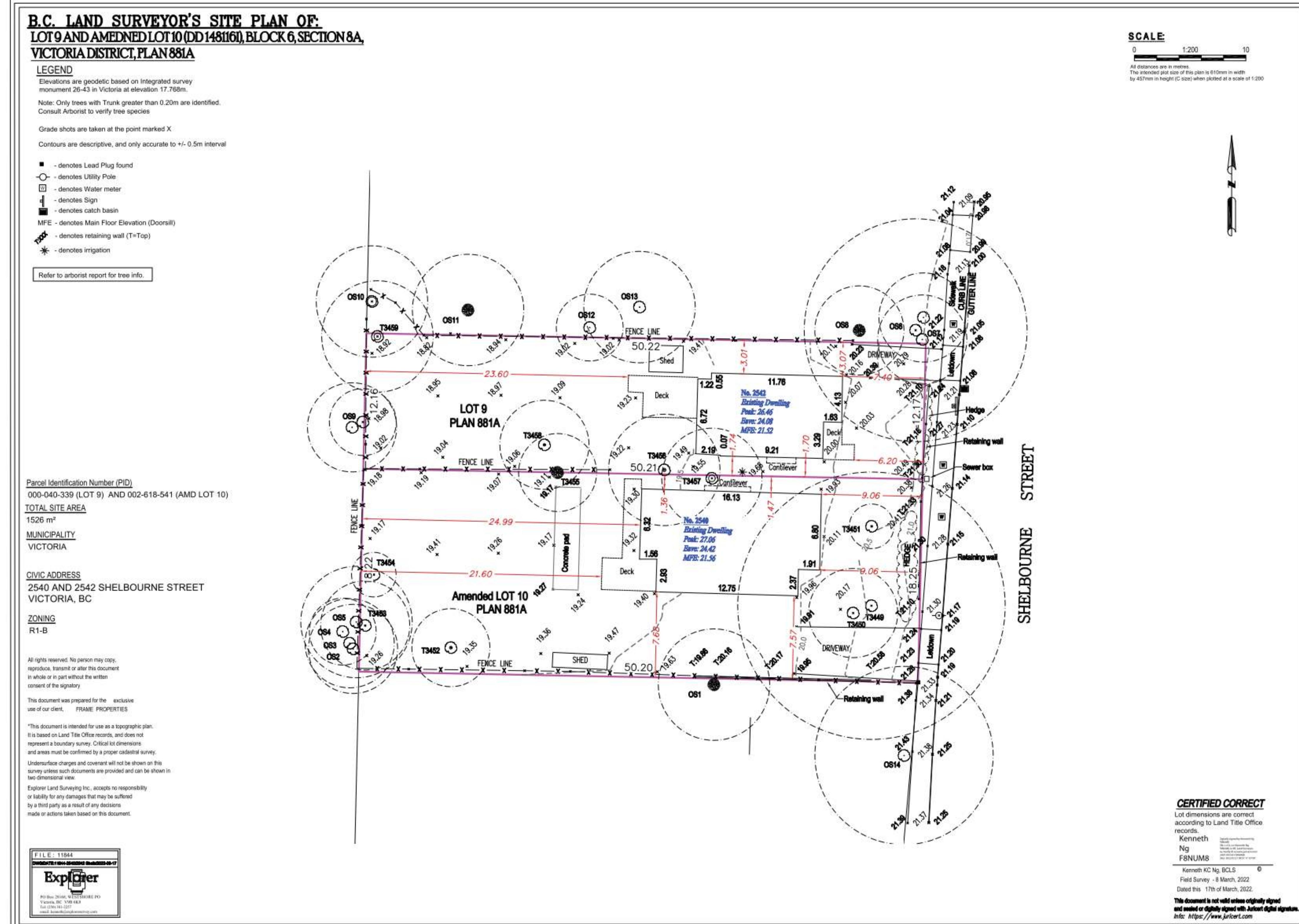
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Scale 1:200 Project Number

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**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC

Survey



2022-07-21

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dHka A001

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**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC

**Design Typologies / Shadow Study**

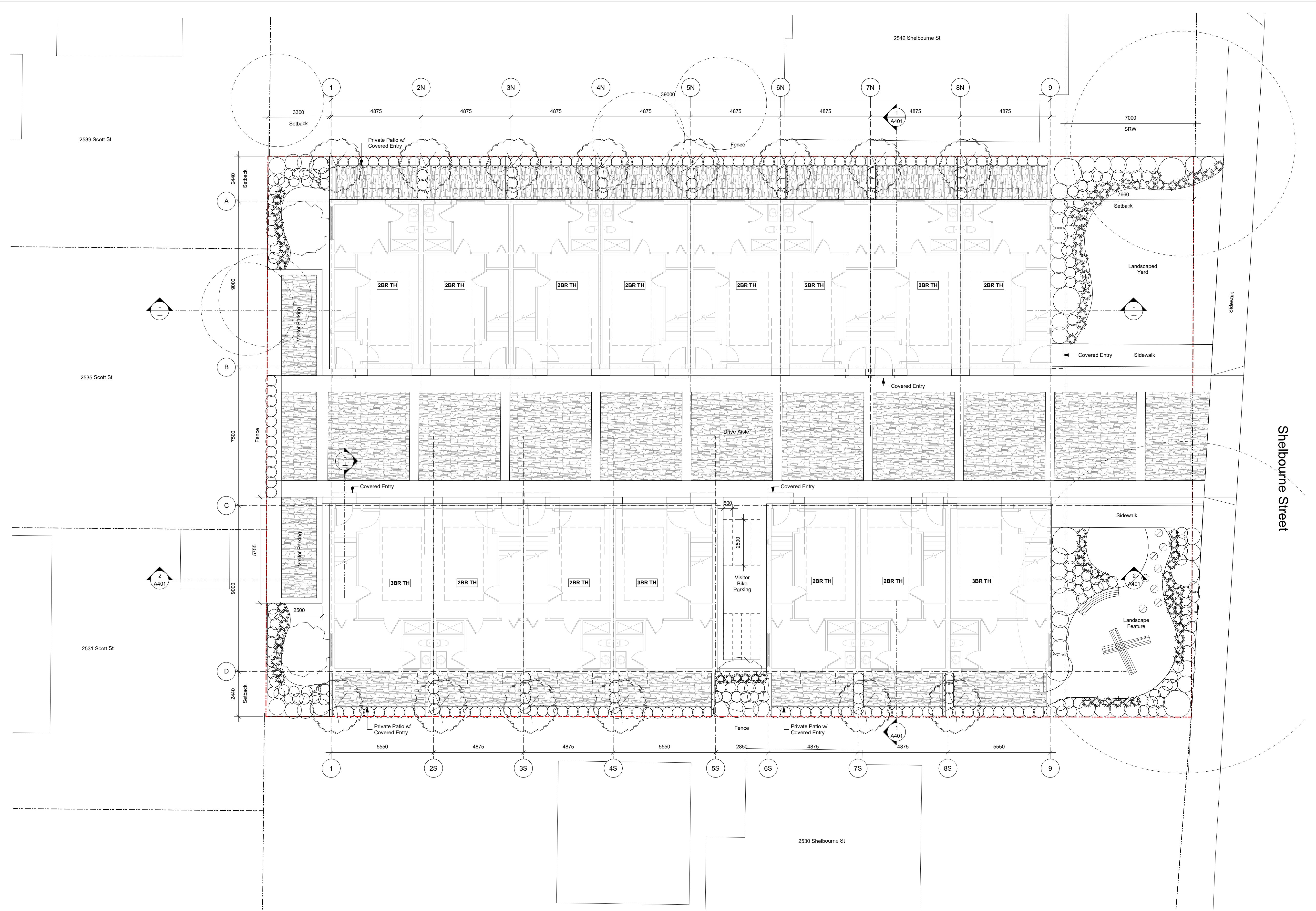
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2540 & 2542 Shelbourne  
Street, Victoria, BC

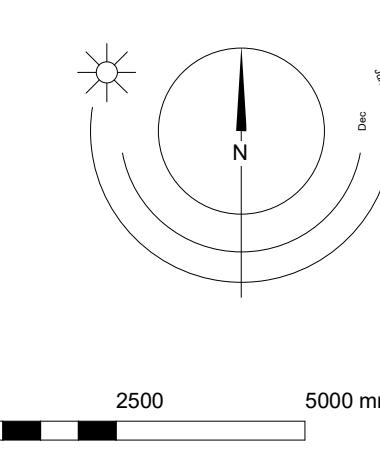
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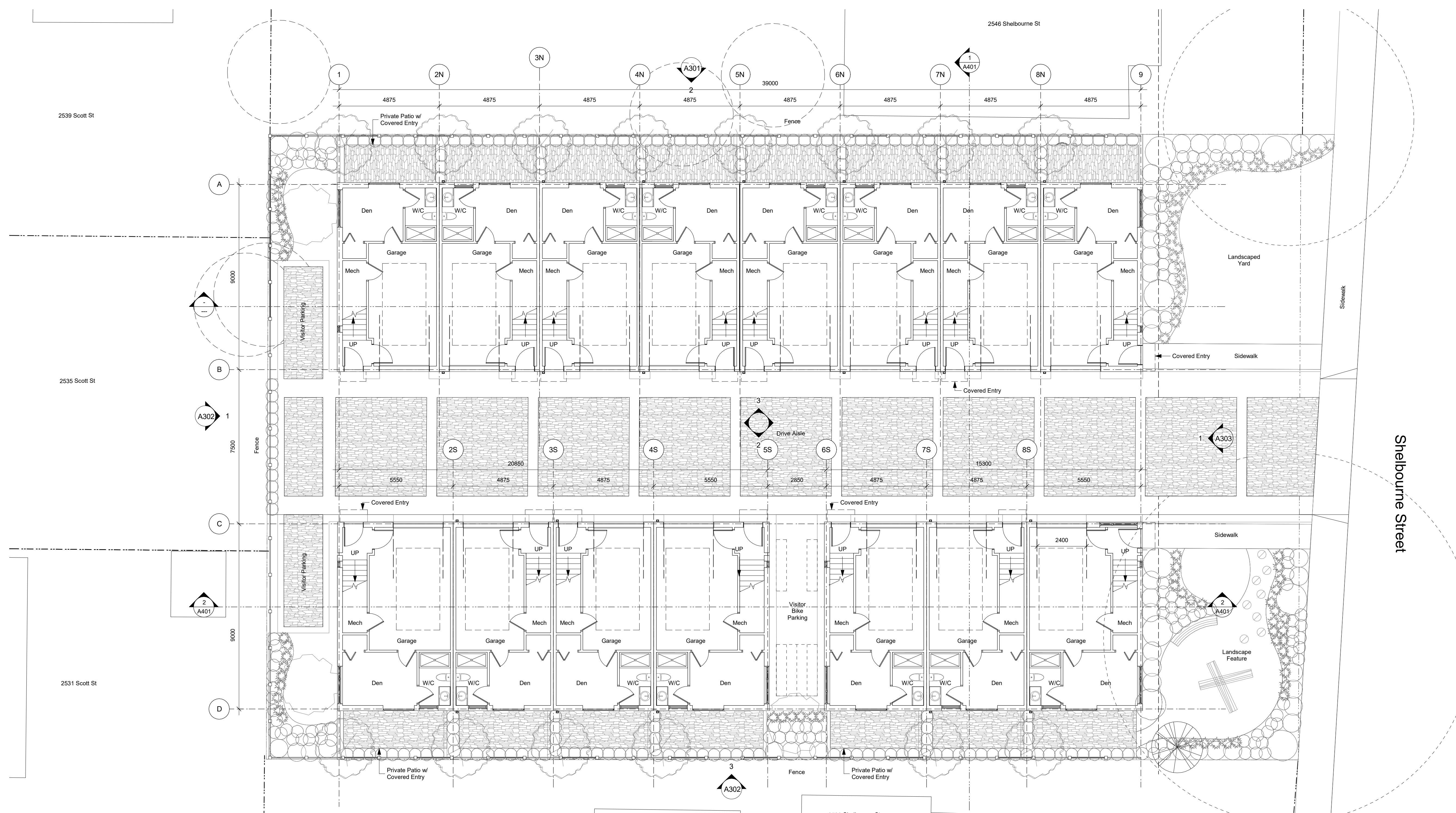


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1  
A201      Level 1 - Overall Plan  
SCALE: 1 : 100

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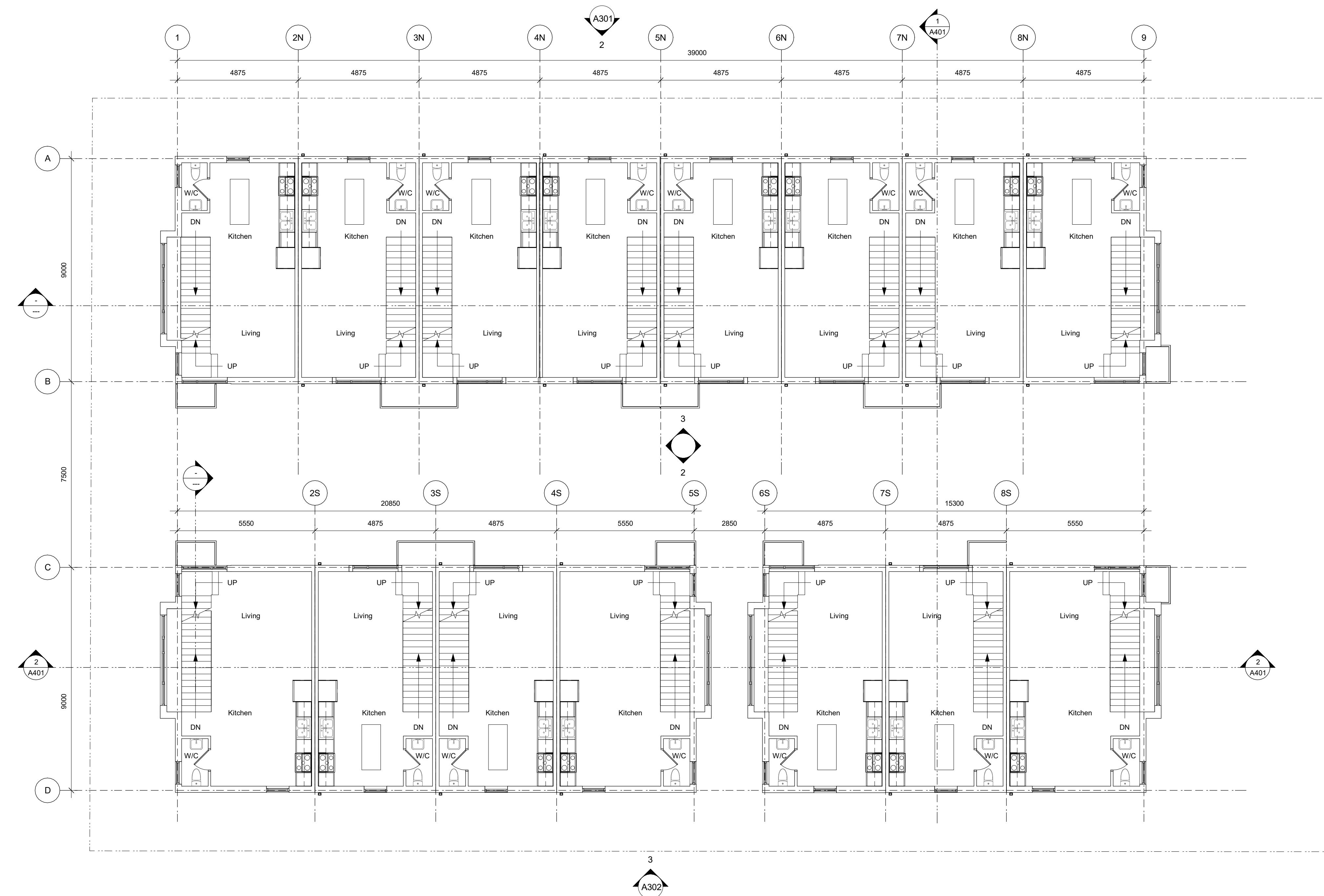
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# UNWOOD /NHOMES & 2542 Shelbourne

A circular red seal with a decorative border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "ASSOCIATION OF REGISTERED ARCHITECTS OF BRITISH COLUMBIA" at the bottom. The inner circle features a stylized signature of "James Richard Kinniburgh" in the center, with "BCRA" and "2022-07-21" printed below it.

Digitized by srujanika@gmail.com

**dHKarchitects**  
**Victoria**  
977 Fort Street V8V 3K3 **T 1•250•658•3367**  
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1 Level 2 - Overall Plan  
A202 SCALE: 1:100

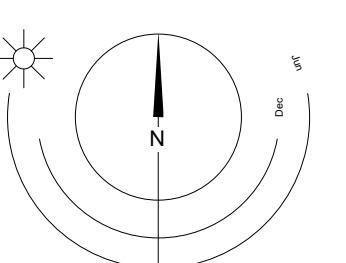
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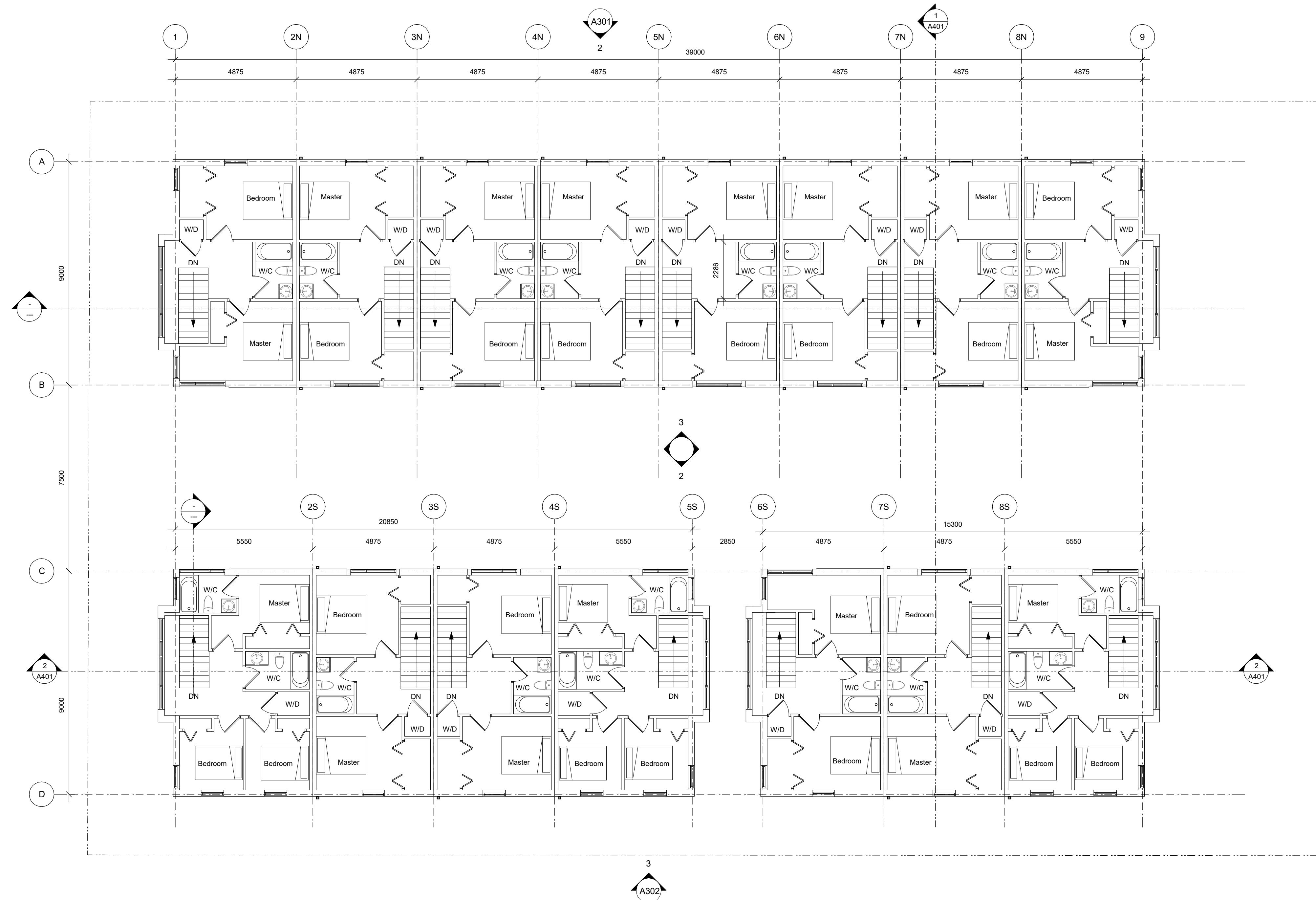
**FERNWOOD TOWNHOMES**  
2540 & 2542 Shelbourne Street, Victoria, BC

L2 Plan



A202

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1 Level 3 - Overall Plan  
A203 SCALE: 1 : 100

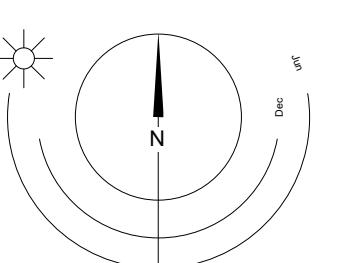
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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC

L3 Plan



A203

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### MATERIALS SCHEDULE

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 7 Doors - Painted w/ View Lite
- 8 Doors - Garage Overhead
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 10 Canopy w/ Prefinished Metal Channel Fascia
- 11 Asphalt Shingles - Black
- 12 Prefinished Metal Fascia
- 13 Prefinished Rainwater Leader - Black



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 Drawn By: ADM/MVR Checked By: ADM  
 Scale: 1:100 Project Number: A301

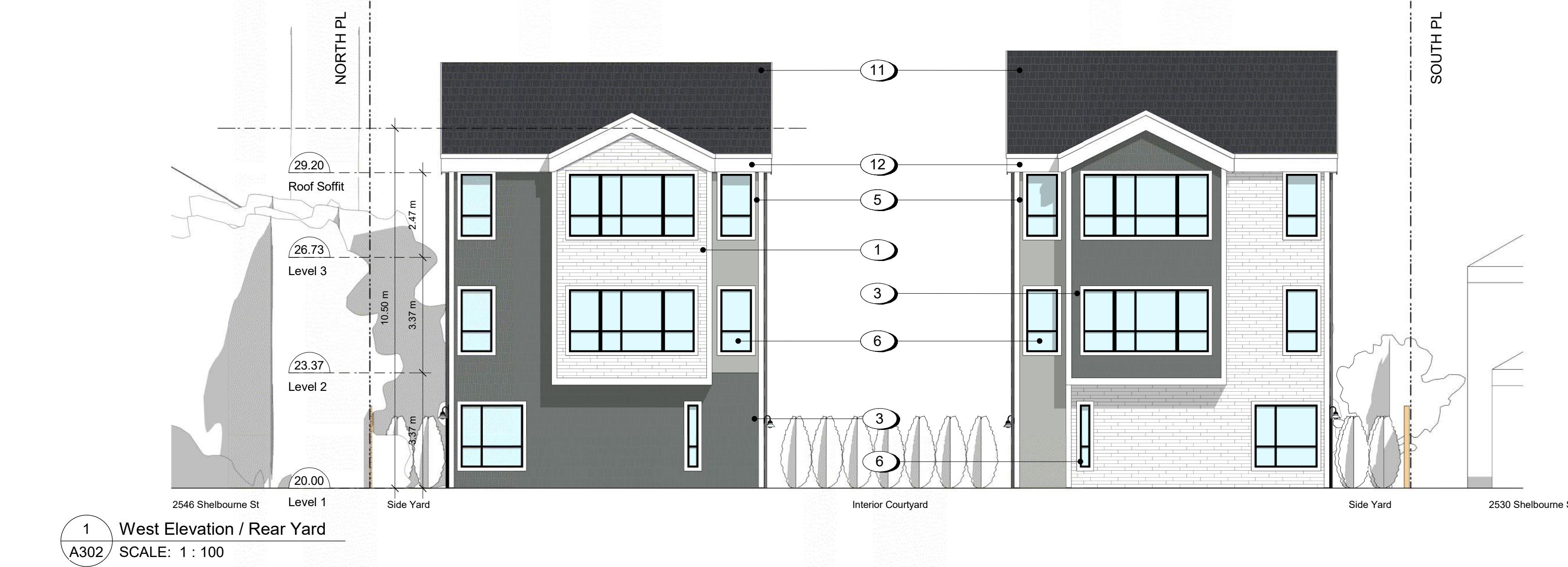
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**FERNWOOD TOWNHOMES**  
 2540 & 2542 Shelburne Street, Victoria, BC  
**Building Elevations**

REGISTERED ARCHITECT  
 RICHARD J. KELLY  
 BRITISH COLUMBIA  
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- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 10 Canopy w/ Prefinished Metal Channel Fascia
- 11 Asphalt Shingles - Black
- 12 Prefinished Metal Fascia
- 13 Prefinished Rainwater Leader - Black



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**FERNWOOD TOWNHOMES**  
 2540 & 2542 Shelburne Street, Victoria, BC  
**Building Elevations**



**dHKa** A302

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1 East Elevation on Shelbourne Street

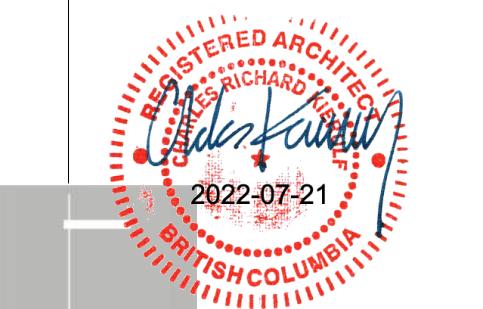
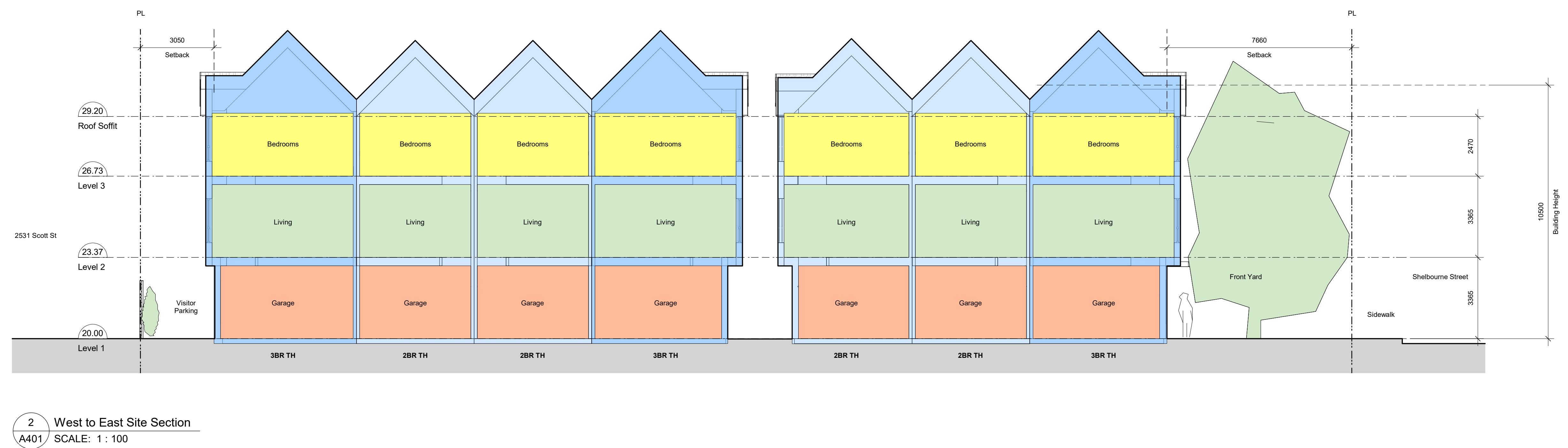
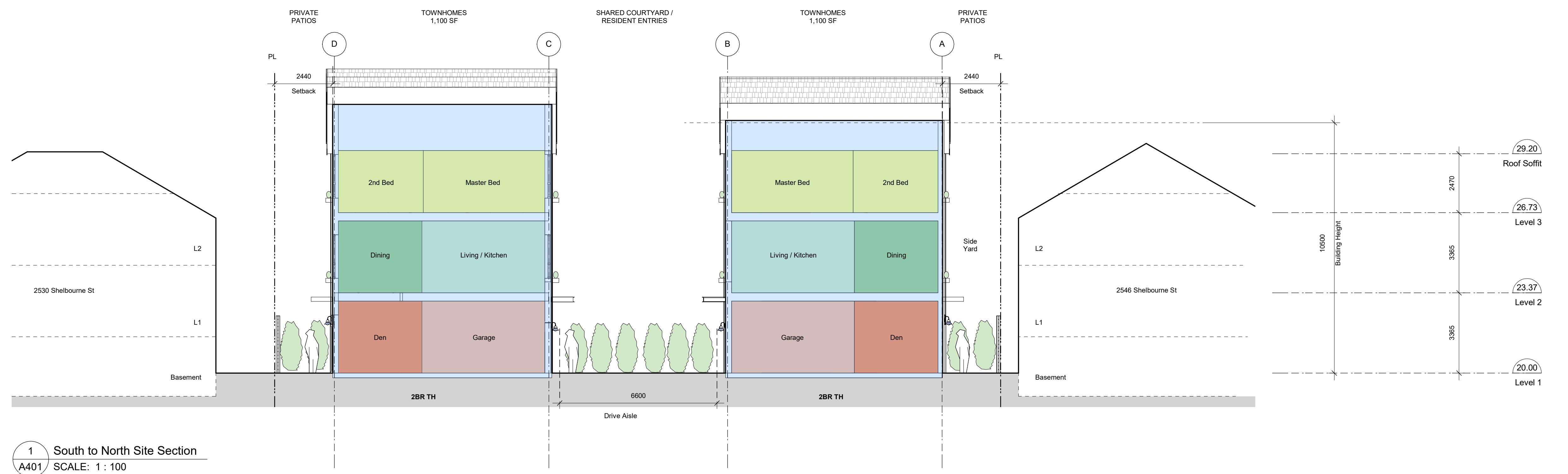
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**FERNWOOD  
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2540 & 2542 Shelbourne  
Street, Victoria, BC

**Street Elevation**

REGISTERED ARCHITECT  
MICHAEL J. KENNEDY  
2022-07-21  
BRITISH COLUMBIA

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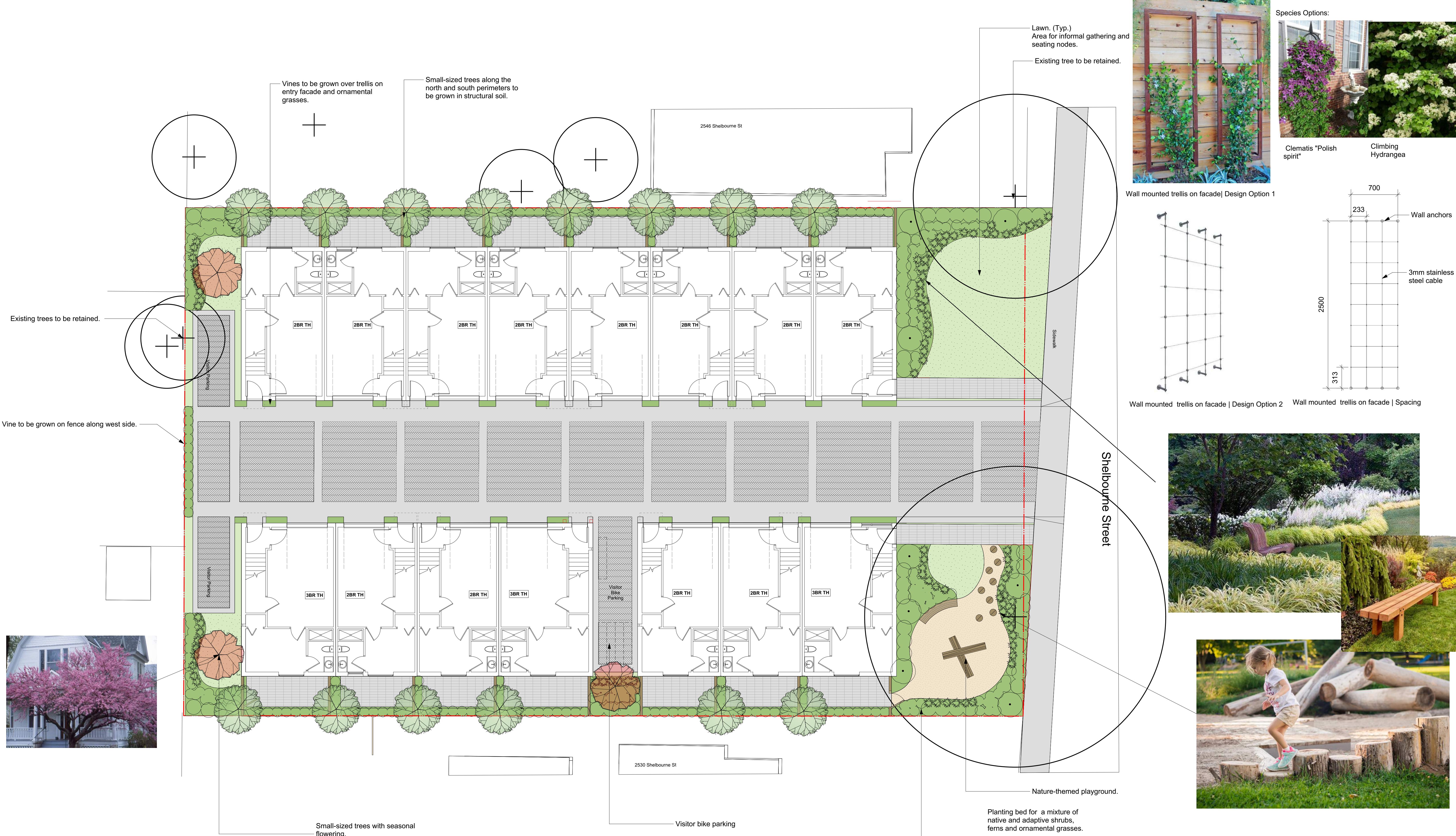


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# Landscape Schematic | 2540 Shelbourne

