

2540 - 2542 SHELBOURNE STREET



2 North West View Across Shelbourne Street  
A000



4 South West View Across Shelbourne Street  
A000

PROJECT DESCRIPTION

CIVIC ADDRESS:  
2540 - 2542 SHELBOURNE STREET  
VICTORIA, BC

LEGAL DESCRIPTION:  
LOT 9 AND AMENDED LOT 10 (DD141161)  
BLOCK 6, SECTION 8A VICTORIA DISTRICT PLAN 881A

ZONING BYLAW SUMMARY

BUILDING DESCRIPTION:  
Group C, 3 Storey Wood Construction

USES:  
Residential Townhomes

EXISTING ZONE:  
R1-B

PROPOSED ZONE:  
TBD

SITE AREA:  
1,526m<sup>2</sup> (16,426 s.f.)

FLOOR AREAS  
TOTAL PROPOSED: 1,447 m<sup>2</sup> (15,575 s.f.)

FLOOR SPACE RATIO: 0.95 : 1 FSR

SITE COVERAGE: 39%

OPEN SITE SPACE: 35%

GRADE OF BUILDING:  
West Bldg 19.65m  
East Bldg 20m  
(See Site Plan for Avg Grade Calculation)

HEIGHT OF BUILDING:  
West Bldg 10.07m  
East Bldg 10.23m

NUMBER OF STOREYS: 3 STOREYS

RESIDENTIAL PARKING: 13 stalls (incl. 2 visitor)

BICYCLE PARKING: 13 Class 1/EV Ready (in suite)  
12 Short term (rack)

SETBACKS:

Setback  
FRONT (Street): West Bldg 31.8m East Bldg 10.7m  
REAR: 5.3m 26.42m  
SIDE (North): 3.58m 6m  
SIDE (South): 1.57m 1.87m  
COMBINED SIDE: 5.25m 7.67m

SUITE COMPOSITION:  
TOTAL: 13 SUITES  
2 Bed 2  
3 Bed 9  
Studios 2  
Ground-Orientated Units 13  
Minimum Unit Floor Area 30.26m<sup>2</sup>

BUILDING CODE SUMMARY:

BCBC Part 3, Group C, 3 Storey Wood Construction

All material specifications, details and construction methods to conform to local by-laws and British Columbia Building Code (BCBC).

PROJECT DIRECTORY

DEVELOPER  
Frame Properties  
541 Cornwall Street  
Victoria, B.C.  
V8V 4K9

ARCHITECT  
dHArchitects  
977 Fort Street  
Victoria, B.C.  
V8V 3K3  
P: (250) 658.3367

LANDSCAPE CONSULTANT  
LADR Landscape Architects Inc.  
3-884 Queens Avenue, Street Level,  
Victoria, BC, V8T 1M5  
P: (250) 596.0105

DRAWING LIST

A000	COVER SHEET / PROJECT DATA
A001	SURVEY
A002	SHADOW STUDY
A101	SITE PLAN
A201	L1 PLAN
A202	L2 PLAN
A203	L3 PLAN
A204	ROOF PLAN
A301	ELEVATIONS
A302	ELEVATIONS
A303	STREET ELEVATION
A401	SECTIONS
A900	AREA PLANS
L001	LANDSCAPE PLAN

ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM	ROOM NAME & ROOM NUMBER
[201]	
[101a]	DOOR NUMBER See Door Schedule
[W-10]	WINDOW NUMBER See Window Schedule
[W1]	WALL TYPE See Assemblies Schedule
[2.0 hr]	RATED WALL DESIGNATION
[00.00]	ELEVATION DATUM
[2440]	CEILING HEIGHT
[Pattern]	AREA OF DROP CEILING
[1]	KEYNOTE SYMBOL
[12]	MATERIAL TAG
[A901]	INTERIOR ELEVATION REFERENCE
[W1 C1 F1 B1]	ROOM FINISHES



LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	H/W	Hardware	STN	Stain(ed)
AL	Aluminum	INSUL	Insulated	STNT	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
Conc	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	TID	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	O/H	Overhead	TGL	Tempered Glass
CT	Ceramic Tile	OW	Operable Window	TLGL	Translucent Glass
CW	Complete With	PF	Prefinished	TOC	Top of Concrete
DD	Deck Drain	PLAM	Plastic Laminate	TOD	Top of Drain
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FD	Floor Drain	PTDW	Paper Towel Dispenser / Waste	TP	Toilet Paper
FEC	Fire Extinguisher Cabinet	RA	Rubber Base	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FEE	Finished Floor Elevation	RES	Resilient Flooring	UNO	Underside of...
FG	Finished Grade	RD	Roof Drain	VCT	Vinyl Composition Tile
GB	Grab Bar	RD-P	Roof Drain - Planter	VI	Vision Glass
GBL	Glass Block	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
GL	Glass	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
GWG	Georgian Wire Glass	SCW	Solid Core Wood	WVC	Vinyl Wall Covering
GWB	Gypsum Wallboard	SD	Soap Dispenser	WC	Water Closet
HC	Hollow Core	SL	Sealer	WD	Wood
HCW	Hollow Core Wood	SP	Spandrel Glass	WPM	Waterproof Membrane
H/C	Handicap	SPC	Solid Particleboard Core	WRC	Water Repellent Coating
HM	Hollow Metal				

Revisions

Received Date:  
November 7, 2022

22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Project Data



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102-5190 Dublin Way V9T 0H2 T 1-250-658-3367  
V8V 3K3 T 1-250-658-3367

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**B.C. LAND SURVEYOR'S SITE PLAN OF:  
LOT 9 AND AMENDED LOT 10 (DD1481161), BLOCK 6, SECTION 8A,  
VICTORIA DISTRICT, PLAN 881A**

**LEGEND**

Elevations are geodetic based on integrated survey monument 26-43 in Victoria at elevation 17.768m.  
Note: Only trees with Trunk greater than 0.20m are identified. Consult Arborist to verify tree species.  
Grade shots are taken at the point marked X.  
Contours are descriptive, and only accurate to +/- 0.5m interval.

- denotes Lead Plug found
- denotes Utility Pole
- denotes Water meter
- ⊥ denotes Sign
- denotes catch basin
- MFE - denotes Main Floor Elevation (Doorsill)
- \*\*\* denotes retaining wall (T=Top)
- \* denotes irrigation

Refer to arborist report for tree info.

**Parcel Identification Number (PID)**  
000-040-339 (LOT 9) AND 002-618-541 (AMD LOT 10)  
**TOTAL SITE AREA**  
1526 m<sup>2</sup>  
**MUNICIPALITY**  
VICTORIA  
**CIVIC ADDRESS**  
2540 AND 2542 SHELBOURNE STREET  
VICTORIA, BC  
**ZONING**  
R1-B

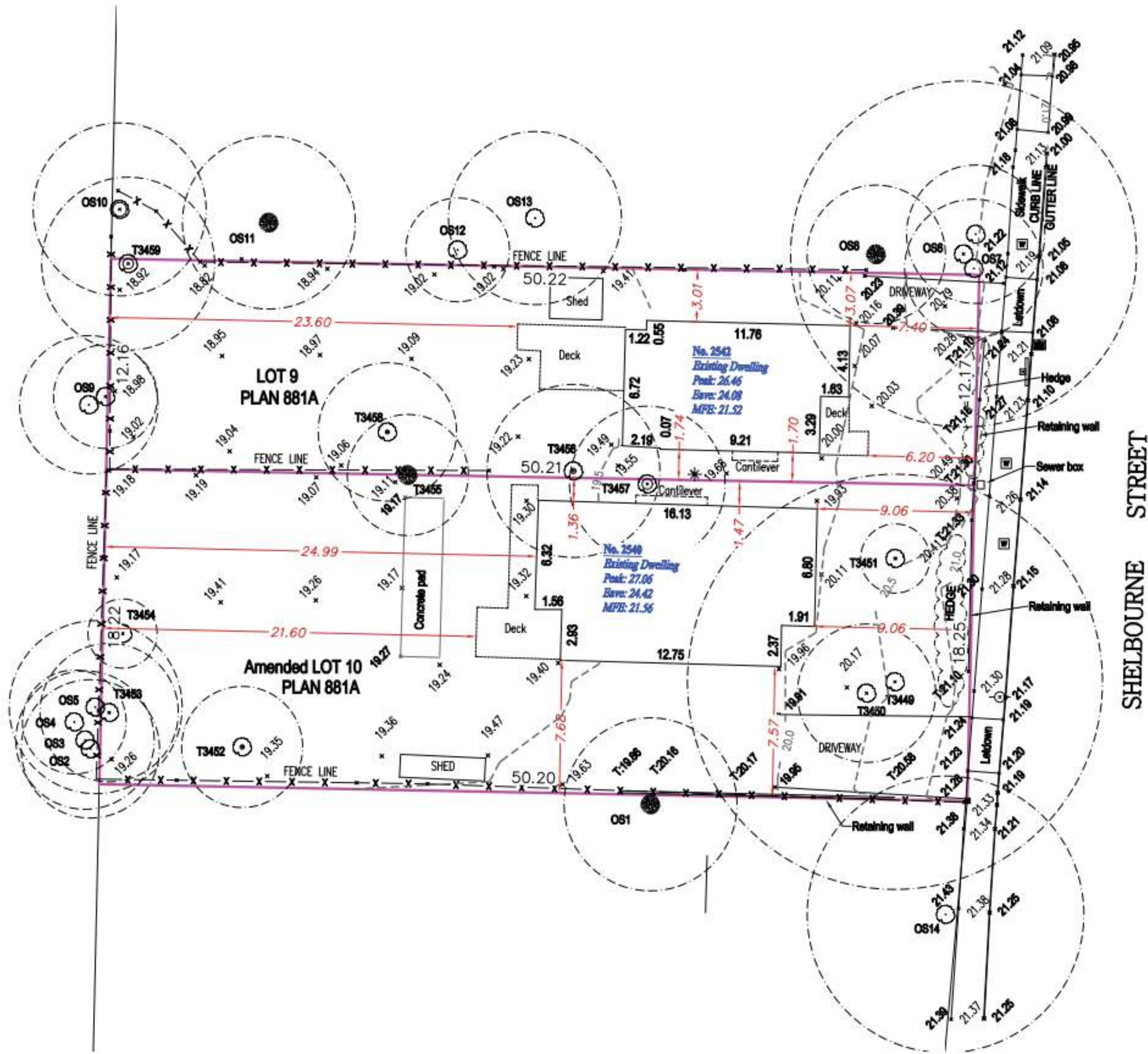
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Undersurface charges and covenant will not be shown on this survey unless such documents are provided and can be shown in two-dimensional view.

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**SCALE:**

0 1:200 10  
All distances are in metres.  
The intended plot size of this plan is 610mm in width by 457mm in height (C-size) when plotted at a scale of 1:200.



**CERTIFIED CORRECT**

Lot dimensions are correct according to Land Title Office records.  
Kenneth  
Ng  
F8NUM8

Kenneth KC Ng, BCLS  
Field Survey - 8 March, 2022  
Dated this 17th of March, 2022.

This document is not valid unless originally signed and sealed or digitally signed with Arbutus digital signature.  
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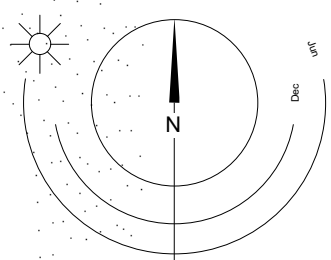
**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Survey



3 Shadow Study - Equinox 12PM  
A002 / SCALE: 1 : 300



4 Shadow Study - Summer Solstice 12PM  
A002 / SCALE: 1 : 300





1 North West View On Shelbourne Street  
A003 SCALE:



2 Shelbourne Street - Site Access  
A003 SCALE:



7 Shelbourne Street - Patio Entries  
A003 SCALE:



6 Shelbourne Street - Setback Landscaping  
A003 SCALE:

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**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**Perspective Views**

dHka



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4 West Elevation - Private Yard Access and Patios  
A004 SCALE:



3 West Elevation - Private Yard Access  
A004 SCALE:



2 East Elavtion - West Courtyard Entries  
A004 SCALE:

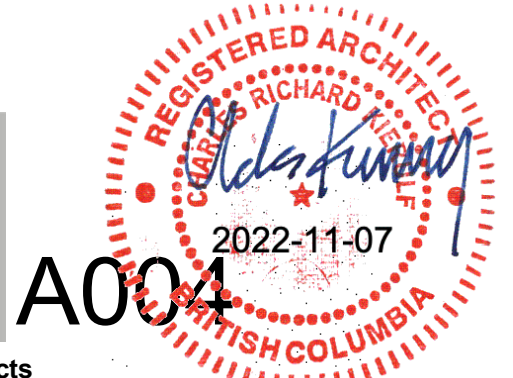
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TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**Perspective Views**

dHka

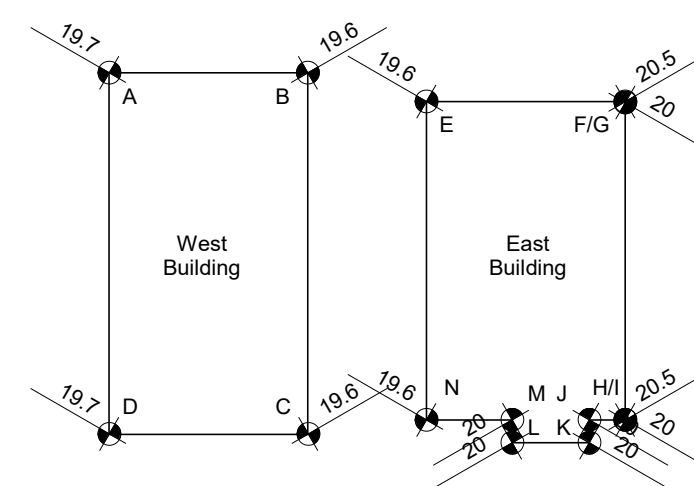


A004

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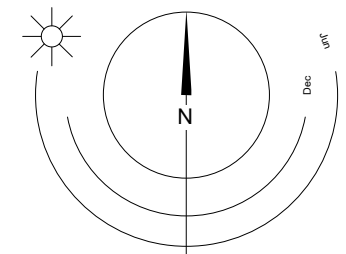
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Average Grade Calculations



West Bldg	Grade Points	Avg of Points	x	Distance	Totals
Grade Point A - 19.7	Points A - B	$((19.7+19.6)/2)=19.65$	x	13.1	= 257.41
Grade Point B - 19.6	Points B - C	$((19.6+19.6)/2)=19.6$	x	23.9	= 468.44
Grade Point C - 19.6	Points C - D	$((19.7+19.6)/2)=19.65$	x	13.1	= 257.41
Grade Point D - 19.7	Points D - A	$((19.7+19.7)/2)=19.7$	x	23.9	= 470.83
					1454.09
West Bldg Grade Calculation 1454.09/74 (Perimeter) = 19.65m					
East Bldg	Grade Points	Avg of Points	x	Distance	Totals
Grade Point E - 19.6	Points E - F	$((19.6+20.5)/2)=20.05$	x	13.1	= 262.65
Grade Point F - 20.5	Points G - H	$((20+20)/2)=20$	x	21	= 420
Grade Point G - 20	Points I - J	$((20.5+20)/2)=20.25$	x	2.3	= 46.57
Grade Point H - 20	Points J - K	$((20+20)/2)=20$	x	1.5	= 30
Grade Point I - 20.5	Points K - L	$((20+20)/2)=20$	x	5.1	= 102
Grade Point J - 20	Points L - M	$((20+20)/2)=20$	x	1.5	= 30
Grade Point K - 20	Points M - N	$((20+19.6)/2)=19.8$	x	5.7	= 112.86
Grade Point L - 20	Points N - A	$((19.6+19.6)/2)=19.6$	x	21	= 411.6
Grade Point M - 20					1415.68
Grade Point N - 19.6					
East Bldg Grade Calculation 1415.68/71.2 (Perimeter) = 19.88m					

SITE AREA AND COVERAGE  
SITE AREA: 1,526m<sup>2</sup>  
SITE COVERAGE: 39%  
OPEN SITE SPACE: 36%

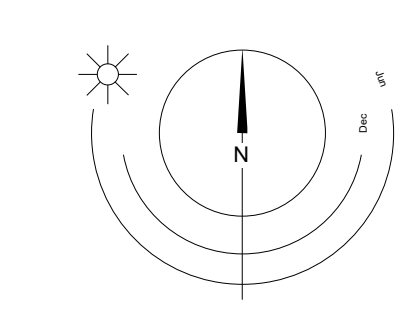


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TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Site Plan

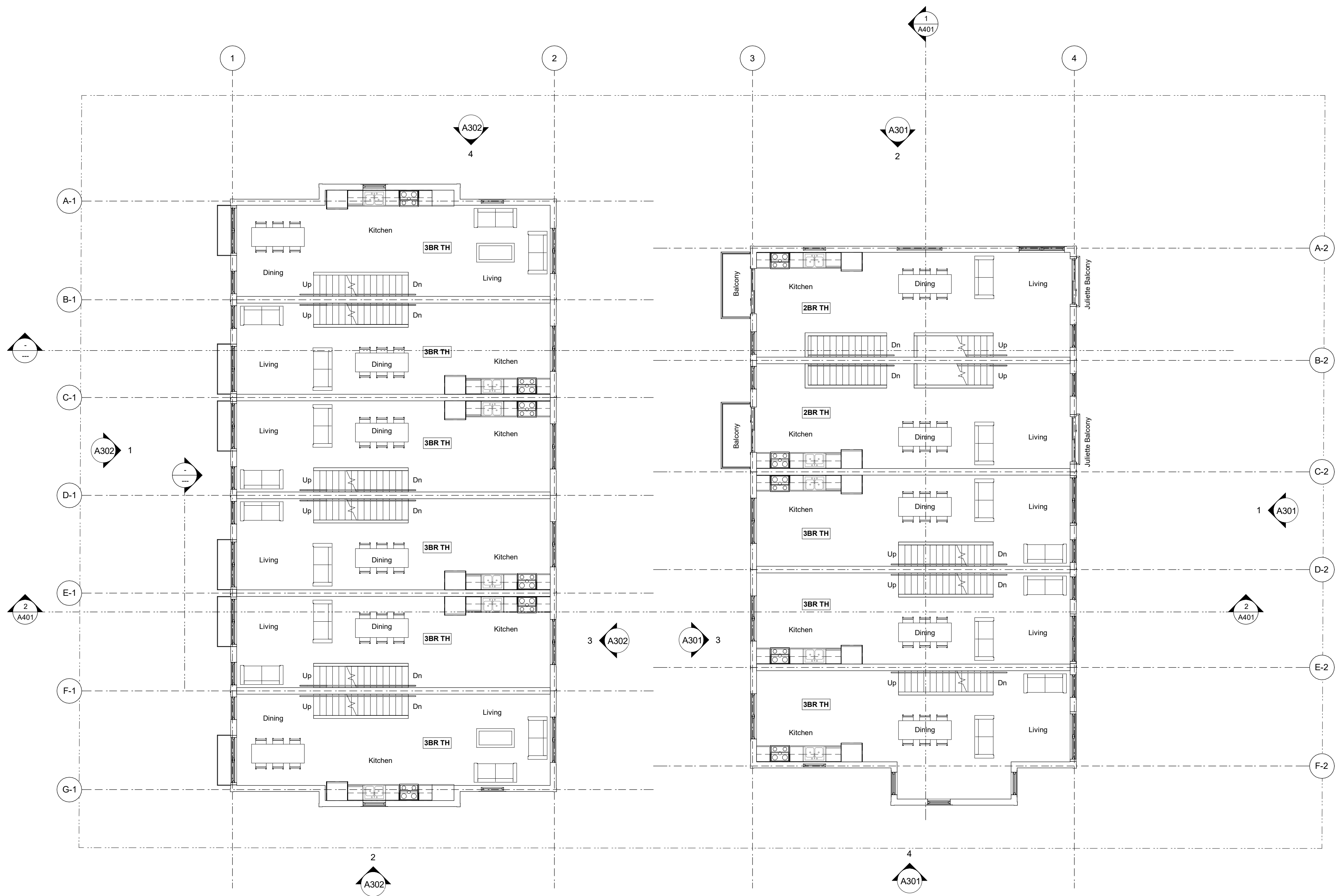
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A101  
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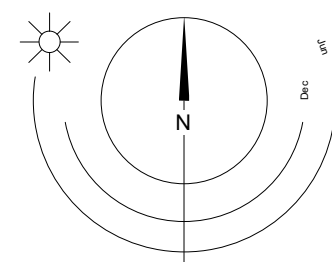
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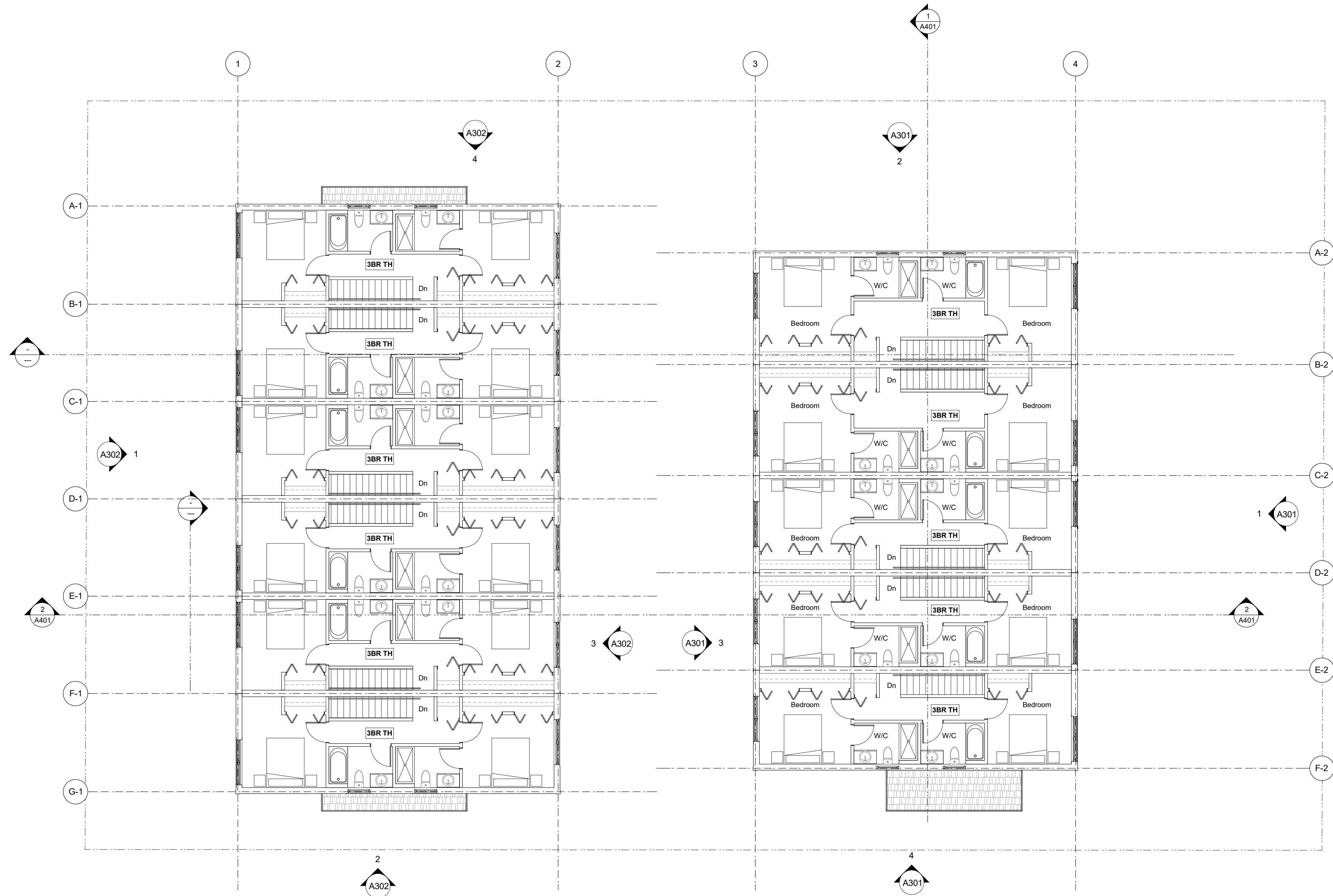
**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
L2 Plan



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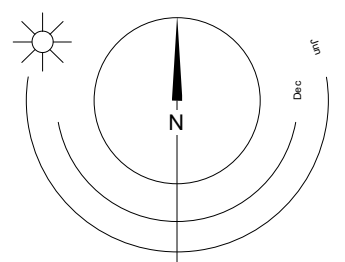
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TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
**L3 Plan**



0 2500 5000 mm  
1 : 100

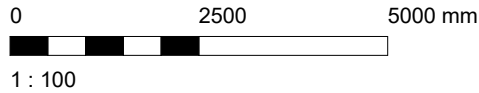
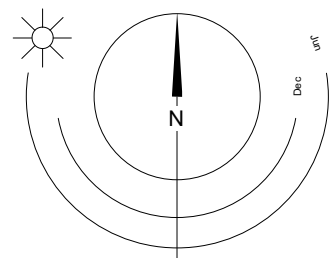
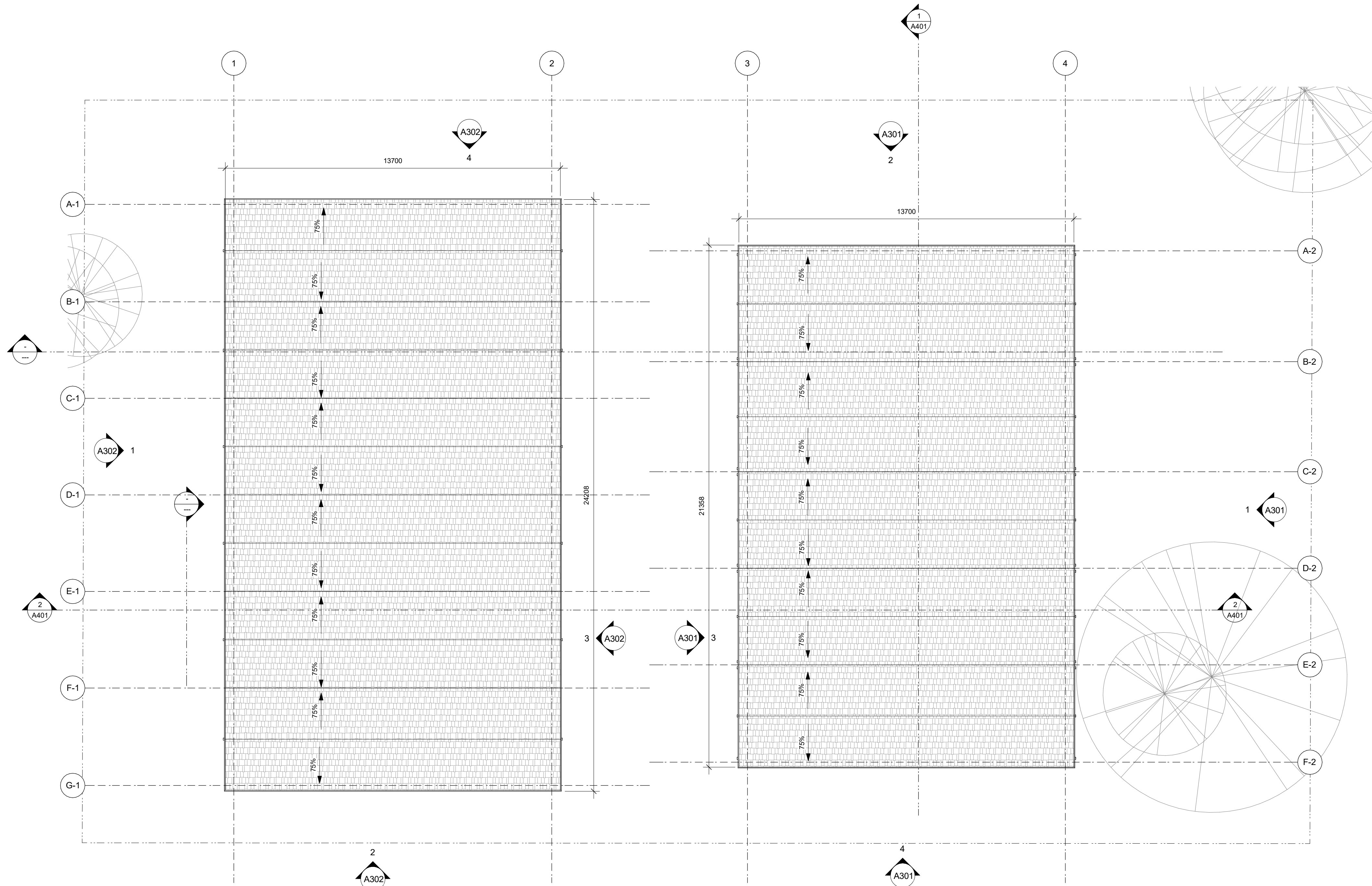
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**FRAME**  
P R O P E R T I E S

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FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Roof Plan

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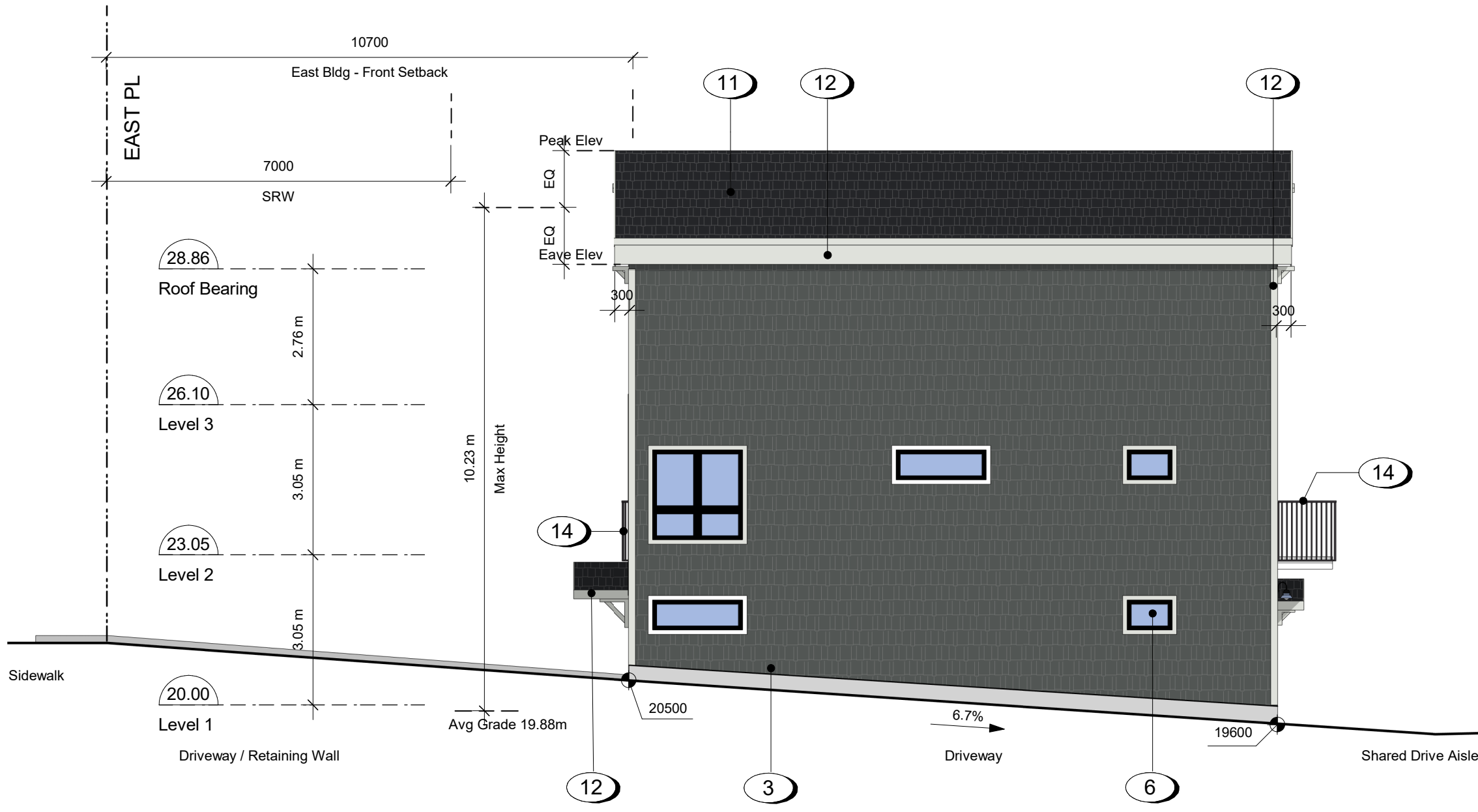


**A204**  
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1:100

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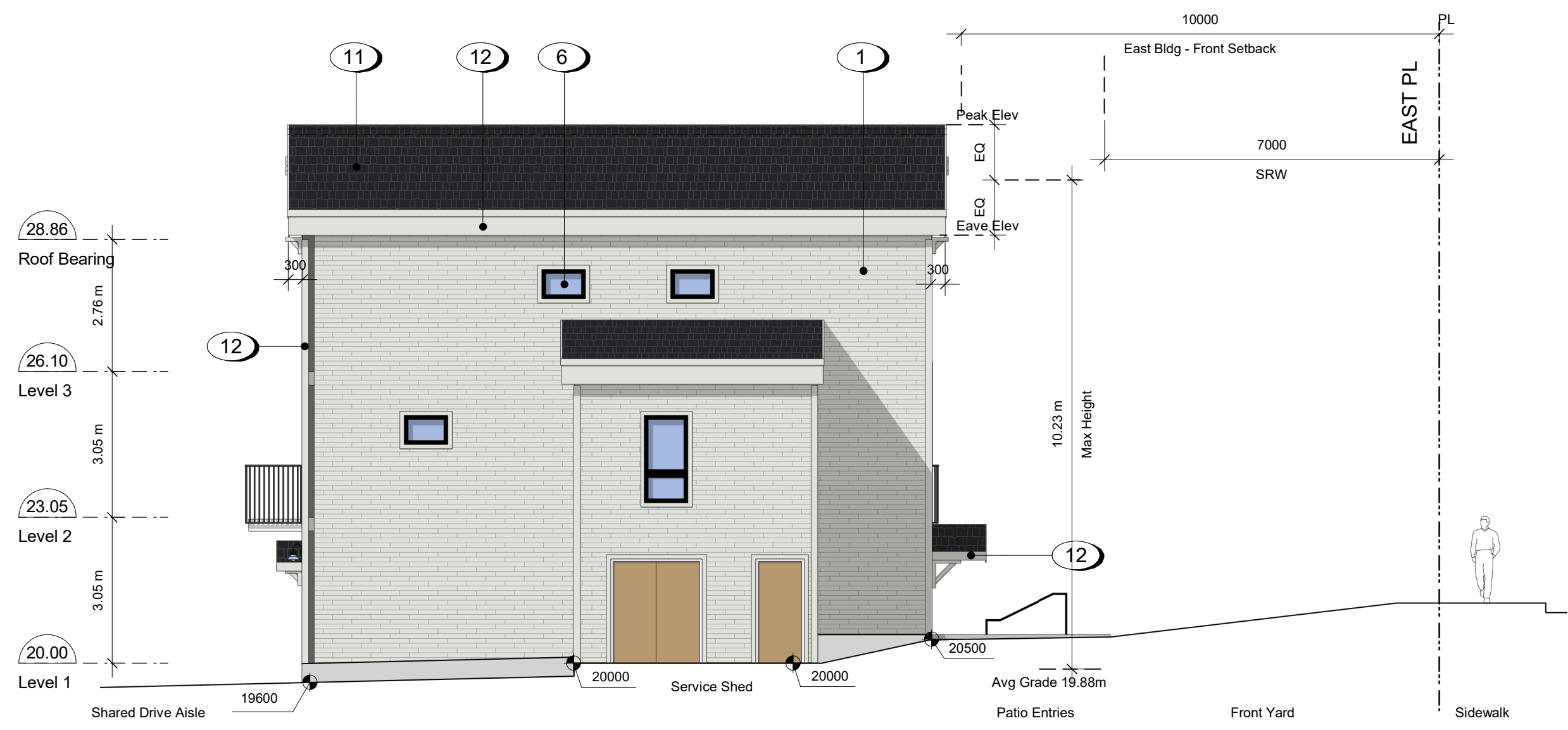
1 East Building - East Elevation  
A301 SCALE: 1 : 100



2 East Building - North Elevation  
A301 SCALE: 1 : 100



3 East Building - West Elevation  
A301 SCALE: 1 : 100



4 East Building - South Elevation  
A301 SCALE: 1 : 100

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
- 6 Windows - Prefinished Vinyl w/ Low-E Glazing
- 9 Doors - Prefinished Vinyl Sliding w/ Low-E Glazing
- 11 Asphalt Shingles - Black
- 12 Prefinished Fibre Cement Trim
- 13 Wood Tone Finish
- 14 Pickets - Pre-finished Aluminum

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Street, Victoria, BC  
East Building  
Elevations

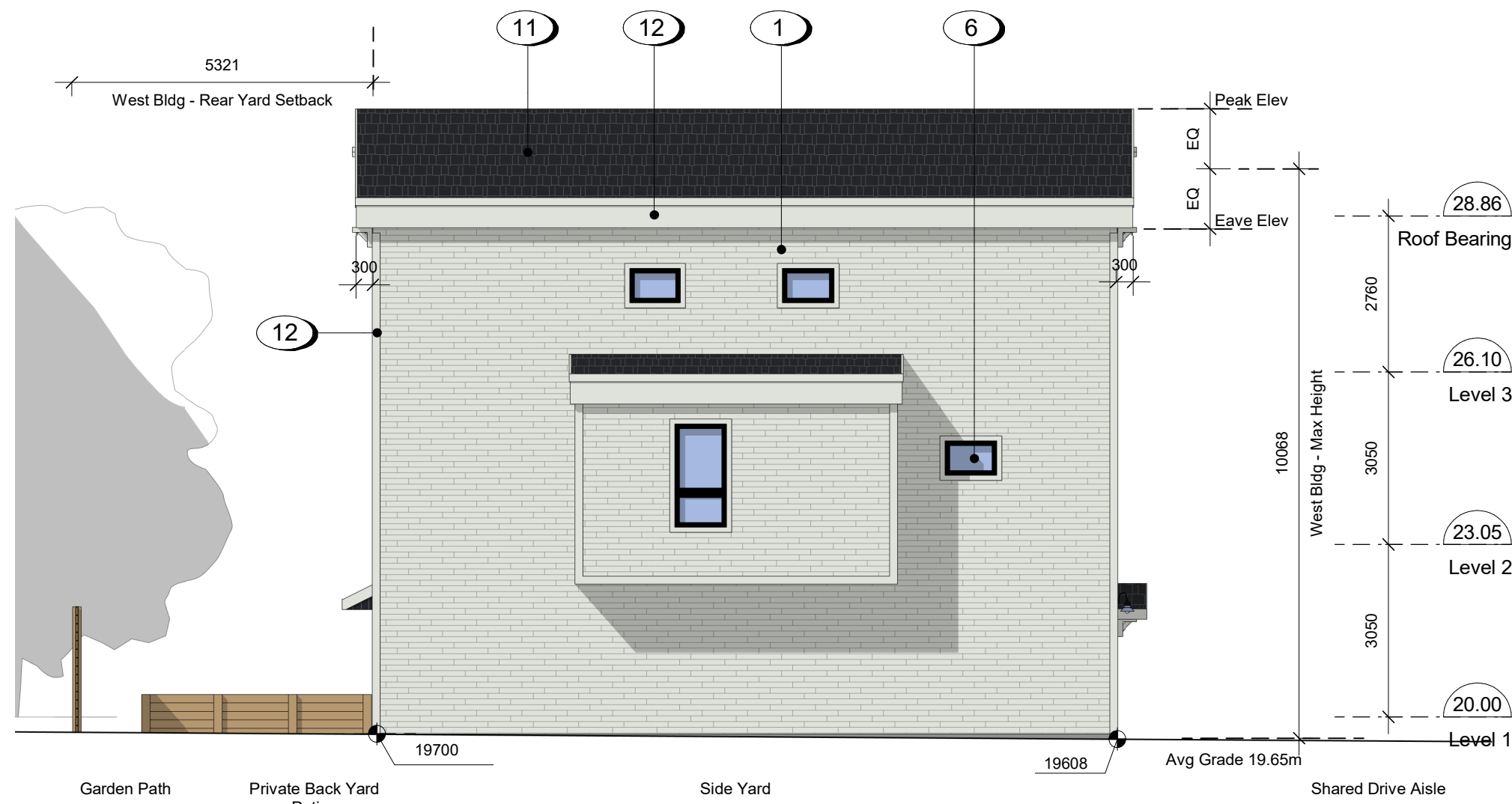


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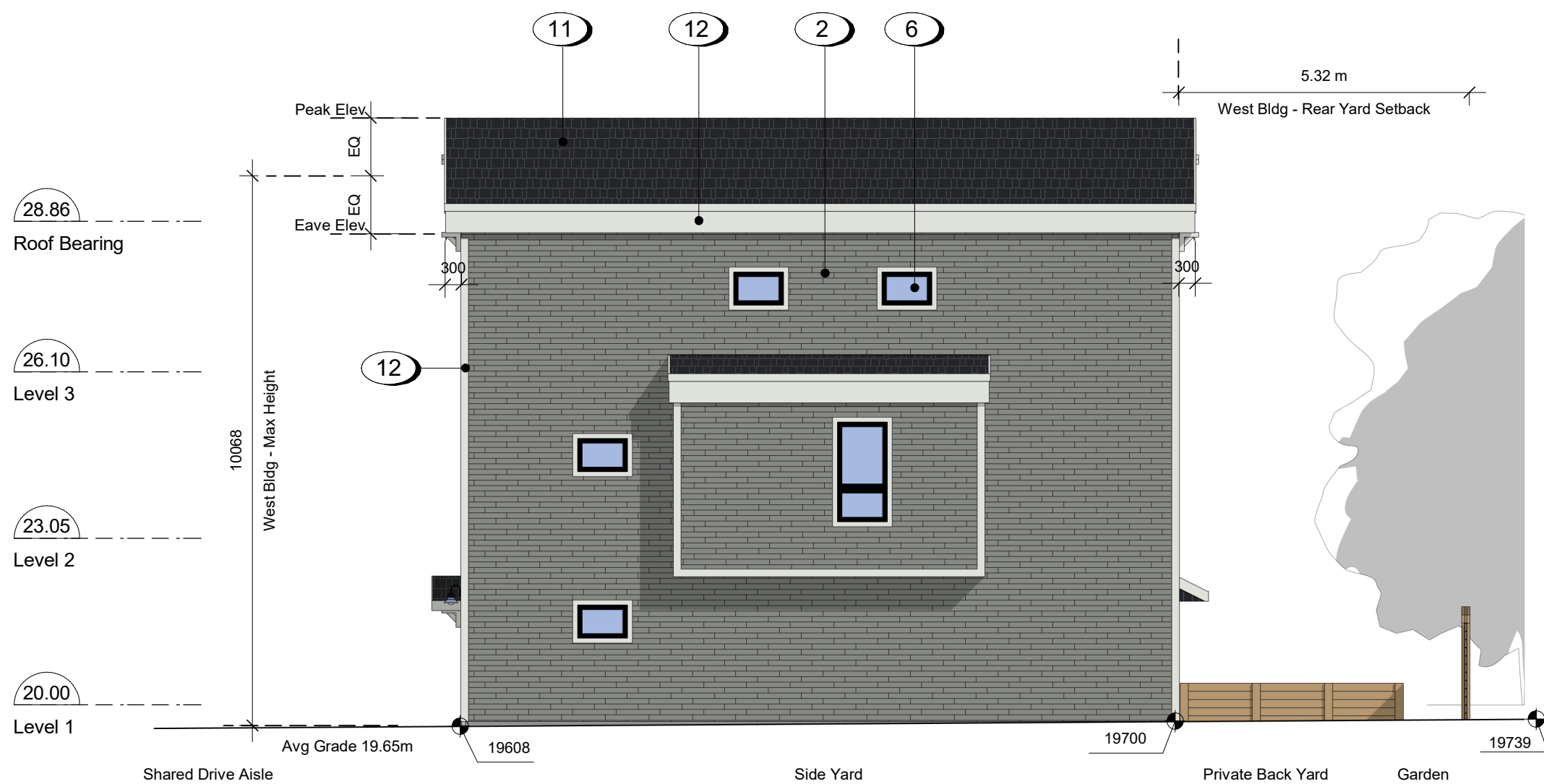
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A302 SCALE: 1 : 100



2 West Building - South Elevation  
A302 SCALE: 1 : 100



3 West Building - East Elevation  
A302 SCALE: 1 : 100



4 West Building - North Elevation  
A302 SCALE: 1 : 100

- 1 Fibre Cement Lap Siding - White
- 2 Fibre Cement Lap Siding - Slate Gray
- 3 Fibre Cement Shingles - Iron Gray
- 4 Fibre Cement Panels - White
- 5 Fibre Cement Panels - Slate Gray
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**FERNWOOD  
TOWNHOMES**  
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Street, Victoria, BC  
**West Building  
Elevations**



**A302**

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2524 Shelbourne St



2530 Shelbourne St



Side Yard

Private Entry

Private Entry

Private Entry

Private Entry

Private Entry

Drive Aisle / Site Access



2546 Shelbourne St

2550 Shelbourne St

1 East Elevation on Shelbourne Street  
A303 SCALE: 1 : 125

**FRAME**  
P R O P E R T I E S

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22/10/24  
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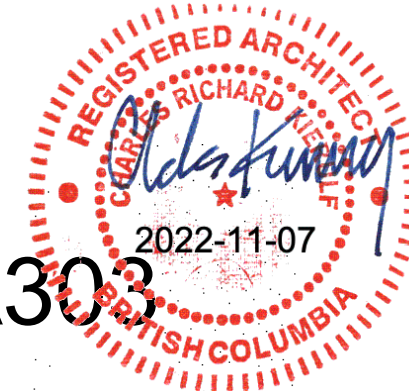
**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Street Elevation

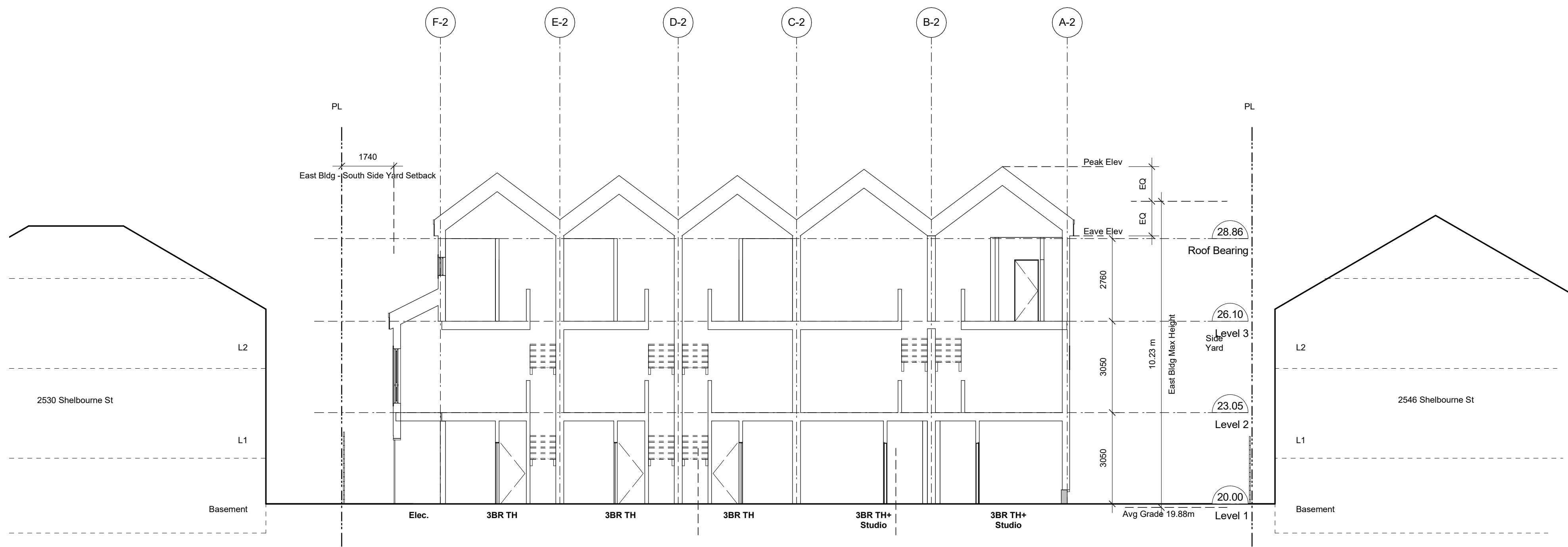
dHka

A303

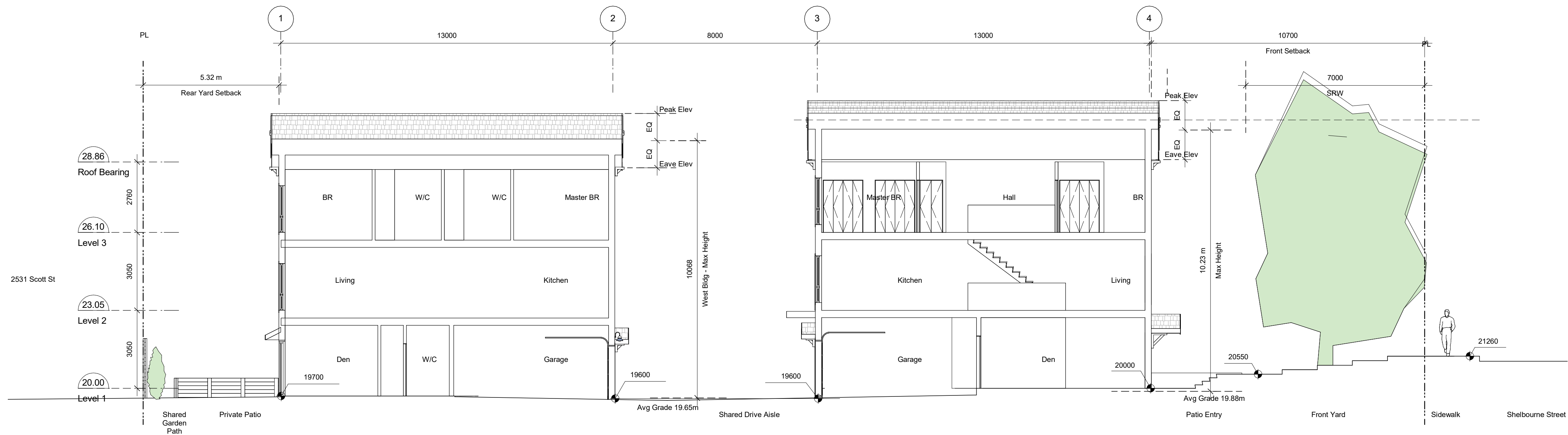
dHKarchitects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 South to North Site Section  
A401 SCALE: 1 : 100

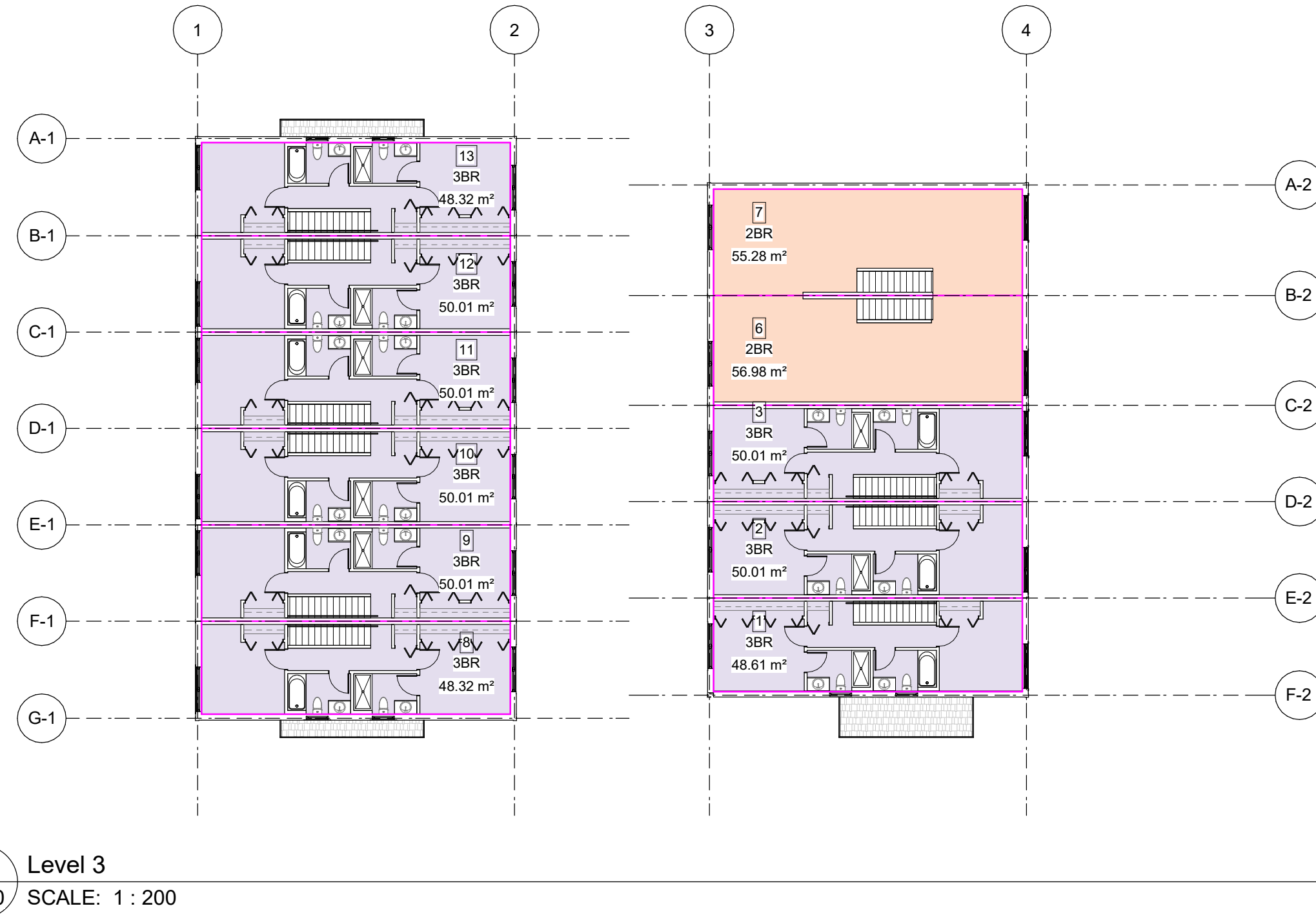
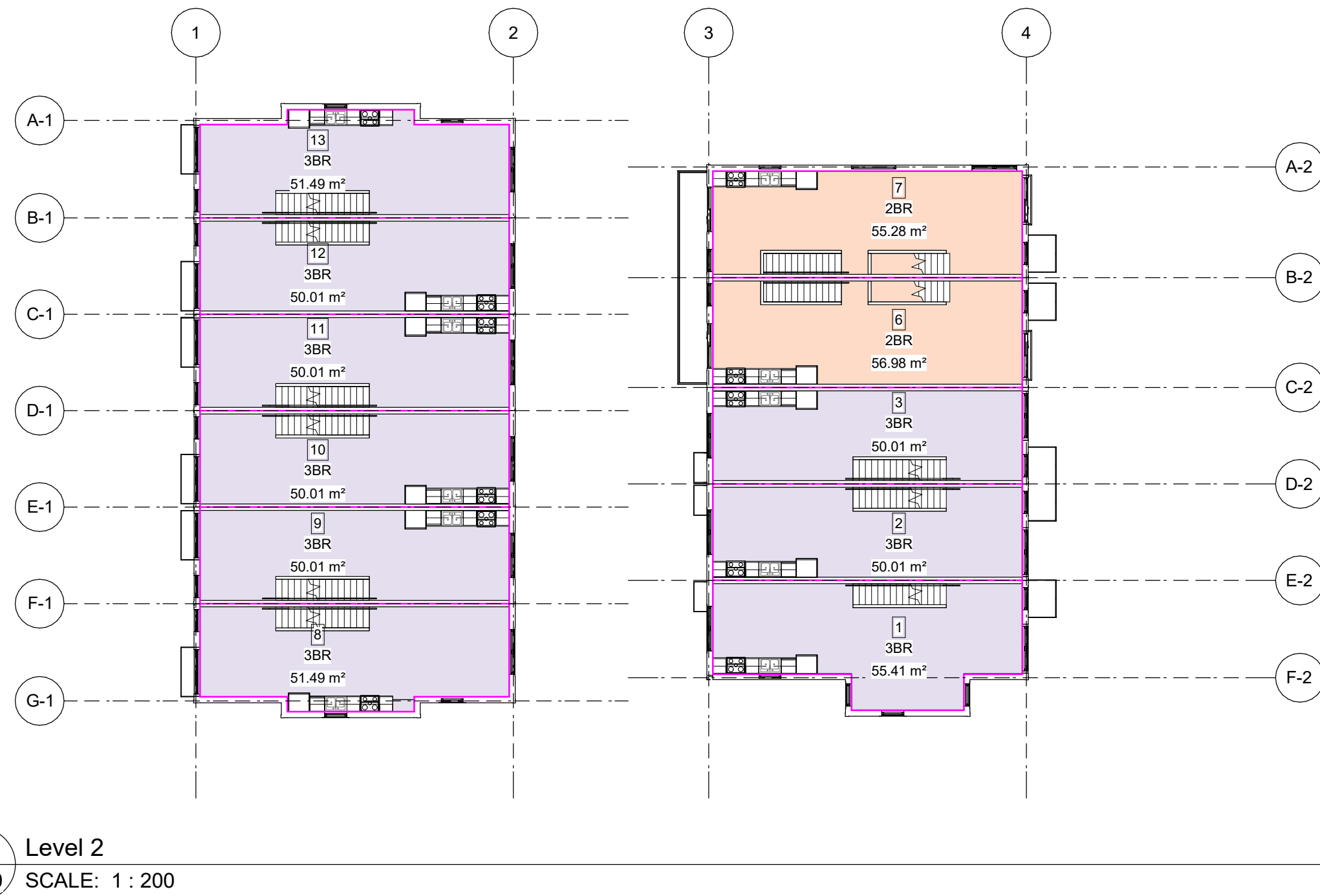
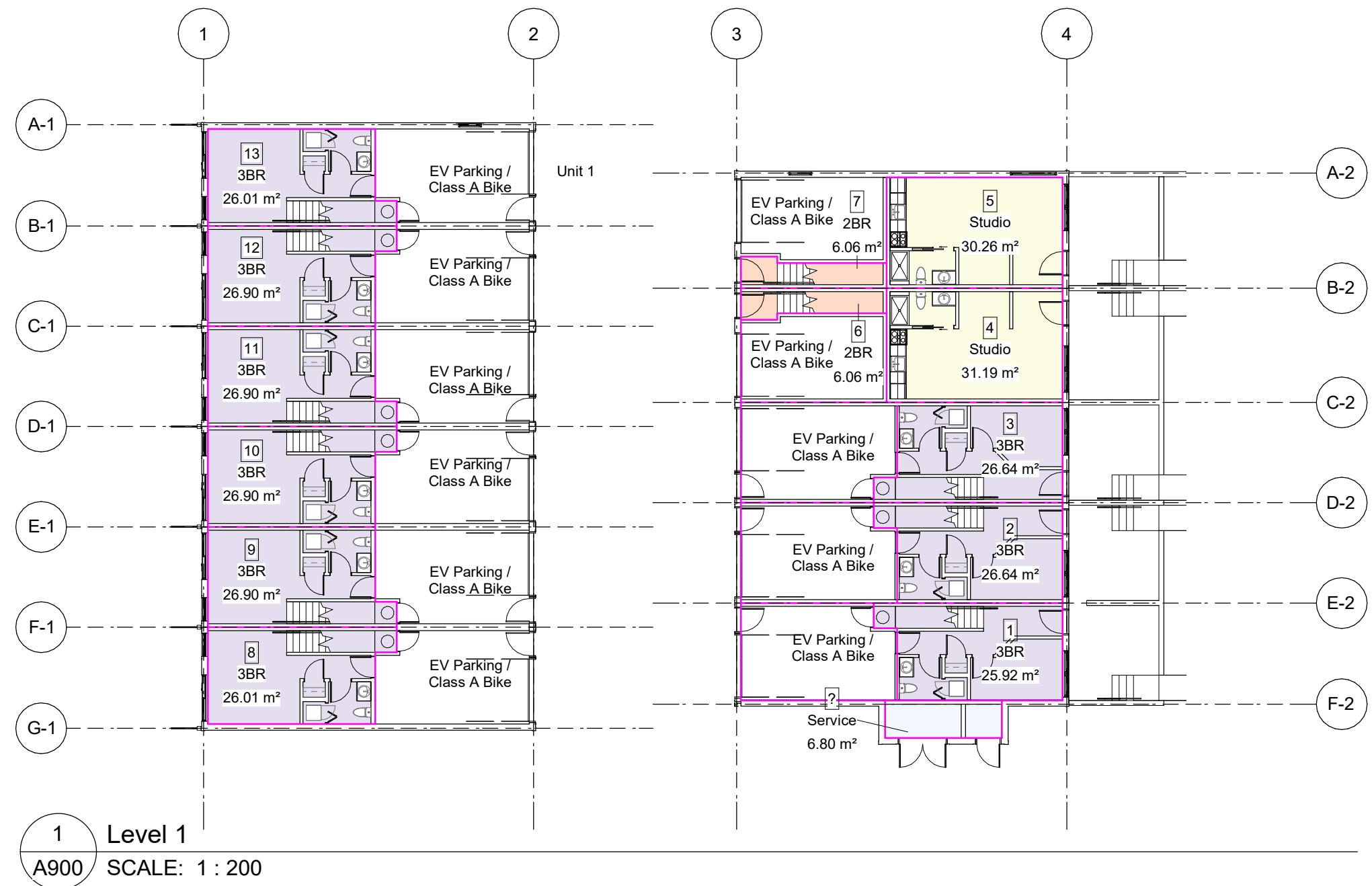


2 West to East Site Section  
A401 SCALE: 1 : 100

22/10/04 ISSUED FOR DP AMENDMENTS  
22/10/24 ISSUED FOR ADP  
22/07/18 ISSUED FOR REZONING

Plot Date 2022/10/24 Drawing File  
Drawn By ADMIMVR Checked By ADM  
Scale 1 : 100 Project Number  
NOTE: All dimensions are shown in millimeters.

**FERNWOOD  
TOWNHOMES**  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Site Sections



Area Schedule (FAR Contributing)	
Unit Type	Area
Service	
Service	6.80 m²
Unit 1	
3BR	25.92 m²
3BR	48.61 m²
3BR	55.41 m²
Unit 2	
3BR	26.64 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 3	
3BR	26.64 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 4	
Studio	31.19 m²
Unit 5	
Studio	30.26 m²
Unit 6	
2BR	6.06 m²
2BR	56.98 m²
2BR	56.98 m²
Unit 7	
2BR	6.06 m²
2BR	55.28 m²
2BR	55.28 m²
Unit 8	
3BR	26.01 m²
3BR	48.32 m²
3BR	51.49 m²
Unit 9	
3BR	26.90 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 10	
3BR	26.90 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 11	
3BR	26.90 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 12	
3BR	26.90 m²
3BR	50.01 m²
3BR	50.01 m²
Unit 13	
3BR	26.01 m²
3BR	48.32 m²
3BR	51.49 m²
Grand total:	
36	1447.51 m²

Area Calculations	
SITE AREA:	1,526m² (16,426 s.f.)
TOTAL PROPOSED:	1,447 m² (15,575 s.f.)
FLOOR SPACE RATIO:	0.95 : 1 FSR
SITE COVERAGE	39%
OPEN SITE SPACE	35%

22/10/04 ISSUED FOR DP AMENDMENTS

Plot Date 2022/10/24 Drawing File  
Drawn By Author Checked By  
Scale 1 : 200 Project Number  
NOTE: All dimensions are shown in millimeters.

FERNWOOD  
TOWNHOMES  
2540 & 2542 Shelbourne  
Street, Victoria, BC  
Area Plans

dHKa  
A900  
2022-11-07  
dHKarchitects  
Victoria  
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Nanaimo  
102-5190 Dublin Way  
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