

2540 - 2542 SHELBORNE STREET



2 North West View Across Shelburne Street

A000



4 South West View Across Shelburne Street

A000

PROJECT DESCRIPTION

CIVIC ADDRESS:
2540 - 2542 SHELBORNE STREET
VICTORIA, BC
LEGAL DESCRIPTION:
LOT 9 AND AMENDED LOT 10 (DD141161)
BLOCK 6, SECTION 6A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:
Group C, 3 Storey Wood Construction

USES:
Residential Townhomes

EXISTING ZONE:
R1-B

PROPOSED ZONE:
TBD

SITE AREA:
1,526m² (16,426 s.f.)

FLOOR AREAS

TOTAL PROPOSED:
1,447 m² (15,575 s.f.)

FLOOR SPACE RATIO:
0.95 : 1 FSR

SITE COVERAGE:
39%

OPEN SITE SPACE:
35%

GRADE OF BUILDING:
West Bldg 19.65m
East Bldg 20m
(See Site Plan for Avg Grade Calculation)

HEIGHT OF BUILDING:
West Bldg 10.07m
East Bldg 10.23m

NUMBER OF STOREYS:
3 STOREYS

RESIDENTIAL PARKING:
13 stalls (incl. 2 visitor)

BICYCLE PARKING:
13 Class 1/EV Ready (in suite)

12 Short term (rack)

SETBACKS:

Setback	West Bldg	East Bldg
FRONT (Street):	31.8m	10.7m
REAR:	5.3m	26.42m
SIDE (North):	3.8m	6m
SIDE (South):	1.67m	1.67m
COMBINED SIDE:	5.25m	7.67m

SUITE COMPOSITION:
TOTAL: 13 SUITES
2 Bed 2
3 Bed 9
Studios 2
Ground-Oriented Units 13
Minimum Unit Floor Area 30.26m²

BUILDING CODE SUMMARY:

BCBC Part 3, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER:
Frame Properties
541 Columbia Street
Victoria, B.C.
V8V 4K9

LEGAL DESCRIPTION:
LOT 9 AND AMENDED LOT 10 (DD141161)
BLOCK 6, SECTION 6A VICTORIA DISTRICT PLAN 881A

ARCHITECT:
dHKArchitects
977 Fort Street
Victoria, B.C.
V8V 3K3
P. (250) 658.3367

LANDSCAPE CONSULTANT:
LADR Landscape Architects Inc.
100 Quay Quayne, Street Level,
Victoria, BC, V8T 1M5
P. (250) 598.0105

STRUCTURE:
Group C, 3 Storey Wood Construction

MECHANICAL:
Group C, 3 Storey Wood Construction

ELECTRICAL:
Group C, 3 Storey Wood Construction

PLUMBING:
Group C, 3 Storey Wood Construction

STRAIGHT ELEVATION:

SECTIONS:

A401 AREA PLANS

L001 LANDSCAPE PLAN

COVER SHEET / PROJECT DATA
SURVEY
SHADOW STUDY
SITE PLAN
L1 PLAN
L2 PLAN
L3 PLAN
ROOF PLAN
ELEVATIONS
ELECTRICAL
STRAIGHT ELEVATION
SECTIONS
AREA PLANS
LANDSCAPE PLAN

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM ROOM NAME &
ROOM NUMBER
201

101a DOOR NUMBER
See Door Schedule

W-10 WINDOW NUMBER
See Window Schedule

W1 WALL TYPE
See Assemblies Schedule

2.0 hr RATED WALL DESIGNATION

0.00 ELEVATION DATUM

2440 CEILING HEIGHT

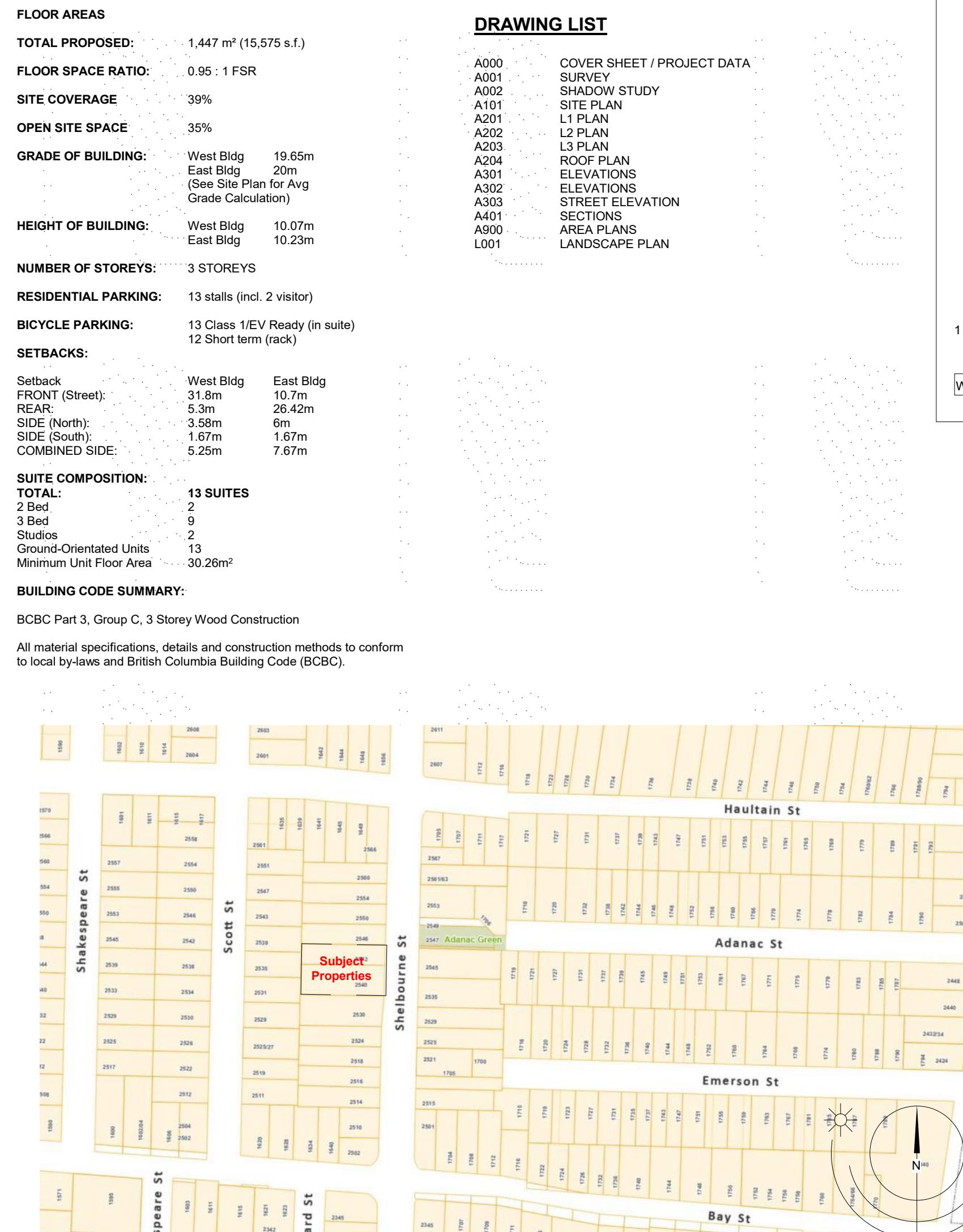
AREA OF DROP CEILING

KEYNOTE SYMBOL

12 MATERIAL TAG

1 A601 INTERIOR ELEVATION REFERENCE

W1 C1 F1 B1 ROOM FINISHES



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustic Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminums	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CBM	Ceramic Backing Board	LP	Low Point	SF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Box
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminate Glass
CPT	Carpet Tile	O/H	Overhead	TG	Tempered Glass
CEM	Cement	OW	Overhead Window	TGS	Tempered Glass Sheet
CW	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPVC	Epoxy Polymer Coating	PSF	Painted Steel Frame	TOP	Top of Carpet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Sheet
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	PTW	Paper Towel Waste	UNF	Unfinished for GWB means taped and filled by not sanded to minimum ULC requirements where applicable
FEF	Floating Floor Elevation	RA	Radius	UNO	Unless Noted Otherwise
FG	Finished Grade	RB	Rubber Base	U/S	Underside of...
GB	Grab Bar	RES	Resilient Flooring	VCT	Vinyl Composition Tile
GBL	Glass Block	RD	Root Drain	VG	Vinyl Glass
GWG	Georgian Wire Glass	RDP	Root Drain - Planter	VPS	Vinyl Project Sheet
GWB	Gypsum Wallboard	RWL	Root Water Leader	VT	Vinyl Tile
HC	Hollow Core	SAFI	Spray Applied Fibrous Insulation	VWC	Vinyl Wall Covering
HCC	Hollow Core Wood	SCW	Solid Core Wood	WC	Water Closet
HM	Hollow Metal	SD	Soil Dispenser	WD	Wood
		SP	Spandrel Glass	WPM	Waterproof Membrane
		SPC	Solid Particleboard Core	WRC	Water Repellant Coating

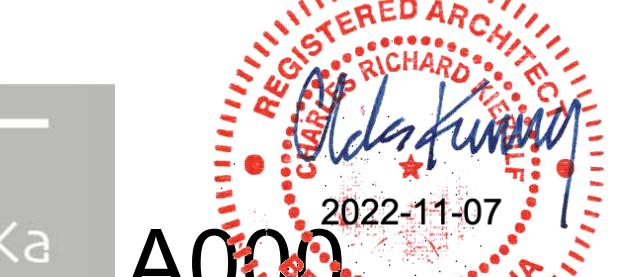


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Scale As Indicated Project Number

NOTE: All dimensions are shown in millimeters.

FERNWOOD TOWNHOMES
2540 & 2542 Shelburne Street, Victoria, BC
Project Data



2022-11-07

A000

dHKArchitects Victoria 977 Fort Street V8V 3K3 T 250-658-5367 Nanaimo 102-5190 Dublin Way V9T 0H2 T 250-585-5810

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**B.C. LAND SURVEYOR'S SITE PLAN OF
LOT 9 AND AMENDED LOT 10 (DD148116), BLOCK 6, SECTION 8A,
VICTORIA DISTRICT, PLAN 881A**

LEGEND

Elevations are geodetic based on Integrated survey
monument 26-43 in Victoria at elevation 17.768m.

Note: Only trees with Trunk greater than 0.20m are identified.
Consult Arborist to verify tree species.

Grade shots are taken at the point marked X

Contours are descriptive, and only accurate to +/- 0.5m interval

■ - denotes Lead Plug found

○ - denotes Utility Pole

□ - denotes Water meter

■ - denotes Sign

■ - denotes catch basin

MFE - denotes Main Floor Elevation (Doorsill)

☒ - denotes retaining wall (T=Top)

* - denotes irrigation

Refer to arborist report for tree info.

Parcel Identification Number (PID)
000-040-339 (LOT 9) AND 002-618-541 (AMD LOT 10)

TOTAL SITE AREA

1526 m²

MUNICIPALITY

VICTORIA

CIVIC ADDRESS
2540 AND 2542 SHELBURNE STREET
VICTORIA, BC

ZONING
R1-B

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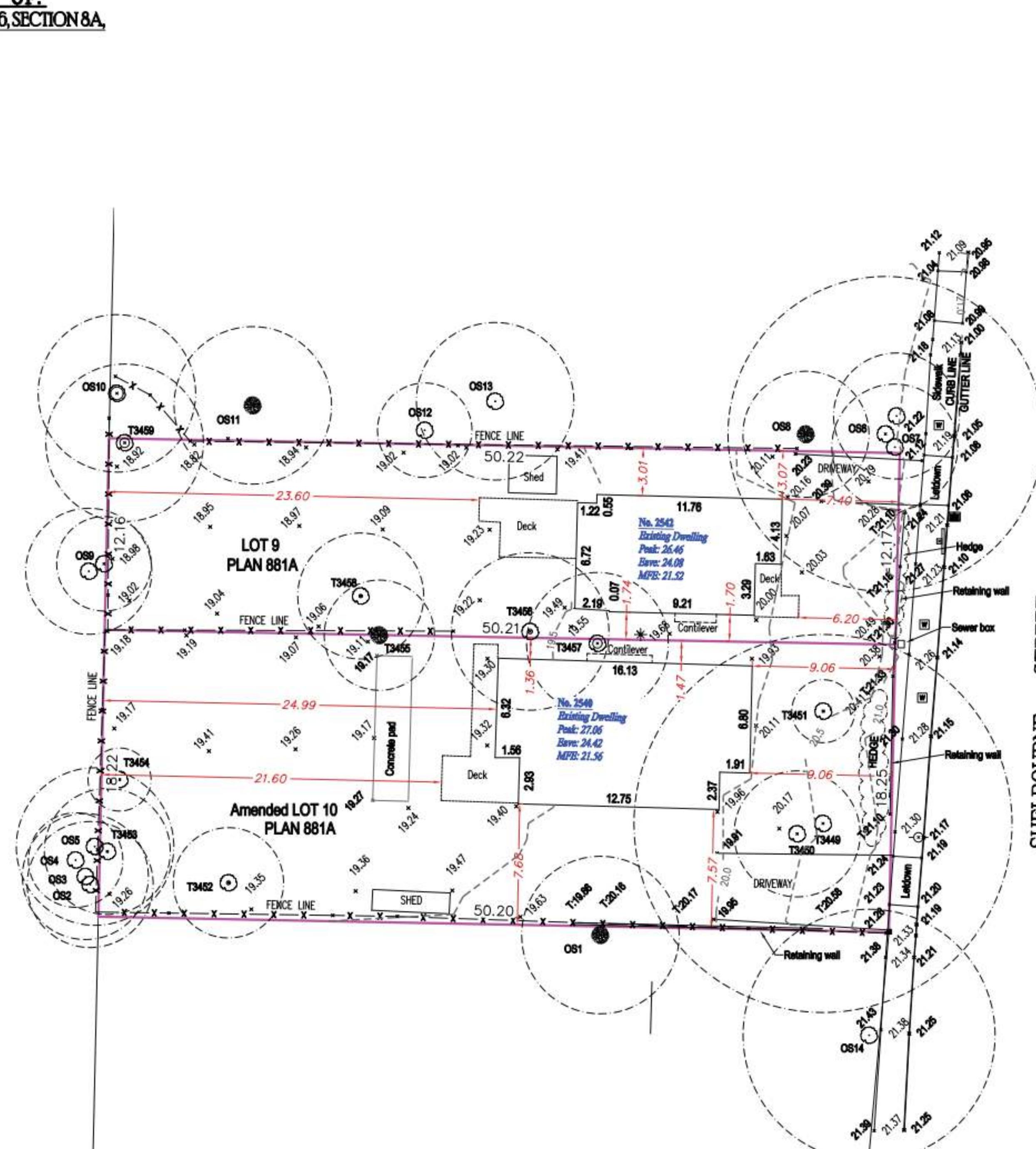
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use of our client, FRAME PROPERTIES

*This document is intended for use as a topographic plan.
It is based on Land Title Office records, and does not
represent a boundary survey. Critical lot dimensions
and areas must be confirmed by a proper cadastral survey.

Undersurface charges and covenant will not be shown on this
survey unless such documents are provided and can be shown in
two dimensional view.

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DRAFTED BY: 2540 SHELBURNE PO
Explorer
80 Box 26164, Victoria, BC V8S 0R2
Toll Free: 1-877-254-0000
Email: info@explorersurveying.com





3 Shadow Study - Equinox 12PM
A002

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FRAME
PROPERTIES

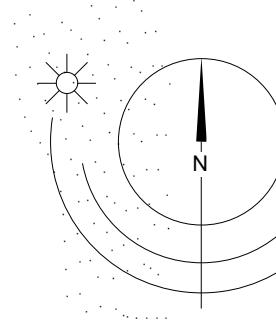


4 Shadow Study - Summer Solstice 12PM
A002

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FERNWOOD TOWNHOMES
2540 & 2542 Shelbourne Street, Victoria, BC
Shadow Study



A002
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Nanaimo T 202-658-5810 V8V 3K3 T 2022-11-07
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RICHARD KIRKMAN
B.C. ARCHITECTURE
PRACTICE
COLUMBIA
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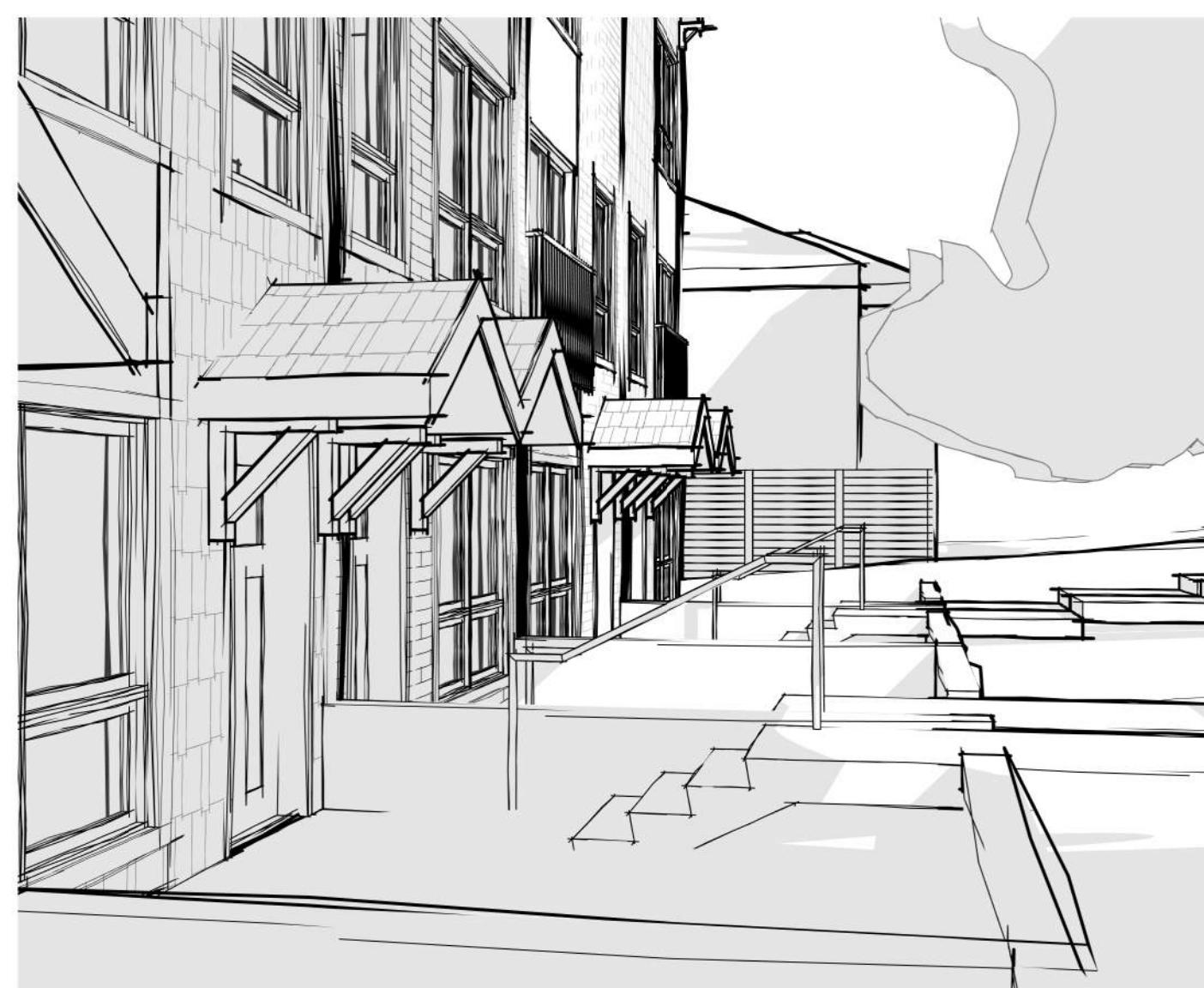
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1 North West View On Shelbourne Street
A003
SCALE:



2 Shelbourne Street - Site Access
A003
SCALE:



7 Shelbourne Street - Patio Entries
A003
SCALE:



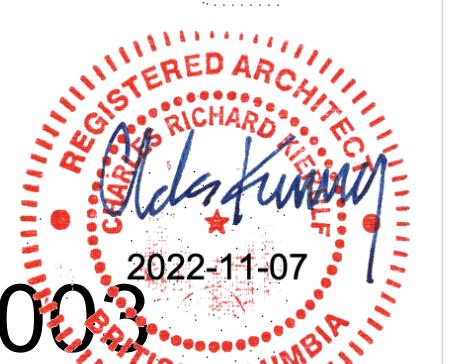
6 Shelbourne Street - Setback Landscaping
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Scale Project Number

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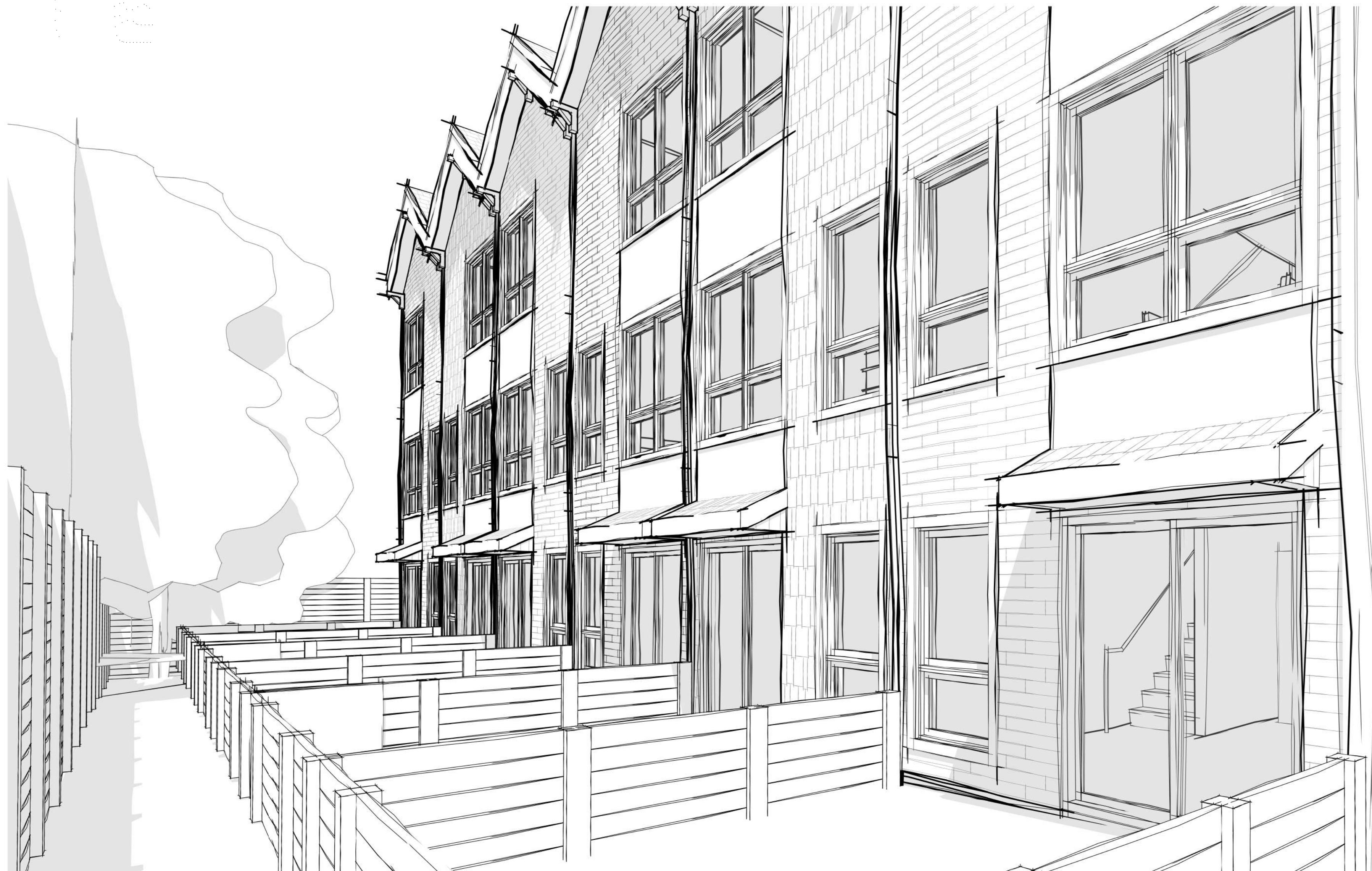
**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
Perspective Views



2022-11-07

A003

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4 West Elevation - Private Yard Access and Patios
A004
SCALE:



3 West Elevation - Private Yard Access
A004
SCALE:



2 East Elevation - West Courtyard Entries
A004
SCALE:

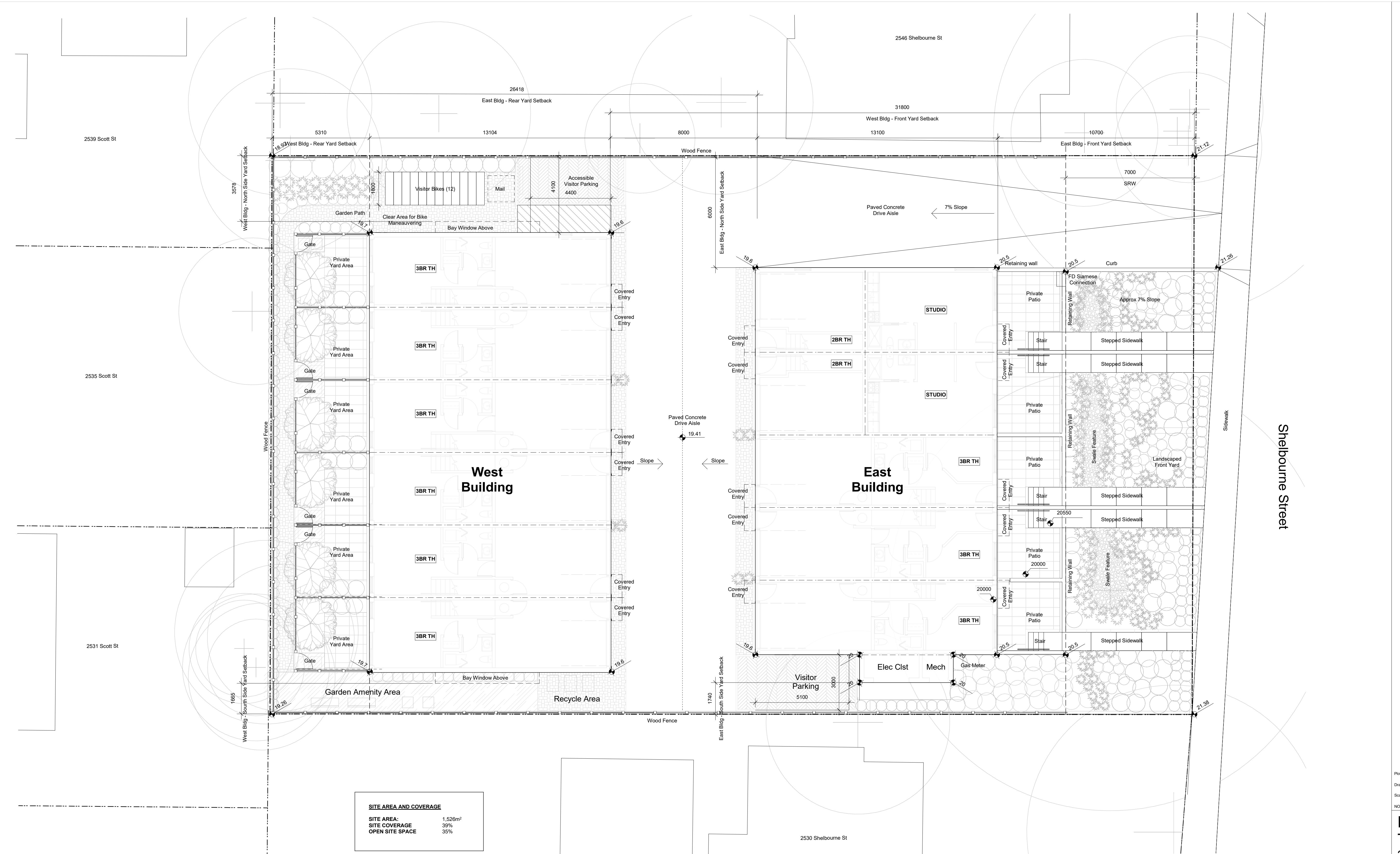
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FERNWOOD TOWNHOMES
2540 & 2542 Shelburne Street, Victoria, BC
Perspective Views



dHKa A004

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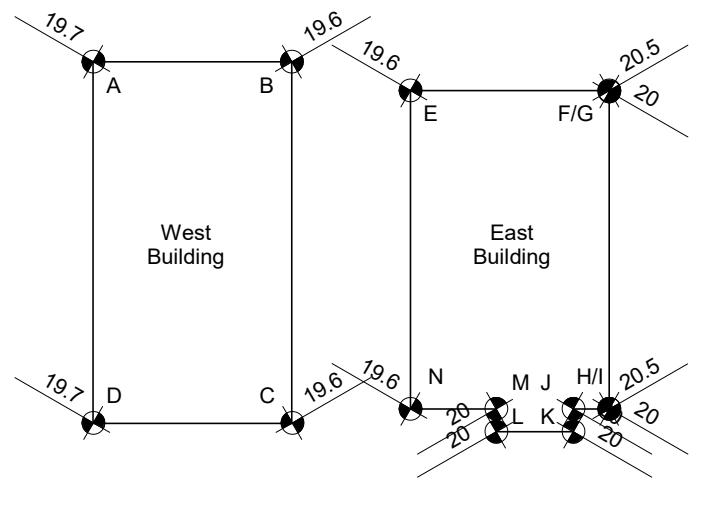
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RNWOOD OWNHOMES

FRAME

Average Grade Calculations

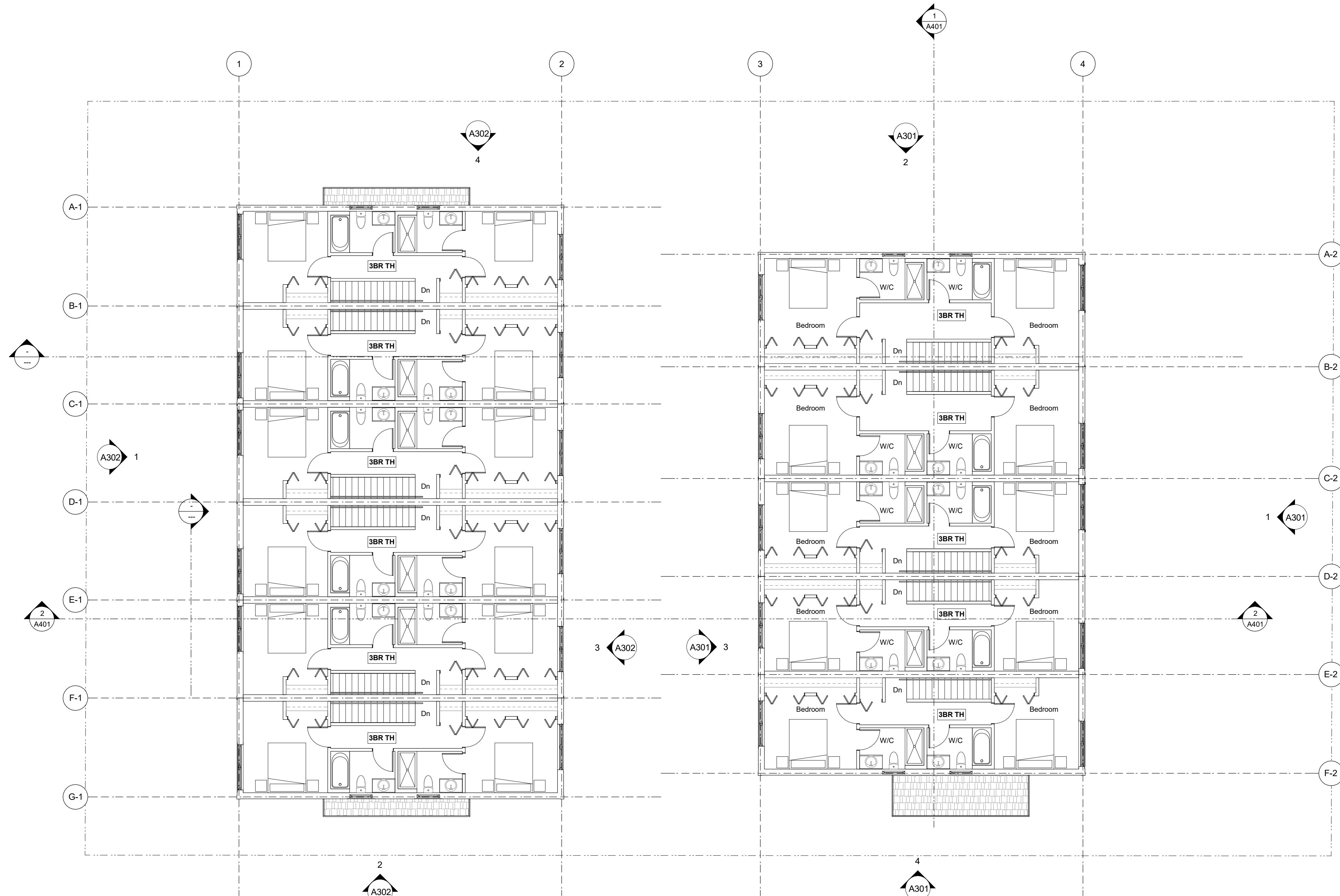


West Bldg	Grade	Points		Avg of Points	x	Distance		Total
Grade Point A - 19.7	Points A - B	$((19.7+19.6)/2)=19.65$	x	13.1	=	257.1		
Grade Point B - 19.6	Points B - C	$((19.6+19.6)/2)=19.6$	x	23.9	=	468.4		
Grade Point C - 19.6	Points C - D	$((19.7+19.6)/2)=19.65$	x	13.1	=	257.1		
Grade Point D - 19.7	Points D - A	$((19.7+19.7)/2)=19.7$	x	23.9	=	470.0		
						1454		

West Bldg Grade Calculation						
1454.09/74 (Perimeter)	= 19.65m					
East Bldg						
Grade Point E - 19.6	Points E - F	$((19.6+20.5)/2)=20.05$	x 13.1	=	262.0	
Grade Point F - 20.5	Points G - H	$((20+20)/2)=20$	x 21	=	420	
Grade Point G - 20	Points I - J	$((20.5+20)/2)=20.25$	x 2.3	=	46.5	
Grade Point H - 20	Points J - K	$((20+20)/2)=20$	x 1.5	=	30	
Grade Point I - 20.5	Points K - L	$((20+20)/2)=20$	x 5.1	=	102	
Grade Point J - 20	Points L - M	$((20+20)/2)=20$	x 1.5	=	30	
Grade Point K - 20	Points M - N	$((20+19.6)/2)=19.8$	x 5.7	=	112.6	
Grade Point L - 20	Points N - A	$((19.6+19.6)/2)=19.6$	x 21	=	411.6	
Grade Point M - 20					1415	

East Bldg Grade Calculation
1415.68/71.2 (Perimeter) = 19.88r

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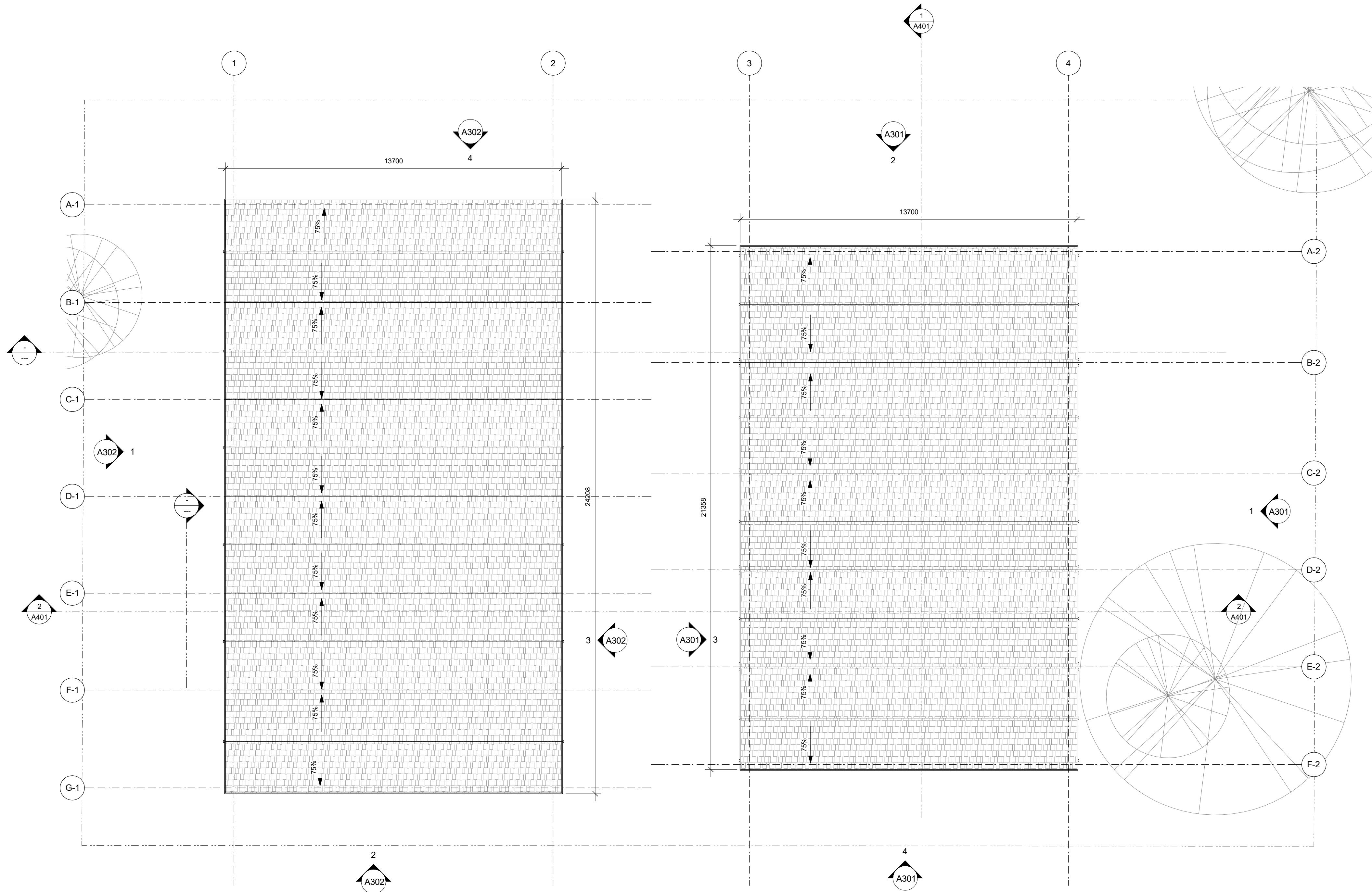
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WOOD HOMES

2542 Shelbourne
Victoria, BC

WITHOUT WRITTEN CONSENT

PROPER TIME

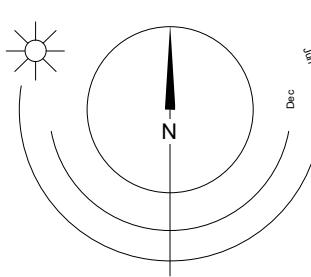


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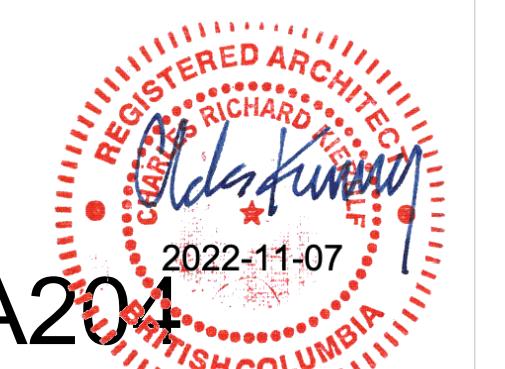
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FERNWOOD
TOWNHOMES
2540 & 2542 Shelbourne
Street, Victoria, BC
Roof Plan

dHKa
A201



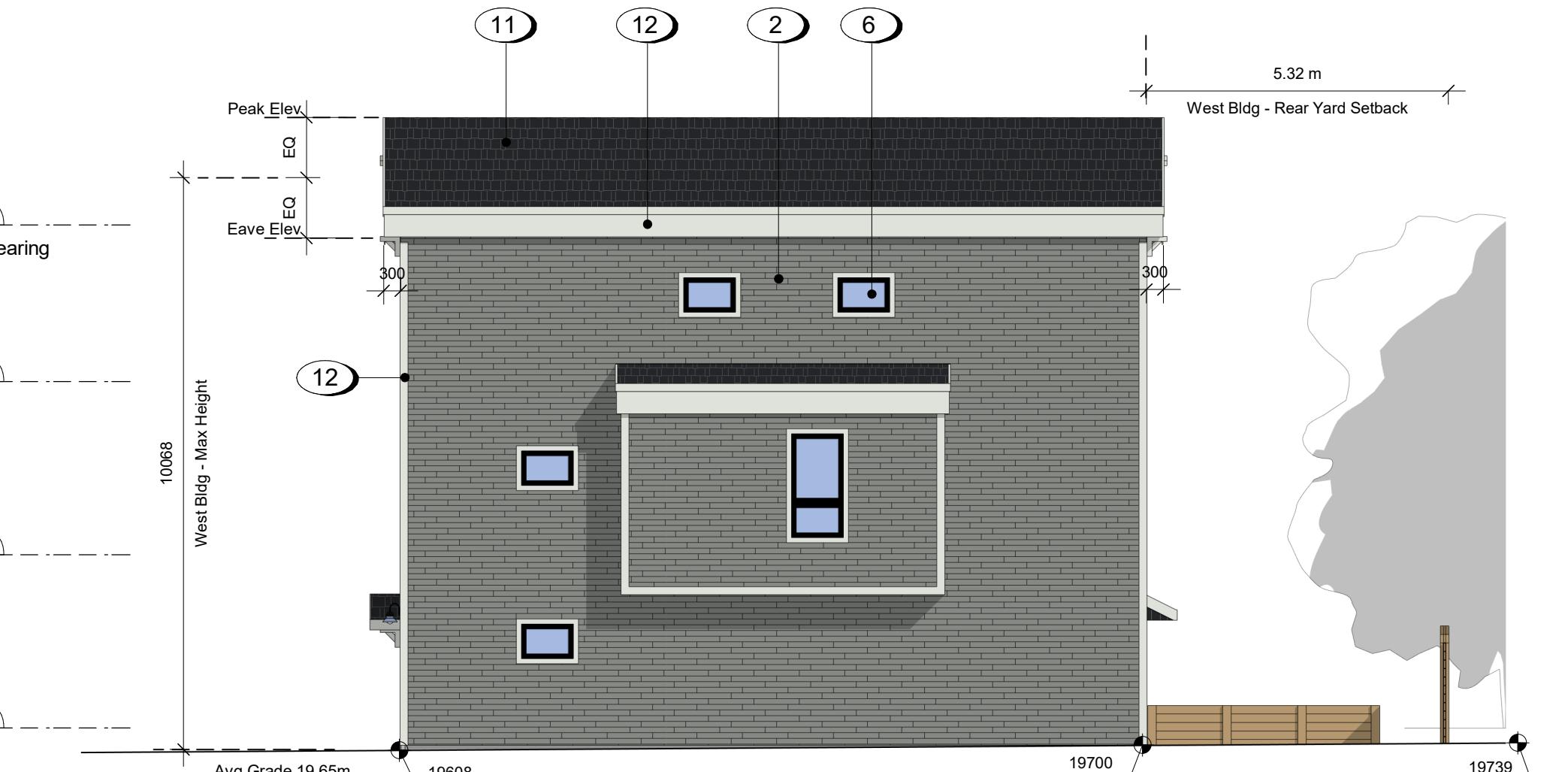
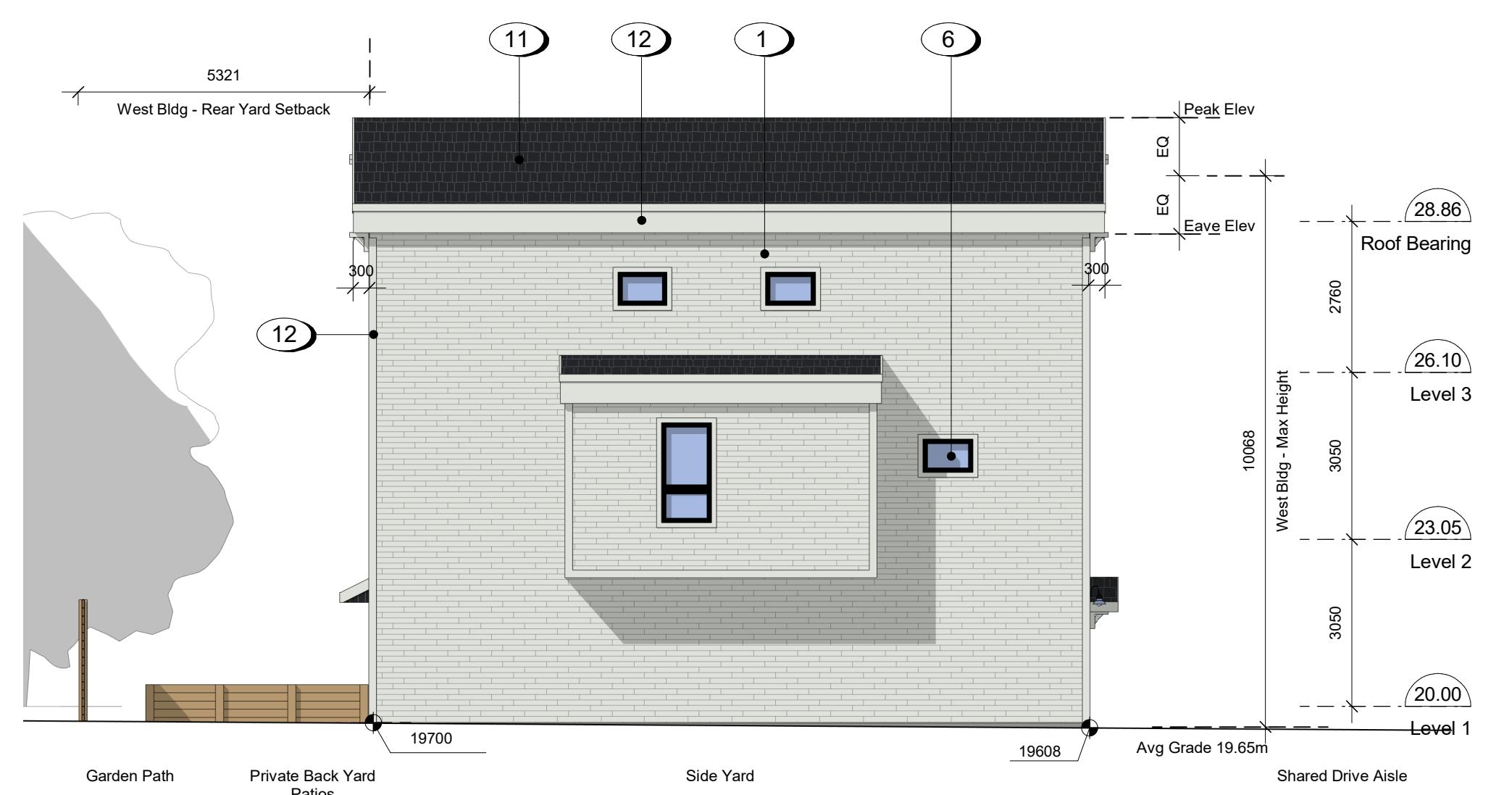
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REGISTERED ARCHITECT
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102-5190 Dublin Way V9T 0H2 T 1-250-658-3367
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- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim
- 13 Wood Tone Finish
- 14 Pickets - Pre-finished Aluminum



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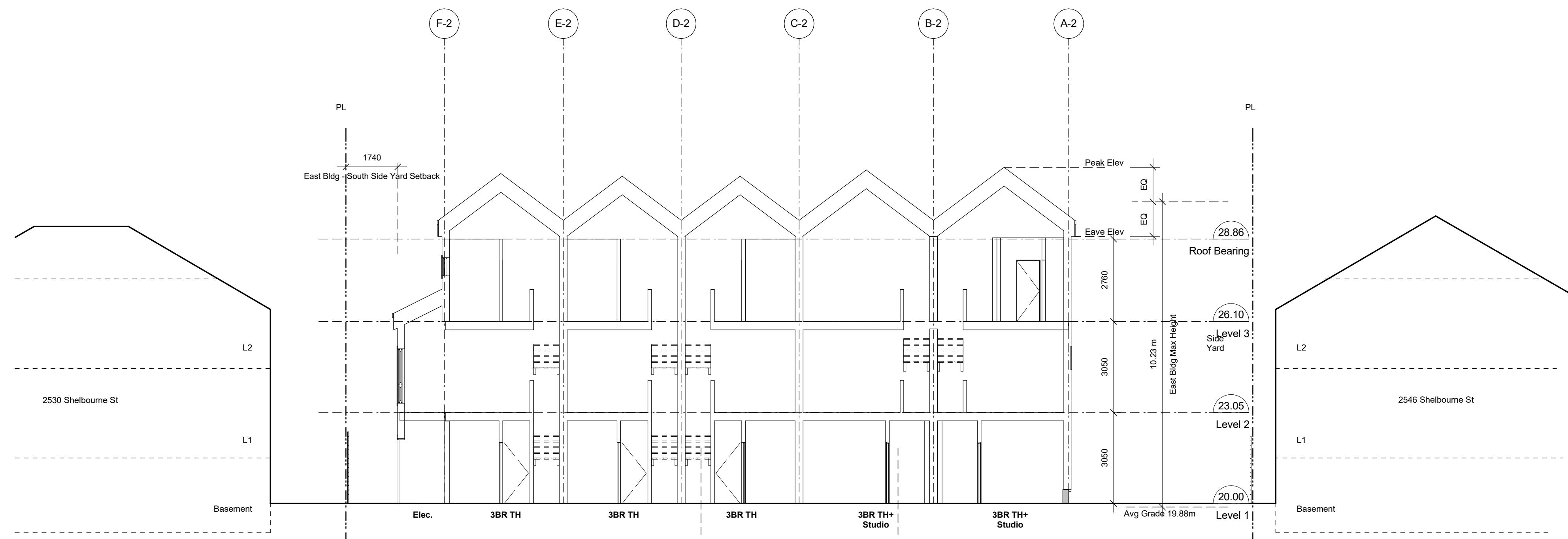
**FERNWOOD
TOWNHOMES**
2540 & 2542 Shelbourne
Street, Victoria, BC
West Building
Elevations



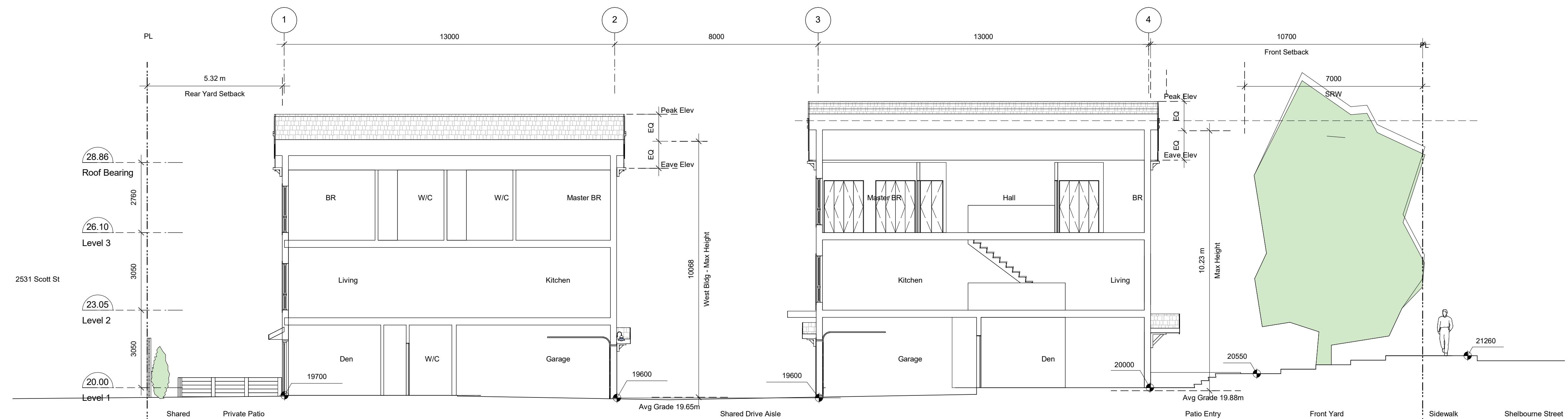
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1 South to North Site Section
A401 SCALE: 1 : 100



2 West to East Site Section
A401 SCALE: 1 : 100

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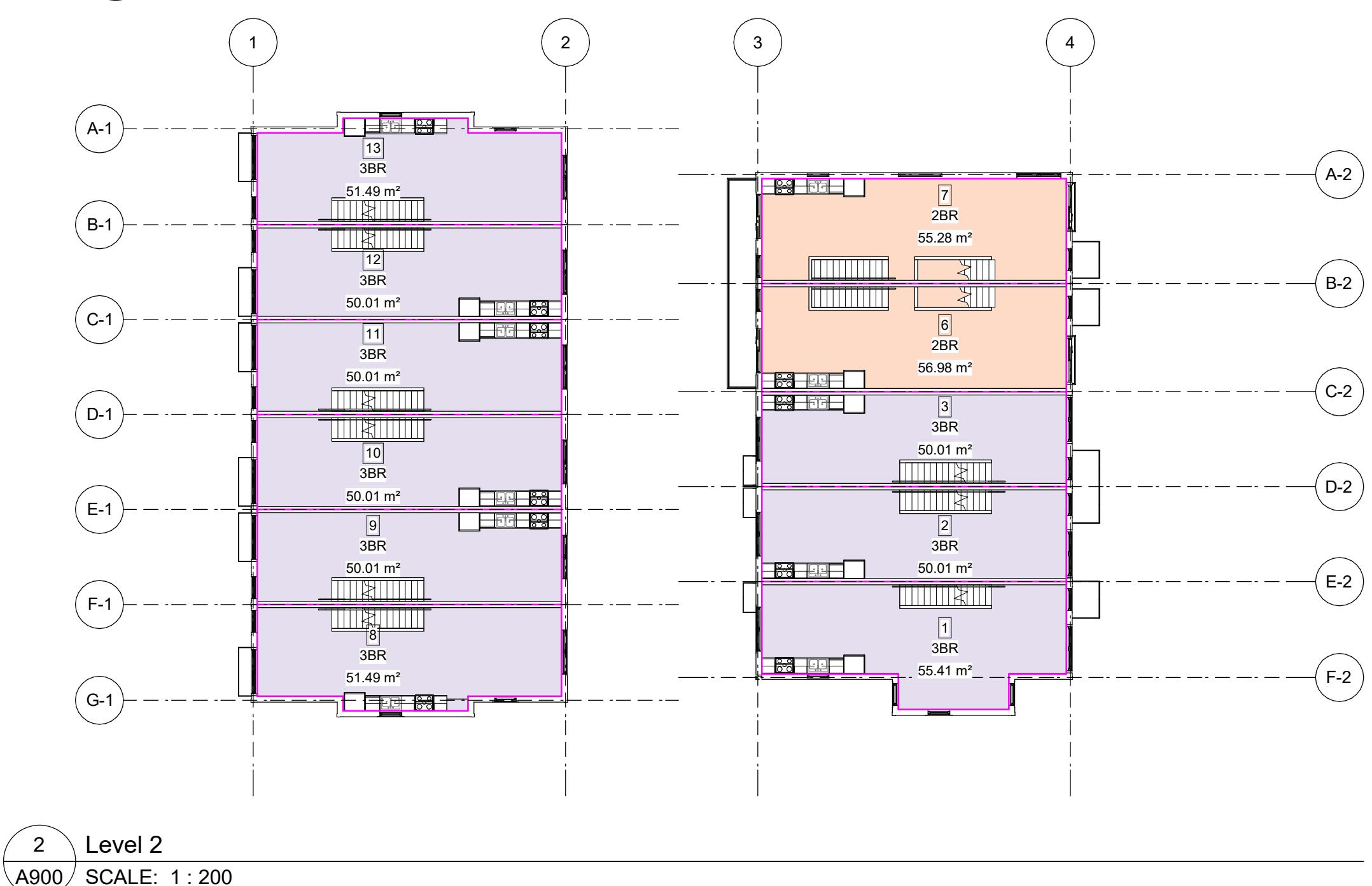
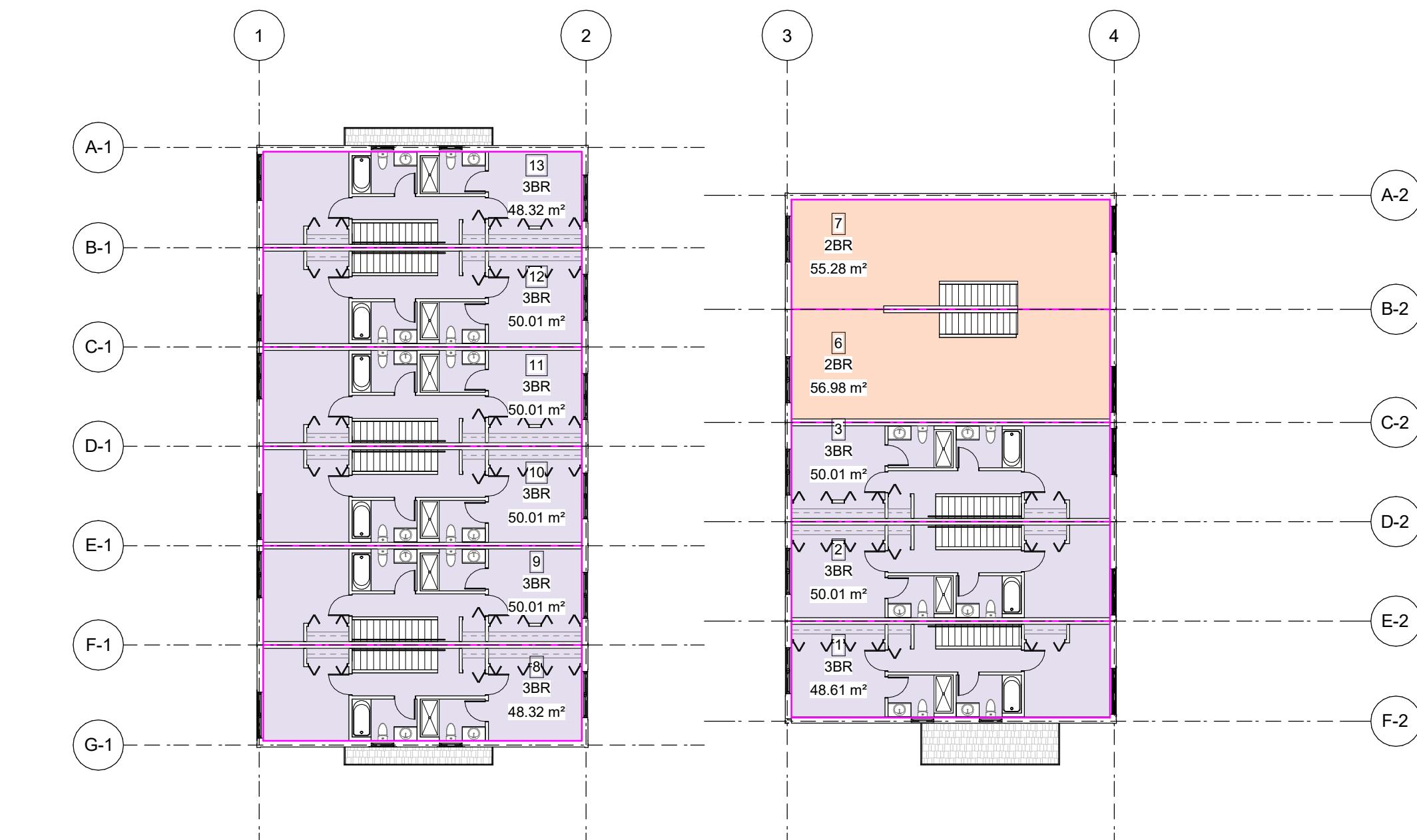
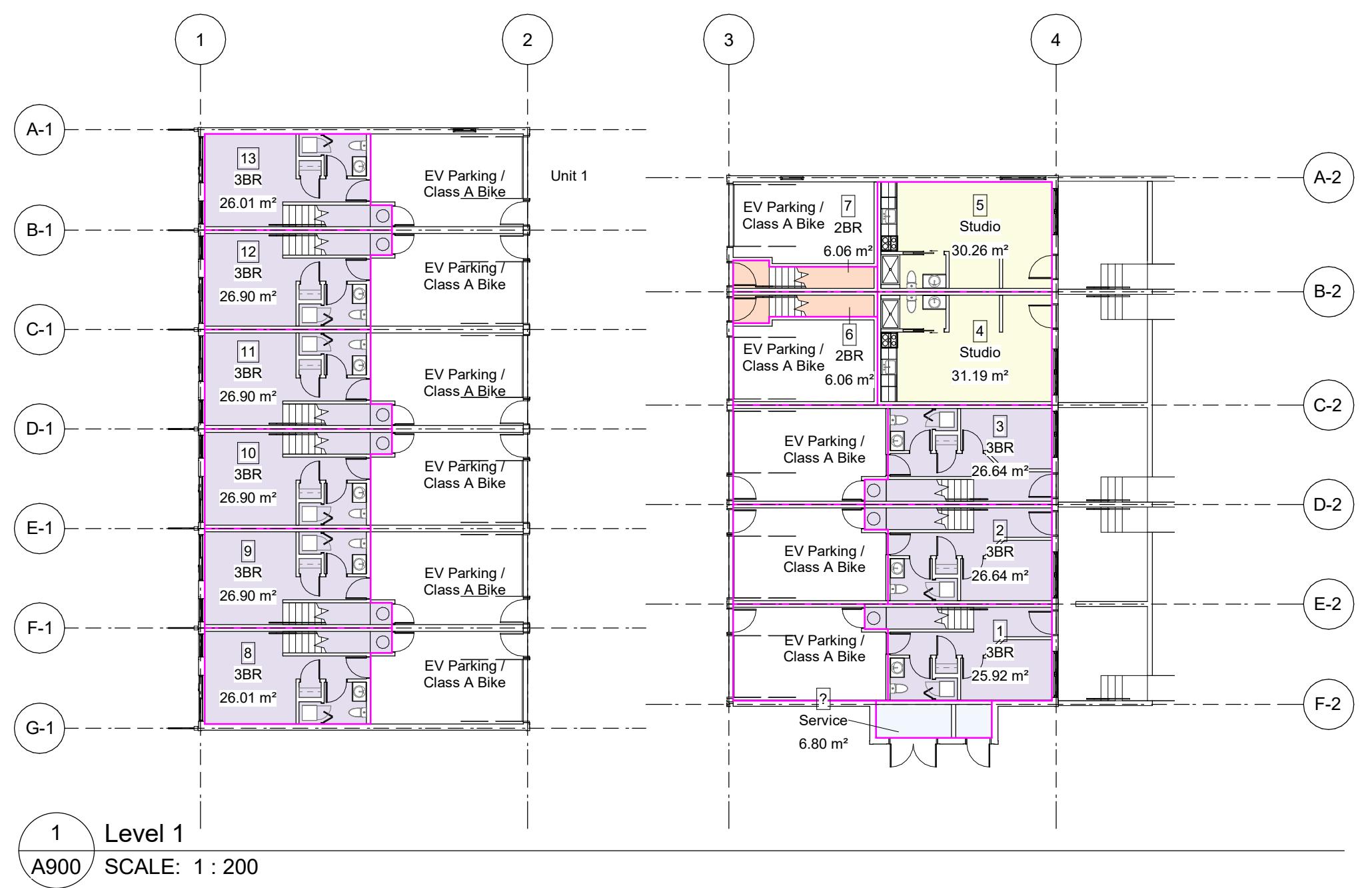
FERNWOOD TOWNHOMES
2540 & 2542 Shelbourne Street, Victoria, BC
Site Sections



2022-11-07

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Area Schedule (FAR Contributing)		Area Schedule (FAR Contributing)		Area Schedule (FAR Contributing)		Area Schedule (FAR Contributing)	
Unit Type	Area	Unit Type	Area	Unit Type	Area	Unit Type	Area
Service	6.80 m ²	Unit 4	Studio 31.19 m ²	Unit 8	3BR 26.01 m ²	Unit 11	3BR 26.90 m ²
	6.80 m ²		3BR 48.32 m ²	3BR 50.01 m ²	3BR 50.01 m ²	3BR 50.01 m ²	
Unit 1	3BR 25.92 m ²	Unit 5	Studio 30.26 m ²	Unit 9	3BR 26.90 m ²	Unit 12	3BR 26.90 m ²
3BR 48.61 m ²	30.26 m ²	3BR 50.01 m ²	3BR 50.01 m ²	3BR 50.01 m ²	3BR 50.01 m ²	3BR 50.01 m ²	
3BR 55.41 m ²	129.94 m ²	Unit 6	2BR 6.06 m ²	Unit 10	3BR 26.90 m ²	Unit 13	3BR 26.01 m ²
		2BR 56.98 m ²	2BR 56.98 m ²	3BR 50.01 m ²	3BR 48.32 m ²	3BR 50.01 m ²	
Unit 2	3BR 26.64 m ²	Unit 7	2BR 6.06 m ²	2BR 55.28 m ²	2BR 55.28 m ²	3BR 50.01 m ²	
3BR 50.01 m ²	120.01 m ²	3BR 50.01 m ²	116.62 m ²	3BR 50.01 m ²	126.93 m ²	3BR 51.49 m ²	
3BR 50.01 m ²	126.67 m ²					3BR 125.82 m ²	
		Unit 3	3BR 26.64 m ²	Unit 13	3BR 26.01 m ²	Grand total: 36 1447.51 m ²	
		3BR 50.01 m ²	3BR 50.01 m ²	3BR 50.01 m ²	3BR 126.93 m ²		
		3BR 50.01 m ²					

AREA CALCULATIONS	
SITE AREA:	1,526 m ² (16,426 s.f.)
TOTAL PROPOSED:	1,447 m ² (15,575 s.f.)
FLOOR SPACE RATIO:	0.95 : 1 FSR
SITE COVERAGE	39%
OPEN SITE SPACE	35%

Plot Date 2022/10/24 Drawing File

Drawn By Author Checked By

Scale 1:200 Project Number

NOTE: All dimensions are shown in millimeters.

FERNWOOD TOWNHOMES
2540 & 2542 Shelbourne Street, Victoria, BC
Area Plans



2022-11-07

2022-11-07

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