

GENERAL NOTES

1. ALL CONSTRUCTION IS TO COMPLY WITH THE 2018 BRITISH COLUMBIA BUILDING CODE (BCBC), AS WELL AS OTHER LOCAL GOVERNING CODES, BYLAWS, AND ORDINANCES.
2. ALL WORK TO BE OF THE BEST PRACTICES OF THE LOCAL TRADES INVOLVED.
3. WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE. DO NOT SCALE DRAWINGS.
5. ALL DRAWINGS SHOULD BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, CIVIL, AND LANDSCAPE DRAWINGS, SPECIFICATIONS, GEOTECHNICAL AND ARBORIST REPORTS. ANY DISCREPENCIES MUST BE REPORTED TO ARCHITECT BEFORE PROCEEDING WITH WORK.
6. ALL EXTERIOR DIMENSIONS ARE TO FACE OF EXTERIOR SHEATHING. UNLESS NOTED OTHERWISE.
7. ALL INTERIOR DIMENSIONS ARE TO CENTERLINE OF STUD. UNLESS NOTED OTHERWISE.
8. ALL WALLS ARE TO EXTEND TO U/S OF STRUCTURE. UNLESS NOTED OTHERWISE.
9. ALL WINDOWS AND DOORS ON PLAN ARE DIMENSIONED TO THE CENTRE OF ROUGH OPENING (R.O.). UNLESS NOTED OTHERWISE.
10. ALL WINDOWS ARE DIMENSIONED ON THE FLOOR PLANS ROUGH OPENING (R.O.). UNLESS NOTED OTHERWISE.
11. ALL DOORS ARE A MIN. OF 4" (100 mm) FROM FACE OF ADJACENT WALLS. UNLESS NOTED OTHERWISE.

PROJECT TEAM

DEVELOPER

NVision Properties
301-1106 Cook St.,
Victoria, BC
V8V 3Z9
T 250.883.5579

ARCHITECT

Stuart Howard Architects Inc.
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V5Y 1J6
604-688-5585

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SURVEYOR

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DRAWING INDEX

ARCHITECTURAL

SHEET NO.	SHEET TITLE	SCALE
A0.00	Cover Sheet	As Noted
A0.02	Site Context	AS NOTED
A0.03	Shadow Studies	As Noted
A1.01	Existing Site Plan	AS NOTED
A1.02	Site Plan	As Noted
A2.01	Main Floor Plan	As Noted
A2.02	2nd Floor Plan	As Noted
A2.03	3rd Floor Plan	As Noted
A2.04	4th Floor Plan	As Noted
A2.05	5th Floor Plan	As Noted
A2.06	6th Floor Plan	As Noted
A2.07	Roof Plan	As Noted
A3.01	Building Elevations	As Noted
A3.02	Building Elevations	As Noted
A3.03	Building Elevations	As Noted
A3.04	Building Elevations	As Noted
A4.01	Building Sections	As Noted
A7.01	Perspectives	As Noted
A7.02	Perspectives	As Noted
A8.01	Window Schedule	As Noted
A8.02	Door Schedule	As Noted



1301 HILLSIDE
1301 Hillside Ave.
Victoria, BC

REZONING APPLICATION



Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date:
September 13, 2019

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Issues

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.

Victoria, BC

Sheet Title

Cover Sheet

Issue Date	Plot Date	Sheet No.
	2019.09.12	A0.00
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 Context Plan
1/64"=1'-0"



4 Birdview looking East
NTS



5 Streetview looking East
NTS



2 Streetscape 1 from Hillside Avenue
1/32"=1'-0"



3 Streetscape 2 from Cook Street
1/32"=1'-0"

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Project Title

1301 Hillside Ave.

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Sheet Title

Site Context

Issue Date	Plot Date	Sheet No.
	2019.09.12	A0.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
OEM	NR	
Project ID	Scale	Issue/Revision
217.29	AS NOTED	



1 JUNE 21 - 9 AM
NTS



2 JUNE 21 - 12 PM
NTS



3 JUNE 21 - 3 PM
NTS



4 MAR/SEPT 21 - 9 AM
NTS



5 MAR/SEPT 21 - 12 pm
NTS



6 MAR/SEPT 21 - 3 pm
NTS

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1 19.07.05 Re-Issued for Rezoning

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Issues		
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Consultant		
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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Shadow Studies

Issue Date	Plot Date	Sheet No.
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	2019.09.12	
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Designed By	Reviewed By
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NR	NR
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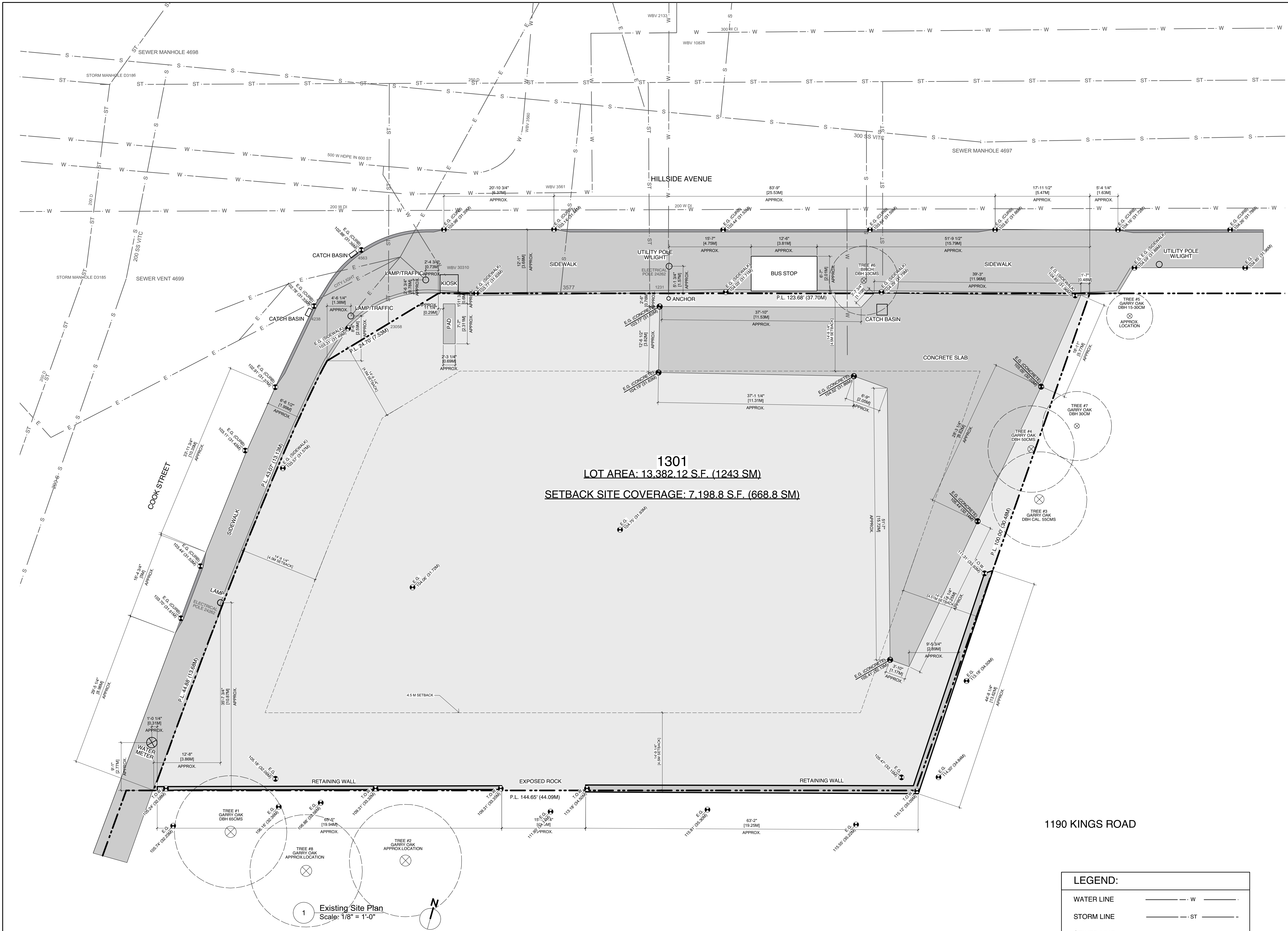
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AP	NR
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217.29	As Noted	
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A0.03



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Seal

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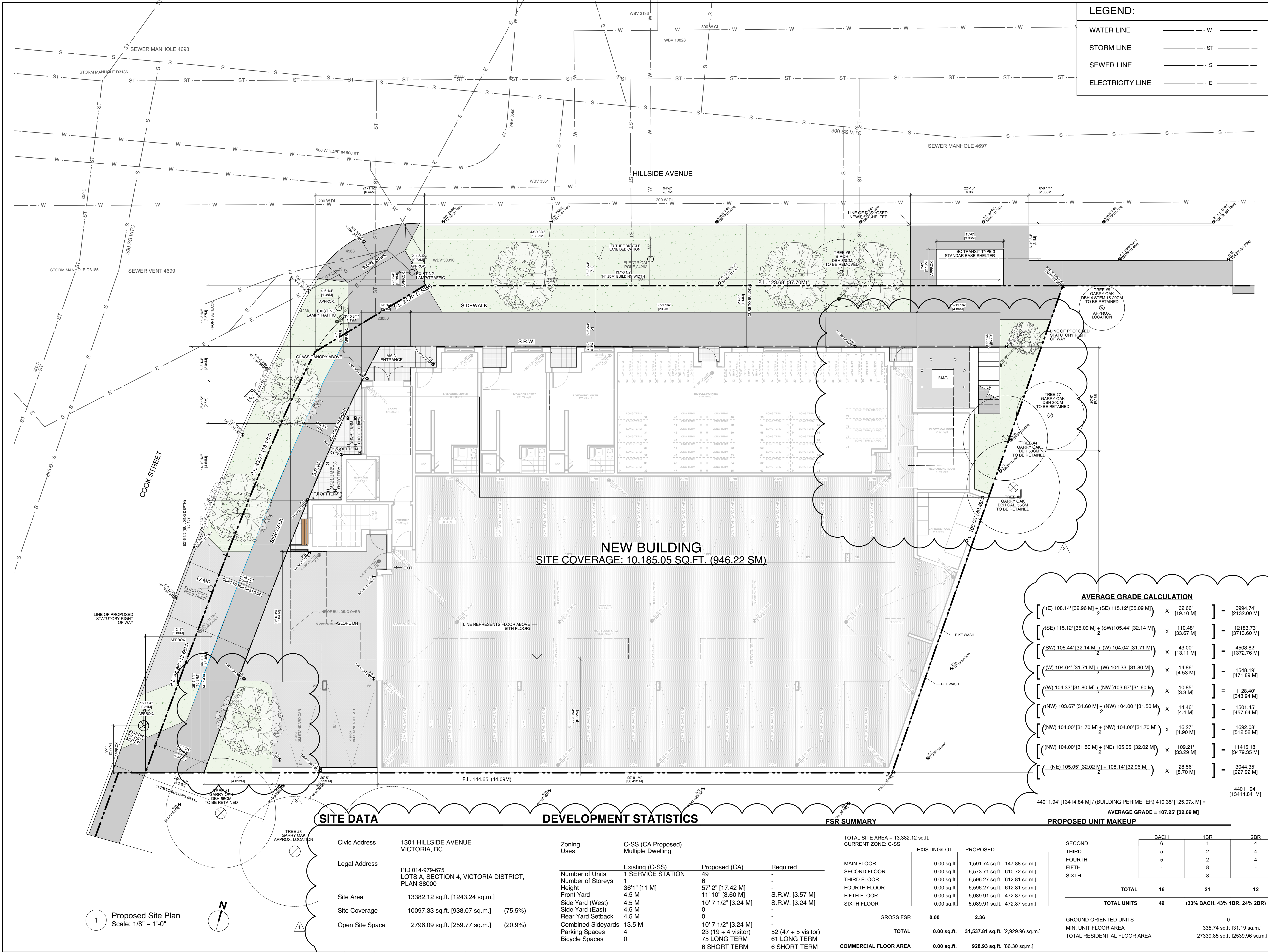
1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Existing Site Plan

LEGEND:	
WATER LINE	— W —
STORM LINE	— ST —
SEWER LINE	— S —
ELECTRICITY LINE	— E —

Issue Date	Plot Date	Sheet No.
	2019.09.12	A1.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
DEM	NR	
Project ID	Scale	Issue/Revision
217.29	AS NOTED	



LEGEND:

WATER LINE	---	W
STORM LINE	---	ST
SEWER LINE	---	S
ELECTRICITY LINE	---	E

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No. Date Issue Notes

Issues

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Sheet Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Site Plan

AVERAGE GRADE CALCULATION

$\left[\frac{(E) 108.14' [32.96 M] + (SE) 115.12' [35.09 M]}{2} \right] \times 62.66' [19.10 M]$	=	6994.74' [2132.00 M]
$\left[\frac{(SE) 115.12' [35.09 M] + (SW) 105.44' [32.14 M]}{2} \right] \times 110.48' [33.67 M]$	=	12183.73' [3713.60 M]
$\left[\frac{(SW) 105.44' [32.14 M] + (W) 104.04' [31.71 M]}{2} \right] \times 43.00' [13.11 M]$	=	4503.82' [1372.76 M]
$\left[\frac{(W) 104.04' [31.71 M] + (NW) 103.67' [31.60 M]}{2} \right] \times 14.86' [4.53 M]$	=	1548.19' [471.89 M]
$\left[\frac{(NW) 103.67' [31.60 M] + (N) 104.00' [31.50 M]}{2} \right] \times 10.85' [3.3 M]$	=	1128.40' [343.94 M]
$\left[\frac{(N) 104.00' [31.50 M] + (NE) 105.05' [32.02 M]}{2} \right] \times 14.46' [4.4 M]$	=	1501.45' [457.64 M]
$\left[\frac{(NE) 105.05' [32.02 M] + (E) 108.14' [32.96 M]}{2} \right] \times 16.27' [4.90 M]$	=	1692.08' [512.52 M]
$\left[\frac{(E) 108.14' [32.96 M] + (SE) 115.12' [35.09 M]}{2} \right] \times 109.21' [33.29 M]$	=	11415.18' [3479.35 M]
$\left[\frac{(SE) 115.12' [35.09 M] + (SW) 105.44' [32.14 M]}{2} \right] \times 28.56' [8.70 M]$	=	3044.35' [927.92 M]
44011.94' [13414.84 M] / (BUILDING PERIMETER) 410.35' [125.07x M] =		
AVERAGE GRADE = 107.25' [32.69 M]		

SITE DATA

Civic Address	1301 HILLSIDE AVENUE VICTORIA, BC
Legal Address	PID 014-979-675 LOTS A, SECTION 4, VICTORIA DISTRICT, PLAN 38000
Site Area	13382.12 sq.ft. [1243.24 sq.m.]
Site Coverage	10097.33 sq.ft. [938.07 sq.m.] (75.5%)
Open Site Space	2796.09 sq.ft. [259.77 sq.m.] (20.9%)

DEVELOPMENT STATISTICS

Zoning	C-SS (CA Proposed)
Uses	Multiple Dwelling
Number of Units	Existing (C-SS) 49 Proposed (CA) 57 Required 61
Number of Storeys	Existing (C-SS) 1 Proposed (CA) 6 Required 6
Height	Existing (C-SS) 36'1" [11 M] Proposed (CA) 57' 2" [17.42 M] Required 57' 2" [17.42 M]
Front Yard	Existing (C-SS) 4.5 M Proposed (CA) 4.5 M Required 4.5 M
Side Yard (West)	Existing (C-SS) 4.5 M Proposed (CA) 4.5 M Required 4.5 M
Side Yard (East)	Existing (C-SS) 4.5 M Proposed (CA) 4.5 M Required 4.5 M
Rear Yard Setback	Existing (C-SS) 4.5 M Proposed (CA) 4.5 M Required 4.5 M
Combined Sideyards	Existing (C-SS) 13.5 M Proposed (CA) 23 (19 + 4 visitor) Required 23 (19 + 4 visitor)
Parking Spaces	Existing (C-SS) 0 Proposed (CA) 75 LONG TERM Required 52 (47 + 5 visitor)
Bicycle Spaces	Existing (C-SS) 0 Proposed (CA) 6 SHORT TERM Required 6 SHORT TERM

FSR SUMMARY

TOTAL SITE AREA = 13,382.12 sq.ft.		
CURRENT ZONE: C-SS		
	EXISTING/LOT	PROPOSED
MAIN FLOOR	0.00 sq.ft.	1,591.74 sq.ft. [147.88 sq.m.]
SECOND FLOOR	0.00 sq.ft.	6,573.71 sq.ft. [610.72 sq.m.]
THIRD FLOOR	0.00 sq.ft.	6,596.27 sq.ft. [612.81 sq.m.]
FOURTH FLOOR	0.00 sq.ft.	6,596.27 sq.ft. [612.81 sq.m.]
FIFTH FLOOR	0.00 sq.ft.	5,089.91 sq.ft. [472.87 sq.m.]
SIXTH FLOOR	0.00 sq.ft.	5,089.91 sq.ft. [472.87 sq.m.]
GROSS FSR	0.00	2.36
TOTAL	0.00 sq.ft.	31,537.81 sq.ft. [2,929.96 sq.m.]
COMMERCIAL FLOOR AREA	0.00 sq.ft.	928.93 sq.ft. [86.30 sq.m.]

PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	335.74 sq.ft. [31.19 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq.ft. [2539.96 sq.m.)		

Issue Date

Plot Date

2019.09.12

Designed By

Reviewed By

Drawn By

Checked By

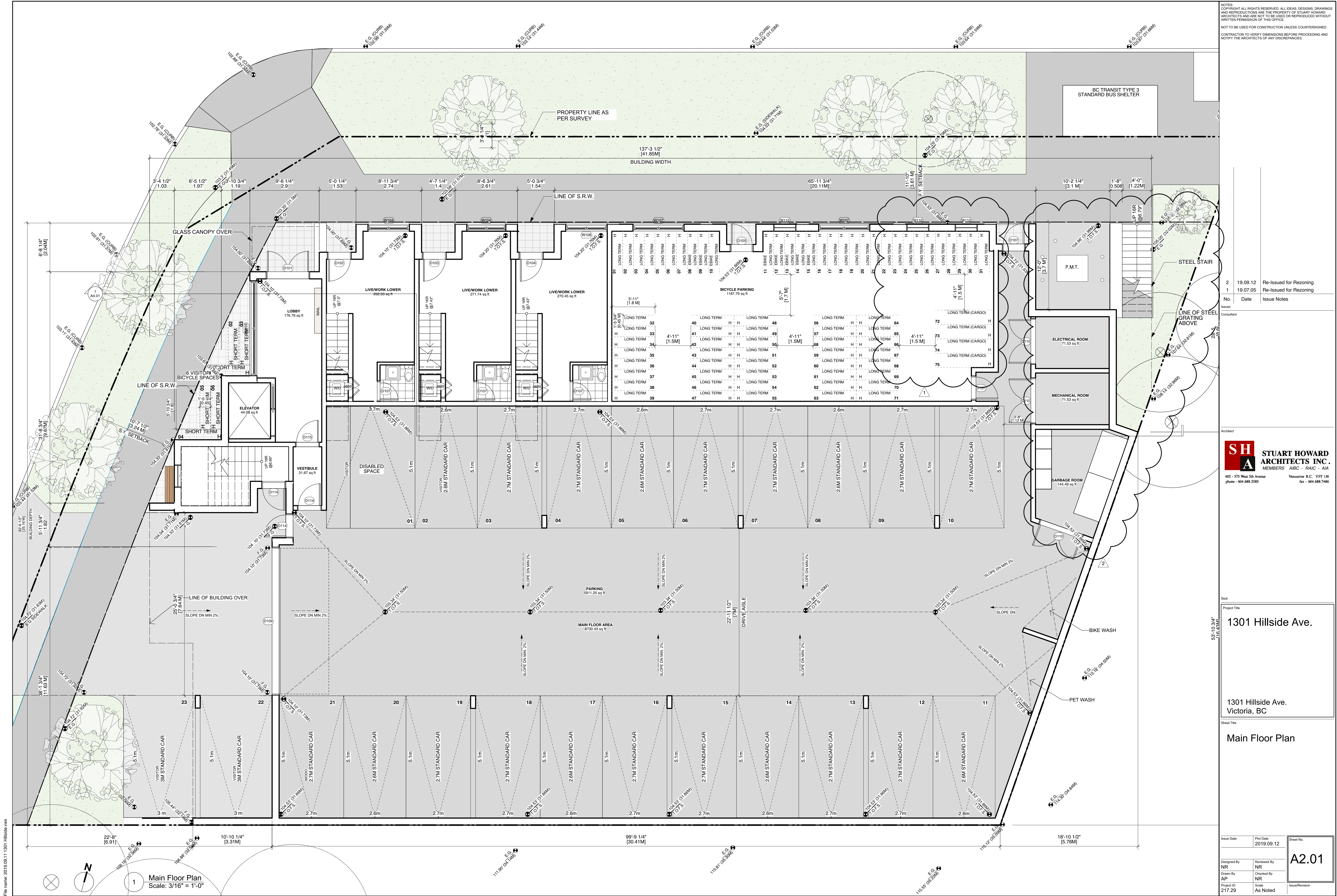
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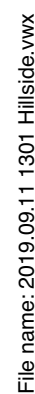
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Issue/Revision

A1.02





Issue/Revision

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning
No.	Date	Issue Notes
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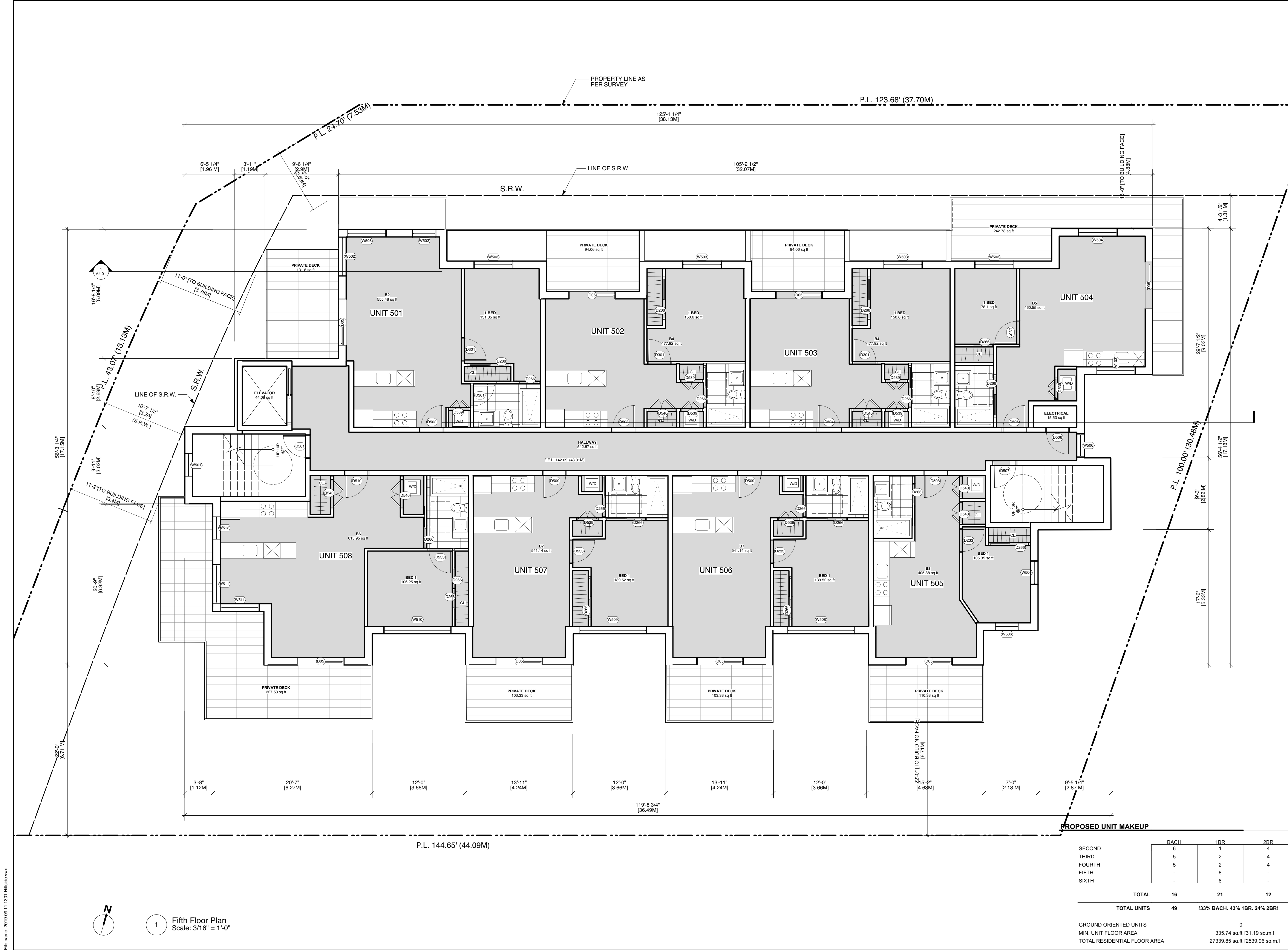
Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title		
5th Floor Plan		
Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.05
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12
TOTAL UNITS	49	(33% BACH, 43% 1BR, 24% 2BR)	
GROUND ORIENTED UNITS	0		
MIN. UNIT FLOOR AREA	335.74 sq.ft [31.19 sq.m.]		
TOTAL RESIDENTIAL FLOOR AREA	27339.85 sq.ft [2539.96 sq.m.]		

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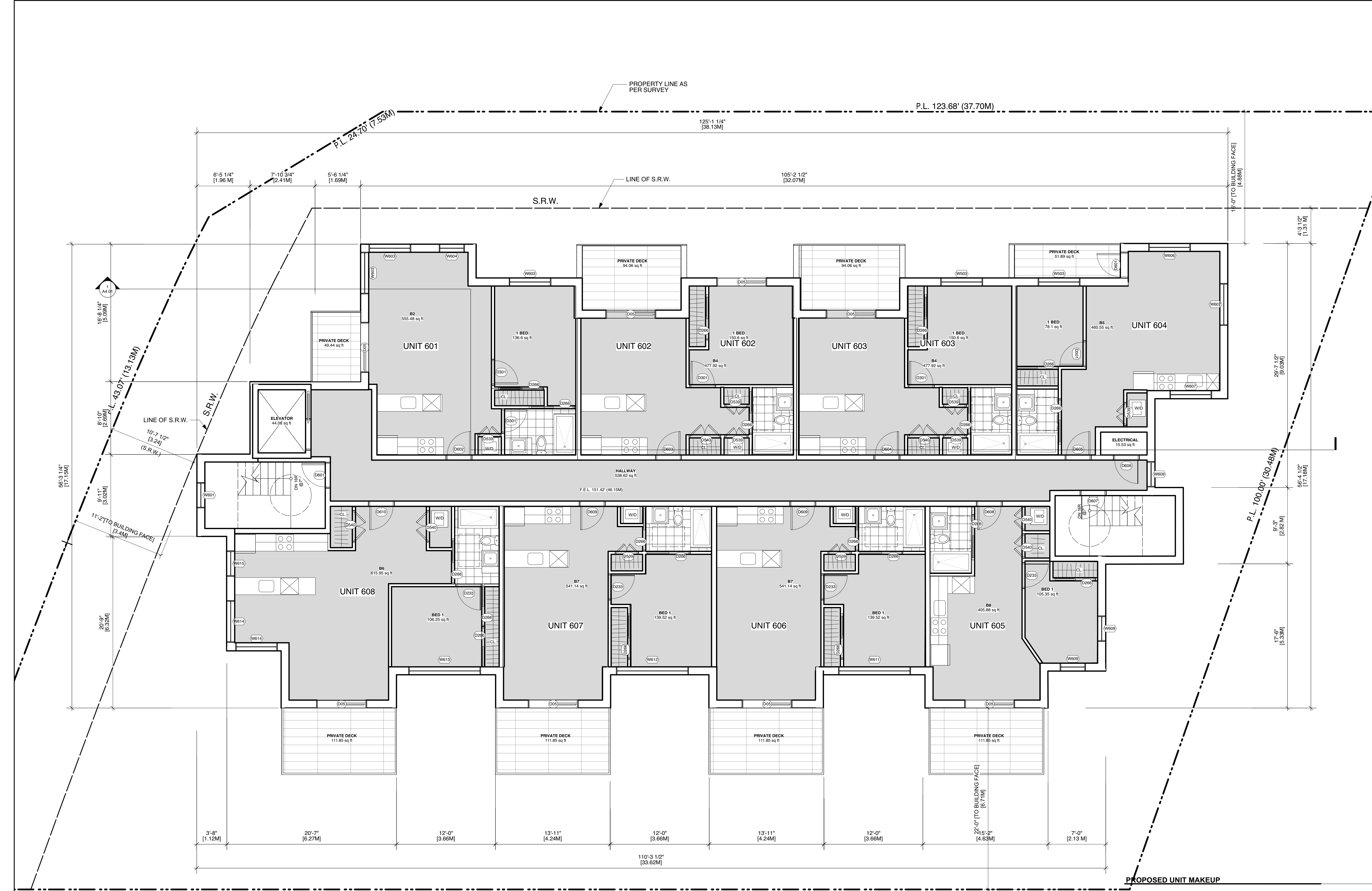
Project Title

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Victoria, BC

Sheet Title

6th Floor Plan



PROPOSED UNIT MAKEUP

	BACH	1BR	2BR
SECOND	6	1	4
THIRD	5	2	4
FOURTH	5	2	4
FIFTH	-	8	-
SIXTH	-	8	-
TOTAL	16	21	12

TOTAL UNITS 49 (33% BACH, 43% 1BR, 24% 2BR)

GROUND ORIENTED UNITS 0
MIN. UNIT FLOOR AREA 335.74 sq.ft [31.19 sq.m.]
TOTAL RESIDENTIAL FLOOR AREA 27339.85 sq.ft [2539.96 sq.m.]

Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.06
Designed By	Reviewed By	
NR	NR	
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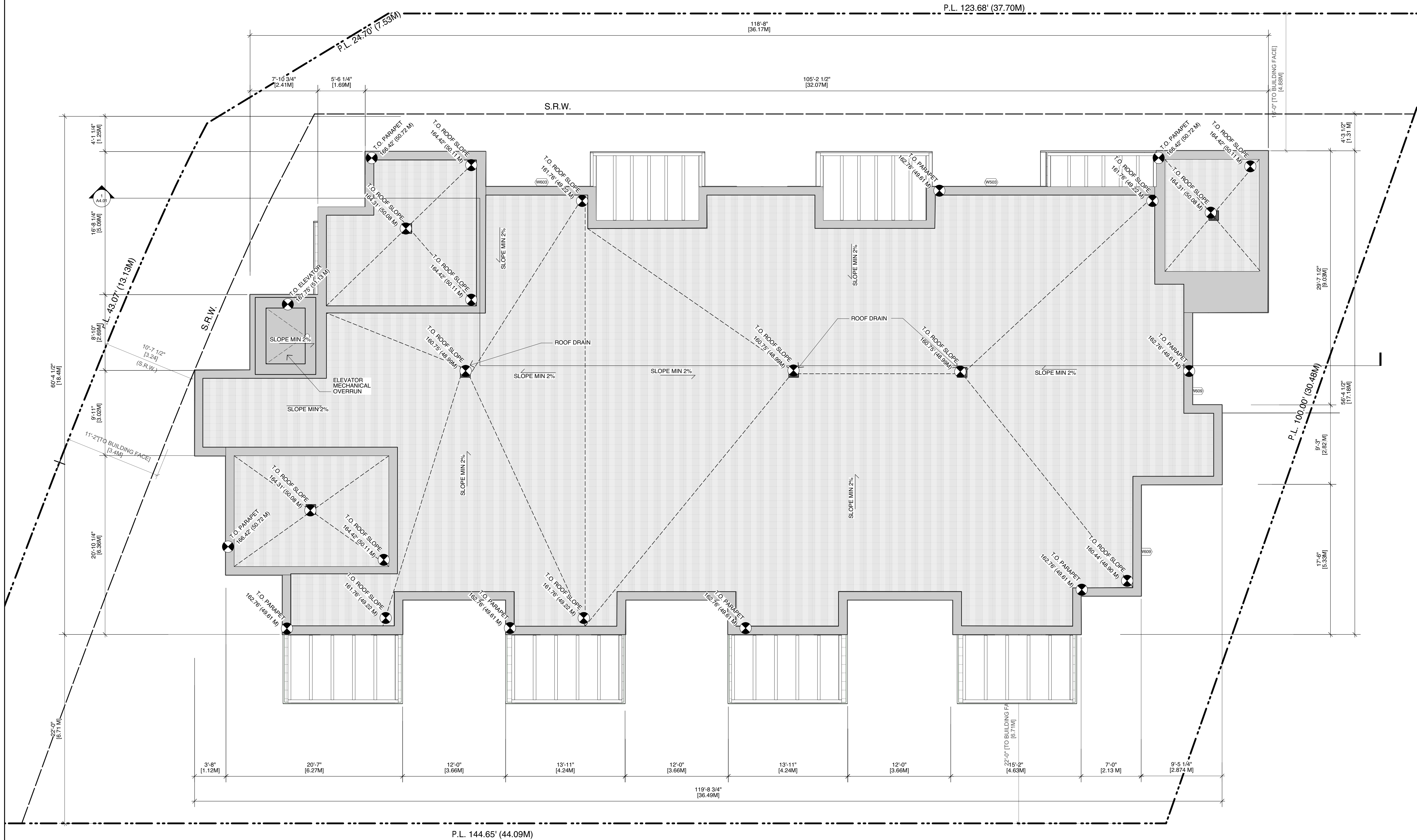
Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Roof Plan

Issue Date	Plot Date	Sheet No.
	2019.09.12	A2.07
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 Roof Plan
Scale: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

138'-5 3/4" [BUILDING WIDTH]
[41.21M]



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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
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217.29	As Noted	

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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1301 Hillside Ave.

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Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 South Elevation
Scale: 3/16" = 1'-0"

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Issues

Consultant

Architect

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.03
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

EXTERIOR FINISH SCHEDULE

- A BRICK CLADDING C/W PROPRIETARY RAINSCREEN SYSTEM
- B FIBRECEMENT CLADDING- GREY FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- C METAL CLADDING-WOOD FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- D VINYL FRAME GLAZING
- E METAL CLADDING - WHITE FINISH C/W PROPRIETARY RAINSCREEN SYSTEM
- F CURTAIN WALL GLAZING
- G GLASS GUARDS
- H PILASTER- STUCCO CLADDING
- I WOOD FASCIA
- J BRICK CORNICE
- K METAL O/H GARAGE DOOR
- L SLIDING GLASS DOOR
- M 3' SWING GLASS DOOR

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

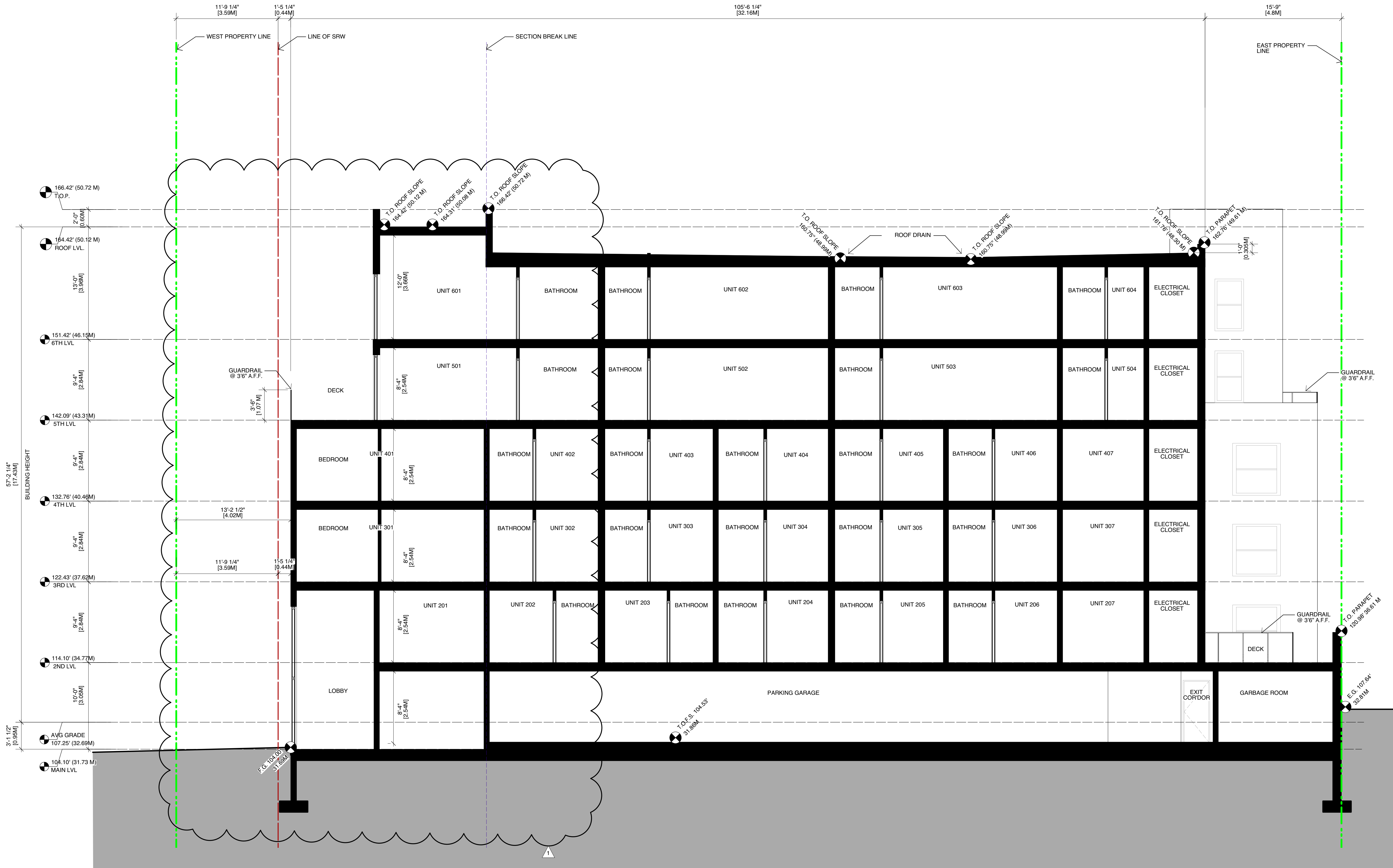
1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Elevations

Issue Date	Plot Date	Sheet No.
	2019.09.12	A3.04
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

File name: 2019.09.11 1301 Hillside.vwk



1 SECTION VIEW (FROM SOUTH)
Scale: 3/16" = 1'-0"

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Building Sections

Issue Date	Plot Date	Sheet No.
	2019.09.12	A4.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



1 NW Corner - Aerial
NTS



2 NW Corner - Street Level
NTS



3 SW Corner - Aerial
NTS



4 NE - Aerial
NTS

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No. Date Issue Notes

Issues

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.
Victoria, BC

Sheet Title

Perspectives

Issue Date	Plot Date	Sheet No.
	2019.09.12	A7.01
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	



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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.

Victoria, BC

Sheet Title

Perspectives

Issue Date	Plot Date	Sheet No.
	2019.09.12	A7.02
Designed By	Reviewed By	
NR	NR	
Drawn By	Checked By	
AP	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

WINDOW SCHEDULE									
WINDOW SPEC.				Size	Window Data				
QUANTITY	WINDOW NO.	WINDOW ID.		O.A. WIDTH	O.A. Height	Mfr	Model No.	Accessories	Notes
1		W103		5'0"	7'6"				
1		W103		13'0"	4'0"	-	-		-
1		W104		5'8"	4'0"	-	-		-
1		W104		5'4"	4'0"	-	-		-
1		W106		5'8"	4'0"	-	-		-
1		W107		7'0"	4'0"	-	-		-
1		W107		7'0"	4'0"	-	-		-
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W110		3'0"	7'6"				
1		W1201		3'0"	7'6"				
1		W1204		13'0"	7'6"				
1		W1205		8'0"	7'6"				
1		W1206		3'0"	7'6"				
1		W1207		3'0"	7'6"				
1		W1208		3'0"	7'6"				
1		W1208		5'0"	7'6"				
1		W1209		5'0"	7'6"				
1		W1210		3'0"	7'6"				
1		W1211		5'0"	7'6"				
1		W1213		7'0"	7'6"				
1		W1215		7'0"	7'6"				
1		W1217		7'0"	7'6"				
1		W1218		5'0"	7'6"				
1		W1219		3'0"	7'6"				
1		W1219		3'0"	7'6"				
1		W1220		5'0"	7'6"				
1		W1223		8'8"	7'6"				
1		W1224		8'8"	7'6"				
1		W1225		8'8"	7'6"				
1		W1226		8'8"	7'6"				
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1		W1228		3'0"	7'6"				
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1		W1228		8'8"	7'6"				
1		W1301		3'0"	7'6"				
1		W1302		5'0"	7'6"				
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1		W1306		8'8"	7'6"				
1		W1307		5'0"	7'6"				
1		W1308		5'0"	7'6"				
1		W1308		5'0"	7'6"				
1		W1309		3'0"	7'6"				
1		W1310		5'0"	7'6"				
1		W1312		8'8"	7'6"				
1		W1312		8'8"	7'6"				
1		W1312		8'8"	7'6"				
1		W1313		8'8"	7'6"				
1		W1314		8'8"	7'6"				
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1		W1403		3'0"	7'6"				
1		W1404		5'0"	7'6"				
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1		W1406		8'8"	7'6"				
1		W1407		5'0"	7'6"				
1		W1408		5'0"	7'6"				
1		W1409		5'0"	7'6"				
1		W1410		3'0"	7'6"				
1		W1411		5'0"	7'6"				
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1		W1415		8'8"	7'6"				
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1		W1420		3'0"	7'6"				
1		W1501		3'0"	7'6"				
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1		W1603		5'0"	7'6"				
1		W1604		3'0"	7'6"				
1		W1606		5'0"	7'6"				
1		W1607		5'0"	7'6"				
1		W1607		5'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1609		3'0"	7'6"				
1		W1611		8'8"	7'6"				
1		W1612		8'8"	7'6"				
1		W1613		8'8"	7'6"				
1		W1614		5'0"	7'6"				
1		W1614		5'0"	7'6"				
1		W1615		3'0"	7'6"				

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2	19.09.12	Re-Issued for Rezoning
1	19.07.05	Re-Issued for Rezoning

No.	Date	Issue Notes
-----	------	-------------

Issues

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Seal

Project Title

1301 Hillside Ave.

1301 Hillside Ave.

Victoria, BC

Sheet Title

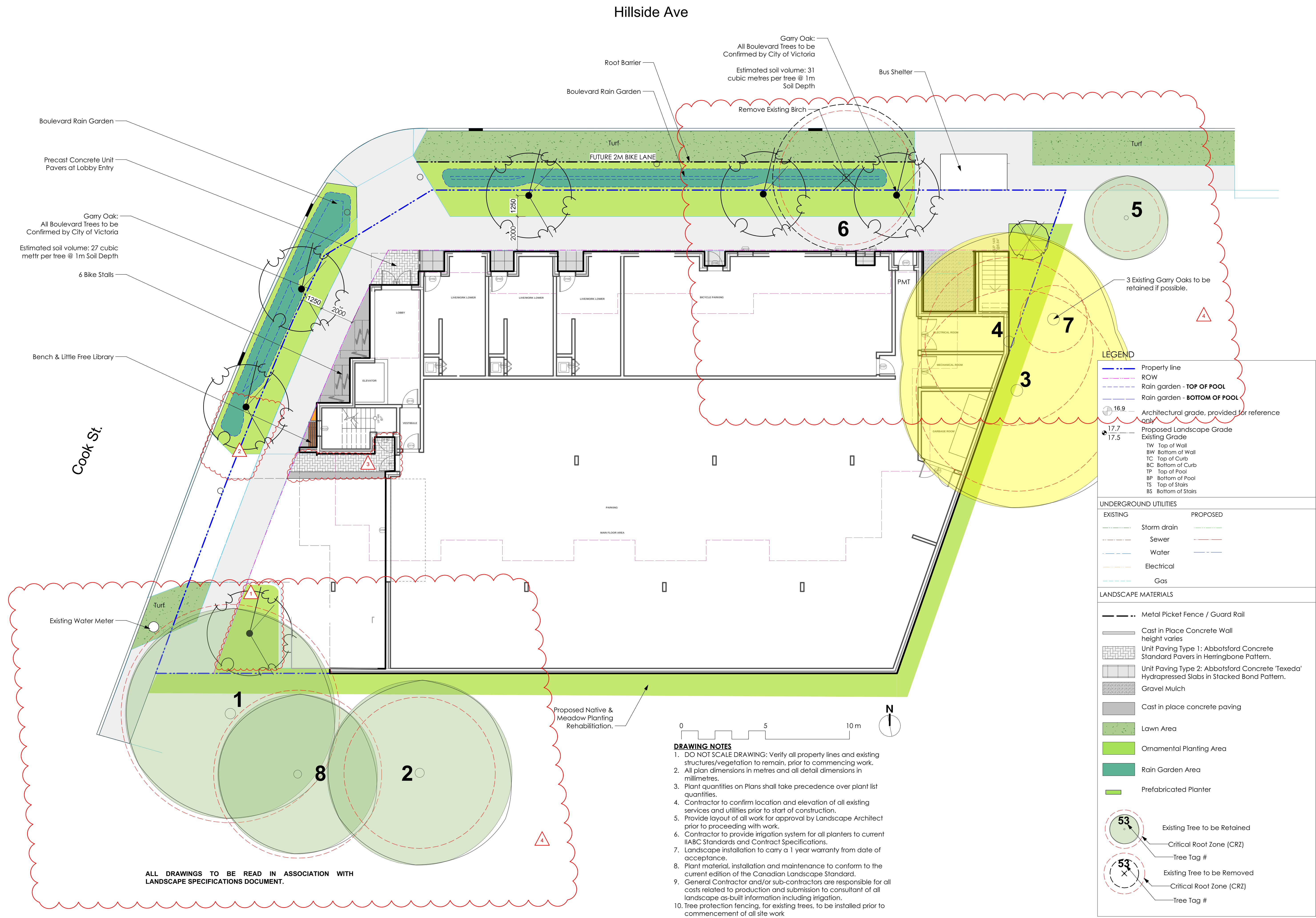
Window Schedule

Issue Date	Plot Date	Sheet No.
	2019.09.12	
Designed By	Reviewed By	A8.01
NR	NR	
Drawn By	Checked By	
AS	NR	
Project ID	Scale	Issue/Revision
217.29	As Noted	

File name: 2019.09.11 1301 Hillside.vcx

DOOR SCHEDULE												
QUANTITY	DOOR SPEC.				NOMINAL SIZE			DOOR STYLE		DOOR		
	Door Name	Door No.	Door No.	Door Type	Leaf Width	Leaf Height	Thickness	Door Operation	Slab Style	Jamb Thick	Jamb Depth	Accessories
183	0	183	183	0	703	1284	24	Door Operation	183	43	21	125
1		D	107		3	7	0	Swing Simple		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	101		6	8	0	Swing Bi-part		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	115		3	7	0	Swing Simple		0	1	
1		D	103		3	7	0	Swing Simple		0	1	
1		D	104		3	7	0	Swing Simple		0	1	
1		D	539		3	7	0	Swing Bi-part		0	1	
1		D	539		3	7	0	Swing Bi-part		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	107		3	8	0	Swing Simple		0	0	
1		D	108		3	8	0	Swing Simple		0	1	
1		D	110		6	7	0	Swing Bi-part		0	1	
1		D	102		3	7	0	Swing Simple		0	1	
1		D	109		30	7	0	Overhead		0	1	
1		D	114		3	7	0	Swing Simple		0	1	
1		D	107		3	7	0	Swing Simple		0	1	
1		D	115		3	7	0	Swing Simple		0	1	
1		D	115		3	7	0	Swing Simple		0	1	
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1		D	218		3	7	0	Swing Simple		0	0	
1		D	214		3	7	0	Swing Simple		0	1	
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1		D	217		3	7	0	Swing Bi-part		0	0	
1		D	220		4	7	0	Slider		0	0	
1		D	254		3	7	0	Swing Simple		0	0	
1		D	267		3	7	0	Swing Simple		0	0	
1		D	266		3	7	0	Pocket Simple		0	0	
1		D	260		3	7	0	Swing Simple		0	0	
1		D	265		4	7	0	Slider		0	0	
1		D	268		4	7	0	Slider		0	0	
1		D	263		4	7	0	Slider		0	0	
1		D	262		3	7	0	Swing Bi-part		0	0	
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1		D	05		6	8	0	Slider	-	0	1	-
1		D	210		3	7	0	Swing Simple	-	0	1	-
1		D	211		3	7	0	Swing Simple		0	1	
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1		D	221		3	7	0	Swing Simple		0	1	
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1		D	05		7	8	0	Slider	-	0	1	-
1		D	305		3	7	0	Swing Bi-part	-	0	0	-
1		D	303		4	7	0	Slider		0	0	
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1		D	304		3	7	0	Pocket Simple		0	0	
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1		D	369		3	7	0	Swing Simple		0	0	
1		D	367		3	7	0	Pocket Simple		0	0	
1		D	368		4	7	0	Slider		0	0	
1		D	370		4	7	0	Slider		0	0	
1		D	368		4	7	0	Slider		0	0	
1		D	364		3	7	0	Swing Bi-part		0	0	
1		D	361		3	7	0	Pocket Simple		0	0	
1		D	362		3	7	0	Swing Simple		0	0	
1		D	334		4	7	0	Slider		0	0	
1		D	328		3	7	0	Swing Simple		0	0	
1		D	332		3	7	0	Swing Simple		0	0	
1		D	333		3	7	0	Pocket Simple		0	0	
1		D	329		3	7	0	Swing Bi-part		0	0	
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1		D	330		3	7	0	Pocket Simple		0	0	
1		D	336		3	7	0	Swing Simple		0	0	
1		D	337		4	7	0	Slider		0	0	
1		D	301		3	7	0	Swing Simple		0	1	
1		D	05		6	8	0	Slider	-	0	1	-
1		D	05		6	8	0	Slider	-	0	1	-
1		D	05		6	8	0	Slider	-	0	1	-
1		D	301		3	7	0	Swing Simple	-	0	1	-
1		D	315		3	7	0	Swing Simple		0	1	
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NOT FOR CONSTRUCTION

6	DP Rev 05	2019.09.13
5	DP Rev 04	2019.07.08
4	DP Rev 03	2019.06.03
3	DP Rev 02	2019.04.15
2	DP Rev 01	2019.01.31
1	DP	2018.01.26
rev no	description	date

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client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

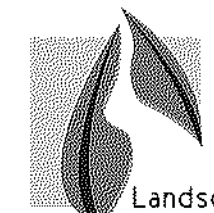
sheet title
**Ground Floor
Landscape
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

5
L1.01

NOT FOR CONSTRUCTION

5	DP Rev 04	2019.07.08
4	DP Rev 03	2019.06.03
3	DP Rev 02	2019.04.15
2	DP Rev 01	2019.01.31
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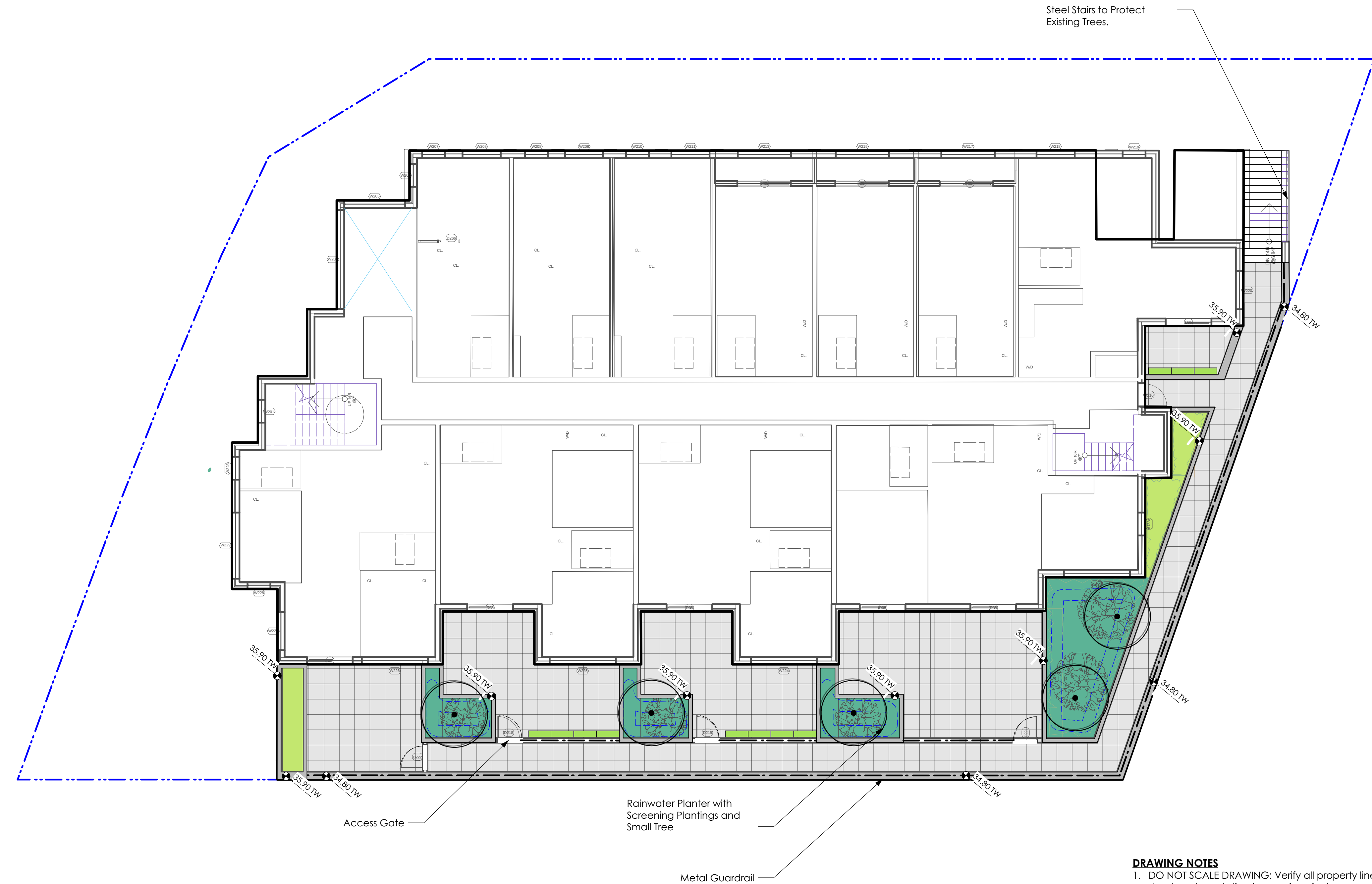
client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
**Second Floor
Landscape
Materials**

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

5
L1.02



LEGEND

- Property line
- ROW
- Rain garden - **TOP OF POOL**
- Rain garden - **BOTTOM OF POOL**
- Architectural grade, provided for reference only
- Proposed Landscape Grade
- Existing Grade
- TW Top of Wall
- BW Bottom of Wall
- TC Top of Curb
- BC Bottom of Curb
- TP Top of Pool
- BP Bottom of Pool
- TS Top of Stairs
- BS Bottom of Stairs

UNDERGROUND UTILITIES

- | EXISTING | PROPOSED |
|-------------|----------|
| Storm drain | |
| Sewer | |
| Water | |
| Electrical | |
| Gas | |

LANDSCAPE MATERIALS

- Metal Picket Fence / Guard Rail
- Cast in Place Concrete Wall height varies
- Unit Paving Type 1: Abbotsford Concrete Standard Pavers in Herringbone Pattern.
- Unit Paving Type 2: Abbotsford Concrete 'Texeda' Hydrapressed Slabs in Stacked Bond Pattern.
- Gravel Mulch
- Cast in place concrete paving
- Lawn Area
- Ornamental Planting Area
- Rain Garden Area
- Prefabricated Planter

- Existing Tree to be Retained
- Critical Root Zone (CRZ)
- Tree Tag #
- Existing Tree to be Removed
- Critical Root Zone (CRZ)
- Tree Tag #

DRAWING NOTES

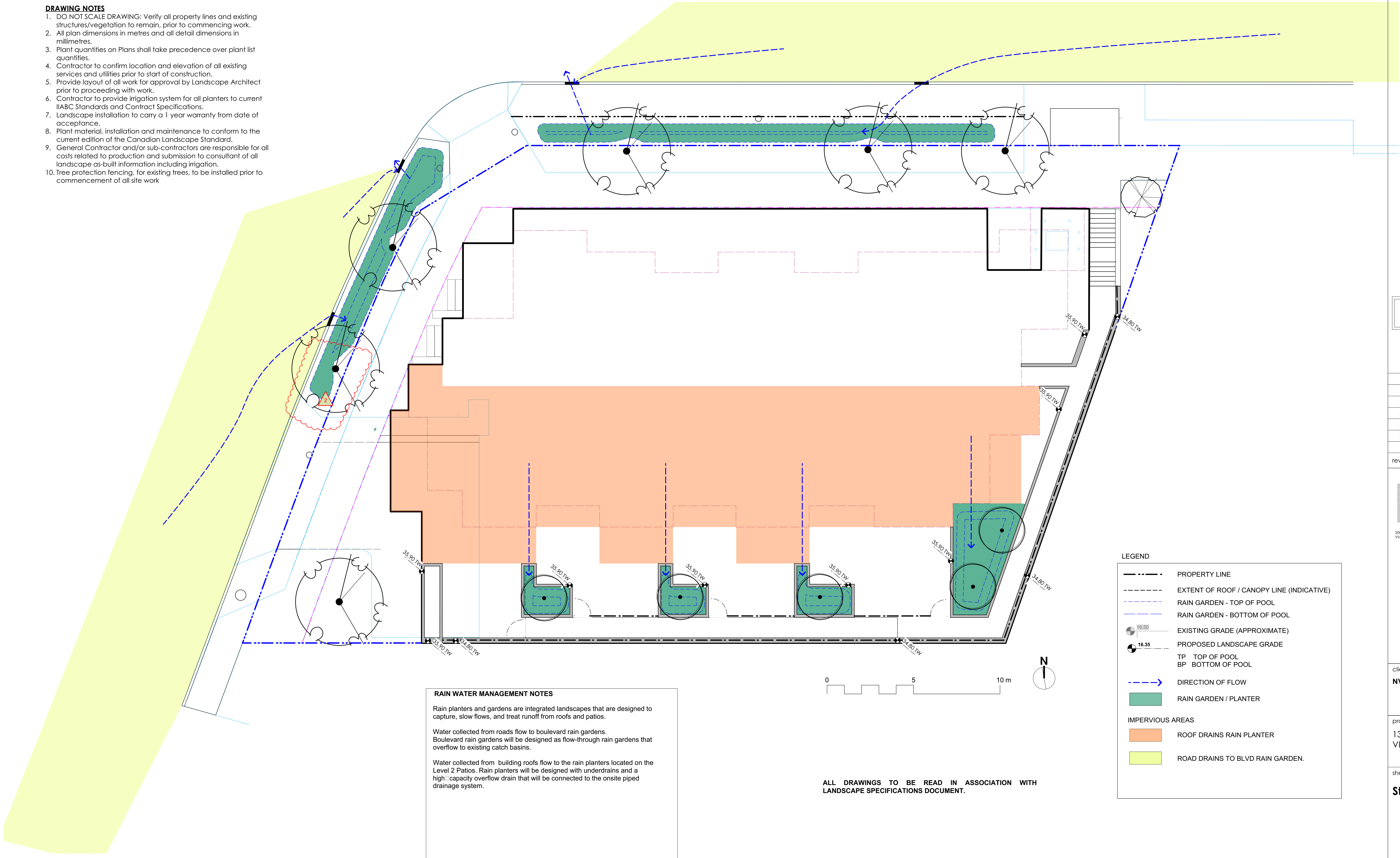
- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IAABC Standards and Contract Specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH
LANDSCAPE SPECIFICATIONS DOCUMENT.



DRAWING NOTES

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RAIN WATER MANAGEMENT NOTES

Rain planters and gardens are integrated landscapes that are designed to capture, slow flows, and treat runoff from roofs and patios.

Water collected from roads flow to boulevard rain gardens. Boulevard rain gardens will be designed as flow-through rain gardens that overflow to existing catch basins.

Water collected from building roofs flow to the rain planters located on the Level 2 Patios. Rain planters will be designed with underdrains and a high capacity overflow drain that will be connected to the onsite piped drainage system.

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH LANDSCAPE SPECIFICATIONS DOCUMENT.

LEGEND

- PROPERTY LINE
- - - - - EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- - - - - RAIN GARDEN - TOP OF POOL
- - - - - RAIN GARDEN - BOTTOM OF POOL
- 16.50 EXISTING GRADE (APPROXIMATE)
- 16.35 PROPOSED LANDSCAPE GRADE
- TP TOP OF POOL
- BP BOTTOM OF POOL
- - - - - DIRECTION OF FLOW
- RAIN GARDEN / PLANTER
- IMPERVIOUS AREAS
- ROOF DRAINS RAIN PLANTER
- ROAD DRAINS TO BLVD RAIN GARDEN.

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rev no	description	date
5	DP Rev 04	2019.07.08
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client
NVision Properties

project
1301 Hillside Ave.
VICTORIA, BC

sheet title
Stormwater Plan

project no.	117.31
scale	1:100
drawn by	TB
checked by	SM/PdG
revision no.	sheet no.

5 **L1.03**



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L3.01

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3. Plant quantities on Plans shall take precedence over plant list quantities.
4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6. Contractor to provide irrigation system for all planters to current IABC standards and Contract Specifications.
7. Landscape installation to carry a 1 year warranty from date of acceptance.
8. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
9. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
10. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work.

PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
		<u>TREES:</u>		
	1	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
	5	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multistem, 1.5 m ht, b&b
	6	Quercus garryana	Garry Oak	4.0cm cal, b&b
		<u>LEVEL 1 SHRUBS, VINES AND GROUNDCOVERS:</u>		
Ama	5	Amelanchier alnifolia	Saskatoon Serviceberry	#3 pot
Arc	9	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
Bb	77	Berberis buxifolia 'Nana'	Dwarf Boxleaf Barberry	#1 pot
Cx	7	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#1 pot
Cq	119	Camassia quamash	Camas	2 bulbs each/ 40cm o.c.
Cm	5	Carex morrowii 'Ice Dance'	Japanese Sedge Grass	#1 pot
Co	185	Carex obnupta	Slough Sedge	#1 pot
Fc	12	Fragaria chiloensis	Coast Strawberry	Sp3
Gsh	13	Gaultheria shallon	Salal	#1 pot
Hd	21	Halodiscus discolor	Oceanspray	#2 pot
Is	60	Iris sibirica	Siberian Iris	#1 pot
Jcg	108	Juncus 'Carmen's Grey'	Soft Common Rush	Sp3
Ma	20	Mahonia aquifolium	Oregon Grape	#2 pot
Mr	104	Mahonia repens	Creeping Oregon Grape	#1 pot
Phl	13	Philadelphus lewisii	Mock Orange	#3 pot
Pm	12	Polystichum munitum	Sword Fern	#1 pot
Rs	31	Ribes sanguineum	Red Flowering Currant	#3 pot
Vh	9	Vancouveriana hexandra	Inside-out Flower	Sp3
Vbo	30	Verbena bonariensis	Tall Verbena	#1 pot