

Average Existing Grade Calculation: 27.5 + 27.6 + 26.5 + 26.7 = 108.3 / 4 = 27.0 average existing grad	е
Proposed Average Grade: 27 + 27 + 27 + 27 = 108 / 4 = 27m average propsed grade	

PROJECT INFORMATION TABLE

NEW ZONE

671.5 m²

929.5 m²

ZERO

12.5m

2.0m

10.85m

5.16m

11

2 **47.1 m²**

559.3m²



Zone (existing)

Site area (m²)

Total floor area (m²)

Floor space ratio

Site coverage (%)

Number of storeys

Front yard

Rear yard

Open site space (%)

Height of building (m)

Building Setbacks (m)

Combined side yards **Residential Use Details**

Total number of units

Unit type, e.g., 1 bedroom

Minimum unit floor area (m²)

Total residential floor area (m²)

Ground-orientated units

Parking stalls (number) on site

Side yard (indicate which side)

Side yard (indicate which side)

Bicycle parking number (Class 1 and Class 2)

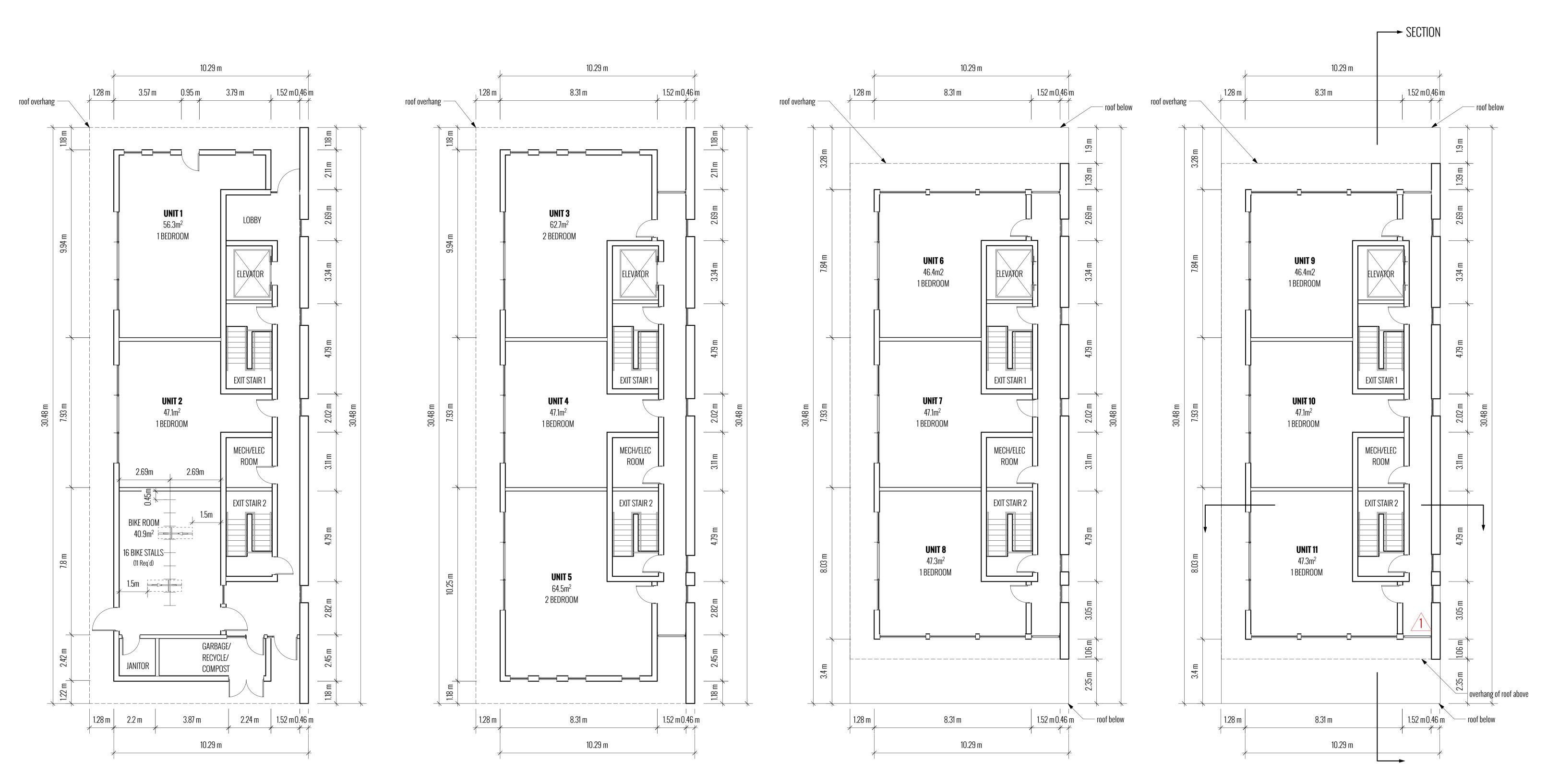
Proposed zone or site specific zone

If unsure, state "new zone"

Commercial floor area (m²)

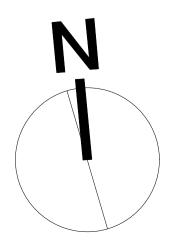
FLOOR PLANS | APARTMENTS @ 953 BALMORAL | SCHEMATIC DESIGN FOR DEVELOPMENT PERMIT & REZONING APPLICATION | MARCH 2019 | SCALE 1:100

<u>GROUND FLOOR PLAN</u>



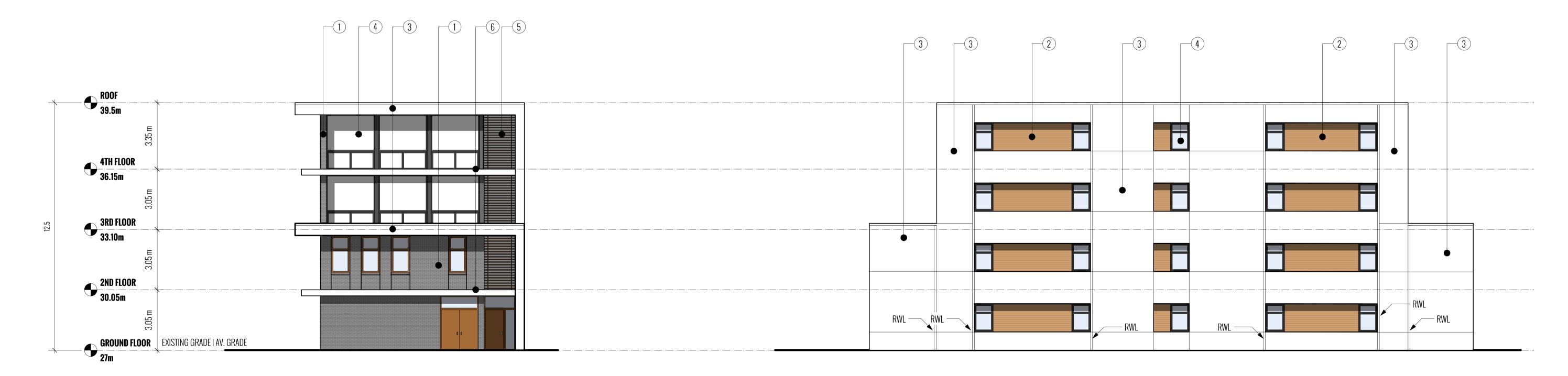
SECOND FLOOR PLAN

<u>Fourth Floor Plan</u>



<u>Third Floor Plan</u>

SOUTH ELEVATION



NORTH ELEVATION





ELEVATIONS | APARTMENTS @ 953 BALMORAL | SCHEMATIC DESIGN FOR DEVELOPMENT PERMIT & REZONING APPLICATION | MARCH 2019 | SCALE 1:100

WEST ELEVATION

MATERIALS

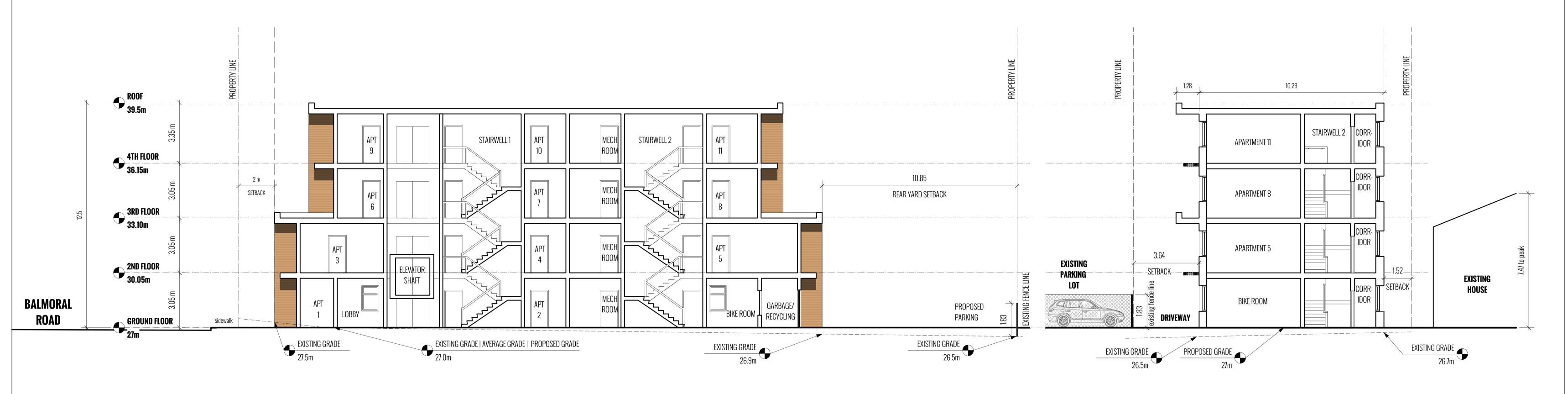
- 1 Variable Charcoal Brick
- 2 Stained Wood Siding
- 3 Stucco
- (4) Glazing
- 5 Screen
- 6 Brise Soleil

5 6 7 8 9 10 m

EAST ELEVATION

0





LONG SECTION

SECTIONS | APARTMENTS @ 953 BALMORAL | SCHEMATIC DESIGN FOR DEVELOPMENT PERMIT & REZONING APPLICATION | MARCH 2019 | SCALE 1:100

SHORT SECTION

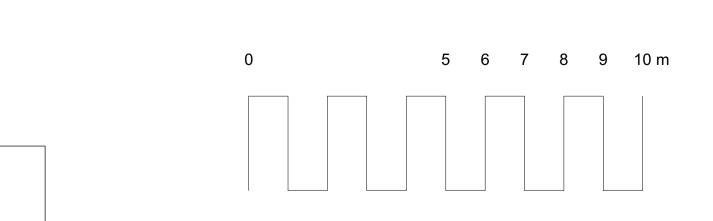




FIGURE 1: RENDERING OF NORTHWEST VIEW OF BUILDING



CONTEXT ELEVATION | APARTMENTS @ 953 BALMORAL | SCHEMATIC DESIGN FOR DEVELOPMENT PERMIT & REZONING APPLICATION | MARCH 2019 | SCALE NTS



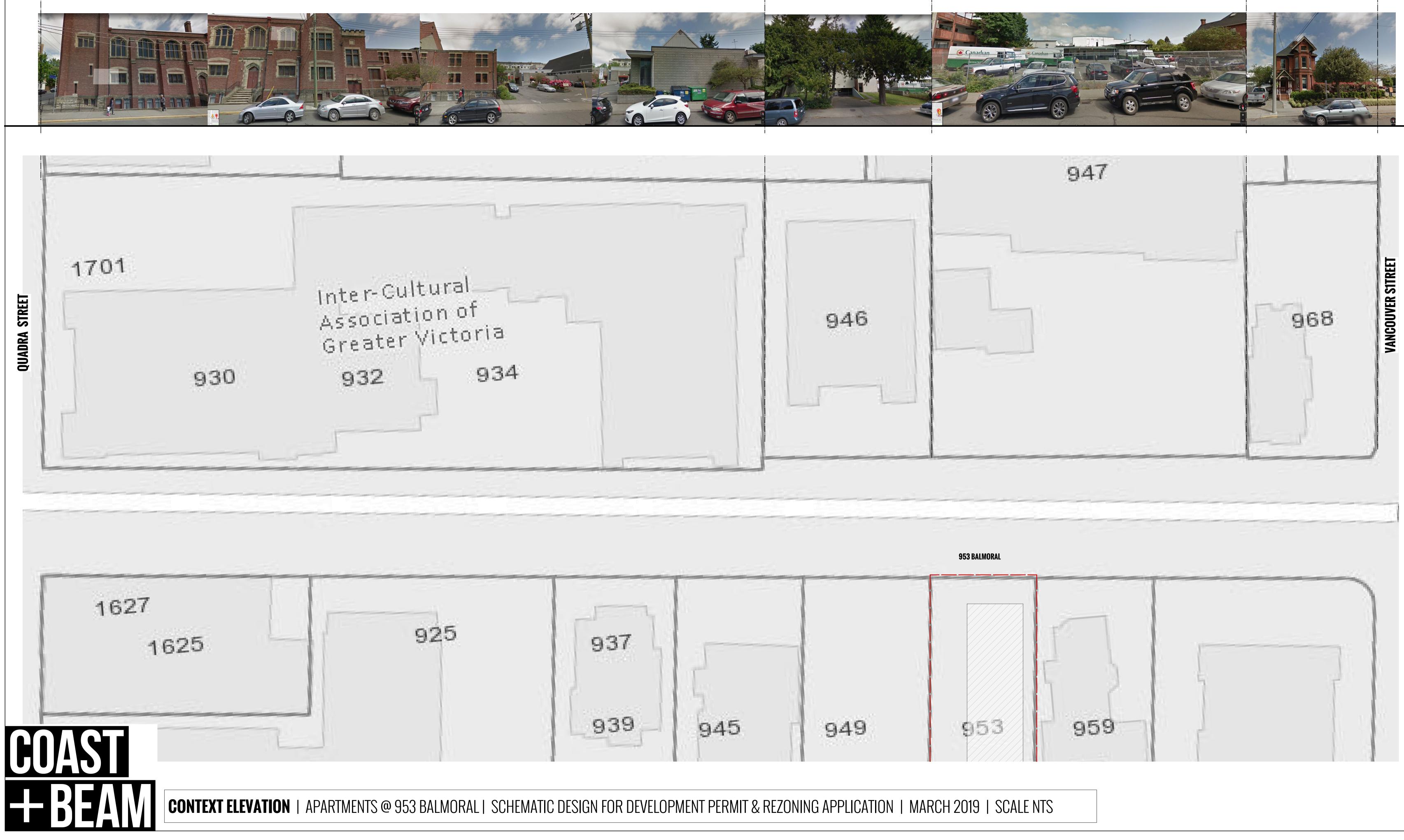
FIGURE 2: RENDERING OF NORTH VIEW OF BUILDING



CONTEXT ELEVATION | APARTMENTS @ 953 BALMORAL | SCHEMATIC DESIGN FOR DEVELOPMENT PERMIT & REZONING APPLICATION | MARCH 2019 | SCALE NTS

INTER-CULTRUAL ASSOCIATION OF GREATER VICTORIA

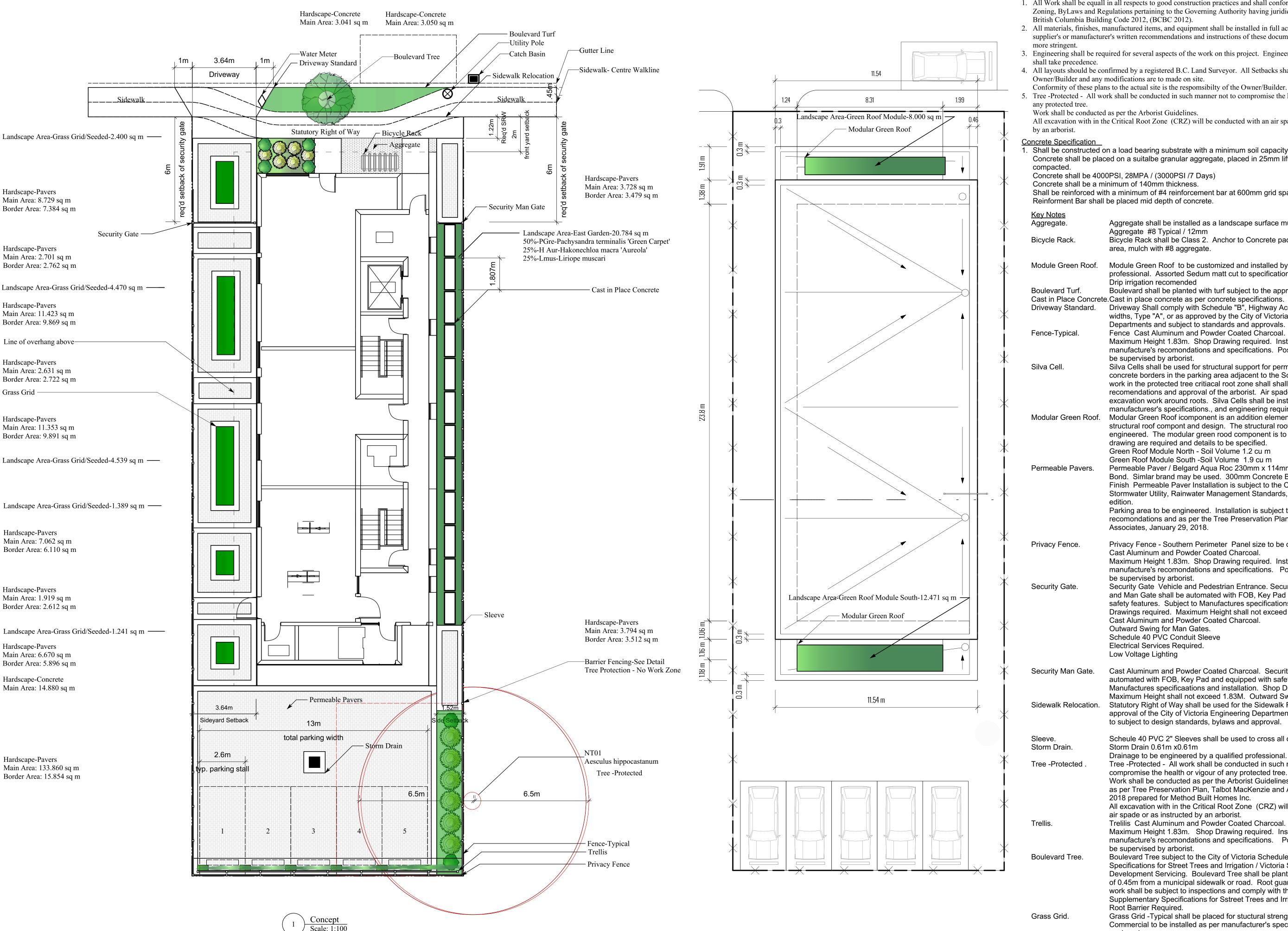




PRIVATE APARTMENT BUILDING

CANADIAN LINEN AND UNIFORM SERVICE

HOLLIS WEALTH SERVICES



Roof Plan Scale: 1:100

1. All Work shall be equal in all respects to good construction practices and shall conform to current Zoning, ByLaws and Regulations pertaining to the Governing Authority having juridiction and the British Columbia Building Code 2012, (BCBC 2012). 2. All materials, finishes, manufactured items, and equipment shall be installed in full accordance with the supplier's or manufacturer's written recommendations and instructions of these documents, whichever is

. Engineering shall be required for several aspects of the work on this project. Engineering specifications

4. All layouts should be confirmed by a registered B.C. Land Surveyor. All Setbacks shall be confirmed by Owner/Builder and any modifications are to made on site.

5. Tree -Protected - All work shall be conducted in such manner not to compromise the health or vigour of

All excavation with in the Critical Root Zone (CRZ) will be conducted with an air spade or as instructed

1. Shall be constructed on a load bearing substrate with a minimum soil capacity of 3000PSI. Concrete shall be placed on a suitable granular aggregate, placed in 25mm lifts, rolled and

Concrete shall be 4000PSI, 28MPA / (3000PSI /7 Days)

General Notes

Shall be reinforced with a minimum of #4 reinforcement bar at 600mm grid spacing or better. Reinforment Bar shall be placed mid depth of concrete.

- Aggregate shall be installed as a landscape surface mulch. Aggregate #8 Typical / 12mm
- Bicycle Rack shall be Class 2. Anchor to Concrete pad. Adjacent Landscape area, mulch with #8 aggregate.
- Module Green Roof to be customized and installed by a qualified professional. Assorted Sedum matt cut to specification. Drip irrigation recomended
- Boulevard shall be planted with turf subject to the approval.
- Cast in Place Concrete.Cast in place concrete as per concrete specifications. Driveway Standard. Driveway Shall comply with Schedule "B", Highway Access Bylaw, Standard widths, Type "A", or as approved by the City of Victoria Engineering
 - Departments and subject to standards and approvals. Fence Cast Aluminum and Powder Coated Charcoal.
 - Maximum Height 1.83m. Shop Drawing required. Installation as per manufacture's recomondations and specifications. Post installation in CRZ to be supervised by arborist.
 - Silva Cells shall be used for structural support for permeable pavers and concrete borders in the parking area adjacent to the Southern perimeter. All work in the protected tree critiacal root zone shall shall be subject to the recomendations and approval of the arborist. Air spade may be required for excavation work around roots. Silva Cells shall be installed as per the manufacturesr's specifications., and engineering requirements. Silva Cell Modular Green Roof icomponent is an addition element and is not part of the
 - structural roof compont and design. The structural roof will need to engineered. The modular green rood component is to be fabricated. Shop drawing are required and details to be specified. Green Roof Module Green Roof Module North - Soil Volume 1.2 cu m
 - Green Roof Module South -Soil Volume 1.9 cu m
 - Permeable Paver / Belgard Agua Roc 230mm x 114mm x 80mm Grey Running Bond. Simlar brand may be used. 300mm Concrete Border Smooth Trowel Finish Permeable Paver Installation is subject to the City of Victoria Stormwater Utility, Rainwater Management Standards, Profession / latest edition.
 - Parking area to be engineered. Installation is subject to arborist recomondations and as per the Tree Preservation Plan, Talbot MacKenzie & Associates, January 29, 2018. Permeable Paver
 - Privacy Fence Southern Perimeter Panel size to be determined.
 - Cast Aluminum and Powder Coated Charcoal. Maximum Height 1.83m. Shop Drawing required. Installation as per manufacture's recomondations and specifications. Post installation in CRZ to
 - be supervised by arborist. Security Gate Vehicle and Pedestrian Entrance. Security Gate for Driveway and Man Gate shall be automated with FOB. Key Pad and equipped with safety features. Subject to Manufactures specifications and installation. Shop
 - Drawings required. Maximum Height shall not exceed 1.83M.
 - Cast Aluminum and Powder Coated Charcoal.
 - Outward Swing for Man Gates.
 - Schedule 40 PVC Conduit Sleeve
 - Electrical Services Required.
 - Low Voltage Lighting

Cast Aluminum and Powder Coated Charcoal. Security Man Gate shall be automated with FOB, Key Pad and equipped with safety features. Subject to Manufactures specificaations and installation. Shop Drawing will be required. Maximum Height shall not exceed 1.83M. Outward Swing. Sidewalk Relocation. Statutory Right of Way shall be used for the Sidewalk Relocation subject to the approval of the City of Victoria Engineering Department. Construction details

> to subject to design standards, bylaws and approval. Scheule 40 PVC 2" Sleeves shall be used to cross all concrete sections.

Storm Drain 0.61m x0.61m

- Drainage to be engineered by a qualified professional.
- Tree -Protected All work shall be conducted in such manner not to

compromise the health or vigour of any protected tree.

Work shall be conducted as per the Arborist Guidelines and recomondations as per Tree Preservation Plan, Talbot MacKenzie and Associates, January 29, 2018 prepared for Method Built Homes Inc.

All excavation with in the Critical Root Zone (CRZ) will be conducted with an air spade or as instructed by an arborist.

Trelilis Cast Aluminum and Powder Coated Charcoal.

Maximum Height 1.83m. Shop Drawing required. Installation as per manufacture's recomondations and specifications. Post installation in CRZ to be supervised by arborist.

Boulevard Tree subject to the City of Victoria Schedule C Supplemental Specifications for Street Trees and Irrigation / Victoria Subdivision and Development Servicing. Boulevard Tree shall be planted a minimum distance of 0.45m from a municipal sidewalk or road. Root guard shall be installed. All work shall be subject to inspections and comply with the City of Victoria Supplementary Specifications for Sstreet Trees and Irrigation Schedule C. Root Barrier Required. Root Barrier

Grass Grid -Typical shall be placed for stuctural strength. Core 60-40 Commercial to be installed as per manufacturer's specifications, subject to engineering. Grass Grid

Hardscape Name	Footprint Area	Footprint Perimeter	Main Area	
Hardscape-Pavers	12.57 sq m	19.342m	6.67 sq m	
Hardscape-Pavers	13.17 sq m	20.047m	7.06 sq m	
Hardscape-Pavers	4.53 sq m	9.79m	1.92 sq m	
Hardscape-Pavers	7.31 sq m	12.741m	3.79 sq m	
Hardscape-Pavers	7.21 sq m	12.634m	3.73 sq m	
Hardscape-Pavers	21.24 sq m	32.451m	11.35 sq m	
Hardscape-Pavers	16.11 sq m	24.225m	8.73 sq m	
Hardscape-Pavers	149.71 sq m	62.986m	133.86 sq m	
Hardscape-Pavers	5.46 sq m	10.282m	2.7 sq m	
Hardscape-Pavers	5.35 sq m	10.151m	2.63 sq m	
Hardscape-Pavers	21.29 sq m	32.378m	11.42 sq m	
Hardscape-Concrete	3.04 sq m	7.041m	3.04 sq m	
Hardscape-Concrete	14.88 sa m	26.437m	14.88 sa m	

Hardscape-Concrete 3.05 sq m 7.053m 3.05 sq m

0.	Date	Appr	Revision Notes
1	2018-12-06		L-1 Landscape Plan & Green Roof Plan Revised Plan and Sheet
Jo.	Date		Issue Notes
1	2018-12-06	Issued	

Errors and Omissions:

Designer: Will not be responsible for the costs incurred to owner or Contractor(s) through errors or omissions on plans or drawing specifications after building perimt(s) are issued, contracts or aggreements to commence work are made.

Contractor: Do not scale drawing. The contractor / owner shall check all dimensions and aspects of this plan, and make work(s) agreement prior to construction. Notify the designer of any discrepancies before work commences. All materials and workmanship to meet the requirements of the current issue of the British Columbia Building Code 2012, Municipal By-Laws. Read Plan in conjunction with any Professional Engineering Drawings or Reports, Geotechnical Drawings or Reports or Legal Surveys and other related documents.

This drawing is the intelectual property of the designer and is to be used exclusively for the project drawn. Any reproduction in whole, or in part, shall only be permitted with the written consent and authorization from Larry Myers of Alfresco Living Design.

All work shall comply with the British Columbia Building Code 2012 and all Municipal By-Laws.

All Window, Doors and Skylights shall comply with BCBC 2012 Part 9. Conform to all Fire and Life provisions of the BCBC 2012,

Part 9 Locate and Install all Smoke Detectors in accordance with BCBC Part 9.

Alfresco

Living Design

Design Firm

Larry Myers Alfresco Living Design 79-850 Parklands Drive, Victoria, BC, V9A 7L9 alfrescolivingdesign@icloud.com alfrescolivingdesign.ca

250-893-5802

landscapes environments

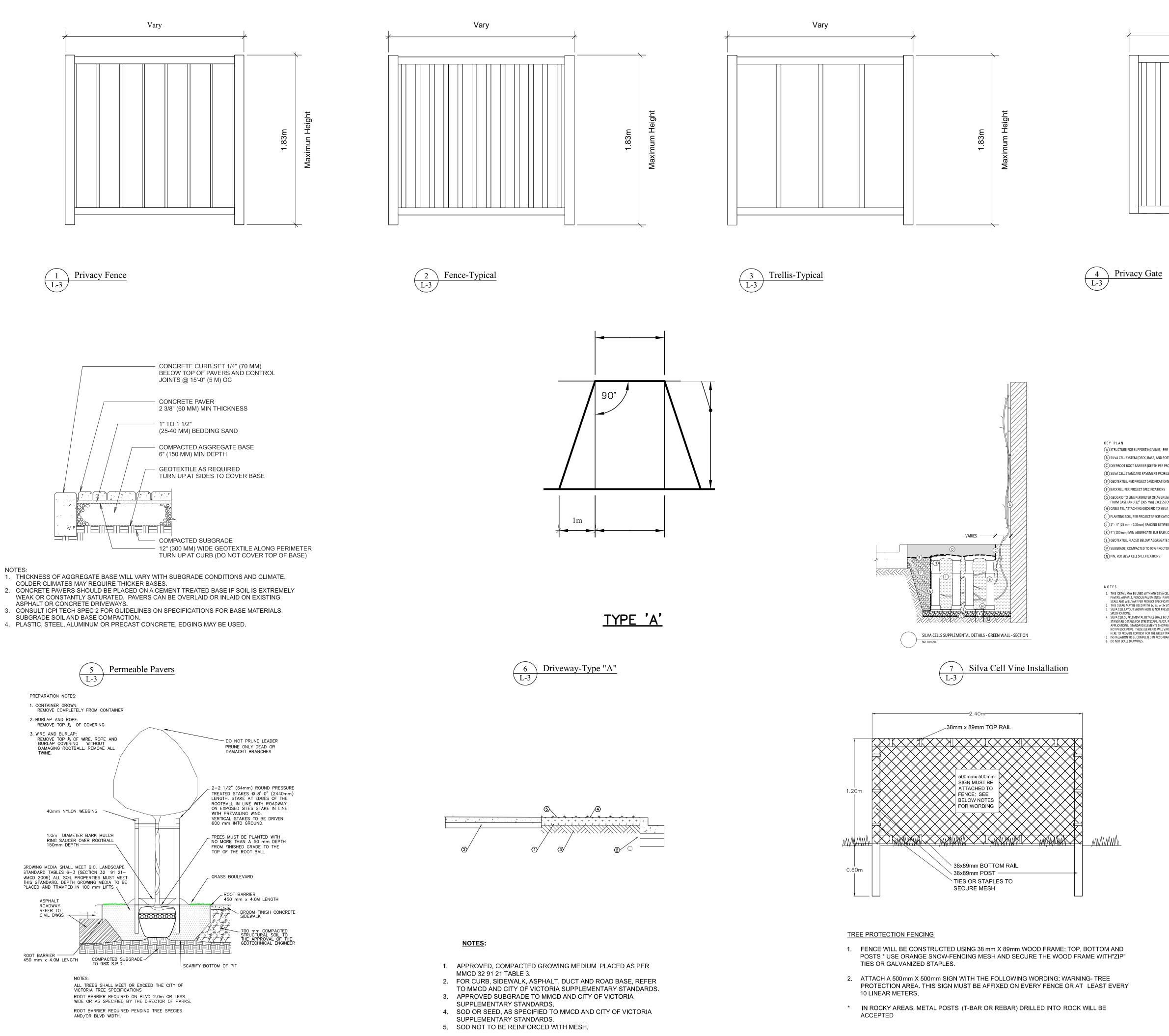
exteriors

Project Title

Apartments @ 953 Balmoral

Landscape Plan & Green Roof Plan

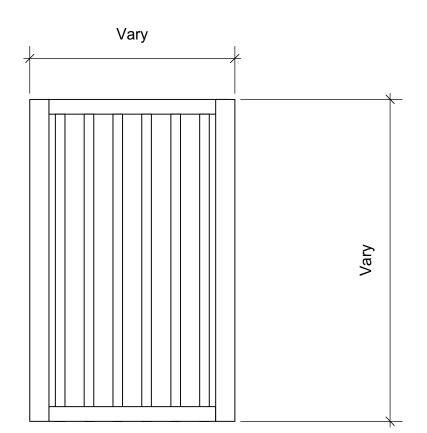
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Reviewed By LM	Sheet No.	
December 6, 2018		
CAD File Name 2019BalmoralR		



L-3

Tree Planting in Boulevard 8 L-3

 $10 \setminus$ Tree Protection Fencing L-3 /



(A) STRUCTURE FOR SUPPORTING VINES, PER PROJECT SPECIFICATIONS (B) SILVA CELL SYSTEM (DECK, BASE, AND POSTS) C DEEPROOT ROOT BARRIER (DEPTH PER PROJECT SPECIFICATIONS) D SILVA CELL STANDARD PAVEMENT PROFILE, SEE NOTE 1 (E) GEOTEXTILE, PER PROJECT SPECIFICATIONS

(F) BACKFILL, PER PROJECT SPECIFICATIONS (G) GEOGRID TO LINE PERIMETER OF AGGREGATE WITH 6" (150 mm) TOE (OUTWARD

FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK) (H) CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE

(I) PLANTING SOIL, PER PROJECT SPECIFICATIONS. COMPACTED TO 70-80% PROCTOR.

(J) 1" - 4" (25 mm - 100mm) SPACING BETWEEN SILVA CELLS AT BASE (K) 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR

L GEOTEXTILE, PLACED BELOW AGGREGATE SUB BASE

(M) SUBGRADE, COMPACTED TO 95% PROCTOR (N) PIN, PER SILVA CELL SPECIFICATIONS

1. THIS DETAIL MAY BE USED WITH ANY SILVA CELL STANDARD PAVING PROFILE (CONCRETE, THIS DETAIL MAY BE USED WITH ANY SILVA CELL STANDARD PAVING PROFILE (CONCRETE, PAVERS, ASPHALT, POROUS PAVEMENTS). PAVING PROFILE SHOWN IN THIS DETAIL IS NOT TO SCALE AND WILL VARY PER PROJECT SPECIFICATIONS.
THIS DETAIL MAY BE USED WITH 1x, 2x, or 3x SYSTEMS. SHOWN HERE ARE 3x SILVA CELLS.
SILVA CELL LAYOUT SHOWN HERE IS NOT PRESCRIPTIVE AND WILL VARY PER PROJECT SPECIFICATIONS.
SILVA CELL LAYOUT SHOWN HERE IS NOT PRESCRIPTIVE AND WILL VARY PER PROJECT SPECIFICATIONS.
SILVA CELL SUPLEMENTAL DETAILS SHALL BE USED IN CONJUNCTION WITH SILVA CELL STANDARD DETAILS FOR STREETSCAPE, PLAZA, PARKING LOT, AND / OR PEDESTRIAN APPLICATIONS. STANDARD ELEMENTS SHOWN ON THIS DRAWING ARE EXAMPLES AND ARE NOT PRESCRIPTIVE. THESE ELEMENTS WILL VARY FROM PROJECT TO PROJECT AND ARE SHOWN HERE TO PROVIDE CONTENT FOR THE GREEN WALLS SECTION. SEES TANDARD DETAILS.
INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
DO NOT SCALE DRAWINGS.

No.	Date	Appr	Revision N	Notes
	2018-11-29		L-3, Detail	
			New Sheet Submi	ission
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No. 1	Date 2018-12-06	I _{ssued}	Issue Notes	
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	construction. N commences. A	Notify the All materia	e designer of any discrep als and workmanship to	pancies before work meet the requirements of
	the current issu By-Laws. Rea	ue of the E ad Plan in	British Columbia Buildi conjunction with any P	ing Code 2012, Municipal Professional Engineering
		eports, Ge	eotechnical Drawings o	or Reports or Legal Surveys
			lectual property of the d ect drawn. Any	designer and is to be used
	reproduction in	n whole, o	or in part, shall only be	permitted with the written Alfresco Living Design.
	All work shall	comply w	vith the British Columb	ia Building Code 2012 and
	all Municipal E All Window , I	By-Laws. Doors and	l Skylights shall comply	y with BCBC 2012 Part 9.
	Conform to all Part 9.	Fire and	Life provisions of the	BCBC 2012,
	Locate and Ins BCBC Part 9.	tall all Sn	noke Detectors in accor	dance with
		Alfre		
			Living Design	
De	esign Firm		- Muar	
	~	70 851	Larry Myers Alfresco Living I Parklands Drive Victo	Design
		79-8 <i>3</i> 0	0 Parklands Drive, Victo alfrescolivingdesign@	icloud.com
			alfrescolivingdesign.org	
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