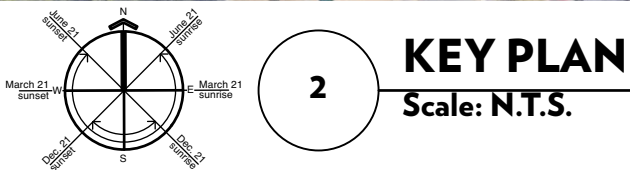


515/519 Rithet Street



PROJECT DATA

CIVIC ADDRESS:

515/519 Rithet Street, Victoria, BC

Legal Description:
The Westerly 40 feet of lot 29, the Easterly 20 feet of Lot 29 and the Westerly 20feet of Lot 28. Beckley Farm, Victoria City, Plan 237
515 - Folio:02153002, VIP237, PID:00-236-811
519 - Folio:02153003, VIP237, PID:009-212-370

USE

Multi-Family Residential

SITE AREA

963.2M²

BUILDING CODE SUMMARY

REFERENCED DOCUMENT :
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

BUILDING CODE CLASSIFICATION:

- 3.2.2.50 GROUP C, UP TO 6 STOREYS, SPRINKLERED
- COMBUSTIBLE OR NON-COMBUSTIBLE CONSTRUCTION WITH 1HR MIN FIRE RESISTANCE RATING TO FLOORS AND LOAD BEARING WALLS.

- ROOF ASSEMBLY FIRE RESISTANCE RATING 1.0 HOUR MIN
- BUILDING AREA : 399.7 m² < 1500 m²

- NUMBER OF STREETS FACING : 1

PROJECT INFORMATION TABLE

ZONE (EXISTING)	R3-2
SITE AREA (m ²)	963.2 m ²
TOTAL GROSS FLOOR AREA	1685.4 m ²
COMMERCIAL FLOOR AREA	---
FLOOR SPACE RATIO (TOTAL GROSS FLOOR AREA / LOT AREA)	1685.4 m ² / 963.2 m ² = 1.75:1
SITE COVERAGE % (TOTAL STRUCTURES / LOT AREA)	440.1 m ² / 963.2 m ² = 45.7%
OPEN SITE SPACE % (TOTAL LANDSCAPED AREA / LOT AREA)	276.7 m ² / 963.2 m ² = 28.7 %
HEIGHT OF BUILDING	16.40 m
NUMBER OF STOREYS	5
PARKING STALLS (NUMBER) ON SITE	24 REQUIRED - PROVIDED 10 - SEE TABLE 2
BICYCLE PARKING NUMBER (STORAGE AND RACK)	26 REQUIRED - PROVIDED 26 - SEE TABLE 3

BUILDING SETBACKS

FRONT YARD (NORTH)	5.97 m
REAR YARD (SOUTH)	3.73 m
SIDE YARD (EAST)	2.21 m
SIDE YARD (WEST)	6.58 m
COMBINED SIDE YARDS	8.79 m

RESIDENTIAL USE DETAILS

TOTAL NUMBER OF UNITS	16
UNIT TYPE	SEE TABLE 4 & 5
GROUND LEVEL UNITS	3 ADAPTABLE UNITS
MINIMUM UNIT FLOOR AREA (m ²)	46.3 m ²
TOTAL RESIDENTIAL FLOOR AREA (m ²)	1400.2 m ²
AVERAGE GRADE	11.06 m - SEE PAGE A1.1

TABLE 1: FLOOR AREA RATIO

AREAS FOR FSR CALCULATIONS	m ²	ft ²
SITE AREA	963.2 m ²	10,367.8 ft ²
LEVEL 1	375.8 m ²	4,045.1 ft ²
LEVEL 2	361.7 m ²	3,893.3 ft ²
LEVEL 3	361.7 m ²	3,893.3 ft ²
LEVEL 4	361.7 m ²	3,893.3 ft ²
LEVEL 5	224.5 m ²	2,416.5 ft ²
TOTAL GROSS FLOOR AREA	1,685.4 m ²	18,141.5 ft ²

TABLE 2: OFF STREET PARKING

UNITS BELOW 45m ² (0.85 STALLS / UNIT)	0 UNITS	-
UNIT BELOW 70m ² (1.00 STALLS / UNIT)	3 UNITS	3 STALLS
UNITS ABOVE 70m ² (1.45 STALLS / UNIT)	13 UNITS	18.85 STALLS
VISITORS STALLS (0.1 STALLS / UNIT)	16 UNITS	1.6 STALLS
TOTAL STALLS REQ.		23.45 = 24 STALLS
TOTAL STALLS PROVIDED		10 STALLS

TABLE 3: BICYCLE PARKING REQUIRED

SURFACE BIKE PARKING	N/A	6 BIKE STALLS
SECURE BIKE PARKING (1.25 SPACES / UNIT)	16 UNIT	22 BIKE STALLS
TOTAL STALLS REQUIRED		28 STALLS
BICYCLE PARKING PROVIDED		
SURFACE BIKE PARKING		6 BIKE STALLS
SECURE BIKE PARKING: • CARGO BIKES W/ ELEC. OUTLET (CARGO BIKES TO BE 3.05m LONG) • GROUND ANCHORED W/ ELEC. OUTLET		3 BIKE STALLS 18 BIKE STALLS
TOTAL STALLS PROVIDED		27 STALLS

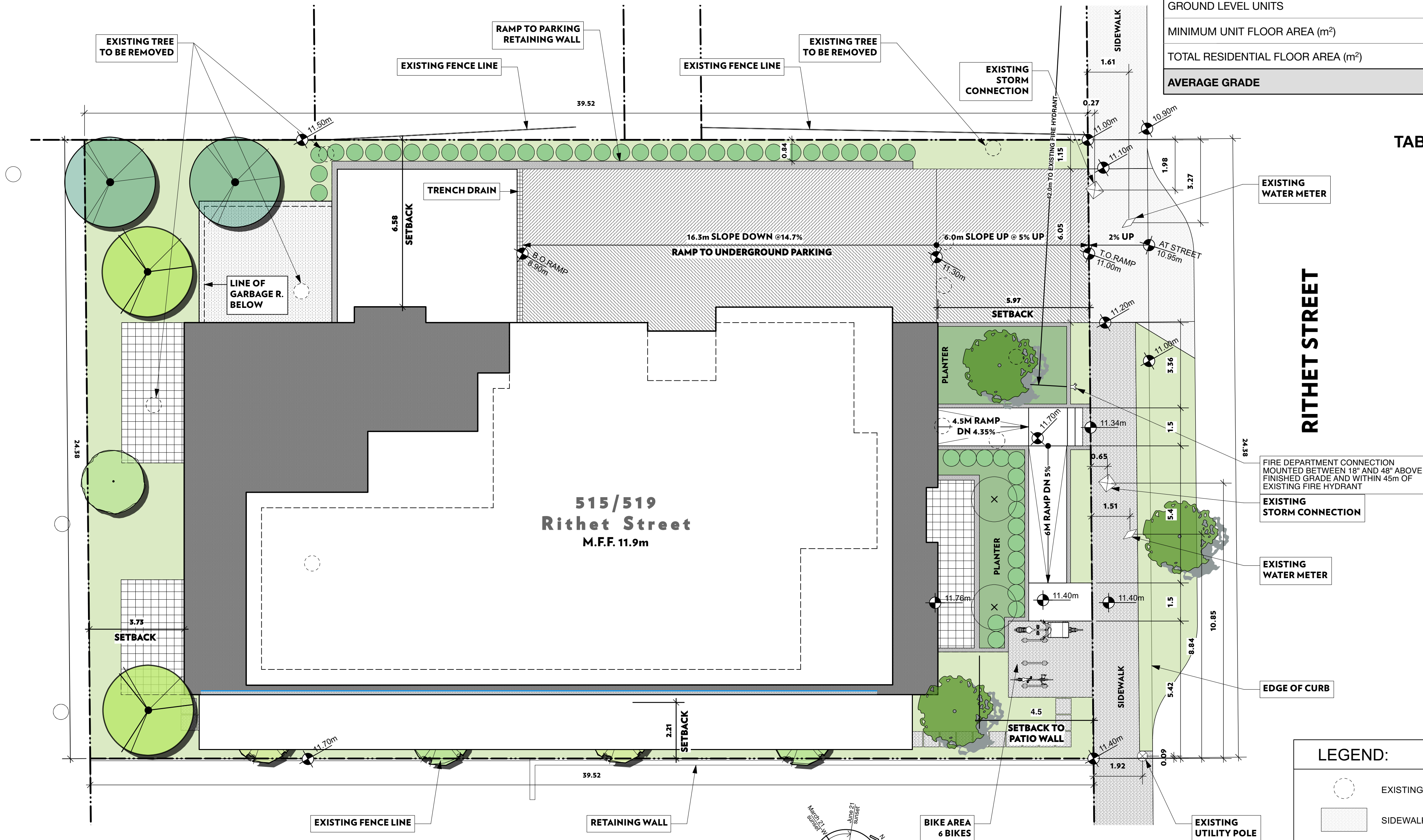
TABLE 4: SUMMARY OF UNITS

SUMMARY OF UNITS	QUANTITY
1 BEDROOM UNIT	3
2 BEDROOM UNIT	6
2 BEDROOM UNIT + DEN	2
3 BEDROOM UNIT	4
3 BEDROOM UNIT + DEN	1

TABLE 5:

UNITS	AREA	BEDROOM	BATH
LEVEL 1			
UNIT 101	123.3 M ²	2 BEDROOM + DEN	2
UNIT 102	100.1 M ²	3 BEDROOM	2
UNIT 103	89.3 M ²	2 BEDROOM + DEN	2
LEVEL 2			
UNIT 201	79.9 M ²	2 BEDROOM	2
UNIT 202	46.3 M ²	1 BEDROOM	1
UNIT 203	96.4 M ²	3 BEDROOM	2
UNIT 204	83.1 M ²	2 BEDROOM	2
LEVEL 3			
UNIT 301	79.9 M ²	2 BEDROOM	2
UNIT 302	46.3 M ²	1 BEDROOM	1
UNIT 303	96.4 M ²	3 BEDROOM	2
UNIT 304	83.1 M ²	2 BEDROOM	2
LEVEL 4			
UNIT 401	79.9 M ²	2 BEDROOM	2
UNIT 402	46.3 M ²	1 BEDROOM	1
UNIT 403	96.4 M ²	3 BEDROOM	2
UNIT 404	83.1 M ²	2 BEDROOM	2
LEVEL 5			
UNIT 501	170.4 M ²	3 BEDROOM + DEN	2

UNIT AREAS CALCULATED AS PER CITY OF VICTORIA BYLAW SCHEDULE A - DEFINITIONS.
AREA TAKEN FROM INSIDE FACE OF EXTERIOR WALLS TO CENTER LINE OF PARTY/CORRIDOR WALLS



1 PROPOSED SITE PLAN
Scale: 1:100

LEGEND:

	EXISTING TREE TO BE REMOVED
	SIDEWALK
	RAMP
	PATIO

A1.0 - SITE PLAN & PROJECT DATA JAYBAY CONDOMINIUM

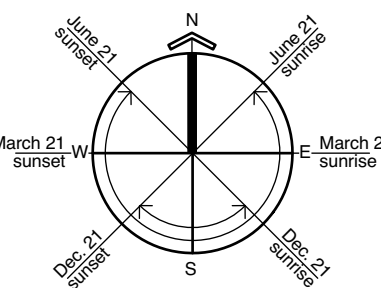
PROJECT ADDRESS: RITHET ST. VICTORIA, B.C. PROJECT NO. 23026

SCALE: AS NOTED

DATE: JULY 11, 2025

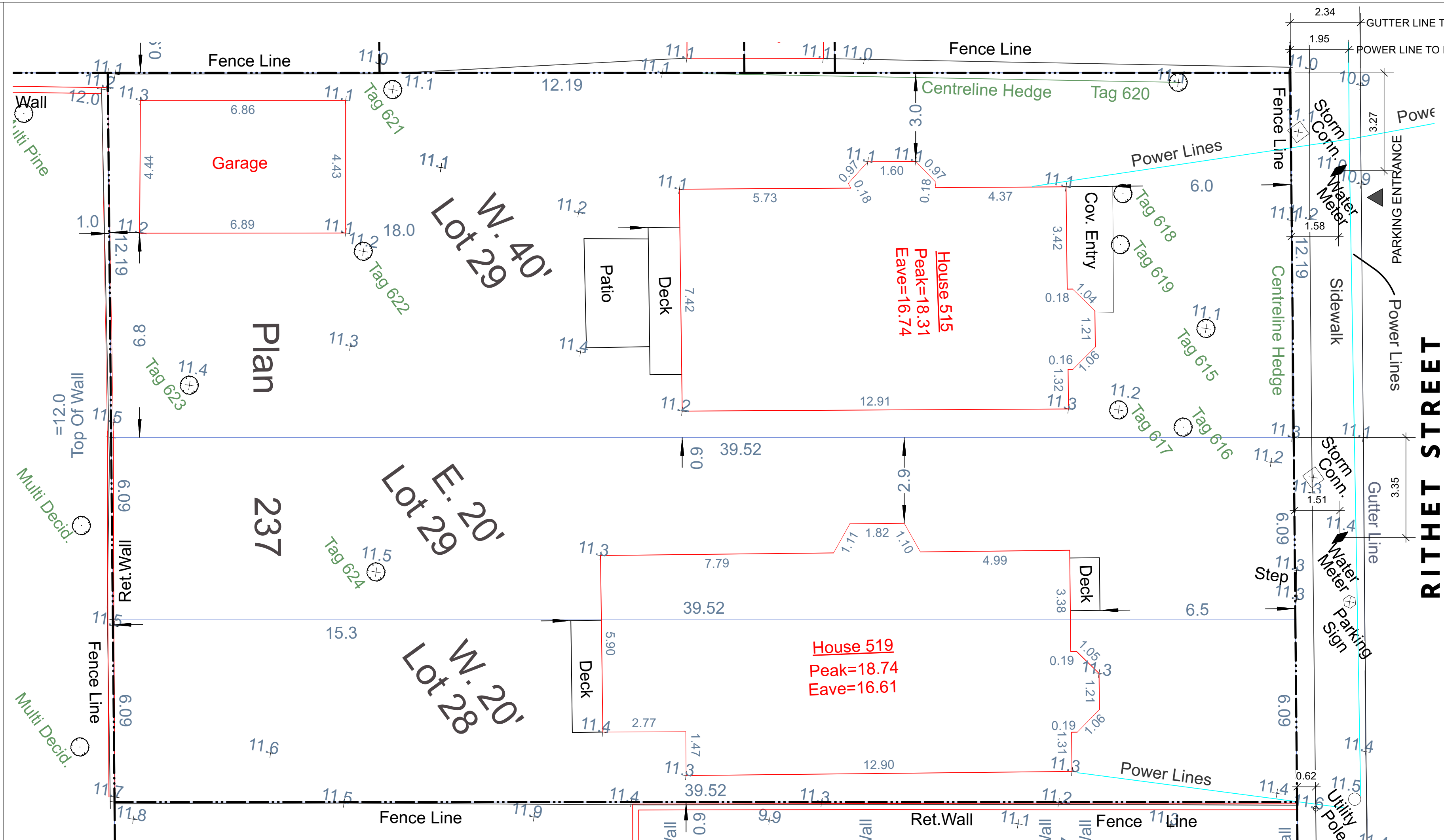
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1 EXISTING SITE PLAN

Scale: 1:100

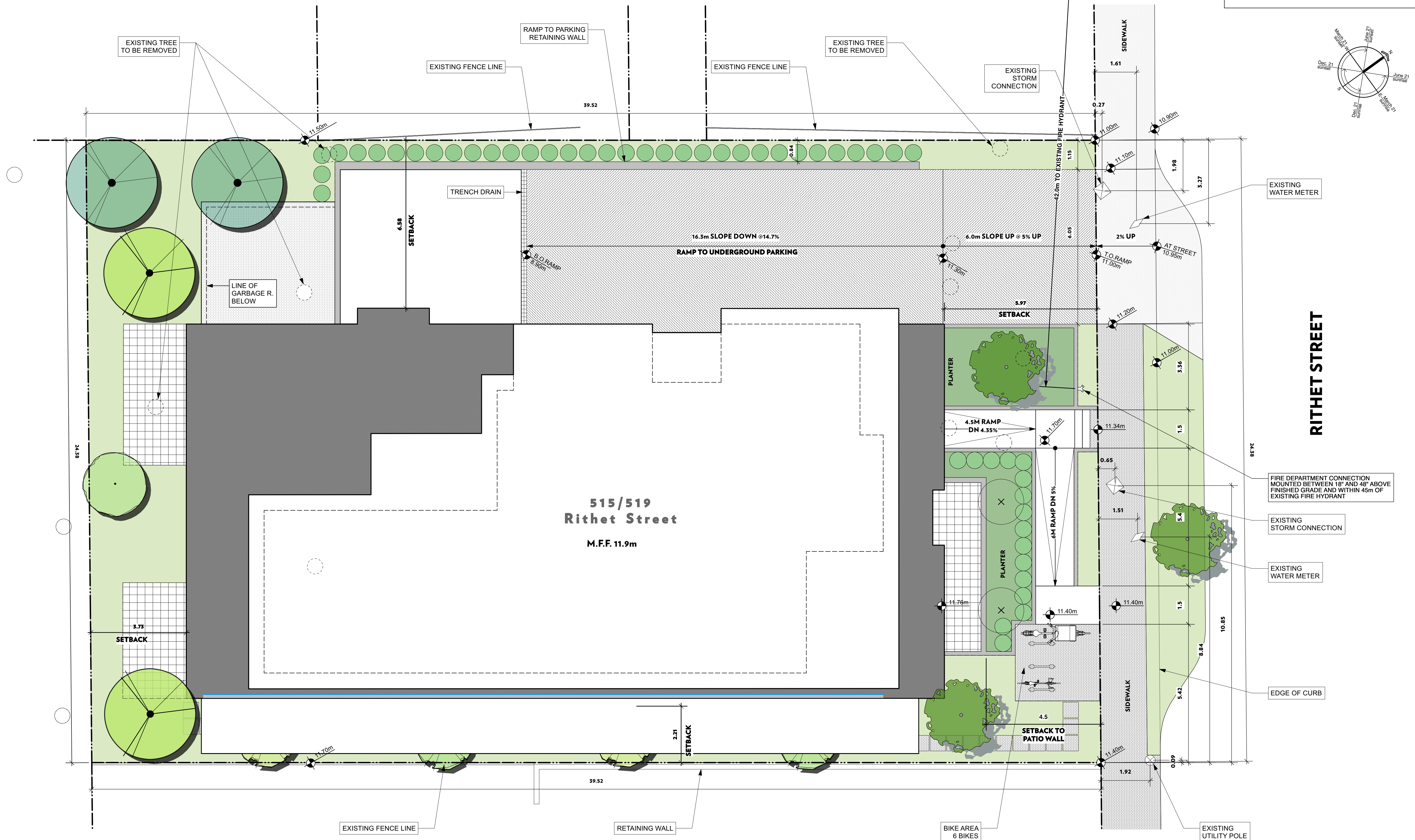
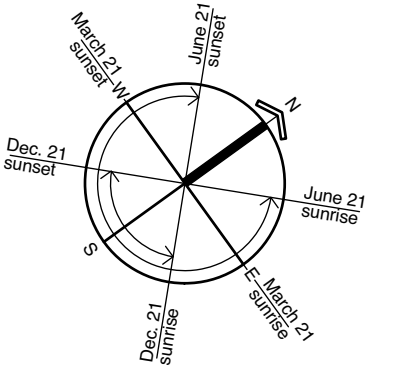


AVERAGE GRADE CALCULATION:				
GRADE POINTS	AVERAGE		DISTANCE	TOTAL
A+B	(10.86+8.85)/2	9.86	X	22.60
B+C	(8.85+11.20)/2	10.03	X	0.00
C+D	(11.20+11.10)/2	11.15	X	4.78
D+E	(11.10+11.20)/2	11.15	X	5.44
E+F	(11.20+11.28)/2	11.24	X	4.78
F+G	(11.28+11.33)/2	11.31	X	3.05
G+H	(11.33+11.50)/2	11.42	X	5.53
H+I	(11.50+11.50)/2	11.50	X	3.03
I+J	(11.50+11.50)/2	11.50	X	4.60
J+K	(11.50+11.50)/2	11.50	X	3.07
K+L	(11.50+11.62)/2	11.56	X	4.53
L+M	(11.62+11.30)/2	11.46	X	31.11
M+N	(11.30+11.30)/2	11.30	X	1.69
N+O	(11.30+11.32)/2	11.31	X	2.70
O+P	(11.32+11.20)/2	11.26	X	6.97
P+Q	(11.20+11.25)/2	11.23	X	2.70
Q+R	(11.25+11.10)/2	11.18	X	6.01
R+A	(11.02+10.86)/2	10.94	X	0.00
TOTAL				1245.75
BUILDING PERIMETER				112.59
AVERAGE GRADE CALCULATION = 1245.75 / 112.59 = 11.06				

PROJECT ADDRESS: RITHET ST. VICTORIA, B.C. PROJECT NO. 23026

LEGEND:

- EXISTING TREE TO BE REMOVED
- SIDEWALK
- RAMP
- PATIO



1 PROPOSED SITE PLAN
Scale: 1:75

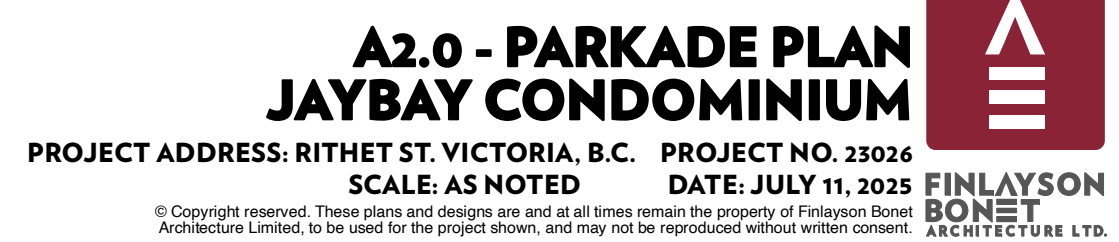
A1.4 - SITE PLAN
JAYBAY CONDOMINIUM

PROJECT ADDRESS: RITHET ST. VICTORIA, B.C. PROJECT NO. 23026

SCALE: AS NOTED DATE: JULY 11, 2025

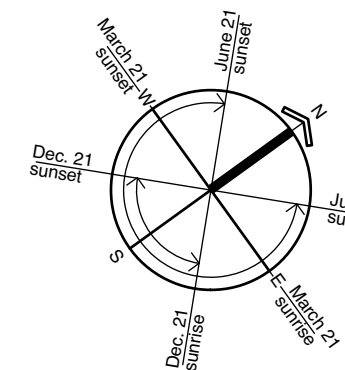
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1
A4.1



**A2.1 - LEVEL 1 PLAN
JAYBAY CONDOMINIUM**

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PROPERTY LINE



A2.2 - LEVEL 2 PLAN
JAYBAY CONDOMINIUM

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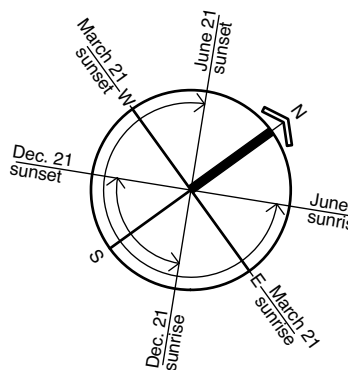
FINLAYSON
BONNEY
ARCHITECTURE LTD.

PROPERTY LINE



1
A4.0

1
A4.1



**A2.3 - LEVEL 3 PLAN
JAYBAY CONDOMINIUM**

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PROPERTY LINE



PROPERTY LINE

A2.4 - LEVEL 4 PLAN
JAYBAY CONDOMINIUM

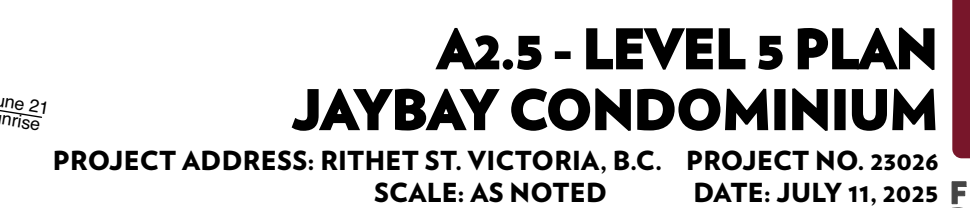
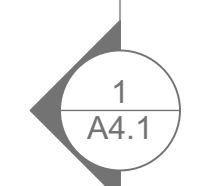
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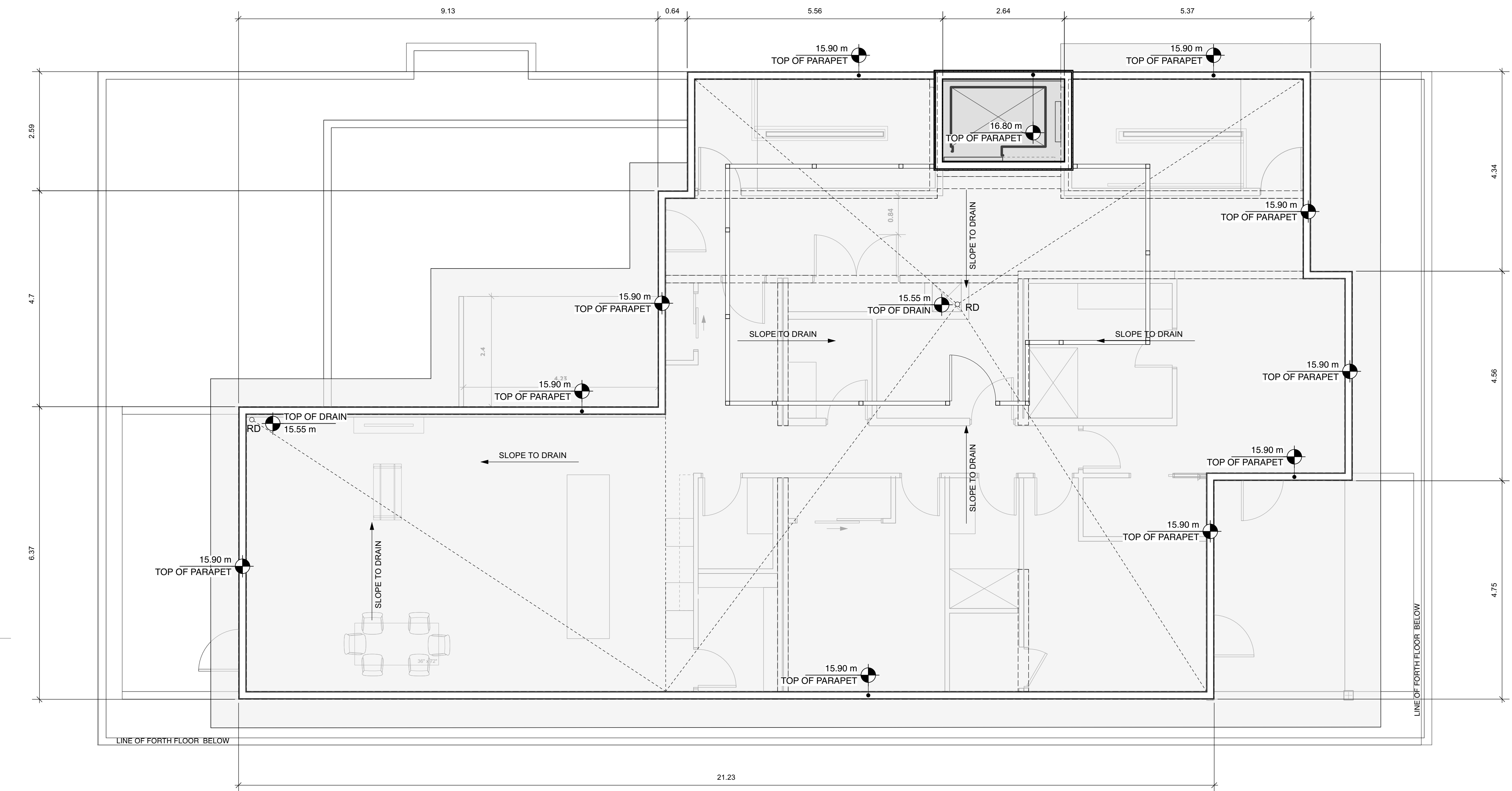
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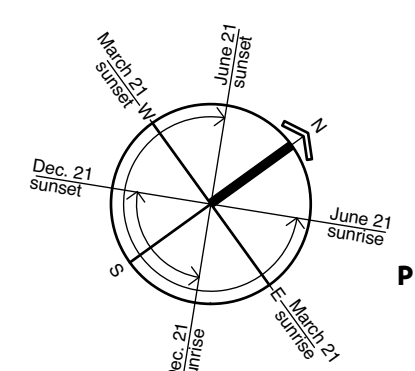
FINLAYSON
BONNEY
ARCHITECTURE LTD.

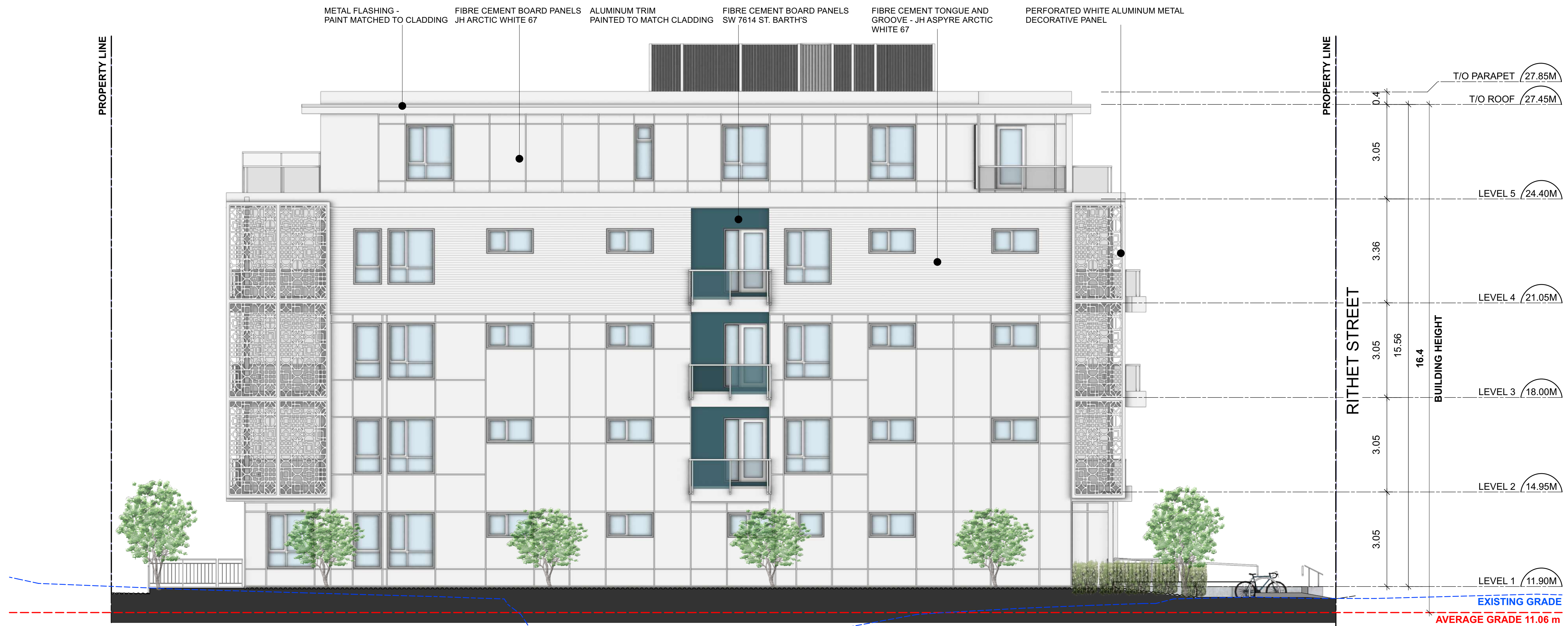


PROPERTY LINE



PROPERTY LINE





2 EAST ELEVATION
Scale: 1:75



1 NORTH ELEVATION - FRONT FACADE
Scale: 1:75

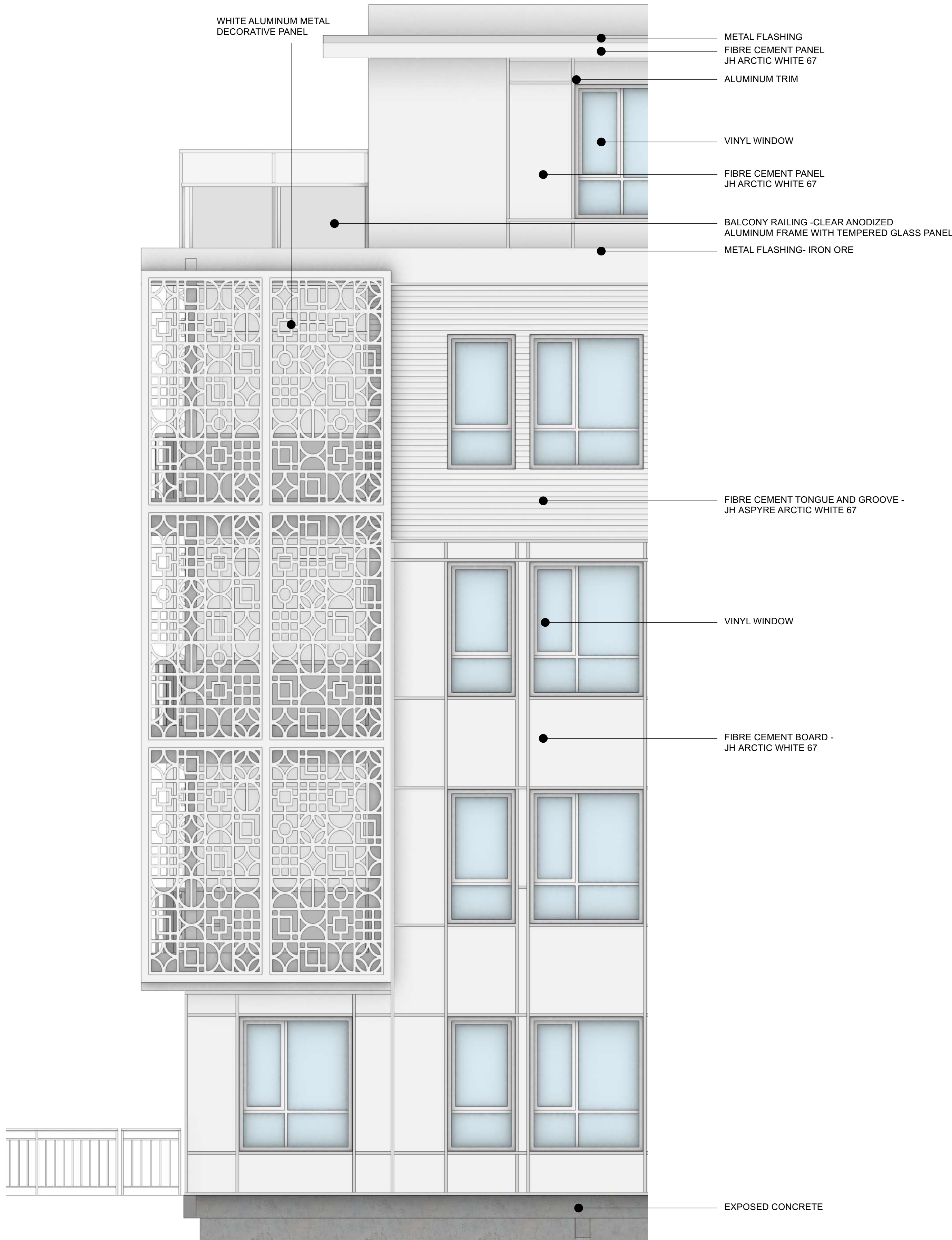
A3.0 - ELEVATIONS
JAYBAY CONDOMINIUM

PROJECT ADDRESS: RITHET ST. VICTORIA, B.C. PROJECT NO. 23026

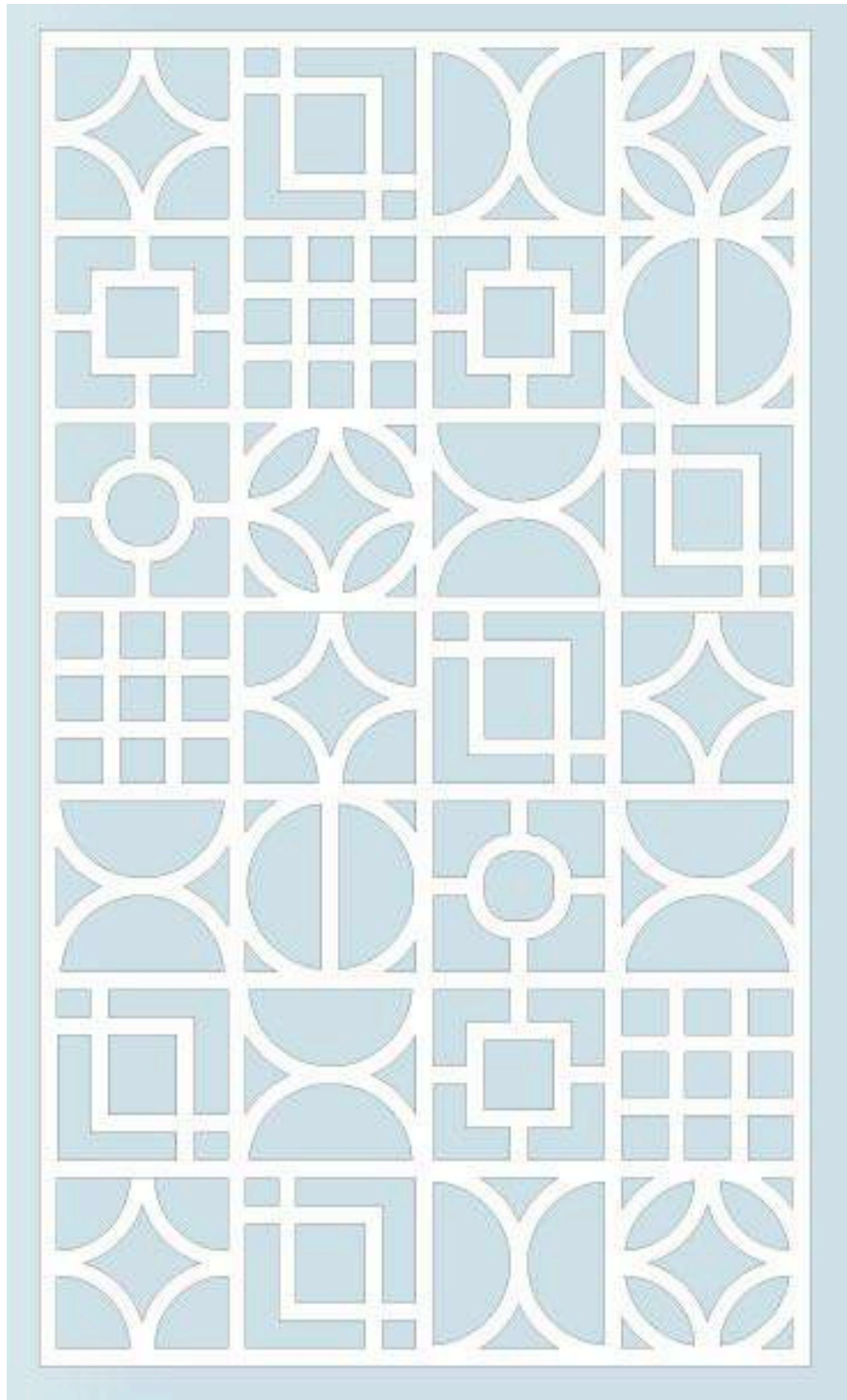
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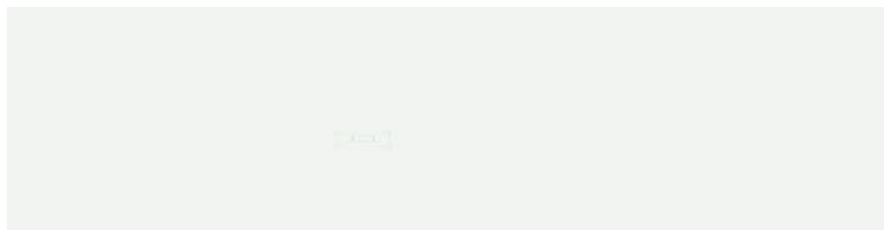




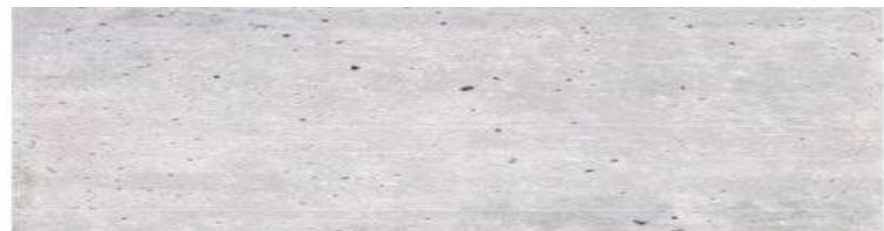
1 **PARTIAL ELEVATION**
Scale: 1:35



OPTION 1: WHITE ALUMINUM METAL DECORATIVE PANEL



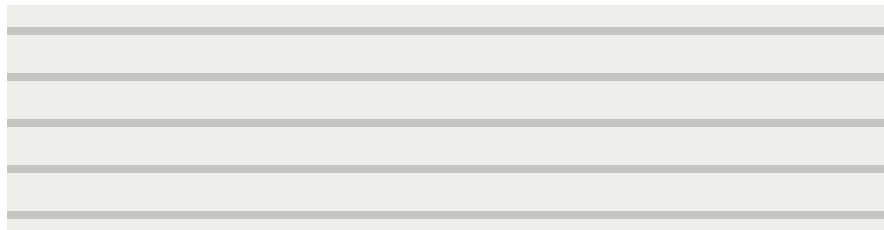
METAL FLASHING - MATCHED TO CLADDING COLOUR



EXPOSED CONCRETE



RESIDENTIAL ENTRY ALCOVE
FIBRE CEMENT BOARD - BENJAMIN MOORE HC-14 PRINCETON GOLD



FIBRE CEMENT TONGUE AND GROOVE - JH ASPYRE COLLECTION
JH ARCTIC WHITE 67



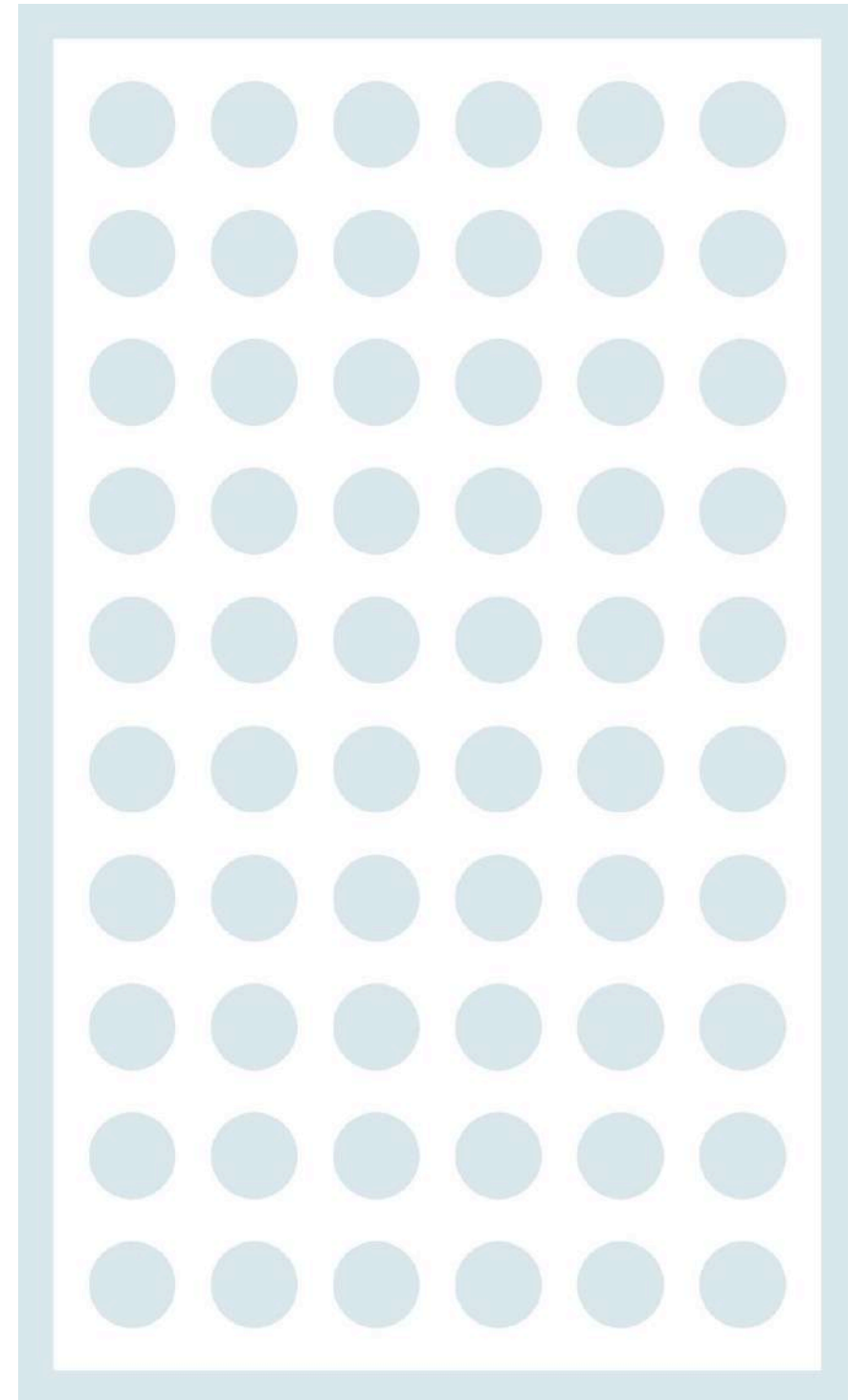
FIBRE CEMENT BOARD - JH ARCTIC WHITE 67



FIBER GLASS DOOR AT LEVEL 1 & PATIOS
BENJAMIN MOORE 2055-10 TEAL



GLAZING AT BALCONY RAILINGS
BENJAMIN MOORE SW-7614 ST. BARTHS



OPTION 2: WHITE ALUMINUM METAL DECORATIVE PANEL

COLOURED GLAZING - BM SW-7614 ST BARTHS

METAL FASCIA

ALUMINUM TRIM COLOUR
MATCHED TO CLADDING

VINYL WINDOW

FIBRE CEMENT TONGUE AND GROOVE - JH ASPYRE ARCTIC WHITE 67

BALCONY RAILING
CLEAR ANODIZED ALUMINUM FRAME WITH TEMPERED GLASS PANELS

BUILDING SIGNAGE

RESIDENTIAL ENTRY ALCOVE
FIBRE CEMENT BOARD - BM AF-2255 FIRENZE

COLUMN CLADDING
CEMENT BOARD PANEL
JH ARCTIC WHITE

ALUMINUM COMMERCIAL
ENTRY DOOR
EXIT DOOR
MATCHED TO CLADDING COLOUR

METAL RAILING

EXPOSED CONCRETE
ARCHITECTURAL SMOOTH FINISH

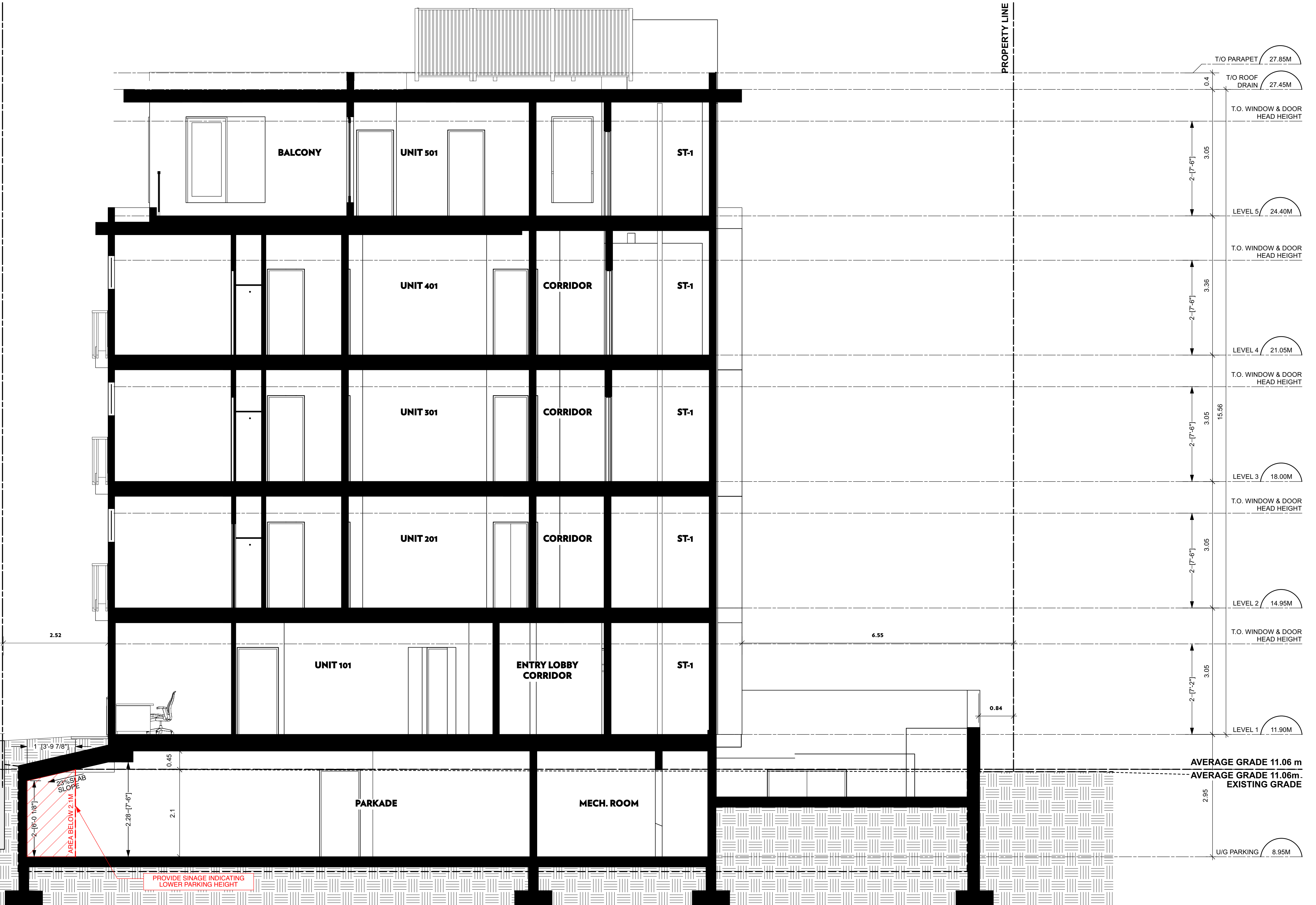


2 **PARTIAL NORTH ELEVATION - FRONT FACADE**
Scale: 1:35



PROPERTY LINE

PROPERTY LINE



AVERAGE GRADE 11.06 m
AVERAGE GRADE 11.06m.
EXISTING GRADE

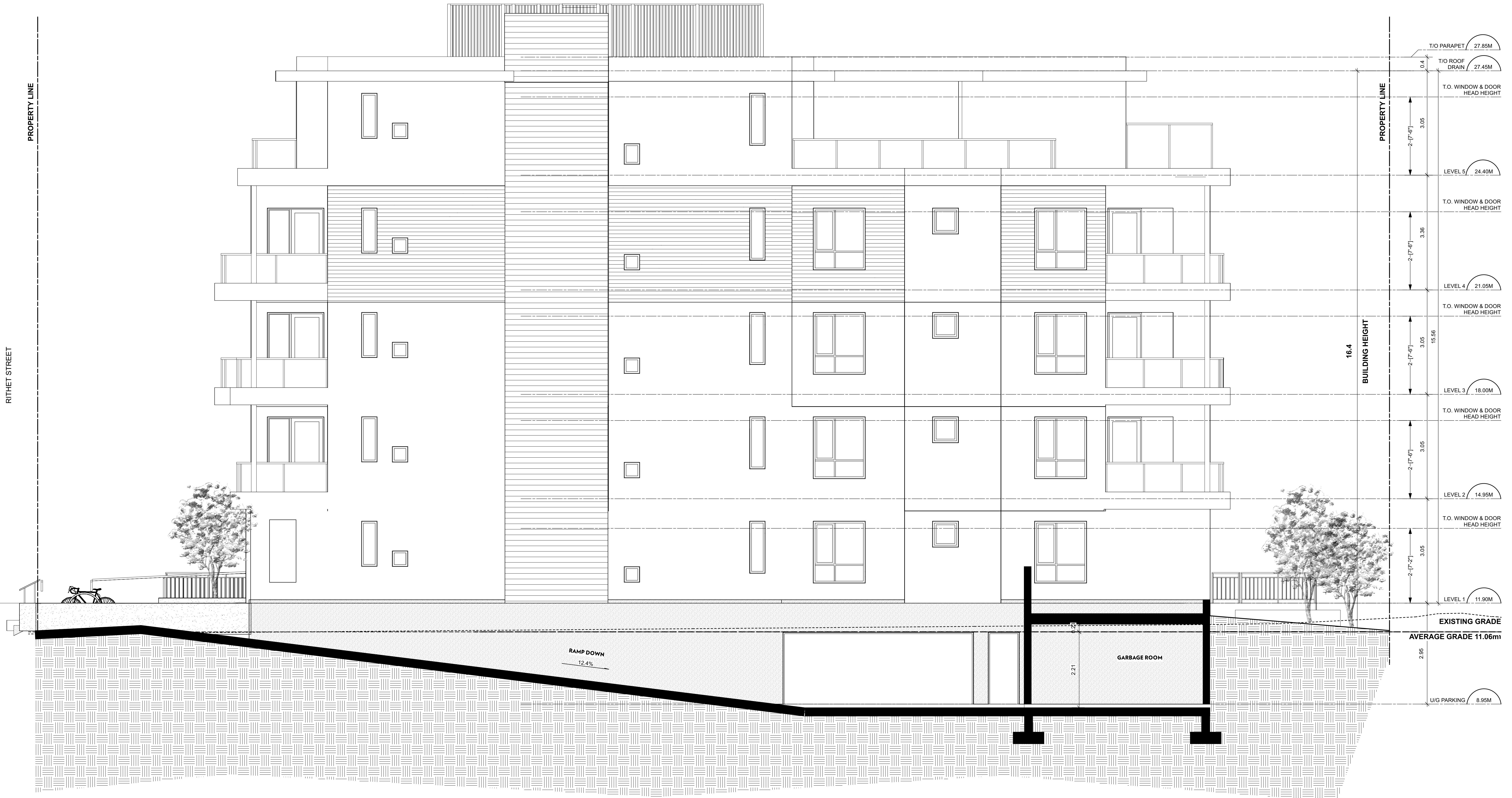
U/G PARKING 8.95M

A4.1 - SECTIONS
JAYBAY CONDOMINIUM

PROJECT ADDRESS: RITHET ST. VICTORIA, B.C. PROJECT NO. 23026
SCALE: AS NOTED DATE: JULY 11, 2025

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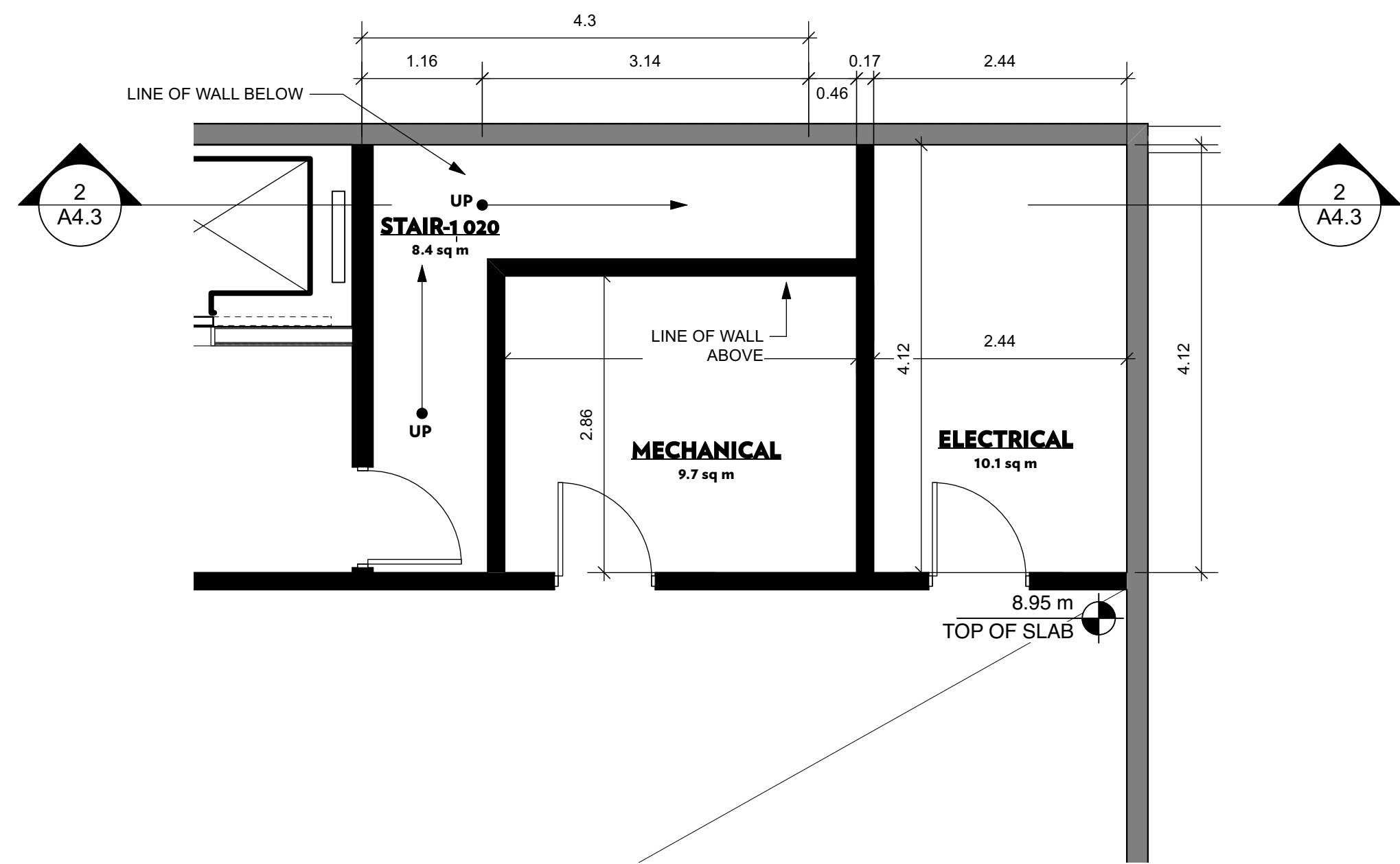




1 WEST ELEVATION
Scale: 1:50



2 SECTION THROUGH MECH. ROOM
Scale: 1:50



1 MECH. ROOM FLOOR PLAN
Scale: 1:50