

235 RUSSELL STREET MIXED USE



26-01-19 RZ+DP RESUBMISSION 06



BC LAND SURVEYORS SITE PLAN OF:

Civic: 247 Russell Street

Legal Lot A, Section 31,

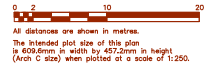
Esquimalt District, Plan 29271

AND

Lot 39, Section 31,

Esquimalt District, Plan 549

Parcel Identifier (Lot A) : 001-422-294 in the City of Victoria
Parcel Identifier (Lot 39): 003-391-426 in the City of Victoria



LEGEND

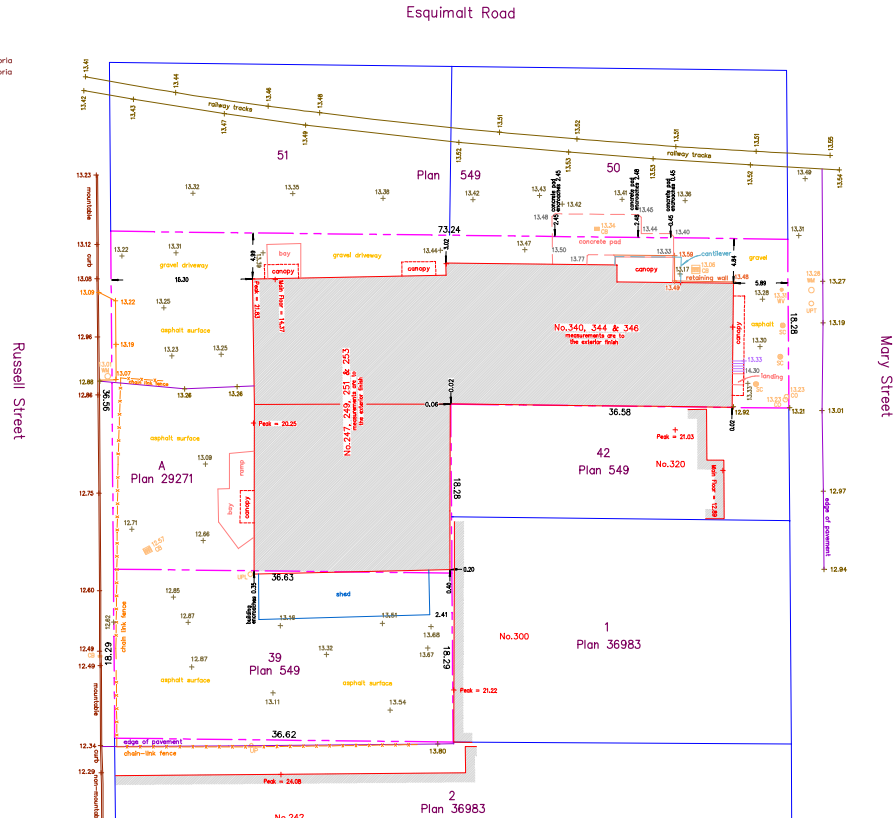
Elevations are to geodetic datum.

- + denotes - existing elevation
- denotes - Catch Basin
- denotes - Clean Out
- denotes - Utility Pole with Transformer
- denotes - Water Valve
- denotes - Water Meter
- denotes - Service Cover

Lot A Area = 2008.0 m²
Lot 39 Area = 669.6 m²

October 03, 2018

File : 12.843 - 18
POMELL & ASSOCIATES
B.C. Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-6855



The following non-financial charges are shown on the current title and may affect the property.
Lot A: M76300 - Exceptions and Reservations
Lot A: M76300 - Exceptions and Reservations
Lot 39: M76301 - Under Surface Rights

Selbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.
This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

ISSUED	25-01-19	RZ+CP RESUB 05
ISSUED	25-10-21	RZ+CP RESUB 06
ISSUED	25-07-21	RZ+CP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-08-11	RZDP RESUB RESUB 04
ISSUED	24-06-05	RZDP SUBMISSION 04

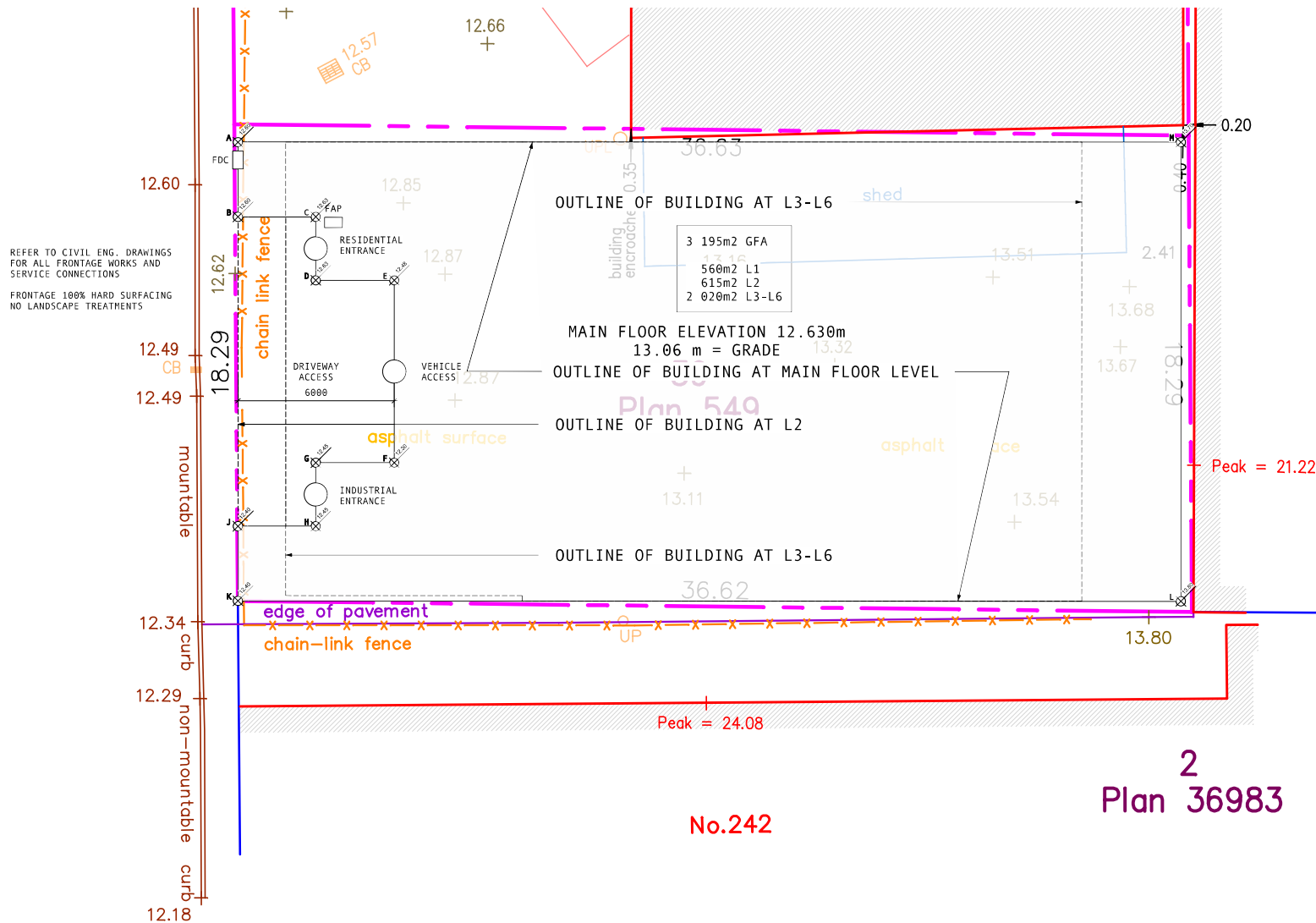
Rev	Date	Description
1st Issue	26/01/19	Drawing file
Issue by	CRK	checked by CRK
scale	1:100	project number 2017

NOTES: 1. Dimensions are shown in the plan. Boundaries are shown in the plan.

Russell MX
235 Russell Street
Victoria BC
Survey Plan

dhKa A100

dhKarchitects
Victoria
277 Fort Street V8V 3K3 T 1-250-658-3387
Nanaimo
100-1180 Duane Way V8T 2K8 T 1-250-658-5510
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PROJECT DATA - BCBC
APPLICABLE BCBC 2024
PART 3 AND RELATED PARTS
MAJOR OCCUPANCY F3 INDUSTRIAL (L1-L2)
C RESIDENTIAL (L3-L6)
CONSTRUCTION REQMS

3.3.3.00
GROUP C 6 STOREYS
SPRINKLERED
COMBUSTIBLE OR NON-COMBUSTIBLE
1HR FIRE SEP FLOORS
1HR FIRE RESISTANCE ROOF
1HR FIRE RESISTANCE LOADBEARING
APPLIED TO L3 AND ABOVE

3.2.2.00
GROUP F3 ANY HEIGHT ANY AREA
SPRINKLERED
NON-COMBUSTIBLE
2HR FIRE SEPARATION FLOORS
2HR FIRE RESISTANCE LOADBEARING
APPLIED TO L2 AND L1

EXITS
2 EXITS REQUIRED AND PROVIDED
FROM ALL FLOOR AREAS

PROJECT DATA - ZONING

ZONE M-1
SITE AREA 669.50
INDUSTRIAL USE 1175.00
RESIDENTIAL USE 2020.00
TOTAL FLOOR AREA 3195.00
FSR 4.77
SITE COVERAGE 92%
BUILDING HEIGHT 15.805m
STOREYS Six (6)
VEHICLE PARKING 7 stalls
BICYCLE PARKING 38 LT spaces incl 4 cargo
12 ST spaces
FRONT SB 0.00
REAR SB 0.00 (0.30 seismic gap)
NORTH SIDE SB 0.00 (0.25 seismic gap)
SOUTH SIDE SB 0.00

RESIDENTIAL SUITES

STUDIO 4
1BR 16
2BR 8
3BR 2

SUITE AREAS

STUDIO m2
1BR 33.00
2BR 63.00
3BR 95.00

PROJECT DATA - LEGAL

LEGAL LOT 39 SECTION 31 ESQUIMALT
DISTRICT PLAN 549

ADDRESS 235 RUSSELL STREET

OWNER 235 RUSSELL HOLDINGS LTD.

ARCHITECT DHKARCHITECTS

977 FORT STREET
VICTORIA BC V8V 3K3
250-658-3367

CIVIL WESTBROOK CONSULTING LTD.

115-866 GOLDSTREAM AVENUE
VICTORIA BC V9B 0J3
250-391-8592

Rev.	Date	Description
ISSUED	25-04-23	RZ+CP RESUB 06
ISSUED	25-10-21	RZ+CP RESUB 06
ISSUED	25-07-21	RZ+CP RESUB 04
ISSUED	25-06-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-08-11	RZDP RESUB 05/04
ISSUED	24-06-05	RZDP SUBMISSION

NOTE: All dimensions are shown in millimeters. Round dimensions are inside clear to OWS.

Russell MX

235 Russell Street
Victoria BC

Site Plan & Project Data



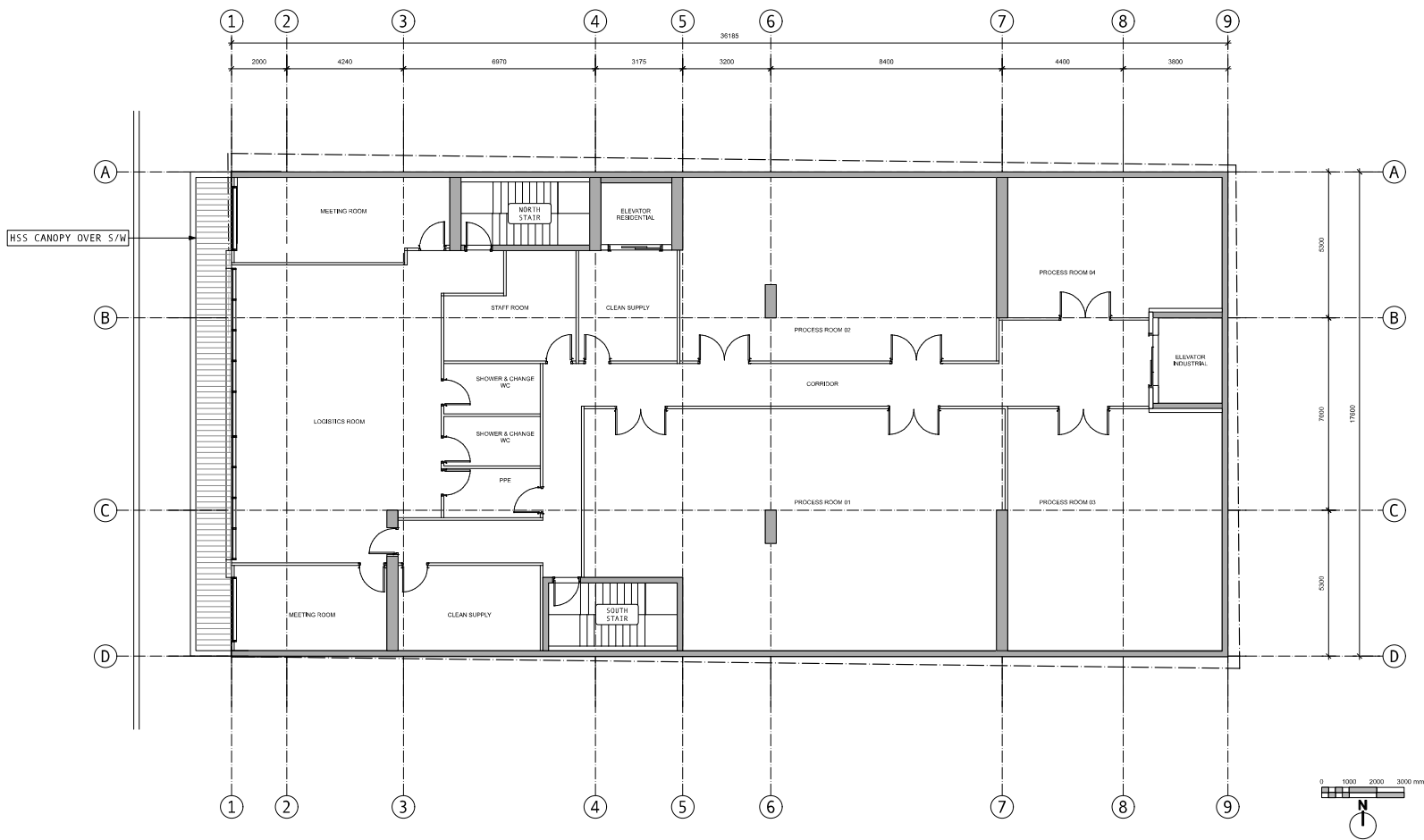
dhKarchitects
Victoria
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Nanaimo
115-866 Goldstream Ave V9B 0J3 T 1-250-658-5810

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Victoria BC
L1 PLAN





ISSUED	25-01-19	RZ-OP RESUB 05
ISSUED	25-10-21	RZ-OP RESUB 05
ISSUED	25-07-21	RZ-OP RESUB 04
ISSUED	25-05-13	RZOP RESUB 03
ISSUED	25-10-12	RZOP RESUB 02
ISSUED	24-05-11	RZOP RESUB 01/04
ISSUED	24-05-05	RZOP SUBMISSION

Per:	Date:	Revised:
25-01-19	25-01-19	25-01-19
CRK	CRK	CRK
1:100	1:100	1:100

NOTE: All dimensions are shown in m. Unless stated otherwise, dimensions are to G.O.D.

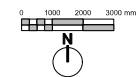
Russell MX
 235 Russell Street
 Victoria BC
L2 PLAN



A202



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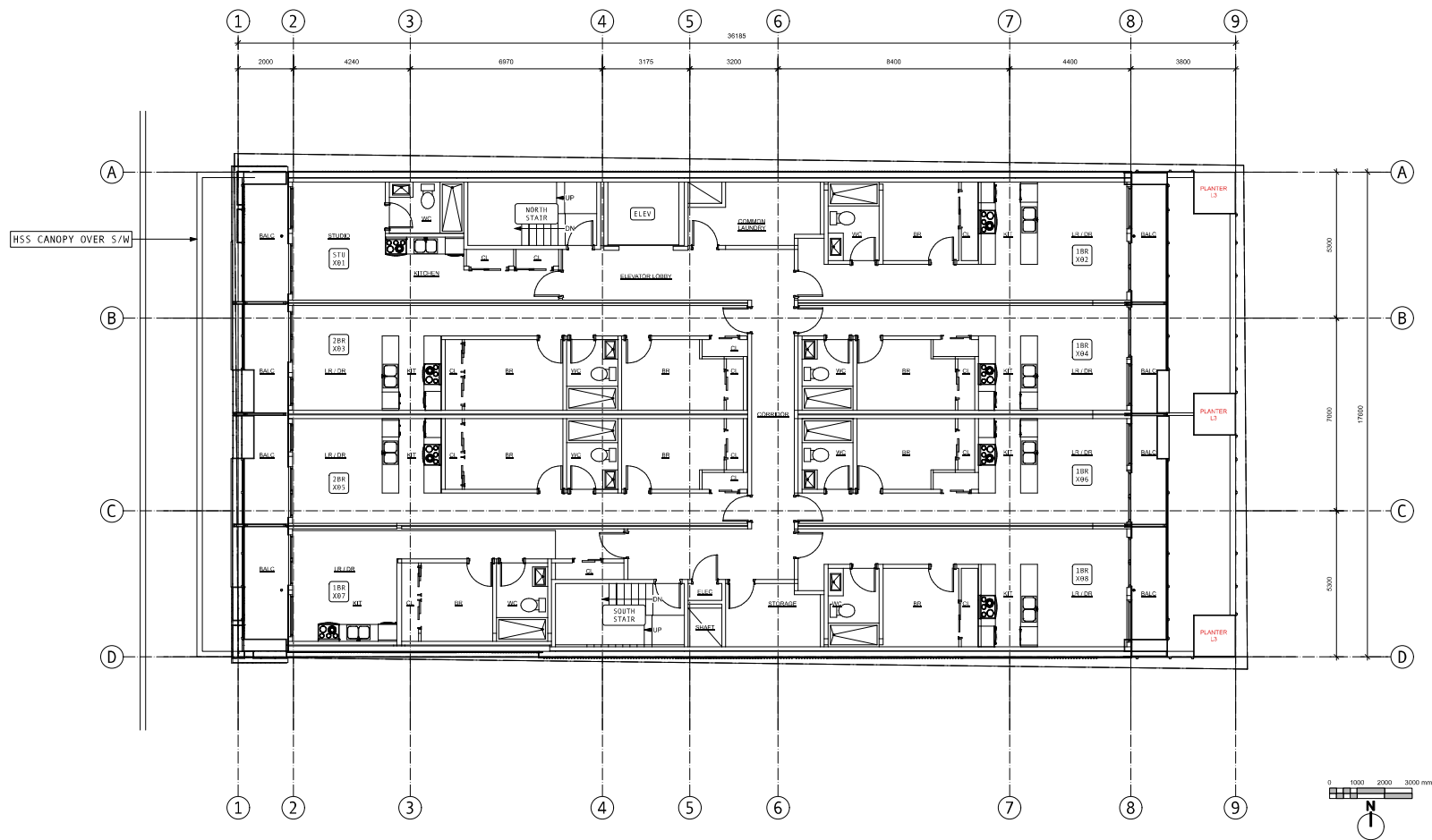


Rev	Date	Description	
plot date	26-01-19	drawing file	
drawn by	CRK	checked by	CRK
scale	1:75	project number	2017



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 ISSUED 25-10-21 RZ-DP RESUB 05
 ISSUED 25-07-21 RZ-DP RESUB 04
 ISSUED 25-05-13 RZ-DP RESUB 03
 ISSUED 24-05-11 RZ-DP RESUB 02
 ISSUED 24-05-05 RZ-DP RESUB 01

Per: Date: Description:
 #1000 26-01-19 Planning: M
 Issued by: CRK created by: CRK
 Scale: 1:75 sheet number: 2017

NOTE: All dimensions are shown in m. Dimensions, Room Codes and Trade Size to GAB.

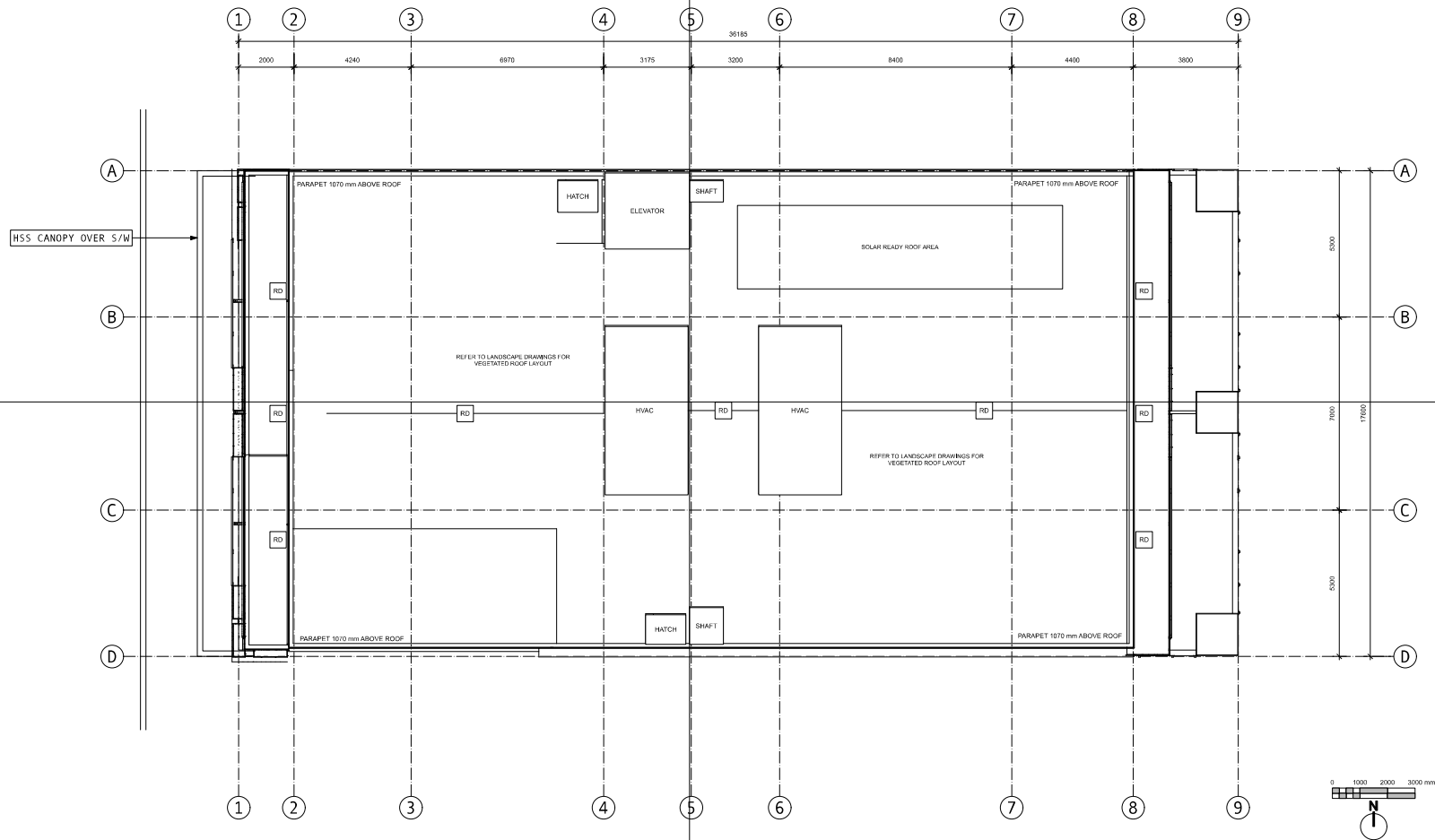
Russell MX
 235 Russell Street
 Victoria BC
L4-6 PLAN



A204



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ISSUED	25-10-21	RZ-DP RESUB 05
ISSUED	25-07-21	RZ-DP RESUB 04
ISSUED	24-05-17	RZ-DP RESUB 03/04
ISSUED	24-05-05	RZ-DP RESUB 02/04

Rev	Date	Description
#1	26-01-19	Issued for
Issued by	CRK	Issued by
Scale	1:100	Project number
2017		

NOTE: All dimensions are given in m. Dimensions, Room Codes and Trade Allow to GAB.

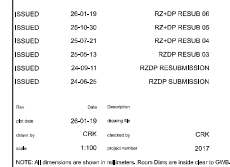
Russell MX
235 Russell Street
Victoria BC
LR PLAN



A205



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F 1-250-585-5555

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ISSUED	26-01-19	RZ-CP RESUB 06
ISSUED	25-11-21	RZ-CP RESUB 05
ISSUED	25-07-21	RZ-CP RESUB 04
ISSUED	24-09-17	CALUC MTD
Rev.	Date	Description
1	26-01-19	Issued for
2	25-11-21	Issued for
3	25-07-21	Issued for
4	24-09-17	Issued for

NOTES: All dimensions are shown in meters. Room sizes are based on 2017.

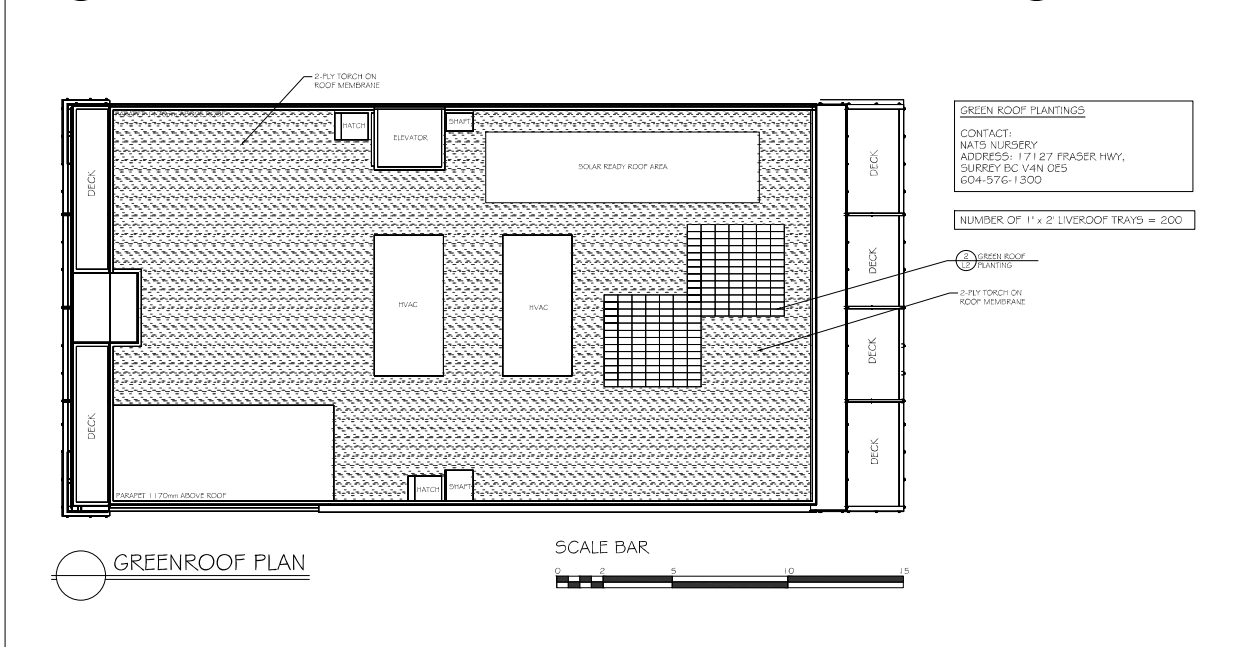
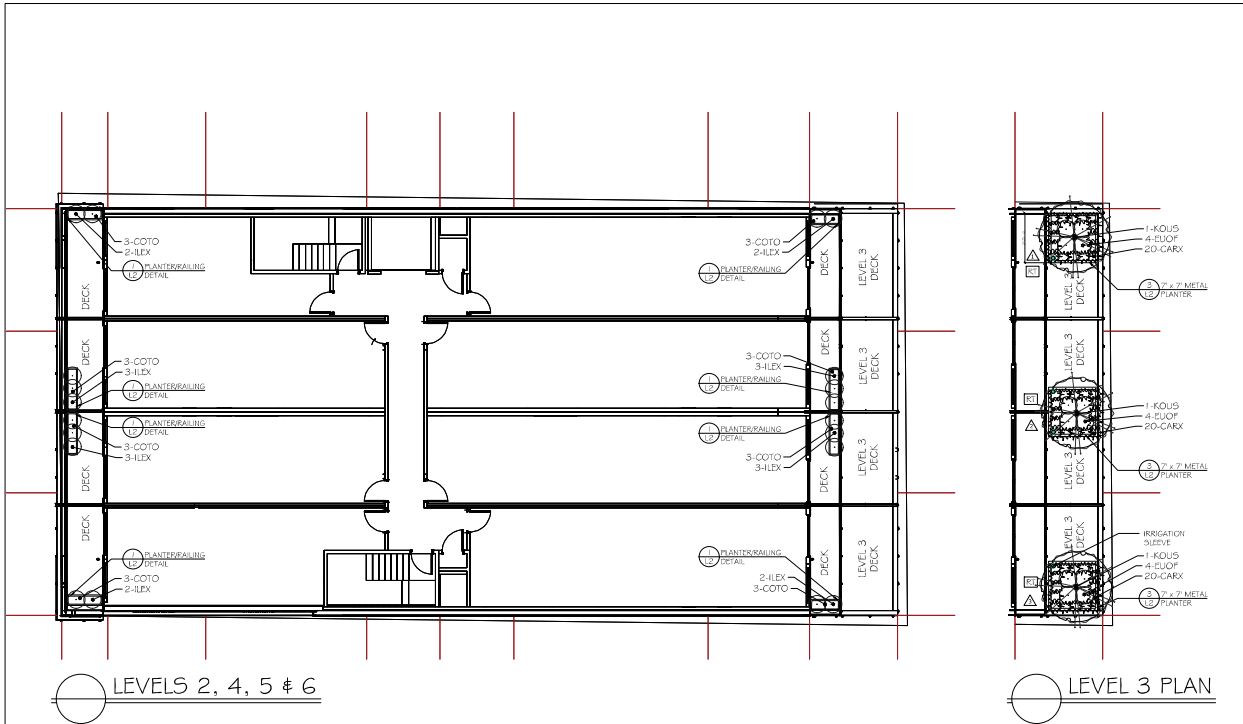
Russell MX
235 Russell Street
Victoria BC
Street View



A500

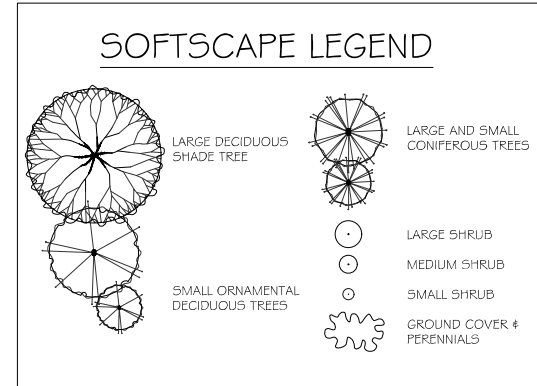


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PLANT LIST - LEVELS 2, 4, 5 & 6						
	KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
SMALL SHRUBS	ILEX	20	80	False Holly	<i>Ilex crenata convexa</i>	#1 Pot
GROUND COVERS	COTO	24	96	Trailing Cotoneaster	<i>Cotoneaster dammeri</i>	SP5

PLANT LIST - LEVEL 3 DECK ONLY						
	KEY	QUANTITY	COMMON NAME	BOTANICAL NAME		SIZE
TREES	KOUS	3	Satomi Dogwood	<i>Kousa Satomi</i>		6cm Cal.
SMALL SHRUBS	EUOF	30	Creeping Euonymus	<i>Euonymus fortunei var. Emerald & Gold</i>		#1 Pot
GROUND COVERS	CARX	96	Variegated Sedge	<i>Carex morrowi var. Aureovariegata</i>		SP5



SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

RT DENOTES REPLACEMENT TREE		Replacement Trees Proposed			Soil Volume Required (m³)		
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m³)	B # Small	C # Medium	D # Large	Total**
6.94	1.0M	6.94		1		6	6.0
6.94	1.0M	6.94			1	6	6.0
6.94	1.0M	6.94		1		6	6.0

ONSITE						
6.94	1.0M	6.94		1		6.0
6.94	1.0M	6.94			1	6.0
6.94	1.0M	6.94		1		6.0

TREE REPLACEMENT PLAN:						
Notes: (1) All soil volume calculations are for replacement trees only (2) All replacement trees are ONSITE (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table (4) All replacement trees meet soil volume requirements for this project.						
IRRIGATION SLEEVE NOTE: ALL PLANTERS w/ TREES TO BE IRRIGATED						

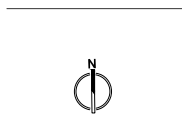
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NOTES:

1) DO NOT SCALE THE DRAWING. WORK TO REQUIRED DIMENSIONS ONLY.

2) CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

3) THE DRAWING IS THE PROPERTY OF FORTH LANDSCAPE ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.



4★SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING SINCE 1988

project name:

Issue / Revision:		

Issue / Revision:		
06	REVISED & RE-ISSUED FOR DP	10.23.2025
05	REVISED	07.14.2025
04	REVISED	07.08.2025
03	REVISED	07.07.2025
02	REVISED	03.04.2025
01	ISSUED FOR REVIEW	02.25.2025
	Issue / Revisions	Date

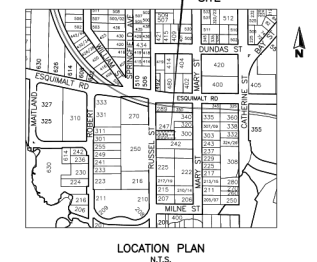
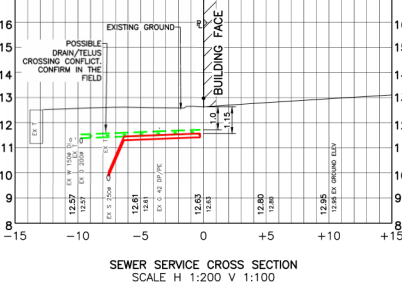
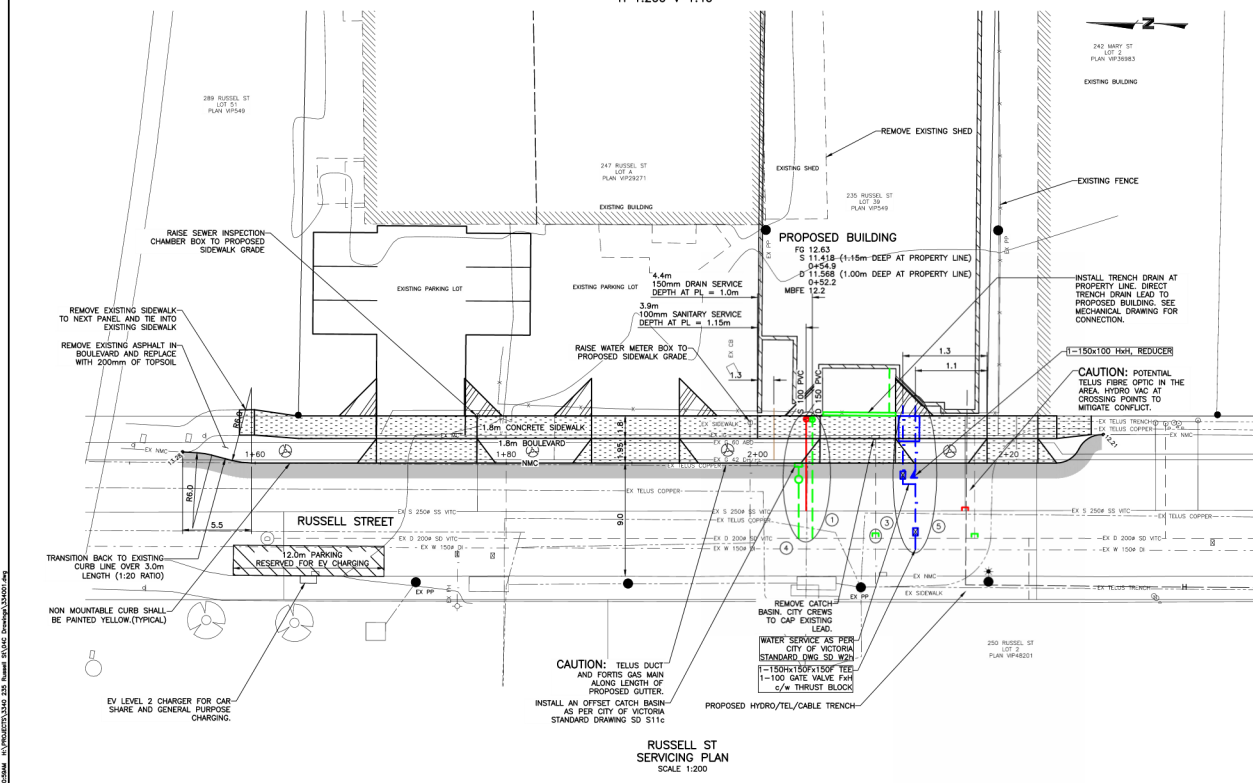
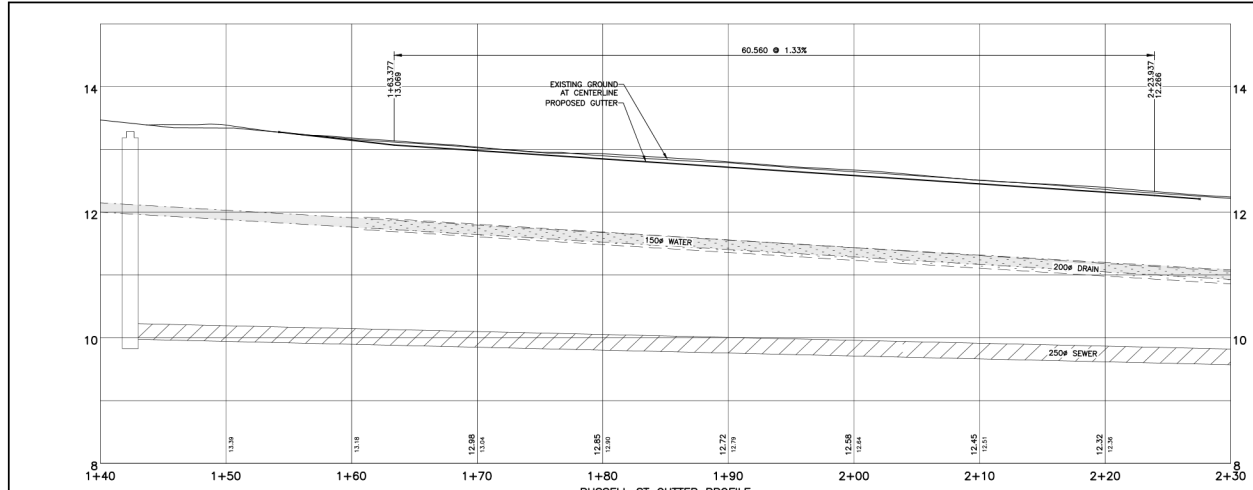
scale:

project title:
235 RUSSELL STREET

drawing title:
LANDSCAPE
CONCEPT & DETAIL
PLANS

project no.:		1
date:	20 OCT 2025	scale: 1:100
checked by:	FORTH	drawn by: BF, RF
sheet no.:		

L1.00



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCO, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS "B" BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SURFACE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG RUSSELL STREET DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100mm PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150mm PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
 - 1. THE CITY OF VICTORIA SHALL INSTALL 100mm SEWER AND 150mm DRAIN CONNECTIONS c/w INSPECTION CHAMBERS TO THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
 - 2. THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SEWER AND DRAIN SERVICES AT THE DEVELOPER'S EXPENSE.
 - CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
 - VISUALLY INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
 - 3. CITY OF VICTORIA FORCES SHALL CAP THE EXISTING CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
 - 4. CITY OF VICTORIA FORCES SHALL SUPPLY AND INSTALL A 150mm CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
- WATER**
- 5. THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL 50mm DOMESTIC WATER c/w METER AND 100mm FIRE CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE AS PER CITY STANDARD #S02W.
 - ENSURE A MINIMUM 300mm HORIZONTAL CLEARANCE AND A 150mm VERTICAL CLEARANCE FROM TELUS DUCTS AND GAS MAIN.
- ROAD**
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.L.C.S. AT THE CONTRACTOR'S EXPENSE.
 - DRIVEWAY CROSSING AS PER CITY STANDARD SDC7A.
- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO PROPOSED BUILDING TO BE SERVED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 80 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.

LEGEND

[Symbol]	APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
[Symbol]	100mm THICK CONCRETE SIDEWALK 200mm THICK AT DRIVEWAY CROSSING
xxx-xx	PROPOSED ELEVATION
xxx-xx GU	PROPOSED GUTTER ELEVATION
xxx-xx TOC	PROPOSED TOP OF CURB ELEVATION
o	EXISTING GUTTER ELEVATION
[Symbol]	EXISTING TREE

WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	COMPANY NAME	SIGNATURE	DATE
HYDRO ELECTRIC CO.	Mike Dunham - BC Hydro	MD	Oct 19, 2018
TELEPHONE CO.	Wei Feng		Nov 14, 2018
GAS CO.	1021-1-1-1		Nov 15, 2018
CABLE CO.	Arnold May		
FIBRE OPTIC CO.			
UNDERGROUND UTILITIES			
TRANSPORTATION DESIGN & INFRASTRUCTURE			
LAND DEVELOPMENT			

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS.

LEGEND

WATER	W	GAS	G	EXISTING U/G UTIL.		MANHOLE	⊙	HYDRANT	⊕	MONUMENT	⊕
SEWER	S	CURB	C	PROPOSED U/G UTIL.		CLEANOUT	⊙	VALVE	⊕	LOT PIN	•
DRAIN	D	SIDEWALK	SW	LIGHT STANDARD	⊙	CATCH-BASIN	⊙	METER	⊕	LEAD PLUG	•
CATCH	C	EDGE PAVE.	EP	POWER POLE	⊙	ROAD SIGN	⊕	REDUCER	⊕		
CULVERT	C	BULWARK	B	ANCHOR	⊕						
HEADWALL	C	TREE	T								

REVISIONS

NO.	DESCRIPTION	DATE	SIGN.
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25.07.07	PC
9	REVISE BUILDING ELEVATION AND TRENCH DRAIN	24.05.03	PC
8	REVISED FOR BUILDING PERMIT	24.02.26	PC
7	REVISED WATER SERVICE	23.04.03	PC
6	REVISED WATER SERVICE LOCATION	23.03.27	PC

DESIGNED: BC/WR
DRAWN: WR/YY
DATE: JANUARY 2021
B.M.: OCM 18-20
ELEV.: 13.382
SCALE: Horiz. 1:200
Vert. 1:20

WESTBROOK Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

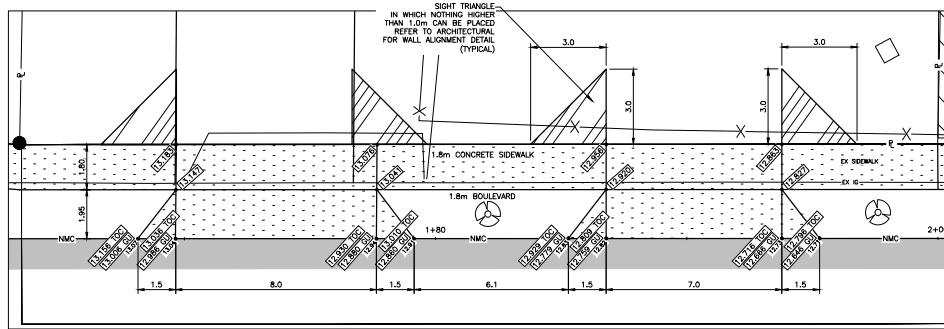
PROJECT: 235 RUSSELL STREET
SAKURA PROJECT MANAGEMENT

SITE SERVING PLAN

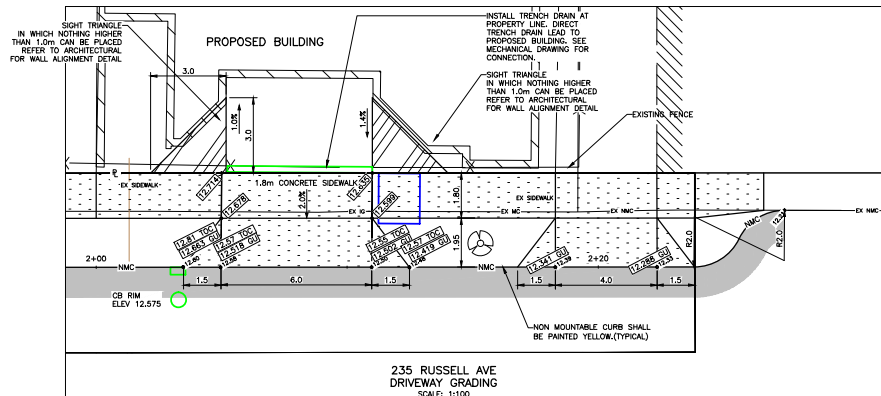
PROPOSED LOT 39, SECTION 31, PLAN 549, ESQUIMALT DISTRICT

1:200

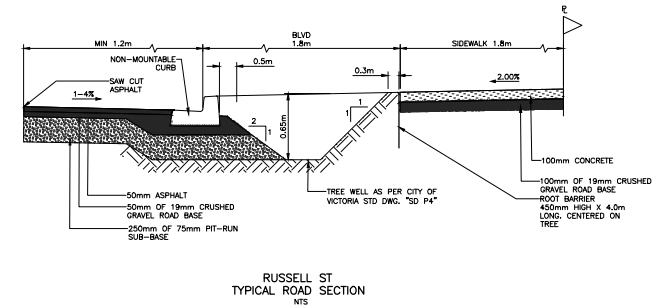
PROBROOK PROJECT No. 3340
GOVERNING AUTHORITY FILE No.
SHEET 1 OF 2
WESTBROOK DRAWING No. 334001



247 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



235 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



RUSSELL ST
TYPICAL ROAD SECTION
N/S

LEGEND	
	APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
	100mm THICK CONCRETE SIDEWALK
	200mm THICK CONCRETE SIDEWALK
	PROPOSED ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	PROPOSED TREE

1:200 0 4 12m

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND	
WATER	W
SEWER	S
DRAIN	D
DITCH	D
CULVERT	C
HEADWALL	H
GAS	G
CURB	C
SIDEWALK	S
EDGE PAVE.	E
BUSHLINE	B
TREE	T
EXISTING U/G UTIL.	U
PROPOSED U/G UTIL.	P
LIGHT STANDARD	L
POWER POLE	P
ANCHOR	A
MANHOLE	M
CLEANOUT	C
CATCHBASIN	C
ROAD SIGN	R
HYDRANT	H
VALVE	V
METER	M
REDUCER	R
MONUMENT	M
LOT PIN	P
LEAD PLUG	L

SEAL

REVISIONS	
NO.	DESCRIPTION
10	REVISE GUTTER ALIGNMENT AND ELEVATION
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN
8	REVISED FOR BUILDING PERMIT
7	REVISED WATER SERVICE
6	REVISED WATER SERVICE LOCATION
5	REVISED WATER SERVICE LOCATION
4	REVISED WATER SERVICE LOCATION
3	REVISED WATER SERVICE LOCATION
2	REVISED WATER SERVICE LOCATION
1	REVISED WATER SERVICE LOCATION

DESIGNED	BC
DRAWN	PC
CHECKED	PC
DATE	MARCH 2022
B.M.	OCM 18-20
ELEV.	13.392
SCALE	Horz. 1:200
Vert.	1:20

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PROJECT
247 RUSSELL STREET
SAKURA PROJECT MANAGEMENT
OFFSITE SIDEWALK PLAN

WESTBROOK PROJECT No.	3340
GOVERNING AUTHORITY FILE No.	
SHEET	2 OF 2
REV.	10
WESTBROOK DRAWING No.	3340-02