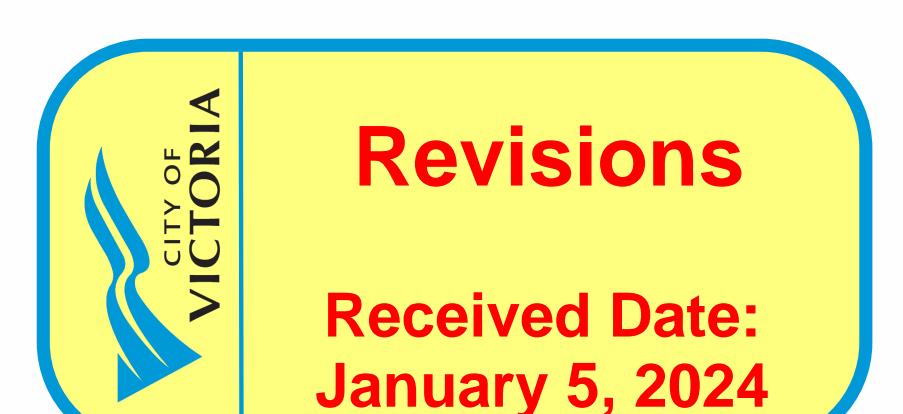




Contacts + Drawing List

Owner	Architectural	Landscape	Civil	Electrical	
One Point Property Team One Point General Construction 4520 West Saanich Road Saanich, BC V8Z 3S4 Neil Parker - neil@onepointconstruction.com	A0.0 Cover A0.1 Context Views A0.2 Context Views A0.3 Context Views A0.4 Height & Massing Analysis A0.5 Context Elevations A0.6 Sun and Shade Analysis A0.7 Site Plan A0.8 Sun and Shade Study A1.0 Existing Site Survey A1.1 Site Plan A1.2 Average Grade Calculations A1.3 Level 1 Phasing Plan A1.4 P1 Phasing Plan A2.0 P2 Parking Plan A2.1 P1 Parking Plan A2.2 Level 1 Plan A2.3 Level 2 Plan A2.4 Level 3 Plan A2.5 Level 4 Plan A2.6 Level 5-13 Plan A2.7 Penthouse + Roof Plan A3.0 North Elevation A3.1 East Elevation A3.2 South Elevation A3.3 West Elevation A4.0 Building Sections A4.1 Building Sections A4.2 Building Section / Elevations	L0.00 Cover L0.01 General Information Sheet L0.02 Tree Survey Plan L0.03 Tree Management Plan L1.01 Landscape Materials - Ground L1.02 Landscape Materials - Roof L1.03 Soil Volume Management & Grading L1.04 Landscape Precedents L1.05 Landscape Materials - Sections L1.06 Landscape Materials - Sections L1.07 Soil Volumes L3.01 Planting Plan L3.02 Planting Plan L4.01 Landscape Details	C1.0 Conceptual Site Demolition C2.0 Conceptual Site Servicing Plant C3.0 Conceptual Site Surface Works	E100 Off-site Lighting Design & Details E101 Off-site Lighting Design & Details	D'AMBROSIO architecture + urbanism
Architect D'Ambrosio architecture + urbanism 2960 Julian Road Victoria, BC V8T 5K2 250.384.2400 x 103 Erica Sangster - esangster@daustudio.ca					2960 Julian Road Victoria BC Canada V8T 5K2 tel 250.384.2400 eml mail@daustudio.ca web www.daustudio.ca
Landscape Architect Murdoch de Groot Inc. 200 - 524 Culduthel Road Victoria, BC V8Z 1G1 250.412.2891 Scott Murdoch - scott@mdgdesign.ca					 Revisions Received Date: January 5, 2024
Civil Consultant WSP 301 - 3600 Uptown Blvd. Victoria, BC V8Z 0B9 250.388.0008 Jeff Somerville - jeff.somerville@wsp.com					#21-18
Electrical Consultant AES Engineering 500 - 3795 Carey Road, Victoria, BC V8Z 6T8 778.742.2003 Bal Klear - bal.klear@aesengr.com					Montreal and Quebec 205 Quebec Street Victoria, BC
Transportation Consultant WatConsulting Group 302 - 320 Hillside Avenue Victoria, BC V8T 1Z2 250.388.9877 x 423 Nadine King - nking@watconsultinggroup.com					Rezoning/DP Resubmission 23.12.22



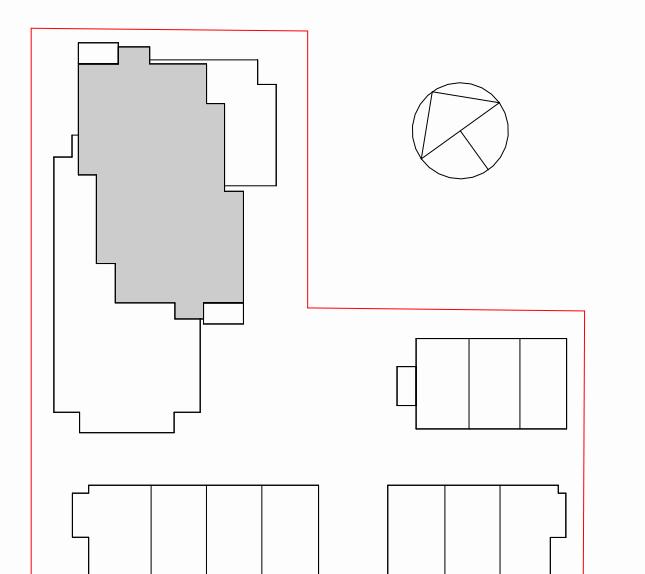
THIS DOCUMENT HAS BEEN ELECTRONICALLY
CERTIFIED. A DIGITAL CERTIFICATE AND
ENCRYPTION TECHNOLOGY AUTHENTICATE
THE ABC. THE AUTHORITATIVE ORIGINAL IS IN
THE DIGITAL CERTIFIED FILE. NO COPY
CAN BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL. THIS DOCUMENT IS THE PROPERTY OF
D'AMBROSIO architecture + urbanism, BEARING IMAGES OF
THE PROFESSIONAL SEAL AND SIGNATURE OF
THE PROFESSIONAL OR PERSON AUTHORIZED FROM THE
DIGITALLY CERTIFIED ELECTRONIC FILE.



1 Rendered Context View
NTS



2 Rendered Context View
NTS



1 2

6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for ADU 21.12.22
2 Issued for Rezoning / DP 21.12.15
1 Issued for Dev. Tracker 21.10.19
rev no. description date
copyright reserved, these drawings and designs are and at all times remain the property of D'AMBROSIO architecture + urbanism
used for the project shown and may not be reproduced without written permission

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Context Views

project no. #21-18
scale As indicated
drawn by CF
date issued 12/06/22 sheet no. A0.1
2023-12-22 10:33:45 AM



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ELECTRONIC SIGNATURE BY THE AUTHORITY OF THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND CAN BE RELIED UPON AS A TRUE COPY OF THE DOCUMENT SUPPLIED. D'AMBROSIO architecture + urbanism, LEADING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE CAN BE REVIEWED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



1 Rendered Context View
NTS



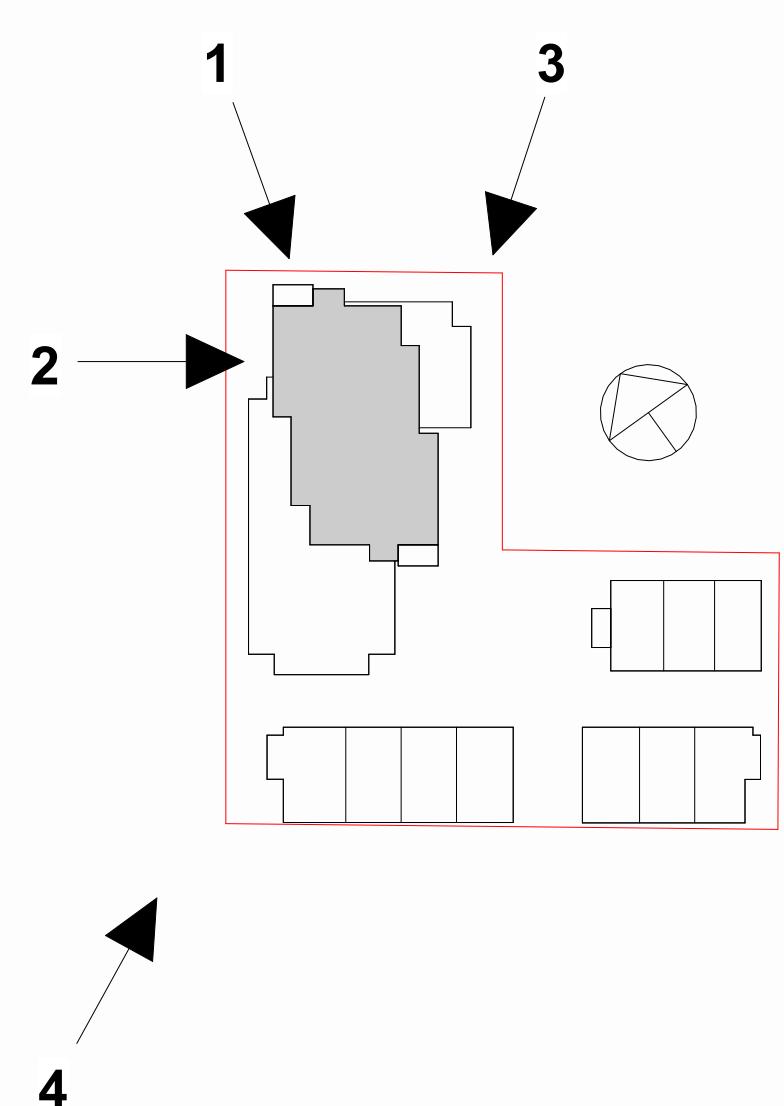
2 Montreal Entry Render
NTS



3 Rendered Context View
1:1



4 Rendered Context View
1:1

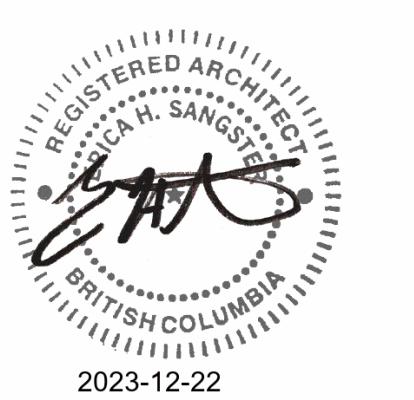


6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.02.26
4 Issued ADP 22.02.07
2 Issued for Rezoning / DP 23.12.15
1 Issued for Dev. Tracker 21.10.19
rev no description date
copyright reserved: these drawings and designs are and at all times shall remain the property of D'AMBROSIO and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Context Views

project no. #21-18
scale As indicated
drawn by CF
date issued 12/06/22 sheet no. A0.2
2023-12-22 10:33:47 AM

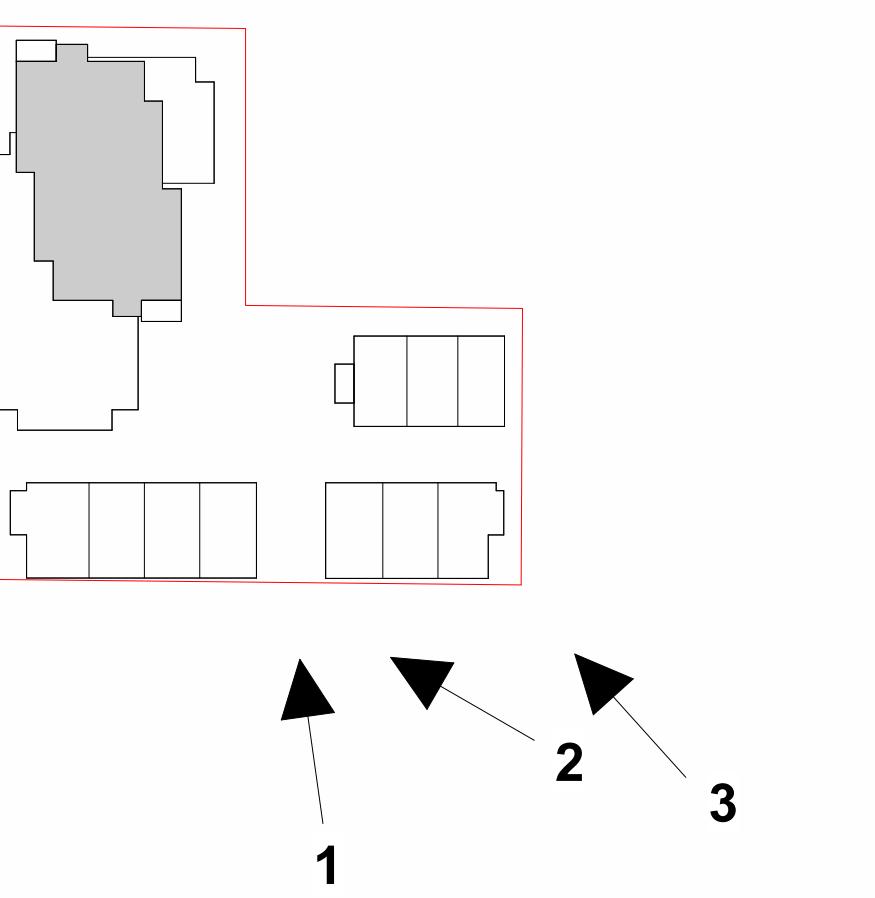


THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND
SIGNED ON 2023-12-22 BY D'AMBROSIO ARCHITECTURE + URBANISM. THE AUTHORITATIVE ORIGINAL IS IN
THE ABC. THE ELECTRONIC COPY IS A TRUE COPY OF THE ORIGINAL. IT CAN BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL. WHEN SUBMITTED TO THE ABC, THE ELECTRONIC COPY BEARS IMAGES OF THE
PROFESSIONAL SEAL AND DIGITAL SIGNATURE FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

2023-12-22 10:33:49 AM
sheet no. A0.3
drawn by CF
scale 1:1
project no. #21-18
date issued 12/06/2023
As indicated



1 Rendered Context View
NTS



2 Rendered Context View
NTS



3 Rendered Context View
1:1

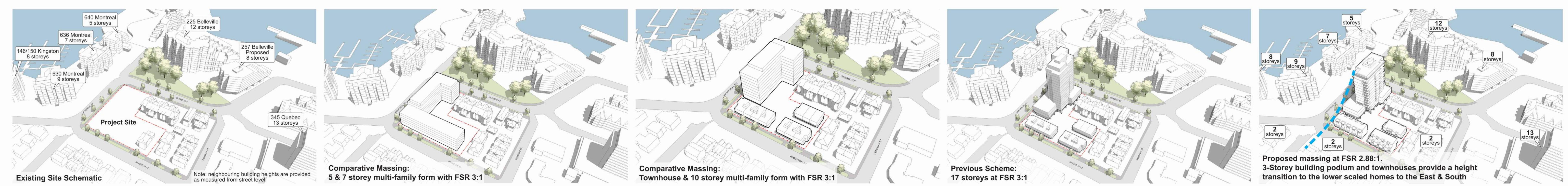


THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND SECURED BY THE DIGITAL SIGNATURE OF THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY THE ABC. INFORMATION CONTAINED BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE IS DERIVED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



URBAN HEIGHT DIAGRAM: Taller building forms wrap around the Downtown Core Area and bracket the marine entrance to the Inner Harbour.

Red square: 10-18+ storeys
Yellow square: 6-9 storeys



MASSING/HEIGHT RATIONALE

6	Rezoning/DP Rezoning 23.12.22
5	Rezoning/DP Rezoning 22.12.22
2	Issued for Rezoning / DP 21.12.22
rev no	description
	copyright reserved. these drawings and designs are and at all times the property of d'ambrosio architecture + urbanism and may not be used for the project shown and may not be reproduced without written permission.
project name	Montreal and Quebec
sheet title	Height & Massing Analysis
project no.	#21-118
scale	NTS
drawn by	DZ
date issued	12/06/22
sheet no.	A0.4



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ISSUED BY THE AUTHORITY OF THE ARCHITECTURAL BOARD OF BRITISH COLUMBIA. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL DOCUMENT. D'AMBROSIO architecture + urbanism, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for ADU 21.12.07
2 Issued for Rezoning / DP 21.12.15
1 Issued for Dev. Tracker 21.10.19

rev no description date

copyright reserved, these drawings and designs are and at all times remain the property of D'AMBROSIO architecture + urbanism and may not be reproduced without written permission.

project name
Montreal and Quebec
225 Quebec Street
Victoria, BC

sheet title
Context Elevations

Project no. #21-18

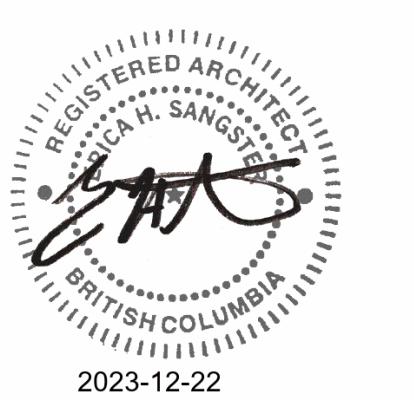
scale 1:300

drawn by CF

date issued 12/06/22

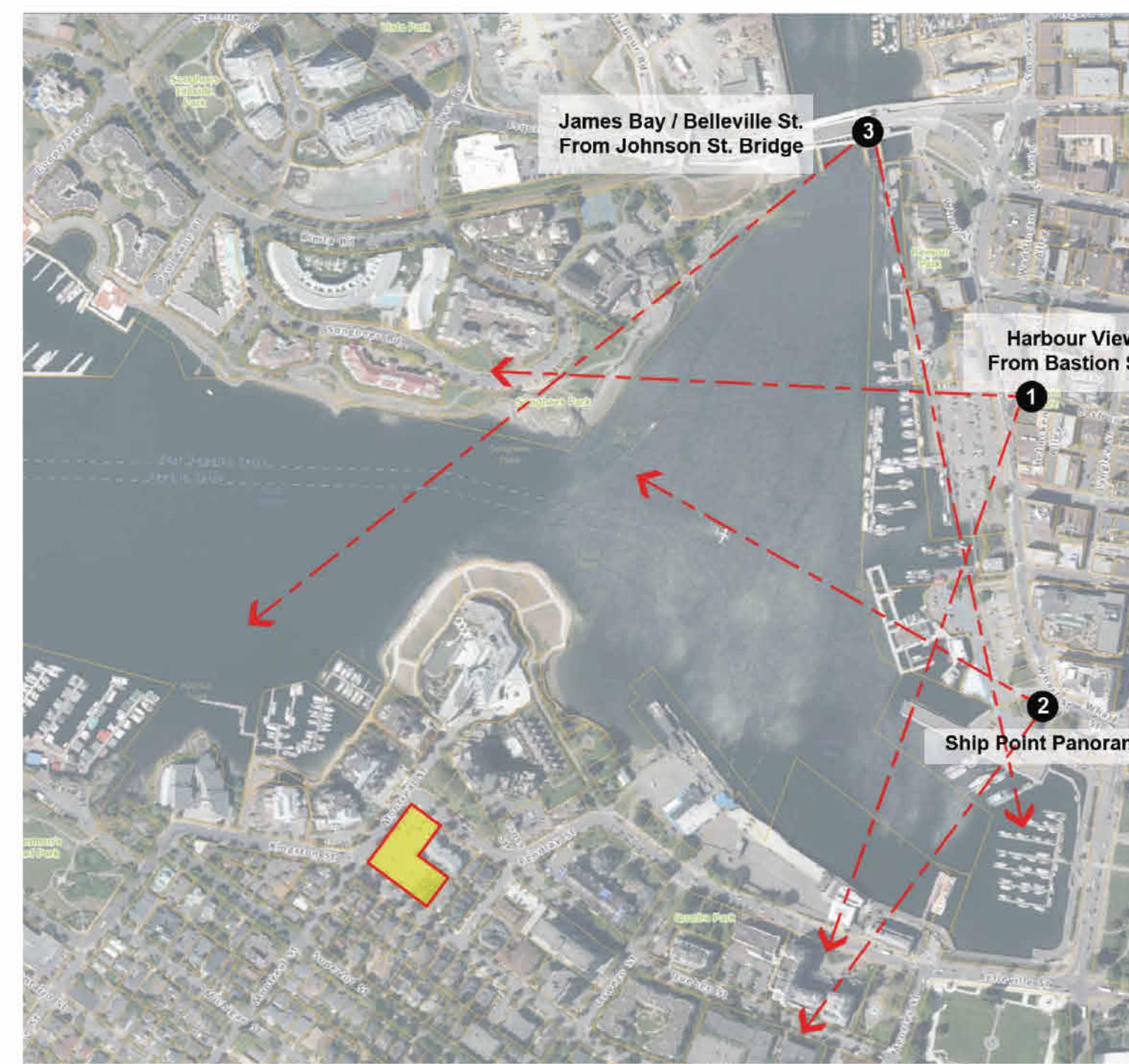
sheet no. A0.6

2023-12-22 10:33:57 AM



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND IS A LEGALLY BINDING DOCUMENT ISSUED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND THIS PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL DOCUMENT. D'AMBROSIO architecture + urbanism, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE, CERTIFIES THAT THIS IS THE DIGITALLY CERTIFIED ELECTRONIC FILE.

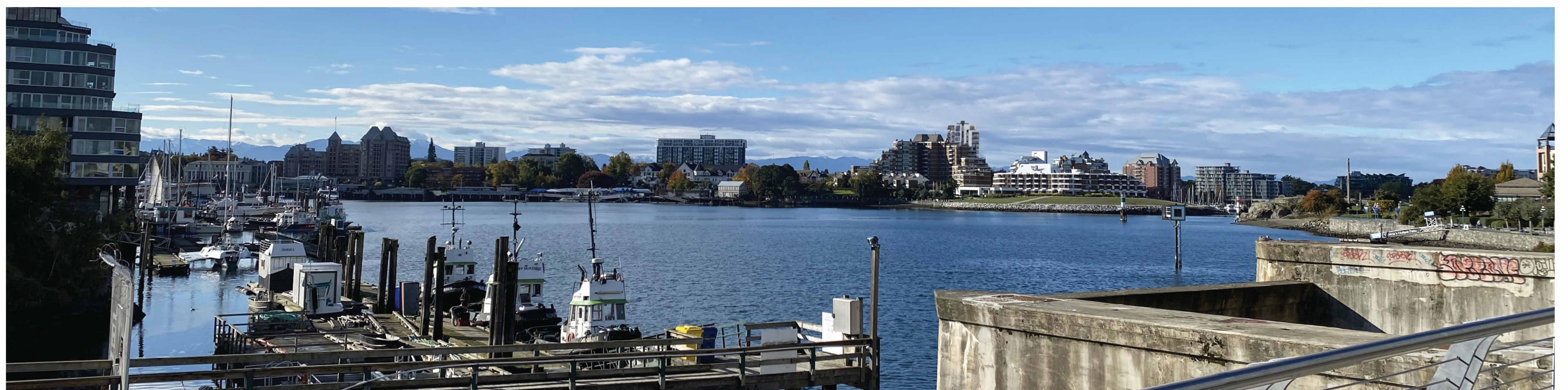
2023-12-22 10:33:59 AM
project no. #21-18
scale NTS
drawn by CF
date issued 12/06/22
sheet no. A0.7



1. Harbour View from Bastion Square



2. Ship Point Panorama



3. James Bay / Belleville Street from Johnson Street Bridge

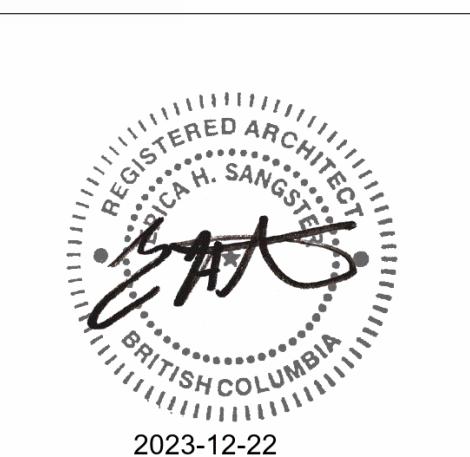
6 Rezoning D/P Resubmission 23.12.22
5 Rezoning D/P Resubmission 23.12.22
4 Issued for ADP 23.08.02
2 Issued for Rezoning / D/P 21.12.15
rev no. description date
copyright reserved, these drawings and designs are and at all times remain the property of D'AMBROSIO architecture + urbanism and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Skyline Analysis

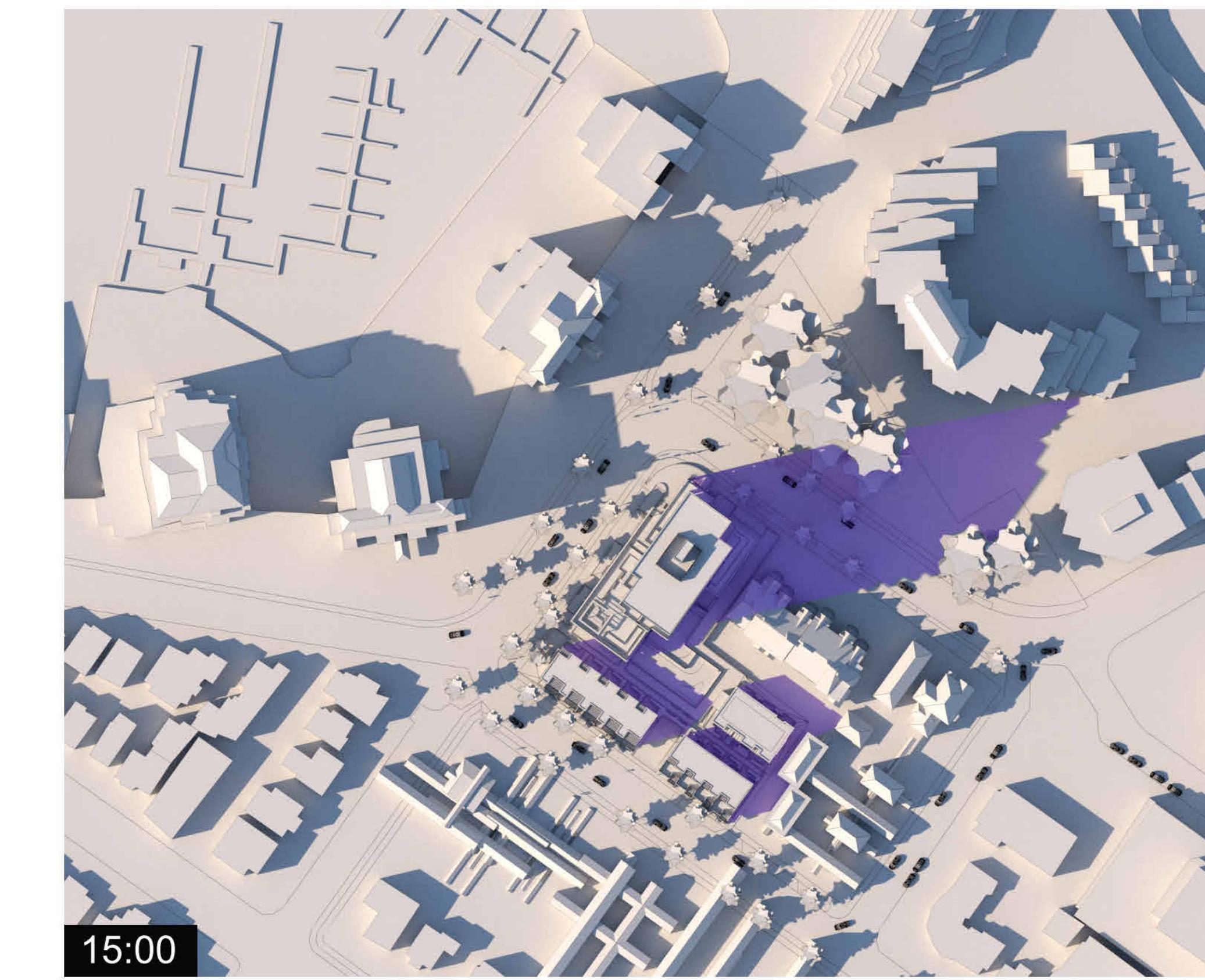
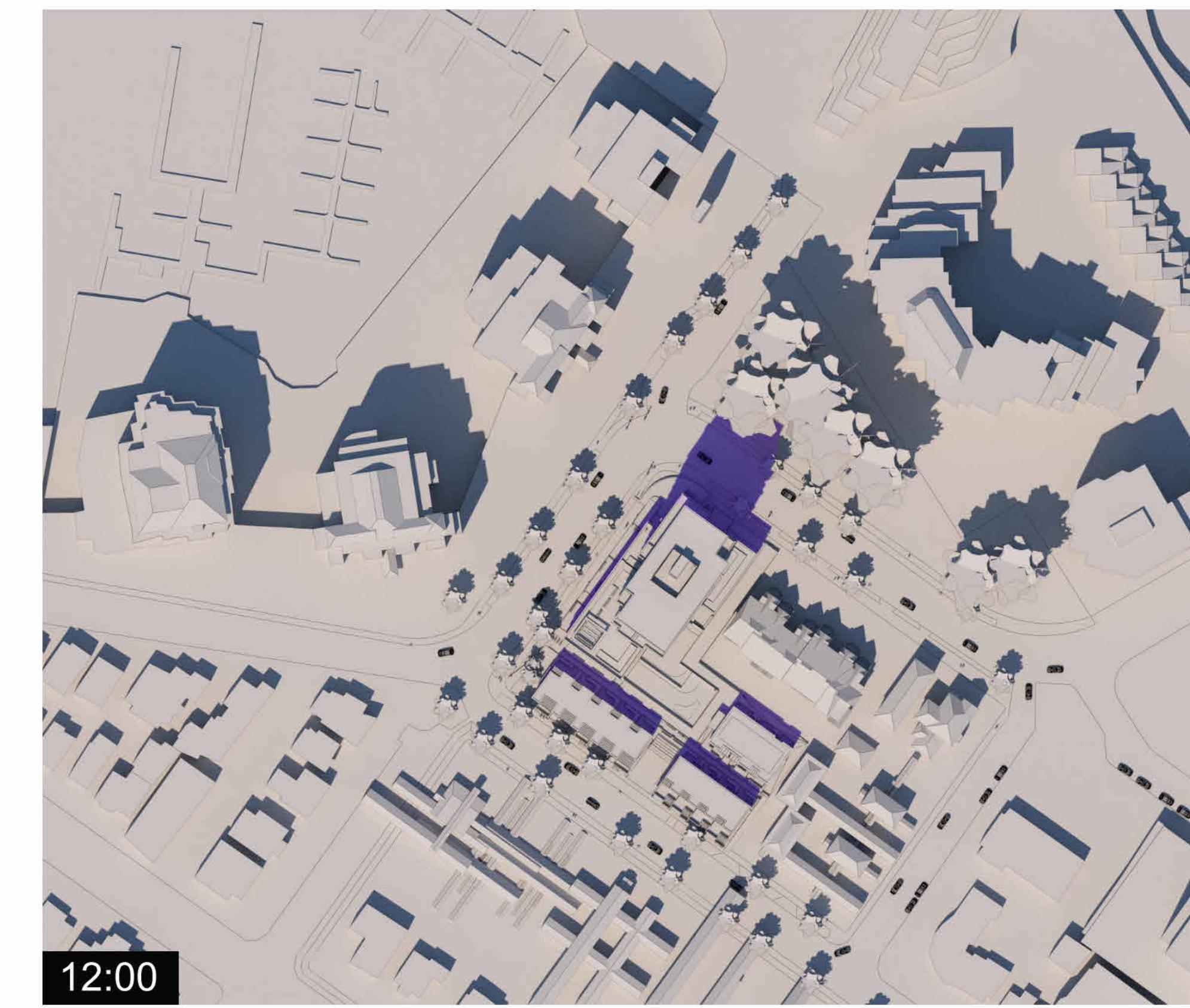
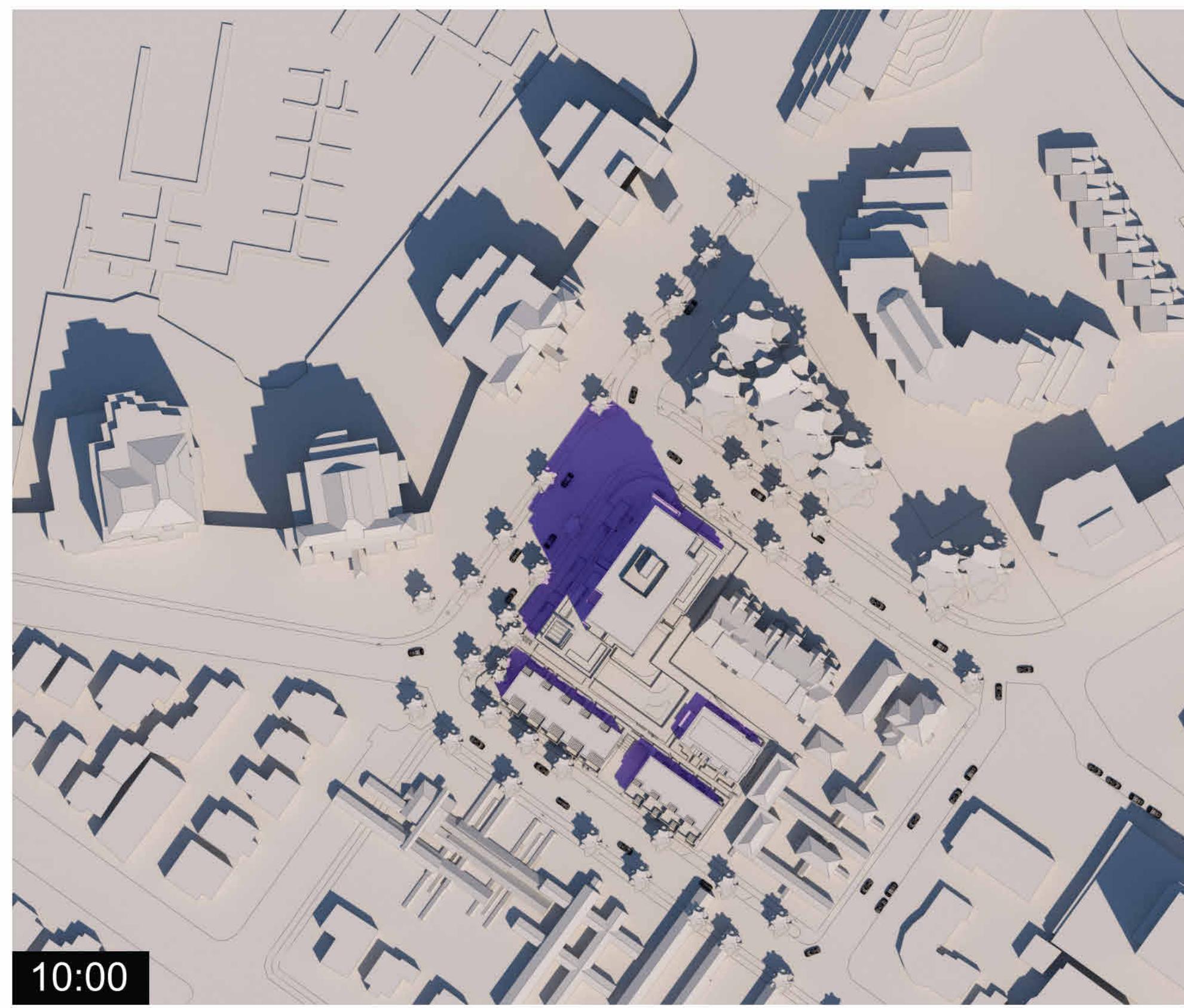
project no. #21-18
scale NTS
drawn by CF
date issued 12/06/22
sheet no. A0.7

2023-12-22 10:33:59 AM

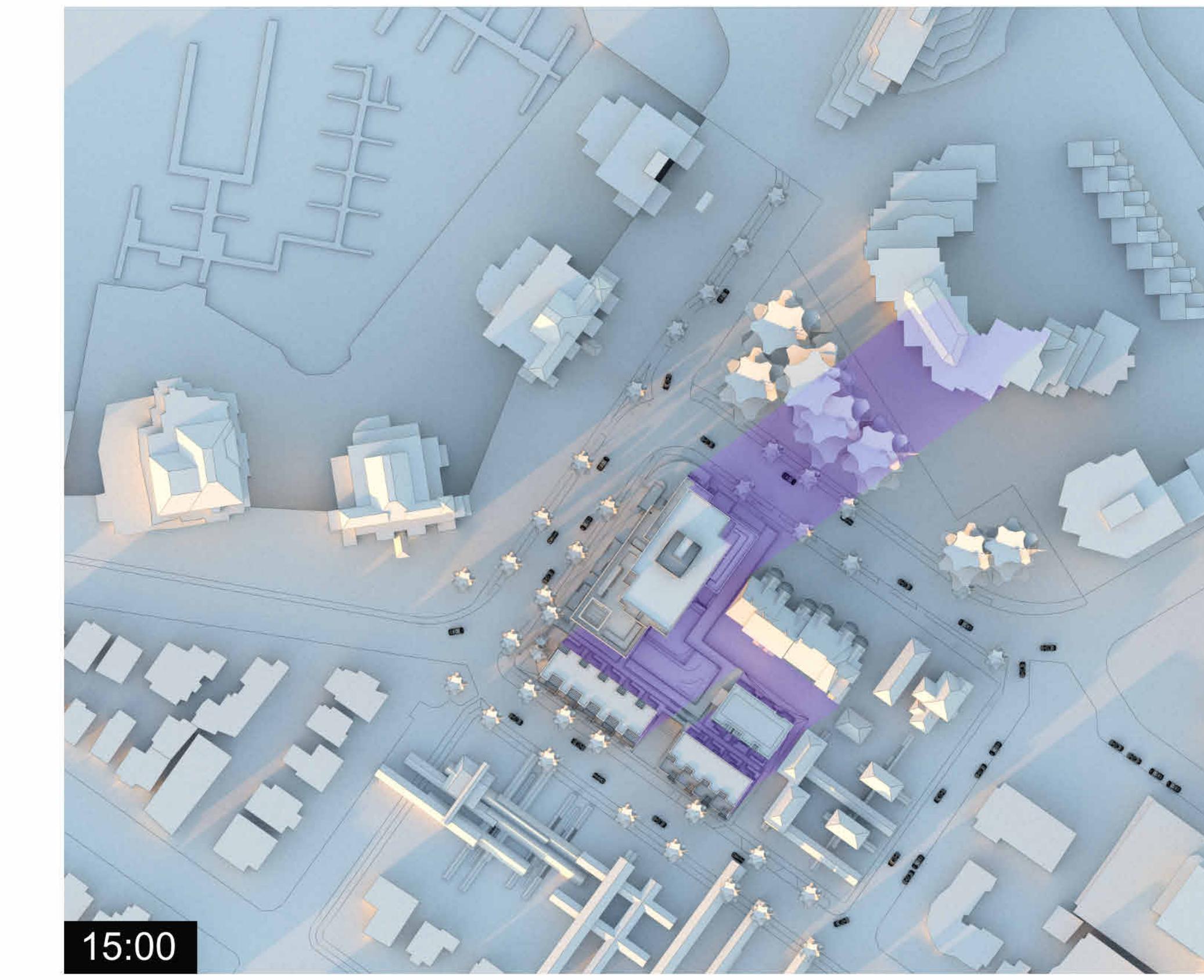
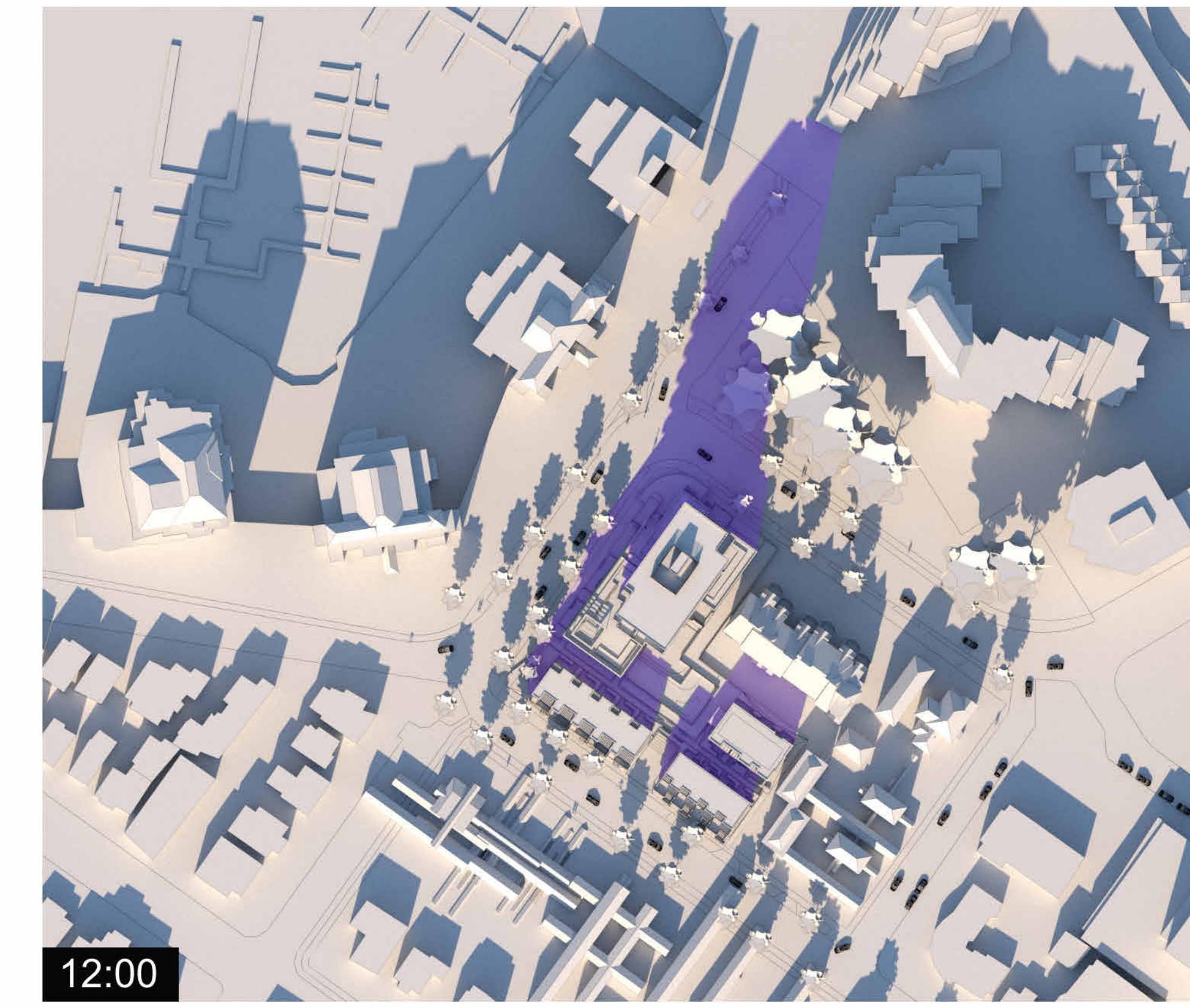
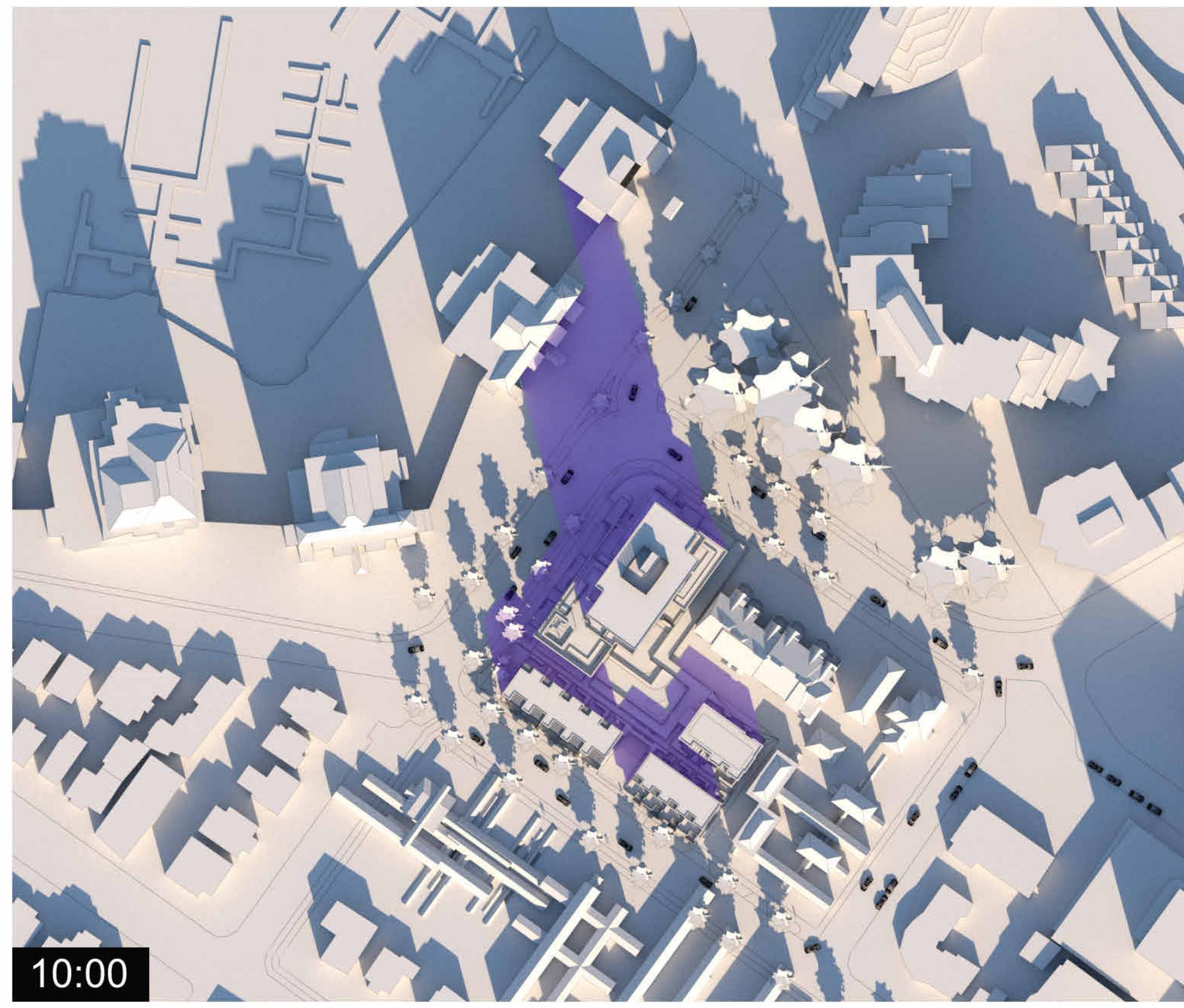


THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND REGISTERED WITH THE PROFESSIONAL REGULATOR BY THE ARBC. THE AUTHORITATIVE ORIGINAL IS THE DOCUMENT ISSUED BY THE PROFESSIONAL REGULATOR. THIS COPY OF THE DOCUMENT, WHILE SUPPORTED BY THE ELECTRONIC SIGNATURE, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE, IS NOT THE AUTHORITATIVE ORIGINAL. SEE THE DIGITALLY CERTIFIED ELECTRONIC FILE.

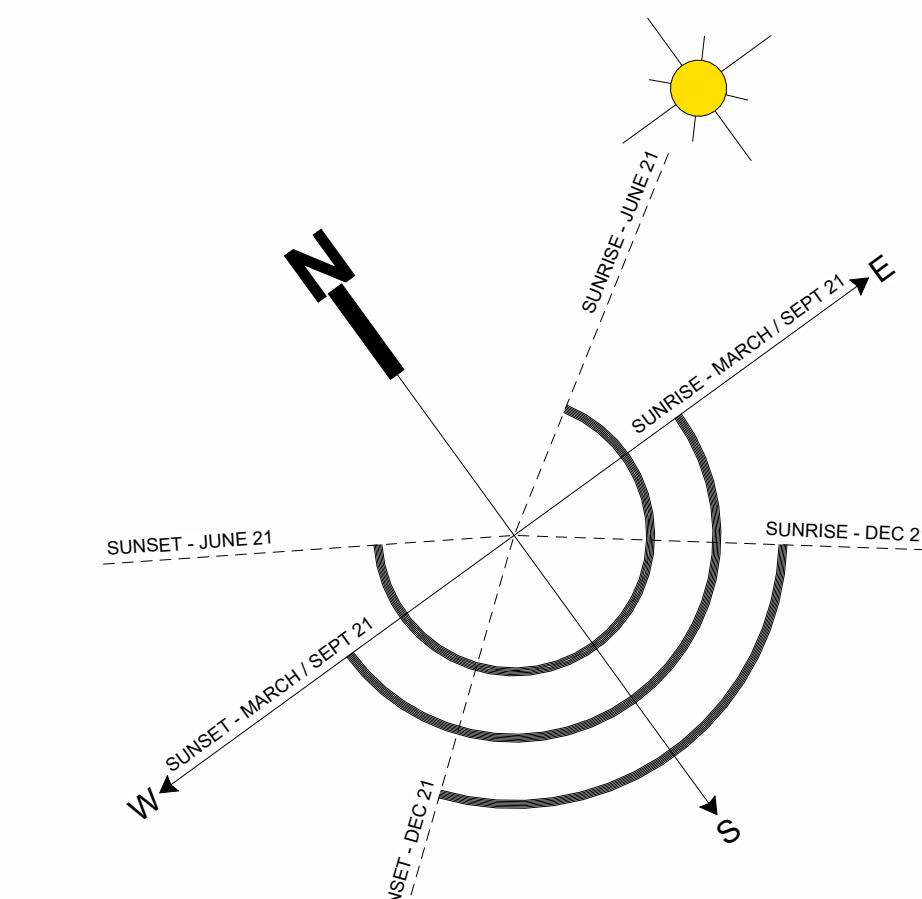
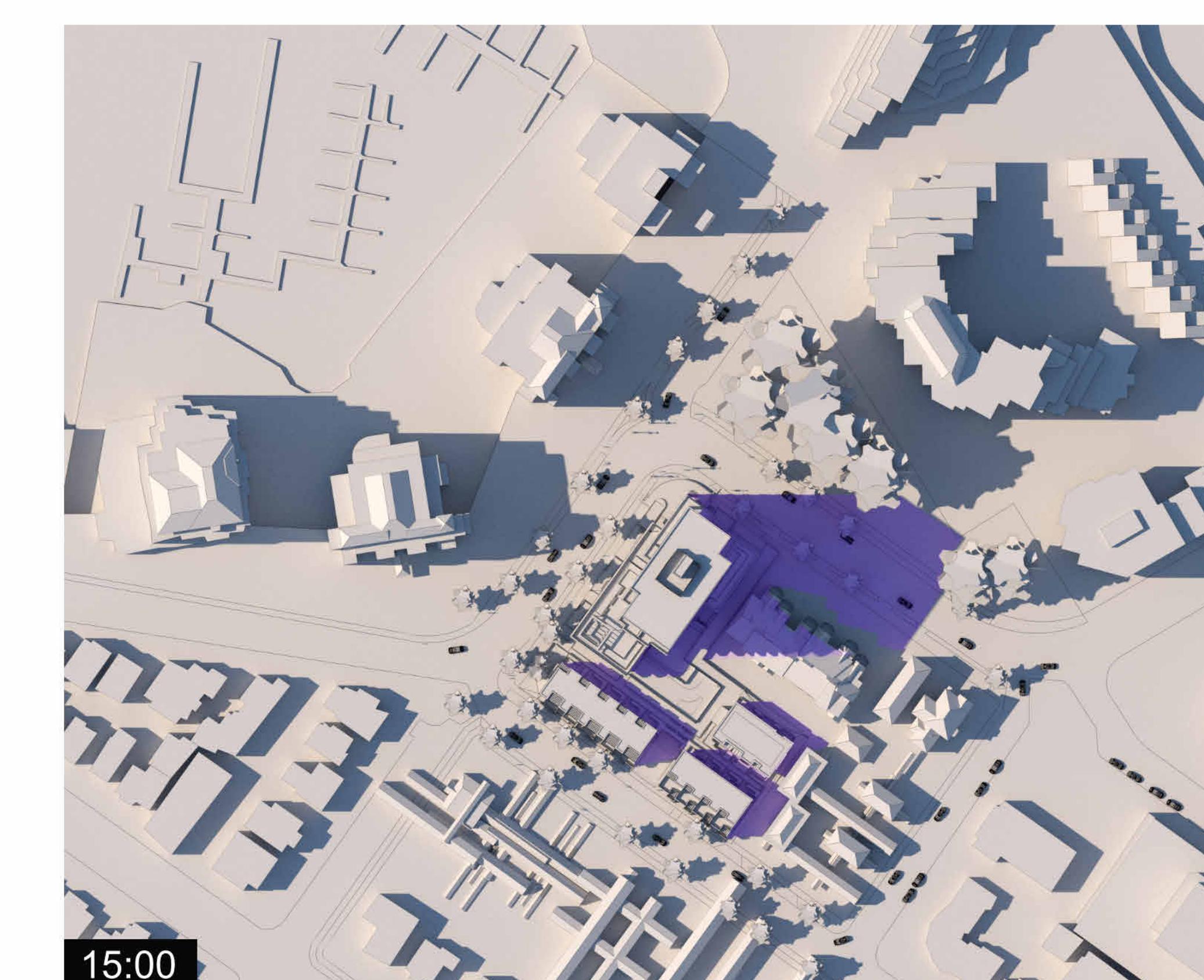
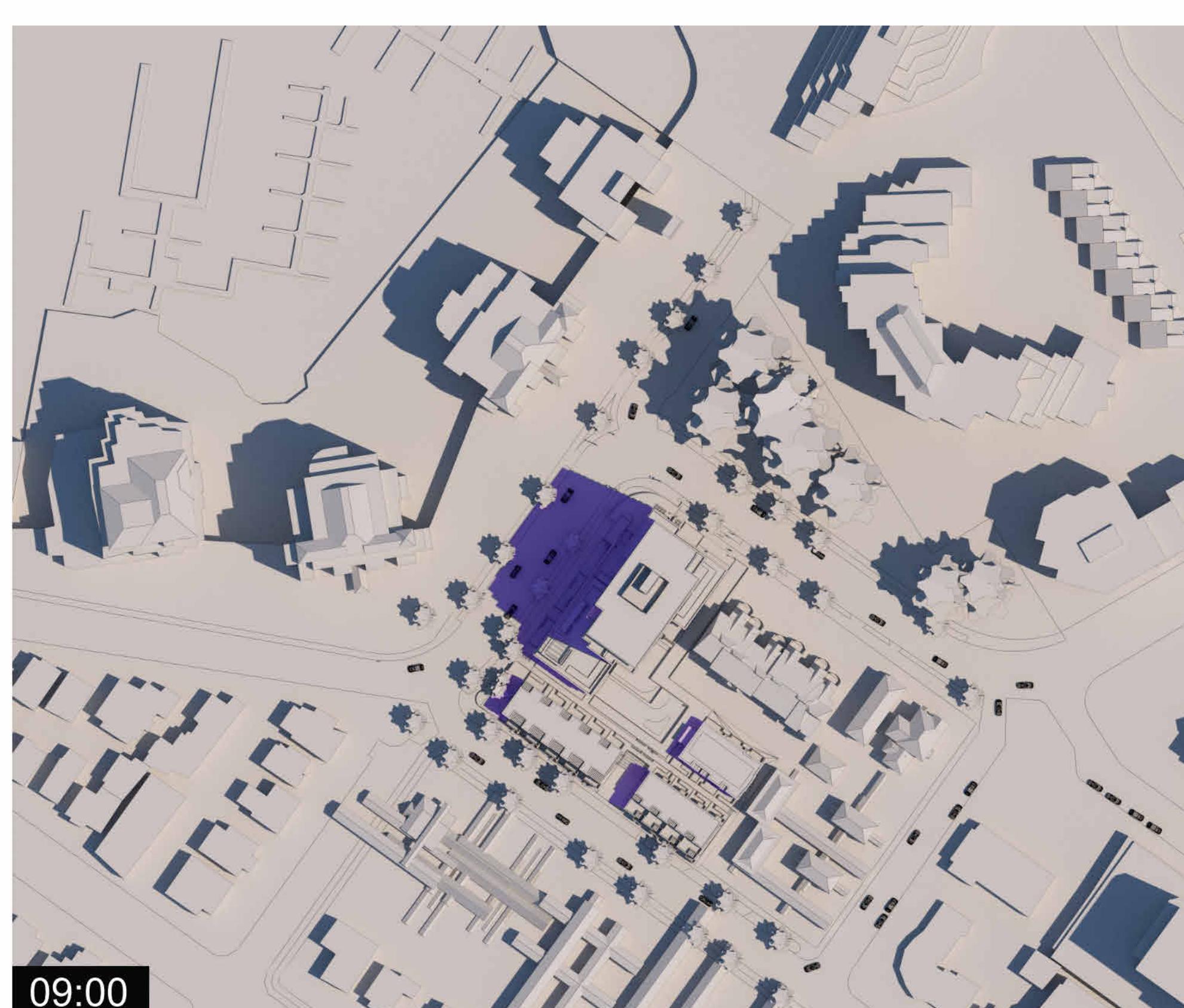
Spring / Fall Equinox



Winter Solstice



Summer Solstice



Legend

- Purple: Shadows from Proposed Building
- Grey: Shadows from Existing Buildings

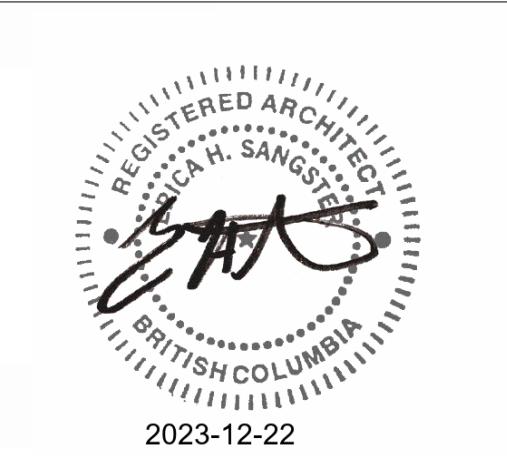
6	Rezoning / DP Resubmission	23.12.22
5	Rezoning / DP Resubmission	22.12.06
2	Issued for Rezoning / DP	21.12.15
rev no	description	date
copyright reserved: these drawings and designs are and at all times remain the property of the architect and may not be used for the project shown and may not be reproduced without written permission.		
project name: Montreal and Quebec		
205 Quebec Street		
Victoria, BC		
sheet title: Sun and Shade Study		
project no. #21-18		
scale		
drawn by DZ, GI		
date issued 12/06/22 sheet no. A0.8		



6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
2 Issued for Rezoning / DP 21.12.15
rev no description date
copyright reserved: these drawings and designs are and all all the property of the firm and may not be used for any other project or for any other purpose without the written consent of the firm.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC
sheet title
Existing Site Survey

Project no. #21-18
scale
drawn by Author
date issued sheet no.
12/06/22 A1.0



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND IS A LEGALLY BOUND DOCUMENT ISSUED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN THE POSSESSION OF THE ABC. THIS COPY CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH IS SUPPLIED BY THE ABC. THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE ARE BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE FROM THE DOCUMENT ITSELF, FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

NOTES
REFER TO LANDSCAPE PLAN FOR INFORMATION ON PAVING ON PAVING, FENCING, PLANTING AND TREES.

QUEBEC STREET

Project Information Table	
Zone (existing)	R-K Medium Density Attached Dwelling District
Proposed zone or site specific zone	Site Specific Zone
Site area (m ²)	4,009.0
Total floor area (m ²)	11,528.0
Commercial floor area (m ²)	602.2
Site coverage ratio (%)	2.9
Site coverage (%)	65%
Open site space (%)	55%
Height of building (m)	48.9
Number of storeys	14
Parking stalls (number) on site	132 (+ 12 Townhouse Stalls)
Bicycle parking number (Class 1 & 2)	Class 1 = 160 Class 2 = 25
Building Setbacks (m)	
Front yard	Townhouses 4.5m Tower 2.95m
Rear yard	2.01m 4.16m
Side yard (Flanking Street)	0.00m (Kingston) 1.84m (Quebec)
Side yard (Interior)	3.65m N/A
Combined side yards	N/A N/A
Residential Use Details	
Total number of units	108
Unit type, e.g. 1 bedroom	Studio, 1, 2 and 3 Bdrm; 2 and 3 Bdr Townhouses
Ground-oriented units	12
Minimum unit floor area (m ²)	30
Total residential floor area (m ²)	9,357

Unit Type:	Tower				Total
	L1	L2+3	L4	L5+13	
Level 1:	748m ²	2	2	27	2%
Level 2 + 3:	2080m ² (1040 x2)	8	2	16	24%
Level 4:	1485m ²	4	1	16	22%
Level 5 + 16:	5724m ² (636 x9)	4	1	9	15%
Townhouse	499m ²	12	6	9	11%
Storage + Underground Parking					
Level 1:	696m ²	12	24	5	63
Level 2:	765m ²				4
Level 3:	415m ²				
					108

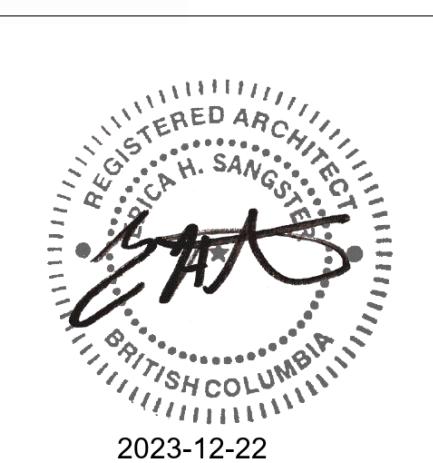
Unit Type:	L1	L2+3	L4	L5+13	Pent	Total
Studio	2					2
1+Bedroom						34%
2+Bedroom	8	2	16	2		25%
2+Bedroom						22%
3+Bedroom	4	1	16	2		15%
Townhouse	12	6	9			11%
Total	12	24	5	63	4	108

6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for Dev. Tracker 22.08.02
2 Issued for Rezoning / DP 21.11.15
1 Issued for Dev. Tracker 21.10.19
rev no. description date
copyright reserved. these drawings and designs are and at all times the property of d'ambrosio architecture + urbanism and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Site Plan


Project no. #21-18
scale 1: 100
drawn by RP, GK, GB
date issued 12/06/2023
sheet no. A1.1
2023-12-22 10:34:22 AM

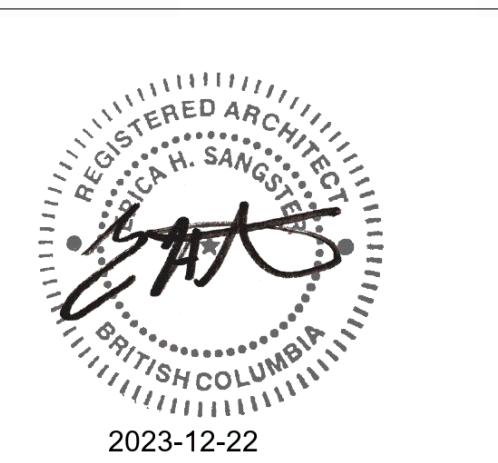


2023-12-22

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND IS A LEGALLY BINDING DOCUMENT ISSUED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN PAPER FORM AND IS THE ONLY DOCUMENT WHICH CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH SUPPLIES THE DIGITAL IMAGE. THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE ARE BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE FROM THE DOCUMENT'S SOURCE, FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

Grade Points (m Geodetic)	Existing	Proposed	Interval	Average Grade (m)	Distance (m)	Subtotal
A	7.67	7.35	A-B	7.35	9.41	69.13
B	7.70	7.35	B-C	7.35	1.71	12.57
C	7.68	7.35	C-D	7.35	15.80	123.48
D	7.73	7.35	D-E	7.35	16.69	122.63
E	7.71	7.35	E-F	7.35	3.08	22.60
F	7.67	7.35	F-G	7.35	2.34	17.16
G	7.67	7.35	G-H	7.35	1.33	9.74
H	7.66	7.35	H-I	7.30	15.47	112.93
I	7.68	7.25	I-J	7.25	1.65	11.00
J	7.72	7.25	J-K	7.17	14.93	106.15
K	7.68	7.25	K-L	7.09	0.01	6.98
L	7.10	7.25	L-M	7.10	11.10	78.81
M	7.10	7.25	M-N	7.18	6.64	47.61
N	7.27	7.25	N-O	7.25	5.16	37.41
O	7.40	7.25	O-P	7.18	2.72	19.52
P	7.39	7.10	P-Q	7.07	3.34	23.61
Q	7.45	7.04	Q-R	7.04	19.71	138.76
R	7.33	7.04	R-S	6.82	31.57	215.15
S	6.59	6.96	S-T	6.63	23.50	155.81
T	6.67	6.96	T-U	6.78	9.48	64.24
U	6.79	6.96	V-W	6.83	1.62	11.03
V	6.87	6.96	W-X	6.88	1.30	8.94
W	6.95	6.96	Y-Z	6.93	30.00	214.44
X	7.71	6.96	V-W	7.03	1.62	11.35
Y	7.09	7.09	W-X	7.09	1.30	9.22
Z	7.09	7.25	X-Y	7.11	5.82	41.67
Aa	7.12	7.25	Y-Z	7.11	9.08	64.52
Bb	7.10	7.35	Z-Aa	7.17	6.79	48.65
Cc	7.24	7.35	Aa-Bb	7.30	36.39	265.47
Dd	7.52	7.35	Bb-Cc	7.35	3.25	23.85
Ee	7.53	7.35	Cc-A	7.35	14.62	107.46
						Total 322.29 2288.87
						Geodetic Average Grade (m) 7.10





THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

QUEBEC STREET

PHASE 1 - TOWER (17 STOREYS)

207-217 QUEBEC STREET

ELEV.

MONTRÉAL STREET

PHASE 1 - TOWER (17 STOREYS)

2.50 m

EXIT STAIR

DN

UP

CONSTRUCTION HARRING

DAYCARE PLAYGROUND 421.8 m²
(REFER TO LANDSCAPE DRAWINGS)

PROPERTY LINE

3 A.4.2.

5 A.4.2.

4

1

2

3

4

5

6

7

8

9

10

11

12

13

14

15

16

17

18

19

20

21

22

23

24

25

26

27

28

29

30

31

32

33

34

35

36

37

38

39

40

41

42

43

44

45

46

47

48

49

50

51

52

53

54

55

56

57

58

59

60

61

62

63

64

65

66

67

68

69

70

71

72

73

74

75

76

77

78

79

80

81

82

83

84

85

86

87

88

89

90

91

92

93

94

95

96

97

98

99

100

101

102

103

104

105

106

107

108

109

110

111

112

113

114

115

116

117

118

119

120

121

122

123

124

125

126

127

128

129

130

131

132

133

134

135

136

137

138

139

140

141

142

143

144

145

146

147

148

149

150

151

152

153

154

155

156

157

158

159

160

161

162

163

164

165

166

167

168

169

170

171

172

173

174

175

176

177

178

179

180

181

182

183

184

185

186

187

188

189

190

191

192

193

194

195

196

197

198

199

200

201

202

203

204

205

206

207

208

209

210

211

212

213

214

215

216

217

218

219

220

221

222

223

224

225

226

227

228

229

230

231

232

233

234

235

236

237

238

239

240

241

242

243

244

245

246

247

248

249

250

251

252

253

254

255

256

257

258

259

260

261

262

263

264

265

266

267

268

269

270

271

272

273

274

275

276

277

278

279

280

281

282

283

284

285

286

287

288

289

290

291

292

293

294

295

296

297

298

299

300

301

302

303

304

305

306

307

308

309

310

311

312

313

314

315

316

317

318

319

320

321

322

323

324

325

326

327

328

329

330

331

332

333

334

335

336

337

338

339

340

341

342

343

344

345

346

347

348

349

350

351

352

353

354

355

356

357

358

359

360

361

362

363

364

365

366

367

368

369

370

371

372

373

374

375

376

377

378

379

380

381

382

383

384

385

386

387

388

389

390

391

392

393

394

395

396

397

398

399

400

401

402

403

404

405

406

407

408

409

410

411

412

413

414

415

416

417

418

419

420

421

422

423

424

425

426

427

428

429

430

431

432

433

434

435

436

437

438

439

440

441

442

443

444

445

446

447

448

449

450

451

452

453

454

455

456

457

458

459

460

461

462

463

464

465

466

467

468

469

470

471

472

473

474

475

476

477

478

479

480

481

482

483

484

485

486

487

488

489

490

491

492

493

494

495

496

497

498

499

500

501

502

503

504

505

506

507

508

509

510

511

512

513

514

515

516

517

518

519

520

521

522

523

524

525

526

527

528

529

530

531

532

533

534

535

536

537

538

539

540

541

542

543

544

545

546

547

548

549

550

551

552

553

554

555

556

557

558

559

560

561

562

563

564

565

566

567

568

569

570

571

572

573

574

575

576

577

578

579

580

581

582

583

584

585

586

587

588

589

590

591

592

593

594

595

596

597

598

599

600

601

602

603

604

605

606

607

608

609

610

611

612

613

614

615

616

617

618

619

620

621

622

623

624

625

626

627

628

629

630

631

632

633

634

635

636

637

638

639

640

641

642

643

644

645

646

647

648

649

650

651

652

653

654

655

656

657

658

659

660

661

662

663

664

665

666

667

668

669

670

671

672

673

674

675

676

677

678

679

680

681

682

683

684

685

686

687

688

689

690

691

692

693

694

695

696

697

698

699

700

701

702

703

704

705

706

707

708

709

710

711

712

713

714

715

716

717

718

719

720

721

722

723

724

725

726

727

728

729

730

731

732

733

734

735

736

737

738

739

740

741

742

743

744

745

746

747

748

749

750

751

752

753

754

755

756

757

758

759

760

761

762

763

764

765

766

767

768

769

770

771

772

773

774

775

776

777

778

779

780

781

782

783

784

785

786

787

788

789

790

791

792

793

794

795

796

797

798

799

800

801

802

803

804

805

806

807

808

809

810

811

812

813

814

815

816

817

818

819

820

821

822

823

824

825

826

827

828

829

830

831

832

833

834

835

836

837

838

839

840

841

842

843

844

845

846

847

848

849

850

851

852

853

854

855

856

857

858

859

860

861

862

863

864

865

866

867

868

869

870

871

872

873

874

875

876

877

878

879

880

881

882

883

884

885

886

887

888

889

890

891

892

893

894

895

896

897

898

899

900

901

902

903

904

905

906

907

908

909

910

911

912

913

914

915

916

917

918

919

920

921

922

923

924

925

926

927

928

929

930

931

932

933

934

935

936

937

938

939

940

941

942

943

944

945

946

947

948

949

950

951

952

953

954

955

956

957

958

959

960

961

962

963

964

965

966

967

968

969

970

971

972

973

974</

This architectural site plan illustrates the proposed development at 226/232 Kingston Street. The plan shows the building footprints of the existing structures and the proposed new building. Construction hoarding is indicated along the proposed building's footprint. A height restriction of 6.00m is shown on the left. The plan also shows the 'LINE OF ROOF ABOVE' and various levels of the proposed building. Labels include 'CONSTRUCTION HOARDING', 'EXT STAR', and '226/232 KINGSTON STREET'. A north arrow is present in the top left corner.

This architectural site plan illustrates the layout of a construction site and surrounding property. The plan features a red 'PROPERTY LINE' boundary. A 'CONSTRUCTION HOARDING' is indicated along the property line on the left side. A 'FIRE HYDRANT' is marked near the bottom left. To the right, a building is shown with 'PHASE 2 - TOWNHOUSE (3 STOREYS)' and 'CONSTRUCTION ACCESS ONLY' labeled. The building has a ramp labeled 'RAM TO UNDERGROUND PARKING' with a gradient from 8% to 15%. Construction access points are marked with arrows pointing into the building. A dashed line indicates a future property boundary. A vertical dashed line is labeled 'A3.2' at the bottom. Other labels include 'A4.1' and 'A4.2' near the bottom right. The plan also shows various trees and shrubs.

rev no	description	date
6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

written consent.
project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

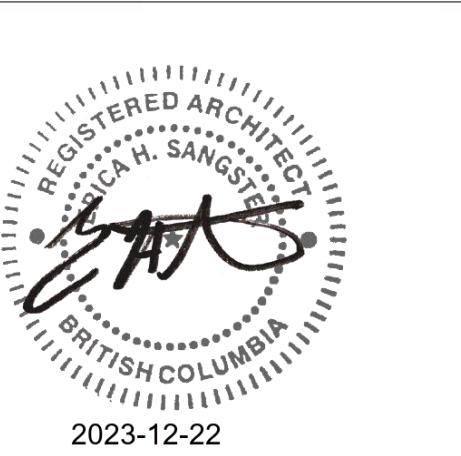
sheet title

Level 1 Phasing Plan

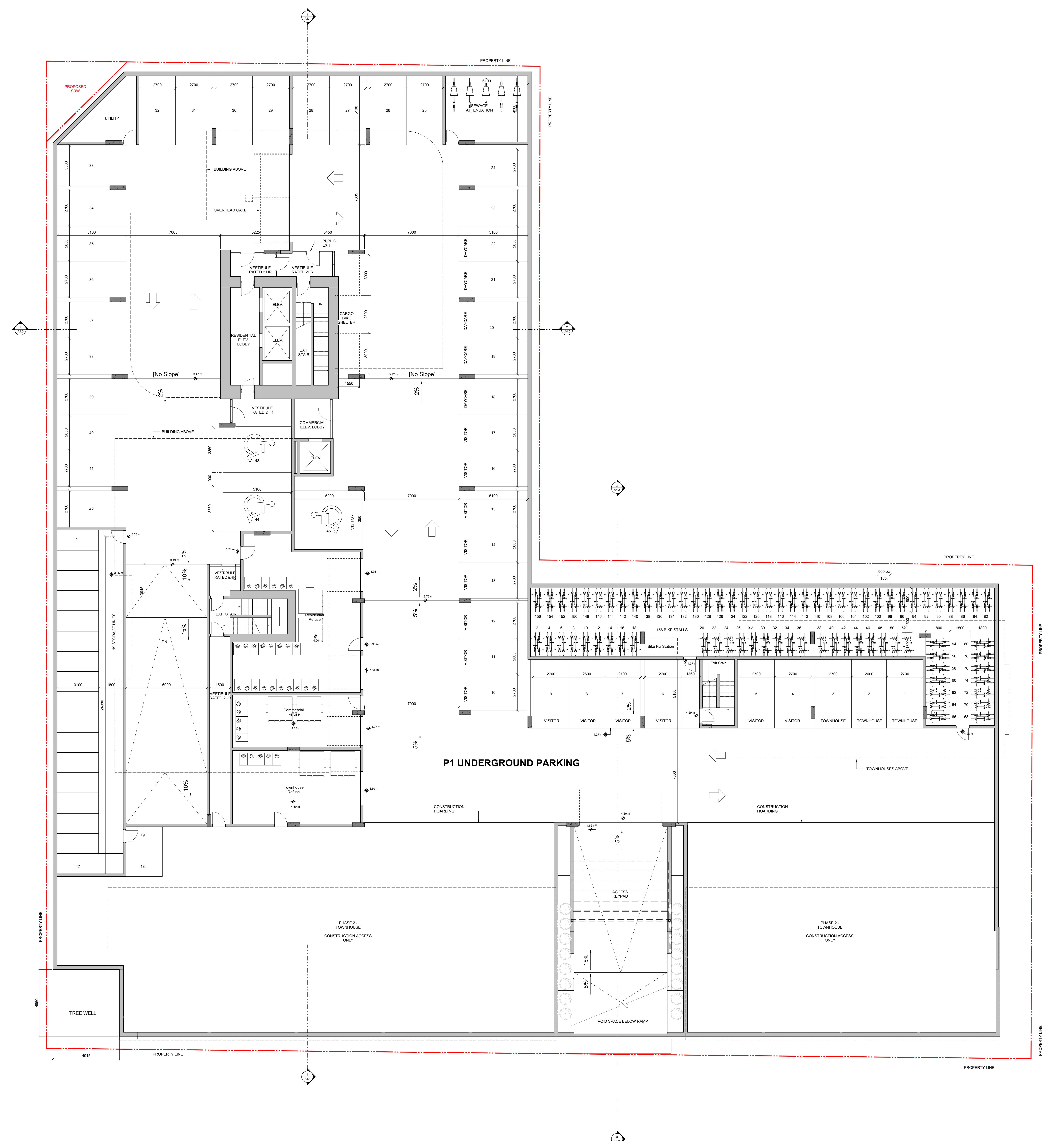
project no.	#21-18
scale	1 : 100
drawn by	Author

date issued	sheet no.
12/06/22	A1.3

KINGSTON STREET



DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED WITH DIGITAL CERTIFICATE AND
OPTION TECHNOLOGY AUTHORIZED BY
IBC. THE AUTHORITATIVE ORIGINAL IS IN
ELECTRONIC FORM. ANY PRINTED VERSION
SHOULD BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
lecture + urbanism, BEARING IMAGES OF
PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
ELECTRONICALLY CERTIFIED ELECTRONIC FILE.



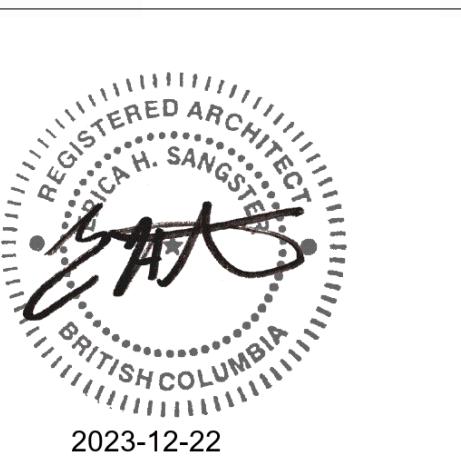
description	date
Rezoning/DP Resubmission	23.12.22
Rezoning/DP Resubmission	22.12.06
Issued for ADP	22.08.02
Issued for Rezoning / DP	21.12.15
Issued for Dev. Tracker	21.10.19

Montreal and Quebec Quebec Street Vancouver, BC

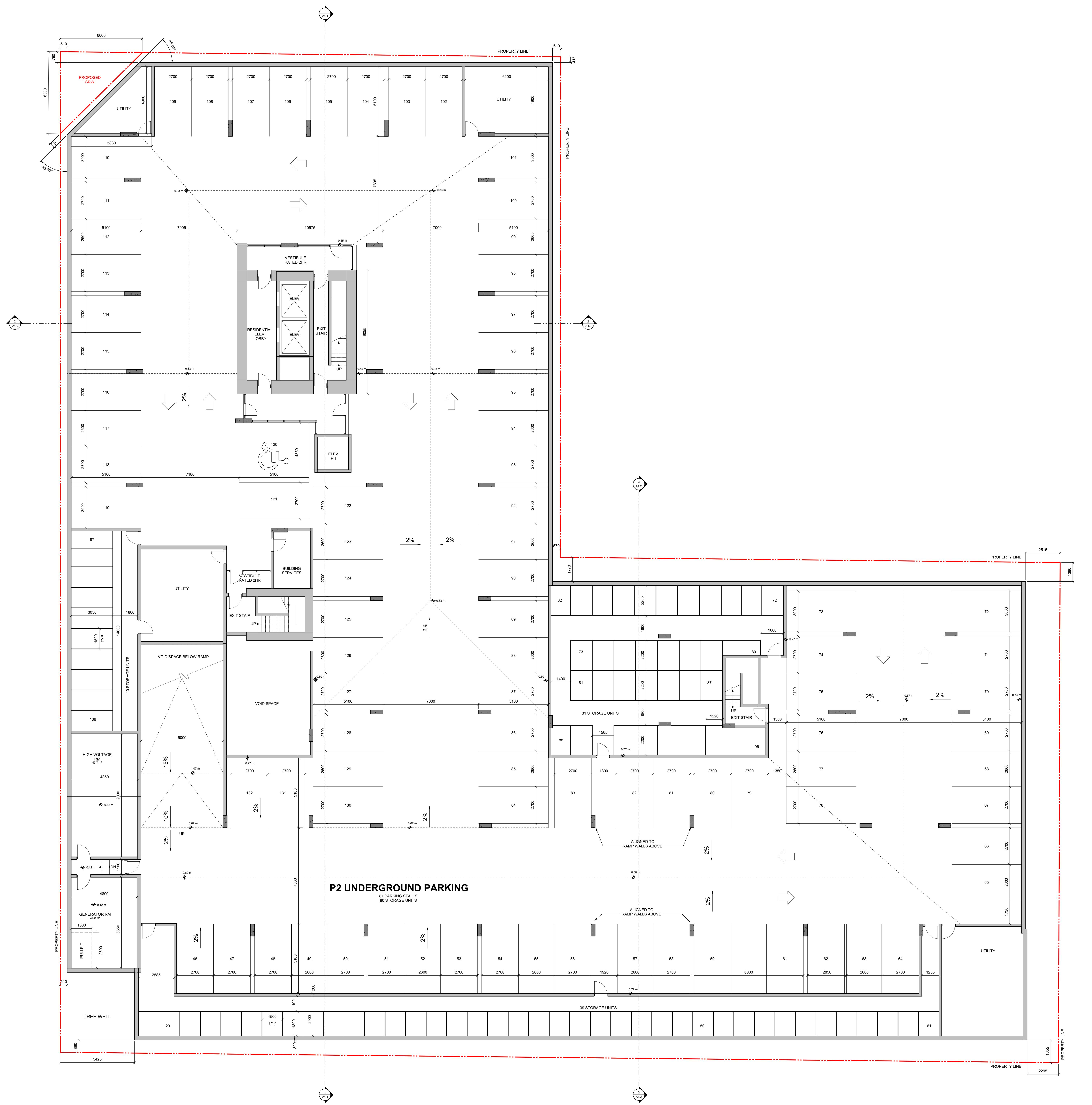
t title

Phasing Plan

ct no.	#21-18
	1 : 100
n by	Author
ssued	sheet no.
12/06/22	A 1 4



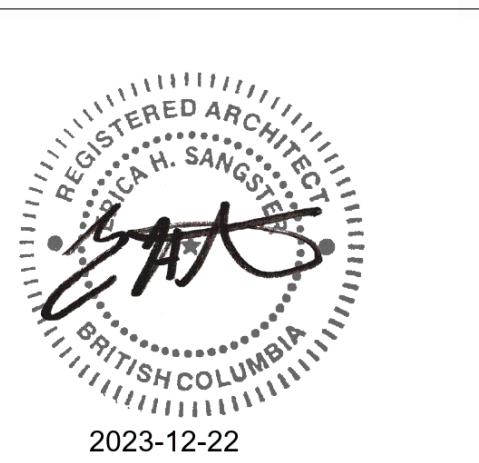
DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED WITH DIGITAL CERTIFICATE AND
OPTION TECHNOLOGY AUTHORIZED BY
IBC. THE AUTHORITATIVE ORIGINAL IS IN
ELECTRONIC FORM. ANY PRINTED VERSION
SHOULD BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
lecture + urbanism, BEARING IMAGES OF
PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
ELECTRONICALLY CERTIFIED ELECTRONIC FILE.



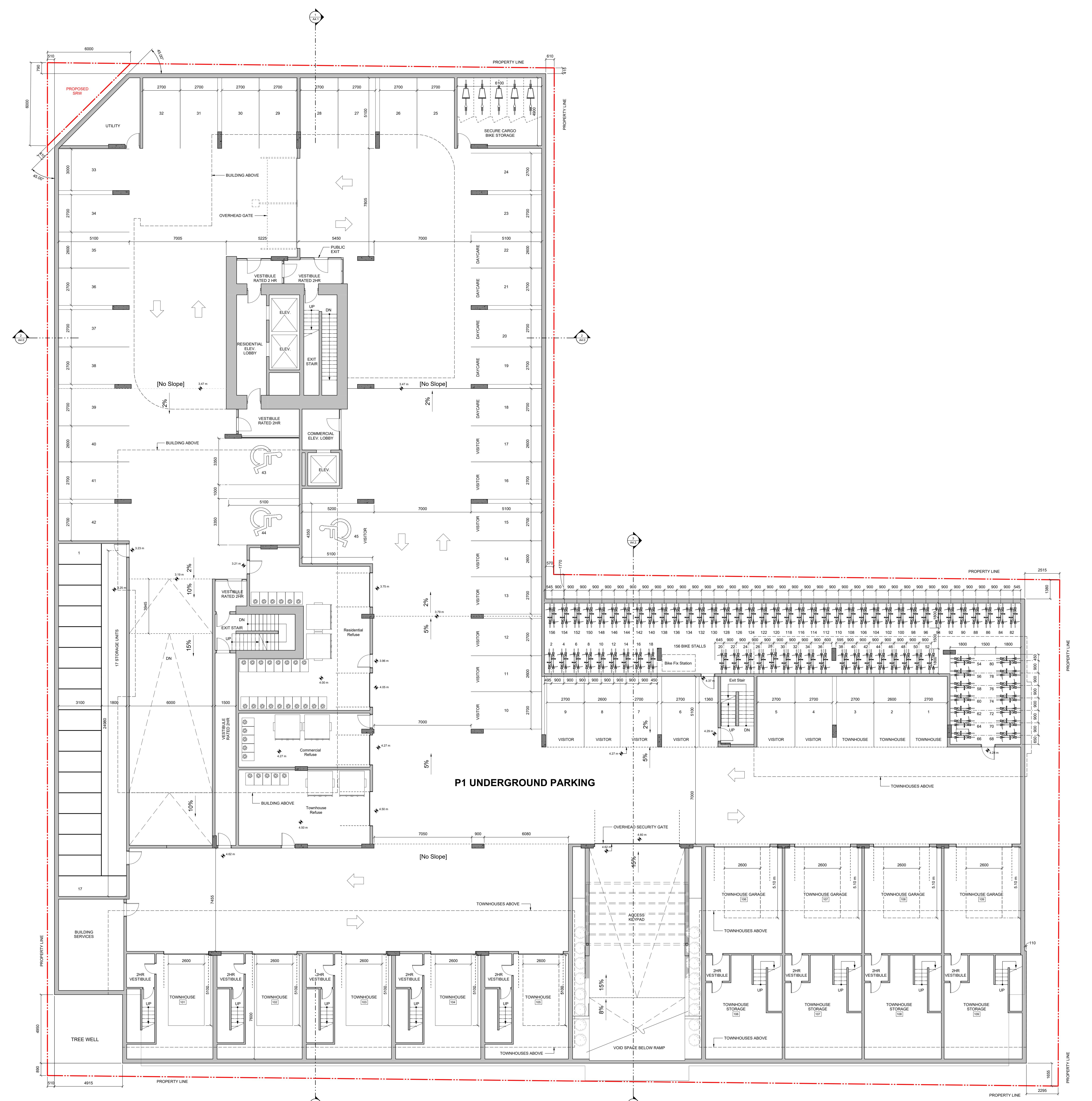
description	date
Rezoning/DP Resubmission	23.12.22
Rezoning/DP Resubmission	22.12.06
Issued for ADP	22.08.02
Issued for Rezoning / DP	21.12.15
Issued for Dev. Tracker	21.10.19

Montreal and Quebec Quebec Street Vancouver, BC

ct no.	#21-18
	1 : 100
by	RP / GK
ssued	sheet no.
12/06/22	A20



6 DOCUMENT HAS BEEN ELECTRONICALLY
5 CERTIFIED WITH DIGITAL CERTIFICATE AND
4 CRYPTOGRAPHY TECHNOLOGY AUTHORIZED BY
3 AIBC. THE AUTHORITATIVE ORIGINAL IS IN
2 ELECTRONIC FORM. ANY PRINTED VERSION
1 BE RELIED UPON AS A TRUE COPY OF THE
G ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
Architecture + urbanism, BEARING IMAGES OF
THE PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
TALLY CERTIFIED ELECTRONIC FILE.



Rezoning/DP Resubmission	23.12.22	
Rezoning/DP Resubmission	22.12.06	
Issued for ADP	22.08.02	
Issued for Rezoning / DP	21.12.15	
Issued for Dev. Tracker	21.10.19	
o description	date	

consent.
ect name
Montreal and Quebec
Quebec Street

et title

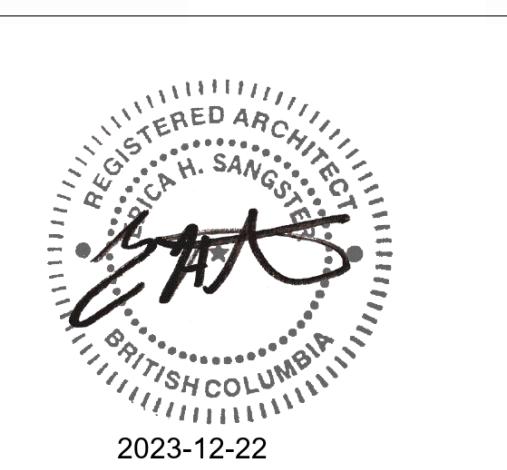
Parking Plan

11. **What is the primary purpose of the *Journal of Clinical Endocrinology and Metabolism*?**

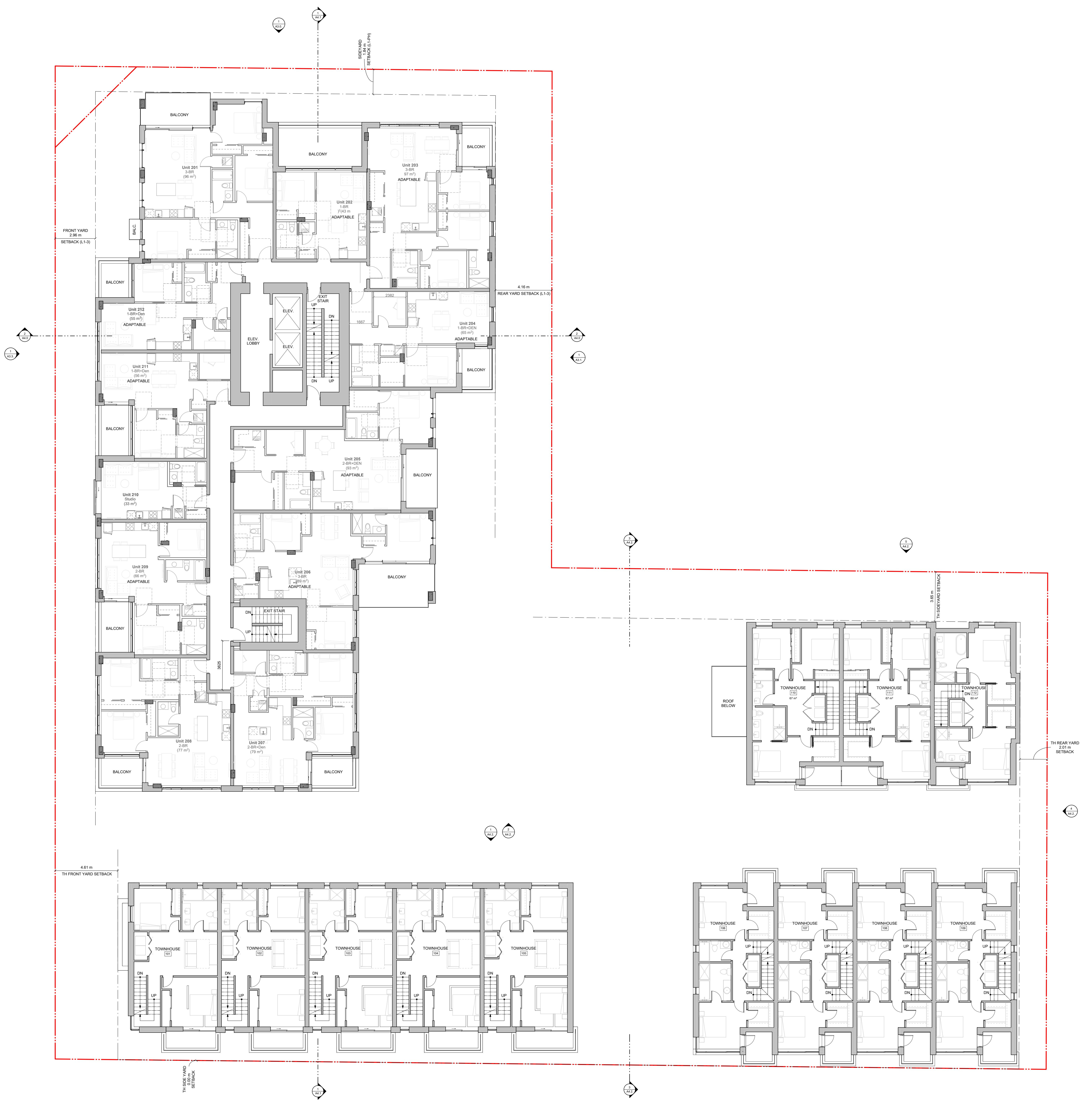
ject no. #21-18
e 1 : 100

by	RP / GK
issued	sheet no.

12/06/22



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND SIGNED ON 2023-12-22 BY THE ARCHITECTURE BOARD OF CANADA (ABC). THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND IS LOCATED AT THE ADDRESS PROVIDED. A COPY OF THIS DOCUMENT CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH IS PROVIDED BY THE ABC. THE SIGNATURE BEARER IS THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OF THE DOCUMENT. THE DIGITAL CERTIFICATE IS LOCATED IN THE DIGITALLY CERTIFIED ELECTRONIC FILE.



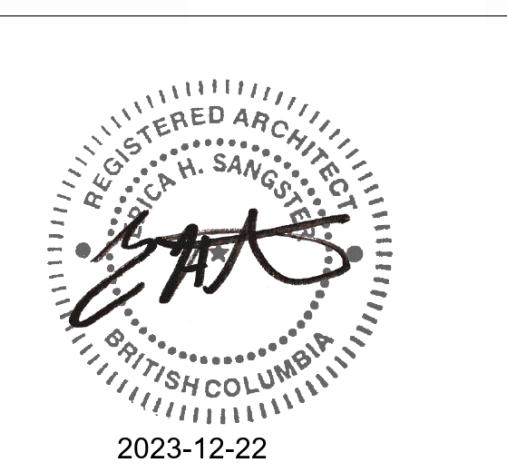
6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for Rezoning / DP 22.08.02
2 Issued for Rezoning / DP 21.11.15
1 Issued for Dev. Tracker 21.10.19

rev no description date
copyright reserved: these drawings and designs are and at all times remain the property of the architect and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

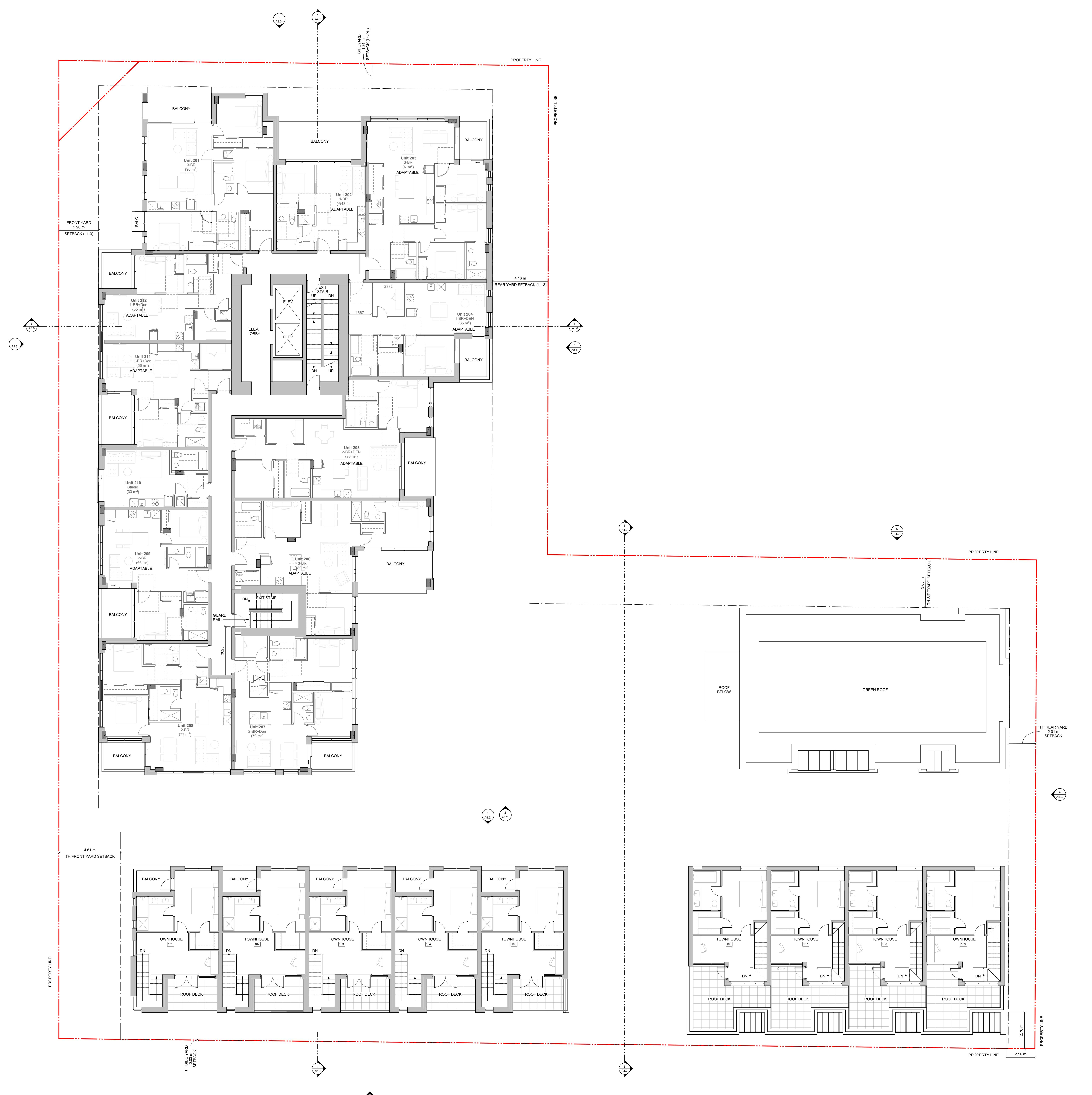
sheet title
Level 2 Plan

Project no. #21-18
scale 1: 100
drawn by RP / GK / GB
date issued 12/06/22 sheet no. A2.3



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND SIGNED ON 2023-12-22 BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND IS LOCATED AT THE ADDRESS PROVIDED. A COPY CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH IS PROVIDED BY THE ABC. THE SIGNATURE BEARER IS THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE ARE BEARING EVIDENCE OF THE AUTHENTICITY OF THE DIGITALLY CERTIFIED ELECTRONIC FILE.

NOTES:
1. REFER TO LANDSCAPE PLANS FOR INFORMATION ON PAVING, FENCING, PLANTINGS, AND TREES.



6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for Rezoning / DP 22.08.02
2 Issued for Rezoning / DP 21.11.15
1 Issued for Dev. Tracker 21.10.19

rev no description date

copyright reserved: these drawings and designs are and at all times shall remain the property of the architect and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Level 3 Plan

Project no. #21-18

scale 1: 100

drawn by RP / GK / GB

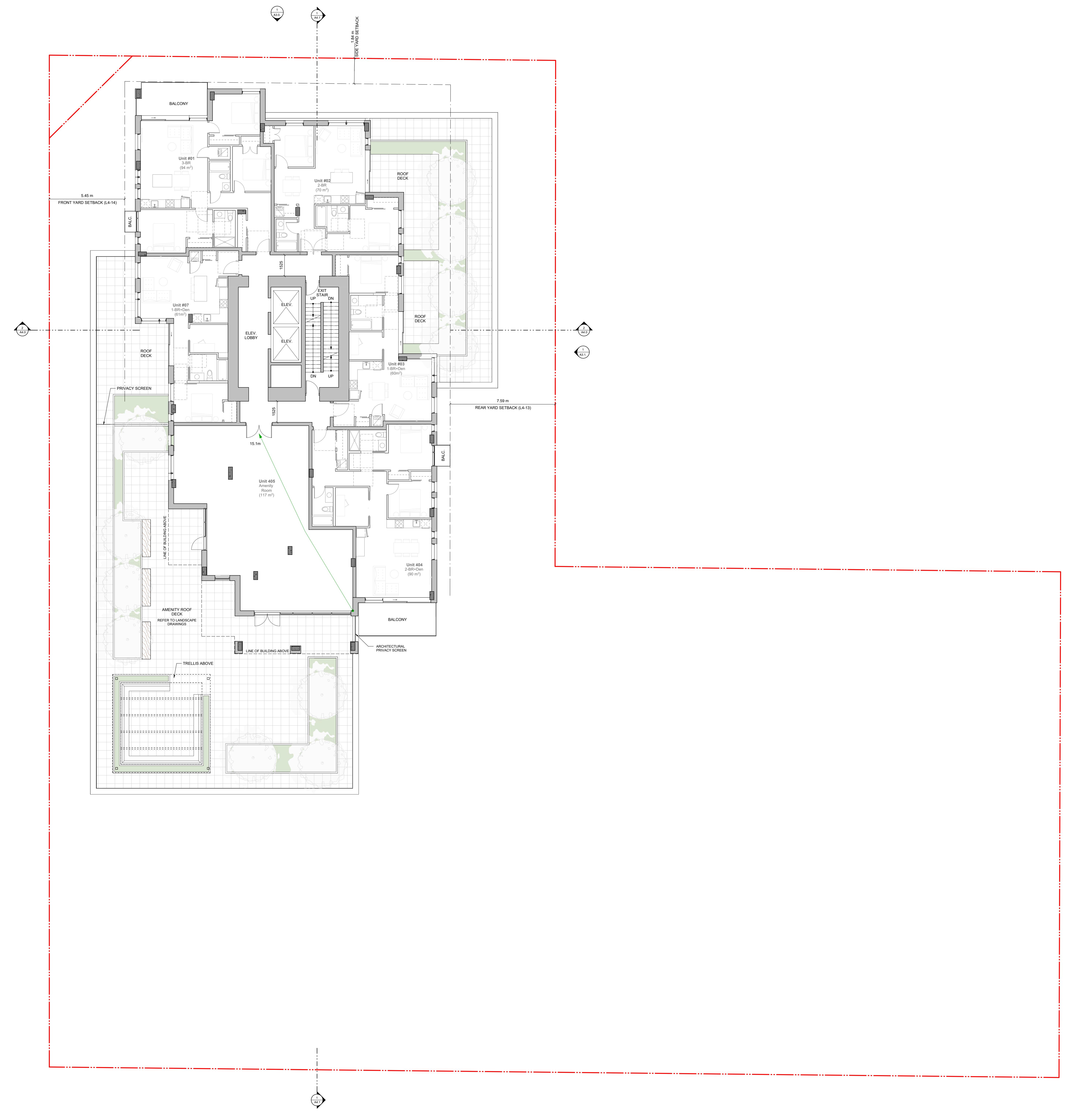
date issued 12/06/22 sheet no.

A2.4



DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED WITH DIGITAL CERTIFICATE AND
OPTION TECHNOLOGY AUTHORIZED BY
IBC. THE AUTHORITATIVE ORIGINAL IS IN
ELECTRONIC FORM. ANY PRINTED VERSION
SHOULD BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
lecture + urbanism, BEARING IMAGES OF
PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
ELECTRONICALLY CERTIFIED ELECTRONIC FILE.

FER TO LANDSCAPE PLANS FOR
RMATION ON PAVING, FENCING,
ITINGS, AND TREES.



Rezoning/DP Resubmission	23.12.22
Rezoning/DP Resubmission	22.12.06
Issued for ADP	22.08.02
Issued for Rezoning / DP	21.12.15
Issued for Dev. Tracker	21.10.19
description	date

It is reserved. these drawings and designs are and at all
main the property of d'ambrosio architecture to be
the project shown and may not be reproduced without
consent.

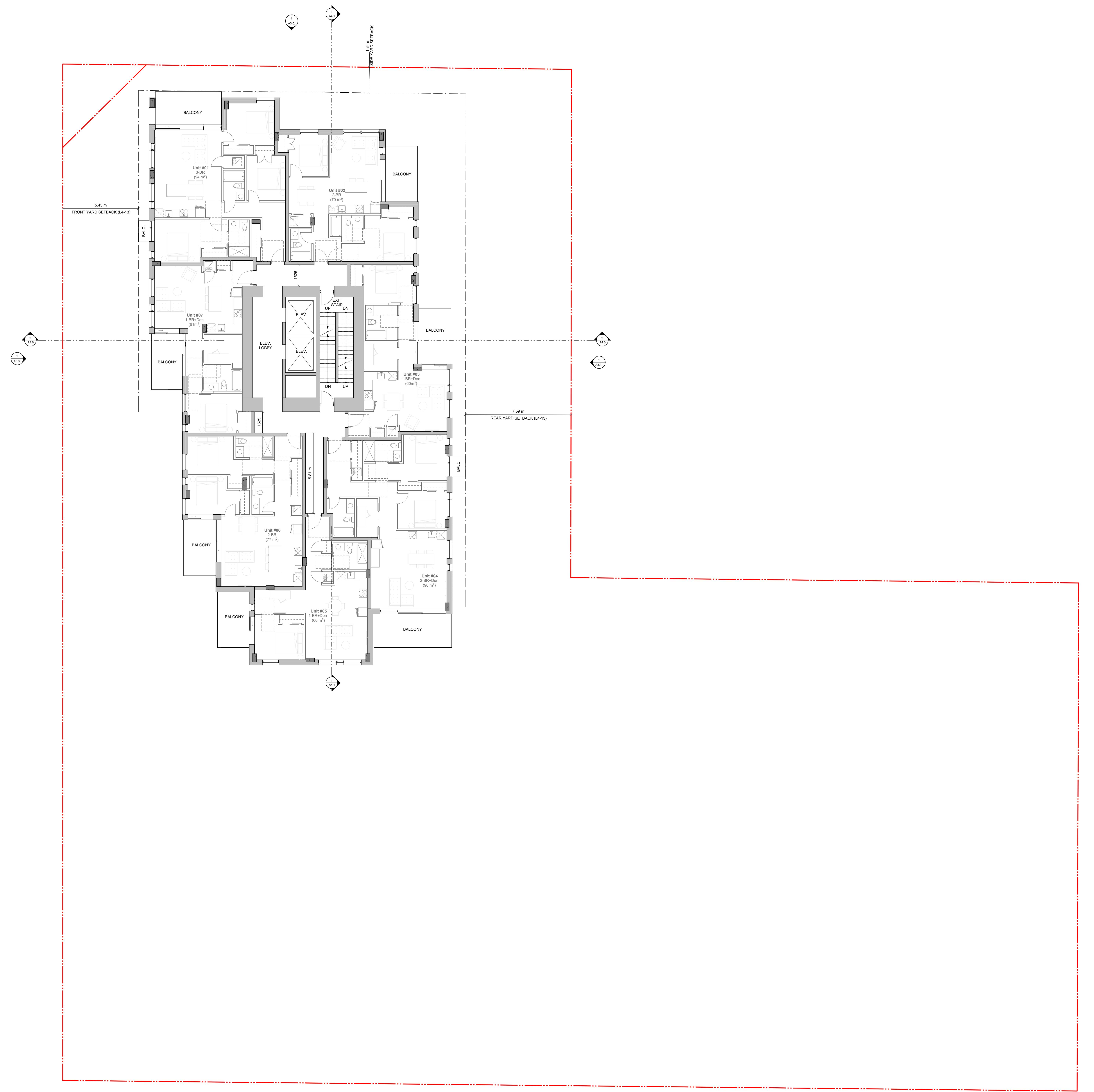
ct name
ntreal and Quebec
Quebec Street
ria, BC

Level 4 Plan

ct no.	#21-18
	1 : 100
by	RP / GK / GB
ssued	sheet no.
12/06/22	A2.5



DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED WITH DIGITAL CERTIFICATE AND
OPTION TECHNOLOGY AUTHORIZED BY
IBC. THE AUTHORITATIVE ORIGINAL IS IN
ELECTRONIC FORM. ANY PRINTED VERSION
SHOULD BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
lecture + urbanism, BEARING IMAGES OF
PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
ELECTRONICALLY CERTIFIED ELECTRONIC FILE.



Rezoning/DP Resubmission	23.12.22
Rezoning/DP Resubmission	22.12.06
Issued for ADP	22.08.02
Issued for Rezoning / DP	21.12.15
Issued for Dev. Tracker	21.10.19
description	date

It is reserved. these drawings and designs are and at all
main the property of d'ambrosio architecture to be
the project shown and may not be reproduced without
consent.

ct name
ntre and Quebec
Quebec Street
ria, BC

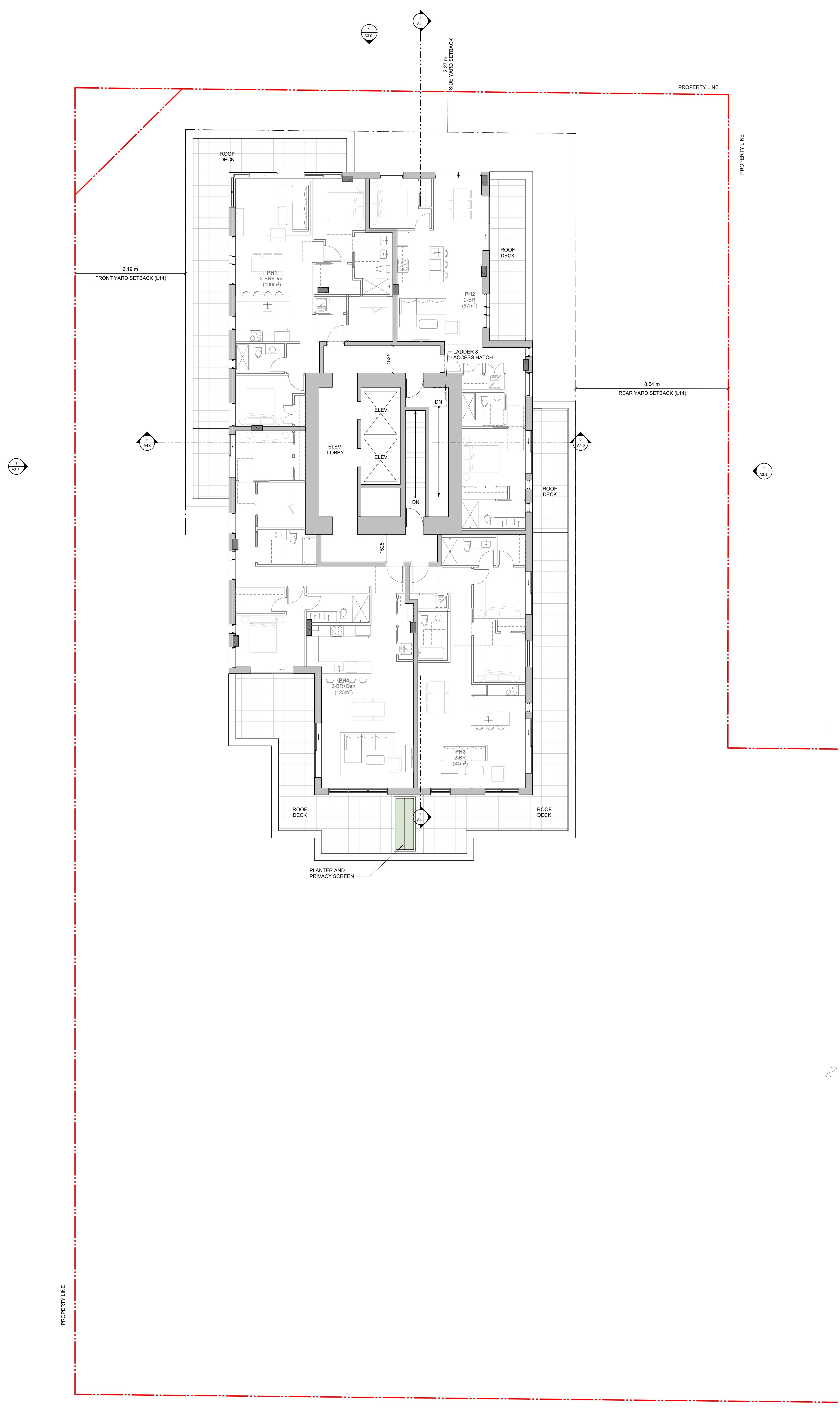
title **el 5-13 Plan**

ct no. #21-18
1 : 100

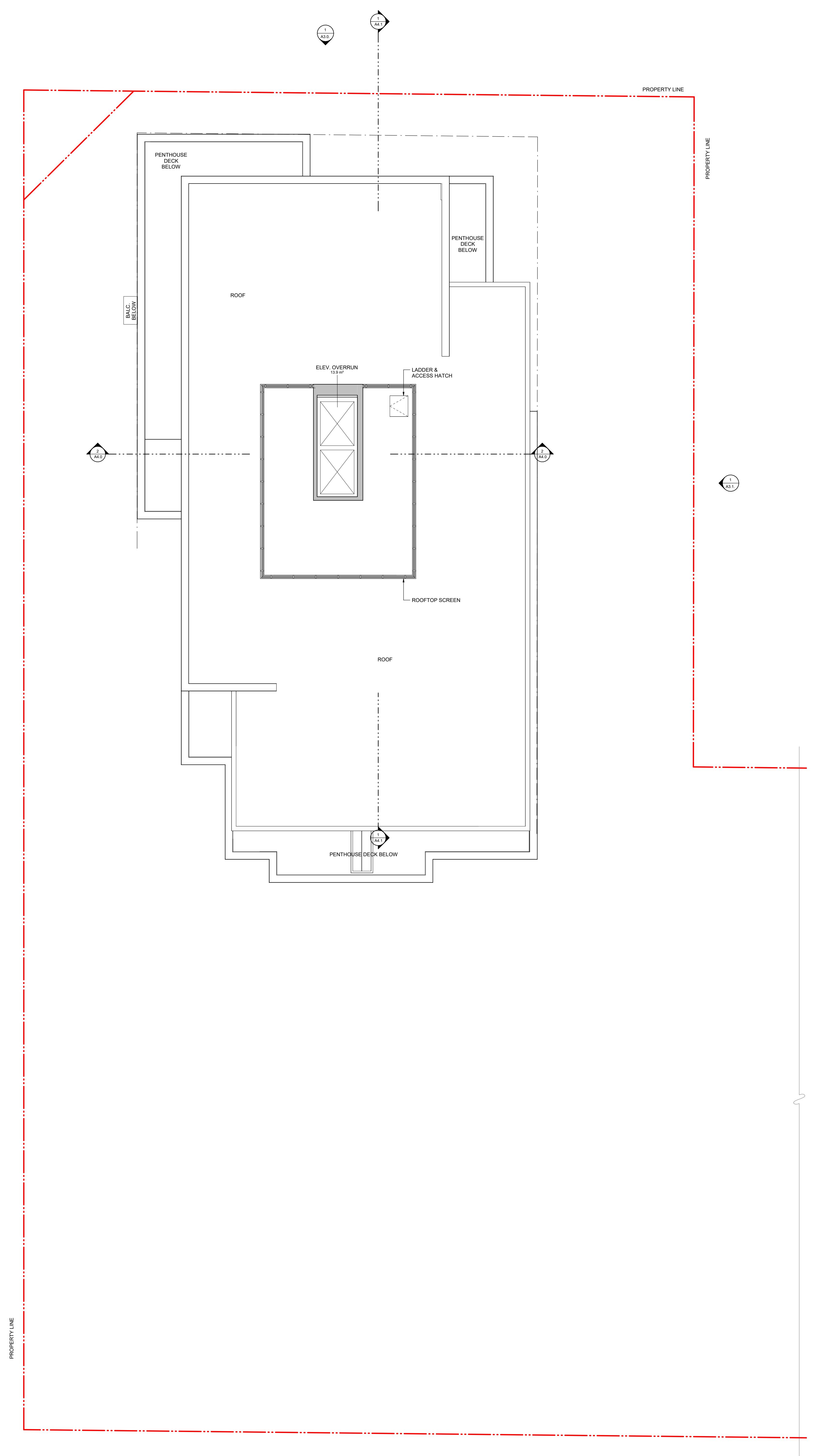
by	RP / GK / GB
ssued	sheet no.
12/06/22	A2_6



THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTION TECHNOLOGY AUTHORIZED BY THE AIBC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM. ANY PRINTED VERSION CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHEN SUPPLIED BY D'AMBROSIO architecture + urbanism, BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OR WHEN PRINTED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



1 PENTHOUSE PLAN
1 : 100



ROOF PLAN

Rev no	Description	Date
6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
	Issued for Dev. Tracker	21.10.19

copyright reserved. these drawings and designs are and at all times remain the property of d'ambrosio architecture to be used for the project shown and may not be reproduced without written consent.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Penthouse + Roof Plan

project no.	#21-18
scale	1 : 100



rev no	description	date
6	Rezoning/DP Resubmission	23.12.22
5	Rezoning/DP Resubmission	22.12.06
4	Issued for ADP	22.08.02
2	Issued for Rezoning / DP	21.12.15
1	Issued for Dev. Tracker	21.10.19

Montreal and Quebec Quebec Street Vancouver, BC

ct no. #2



2023-12-22

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND IS A LEGALLY BOUND DOCUMENT ISSUED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN THE PHYSICAL COPY HELD BY THE ABC. THIS DOCUMENT CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH SUPPLIES THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE OF THE PROFESSIONAL. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE, THIS DOCUMENT IS A DIGITAL COPY OF THE PHYSICAL COPY HELD BY THE ABC.

Digitally Certified Electronic File

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22

2023-12-22



DOCUMENT HAS BEEN ELECTRONICALLY
SIGNED WITH DIGITAL CERTIFICATE AND
OPTION TECHNOLOGY AUTHORIZED BY
AIBC. THE AUTHORITATIVE ORIGINAL IS IN
ELECTRONIC FORM. ANY PRINTED VERSION
SHOULD BE RELIED UPON AS A TRUE COPY OF THE
ORIGINAL WHEN SUPPLIED BY D'AMBROSIO
lecture + urbanism, BEARING IMAGES OF
PROFESSIONAL SEAL AND DIGITAL
CERTIFICATE OR WHEN PRINTED FROM THE
ELECTRONICALLY CERTIFIED ELECTRONIC FILE.

ATION MATERIALS KEY:

Cement Panel System
Colour: Sandstone

Running Bond Brick
Colour: Oatmeal

Fibre Cement Panel
Colour: Dark Grey

Pre-finished Vertical Wood Siding

Soffits: T&G Wood

Glass Guards in Pre-finished Aluminum Frames

Glazed Canopies: Laminated Glazing on
Painted Steel Structure
Colour: Iron / Ore

Prefinished Metal Parapet Flashing
Colour: Iron / Ore

Prefinished Metal Fascia
Colour: Iron / Ore

Perforated Metal Balcony Guard
Colour: Iron / Ore

Painted Metal Pergolas and Gates
Colour: Iron / Ore

Window and Doors: Clear Glazing in Dark
Anodized Aluminum Frames
Colour: Iron / Ore

Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / Ore

Exposed Architectural Concrete

Prefinished Metal Louvers
Colour: Iron / Ore

Prefinished Metal Panel
Colour: Iron / Ore



consent.
ct name
ntreal and Quebec
Quebec Street

South Elevation

ct no. #21-18
1 : 100

by CF / RP / GB
Issued sheet no.

12/06/22



2023-12-22

THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND SIGNATURE TESTIMONY PROVIDED BY THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND IS THE ONLY DOCUMENT THAT CAN BE RELIED UPON AS A TRUE COPY OF THE WORK. WHEN PRINTED, THIS DOCUMENT IS A PROOF OF THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE OF THE REGISTERED ARCHITECTURE + URBANISM. BEARING IMAGES OF THE PROFESSIONAL SEAL AND DIGITAL SIGNATURE, THIS DOCUMENT IS IDENTICAL TO THE ONE FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.

ELEVATION MATERIALS KEY:

- ① Cement Panel System
Colour: Sandstone
- ② Running Bond Brick
- ③ Fibre Cement Panel
Colour: Oatmeal
- ④ Pre-finished Vertical Wood Siding
- ⑤ Soffits T&G Wood
- ⑥ Glass Guards in Pre-finished Aluminum Frames
- ⑦ Glazed Canopies: Laminated Glazing on Painted Steel Structure
- ⑧ Prefinished Metal Parapet Flashing
- ⑨ Prefinished Metal Fascia
- ⑩ Perforated Metal Fascia
- ⑪ Painted Metal Perpiles and Gates
- ⑫ Window and Doors: Clear Glazing in Dark Painted Aluminum Frames
- ⑬ Glass Walls and Guards w/ Aluminum Frame
- ⑭ Exposed Architectural Concrete
- ⑮ Prefinished Metal Louvers
Colour: Iron / Ore
- ⑯ Prefinished Metal Panel
Colour: Iron / Ore





THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND SIGNED ON 2023-12-22 BY THE PROFESSIONAL IN THE ABC. THE AUTHORITATIVE ORIGINAL IS IN THE POSSESSION OF THE PROFESSIONAL. A COPY CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL WHICH SUPPOSEDLY BEAR THE IMAGE OF THE PROFESSIONAL'S SIGNATURE AND DIGITAL CERTIFICATE. THE IMAGE BEAR IMAGES OF THE PROFESSIONAL'S SEAL AND DIGITAL CERTIFICATE. THE IMAGE IS DERIVED FROM THE DIGITALLY CERTIFIED ELECTRONIC FILE.



6 Rezoning/DP Resubmission 23.12.22
5 Rezoning/DP Resubmission 22.12.06
4 Issued for AD 22.08.02
3 Rezoning/DP Resubmission 21.11.14
2 Issued for Rezoning / DP 21.12.15


rev no description date

copyright reserved. these drawings and designs are and at all times the property of the architect and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Sections

Project no. #21-18
scale 1: 100
drawn by RP
date issued 12/06/22 sheet no. A4.0
2023-12-22 10:35:59 AM

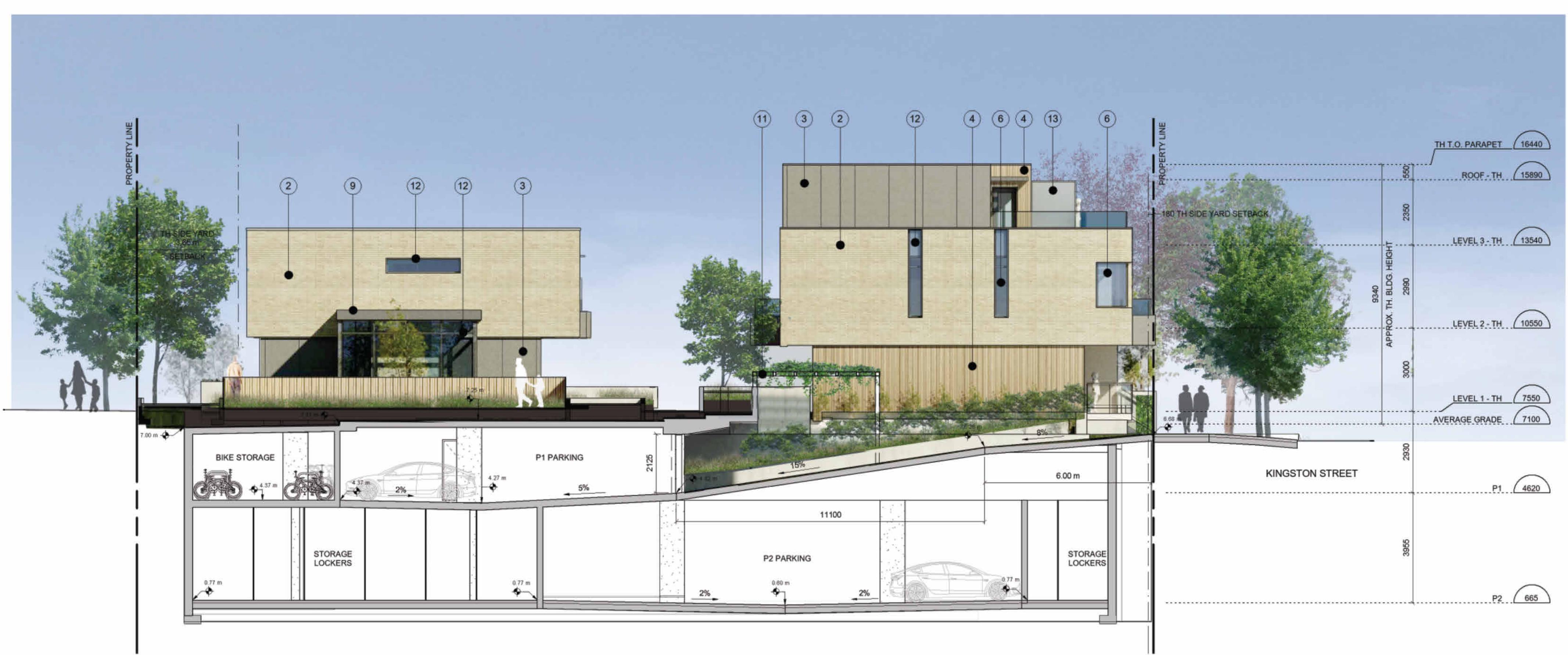




THIS DOCUMENT HAS BEEN ELECTRONICALLY CERTIFIED WITH DIGITAL CERTIFICATE AND ENCRYPTED BY THE AUTHORITY OF THE ABC. THE AUTHORITATIVE ORIGINAL IS IN ELECTRONIC FORM AND CAN BE RELIED UPON AS A TRUE COPY OF THE ORIGINAL. THIS IS A SIGNED COPY OF THE DOCUMENT AND IS A BEARING IMAGE OF THE PROFESSIONAL SEAL AND DIGITAL CERTIFICATE OF THE PROFESSIONAL WHO Digitally Certified this Electronic File.

ELEVATION MATERIALS KEY:

- (1) Cement Panel System
Colour: Sandstone
- (2) Running Bond Brick
Colour: Oatmeal
- (3) Fibre Cement Panel
Colour: Dark Grey
- (4) Pre-finished Vertical Wood Siding
Colour: T&G Wood
- (5) Glass Guards in Pre-finished Aluminum Frames
- (6) Glazed Canopies: Laminated Glazing on
Coloured Aluminum Frame
- (7) Pre-finished Metal Parapet Flashing
Colour: Iron / Ore
- (8) Pre-finished Metal Fascia
Colour: Iron / Ore
- (9) Decorative Iron Guard
Colour: Iron / Ore
- (10) Painted Metal Pergolas and Gates
Colour: Iron / Ore
- (11) Window and Doors: Clear Glazing in Dark
Coloured Aluminum Frames
Colour: Iron / Ore
- (12) Glass Walls and Guards w/ Aluminum Frame
Colour: Iron / Ore
- (13) Exposed Architectural Concrete
- (14) Pre-finished Metal Louvers
Colour: Iron / Ore
- (15) Pre-finished Metal Panel
Colour: Iron / Ore



6 Rezoning / DP Resubmission 23.12.22
5 Rezoning / DP Resubmission 23.12.22
4 Issued for ADP 21.12.03
2 Issued for Rezoning / DP 21.12.15
rev no description date
copyright reserved, these drawings and designs are and at all times the property of D'AMBROSIO architecture + urbanism and may not be used for the project shown and may not be reproduced without written permission.

project name
Montreal and Quebec
205 Quebec Street
Victoria, BC

sheet title
Building Section /
Elevations

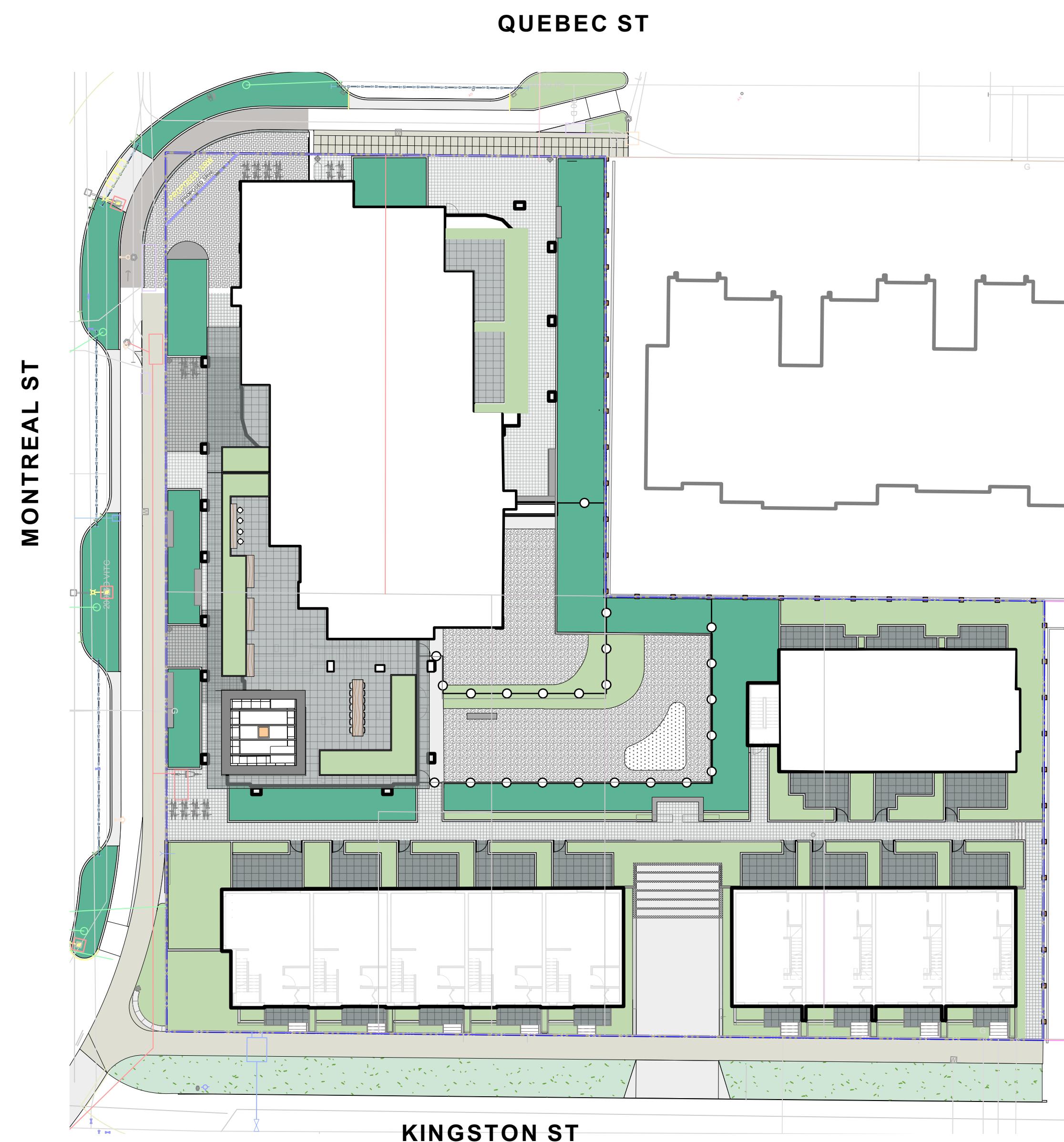
project no. #21-18
scale 1:100
drawn by CF / RP / GK
date issued 12/06/22 sheet no. A4.2
2023-12-22 10:36:55 AM

Mike Geric Construction

Quebec & Montreal

Victoria, BC

KEY PLAN



Landscape Sheets

Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Survey Plan
L0.03	Tree Management Plan
L1.01	Landscape Materials - Ground Level
L1.02	Landscape Materials - Level 4
L1.03	Stormwater Management & Grading
L1.04	Landscape Precedents
L1.05	Landscape Materials - Sections
L1.06	Landscape Materials - Sections
L1.07	Replacement Tree Plan
L3.01	Planting Plan - Ground Level
L3.02	Planting Plan - Level 4
L4.01	Landscape Details

8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



3388A Tennyson Ave.

Victoria, BC V8Z 3P8

Phone: 250.412.2891

Fax: 250.412.2892

2023-12-22	
client	
Mike Geric Construction	
4520 West Saanich Rd	
Saanich, BC	
project	
QUEBEC & MONTREAL DEV.	
501-502 MONTREAL ST.	
VICTORIA, BC	
sheet title	
Cover	
project no.	121.23
scale	1: ### @ 24" x 36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
8	L0.00

GENERAL NOTES

1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

1. All elevations are in meters.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

1. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees with shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system
14. Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
15. Irrigation Inspections: required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600. 2 days in advance to arrange for irrigation inspections.

GROWING MEDIUM NOTES

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G9, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contractor will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
5. Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimation of plants for their planted location.

ON-SLAB TREE PLANTING NOTES

1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the following conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

BOULEVARD PLANTING NOTES

1. Boulevard trees have been placed to avoid existing and proposed infrastructure. Trees planted within 1m of an existing underground municipal service will have a root barrier installed between the root ball and the existing infrastructure.
2. Boulevard trees will be placed a minimum of 1.5m from an above ground municipal service such as fire hydrant, streetlight or driveway.
3. Boulevard tree species have been picked from the municipality's list of recommended boulevard trees or have been selected due their site-adapted qualities. Final selection of boulevard trees to be determined through consultation with municipal parks staff.
4. Irrigation to be installed as per Municipal Specifications, for all boulevard planting areas (unless otherwise indicated).
5. Design/build drawings for boulevard irrigation to be submitted to Contract Administrator in PDF and .dwg formats, at least two weeks prior to commencement of irrigation installation and will be reviewed by municipal staff.
6. Refer to Civil drawings for location of boulevard irrigation point of connection. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
7. Boulevard irrigation to be inspected as per municipal specification by municipal staff. Boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
8. Soil volume for boulevard trees to be as follows: 8 cu. m. for small trees, 12 cu. m. for medium trees, and 16 cu. m. for large trees.

TREE RETENTION AND REMOVAL NOTES

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

1. All elevations are in meters.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

1. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IIABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees with shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system
14. Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
15. Irrigation Inspections: required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report). Call CoV Parks 250-361-0600. 2 days in advance to arrange for irrigation inspections.

GROWING MEDIUM NOTES

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G9, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contractor will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
5. Landscape installation to carry a 1 year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance. The Contractor will not be responsible for plant loss due to extreme climatic conditions such as abnormal freezing temperatures or hail which occur after Acceptance. The Contractor shall be responsible for plant loss due to inadequate acclimation of plants for their planted location.

MATERIALS LEGEND

1.0 HARDSCAPE

1.1		Asphalt. See Civil
1.2		CIP Concrete Light Broom Finish with Tooled Control Joints. Colour: Natural.
1.3		CIP Concrete Light Broom Finish with Radial Control Joints. Colour: Natural
1.4		Standard Paver 8x8 tile pattern, colour Natural
1.5		Standard Paver 8x8 tile pattern, colour Charcoal
1.6		Patio Texada' Hydrapressed Slabs. 457 mm x 457 mm x 40 mm. Charcoal colour. Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.

5.0 FENCES AND BARRIERS

5.1		1800mm Wood Fence
5.2		Picket Fence

6.0 LIGHTING

See Arch and Electrical

7.0 PLANTING AREAS

7.1		Shrub Area
7.4		Rain Garden (See Dwg 1 L.03 & 4.01)

LINE TYPE LEGEND

— --- Property line
- - - Extent of Parkade, below
- - - Pedestrian Sightline

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

Civil Typical Inlet Drain

GRADING LEGEND

	Existing Landscape Grade
	Civil Grade, provided for reference only
	Architectural grade, provided for reference only
	Proposed Landscape Grade
TOW	Top of Wall
BW	Bottom of Wall
TOC	Top of Curb
BC	Bottom of Curb
TP	Top of Pool
BP	Bottom of Pool
TS	Top of Stairs
BS	Bottom of Stairs
HP	High Point
LP	Low Point

IRRIGATION LEGEND

Irrigation Point of Connection
Proposed Irrigation Point of Connection. Provide water service and electrical service from irrigation controller to valves.

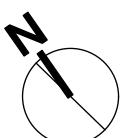
— Irr Sl — Irr Sl Irrigation Sleeve
Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.

LANDSCAPE DRAINAGE LEGEND

Perforated Underdrain
 Sched 40 PVC
 Clean out
 Rain Garden Overflow Drain
 8" Square drain with ductile iron grate.
 Trench Drain Aco K100 Trench Drain, Load Class 'A'.
DRAINS BY OTHERS
SD BL AD Mechanical Drains (For reference only)

General Information Sheet

client	Mike Geric Construction
project	QUEBEC & MONTREAL DEV. 501-502 MONTREAL ST. VICTORIA, BC
sheet title	General Information Sheet
project no.	121.23
scale	NA @ 24" x 36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

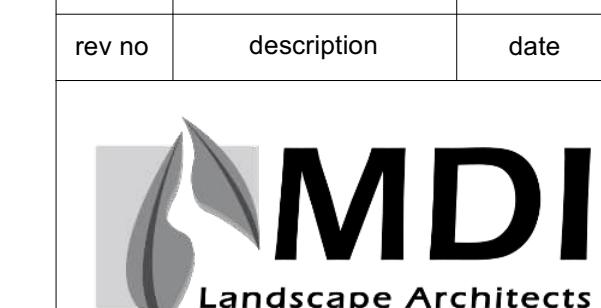
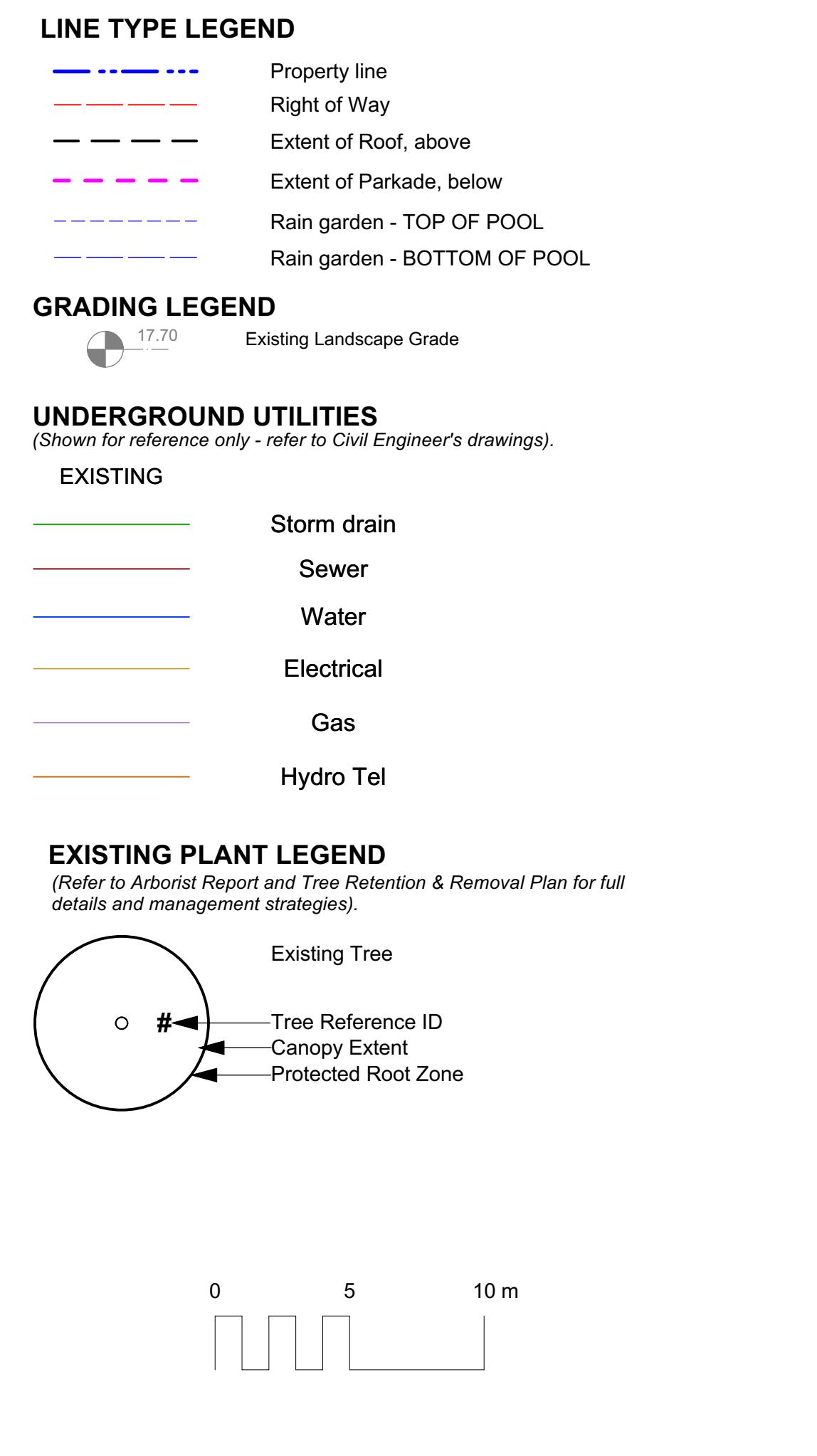
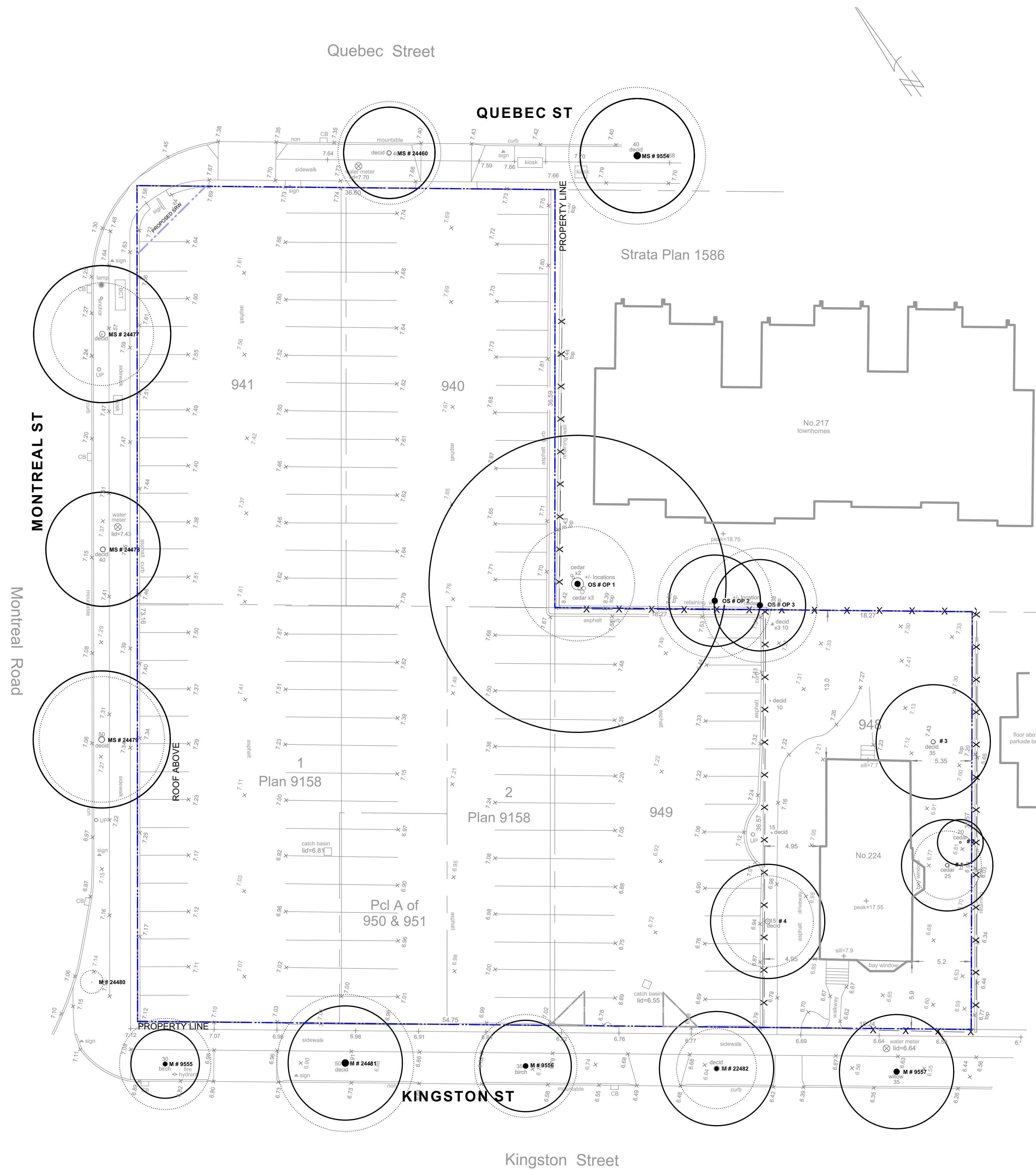


MDI
Landscape Architects

3388A Tennyson Ave.
Victoria, BC V8Z 3P8

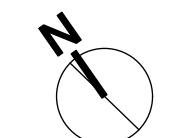
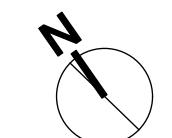
Phone: 250-412-2891
Fax: 250-412-2892

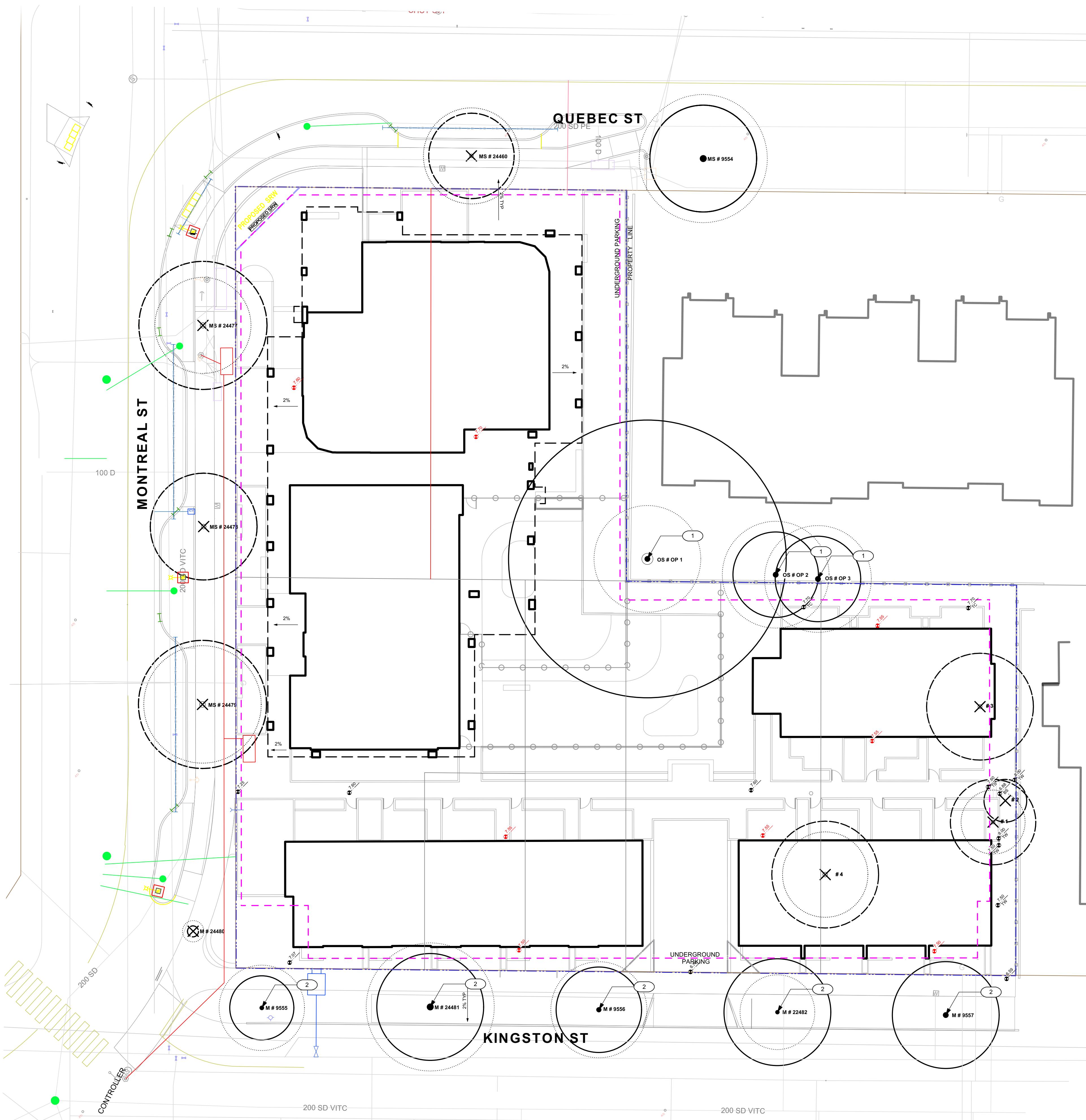




2023-12-22
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC
project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC
sheet title
Tree Survey Plan

project no. 121.23
scale 1: 200 @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.
8 L0.02





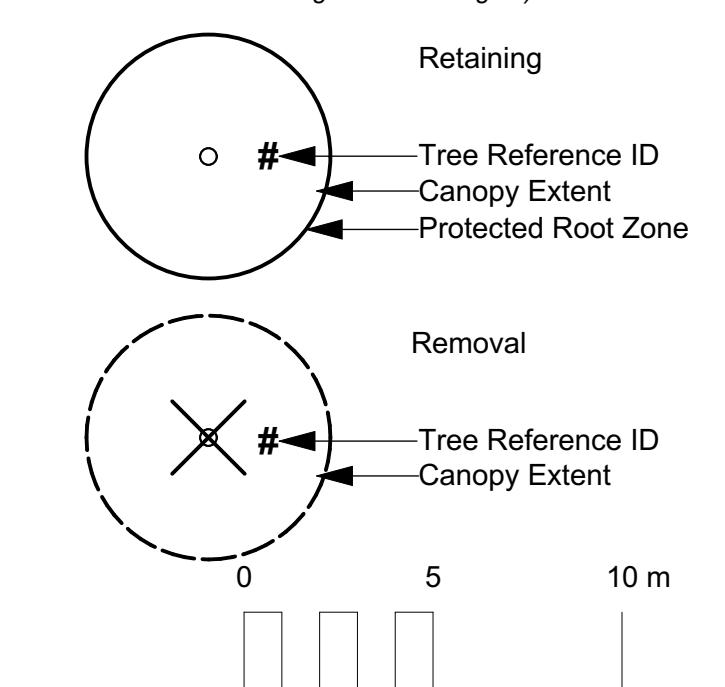
LINE TYPE LEGEND	
—	Property line
—	Right of Way
—	Extent of Roof, above
—	Extent of Parkade, below
—	Rain garden - TOP OF POOL
—	Rain garden - BOTTOM OF POOL

	17.70	Existing Landscape Grade
--	-------	--------------------------

UNDERGROUND UTILITIES (Shown for reference only - refer to Civil Engineer's drawings)

EXISTING	PROPOSED
Storm drain	—
Sewer	—
Water	—
Electrical	—
Gas	—
Hydro Tel	—

EXISTING PLANT LEGEND (Refer to Arborist Report and Tree Retention & Removal Plan for full details and management strategies.)



EXISTING TREE INVENTORY*

RETAINED TREES

TREE TAG #	DBH (cm)	CRZ	Species	Crown Spread (m)	Height (m)
9555	27	3	Betula papyrifera	8	9
24481	39	5	Prunus cerasifera	12	9
24482	38	5	Prunus cerasifera	7	9
9557	39	4	Betula pendula	10	11
9554	42	5	Aesculus carnea	12	9
Op1	105	12	Thuja plicata	10	14
Op2	35	4	Cedrus dianara	9	18
Op3	35	4	Sequoiadendron giganteum	9	10
2556	34	4	Betula papyrifera	9	10

TOTAL TREES TO BE RETAINED: 9

REMOVED TREES

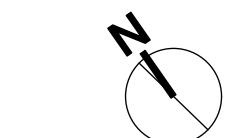
TREE TAG #	DBH (cm)	Species	Crown Spread (m)	Height (m)
24460	35	Sorbus intermedia	9	0
24480	3	Prunus sargentii	1	3
24479	53	Prunus cerasifera	11	8
24478	44	Prunus cerasifera	10	8
24477	50	Prunus cerasifera	9	8
1	35	Thuja plicata smaragd	3	6
2	14	Thuja plicata smaragd	2	6
3	39	Pyrus sp.	5	4
4	44	Ilex aquifolium	4	6

TOTAL TREES TO BE REMOVED: 9

* Based on Arborist's Report received from Arborist, 09/28/2021. Refer to Arborist report for details on tree conditions and Arborist recommendations.

REFERENCE NOTES

- 1 Requires onsite supervision of trees during excavation
- 2 Potentially impacted by site serving and grading



D. Clark Arboriculture
2741 The Rise Victoria B.C. V8T 3T4
(250) 414-1559 (250) 408-1568
clarkarbor@msn.com
www.dclarkarboriculture.com
Certified Arborist PN-6523A

8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19

MDI
Landscape Architects
3388A Tennyson Ave.
Victoria BC V8Z 3P8
Phone: 250-412-2891
Fax: 250-412-2892

2023-12-22
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC
project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC
sheet title

Tree Management Plan

project no. 121.23
scale 1: 200 @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.
8 L0.03



5.0 FENCES AND BARRIERS

5.1 — 1800mm Wood Fence

5.2 ○— Picket Fence

6.0 LIGHTING

See Arch and Electrical

7.0 PLANTING AREAS

7.1 Shrub Area

7.4 Rain Garden (See Dwg 1 L1.03 & 4.01)

MATERIALS LEGEND

Hardscape

1.1 Asphalt. See Civil

1.2 CIP Concrete
Light Broom Finish with Toolled Control Joints. Colour: Natural.

1.3 CIP Concrete
Light Broom Finish with Radial Control Joints. Colour: Natural

1.4 Standard Paver
8x8 tile pattern, colour Natural

1.5 Standard Paver
8x8 tile pattern, colour Charcoal

1.6 Patio
'Texada' Hydrapressed Slabs. 457 mm x 457 mm x40 mm. Charcoal colour, Square Grid. Supplier: Abbotsford Concrete. Nonpermeable.

Hardscape: City Standards

See 'Downtown Public Realm Plan & StreetScape Standards', Section 5.1.1 Inner Harbour, for details.

1.7 Trowel Joint Concrete.
See L4.01 For Pattern Details

1.8 Granite Pavers
@ 300mm x 100mm x 80mm. Mortar set. Paving field. Grey granite. Flamed Finish. Nonpermeable.

1.9 Grey Basalt Entry Band
Sandblasted Street name insert, 450mm width, Font Tisa Bro Bold - All caps, Finish Flamed

1.10 Granite Pavers
Solder Course Border 200mm Granite Pavers

DAYCARE

Design TBD by input from Daycare provider

2.1 Sand

2.2 Safety Surfacing

WALLS

3.1 Concrete Retaining Wall

3.2 Concrete Bench

3.3 Concrete Curb - See Civil.

FURNISHINGS

4.1 'Downtown Bicycle Rack' As specified in Victoria Downtown Public Plan & Streetscape Standard. No offsite Bike Racks.

4.2 Fire pit

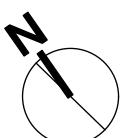
4.3 Trash Bin

4.4 Trellis

4.5 Benches

4.6 Tables

4.7 Shed. See Architecture.



3388A Tennyson Ave.
Victoria BC V8Z 3P8
Phone: 250-412-2891
Fax: 250-412-2892

2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Level 4

project no. 121.23

scale 1:150 @ 24" x 36"

drawn by MDI

checked by SM

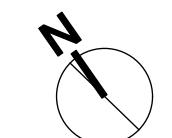
rev no. sheet no.

8 L1.02



LEGEND

	PROPERTY LINE
	EXTENT OF UNDERGROUND PARKING (INDICATIVE)
	EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
	RAIN GARDEN - TOP OF POOL
	RAIN GARDEN - BOTTOM OF POOL
	EXISTING GRADE (APPROXIMATE)
	PROPOSED ARCH GRADE
	PROPOSED LANDSCAPE GRADE
	TP TOP OF POOL
	BP BOTTOM OF POOL
	DIRECTION OF FLOW
	RAIN GARDEN ON GRADE
IMPERVIOUS AREAS	
	ROOF DRAINS TO RAIN GARDEN
	ROAD / HARSCAPE DRAINS TO RAIN GARDEN



RAIN WATER MANAGEMENT NOTES

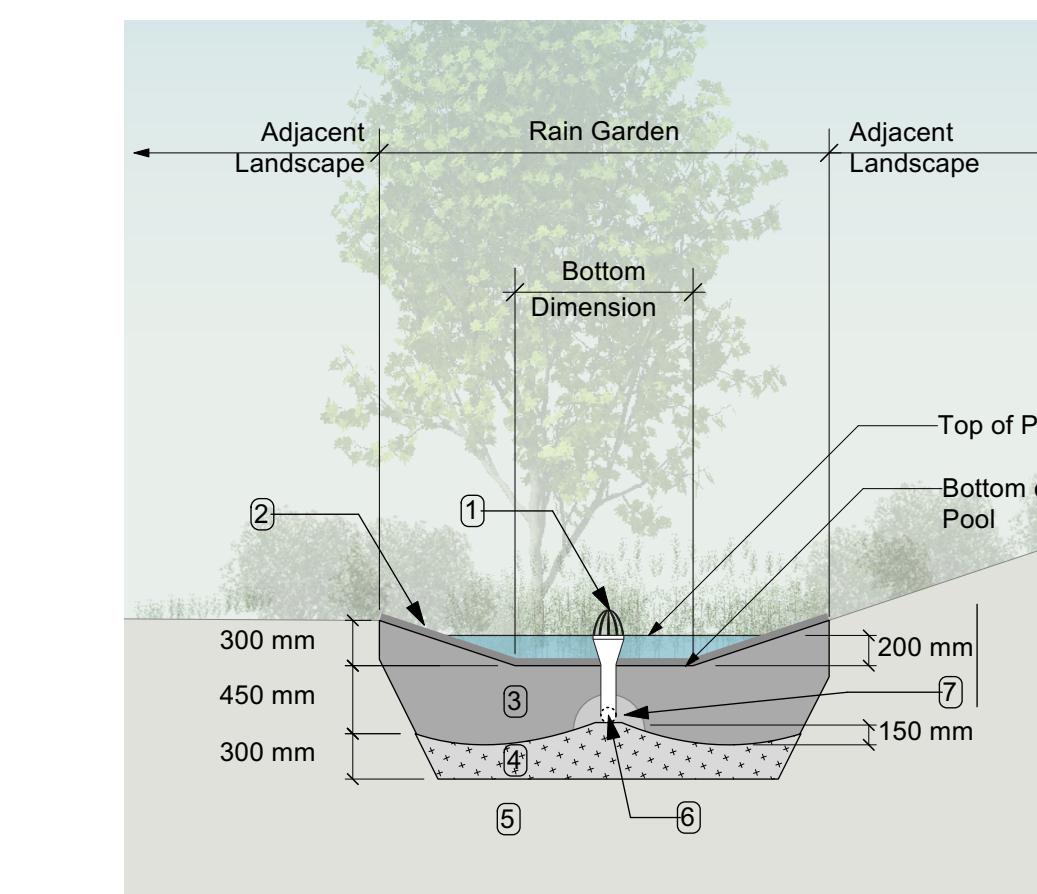
Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area to meet or exceed City of Victoria Green Stormwater Infrastructure Guidelines.

Boulevard rain gardens to be designed to City of Victoria Standards



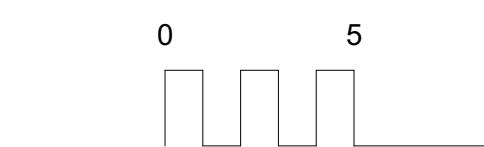
RAIN GARDEN MATERIALS

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50 - 70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Scarified/tilled subgrade, 300 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth



GRADING NOTES

1. All grades slope 2% from the building to back of curb.
2. Slab grade varies
3. All landscape walls are an average of 500mm height.
4. Kingston St Townhouses require 3-4 risers to meet grade.
5. Proposed curb grades to be determined by Civil (proposed grades will be similar to existing grades. See Civil for details)
6. All sidewalk slope 2% to back of curb.



3388A Tennyson Ave.
Victoria BC V8Z 3P6

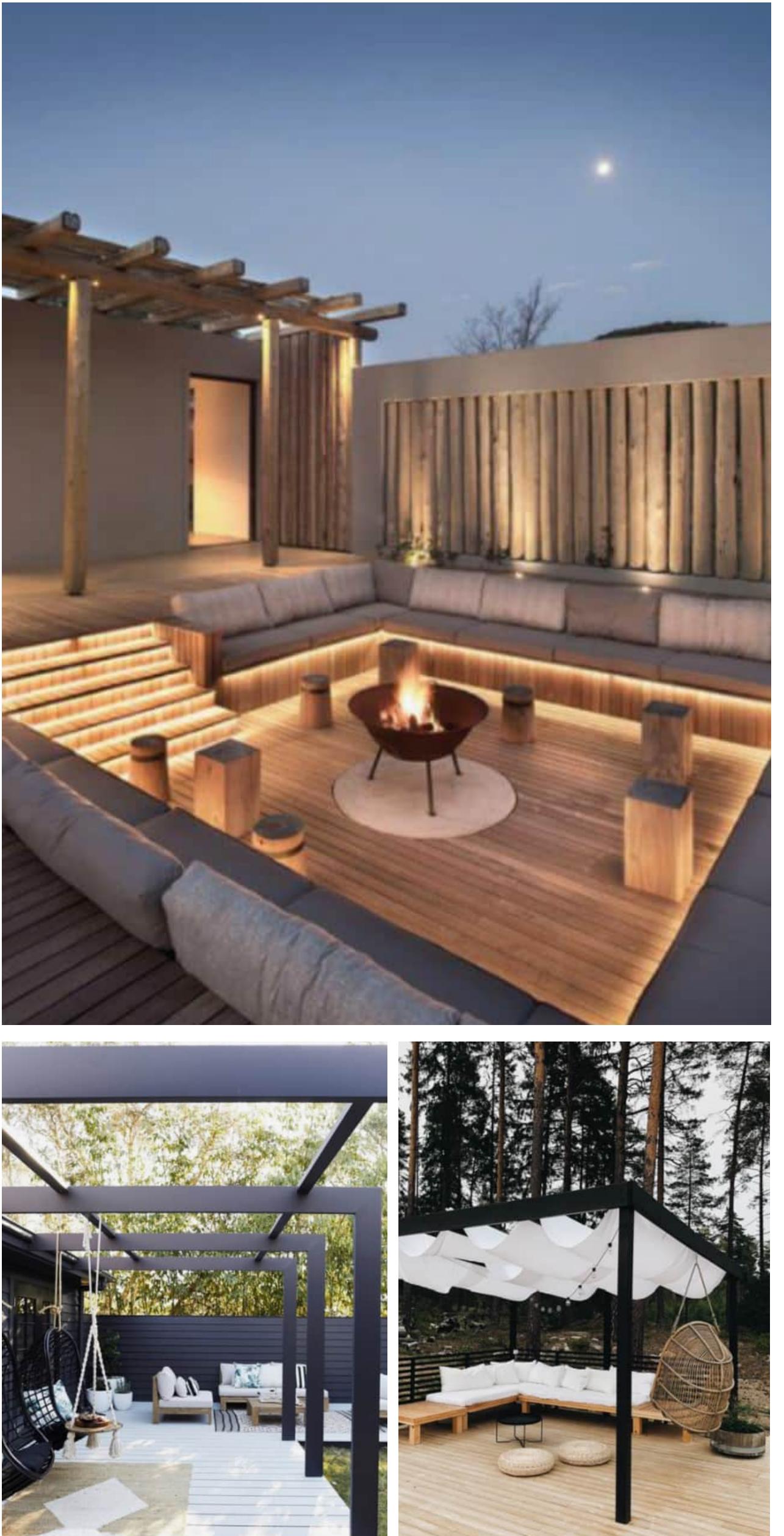
Phone: 250-412-2891
Fax: 250-412-2892

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Stormwater
Management &
Grading**

project no. 121.23
scale 1: ### @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.
8 L1.03



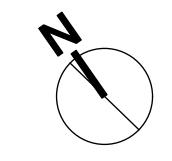
ROOFTOP COMMON SPACE

DAYCARE - PLAY



STREETSCAPE MONTREAL & QUEBEC

STREETSCAPE KINGSTON



8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



3388A Tennyson Ave.
Victoria, BC V8Z 3P6

Phone:
Fax:

200-412-2891
200-412-2892

2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

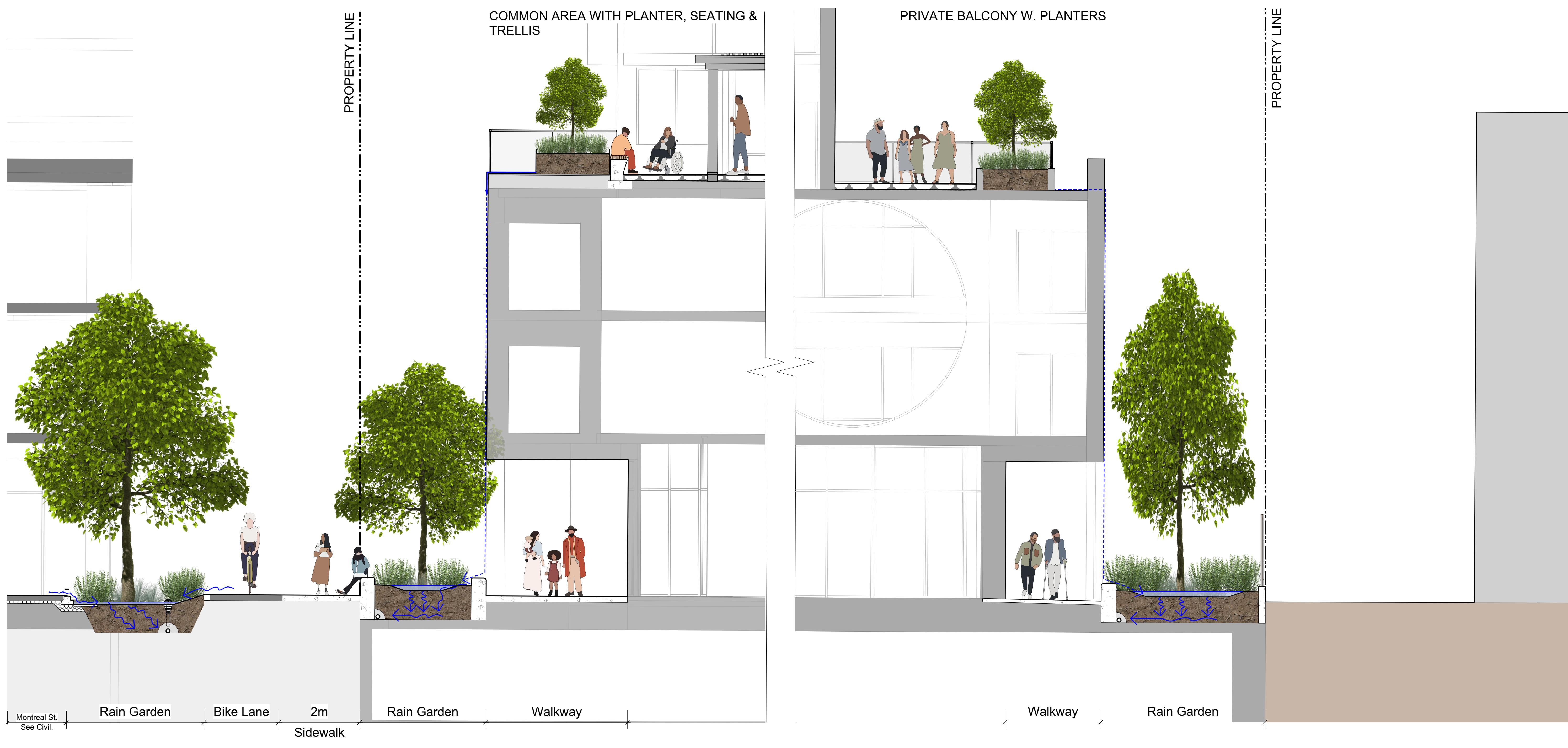
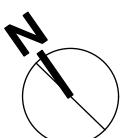
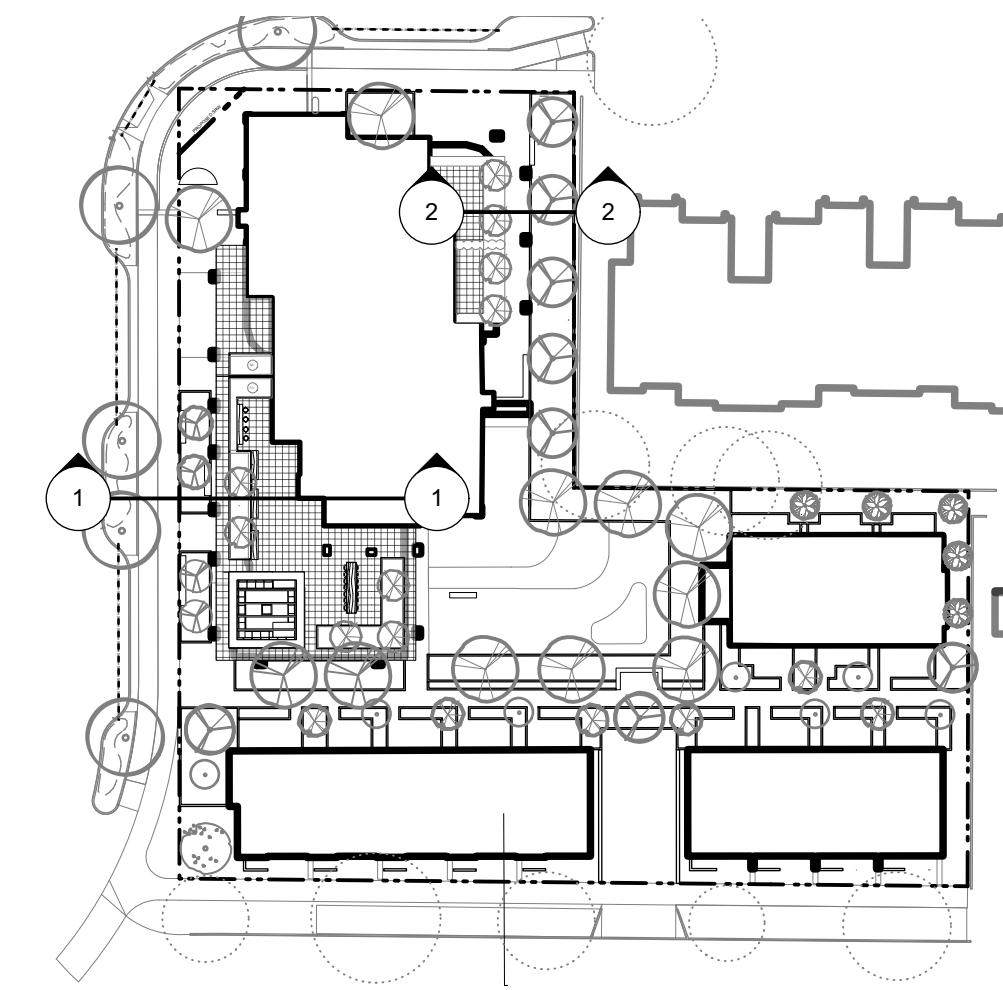
sheet title

**Landscape
Precedents**

project no. 121.23
scale N/A @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.



L1.04



8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



3388A Tennyson Ave.

Victoria, BC V8Z 3P8

Phone: 250-412-2891

Fax: 250-412-2892

2023-12-22

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title

Landscape Materials - Sections

project no. 121.23

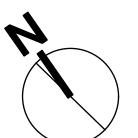
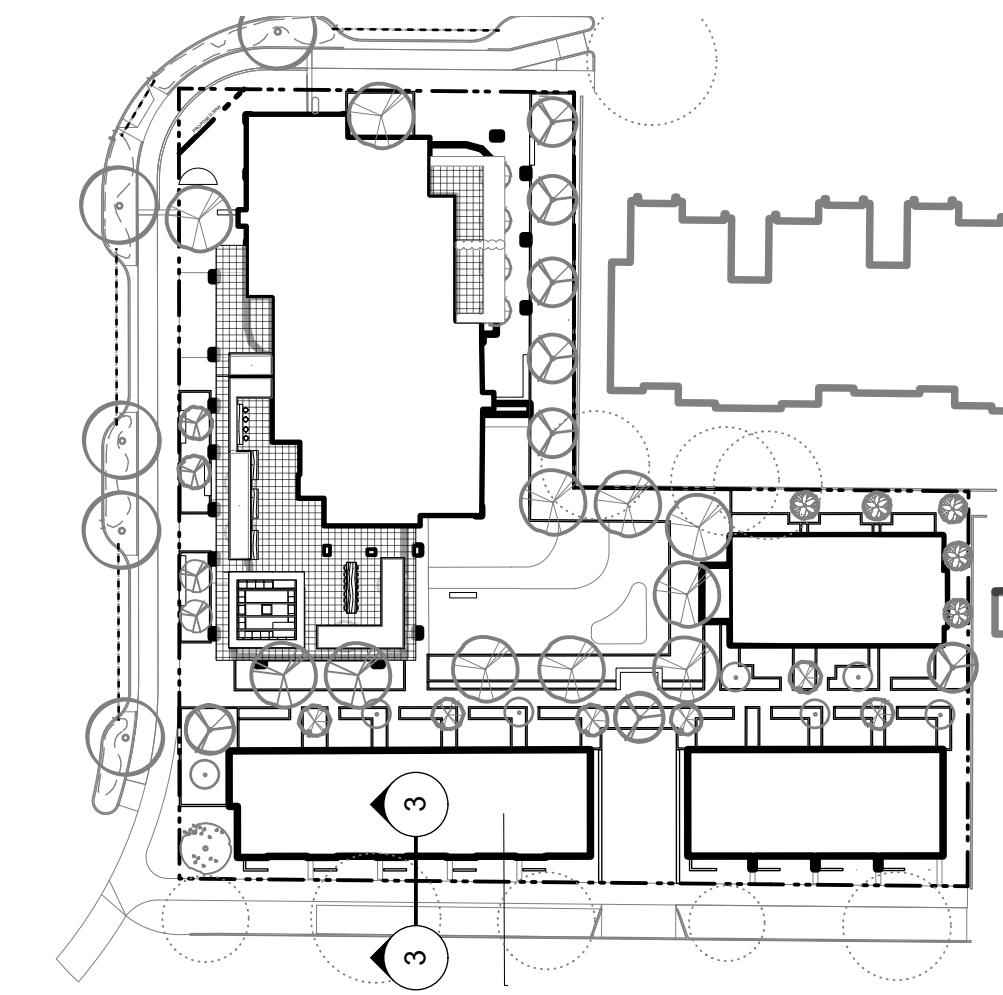
scale 1:50 @ 24" x 36"

drawn by MDI

checked by SM

revision no. sheet no.

8 L1.05

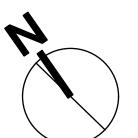


8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



3388A Tennyson Ave.
Victoria, BC V8Z 3P8

Phone: 250-412-2891
Fax: 250-412-2892



2023-12-22

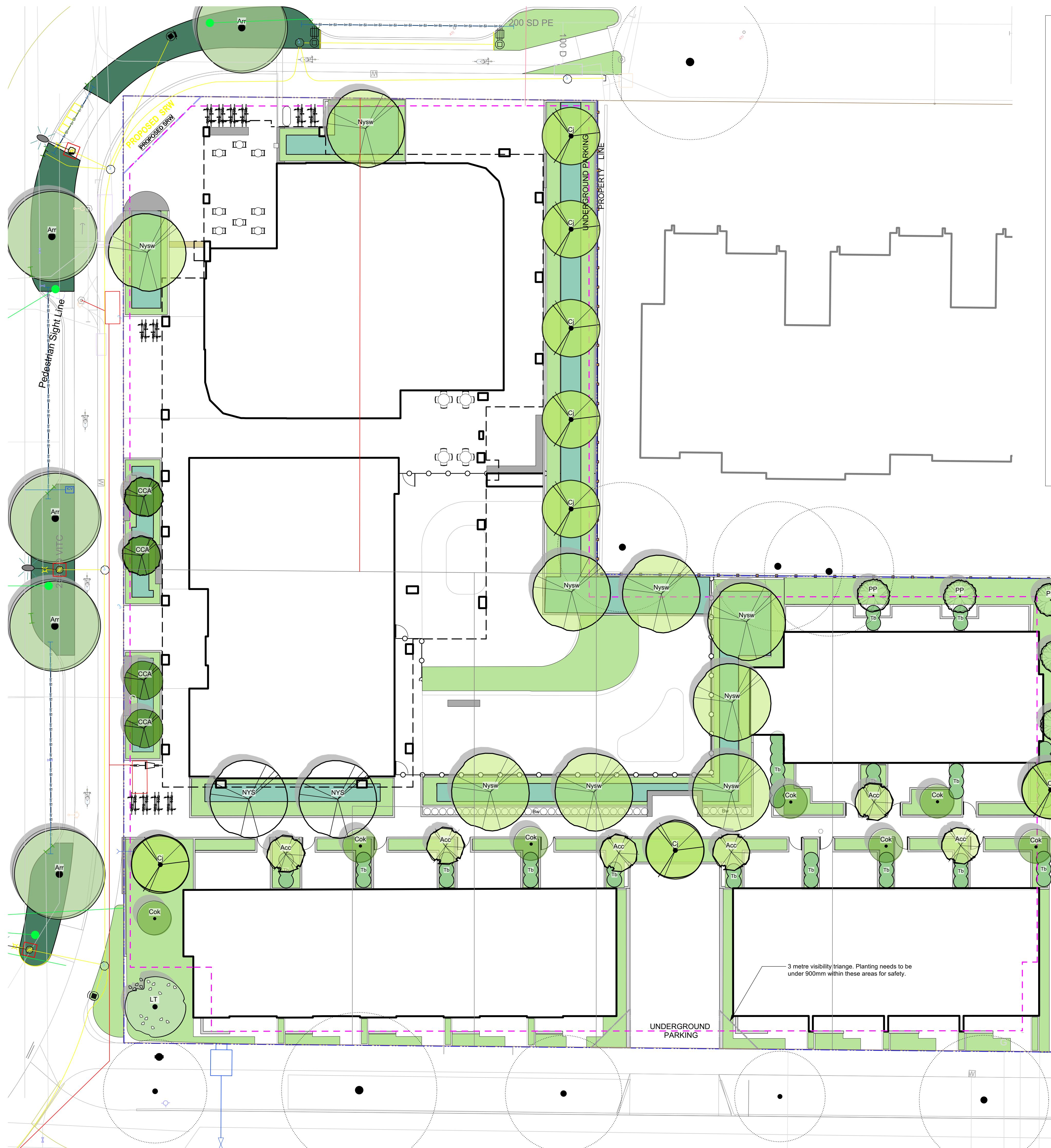
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Landscape Materials - Sections

project no. 121.23
scale 1:50 @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.
8 L1.06

L1.06



PLANT LIST	Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:					
Acc	6	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width	
Arr	15	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0cm cal, b&b	
Cj	9	Cercidiphyllum japonicum	Katsura Tree	6.0cm cal, b&b	
CCA	4	Cercis canadensis	Eastern Redbud	5.0cm cal, b&b	
Cok	7	Corus kousa 'Milky Way'	Milky Way Kousa Dogwood	5.0cm cal, b&b	
LT	2	Liriodendron tulipifera	Tuliptree	6.0cm cal, b&b	
NYS	2	Nyssa sylvatica 'Tupelo Tower'	Tupelo	6.0cm cal, b&b	
Nysw	9	Nyssa sylvatica 'Wildfire'	Tupelo	6.0cm cal, b&b	
PP	5	Parrotia persica	Persian Ironwood	2.4 m ht, 1.5 width	
SHRUBS:					
	178	Athyrium filix-femina var. cyclosum	Northwestern Lady Fern	#1 pot	
	85	Chamaecyparis pisifera 'Sungold'	False Cypress 'Sungold'	#2 pot	
	43	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot	
	70	Eupatorium cannabinum	Hemp Agrimony	Sp3	
	419	Gaultheria shallon	Salal	#1 pot	
	503	Liriope muscari	Lily turf	#1 pot	
	262	Lonicera pileata	Privet Honeysuckle	#1 pot	
	70	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot	
	57	Polystichum munitum	Sword Fern	#1 pot	
	178	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot	
	130	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot	
	70	Verbena bonariensis	Purpletop Vervain	#1 pot	
RAIN GARDEN PLANTERS STREET:					
	356	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3	
	356	Carex obnupta	Slough Sedge	#1 pot	
	71	Gaultheria shallon	Salal	Sp3	
	71	Mahonia nervosa	Oregon Grape Holly	#1 pot	
	43	Spiraea japonica 'Gold Mound'	Gold Mound Spirea	#1 pot	
RAIN GARDEN SITE:					
	431	Carex obnupta	Slough Sedge	Sp3	
	34	Corus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot	
	453	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3	
	431	Liriope muscari	Lily turf	#1 pot	
	87	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot	
HEDGING/SCREENING:					
	35	Buxus microphylla 'Winter Gem'	Littleleaf Boxwood	5 #1 pot	
	51	Taxus baccata	English Yew	#10 pot	

REFERENCE NOTES

30% of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.



3388A Tennyson Ave.
Victoria, BC V8Z 3P8

Phone: 250.412.2891

Fax: 250.412.2892

client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
**Planting Plan -
Ground Level**

project no. 121.23

scale 1: ### @ 24" x 36"

drawn by MDI

checked by SM

revision no. sheet no.

8 L3.01





PLANT LIST			
Sym	Qty	Botanical Name	Common Name
TREES:			
Acc	4	Acer circinatum	Vine Maple
Ajv	5	Acer japonicum 'Vitifolium'	Japanese Maple
Mr	2	Magnolia stellata 'Royal Star'	Royal Star Magnolia
SHRUBS & PERENNIALS			
24	Abelia x grandiflora 'Prostrata'	Prostrate White Abelia	#2 pot
32	Cistus x corbariensis	Rock Rose	#1 pot
35	Eriophyllum lanatum	Wooly Sunflower	#1 pot
107	Hebe topiaria	Topiari's hebe	#1 pot
63	Lavandula angustifolia 'Hidcote'	Hidcote English Lavender	#1 pot
107	Mahonia repens	Prostrate Oregon Grape	#1 pot
16	Nepeta x faassenii	Catmint	Sp3
16	Rosmarinus officinalis	Rosemary	#2 pot
16	Salvia officinalis	Culinary Sage	#1 pot
24	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
0			
EVERGREEN HEDGE:			
6	Taxus baccata 'Repandens'	English Weeping Yew	#3 pot

REFERENCE NOTES

30%+ of planting scheme has been dedicated ecosystem services. Plants for pollinators are included, via the Pollinator and Allergy-Aware Gardening Guide. This site features native plants that are unique to the Southern Vancouver Island Bioregional zone. Food bearing plants are also added in addition to the guidelines. Additionally, rain garden plants provide stormwater management opportunities.

8	REV RZ/DP	2023-12-22
7	REV RZ/DP	2023-03-02
6	REV RZ/DP	2022-12-06
5	REV RZ/DP	2022-08-31
4	For Information	2022-06-27
3	REV RZ/DP	2022-04-14
2	DP	2021-12-16
1	Issued for Dev. Tracker	2021-10-19
rev no	description	date



3388A Tennyson Ave.
Victoria, BC V8Z 3P8

Phone: 250-412-2891

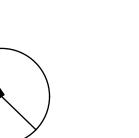
Fax: 250-412-2892

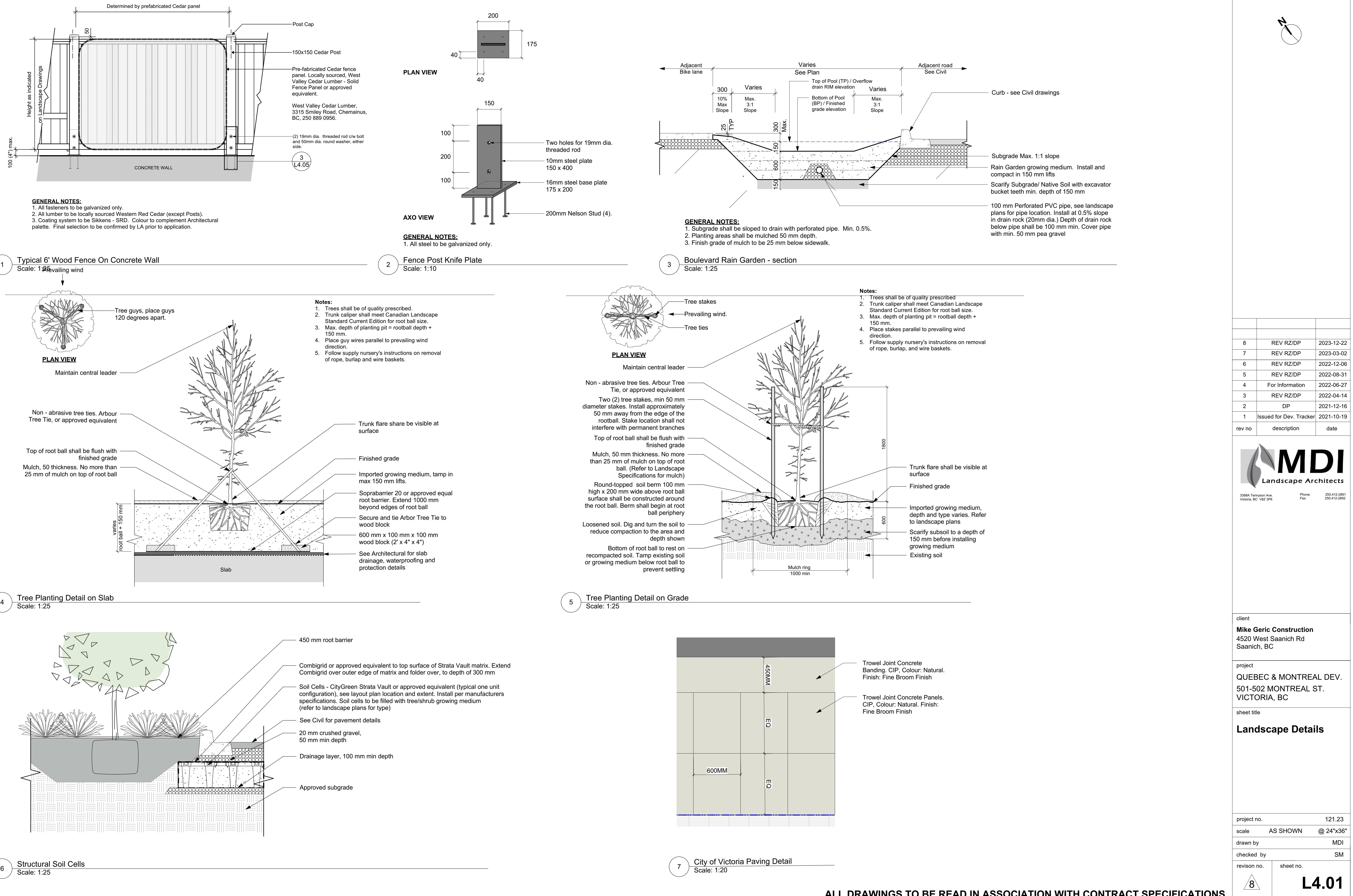
client
Mike Geric Construction
4520 West Saanich Rd
Saanich, BC

project
QUEBEC & MONTREAL DEV.
501-502 MONTREAL ST.
VICTORIA, BC

sheet title
Planting Plan - Level 4

project no. 121.23
scale 1: ### @ 24" x 36"
drawn by MDI
checked by SM
revision no. sheet no.
8 L3.02





ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.