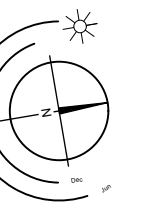


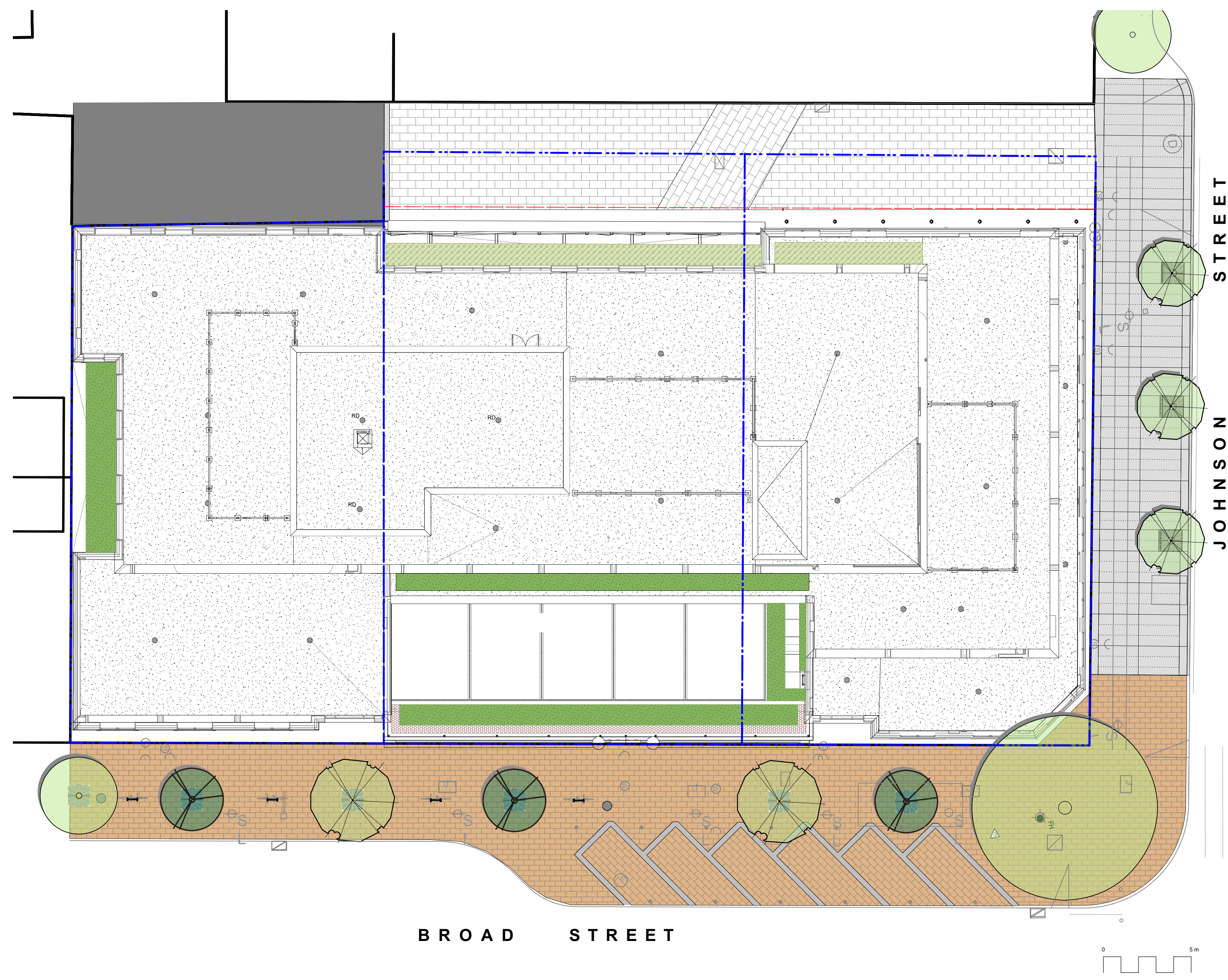
1312-1314 BROAD STREET

VICTORIA BC

Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information
L1.01	Landscape Materials Plan - At Grade
L1.02	Landscape Materials Plan - Terrace Levels
L2.01	Planting Plan
L2.02	Soil Cell Information - Boulevard Trees



KEY PLAN



NOT FOR CONSTRUCTION

rev no	description	date
9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07



client
CHARD DEVELOPMENT

project
BROAD STREET

1312-1314 BROAD ST
VICTORIA, BC

sheet title

Cover

project no. 117.33
scale 1:150 @ 24"x36"
drawn by ML/SC
checked by SM

revision no. sheet no.
9 L0.00

GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting root to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IAABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IAABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
- At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to relieve temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604- 273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

PAVING NOTES

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

OFF SITE IRRIGATION NOTES

- All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw".
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation Inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard Irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work.
- Boulevard irrigation point of connection to be 25 mm service from existing water connection on, refer to Civil drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: RainBird Low Flow Control Zone Kit w/ PR Filter; XCZLF-100-PRF 1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeve 300mm beyond edge of hard surface into soft landscape areas.

OFF-SITE IRRIGATION INSPECTIONS REQUIRED

- The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
 - Irrigation sleeving prior to backfilling
 - Open trench main line and pressure test
 - Open trench lateral line
 - Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly is to have an inspection tag completed and attached.

BOULEVARD PLANTING NOTES

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.
- The finished grade for boulevards must be firm against footprints, loose textured, free of all stones, roots, and branches. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

OFF-SITE HORTICULTURE INSPECTIONS REQUIRED

- The following inspections are required for all off-site horticulture areas:
 - Excavated and scarified subgrade prior to placement of growing media.
 - Installed and prepared growing media prior to planting.
 - Plant material on-site prior to planting.
 - Planted landscape prior to mulch installation.
 - At time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MIN	MINIMUM
BLDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CB	CATCH BASIN	OC	ON CENTER
CP	CUBIC FEET	OD	OUTSIDE DIAMETER
CIP	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CLEAN OUT	PT	POINT, POINT OF TANGENCY
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CU M	CUBIC METRE	QTY	QUANTITY
DEG	DEGREE	R	RADIUS
DEMO	DEMOLISH, DEMOLITION	REF	REFERENCE
DIA	DIAMETER	REINF	REINFORCE(D)
DIM	DIMENSION	REQ'D	REQUIRE(D)
DTL	DETAIL	REV	REVISION
DWG	DRAWING	ROW	RIGHT OF WAY
E	EAST	S	SOUTH
EA	EACH	SAN	SANITARY
EL	ELEVATION	SD	STORM DRAIN
ENG	ENGINEER	SF	SQUARE FOOT (FEET)
EQ	EQUAL	SHT	SHEET
EST	ESTIMATE	SIM	SIMILAR
E.W.	EACH WAY	SPEC'S	SPECIFICATIONS
EXIST	EXISTING	SQ M	SQUARE METRE
EXP	EXPANSION, EXPOSED	ST	STORM SEWER
FFE	FINISHED FLOOR ELEVATION	STA	STATION
FG	FINISHED GRADE	STD	STANDARD
FL	FLOW LINE	SYM	SYMMETRICAL
FDC	FACE OF CURB	T&B	TOP AND BOTTOM
FT	FOOT (FEET)	TC	TOP OF CURB
FTG	FOOTING	TF	TOP OF FOOTING
GA	GAUGE	TH	THICK
GEN	GENERAL	TOPO	TOPOGRAPHY
GR	GRADE ELEVATION	TR	TOP OF RAMP
HORIZ	HORIZONTAL	TS	TOP OF STEP
HP	HIGH POINT	TW	TOP OF WALL
HT	HEIGHT	TYP	TYPICAL
ID	INSIDE DIAMETER	VAR	VARIES
INV	INVERT ELEVATION	VOL	VOLUME
IN	INCH(ES)	W	WITH
INCL	INCLUDE(D)	W/O	WITHOUT
JT	JOINT	WT	WEIGHT
LF	LINEAR FEET	WL	WATER LEVEL
LP	LOW POINT	WWF	WELDED WIRE FRAME
		YD	YARD
		@	AT

LINE TYPE LEGEND

---	Property line
—	Building Footprint
- - -	Extent of Roof / Canopy, above
- - -	Extent of Parkade, below
- - -	Right of Way
---	Rain garden - TOP OF POOL
---	Rain garden - BOTTOM OF POOL
---	Proposed Contour Line, 0.5m interval
---	Existing Contour Line, 0.5m interval
~	Extent of Existing Treeline
---	SPEA
---	RAR Setback

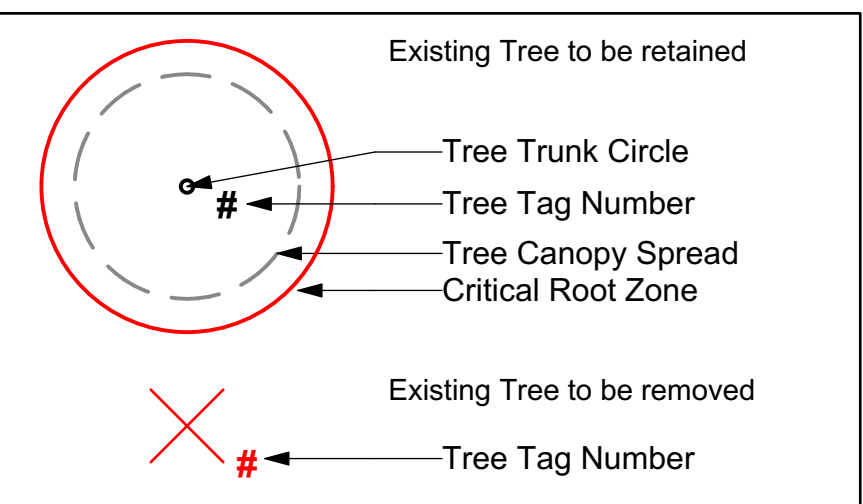
UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

---	EXISTING	---	PROPOSED
---	Storm Drain	---	Sewer
---	Water	---	Water
---	Electrical	---	Electrical
---	Gas	---	Gas
---	Hydro Tel	---	Hydro Tel

EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).



MATERIALS LEGEND		DETAIL
	Municipal Sidewalk Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.	Refer to Civil
	Asphalt Paving	Refer to Civil
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing	Refer to Civil
1.0	HARDSCAPE SURFACES	DETAIL/ SPEC NO.
1.1	Concrete Unit Paving - Vehicular Belgard Standard Series, 80 mm thickness, herringbone pattern, shadow grey colour	1-L3.01 32 14 13
1.2	Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour	2-L3.01 32 14 13
1.3	Concrete Paving Sawcut control joints, light broom finish	Refer to Arch, Structural
1.4	Concrete Band 300mm wide	3-L3.01 32 14 13
3.0	SOFTSCAPE	DETAIL/ SPEC NO.
3.1	Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system, installed by Next Level qualified installer.	1-DET/ L3.01 See Mfr. Spec
5.0	SITE FURNISHINGS	DETAIL/ SPEC NO.
5.1	Bike Rack Downtown Bike rack	4 -L3.01 32 33 00
5.2	Single Globe Light To match existing, refer to Civil	Refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing	32 33 00
5.4	Tree Grate - Johnson Street 48" W square tree grate	32 33 00
5.5	In Ground Lighting Refer to Electrical for fixture	Refer to Elec.

NOT FOR CONSTRUCTION

rev no	description	date
9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07



3388A Tupperon Ave. Victoria, BC V8Z 3P6
Phone: 250 412-2891
Fac: 250 412-2892

client
CHARD DEVELOPMENT

project
BROAD STREET

1312-1314 BROAD ST
VICTORIA, BC

sheet title

General Information

project no. 117.33

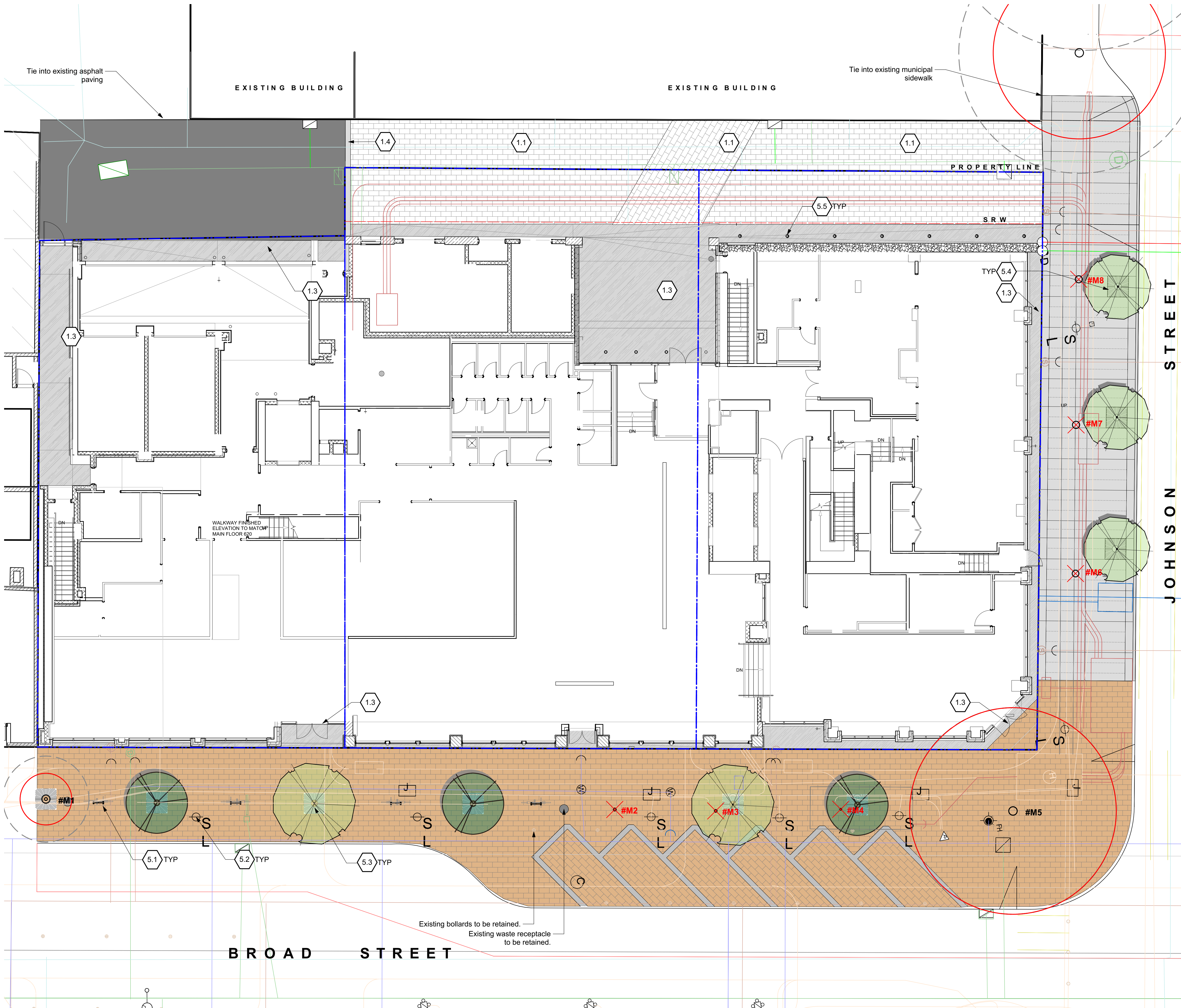
scale @ 24"x36"

drawn by ML/SC

checked by SM

revision no. sheet no.

9 **L0.01**



EXISTING TREE LEGEND
(Refer to Arborist Report and Tree Management Plan for full details and management strategies).

- Existing Tree to be retained
 - Tree Trunk Circle
 - Tree Tag Number
 - Tree Canopy Spread
 - Critical Root Zone
- Existing Tree to be removed
 - Tree Tag Number

MATERIALS LEGEND

	Municipal Sidewalk Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.
	Asphalt Paving
	Broad Street Paving Specially Red Brick Paving, mortar set, to match existing

1.0 HARDSCAPE SURFACES

1.1		Concrete Unit Paving - Vehicular Belgard Standard Series, 80 mm thickness, herringbone pattern, shadow grey colour
1.2		Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour
1.3		Concrete Paving Sawcut control joints, light broom finish
1.4		Concrete Band 300mm wide

3.0 SOFTSCAPE

3.1		Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system. Installed by Next Level qualified installer.
-----	--	-----------------------------------------------------------------------------------------------------------------------------------------------------------

5.0 SITE FURNISHINGS

5.1		Bike Rack Downtown Bike rack
5.2		Single Globe Light To match existing, refer to Civil
5.3		Tree Grate - Broad Street Square specialty tree grate to match existing
5.4		Tree Grate - Johnson Street 48" W square tree grate
5.5		In Ground Lighting Refer to Electrical for fixture

NOT FOR CONSTRUCTION

rev no	description	date
9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

MDI
 Landscape Architects

3388A Temuoyan Ave. Phone: 250 412-2891
 Victoria, BC V8Z 3P6 Fax: 250 412-2892

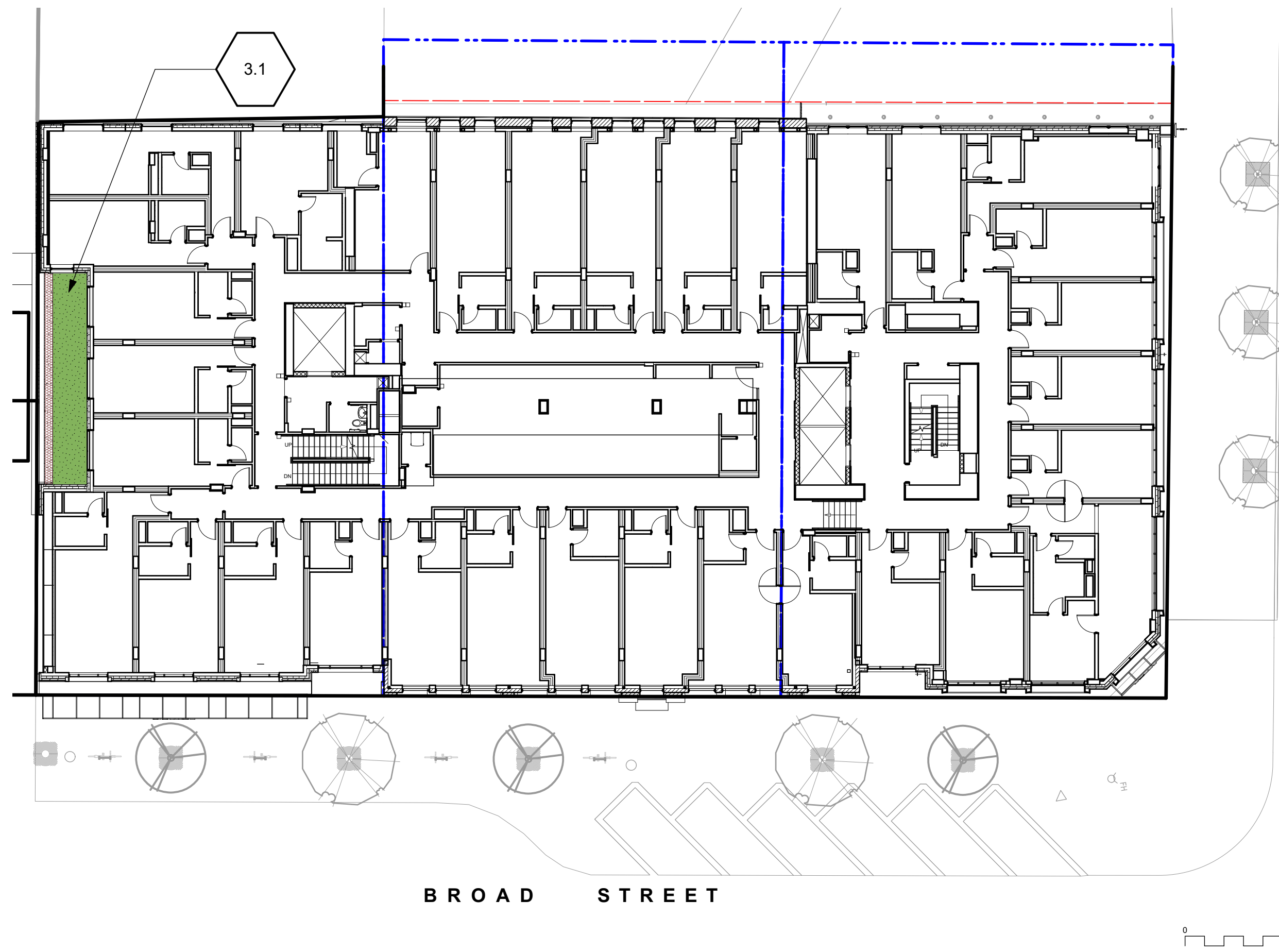
client
CHARD DEVELOPMENT

project
BROAD STREET
 1312-1314 BROAD ST
 VICTORIA, BC

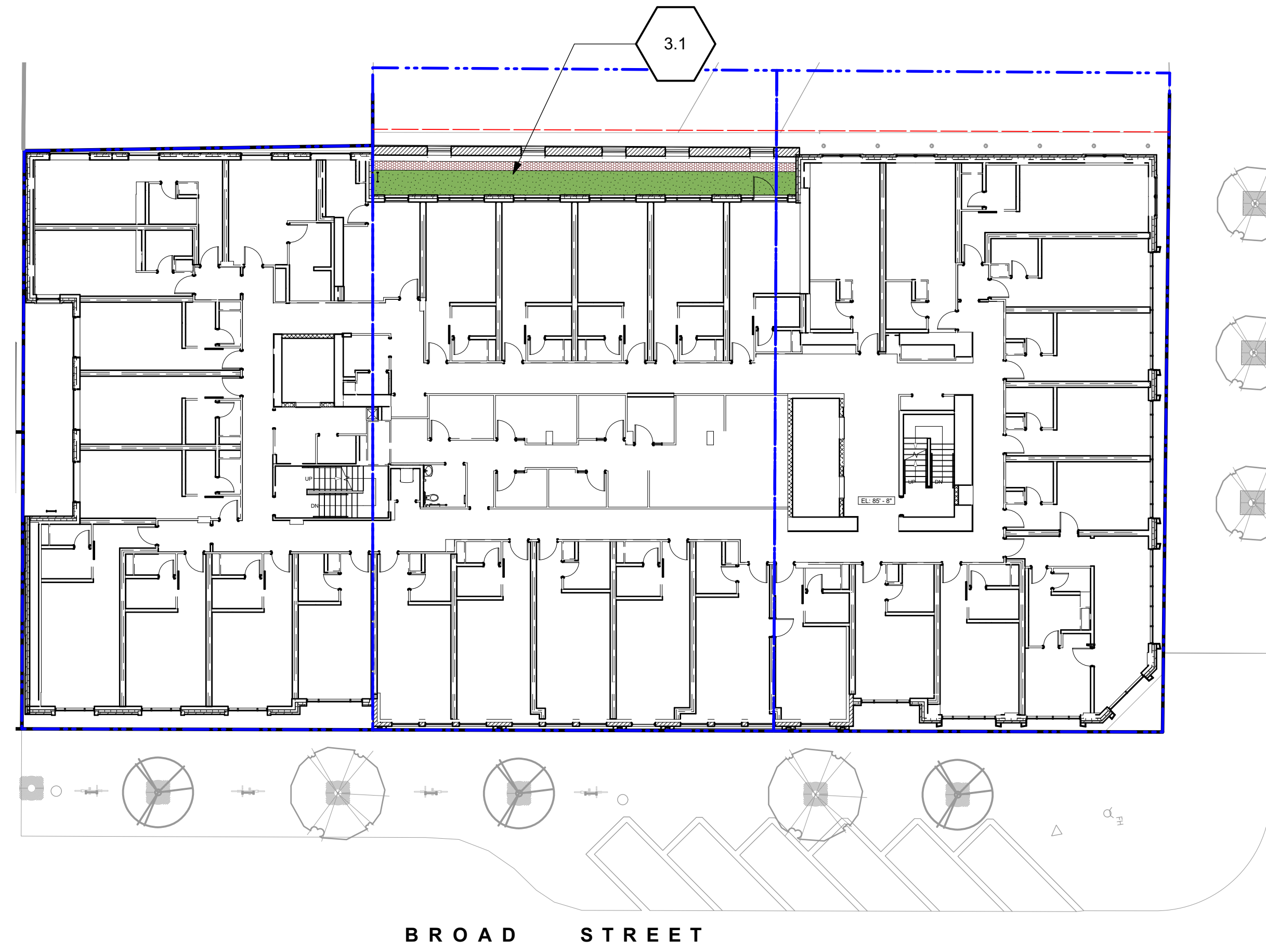
sheet title
Landscape Materials Plan - At Grade

project no. 117.33
 scale 1:100 @ 24"x36"
 drawn by ML/SC
 checked by SM
 revision no. sheet no.

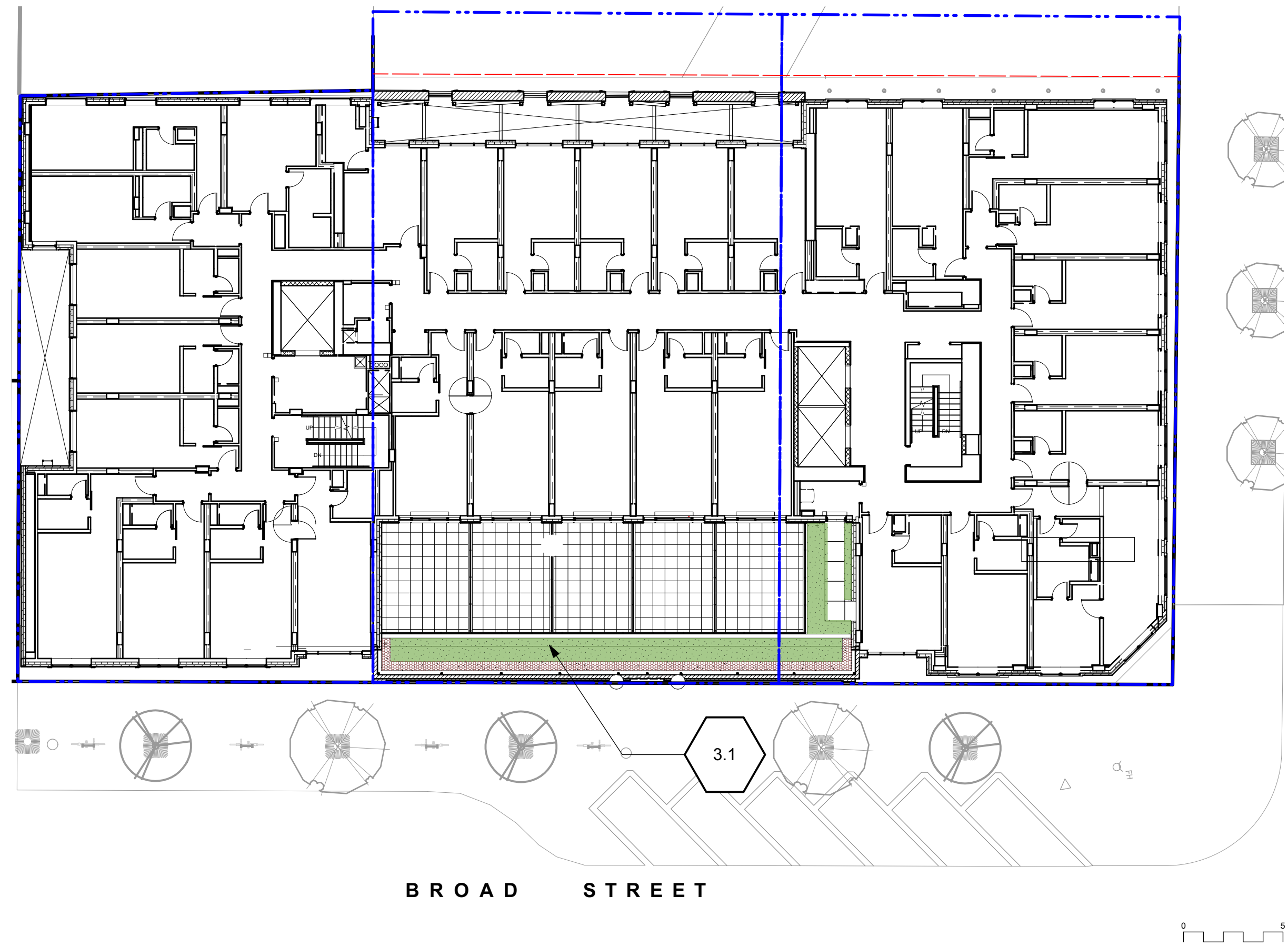
L1.01



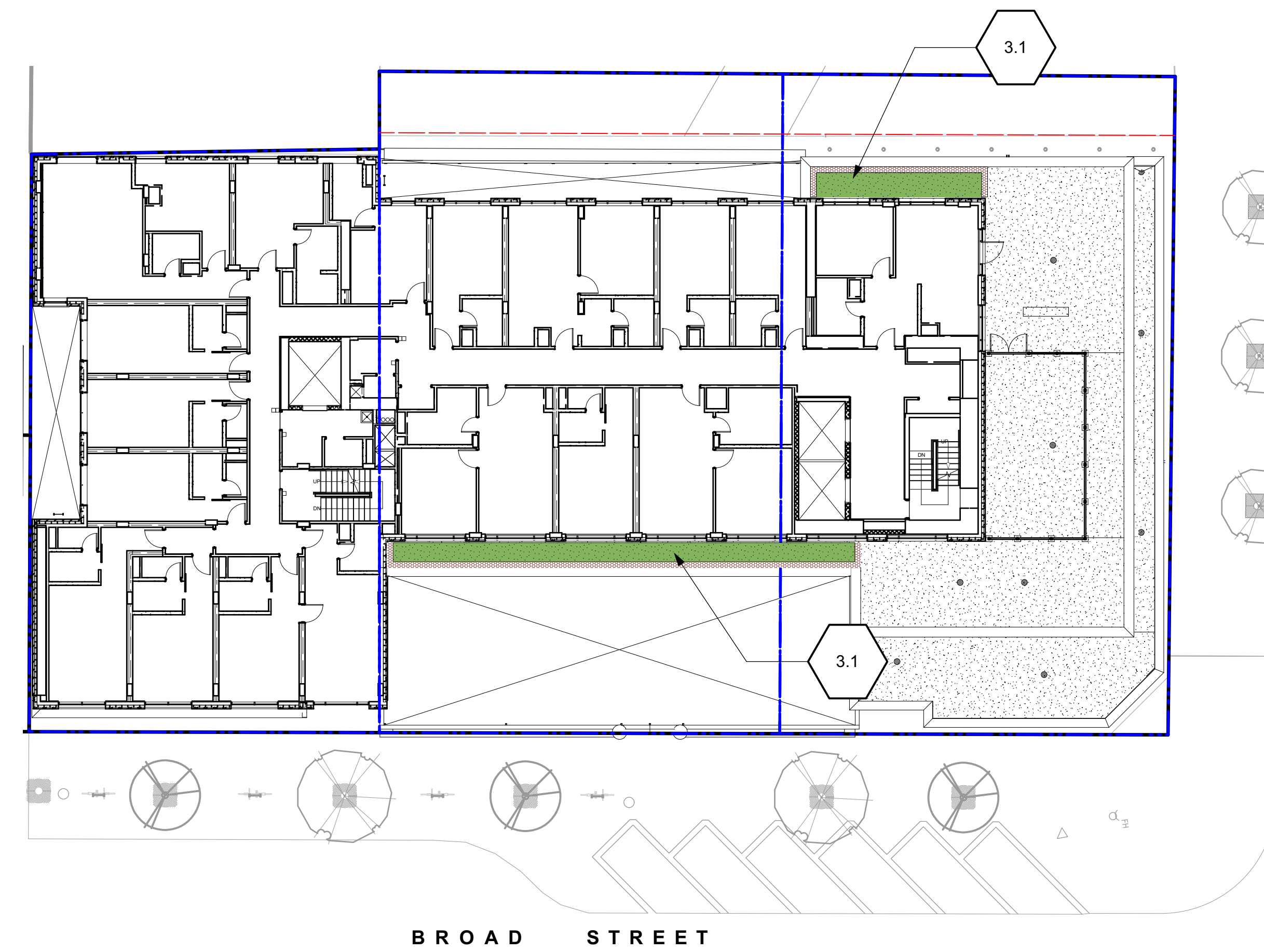
1 Level 3 Landscape Plan
Scale: 1:200



2 Level 4 Landscape Plan
Scale: 1:200

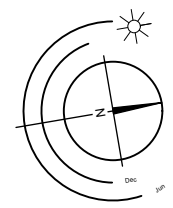


3 Level 5 Landscape Plan
Scale: 1:200




4 Level 7 Landscape Plan
Scale: 1:200

MATERIALS LEGEND	
	Municipal Sidewalk Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines.
	Asphalt Paving
	Broad Street Paving Specialty Red Brick Paving, mortar set, to match existing
1.0 HARDSCAPE SURFACES	
1.1	Concrete Unit Paving - Vehicular Belgard Standard Series, 80 mm thickness, herringbone pattern, shadow grey colour
1.2	Unit Paver - On Pedestal Belgard Texada Slab, Natural Colour
1.3	Concrete Paving Sawcut control joints, light broom finish
1.4	Concrete Band 300mm wide
3.0 SOFTSCAPE	
3.1	Green Roof Area Next Level TerraExt, 100 mm depth engineered soil, pre-grown roof modules on tray system. Installed by Next Level qualified installer.
5.0 SITE FURNISHINGS	
5.1	Bike Rack Downtown Bike rack
5.2	Single Globe Light To match existing, refer to Civil
5.3	Tree Grate - Broad Street Square specialty tree grate to match existing
5.4	Tree Grate - Johnson Street 48" W square tree grate
5.5	In Ground Lighting Refer to Electrical for fixture



NOT FOR CONSTRUCTION

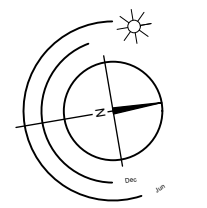
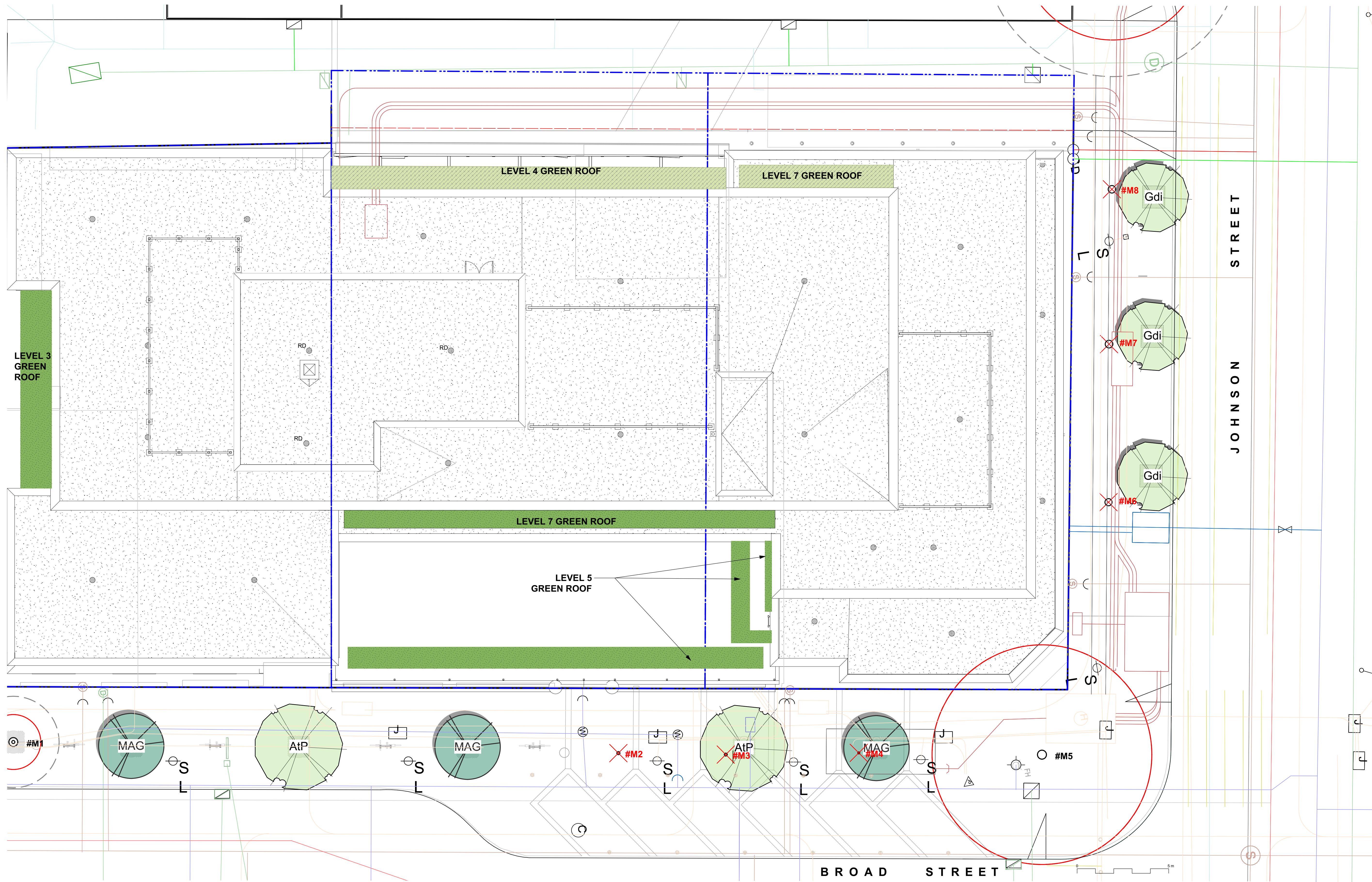
rev no	description	date
9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07



3388A Tompkins Ave.
Victoria, BC V8Z 3P6

Phone: 250 412-2891
Fax: 250 412-2892

client	CHARD DEVELOPMENT
project	BROAD STREET
	1312-1314 BROAD ST VICTORIA, BC
sheet title	Landscape Materials Plan - Terrace Levels
project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML/SC
checked by	SM
revision no.	sheet no.
	L1.02



NOT FOR CONSTRUCTION

9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07
rev no	description	date



client
CHARD DEVELOPMENT

project
BROAD STREET
1312-1314 BROAD ST
VICTORIA, BC
sheet title

Planting Plan

project no. 117.33

scale 1:100 @ 24"x36"

drawn by ML/SC

checked by SM

revision no. sheet no.

9 **L2.01**

PLANT LIST

LEVEL 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
AIP	2	Acer truncatum 'Pacific Sunset'	Shantung Maple	5.0 cm cal, b+b
Gdi	3	Gymnocladus dioicus 'espresso'	Espresso Coffeetree	5.0 cm cal, b+b
MAG	3	Magnolia kobus	Kobus Magnolia	5.0cm cal, b&b

LEVEL 3 GREEN ROOF - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
AREA: 18.6 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF LEVEL 4 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS
AREA: 26.4 sq m

16.5 %	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
16.5 %	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
16.5 %	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
16.5 %	Gaultheria shallon	Salal	Sp3, 30cm o.c.
16.5 %	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
16.5 %	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

GREEN ROOF LEVEL 5 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
AREA: 34.8 sq m

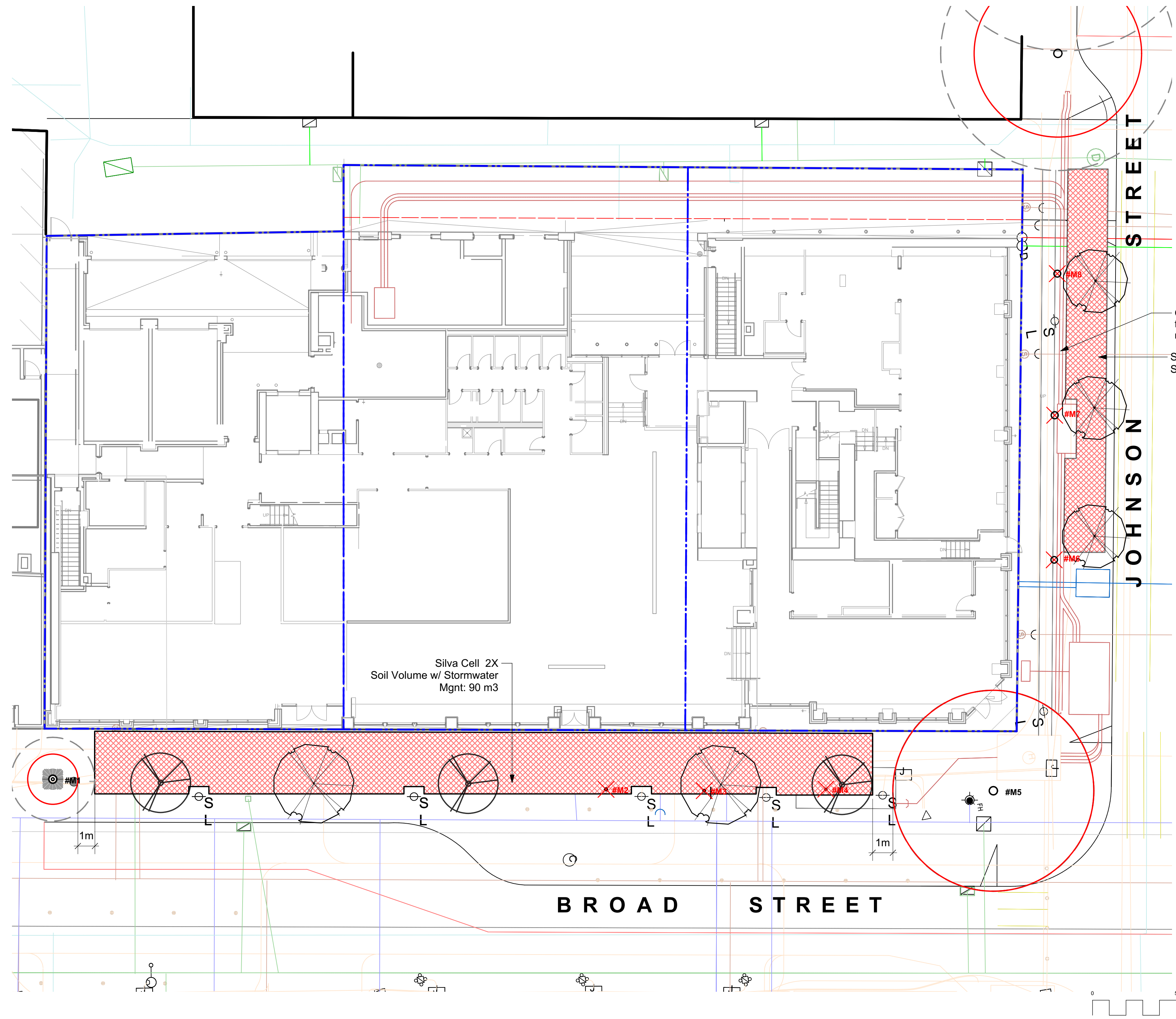
20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SHADY AREAS
AREA: 10.4 sq m

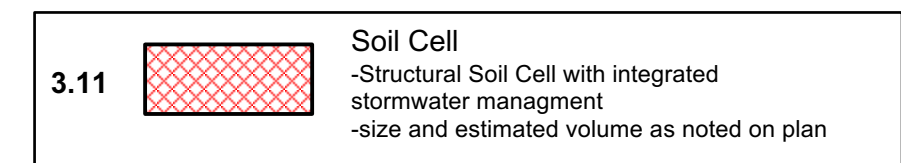
16.5 %	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
16.5 %	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
16.5 %	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
16.5 %	Gaultheria shallon	Salal	Sp3, 30cm o.c.
16.5 %	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
16.5 %	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

GREEN ROOF LEVEL 7 - PREGROWN SEDUM MAT/BLANKET SUITABLE FOR SUNNY AREAS
AREA: 23.0 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

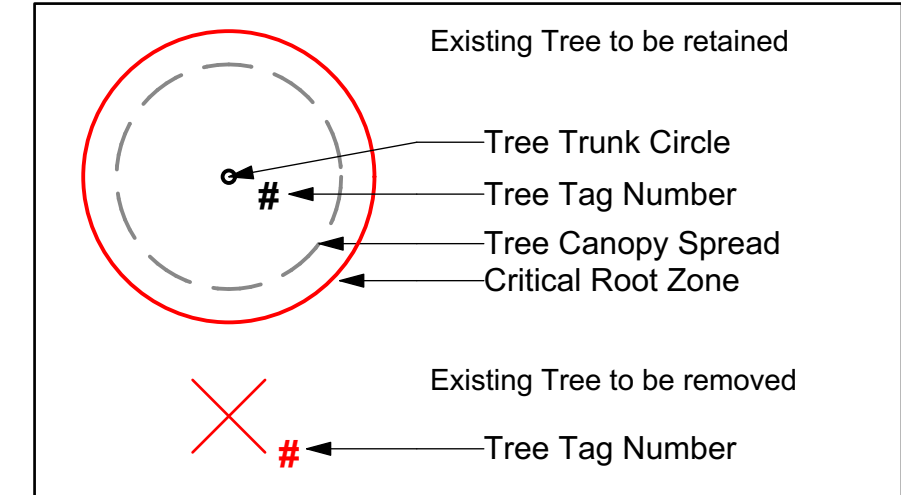


SOIL CELLS LEGEND



EXISTING TREE LEGEND

(Refer to Arborist Report and Tree Management Plan for full details and management strategies).



GENERAL NOTES:
ALL VOLUMES ARE APPROXIMATE - PRECISE VOLUMES WILL BE DETERMINED IN CONSULTATION WITH SOIL CELL SUPPLIER.

NOT FOR CONSTRUCTION

rev no	description	date
9	DP REVISED	24.08.23
8	TENDER	24.05.03
7	BP	24.02.15
6	HERITAGE ALT	23.05.08
5	DP REVISED	20.02.21
4	DP REVISED	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

MDI
Landscape Architects

3388A Terryson Ave. Victoria, BC V8Z 3P6

Phone: 250 412-2891
Fac: 250 412-2892

client
CHARD DEVELOPMENT

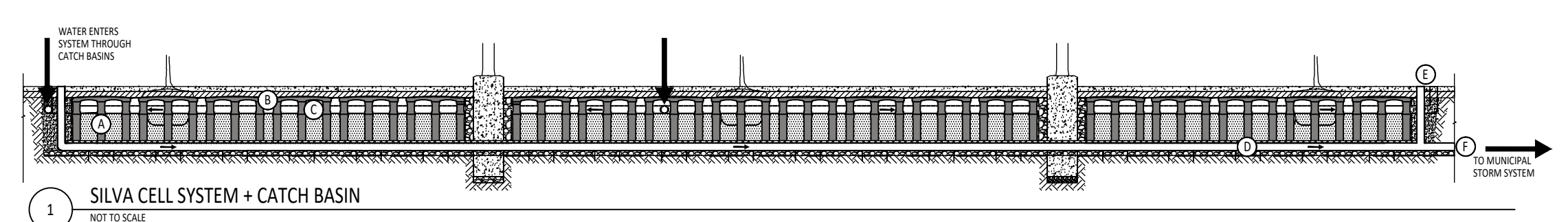
project
BROAD STREET
1312-1314 BROAD ST
VICTORIA, BC
sheet title

Soil Cell Information - Boulevard Trees

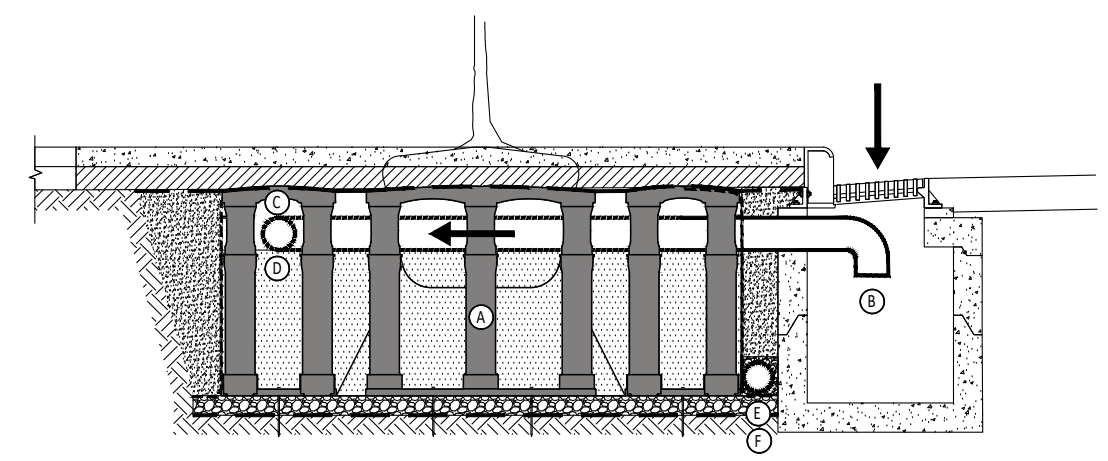
project no.	117.33
scale	1:200 @ 24"x36"
drawn by	MJ/SC
checked by	SM
revision no.	sheet no.

9 **L2.02**

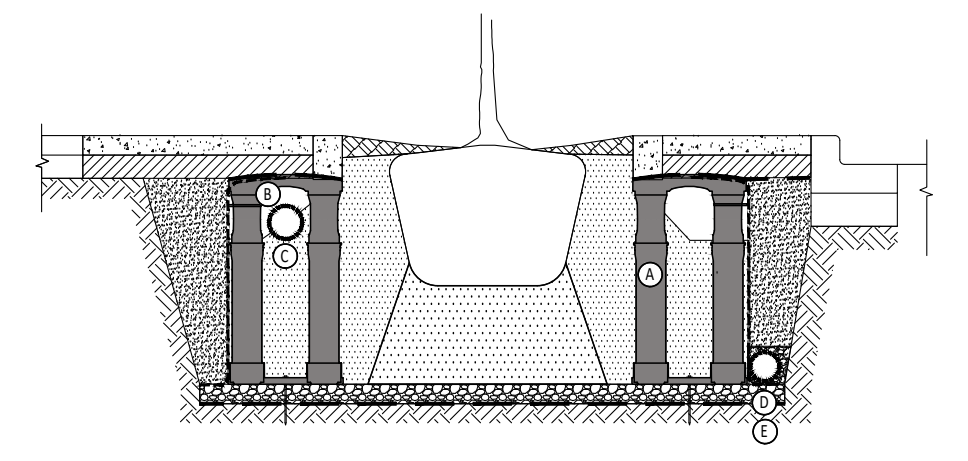
TREE CELLS WITH INTEGRATED STORMWATER MGNT SAMPLE DETAILS



- KEY PLAN
- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B OPTIONAL PONDING SPACE
 - C DISTRIBUTION PIPE
 - D COLLECTION PIPE
 - E CLEANOUT
 - F CONNECTION TO MUNICIPAL STORM SYSTEM
- DIRECTION OF WATER FLOW →



- KEY PLAN
- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B OPTIONAL PONDING SPACE
 - C DISTRIBUTION PIPE
 - D COLLECTION PIPE
 - E CONNECTION TO MUNICIPAL STORM SYSTEM
- DIRECTION OF WATER FLOW →



- KEY PLAN
- A SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
 - B OPTIONAL PONDING SPACE
 - C DISTRIBUTION PIPE
 - D COLLECTION PIPE
 - E CONNECTION TO MUNICIPAL STORM SYSTEM
- DIRECTION OF WATER FLOW →