

GENERAL NOTES

1. ALL CONSTRUCTION IS TO COMPLY WITH THE 2012 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES.
2. ALL WORK TO BE OF THE BEST PRACTICES OF THE LOCAL TRADES INVOLVED.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DO NOT SCALE DRAWINGS.
5. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND LANDSCAPE DRAWINGS, SPECIFICATIONS, GEOTECHNICAL AND ARBORIST REPORTS. ANY DISCREPANCIES MUST BE REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK.
6. ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING. UNLESS NOTED OTHERWISE.
7. ALL INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD. UNLESS NOTED OTHERWISE.
8. ALL WALLS ARE TO EXTEND TO U/S OF STRUCTURE. UNLESS NOTED OTHERWISE.
9. ALL WINDOWS AND DOORS ON PLAN ARE DIMENSIONED TO THE CENTRE OF ROUGH OPENING (R.O.), UNLESS NOTED OTHERWISE.
10. ALL WINDOWS ARE DIMENSIONED ON THE FLOOR PLANS ROUGH OPENING (R.O.), UNLESS NOTED OTHERWISE.
11. ALL DOORS ARE A MIN. OF 4" (100 mm) FROM FACE OF ADJACENT WALLS. UNLESS NOTED OTHERWISE.

DRAWING INDEX

ARCHITECTURAL

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A8.02	Door Schedule	As Noted

PROJECT TEAM

DEVELOPER

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1301 HILLSIDE
 1301 Hillside Ave.
 Victoria, BC

REZONING APPLICATION

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Revisions
 Received Date:
February 8, 2019

No.	Date	Issue Notes

Issues
 Consultant

Architect

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Seal

Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
Cover Sheet

Issue Date	Plot Date	Sheet No.
	2019.01.31	A0.00
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 Context Plan
1/64"=1'-0"



4 Birdview looking East
NTS



5 Streetview looking East
NTS



2 Streetscape 1 from Hillside Avenue
1/32"=1'-0"



3 Streetscape 2 from Cook Street
1/32"=1'-0"

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Issues
Consultant

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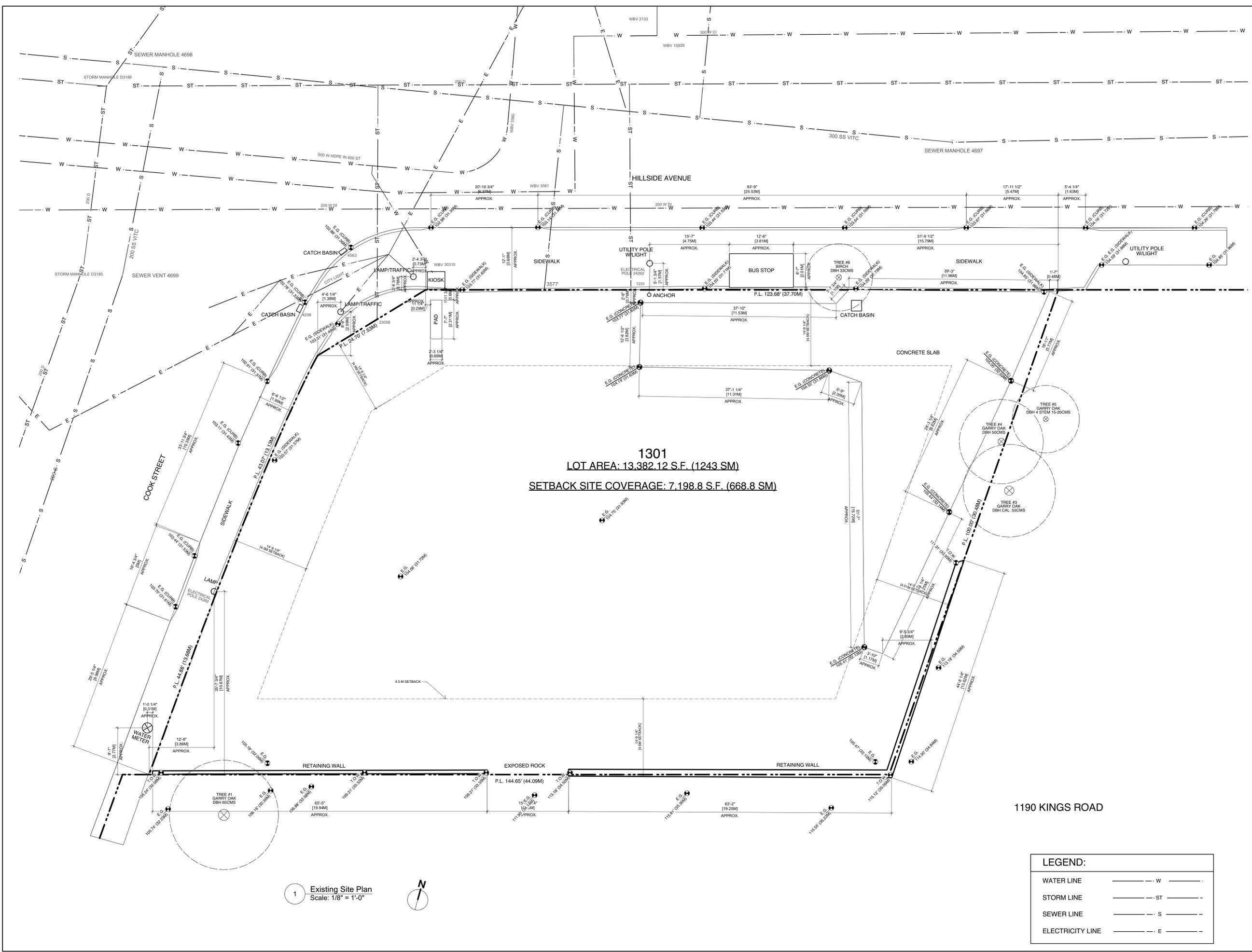
Project Title
1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title
Site Context

Issue Date	Plot Date	Sheet No.
	2019.01.31	A0.02
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By OEM	Checked By NR	
Project ID 217.29	Scale AS NOTED	

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1 Existing Site Plan
 Scale: 1/8" = 1'-0"



LEGEND:	
WATER LINE	--- W ---
STORM LINE	--- ST ---
SEWER LINE	--- S ---
ELECTRICITY LINE	--- E ---

No.	Date	Issue Notes

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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

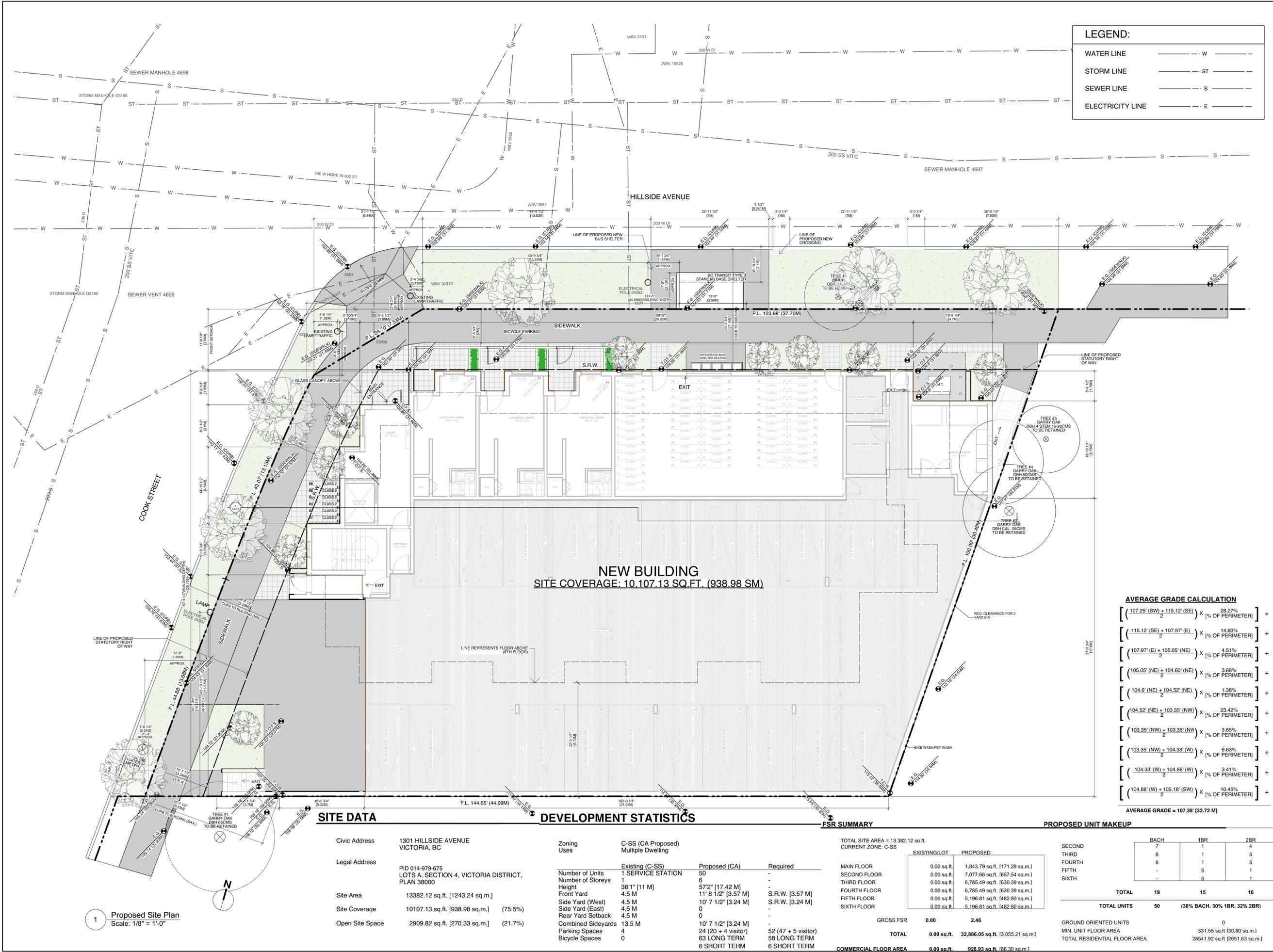
Sheet Title

Existing Site Plan

Issue Date	Plot Date	Sheet No.
	2019.01.31	A1.01

Designed By	Reviewed By
NR	NR
Drawn By	Checked By
NR	NR
Project ID	Scale
217.29	AS NOTED
Issue/Revision	

File name: 2019.01.30_1301_Hillside_vwk



LEGEND:

WATER LINE	---	W
STORM LINE	---	ST
SEWER LINE	---	S
ELECTRICITY LINE	---	E

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Issues	
Consultant	
Architect	

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Project Title
1301 Hillside Ave.

Site Title
1301 Hillside Ave. Victoria, BC

Sheet Title
Site Plan

AVERAGE GRADE CALCULATION

$\left[\frac{107.25' (SW) + 115.12' (SE)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 28.27%
$\left[\frac{115.12' (SE) + 107.97' (E)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 14.60%
$\left[\frac{107.97' (E) + 105.05' (NE)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 4.51%
$\left[\frac{105.05' (NE) + 104.60' (N)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 3.68%
$\left[\frac{104.6' (N) + 104.52' (NE)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 1.38%
$\left[\frac{104.52' (NE) + 103.35' (NW)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 23.42%
$\left[\frac{103.35' (NW) + 103.35' (NW)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 3.65%
$\left[\frac{103.35' (NW) + 104.33' (W)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 6.63%
$\left[\frac{104.33' (W) + 104.88' (W)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 3.41%
$\left[\frac{104.88' (W) + 105.18' (SW)}{2} \right] \times [\% \text{ OF PERIMETER}]$	+ 10.45%
AVERAGE GRADE = 107.36' [32.72 M]	

SITE DATA

Civic Address	1301 HILLSIDE AVENUE VICTORIA, BC
Legal Address	PID 014-979-675 LOTS A, SECTION 4, VICTORIA DISTRICT, PLAN 38000
Site Area	13382.12 sq.ft. [1243.24 sq.m.]
Site Coverage	10107.13 sq.ft. [938.98 sq.m.] (75.5%)
Open Site Space	2909.82 sq.ft. [270.33 sq.m.] (21.7%)

DEVELOPMENT STATISTICS

Zoning Uses	C-SS (CA Proposed) Multiple Dwelling
Number of Units	Existing (C-SS) 1 SERVICE STATION 50 Proposed (CA) 50 Required -
Number of Storeys	Existing (C-SS) 6 Proposed (CA) 57'2" [17.42 M] Required -
Height	Existing (C-SS) 36'1" [11 M] Proposed (CA) 57'2" [17.42 M] Required -
Front Yard	Existing (C-SS) 4.5 M Proposed (CA) 11' 8 1/2" [3.57 M] S.R.W. [3.57 M] Required -
Side Yard (West)	Existing (C-SS) 4.5 M Proposed (CA) 10' 7 1/2" [3.24 M] S.R.W. [3.24 M] Required -
Side Yard (East)	Existing (C-SS) 4.5 M Proposed (CA) 0 Required -
Rear Yard Setback	Existing (C-SS) 4.5 M Proposed (CA) 0 Required -
Combined Sideyards	Existing (C-SS) 13.5 M Proposed (CA) 10' 7 1/2" [3.24 M] Required -
Parking Spaces	Existing (C-SS) 4 Proposed (CA) 24 (20 + 4 visitor) Required 52 (47 + 5 visitor)
Bicycle Spaces	Existing (C-SS) 0 Proposed (CA) 63 LONG TERM Required 58 LONG TERM 6 SHORT TERM

FSR SUMMARY

TOTAL SITE AREA	13,382.12 sq.ft.
CURRENT ZONE:	C-SS
EXISTING/LOT	PROPOSED
MAIN FLOOR	0.00 sq.ft. 1,843.79 sq.ft. [171.29 sq.m.]
SECOND FLOOR	0.00 sq.ft. 7,077.66 sq.ft. [657.54 sq.m.]
THIRD FLOOR	0.00 sq.ft. 6,785.49 sq.ft. [630.39 sq.m.]
FOURTH FLOOR	0.00 sq.ft. 6,785.49 sq.ft. [630.39 sq.m.]
FIFTH FLOOR	0.00 sq.ft. 5,196.81 sq.ft. [482.80 sq.m.]
SIXTH FLOOR	0.00 sq.ft. 5,196.81 sq.ft. [482.80 sq.m.]
GROSS FSR	0.00 2.46
TOTAL	0.00 sq.ft. 32,866.05 sq.ft. [3,055.21 sq.m.]
COMMERCIAL FLOOR AREA	0.00 sq.ft. 928.93 sq.ft. [86.30 sq.m.]

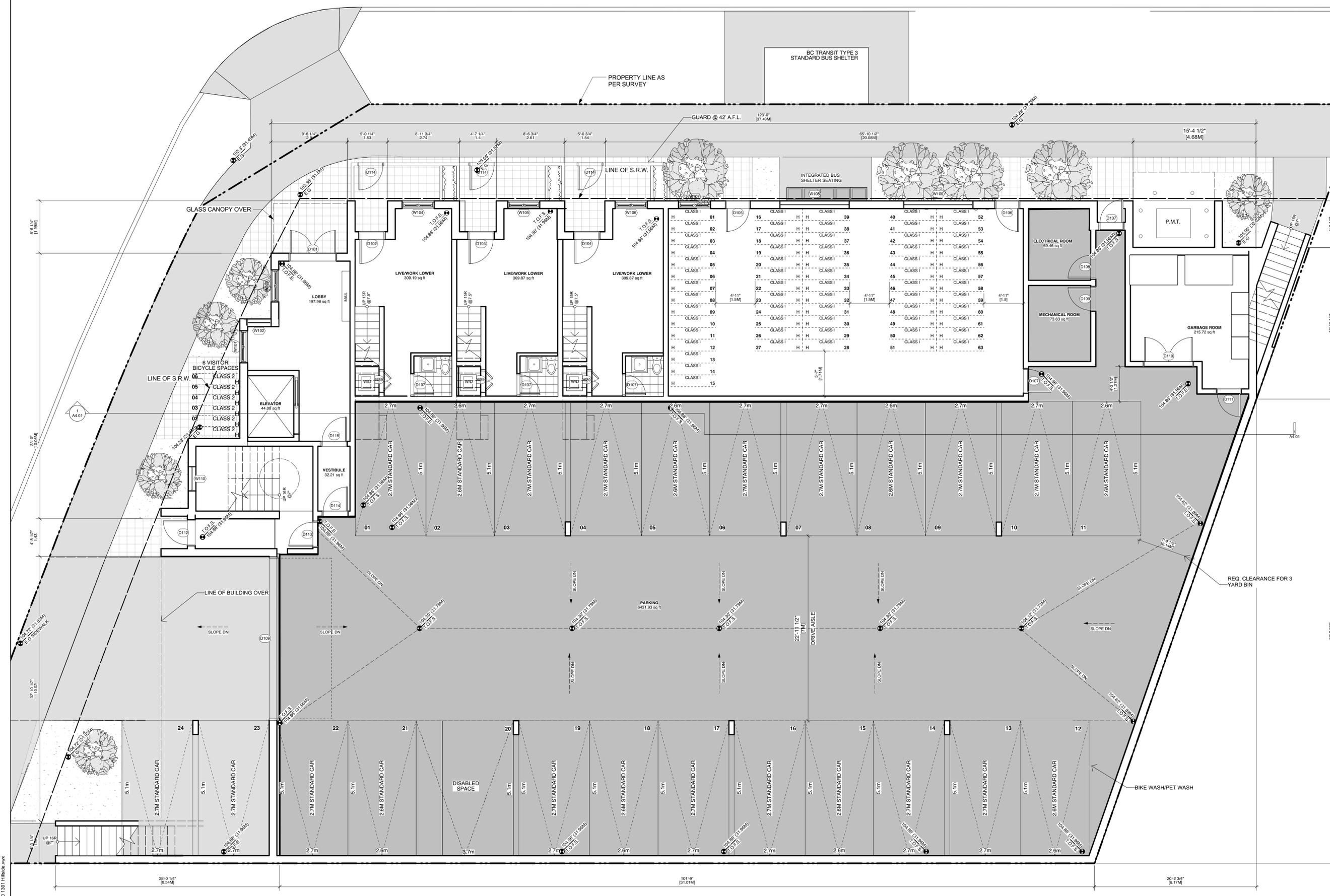
PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16
TOTAL UNITS 50 (38% BACH, 30% 1BR, 32% 2BR)			
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	331.55 sq.ft. [30.80 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	28541.92 sq.ft. [2651.63 sq.m.]		

Issue Date	Plot Date	Sheet No.
	2019.01.31	A1.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
NR	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

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No.	Date	Issue Notes

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Project Title
1301 Hillside Ave.

 1301 Hillside Ave.
 Victoria, BC

Sheet Title
Main Floor Plan

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.01
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	

File name: 2019.01.30_1301 Hillside.vwk
 1 Main Floor Plan
 Scale: 3/16" = 1'-0"

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BC TRANSIT TYPE 3
 STANDARD BUS SHELTER



No.	Date	Issue Notes

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Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
2nd Floor Plan

1 Typical Floor Plan
 Scale: 3/16" = 1'-0"

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16

TOTAL UNITS 50 (38% BACH, 30% 1BR, 32% 2BR)

GROUND ORIENTED UNITS 0
 MIN. UNIT FLOOR AREA 331.55 sq.ft [30.80 sq.m.]
 TOTAL RESIDENTIAL FLOOR AREA 28541.92 sq.ft [2651.63 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.02

File Name: 2019.01.30_1301 Hillside.vwk

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Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
3rd Floor Plan

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16
TOTAL UNITS	50	(38% BACH, 30% 1BR, 32% 2BR)	

GROUND ORIENTED UNITS 0
 MIN. UNIT FLOOR AREA 331.55 sq.ft [30.80 sq.m.]
 TOTAL RESIDENTIAL FLOOR AREA 28541.92 sq.ft [2651.63 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.03
Designed By NR	Reviewed By NR	
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	Issue/Revision

File Name: 2019.01.30_1301_Hillside_vvk



1 Third Floor Plan
 Scale: 3/16" = 1'-0"

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Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
4th Floor Plan

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16

TOTAL UNITS 50 (38% BACH, 30% 1BR, 32% 2BR)

	0
GROUND ORIENTED UNITS	0
MIN. UNIT FLOOR AREA	331.55 sq.ft [30.80 sq.m.]
TOTAL RESIDENTIAL FLOOR AREA	28541.92 sq.ft [2651.63 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.04

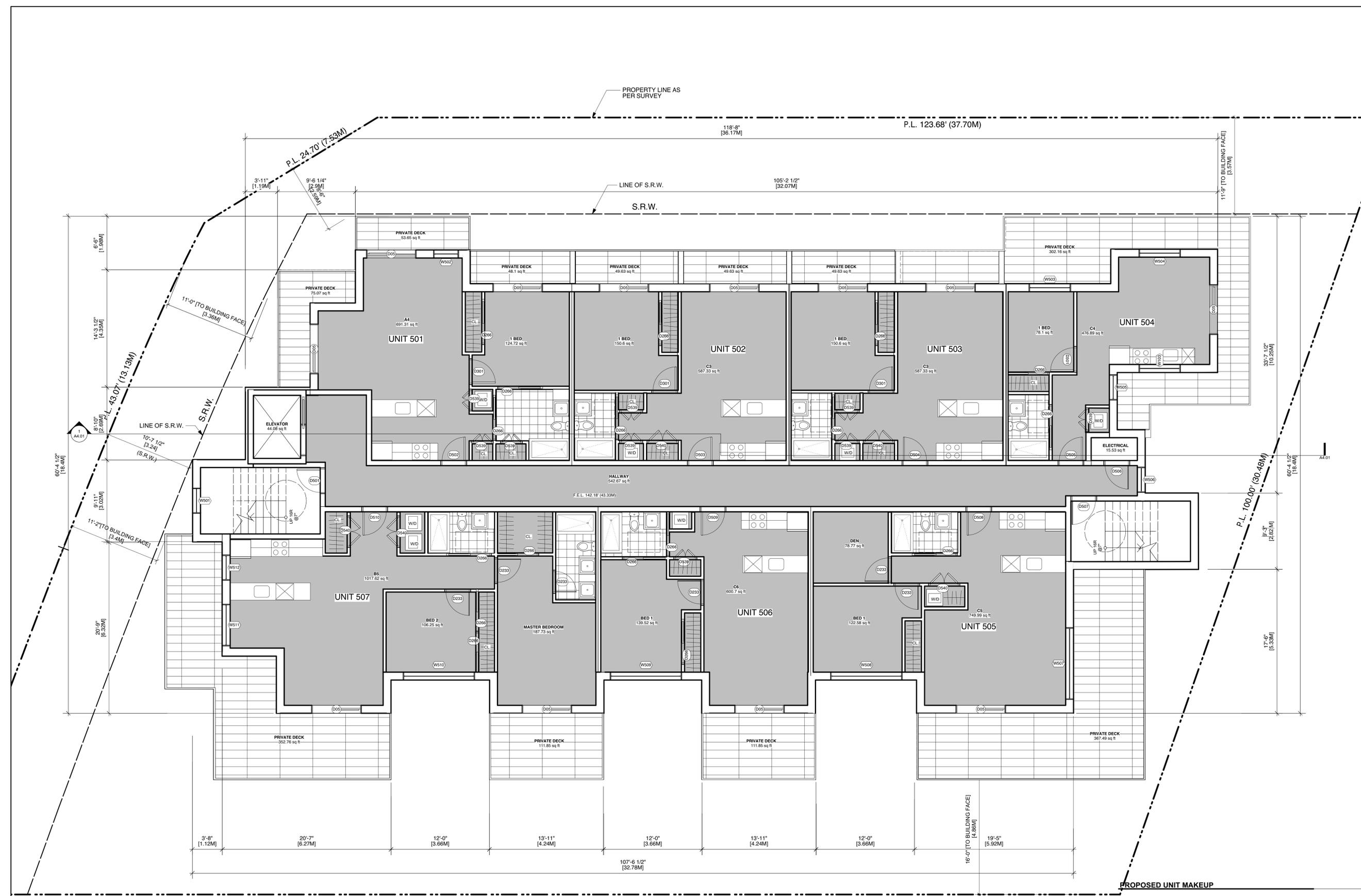
Designed By	Reviewed By
NR	NR
Drawn By	Checked By
AP	NR
Project ID	Scale
217.29	As Noted
Issue/Revision	

File Name: 2019.01.30_1301 Hillside.wvx



1 Fourth Floor Plan
 Scale: 3/16" = 1'-0"

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

5th Floor Plan

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16

TOTAL UNITS 50 (38% BACH, 30% 1BR, 32% 2BR)

	0
GROUND ORIENTED UNITS	0
MIN. UNIT FLOOR AREA	331.55 sq ft [30.80 sq.m.]
TOTAL RESIDENTIAL FLOOR AREA	28541.92 sq ft [2651.63 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.05

Designed By	Reviewed By
NR	NR
Drawn By	Checked By
AP	NR
Project ID	Scale
217.29	As Noted
Issue/Revision	

File name: 2019.01.30_1301 Hillside.wvx



1 Fifth Floor Plan
 Scale: 3/16" = 1'-0"

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Project Title
1301 Hillside Ave.

 1301 Hillside Ave.
 Victoria, BC

Sheet Title
6th Floor Plan

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	7	1	4
THIRD	6	1	5
FOURTH	6	1	5
FIFTH	-	6	1
SIXTH	-	6	1
TOTAL	19	15	16

TOTAL UNITS 50 (38% BACH, 30% 1BR, 32% 2BR)

GROUND ORIENTED UNITS	0
MIN. UNIT FLOOR AREA	331.55 sq. ft. [30.80 sq. m.]
TOTAL RESIDENTIAL FLOOR AREA	28541.92 sq. ft. [2651.63 sq. m.]

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.06

Designed By	Reviewed By
NR	NR

Drawn By	Checked By
AP	NR

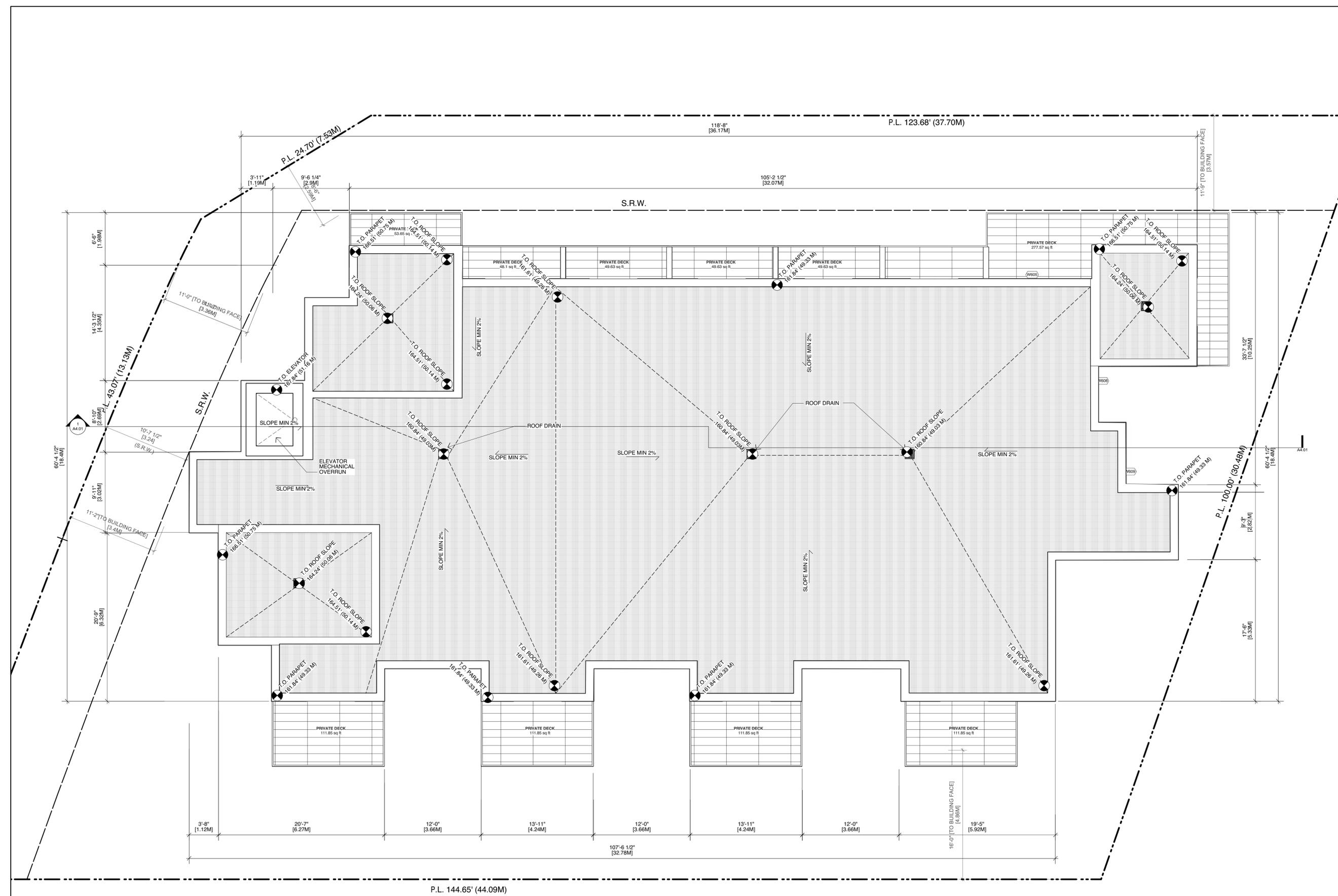
Project ID	Scale	Issue/Revision
217.29	As Noted	

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1 Sixth Floor Plan
 Scale: 3/16" = 1'-0"

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 Consultant

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Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
Roof Plan

Issue Date	Plot Date	Sheet No.
	2019.01.31	A2.07
Designed By NR	Reviewed By NR	
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	Issue/Revision

File name: 2019.01.30_1301 Hillside.wvx



1 Roof Plan
 Scale: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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1 North Elevation
 Scale: 3/16" = 1'-0"

No.	Date	Issue Notes

Architect

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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.01.31	A3.01
Designed By NR	Reviewed By NR	
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	Issue/Revision

File name: 2019.01.30 - 1301 Hillside.vwk

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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 CONTRACTOR TO VERIFY DIMENSIONS BEFORE PROCEEDING AND
 NOTIFY THE ARCHITECTS OF ANY DISCREPANCIES.



No.	Date	Issue Notes

Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.01.31	A3.02
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

File name: 2019.01.30_1301_Hillside_vvk

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAISCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAISCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAISCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAISCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
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1 East Elevation
 Scale: 3/16" = 1'-0"

No.	Date	Issue Notes

Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.01.31	A3.03
Designed By NR	Reviewed By NR	Issue/Revision
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINDRAIN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINDRAIN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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1 West Elevation
 Scale: 3/16" = 1'-0"

No.	Date	Issue Notes

Architect

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Seal

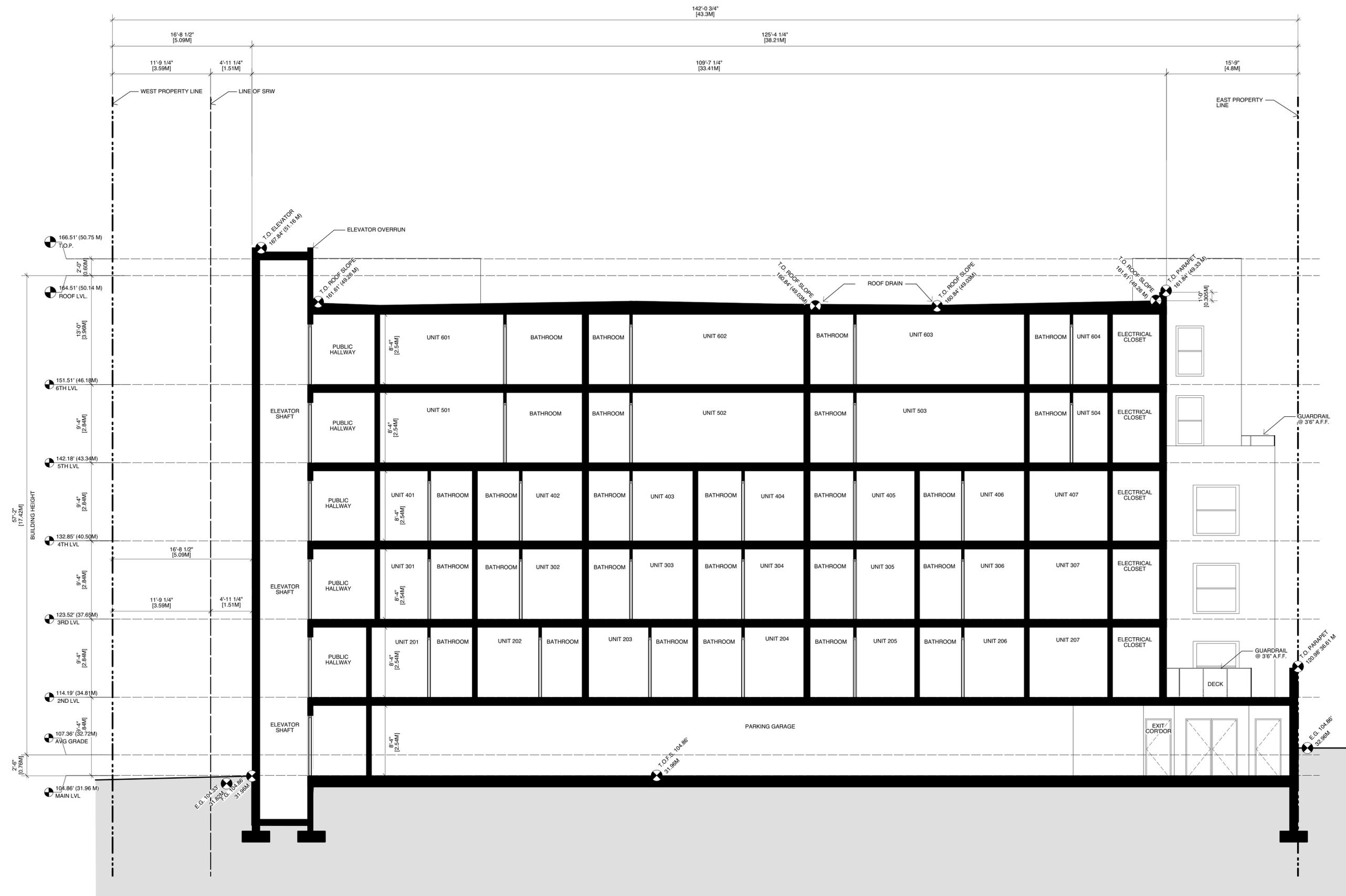
Project Title
1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title
Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.01.31	A3.04
Designed By NR	Reviewed By NR	
Drawn By JM	Checked By NR	
Project ID 217.29	Scale As Noted	Issue/Revision

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1 SECTION VIEW (FROM SOUTH)
 Scale: 3/16" = 1'-0"

No.	Date	Issue Notes

Architect

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Vancouver B.C. V5Y 1J6
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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title

Building Sections

Issue Date	Plot Date	Sheet No.
	2019.01.31	A4.01
Designed By NR	Reviewed By NR	
Drawn By AP	Checked By NR	
Project ID 217.29	Scale As Noted	
	Issue/Revision	

File name: 2019.01.30_1301 Hillside.vwk

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1 NW Corner - Aerial
 NTS



3 SW Corner - Aerial
 NTS



2 NW Corner - Street Level
 NTS



4 NE - Aerial
 NTS

No.	Date	Issue Notes

Issues
 Consultant

Architect
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Seal
 Project Title
1301 Hillside Ave.
 1301 Hillside Ave.
 Victoria, BC

Sheet Title
Perspectives

Issue Date	Plot Date	Sheet No.
	2019.01.31	A7.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
JM	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

File name: 2019.01.30_1301 Hillside.vwk

WINDOW SCHEDULE

QUANTITY	WINDOW SPEC.		Size		Window Data			
	WINDOW NO.	WINDOW ID.	O.A. WIDTH	O.A. Height	Mfr	Model No.	Accessories	Notes
1		W101	4'0"	4'0"	-	-	-	-
1		W102	3'0"	7'6"	-	-	-	-
1		W103	4'0"	4'0"	-	-	-	-
1		W103	5'0"	7'6"	-	-	-	-
1		W104	4'0"	4'0"	-	-	-	-
1		W105	4'0"	4'0"	-	-	-	-
1		W106	4'0"	4'0"	-	-	-	-
1		W107	4'0"	4'0"	-	-	-	-
1		W108	8'8"	7'6"	-	-	-	-
1		W109	8'8"	7'6"	-	-	-	-
1		W110	3'0"	7'6"	-	-	-	-
1		W201	3'0"	7'6"	-	-	-	-
1		W202	3'0"	7'6"	-	-	-	-
1		W203	3'0"	7'6"	-	-	-	-
1		W204	5'0"	7'6"	-	-	-	-
1		W205	5'0"	7'6"	-	-	-	-
1		W206	3'0"	7'6"	-	-	-	-
1		W207	3'0"	7'6"	-	-	-	-
1		W208	3'0"	7'6"	-	-	-	-
1		W208	5'0"	7'6"	-	-	-	-
1		W209	5'0"	7'6"	-	-	-	-
1		W210	3'0"	7'6"	-	-	-	-
1		W211	5'0"	7'6"	-	-	-	-
1		W212	3'0"	7'6"	-	-	-	-
1		W213	5'0"	7'6"	-	-	-	-
1		W214	3'0"	7'6"	-	-	-	-
1		W215	5'0"	7'6"	-	-	-	-
1		W216	3'0"	7'6"	-	-	-	-
1		W217	5'0"	7'6"	-	-	-	-
1		W218	5'0"	7'6"	-	-	-	-
1		W219	3'0"	7'6"	-	-	-	-
1		W220	5'0"	7'6"	-	-	-	-
1		W221	5'0"	7'6"	-	-	-	-
1		W222	8'8"	7'6"	-	-	-	-
1		W223	8'8"	7'6"	-	-	-	-
1		W224	8'8"	7'6"	-	-	-	-
1		W225	8'8"	7'6"	-	-	-	-
1		W226	8'8"	7'6"	-	-	-	-
1		W227	5'0"	7'6"	-	-	-	-
1		W228	3'0"	7'6"	-	-	-	-
1		W229	8'8"	7'6"	-	-	-	-
1		W301	3'0"	7'6"	-	-	-	-
1		W302	5'0"	7'6"	-	-	-	-
1		W303	3'0"	7'6"	-	-	-	-
1		W304	5'0"	7'6"	-	-	-	-
1		W305	3'0"	7'6"	-	-	-	-
1		W306	8'8"	7'6"	-	-	-	-
1		W307	5'0"	7'6"	-	-	-	-
1		W308	5'0"	7'6"	-	-	-	-
1		W309	3'0"	7'6"	-	-	-	-
1		W310	5'0"	7'6"	-	-	-	-
1		W311	8'8"	7'6"	-	-	-	-
1		W312	8'8"	7'6"	-	-	-	-
1		W313	8'8"	7'6"	-	-	-	-
1		W314	8'8"	7'6"	-	-	-	-
1		W315	8'8"	7'6"	-	-	-	-
1		W316	5'0"	7'6"	-	-	-	-
1		W317	3'0"	7'6"	-	-	-	-
1		W318	8'8"	7'6"	-	-	-	-
1		W319	3'0"	7'6"	-	-	-	-
1		W401	3'0"	7'6"	-	-	-	-
1		W402	5'0"	7'6"	-	-	-	-
1		W403	3'0"	7'6"	-	-	-	-
1		W404	5'0"	7'6"	-	-	-	-
1		W405	3'0"	7'6"	-	-	-	-
1		W406	8'8"	7'6"	-	-	-	-
1		W407	5'0"	7'6"	-	-	-	-
1		W408	5'0"	7'6"	-	-	-	-
1		W409	5'0"	7'6"	-	-	-	-
1		W410	3'0"	7'6"	-	-	-	-
1		W411	5'0"	7'6"	-	-	-	-
1		W412	8'8"	7'6"	-	-	-	-
1		W413	8'8"	7'6"	-	-	-	-
1		W414	8'8"	7'6"	-	-	-	-
1		W415	8'8"	7'6"	-	-	-	-
1		W416	8'8"	7'6"	-	-	-	-
1		W417	5'0"	7'6"	-	-	-	-
1		W418	3'0"	7'6"	-	-	-	-
1		W419	8'8"	7'6"	-	-	-	-
1		W420	3'0"	7'6"	-	-	-	-
1		W501	3'0"	7'6"	-	-	-	-
1		W502	3'0"	7'6"	-	-	-	-
1		W503	5'0"	7'6"	-	-	-	-
1		W504	5'0"	7'6"	-	-	-	-
1		W505	3'0"	7'6"	-	-	-	-
1		W506	3'0"	7'6"	-	-	-	-
1		W507	8'8"	7'6"	-	-	-	-
1		W508	8'8"	7'6"	-	-	-	-
1		W509	8'8"	7'6"	-	-	-	-
1		W510	8'8"	7'6"	-	-	-	-
1		W511	5'0"	7'6"	-	-	-	-
1		W512	3'0"	7'6"	-	-	-	-
1		W601	3'0"	7'6"	-	-	-	-
1		W602	5'0"	7'6"	-	-	-	-
1		W603	5'0"	7'6"	-	-	-	-
1		W604	3'0"	7'6"	-	-	-	-
1		W605	5'0"	7'6"	-	-	-	-
1		W606	5'0"	7'6"	-	-	-	-
1		W607	5'0"	7'6"	-	-	-	-
1		W608	3'0"	7'6"	-	-	-	-
1		W609	3'0"	7'6"	-	-	-	-
1		W610	8'8"	7'6"	-	-	-	-
1		W611	8'8"	7'6"	-	-	-	-
1		W612	8'8"	7'6"	-	-	-	-
1		W613	8'8"	7'6"	-	-	-	-
1		W614	5'0"	7'6"	-	-	-	-
1		W615	3'0"	7'6"	-	-	-	-

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No.	Date	Issue Notes

Issues
 Consultant

Architect



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Seal

Project Title

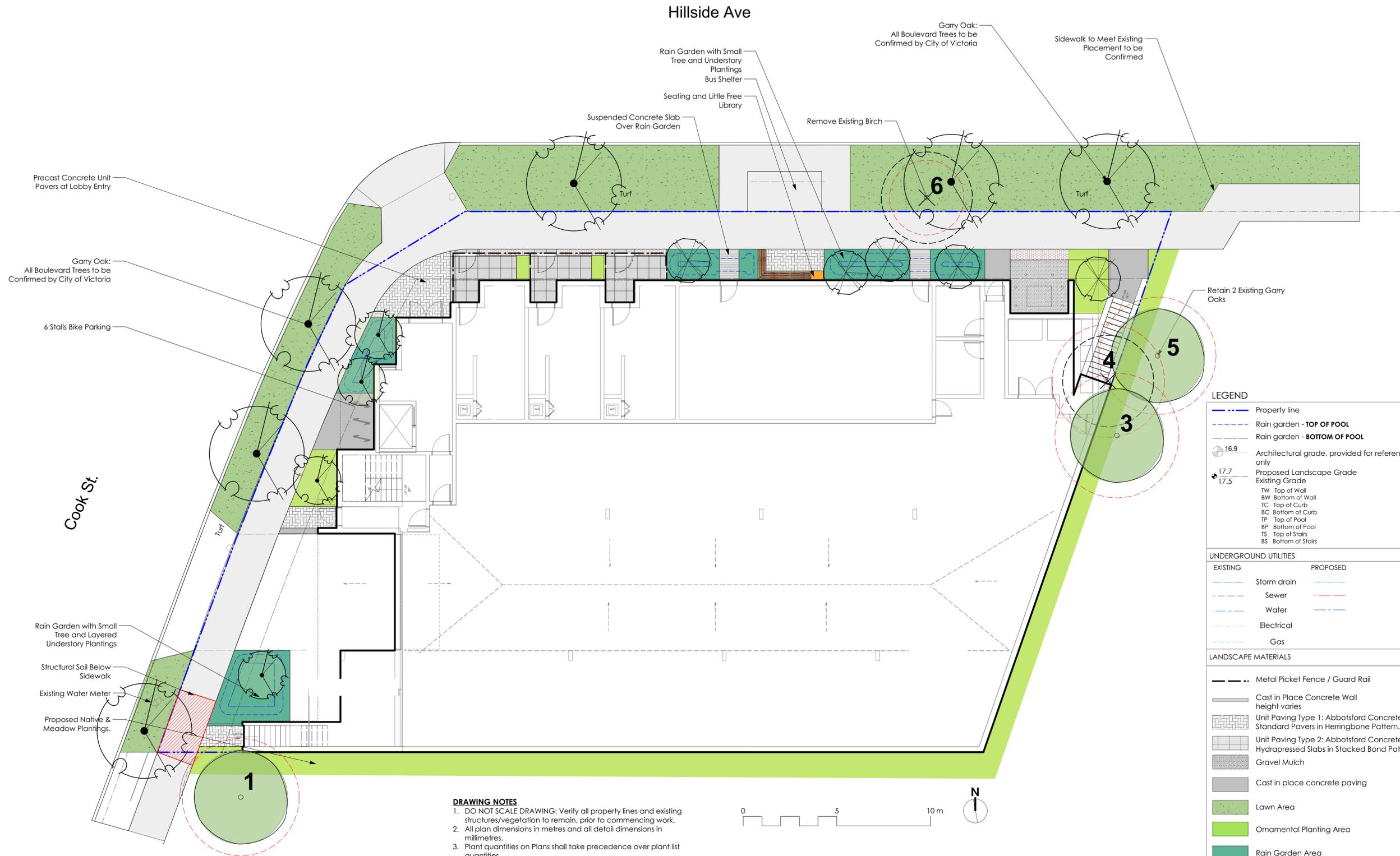
1301 Hillside Ave.

1301 Hillside Ave.
 Victoria, BC

Sheet Title

Window Schedule

Issue Date	Plot Date	Sheet No.
	2019.01.31	A8.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AS	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



Precast Concrete Unit Pavers at Lobby Entry

Garry Oak:
All Boulevard Trees to be Confirmed by City of Victoria

6 Stalls Bike Parking

Cook St.

Rain Garden with Small Tree and Layered Understory Plantings

Structural Soil Below Sidewalk

Existing Water Meter

Proposed Native & Meadow Plantings.

Hillside Ave

Rain Garden with Small Tree and Understory Plantings Bus Shelter

Seating and Little Free Library

Suspended Concrete Slab Over Rain Garden

Remove Existing Birch

Garry Oak:
All Boulevard Trees to be Confirmed by City of Victoria

Sidewalk to Meet Existing Placement to be Confirmed

LEGEND

- Property line
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- 16.9 Architectural grade, provided for reference only
- 17.7 Proposed Landscape Grade
- 17.5 Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

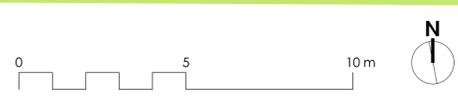
UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	Storm drain
Sewer	Sewer
Water	Water
Electrical	Electrical
Gas	Gas

LANDSCAPE MATERIALS

- Metal Picket Fence / Guard Rail
- Cast in Place Concrete Wall height varies
- Unit Paving Type 1: Abbotsford Concrete Standard Pavers in Herringbone Pattern.
- Unit Paving Type 2: Abbotsford Concrete 'Texeda' Hydrapressed Slabs in Stacked Bond Pattern.
- Gravel Mulch
- Cast in place concrete paving
- Lawn Area
- Ornamental Planting Area
- Rain Garden Area
- Decorative Cobble Mulch
- Prefabricated Planter

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

NOT FOR CONSTRUCTION

rev no	description	date
2	DP Rev 01	2019.01.31
1	DP	2018.01.26

Murdoch de Greeff INC
Landscape Planning & Design

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Victoria, BC V8T 1G1

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client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
Ground Floor Landscape Materials

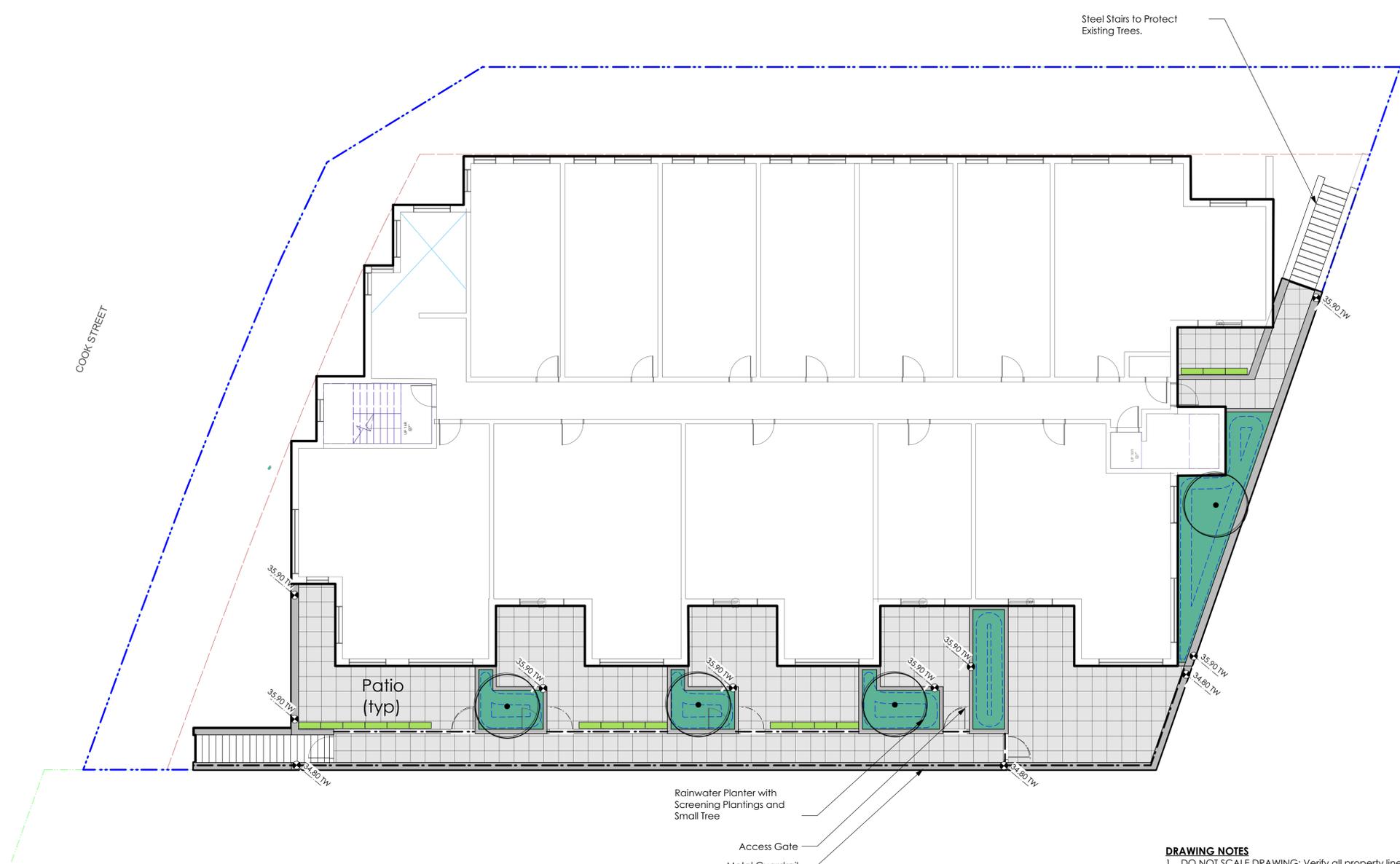
project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

L1.01

HILLSIDE AVENUE

COOK STREET

Steel Stairs to Protect Existing Trees.



Rainwater Planter with Screening Plantings and Small Tree

Access Gate
Metal Guardrail

Patio (typ)

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
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- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IAABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work



ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

LEGEND

	Property line
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL
	Architectural grade, provided for reference only
	Proposed Landscape Grade
	Existing Grade
	TW Top of Wall
	BW Bottom of Wall
	TC Top of Curb
	BC Bottom of Curb
	TP Top of Pool
	BP Bottom of Pool
	TS Top of Stairs
	BS Bottom of Stairs

UNDERGROUND UTILITIES

EXISTING	PROPOSED
Storm drain	Storm drain
Sewer	Sewer
Water	Water
Electrical	Electrical
Gas	Gas

LANDSCAPE MATERIALS

	Metal Picket Fence / Guard Rail
	Cast in Place Concrete Wall height varies
	Unit Paving Type 1: Abbotsford Concrete Standard Pavers in Herringbone Pattern.
	Unit Paving Type 2: Abbotsford Concrete 'Texeda' Hydrapressed Slabs in Stacked Bond Pattern.
	Gravel Mulch
	Cast in place concrete paving
	Lawn Area
	Ornamental Planting Area
	Rain Garden Area
	Decorative Cobble Mulch
	Prefabricated Planter
	Existing Tree to be Retained
	Critical Root Zone (CRZ)
	Tree Tag #
	Existing Tree to be Removed
	Critical Root Zone (CRZ)
	Tree Tag #

NOT FOR CONSTRUCTION

rev no	description	date
2	DP Rev 01	2019.01.31
1	DP	2018.01.26

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client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
Ground Floor Landscape Materials

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG

revision no.	sheet no.
	L1.02

HILLSIDE AVENUE

DRAWING NOTES

1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2. All plan dimensions in metres and all detail dimensions in millimetres.
3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.



RAIN WATER MANAGEMENT NOTES

Water collected from building roofs and patios flow to the rain gardens and planters located throughout the site.

Rain gardens and planters are integrated landscapes that are designed to capture, slow flows, and treat runoff from roofs and patios.

The rain gardens and planters are sized such that the bottom of the rain garden/planter is a minimum of 5% of the impervious area (as per City of Victoria Stormwater Guidelines).

Rain gardens and planters will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

LEGEND

- PROPERTY LINE
- - - EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- - - RAIN GARDEN - TOP OF POOL
- - - RAIN GARDEN - BOTTOM OF POOL
- 16.50 EXISTING GRADE (APPROXIMATE)
- 14.35 PROPOSED LANDSCAPE GRADE
- TP TOP OF POOL
- BP BOTTOM OF POOL
- DIRECTION OF FLOW
- RAIN GARDEN / PLANTER

IMPERVIOUS AREAS

- ROOF DRAINS TO RAIN GARADEN / RAIN PLANTER

NOT FOR CONSTRUCTION

rev no	description	date
2	DP Rev 01	2019.01.31
1	DP	2018.01.26

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Fax: 250.412.2892

client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
**Ground Floor
Landscape
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

1
L1.03



NOT FOR CONSTRUCTION

rev no	description	date
2	DP Rev 01	2019.01.31
1	DP	2018.01.26

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L3.01

Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
LEVEL 1 TREES:				
	5	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	3 m ht, multi-stem, b+b
	6	Quercus garryana	Garry Oak	4.0cm cal, b&b
LEVEL 2 TREES:				
	4	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
LEVEL 1 SHRUBS, VINES AND GROUNDCOVERS:				
Bw	58	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	#1 pot
Cm	15	Carex morrowii 'Ice Dance'	Japanese Sedge Grass	#1 pot
Co	47	Carex obnupta	Slough Sedge	#1 pot
Cme	3	Clematis montana 'Elizabeth'	Anemone Clematis	#2 pot
Is	6	Iris sibirica	Siberian Iris	#1 pot
Jcg	16	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Lp	4	Lonicera pileata	Privet Honeysuckle	#2 pot
Pm	7	Polystichum munitum	Sword Fern	#1 pot
Rs	13	Ribes sanguineum 'White Icicle'	White Flowering Currant	#3 pot
Sco	9	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
LEVEL 2 SHRUBS, BULBS AND GROUNDCOVERS:				
Ama	3	Amelanchier alnifolia	Saskatoon Serviceberry	#3 pot
Arc	4	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Cx	7	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot / 1.8 m O.C.
Cq	119	Camassia quamash	Camas	2 bulbs each, 40cm o.c.
Cm	2	Carex morrowii 'Ice Dance'	Japanese Sedge Grass	0.55
Co	73	Carex obnupta	Slough Sedge	#1 pot
Fc	4	Fragaria chiloensis	Coast Strawberry	Sp3 30cm o.c.
Gsh-1	11	Gaultheria shallon	Salal	#1 pot, 40cm o.c.
Hd	21	Holodiscus discolor	Oceanspray	#2 pot
Jcg	39	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Ma	33	Mahonia aquifolium	Oregon Grape	#2 pot
Phil	2	Philadelphus lewisii	Mock Orange	#5 pot
Pm	10	Polystichum munitum	Sword Fern	#1 pot
Rs	24	Ribes sanguineum	Red Flowering Currant	#3 pot

- DRAWING NOTES**
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
 - All plan dimensions in metres and all detail dimensions in millimetres.
 - Plant quantities on Plans shall take precedence over plant list quantities.
 - Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
 - Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
 - Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
 - Landscape installation to carry a 1 year warranty from date of acceptance.
 - Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
 - General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
 - Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.