

PROJECT INFORMATION TABLE	
Zone (existing)	CR-3
Proposed zone or site specific zone If unsure, state "new zone"	NEW ZONE
Site area (m²)	1963 m²
Total floor area (m²)	3823 m²
Commercial floor area (m²)	693 m²
Floor space ratio	1.95:1
Site coverage (%)	75.0%
Open site space (%)	31.7%
Height of building (m)	15.58 m
Number of storeys	4
Parking stalls (number) on site	47 RESIDENTIAL , 11 COMMERCIAL
Bicycle parking number (Class 1 and Class 2)	48 CLASS 1, 11 CLASS 2
Building Setbacks (m) *	
Front yard	2.50 m (OAK BAY AVENUE)
Rear yard	7.71 m
Side yard (indicate which side)	0.15 m (WEST P.L.)
Side yard (indicate which side)	0.71 m (EAST P.L.)
Combined side yards	0.86 m
Residential Use Details	
Total number of units	35
Unit type, e.g., 1 bedroom	14 1BR, 15 2BR, 6 2BR+DEN / 3BR
Ground-orientated units	0
Minimum unit floor area (m²)	47 m²
Total residential floor area (m²)	2620 m²

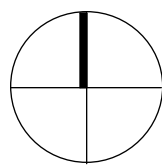
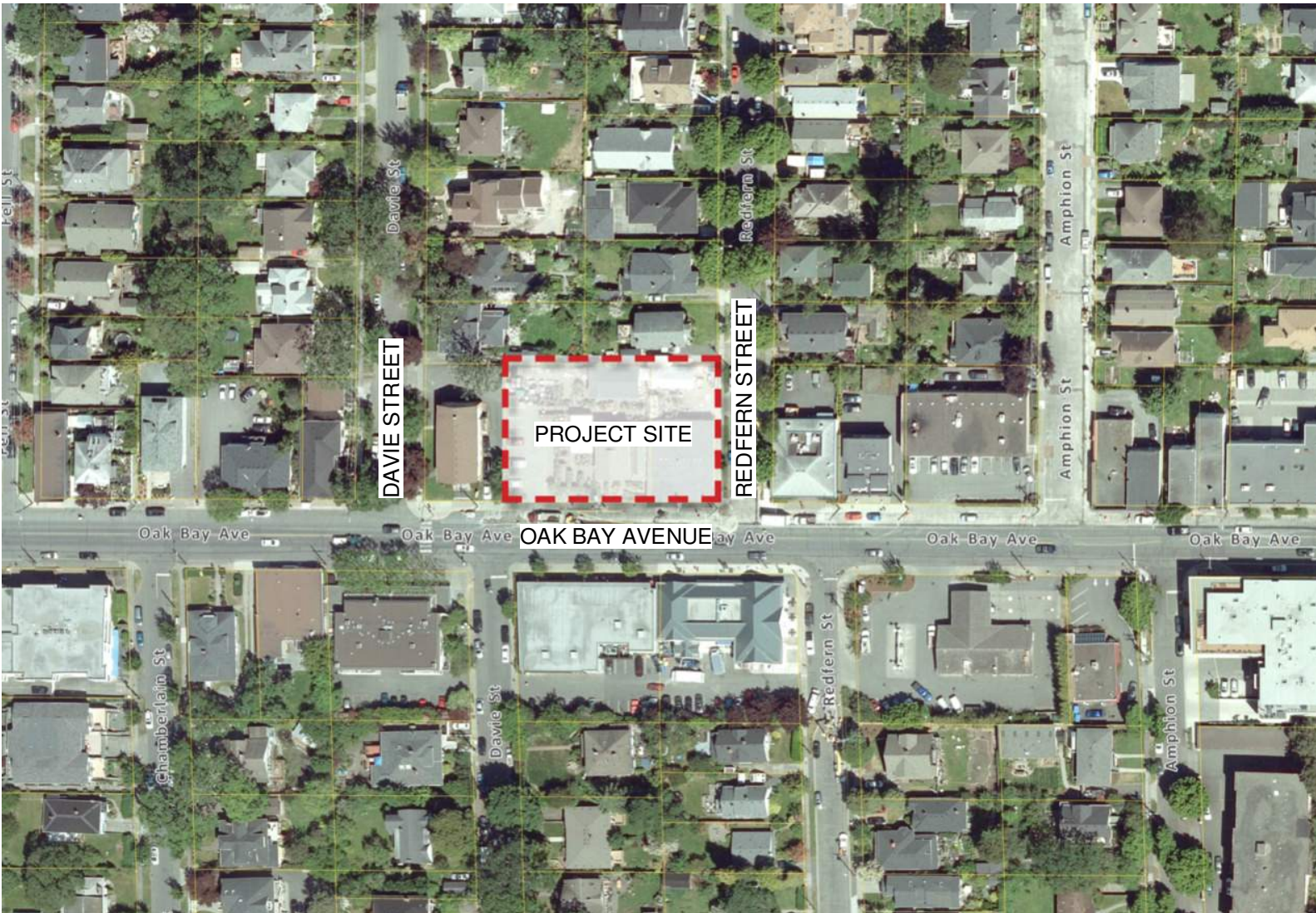
* MEASURED TO BUILDING FACE, EXCLUDES BALCONIES AND ROOF PROJECTIONS



OAK BAY AVENUE & REDFERN STREET CORNER PERSPECTIVE

DRAWING LIST

A0.00	Cover Sheet	A2.03	Third Floor Plan	L1.01	Landscape Materials
A1.00	Survey, Existing Site Plan, Average Grade	A2.04	Fourth Floor Plan	L1.02	Level 2 Landscape Materials & Planting Plan
A1.01	Code Analysis	A2.05	Roof Plan	L1.03	Stormwater Management
A1.02	Limiting Distance	A3.00	Elevations	L1.05	Planting Plan
A1.03	Overall Site Plan	A3.01	Context Elevations		
A1.04	Shadow Studies	A4.00	Building Sections	C1.01	Preliminary Servicing
A2.00	Parking Level Plan	A4.01	Context Sections		
A2.01	Ground Floor Plan	A9.00	Perspectives		
A2.02	Second Floor Plan	A9.01	Materials		



APPLICANT

JAWL RESIDENTIAL
3375 TENNYSON AVENUE
VICTORIA BC V8Z 3P6
250.475.7751

CONTACT:
PETER JAWL
pjawl@jawlresidential.com

PROJECT TEAM

ARCHITECT

CASCADIA ARCHITECTS
101-804 BROUGHTON STREET
VICTORIA BC V8W 1E4
250.590.3223

CONTACT:
PETER JOHANNKNECHT
peter@cascadiaarchitects.ca
GREGORY DAMANT
greg@cascadiaarchitects.ca

LANDSCAPE ARCHITECT

MURDOCH de GREEF INC.
200-524 CULDUTHEL ROAD
VICTORIA BC V8Z 1G1
250.412.2891

CONTACT:
SCOTT MURDOCH
scott@mdidesign.com

CIVIL ENGINEER

J.E. ANDERSON & ASSOCIATES
4212 GLANFORD AVENUE
VICTORIA BC V8Z 4B7
250.727.2214

CONTACT:
ROSS TUCK
rtuck@jeanderson.com

TRAFFIC CONSULTANT

URBAN SYSTEMS
312-645 FORT STREET
VICTORIA BC V8W 1G2
250.220.7060

CONTACT:
DANIEL CASEY
dcasey@urbansystems.ca

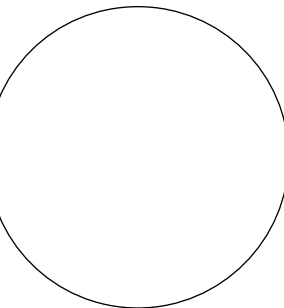


Original Submission

Received Date:
April 25, 2019

Jawl Residential

Project #	Date	Revision
1801	2019-04-24 8:52:56 AM	
Sheet #	A0.00	



CASCADIA ARCHITECTS INC

101-804 Broughton Street
Victoria BC V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca



Development Permit & Re-Zoning - 2019/04/25

BC LAND SURVEYORS SITE PLAN OF:

Civic: 1908 - 1920 Oak Bay Avenue

Legals: The Westerly 1/2 of Lot 13, Block 3, Section 76, Victoria District, Plan 273

Parcel Identifier: 001-005-003 is the City of Victoria

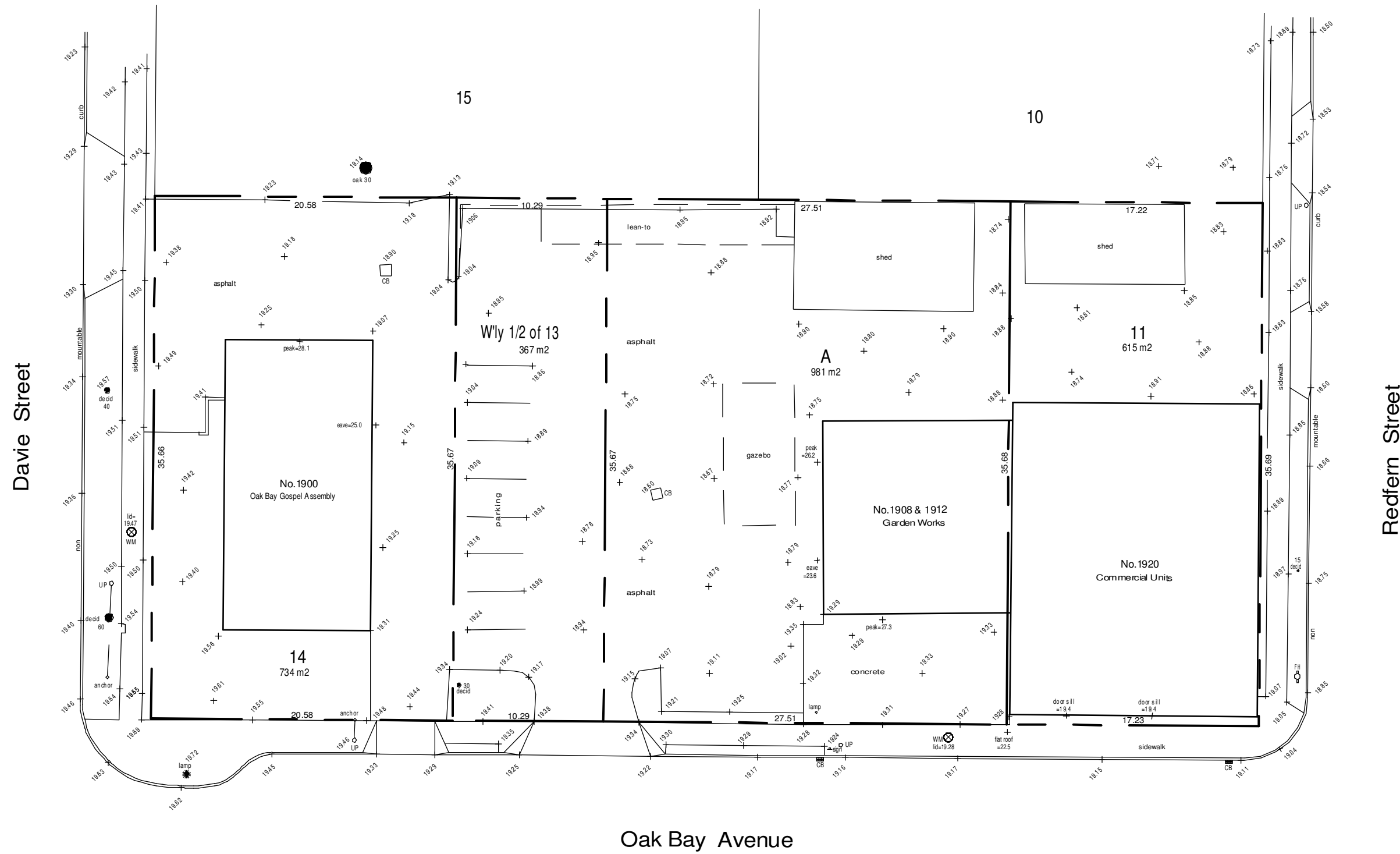
Lot A, Section 76, Victoria District, Plan 38854

Parcel Identifier: 000-807-718 is the City of Victoria

Lot 11, Block 3, Section 76, Victoria District, Plan 273

Parcel Identifier: 000-100-060 is the City of Victoria

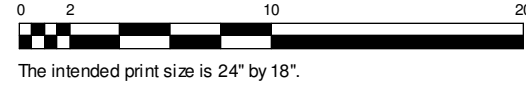
LEGEND
Elevations are to geosoid datum
+ - denotes - existing elevation
+ - denotes - Utility Pole
+ - denotes - Catch Basin
+ - denotes - Catch Basin
Tree diameters are in centimetres.



February 2, 2018

POWELL & ASSOCIATES
B.C. Land Surveyors
250-2500 Douglas Street
Victoria BC V8T 4M4
phone (250) 360-8855

Scale: 1:200 Distances are in metres.

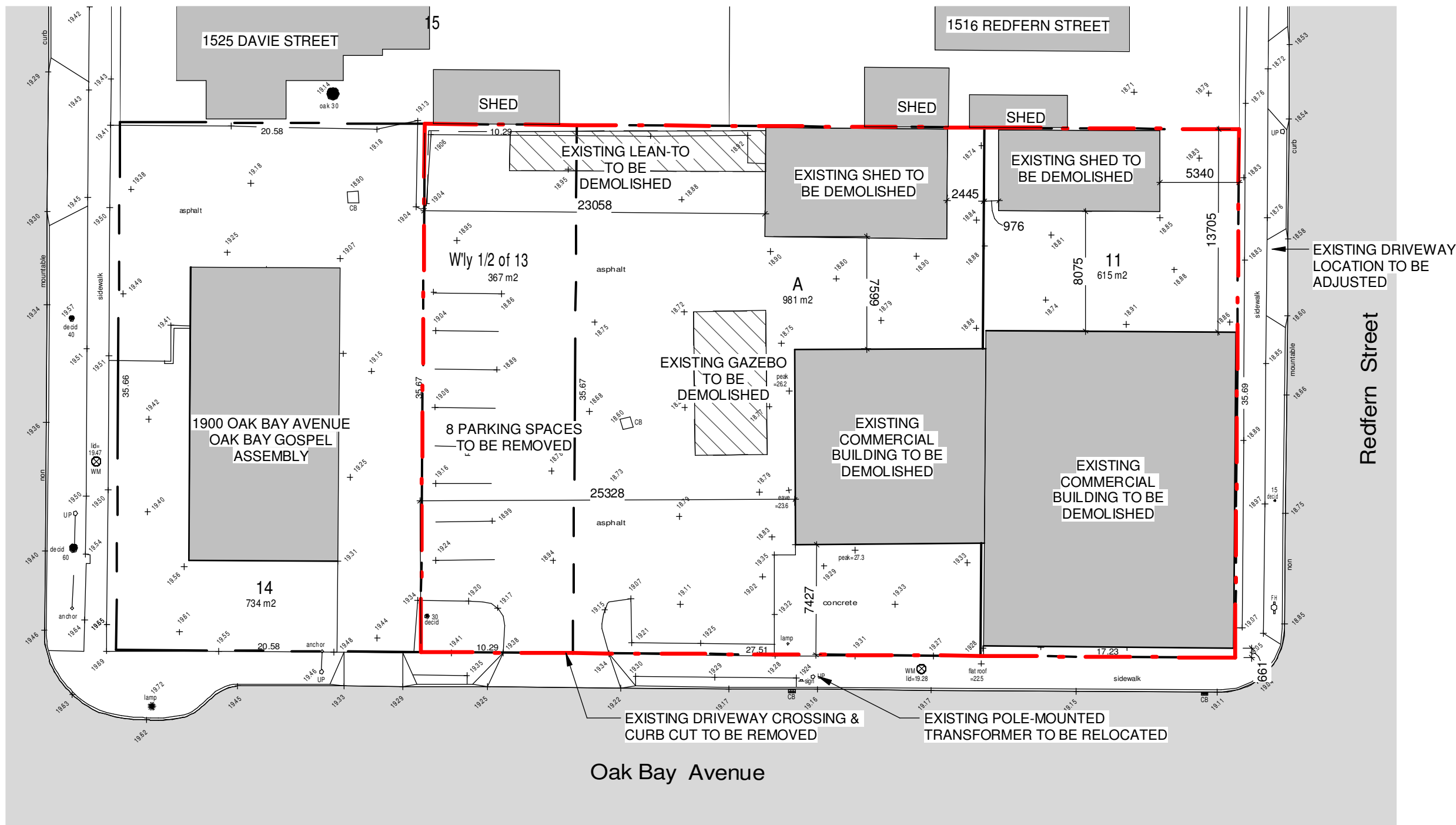


The intended print size is 24" by 18".

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

Setbacks are derived from field survey. Parcel dimensions shown hereon are derived from Land Title Office records.

1 Survey Plan
1 : 300



2 Existing Site Plan
1 : 300

AVERAGE GRADE CALCULATIONS

GRADE POINTS:

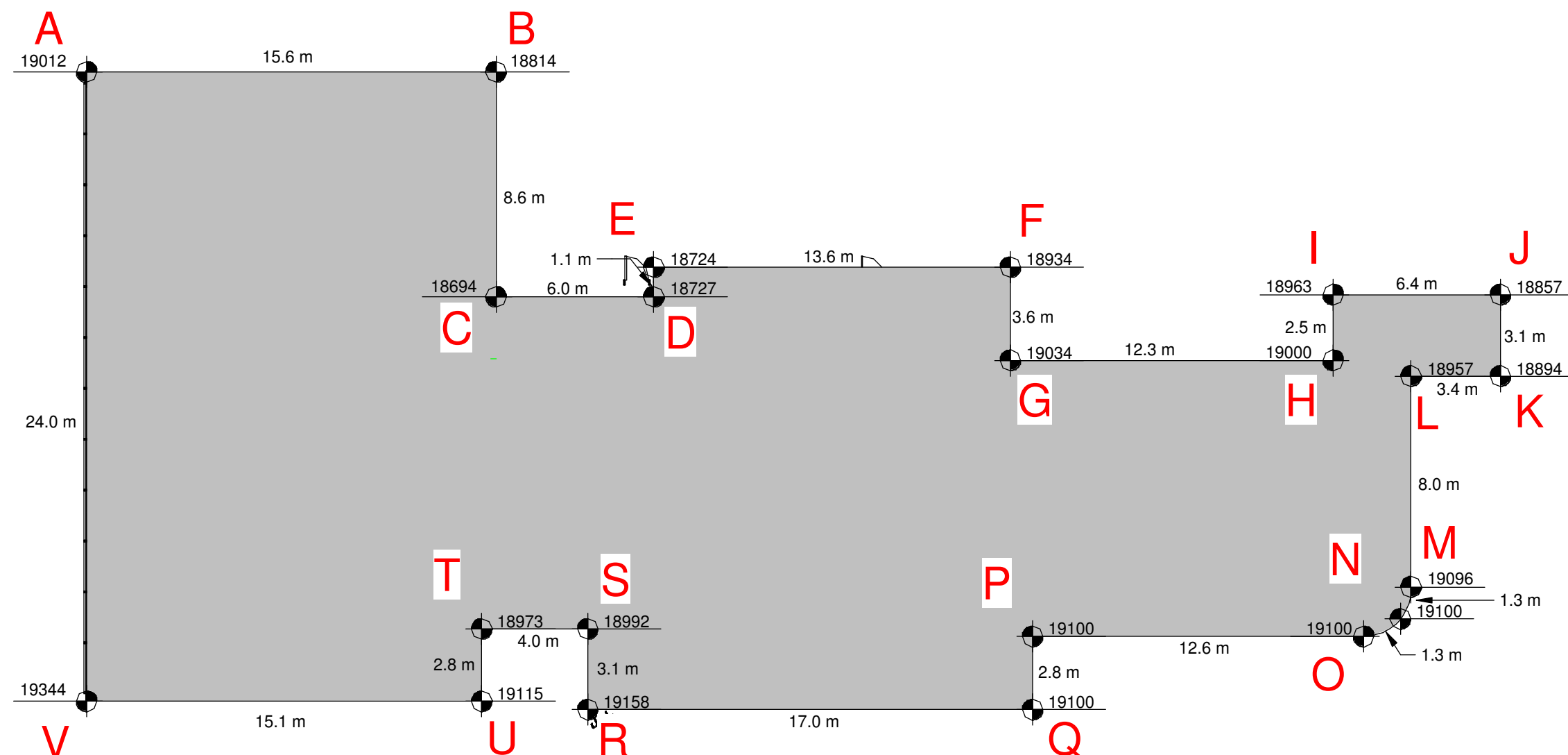
A: 19.012
B: 18.814
C: 18.694
D: 18.727
E: 18.724
F: 18.934
G: 19.034
H: 19.000
I: 18.963
J: 18.857
K: 18.894
L: 18.957
M: 19.096
N: 19.100
O: 19.100
P: 19.100
Q: 19.100
R: 19.158
S: 18.992
T: 18.973
U: 19.115
V: 19.344

GRADE POINTS:

A-B: ((19.012+18.814)÷2) x 15.6 =295.04
B-C: ((18.814+18.694)÷2) x 08.6 =161.28
C-D: ((18.694+18.727)÷2) x 06.0 =112.26
D-E: ((18.727+18.724)÷2) x 01.1 =20.60
E-F: ((18.724+18.934)÷2) x 13.6 =256.07
F-G: ((18.934+19.034)÷2) x 03.6 =68.34
G-H: ((19.034+19.000)÷2) x 12.3 =233.91
H-I: ((19.000+18.963)÷2) x 02.5 =47.45
I-J: ((18.963+18.857)÷2) x 06.4 =121.02
J-K: ((18.857+18.894)÷2) x 03.1 =58.51
K-L: ((18.894+18.957)÷2) x 03.4 =64.35
L-M: ((18.957+19.096)÷2) x 08.0 =152.21
M-N: ((19.096+19.100)÷2) x 01.3 =24.83
N-O: ((19.100+19.100)÷2) x 01.3 =24.83
O-P: ((19.100+19.100)÷2) x 12.6 =240.66
P-Q: ((19.100+19.100)÷2) x 02.8 =53.48
Q-R: ((19.100+19.158)÷2) x 17.0 =325.19
R-S: ((19.158+18.992)÷2) x 03.1 =59.13
S-T: ((18.992+18.973)÷2) x 04.0 =75.93
T-U: ((18.973+19.115)÷2) x 02.8 =53.32
U-V: ((19.115+19.344)÷2) x 15.1 =290.37
V-A: ((19.344+19.012)÷2) x 24.0 =460.27

168.3 3199.05

AVERAGE GRADE = 3199.5÷168.3 = 19.0



3 Average Grade Plan
1 : 200

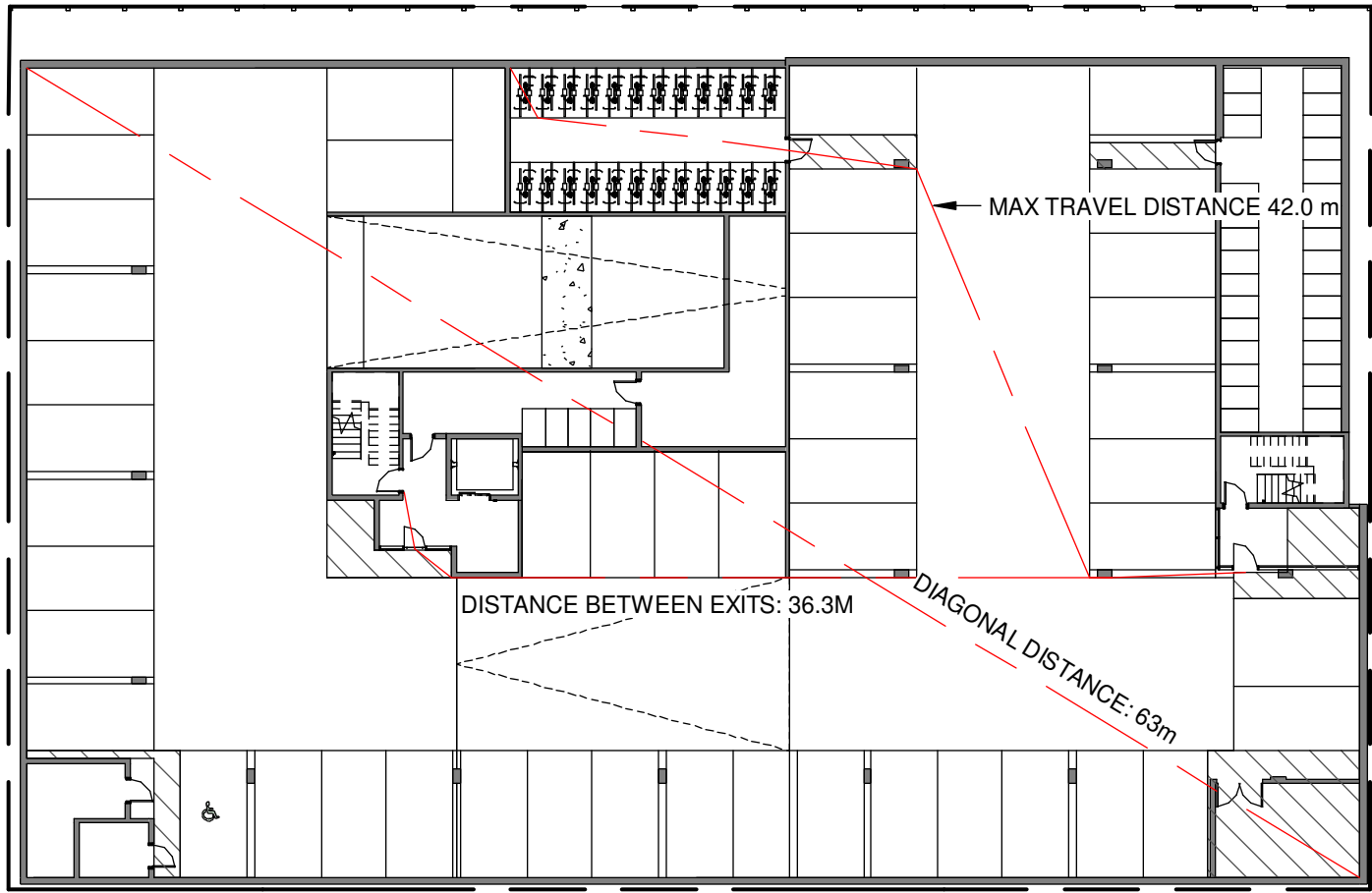
NO.	Re-Zoning & Development Permit	Date 1
	DESCRIPTION	DATE



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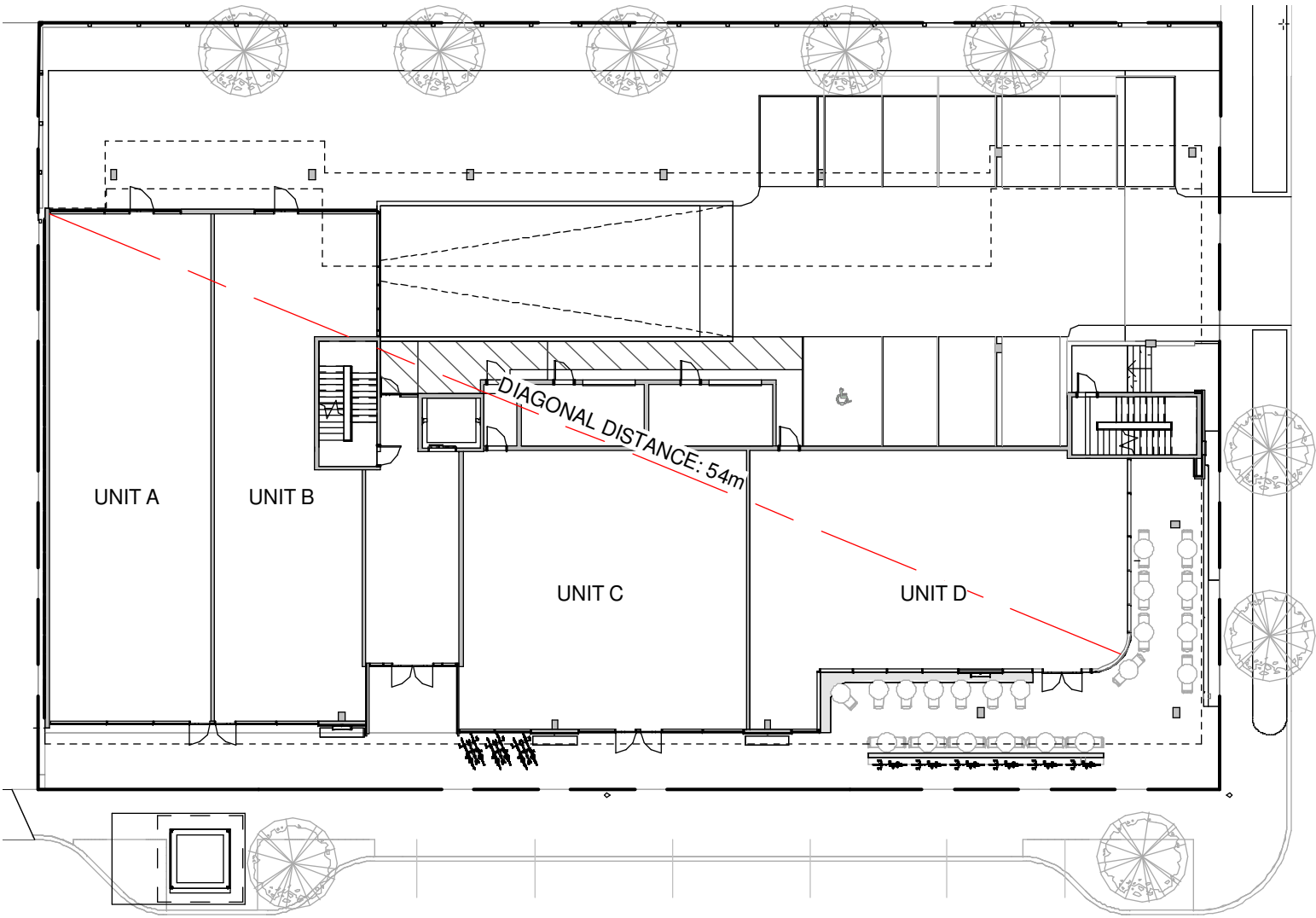
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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Survey, Existing Site Plan, Average Grade	
Date 2019/04/25	
Scale As indicated	Project # 1801
Revision Date 1 1	
Sheet # A1.00	



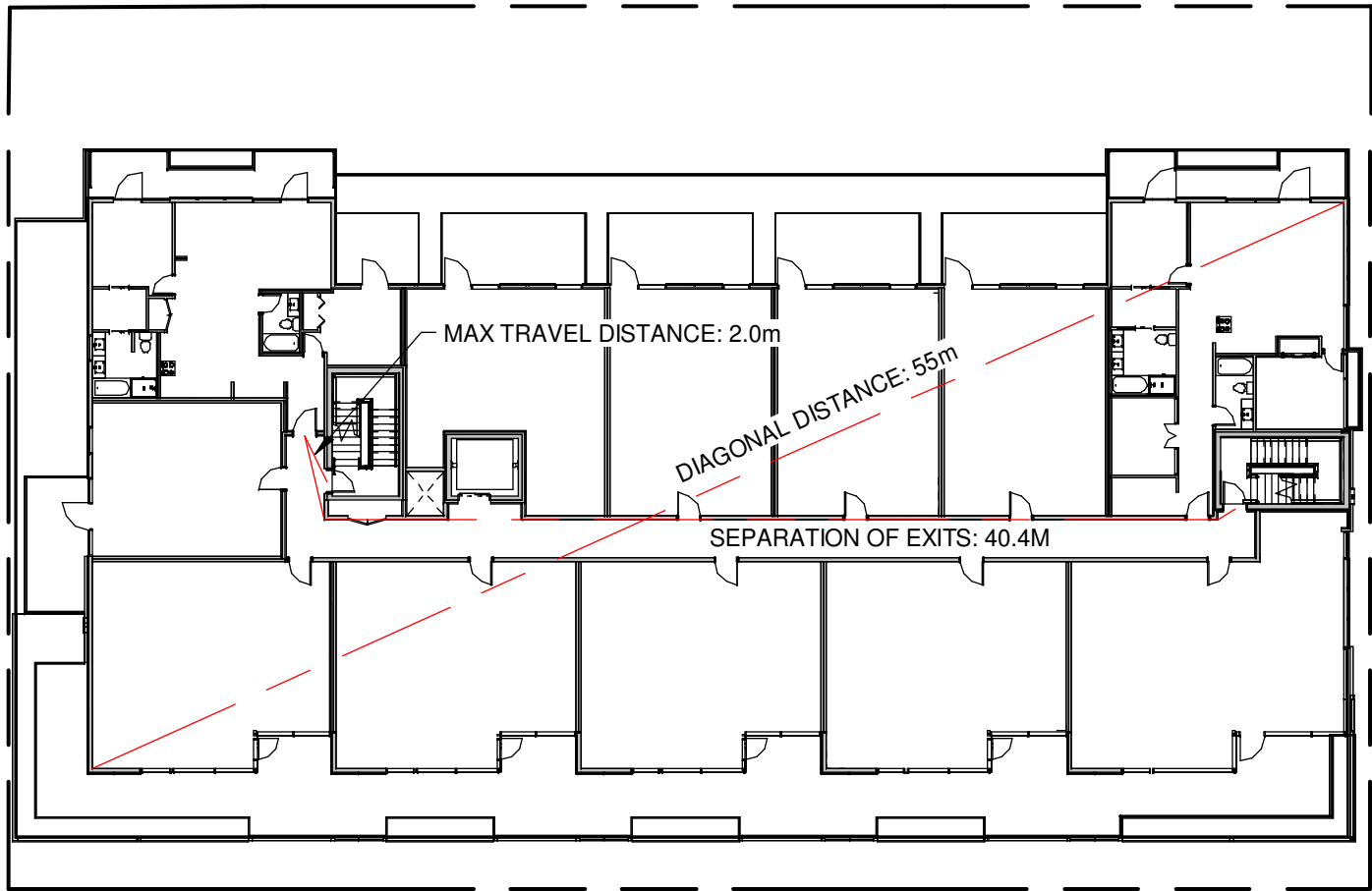
MIN. SEPARATION BETWEEN EXITS: 31.5 m
OCCUPANCY: GROUP F, DIVISION 3
OCCUPANT LOAD: 1799 m² / 46 m² PER PERSON = 40 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 59 = 244mm
STAIRS : 8mm/PERSON X 40 = 320mm

1 Parking Level - Code Plan
SCALE = 1 : 300



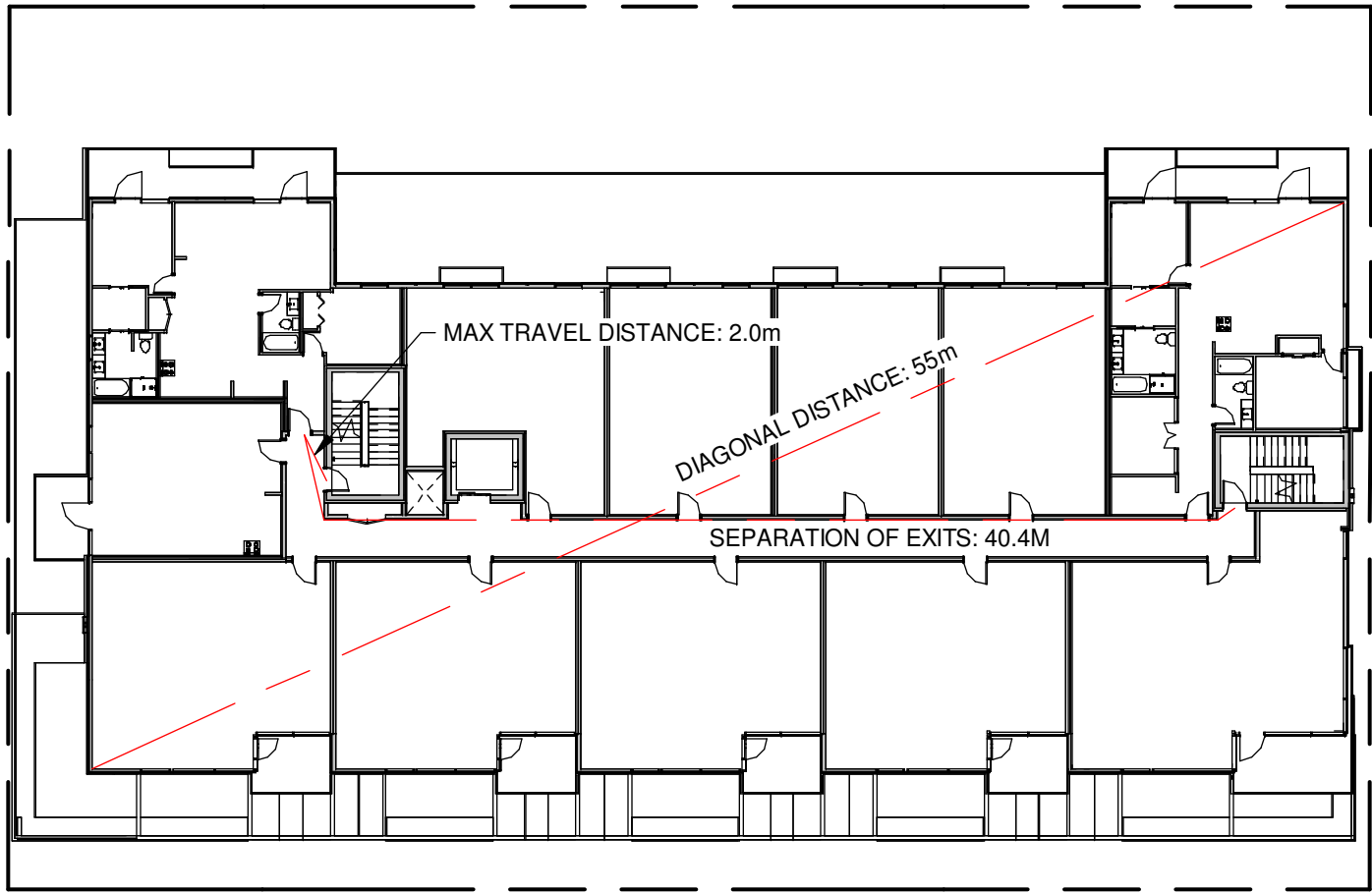
COMMERCIAL AREA
UNIT A
OCCUPANCY: GROUP E
OCCUPANT LOAD: 186 m² / 3.7 m² PER PERSON = 51 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 51 = 311mm
STAIRS : 8mm/PERSON X 51 = 408mm
UNIT B
OCCUPANCY: GROUP E
OCCUPANT LOAD: 159 m² / 3.7 m² PER PERSON = 43 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 43 = 262mm
STAIRS : 8mm/PERSON X 43 = 344mm
UNIT C
OCCUPANCY: GROUP E
OCCUPANT LOAD: 177 m² / 3.7 m² PER PERSON = 48 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 48 = 293mm
STAIRS : 8mm/PERSON X 48 = 384mm
UNIT D
OCCUPANCY: GROUP E
OCCUPANT LOAD: 194 m² / 3.7 m² PER PERSON = 53 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 53 = 323mm
STAIRS : 8mm/PERSON X 53 = 424mm

2 Ground Floor - Code Plan
SCALE = 1 : 300



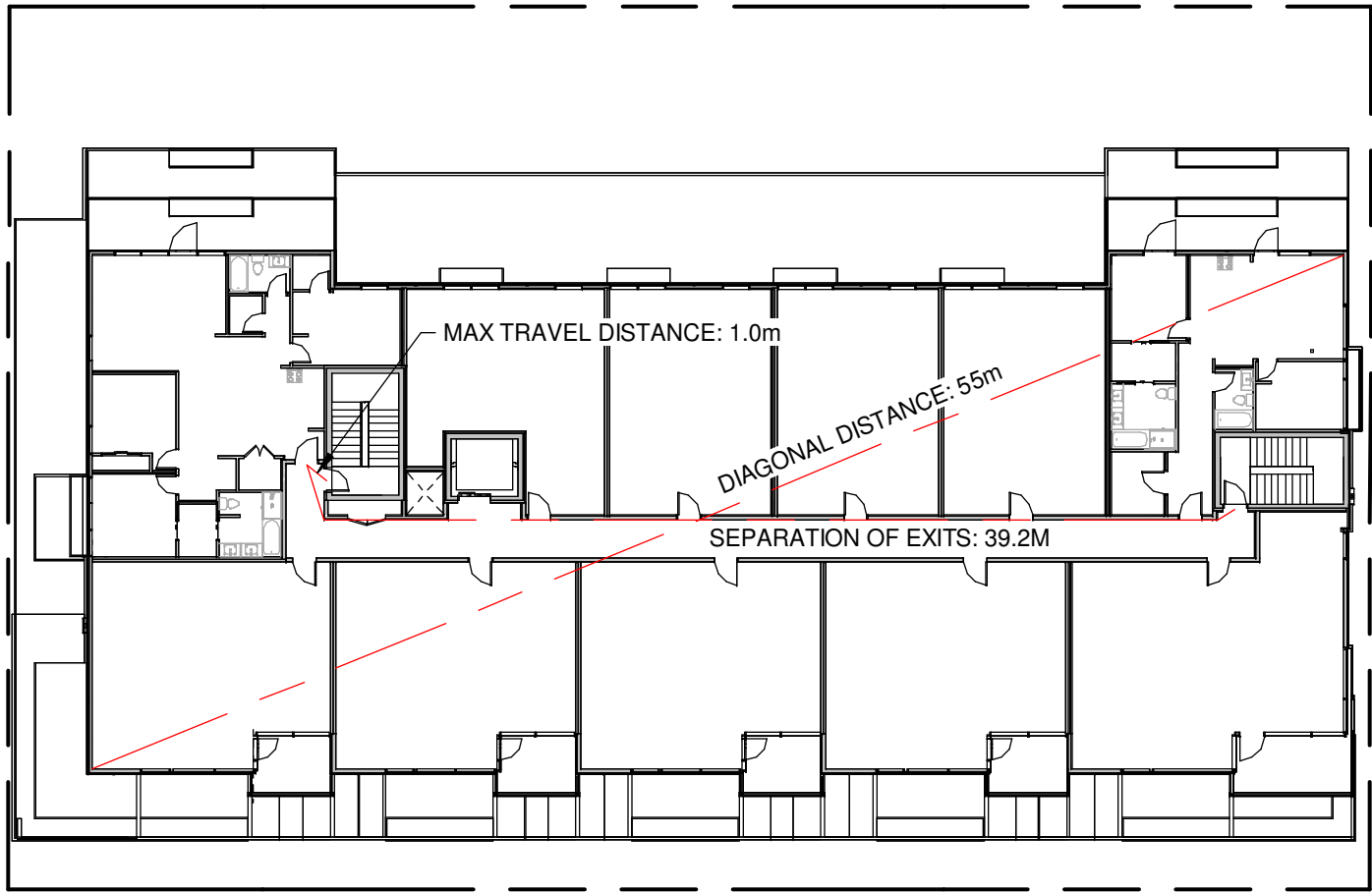
MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

3 Level 2 - Code Plan
SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

4 Level 3 - Code Plan
SCALE = 1 : 300



MIN. SEPARATION BETWEEN EXITS: 9 m
OCCUPANCY: GROUP C, RESIDENTIAL
OCCUPANT LOAD: 19 SLEEPING ROOMS X 2 PERSONS PER ROOM = 38 PERSONS
MIN. EXIT WIDTH
RAMPS, CORRIDORS & PASSAGEWAYS : 6.1mm/PERSON x 38 = 231mm
STAIRS : 8mm/PERSON X 38 = 304mm

5 Level 4 - Code Plan
SCALE = 1 : 300

BC BUILDING CODE 2018

3.1 GENERAL

3.1.2.1 OCCUPANCY CLASSIFICATION:

GROUP E: GROUND FLOOR LEVEL
GROUP C RESIDENTIAL OCCUPANCY: LEVEL 2-4
GROUP F, DIVISION 3: PARKING LEVEL

3.1.3 SEPARATION OF USES

F-C(STORAGE GARAGE) TO E REQUIRES 1.5HR F.R.R.
F-C TO C REQUIRES 1HR F.R.R.
C TO E REQUIRES A 2 HR F.R.R.

3.1.17 OCCUPANT LOAD

SEE A1.01

3.2 FIRE SAFETY

BUILDING AREA:
1196 m²

3.2.2 BUILDING SIZE AND CONSTRUCTION

3.2.2.50 GROUP C, UP TO 6 STORIES, SPRINKLERED
SPRINKLERED: YES

3.4 EXITS

3.4.2.1 MINIMUM NUMBER OF EXITS: 2 PER FLOOR

3.4.2.5 DISTANCE BETWEEN EXITS: SEE A1.01

3.4.2.5 LOCATION OF EXITS

MAX TRAVEL PERMITTED (RESIDENTIAL) : 30m
MAX TRAVEL PERMITTED (F3 USE) : 45m

3.7 HEALTH REQUIREMENTS

NUMBER OF REQUIRED WASHROOMS : T.B.D.

3.8 REQUIREMENTS FOR PERSONS WITH DISABILITIES

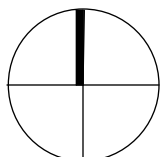
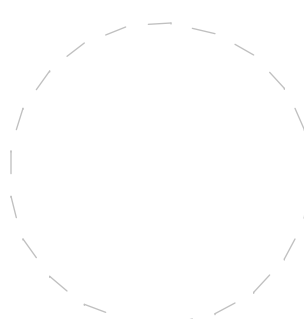

T.B.D.

I	Re-Zoning & Development Permit	Date 1
NO.	DESCRIPTION	DATE



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Project		
		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Code Analysis		
Date		
2019/04/25		
Scale	Project #	
1 : 300	1801	
		Revision
		Date 1
		
Sheet #		
		A1.01

GROUP E OCCUPANCY

LIMITING DISTANCE: 11.5 m
EXPOSING BUILDING FACE: 67 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



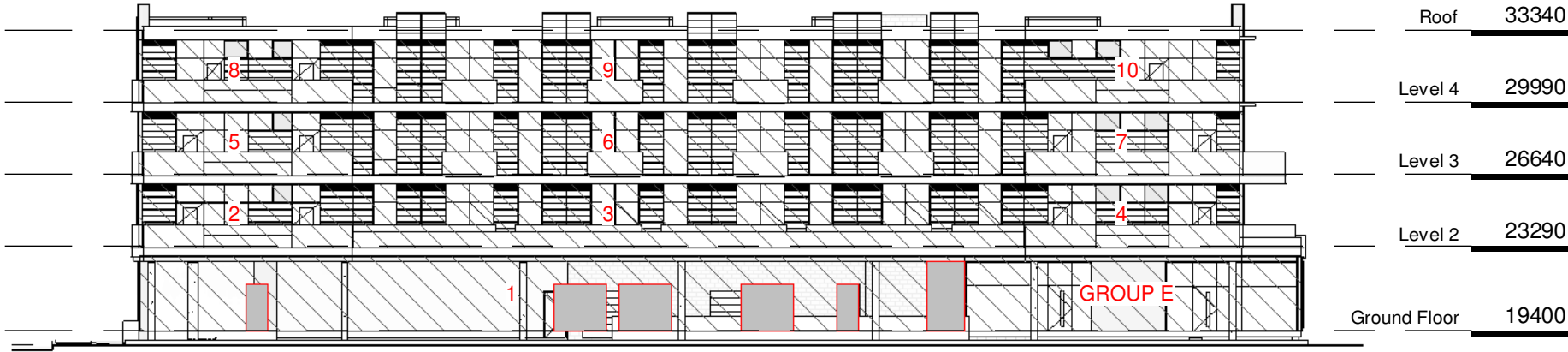
1 East Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

LIMITING DISTANCE: 8.7 m
EXPOSING BUILDING FACE: 55 m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%

GROUP C OCCUPANCY

SEE TABLE



2 North Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

SEE TABLE

GROUP C OCCUPANCY

LIMITING DISTANCE: 13.8 m
EXPOSING BUILDING FACE: 150+ m²
MAXIMUM AREA OF UNPROTECTED OPENINGS: 100%



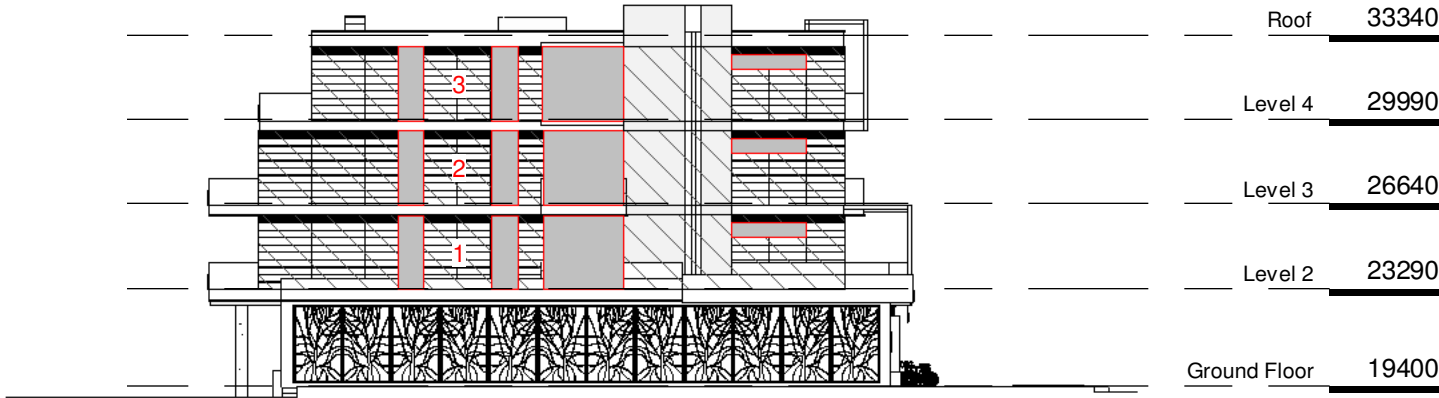
3 South Elevation - Limiting Distance
SCALE = 1 : 300

GROUP E OCCUPANCY

N/A

GROUP C OCCUPANCY

SEE TABLE



4 West Elevation - Limiting Distance
SCALE = 1 : 300

EAST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	8.2 m	69 m²	100%
2	8.2 m	69m²	100%
3	8.2 m	63m²	100%

NORTH ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	16.2 m	134 m²	100%
2	7.7 m	29 m²	100%
3	11.3 m	92 m²	100%
4	7.7 m	30 m²	100%
5	7.7 m	29 m²	100%
6	11.3 m	92 m²	100%
7	7.7 m	30 m²	100%
8	9.8 m	29 m²	100%
9	11.3 m	92 m²	100%
10	9.8 m	30 m²	100%

SOUTH ELEVATION - GROUP E OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING
1	12.1 m	52 m²	100%
2	11.8 m	47m²	100%
3	11.8 m	67m²	100%

WEST ELEVATION - GROUP C OCCUPANCY

BUILDING COMPARTMENT	LIMITING DISTANCE	AREA OF EXPOSING FACE	MAXIMUM % OPENING	PROPOSED AREA OF OPENING	PROPOSED % OPENING
1	3.2 m	69 m²	33%	17.5 m²	25%
2	3.2 m	69 m²	33%	17.5 m²	25%
3	3.2 m	63 m²	34%	17.5 m²	28%

NO.	Re-Zoning & Development Permit DESCRIPTION	Date 1 DATE
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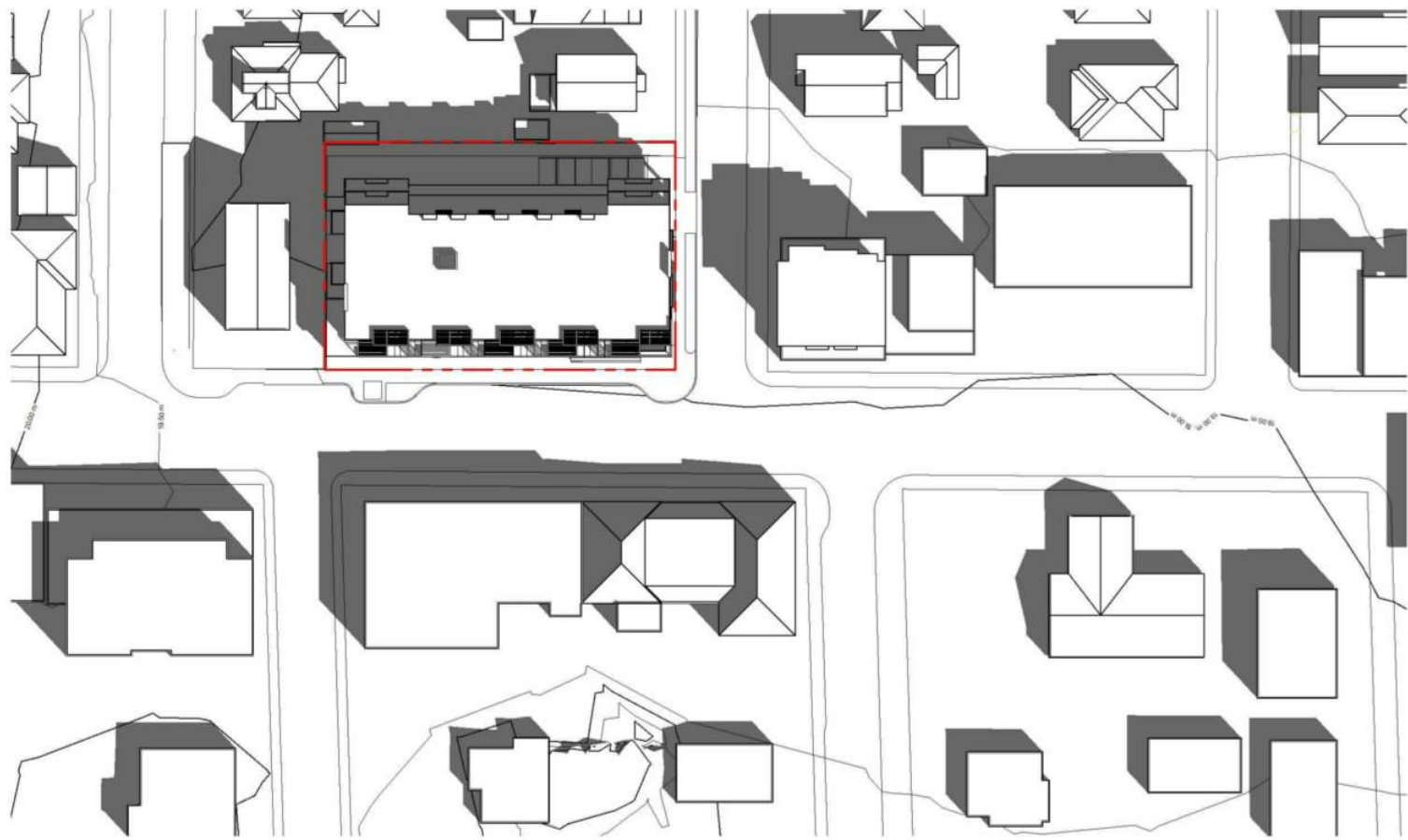
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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name Limiting Distance	
Date 2019/04/25	
Scale 1 : 300	Project # 1801
	Revision Date 1 1
	Sheet # A1.02

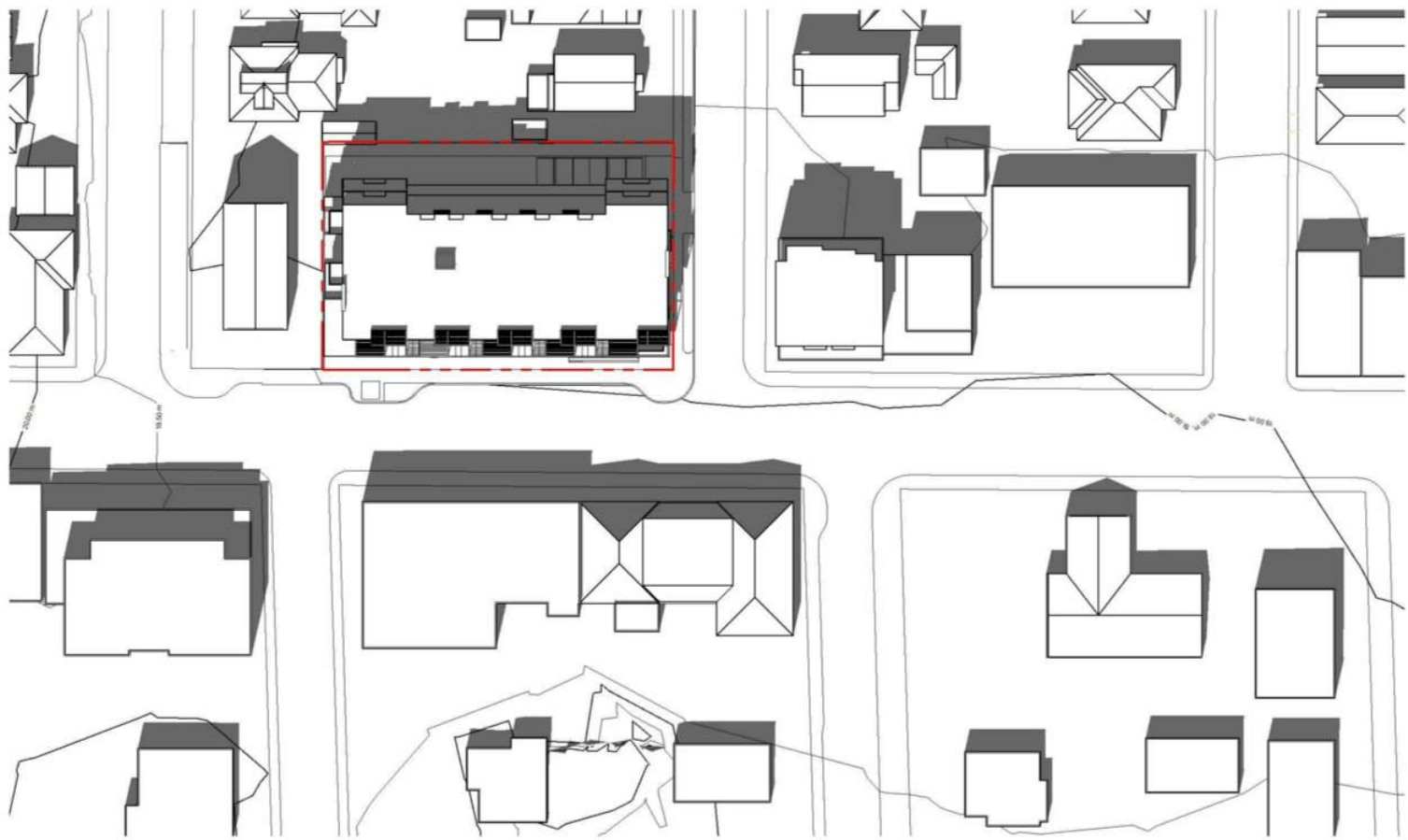


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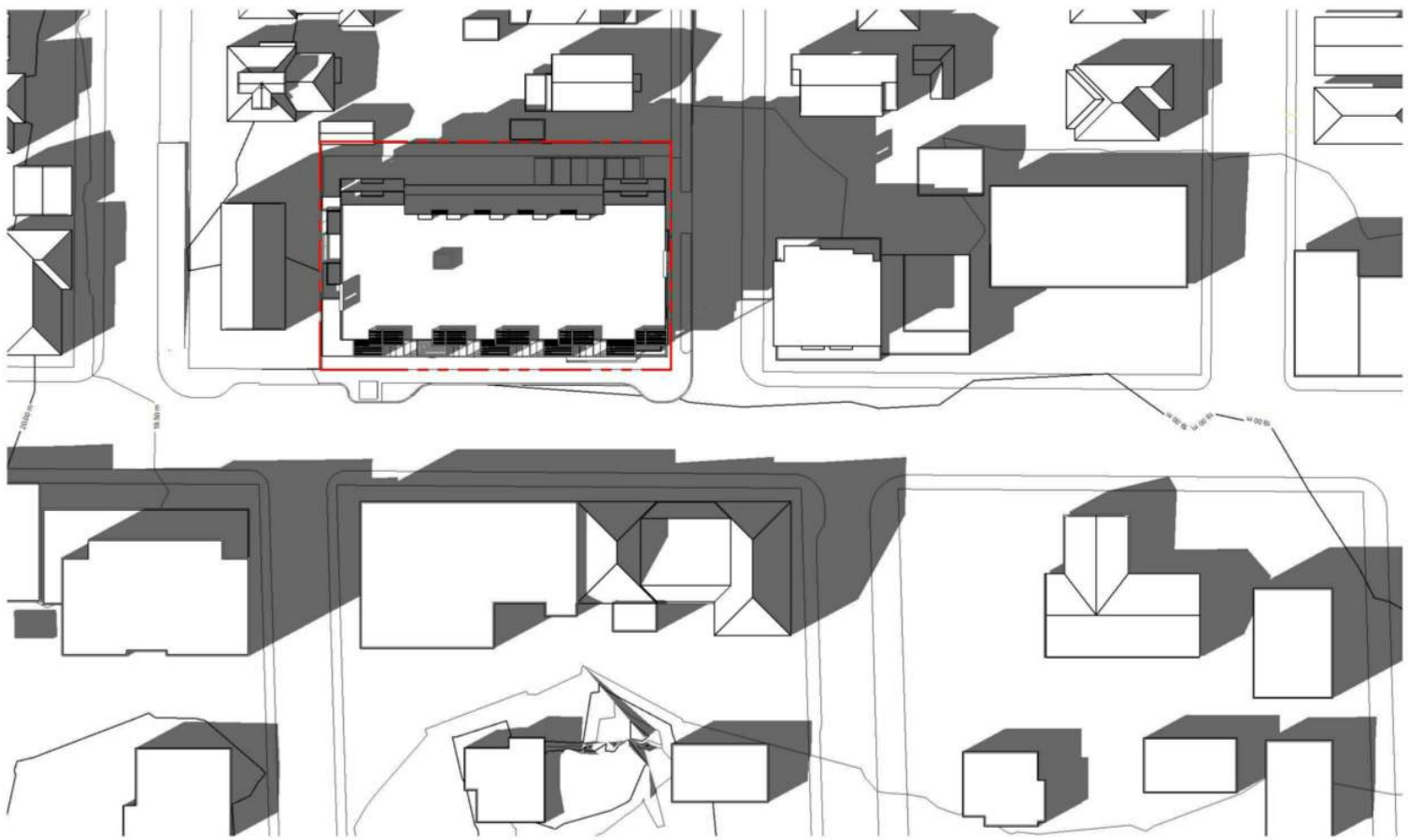
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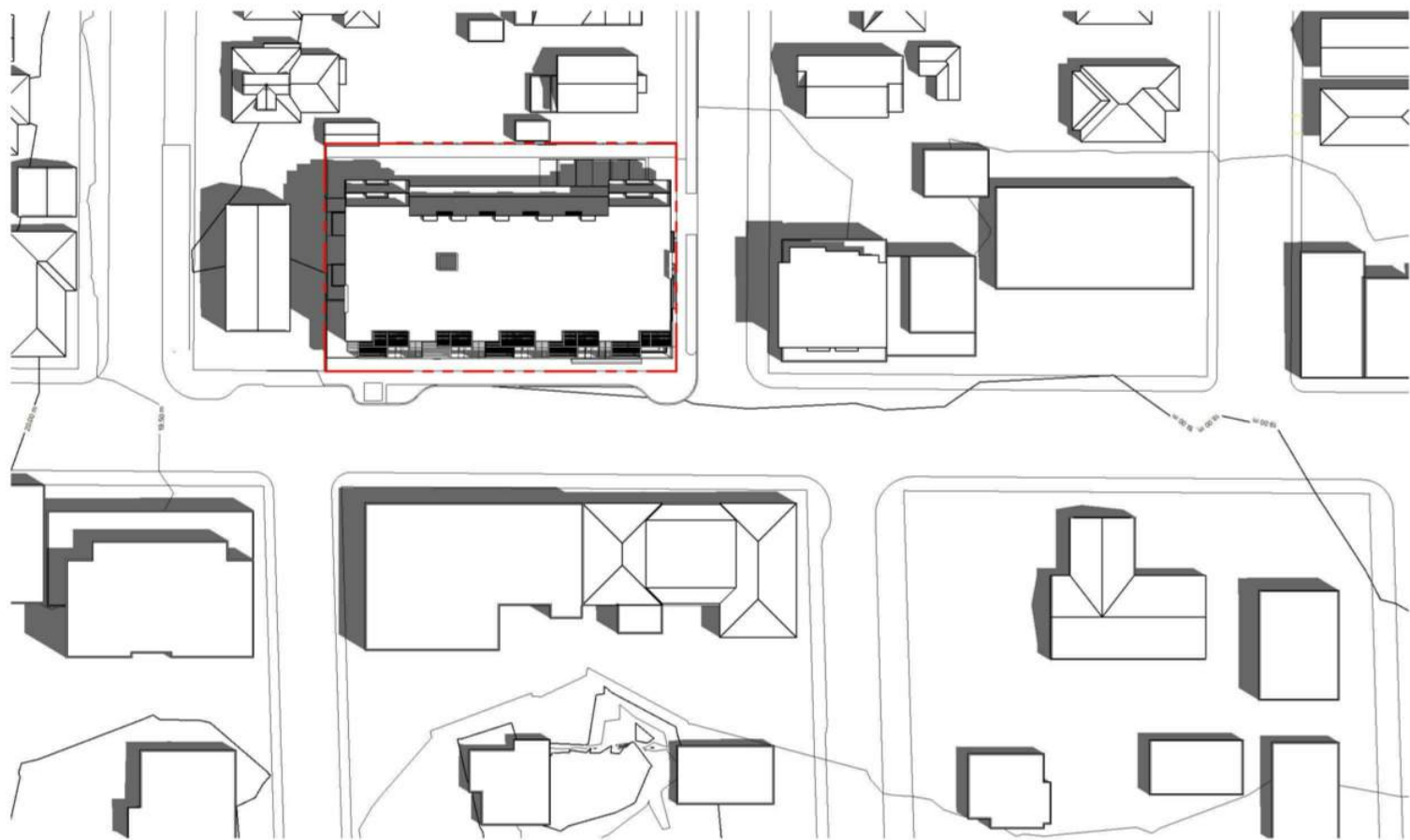
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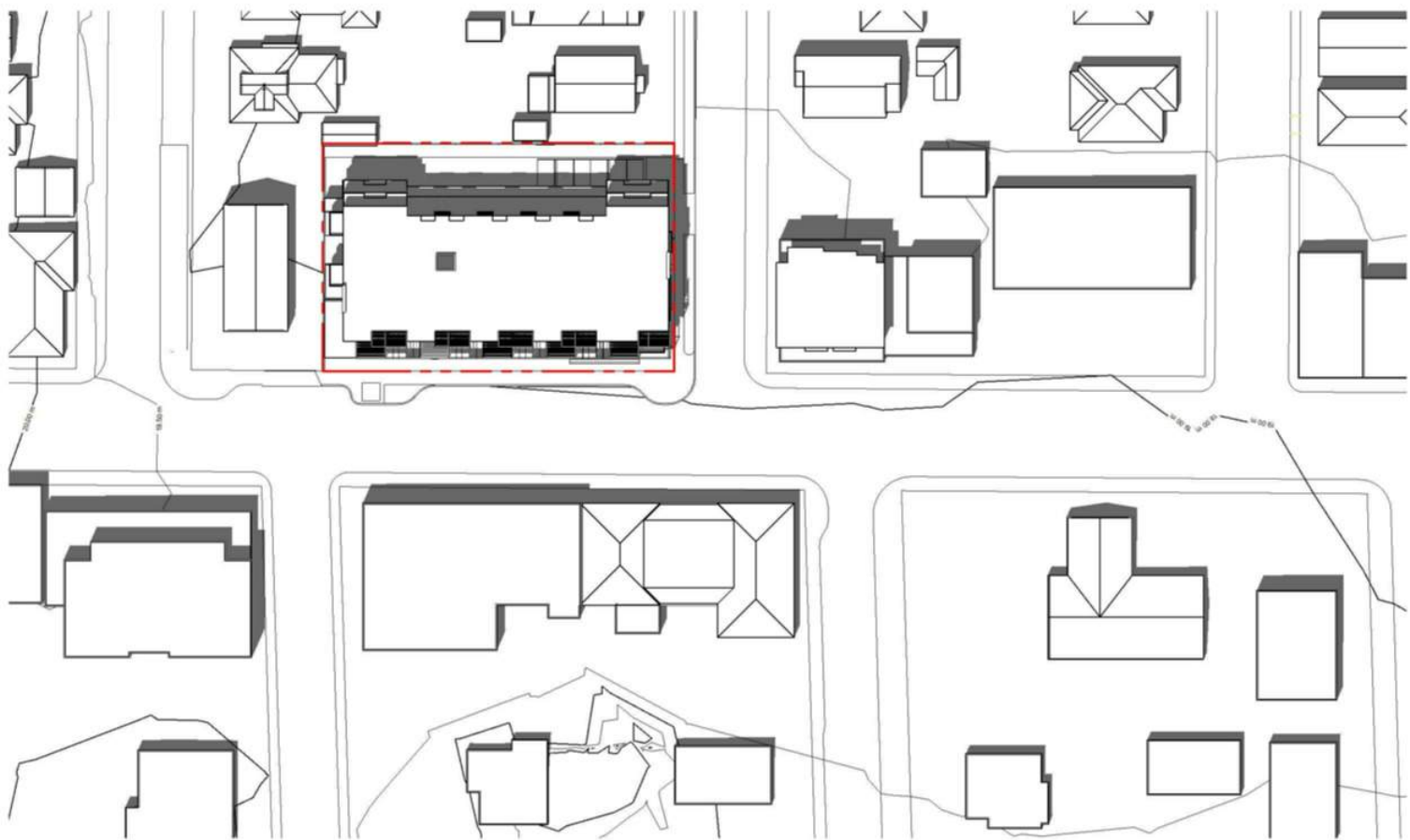
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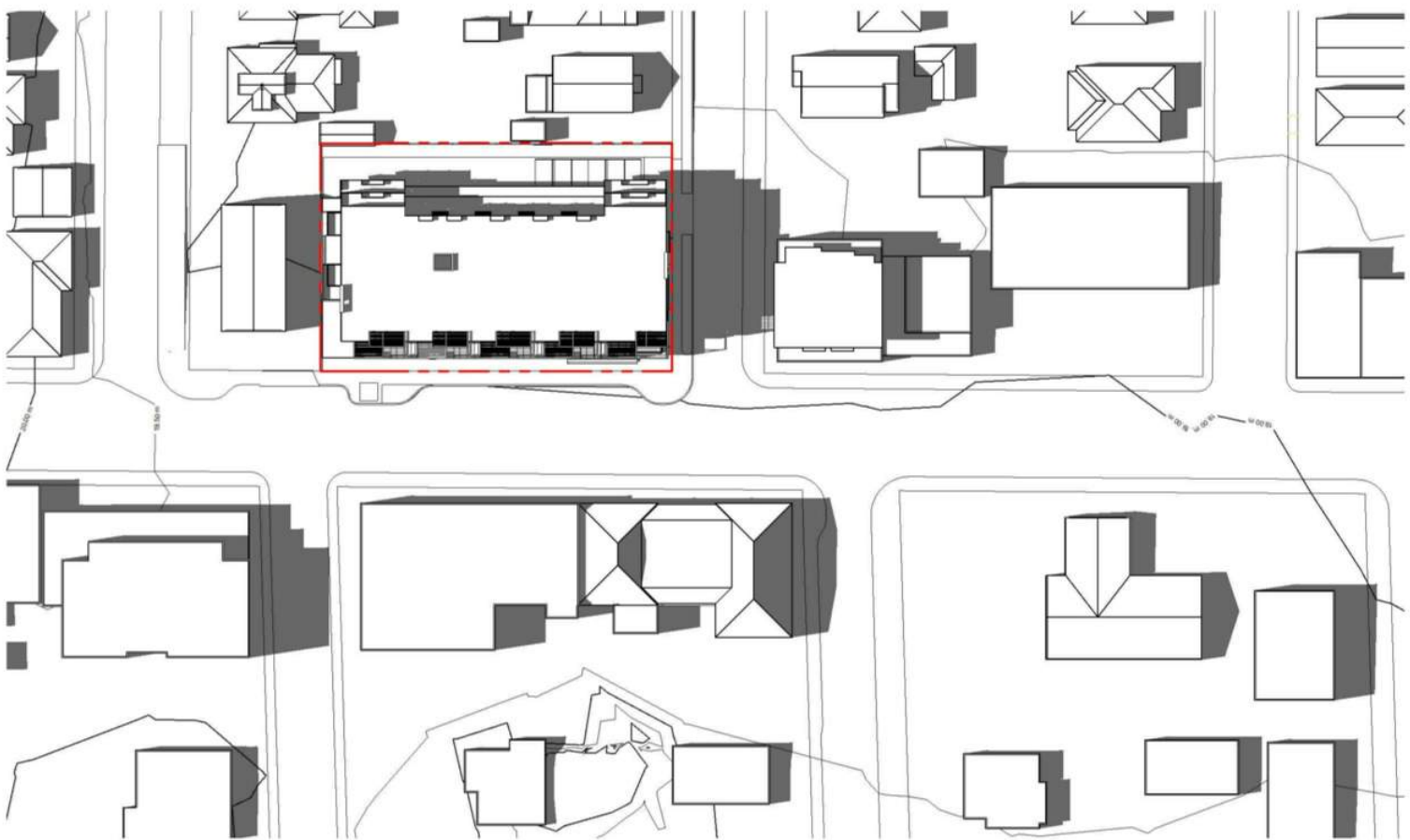
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SUMMER - 10 AM



SUMMER - 1 PM



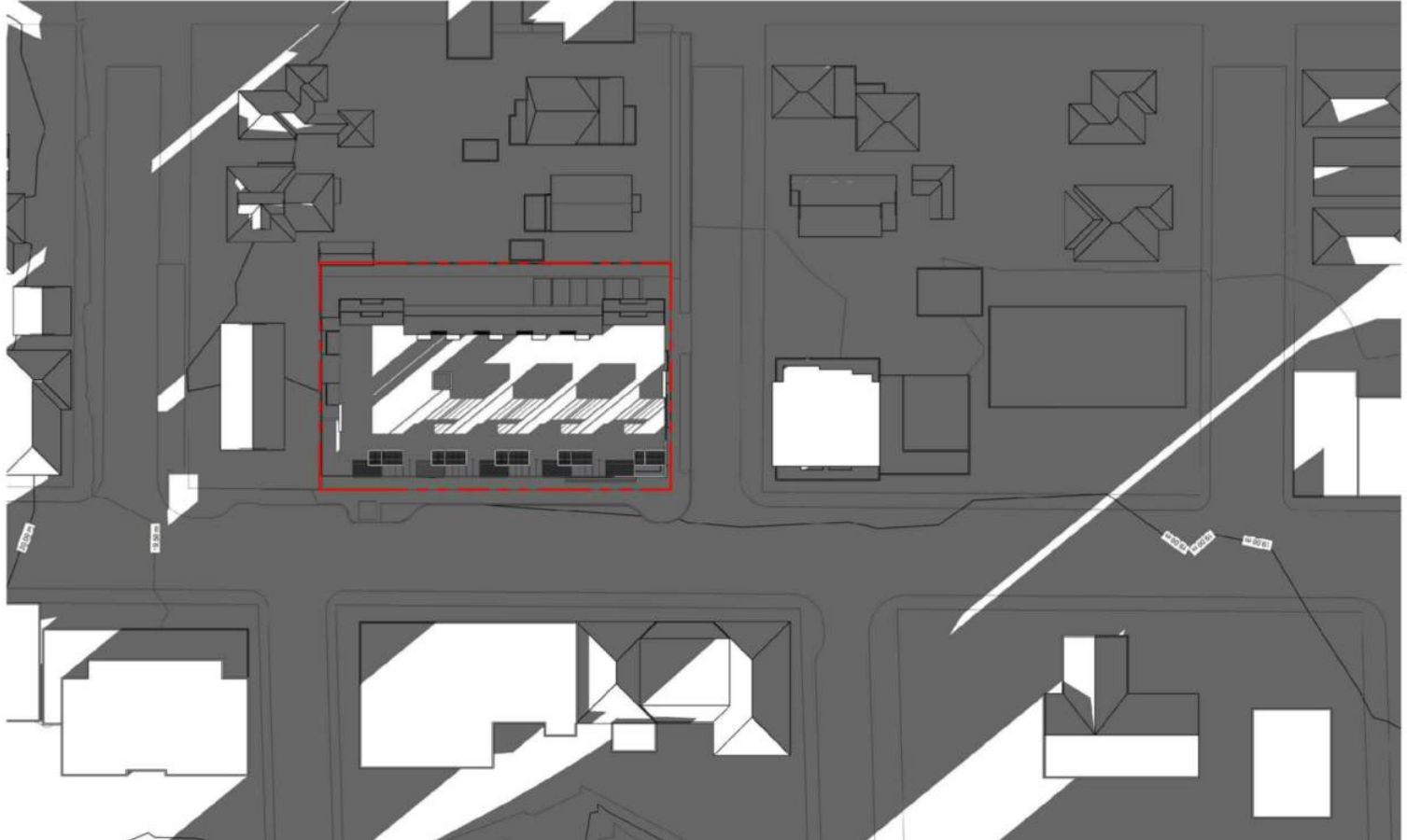
SUMMER - 4 PM



WINTER - 10 AM



WINTER - 1 PM



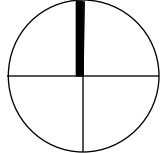
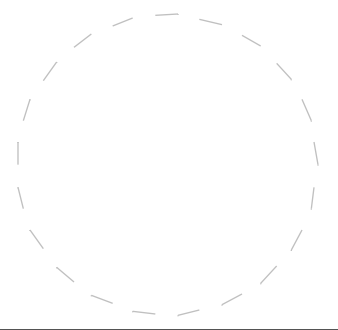
WINTER - 4 PM

NO.	Re-Zoning & Development Permitt	Date 1
	DESCRIPTION	DATE




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Project	
	Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC
Sheet Name	
Shadow Studies	
Date	
2019/04/25	
Scale	Project #
	1801
	Revision
	Date 1
	1
Sheet #	
A1.04	



Project



Jawl Residential

1920 Oak Bay Ave.
Oak Bay, BC

Parking Level Plan

2019/04/25

Scale	1 : 100
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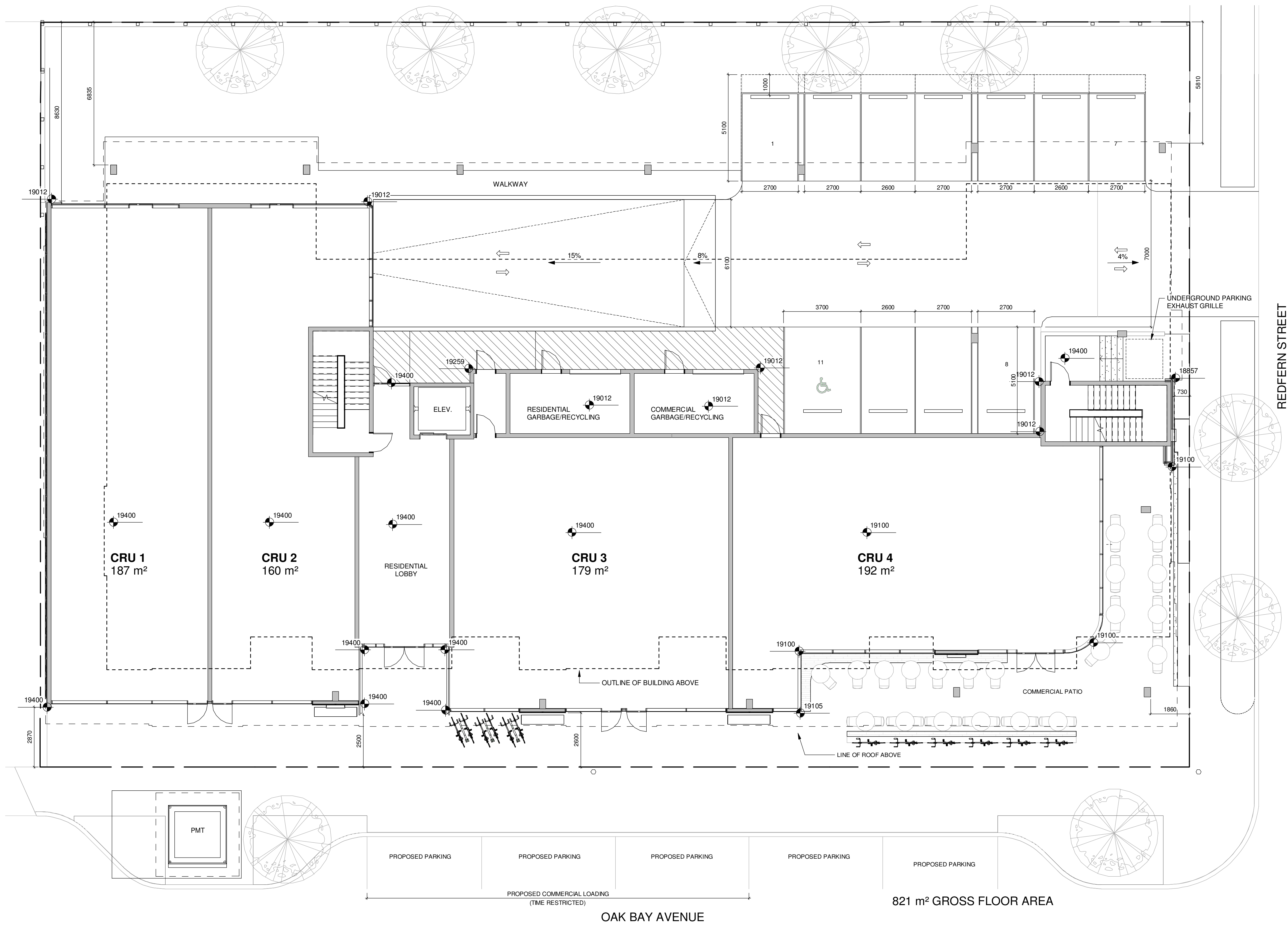
1801

revision

ate 1

Sheet #

A2.00



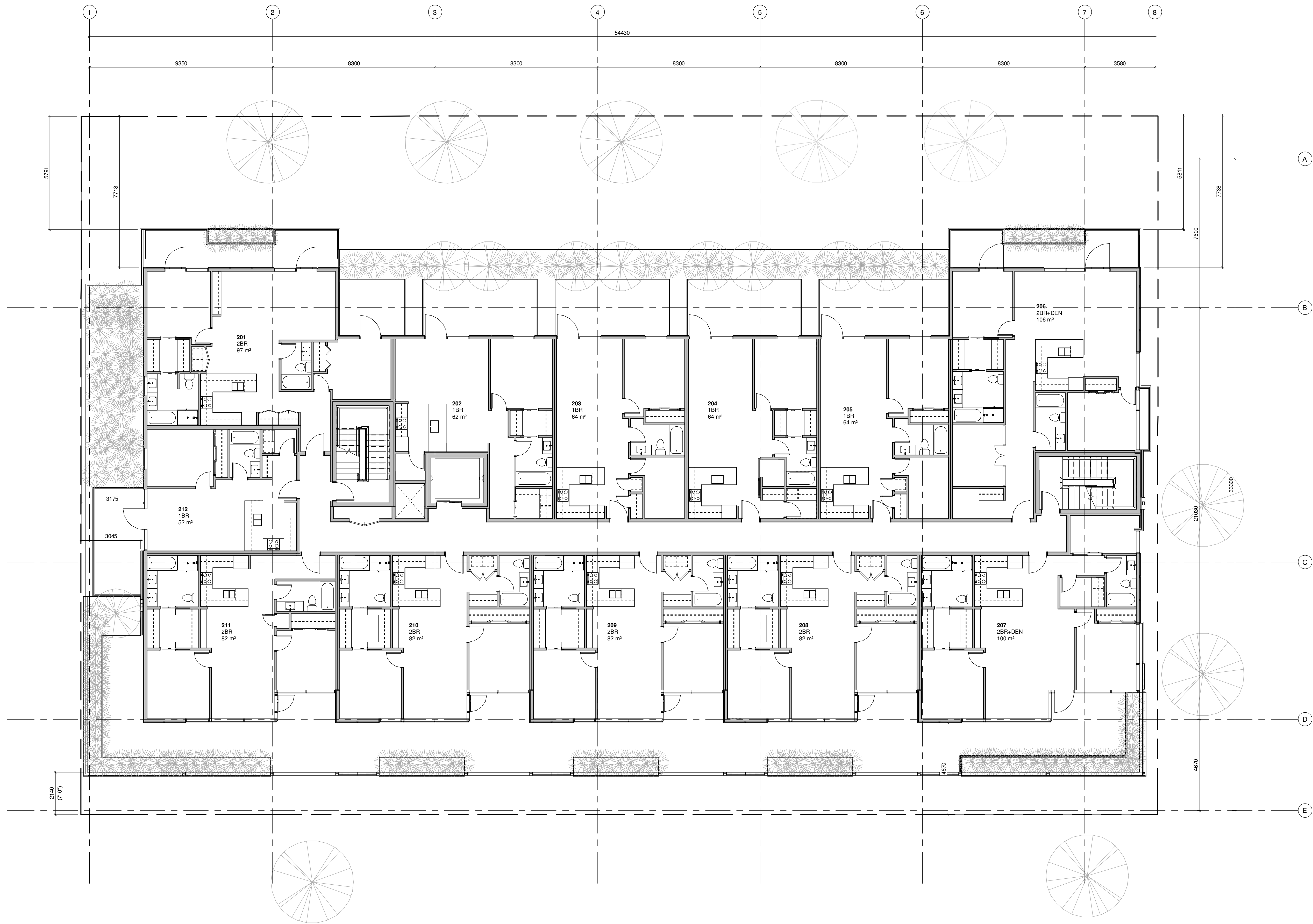
NO.	Re-Zoning & Development Permit	Date 1
	DESCRIPTION	DATE



CASCADIA ARCHITECTS INC

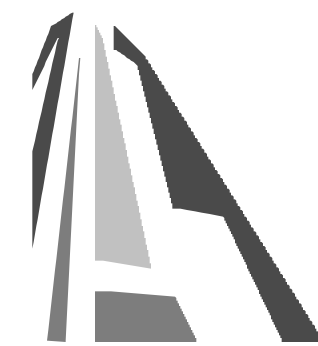
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Project		
<div></div> <div>Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC</div>		
Sheet Name		
Ground Floor Plan		
Date		
2019/04/25		
Scale	Project #	
1 : 100	1801	
Revision		<div></div>
Date 1		
Sheet #		
		A2.01



1014 m² GROSS FLOOR AREA

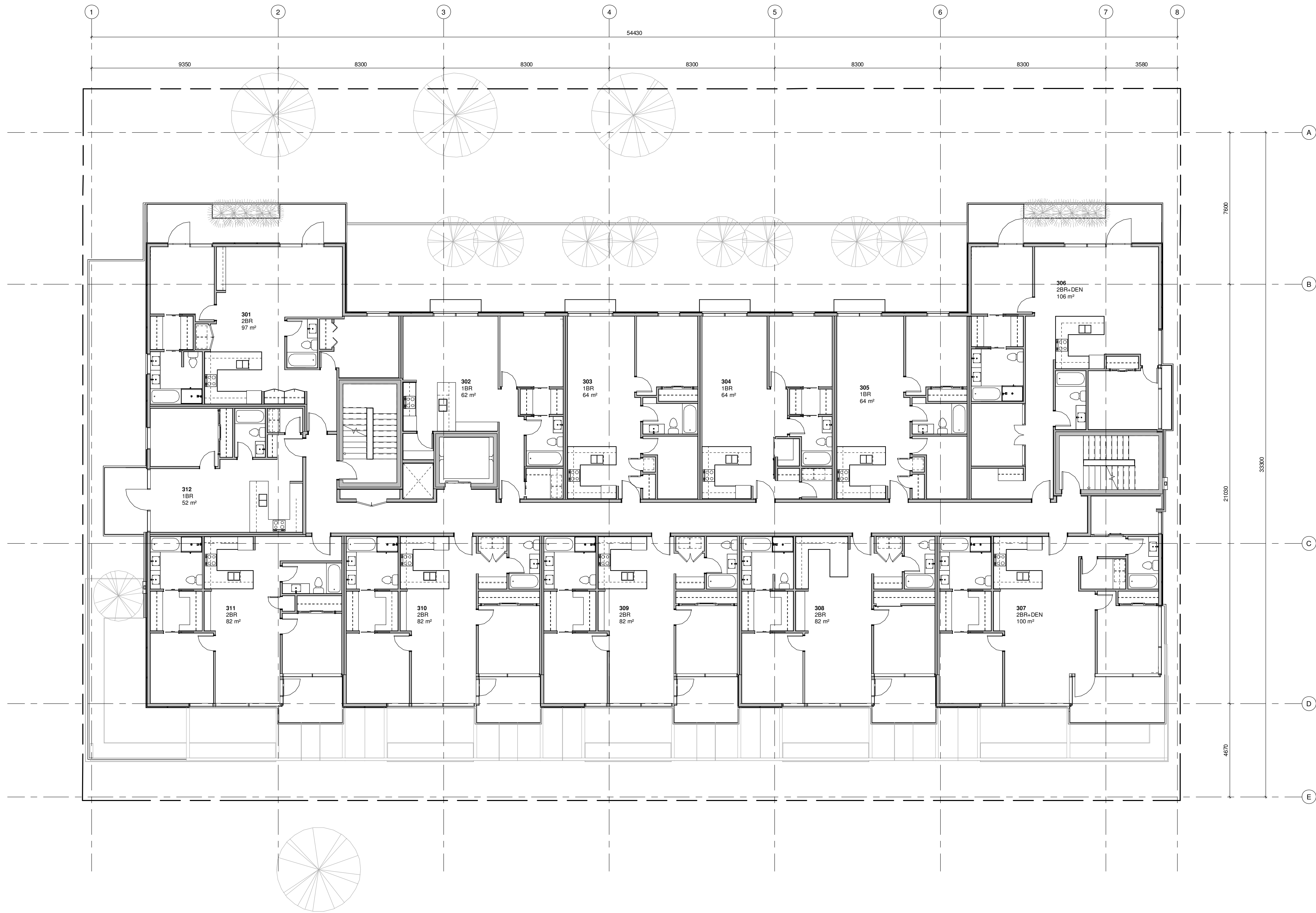
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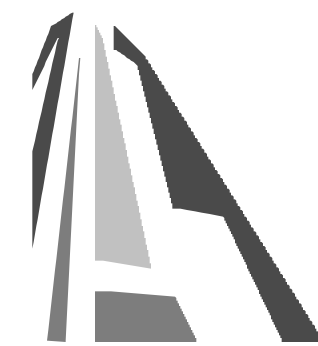
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Project		
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Second Floor Plan		
Date		
2019/04/25		
Scale	Project #	
1 : 100	1801	
Revision		
Date 1	1	
Sheet #		
A2.02		



1014 m² GROSS FLOOR AREA

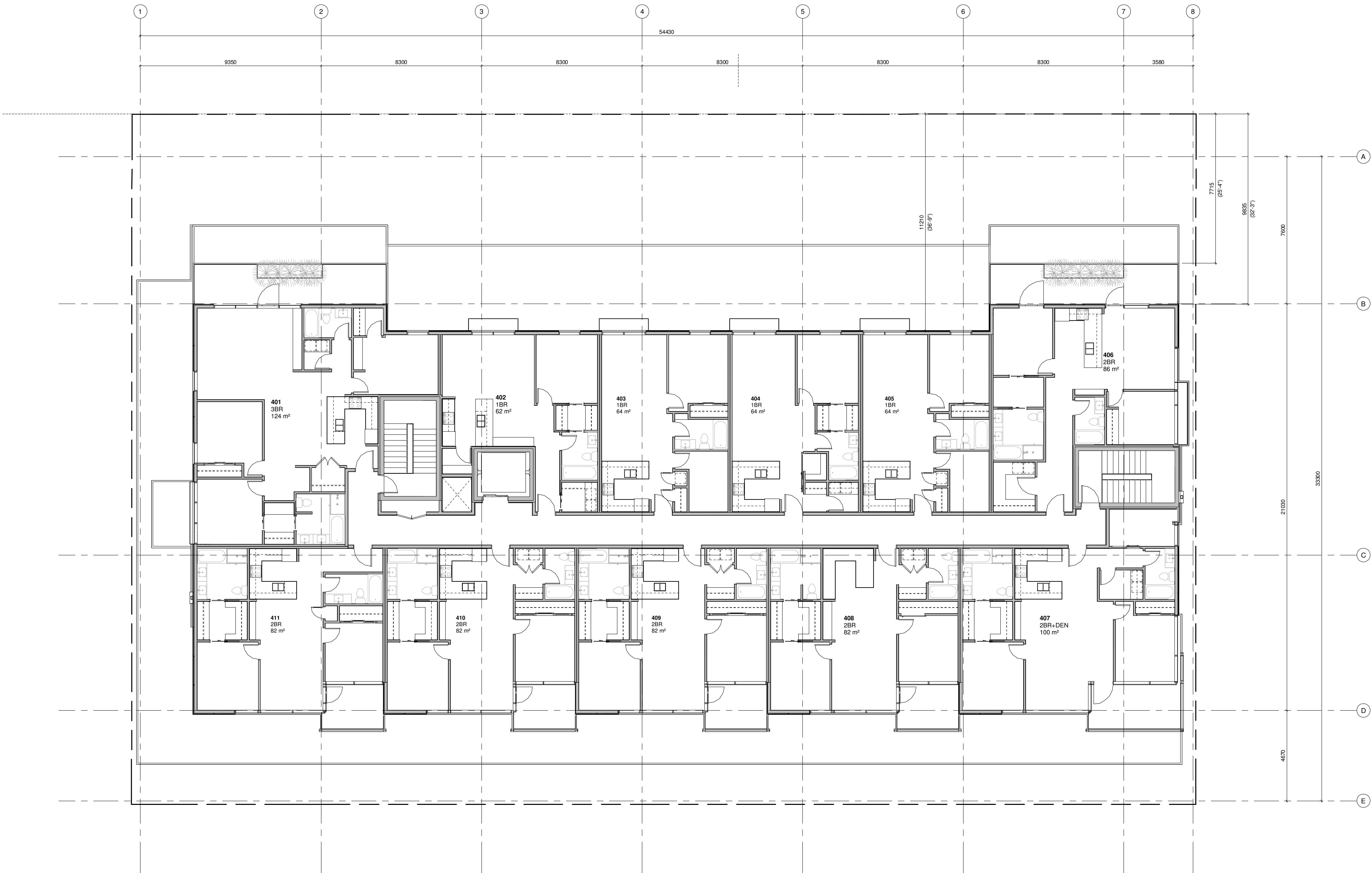
NO.	Re-Zoning & Development Permit	Date 1
	DESCRIPTION	DATE



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Project		
		
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name Third Floor Plan		
Date 2019/04/25		
Scale 1 : 100	Project # 1801	
	Revision Date 1	1
	Sheet #	A2.03



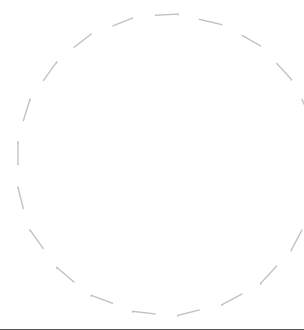
974 m² GROSS FLOOR AREA

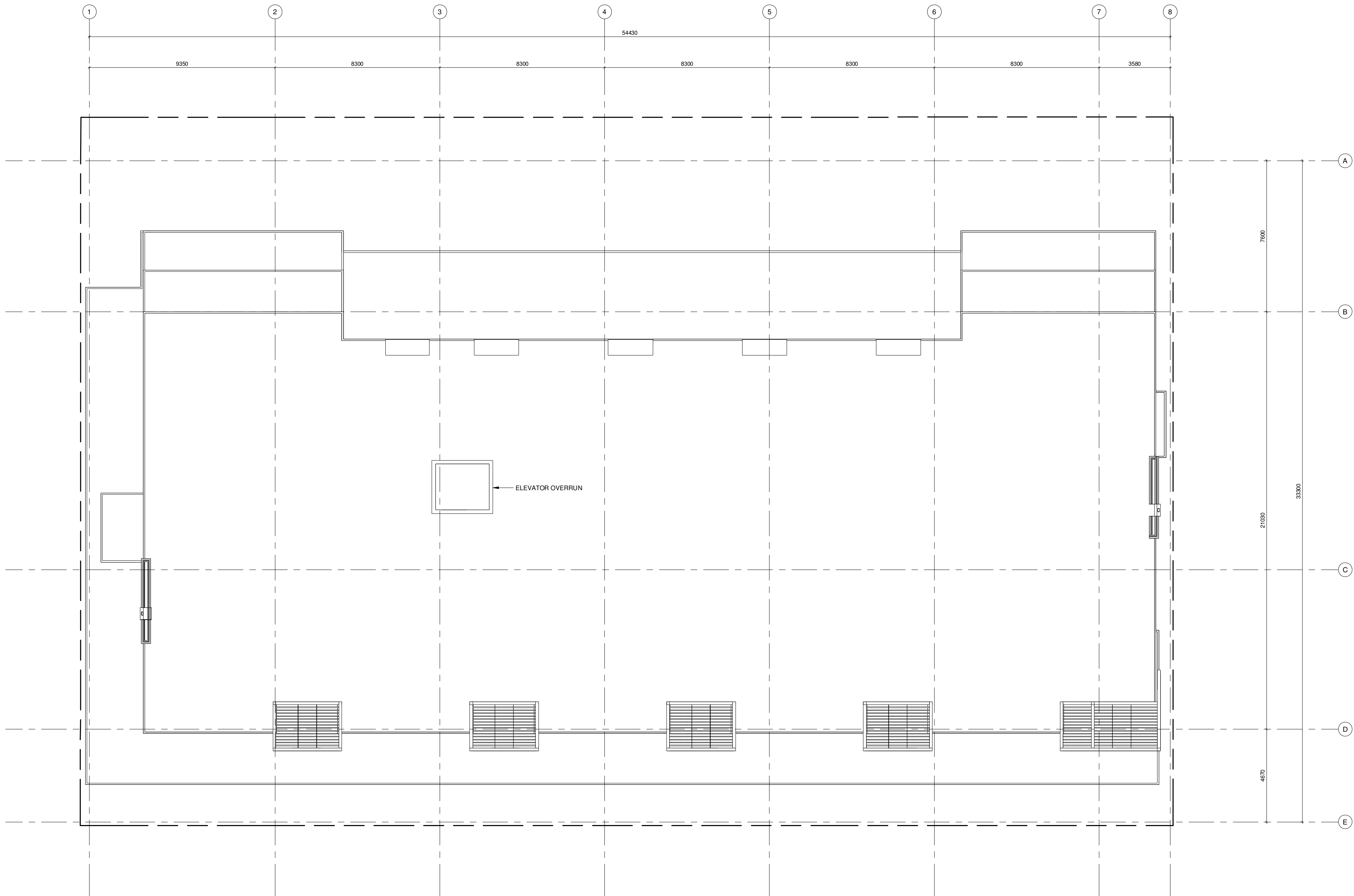
NO.	Re-Zoning & Development Permit	Date 1
	DESCRIPTION	DATE



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Project	
	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Fourth Floor Plan	
Date	
2019/04/25	
Scale	Project #
1 : 100	1801
	Revision
	Date 1
	1
Sheet #	
A2.04	

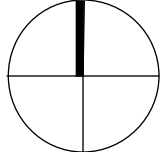


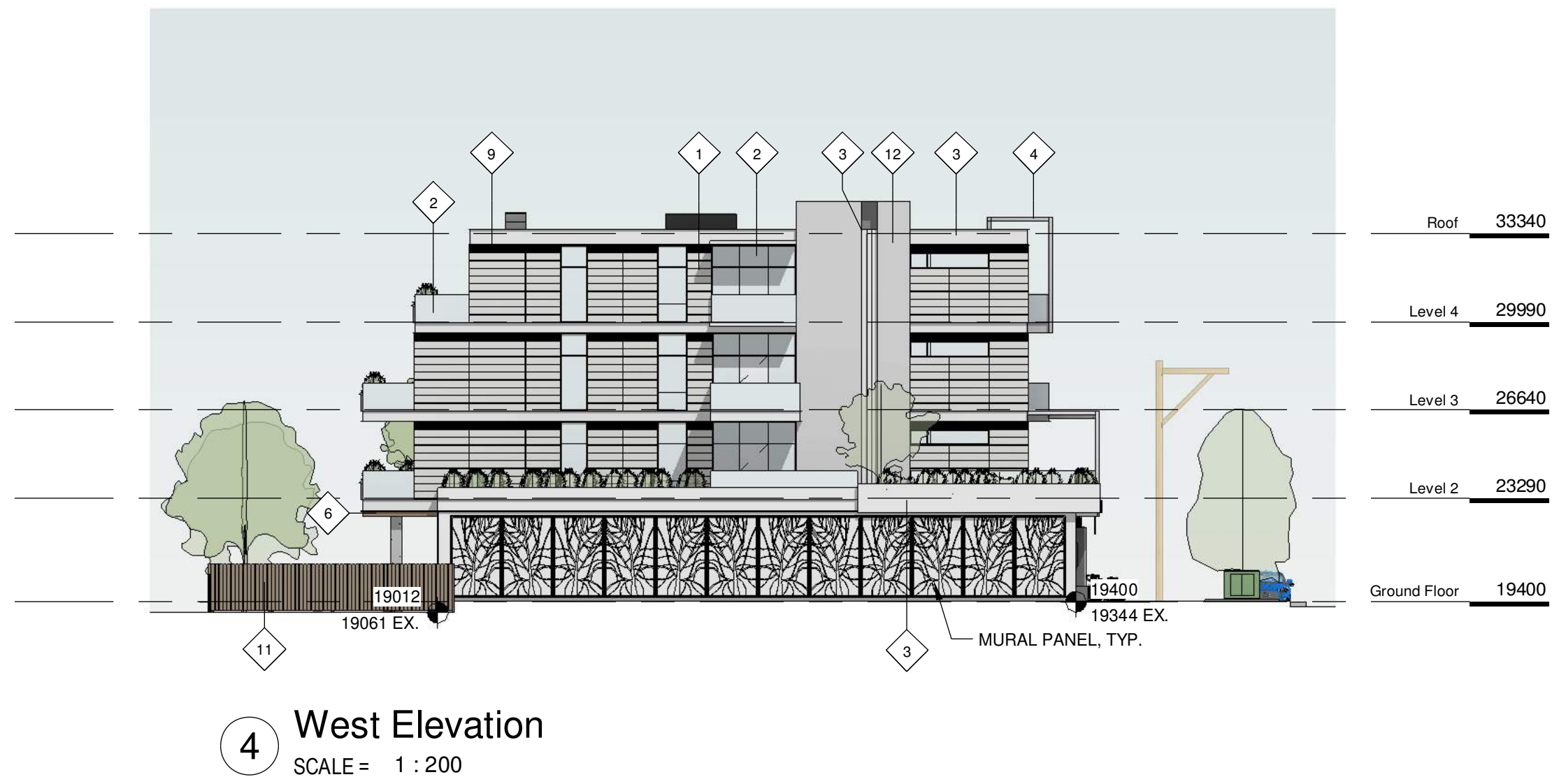
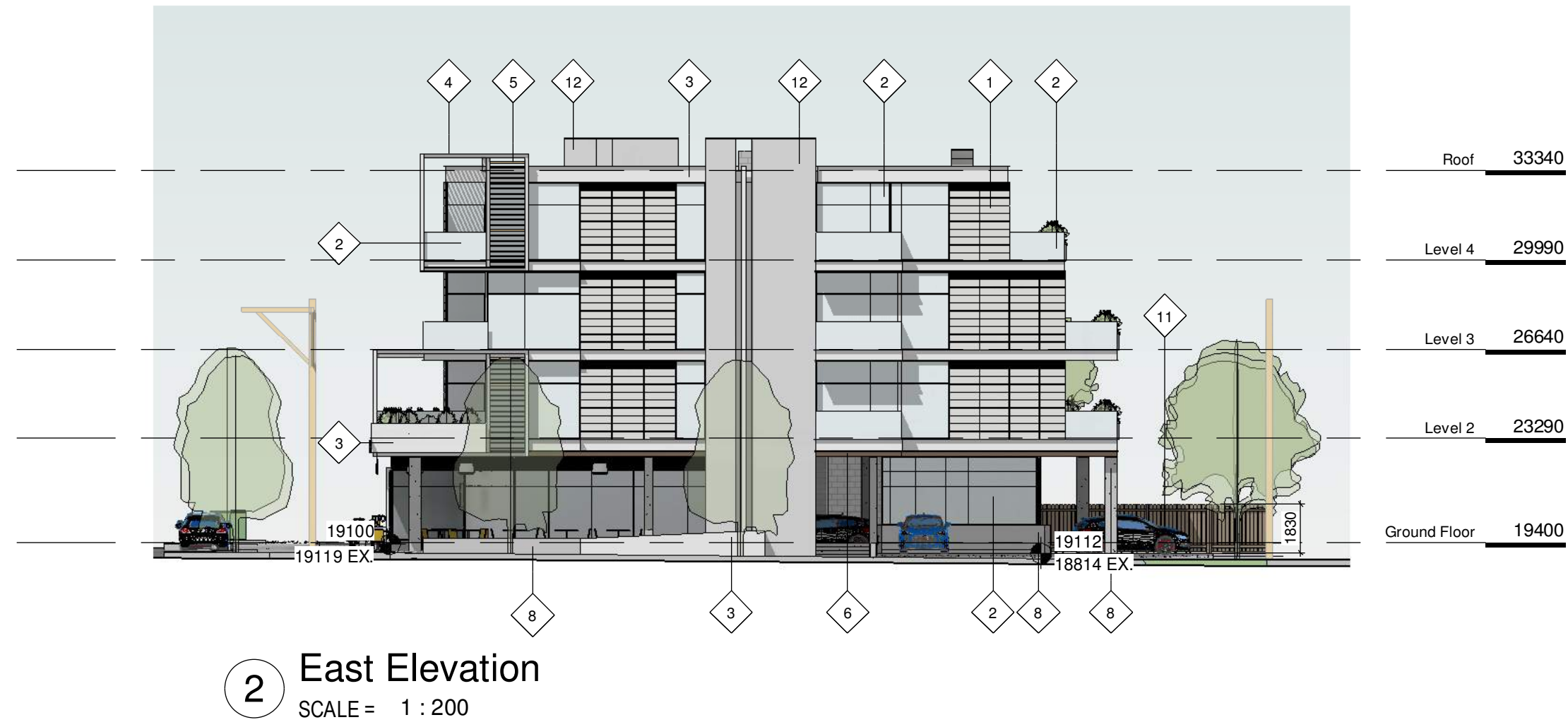
I	Re-Zoning & Development Permit	Date 1
NO.	DESCRIPTION	DATE



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Project	
	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Roof Plan	
Date	
2019/04/25	
Scale	Project #
1 : 100	1801
Revision	
Date 1	1
Sheet #	
A2.05	



MATERIALS LEGEND

- | | |
|-------------------------------|---------------------|
| 1 CEMENTITIOUS PANEL CLADDING | 7 CLEAR SEALED WOOD |
| 2 GLAZING | 8 CONCRETE |
| 3 PRE-FINISHED METAL | 9 METAL LOUVRE |
| 4 PAINTED STEEL | 10 CONCRETE BLOCK |
| 5 WOOD-TEXTURED SHADE SCREEN | 11 CEDAR FENCING |
| 6 T&G CEDAR SOFFIT | 12 BRICK |

NO.	DESCRIPTION	DATE
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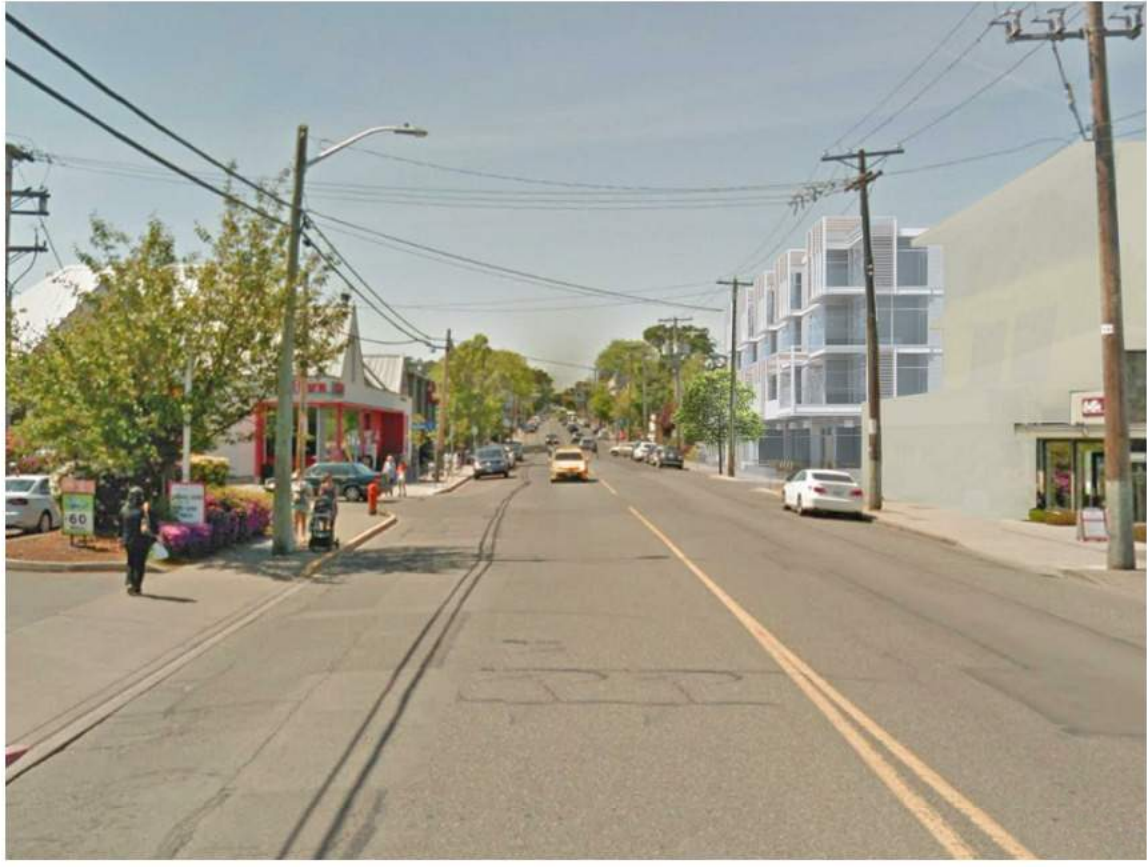
Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	Elevations
Date 2019/04/25	
Scale 1 : 200	Project # 1801
	Revision
	Sheet # A3.00



VIEW FROM OAK BAY AVENUE & DAVIE STREET



VIEW FROM OAK BAY AVENUE LOOKING EAST



VIEW FROM OAK BAY AVENUE LOOKING WEST



1 Oak Bay Ave Context Elevation
1 : 200



2 Redfern St Context Elevation
1 : 200

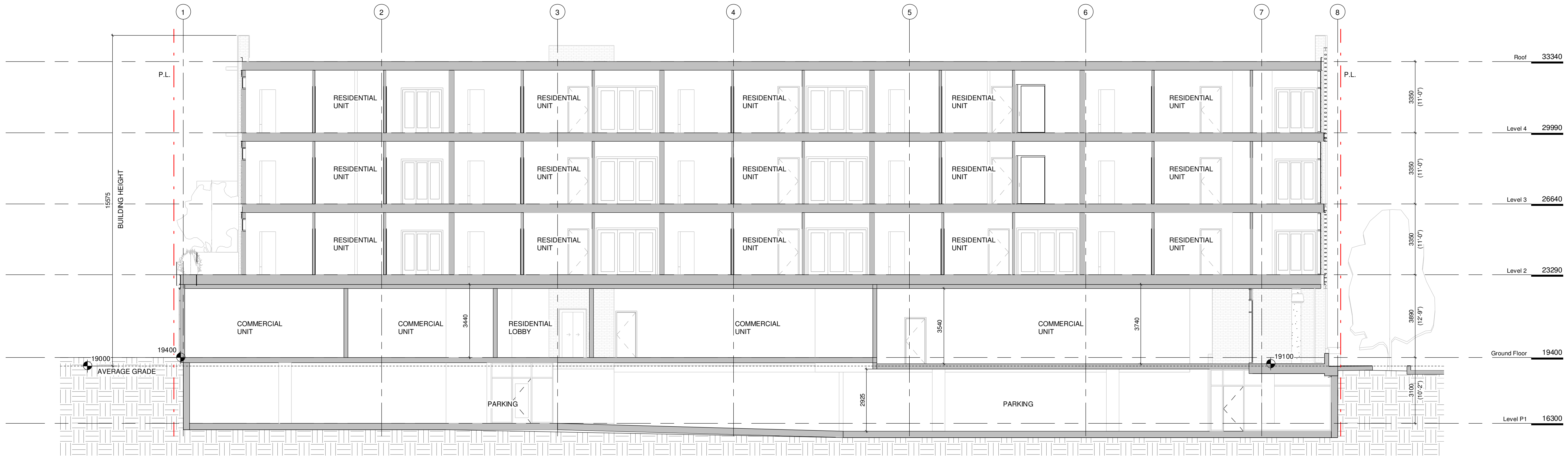
NO.	Re-Zoning & Development Permit DESCRIPTION	Date 1 DATE
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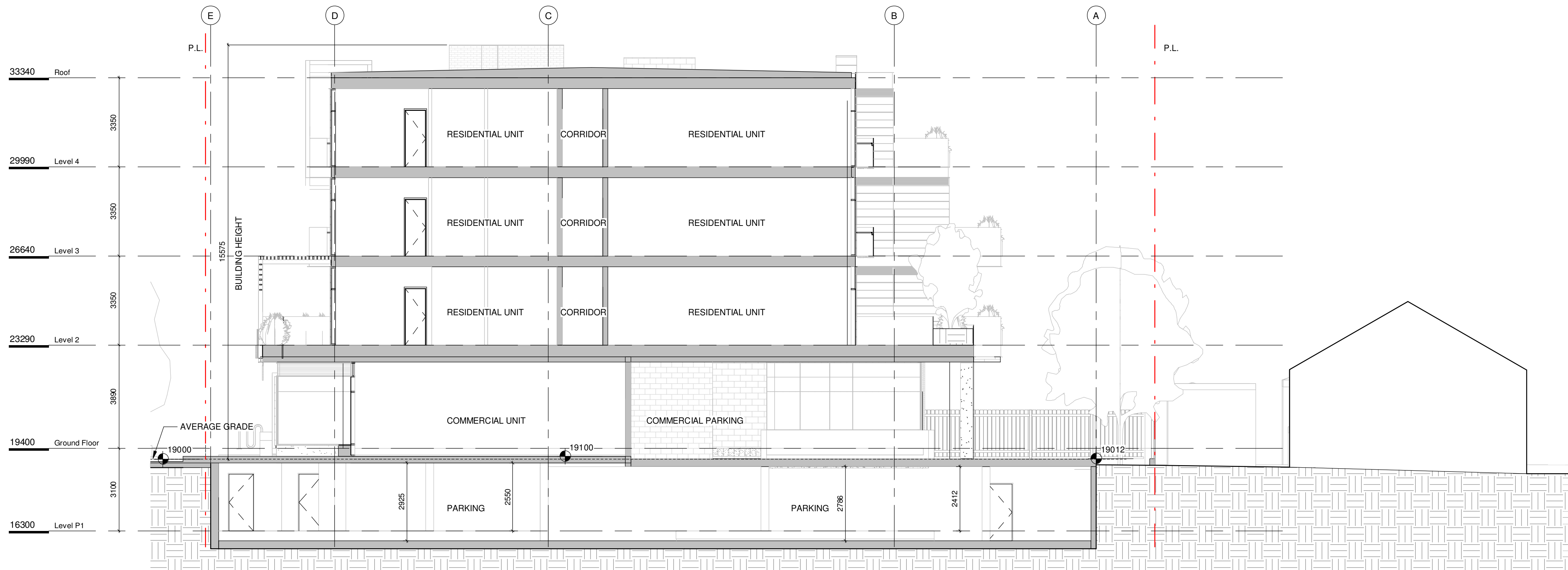
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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Context Elevations	
Date	
2019/04/25	
Scale	Project #
1 : 200	1801
Revision	Date 1
	1
Sheet #	A3.01



1 Long Section
1 : 100



2 Cross Section
1 : 100

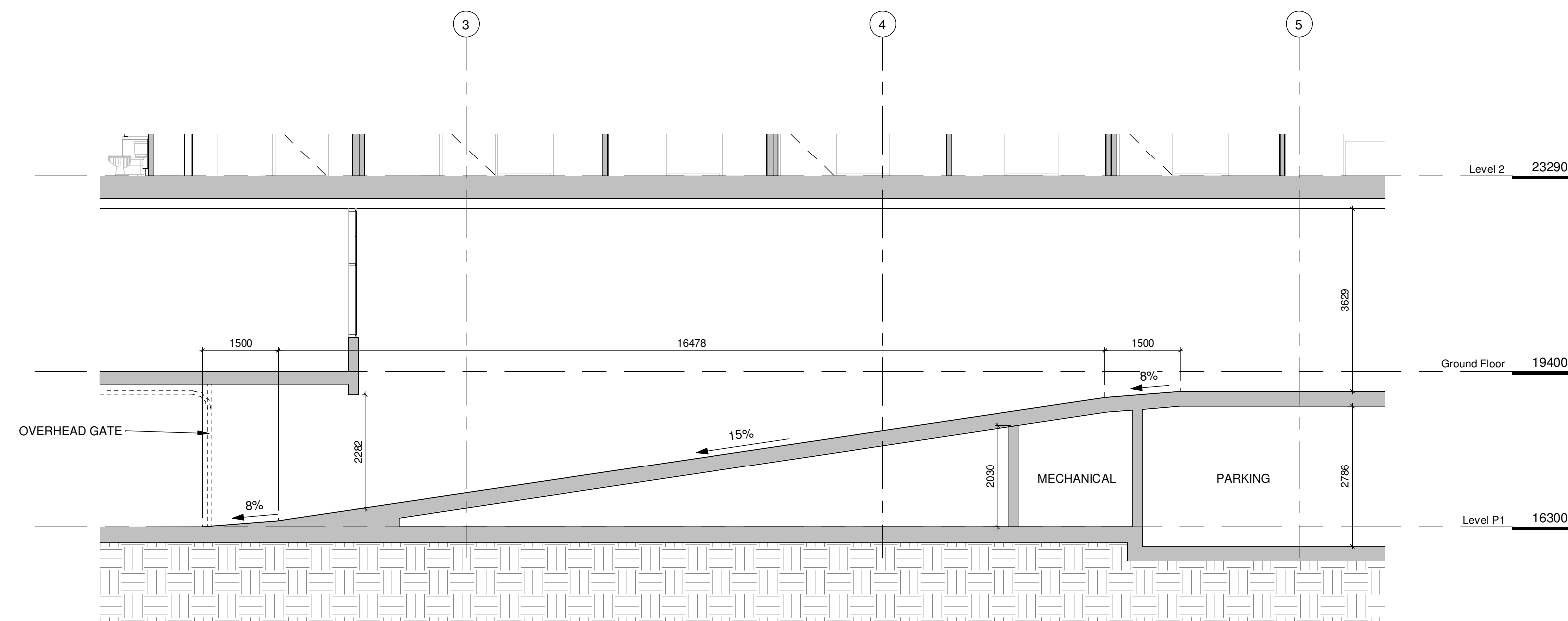
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	DESCRIPTION	DATE



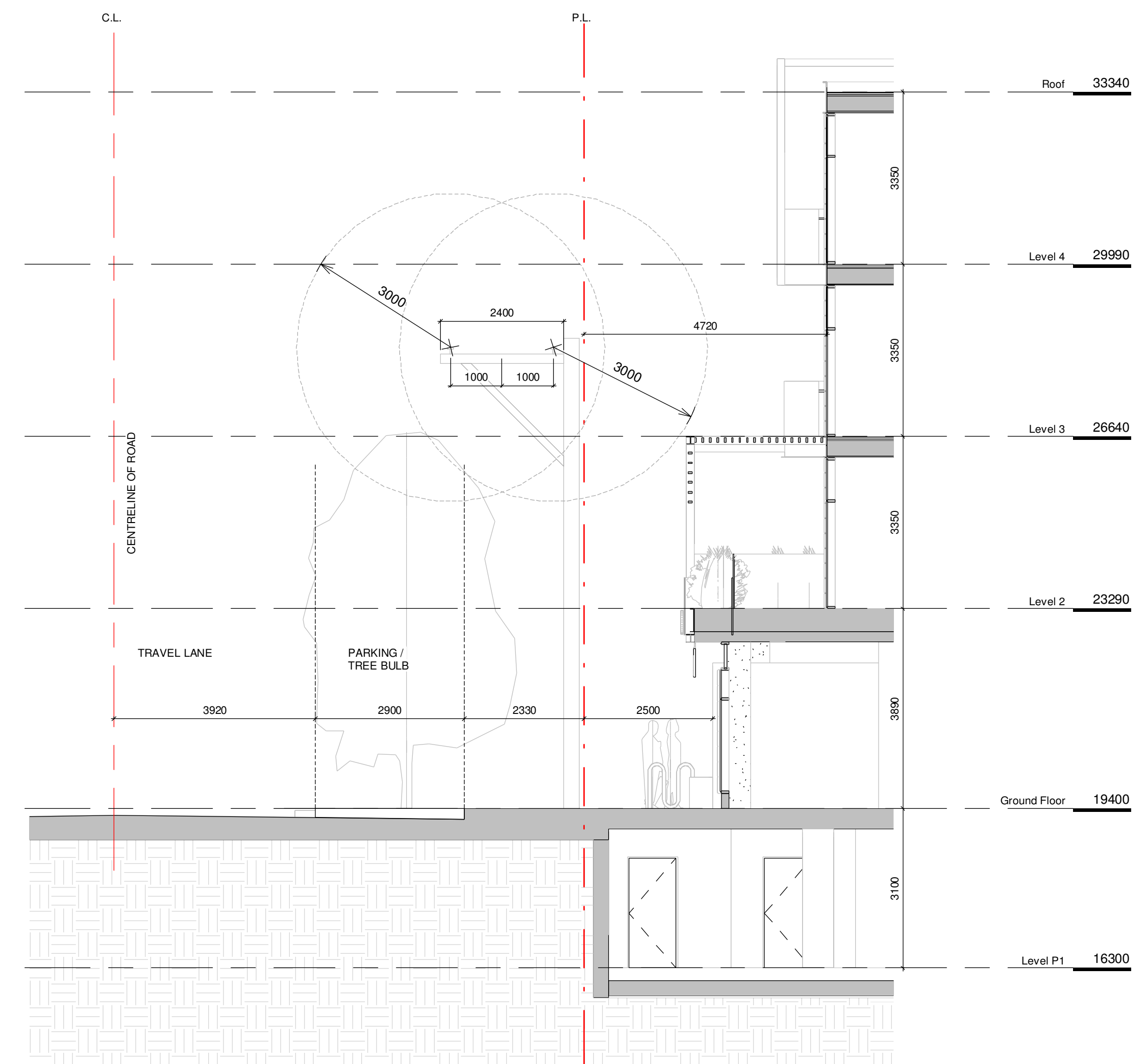
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Project		
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC		
Sheet Name		
Building Sections		
Date		
2019/04/25		
Scale	Project #	
1 : 100	1801	
Revision		1
Date 1		
Sheet #		A4.00



2 Parking Ramp Section
1 : 75

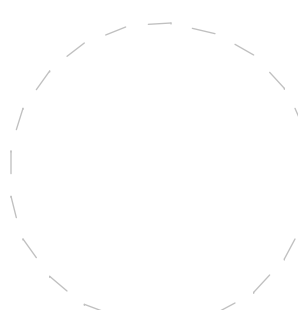



1 Street Section
1 : 75

NO.	DESCRIPTION	DATE
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Project	
<p style="text-align: right;">Jawl Residential</p> <p style="text-align: right;">1920 Oak Bay Ave. Oak Bay, BC</p>	
Sheet Name	
Context Sections	
Date	
2019/04/25	
Scale	Project #
1 : 75	1801
	Revision Date 1
	<div style="text-align: center;">  </div> Sheet #
A4.01	



VIEW FROM CORNER OF OAK BAY AVENUE & REDFERN STREET



VIEW REDFERN STREET LOOKING TOWARDS OAK BAY AVENUE



RESIDENTIAL LOBBY



COMMERCIAL CORNER PATIO

NO.	Re-Zoning & Development Permit DESCRIPTION	Date 1 DATE
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Project	
Jawl Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Perspectives	
Date	
2019/04/25	
Scale	Project #
	1801
	Revision
Date 1	1
Sheet #	A9.00

PROJECT MATERIALS



CONCRETE



GLASS

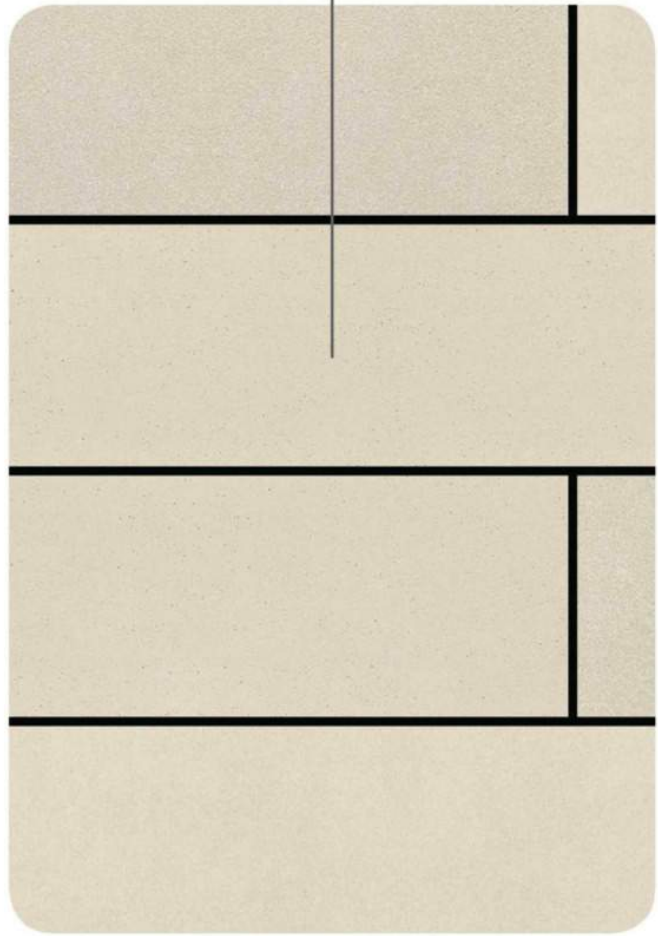


PAVING



PLANTING

ACCENT



PANEL



BRICK



WOOD



METAL

CLADDING

NO.	Re-Zoning & Development Permit DESCRIPTION	Date 1 DATE
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Project	
Jawi Residential 1920 Oak Bay Ave. Oak Bay, BC	
Sheet Name	
Materials	
Date	
2019/04/25	
Scale	Project #
	1801
	Revision
	Date 1
	1
Sheet #	
A9.01	



NOT FOR CONSTRUCTION

1	DP/REZONING	APR.24.2019
rev no	description	date



April 24, 2019

client

JAWL RESIDENTIAL

project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

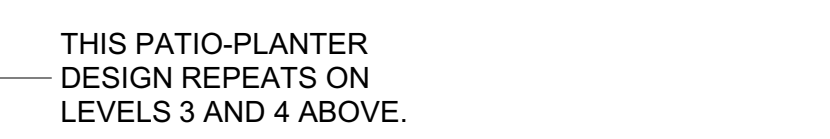
sheet title

Landscape Materials

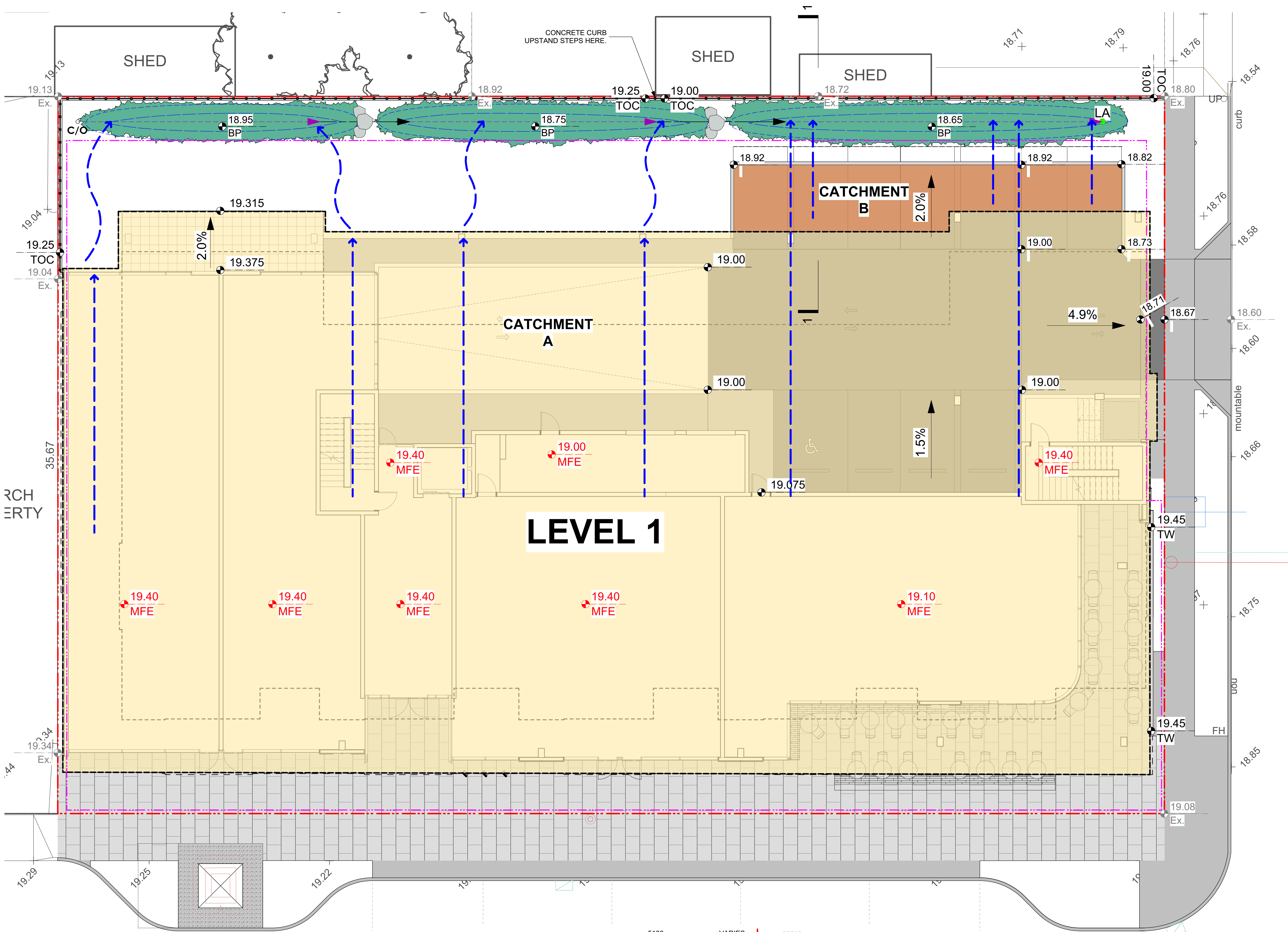
project no.		118.30
scale	1: 100	@ 24"x36"
drawn by		JK/JD
checked by		SM
revision no.	sheet no.	

1

L1.01



L1.02



LEGEND

- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- EXISTING LANDSCAPE GRADE
- ARCHITECTURAL GRADE, PROVIDED FOR REFERENCE ONLY
- PROPOSED LANDSCAPE GRADE
 - TW TOP OF WALL
 - TP TOP OF POOL
 - BW BOTTOM OF WALL
 - BP BOTTOM OF POOL
 - TOC TOP OF CURB
 - TS TOP OF STAIRS
 - BC BOTTOM OF CURB
 - BS BOTTOM OF STAIRS
- RAIN GARDEN AREA
- DRAINAGE FLOW DIRECTION
- VEGETATED SWALE FLOW DIRECTION
- RAIN GARDEN OVERFLOW DRAIN
- CLEAN-OUT DRAIN
- PERFORATED UNDERDRAIN PIPE
- SOLID PVC PIPE
- CATCHMENT A
 - ROOF RUNOFF SCUPPERED TO SWALES AND CONVEYED TO RAIN GARDENS.
- CATCHMENT B
 - PAVEMENT RUNOFF SURFACE FLOWS TO CURB INLETS AND INTO RAIN GARDEN.

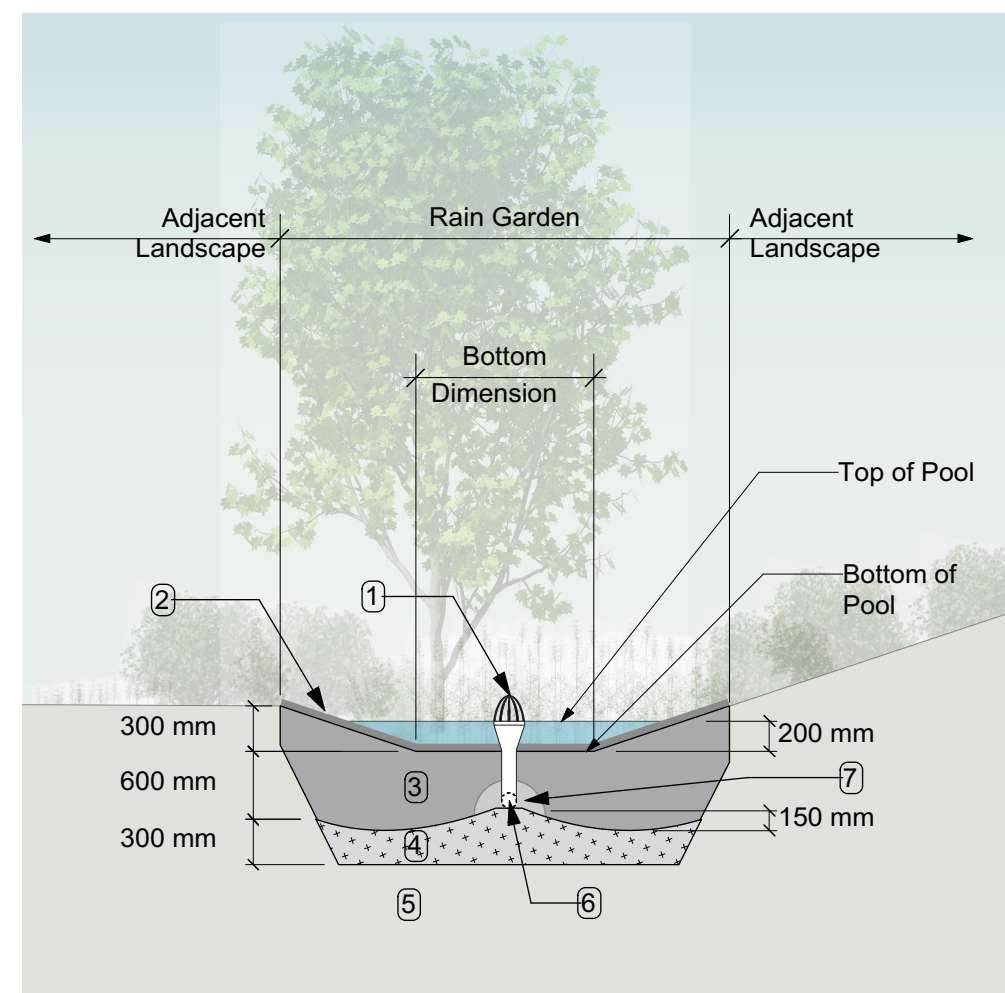
RAIN WATER MANAGEMENT NOTES

WATER COLLECTED FROM THE BUILDING ROOF AND REAR PARKING AREA FLOW TO RAIN GARDENS LOCATED AT THE NORTH OF THE SITE.

THE RAIN GARDENS ARE SIZED SUCH THAT THE BOTTOM OF THE RAIN GARDEN IS A MINIMUM OF 5% OF THE IMPERVIOUS AREA (AS PER CITY OF VICTORIA STORMWATER GUIDELINES).

RAIN GARDENS WILL BE DESIGNED WITH UNDERDRAINS AND A HIGH CAPACITY OVERFLOW DRAIN THAT WILL BE CONNECTED TO THE ONSITE PIPED DRAINAGE SYSTEM.

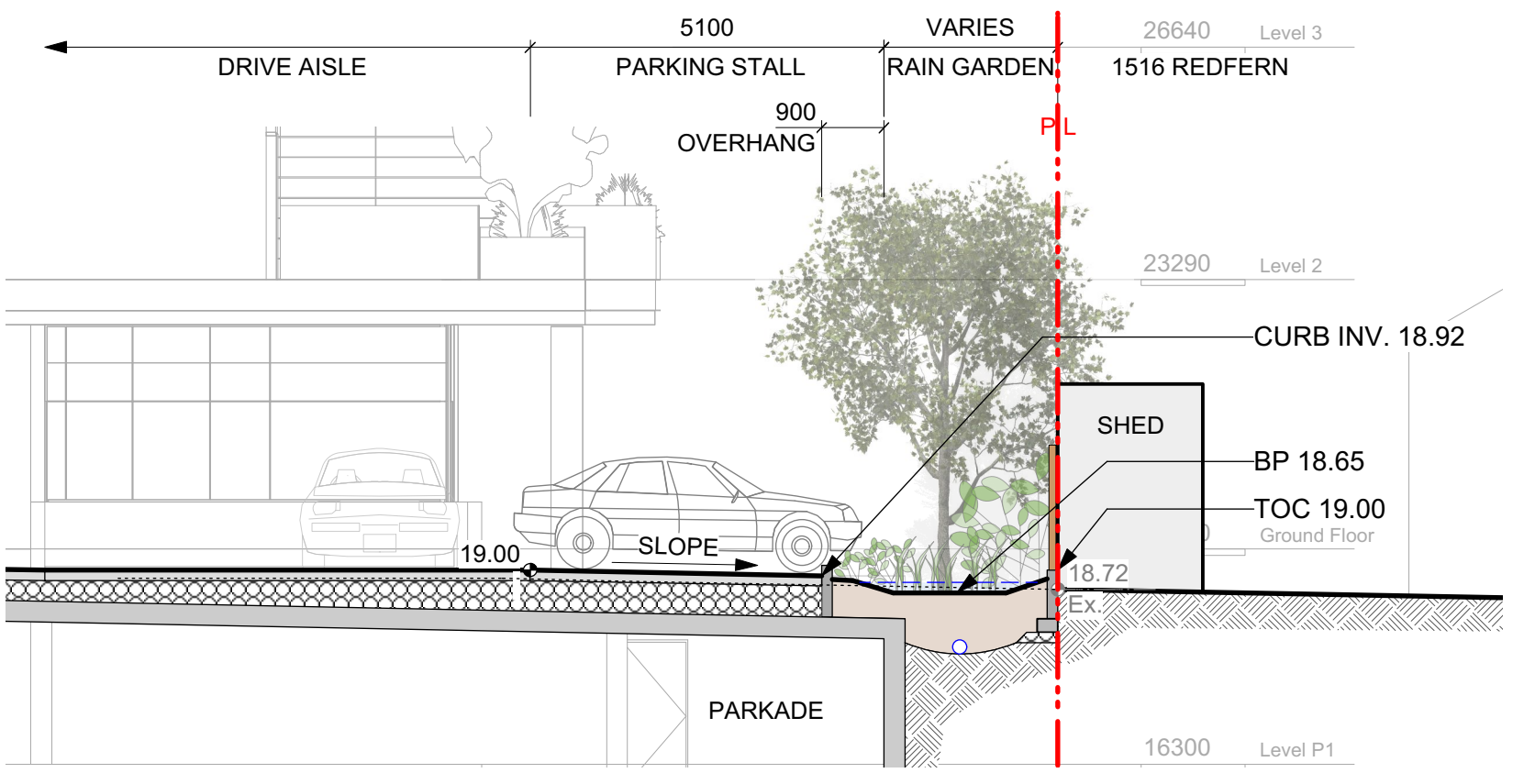
RAIN GARDENS ARE INTEGRATED BUILDING LANDSCAPES AND ARE DESIGNED TO CAPTURE, SLOW FLOWS, AND TREAT (CLEAN) RUNOFF.



- RAIN GARDEN MATERIALS**
1. Overflow drain, 200 mm domed grate + adapter
 2. Composted mulch, 50-70 mm depth
 3. Bio-retention growing medium, 600 mm depth
 4. Scarified/tilled subgrade, 300 mm depth
 5. Existing subgrade/native material
 6. 100 mm diameter (min) perforated pipe
 7. 25 mm diameter drain rock, 100 mm depth

TYPICAL RAIN GARDEN DETAIL
Scale: 1:50

- GRADING NOTES**
1. All elevations are in meters.
 2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
 3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
 4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
 5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
 6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
 7. Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.



SECTION THROUGH NORTH RAIN GARDEN
Scale: 1:100

NOT FOR CONSTRUCTION

1	DP/REZONING	APR.24.2019
rev no	description	date

Murdoch de Greeff INC
Landscape Planning & Design

200 - 554 Cuthbert Road
Victoria, BC V6Z 1G1

Phone: 250.412.2891
Fax: 250.412.2892

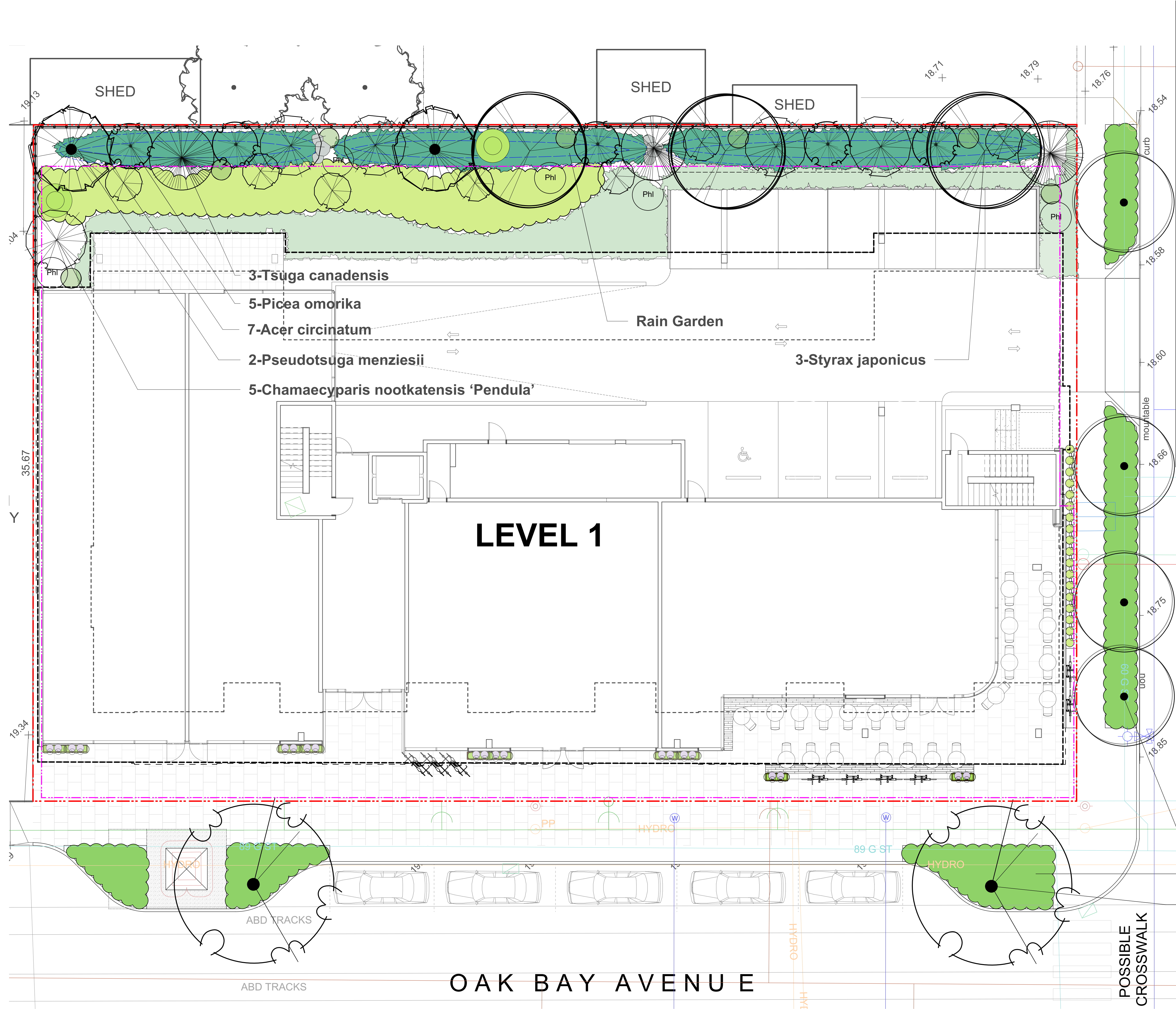
April 24, 2019

client
JAWL RESIDENTIAL

project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

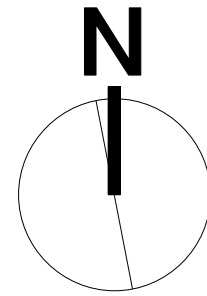
sheet title
Stormwater Management

project no.	118.30
scale	1: ### @ 24"x36"
drawn by	JK/JD
checked by	SM
revision no.	sheet no.
1	L1.03



PLANT LIST				
Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
TREES:				
7		Acer circinatum	Vine Maple	3.0m ht, multi-stem (3 trunk)
4		Carpinus betulus 'Fastigiata'	Pyramidal European Hornbeam	6.0cm cal, b&b
5		Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	3.0m ht
5		Picea omorika	Siberian Spruce	3.5m ht
2		Pseudotsuga menziesii	Douglas Fir	2.0m ht
2		Quercus garryana	Garry Oak	6.0cm cal, b&b
3		Styrax japonicus	Japanese Snowbell	5.0cm cal, b&b
3		Tsuga canadensis	Canadian Hemlock	5.0m ht
SHRUBS/FERNS/GRASSES/VINES:				
Aff	34	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Bs	80	Blechnum spicant	Deer Fern	#1 pot
Cx	18	Calamagrostis x acutiflora 'Karl Foerster	Feather Reed Grass	#1 pot
Cm	42	Carex morrowii 'Ice Dance'	Japanese Sedge Grass	Sp3
Csc	19	Cornus sericea	Red-twig Dogwood	#1 pot
Gsh	80	Gaultheria shallon	Salal	#1 pot
Lim	17	Liriope muscari	Lily turf	#1 pot
Lp	18	Lonicera pileata	Privet Honeysuckle	#2 pot
Ma	26	Mahonia aquifolium	Oregon Grape	#3 pot
Myc	2	Myrica californica	Pacific Wax Myrtle	#3 pot
Nt	30	Nassella tenuissima	Mexican Feathergrass	#1 pot
Oo	23	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
Pat	20	Perovskia atriplicifolia	Russian Sage	#1 pot
Phc	7	Physocarpus capitatus	Pacific Ninebark	#5 pot
Pm	7	Polystichum munitum	Sword Fern	#1 pot
Rs	6	Ribes sanguineum	Red Flowering Currant	#3 pot
Stb	20	Stachys byzantina 'Silver Carpet'	Lamb's Ear (carpet form)	#1 pot
Sa	19	Symphoricarpos alba	Snowberry	#1 pot
Vo	10	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#1 pot
0				
RAIN GARDEN PLANTS:				
Co	134	Carex obnupta	Slough Sedge	#1 pot
Csm	28	Cornus sanguinea 'Midwinter Fire'	Midwinter Fire Dogwood	#1 pot
Gsh	97	Gaultheria shallon	Salal	#1 pot
Pm	28	Polystichum munitum	Sword Fern	#1 pot
Scs	28	Schizostylis coccinea 'Oregon Sunset'	Crimson Flag	#1 pot
0				
BOULEVARD (OFF-SITE):				
Brs	16	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'	#3 pot
Cs	16	Cistus salvifolius	Sageleaf Rock Rose	#1 pot
Lp	24	Lonicera pileata	Privet Honeysuckle	#2 pot
0				

- IRRIGATION NOTES**
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
 - Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
 - Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
 - Utilities - Contractor to verify location of all on-site utilities, prior to construction. Resoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
 - Refer to mechanical drawings for irrigation point of connection.
 - Refer to electrical drawings for electrical service.
 - Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
 - At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
 - Trees within shrub or rain garden areas to be irrigated with spray heads.
 - Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.



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April 24, 2019

client
JAWL RESIDENTIAL

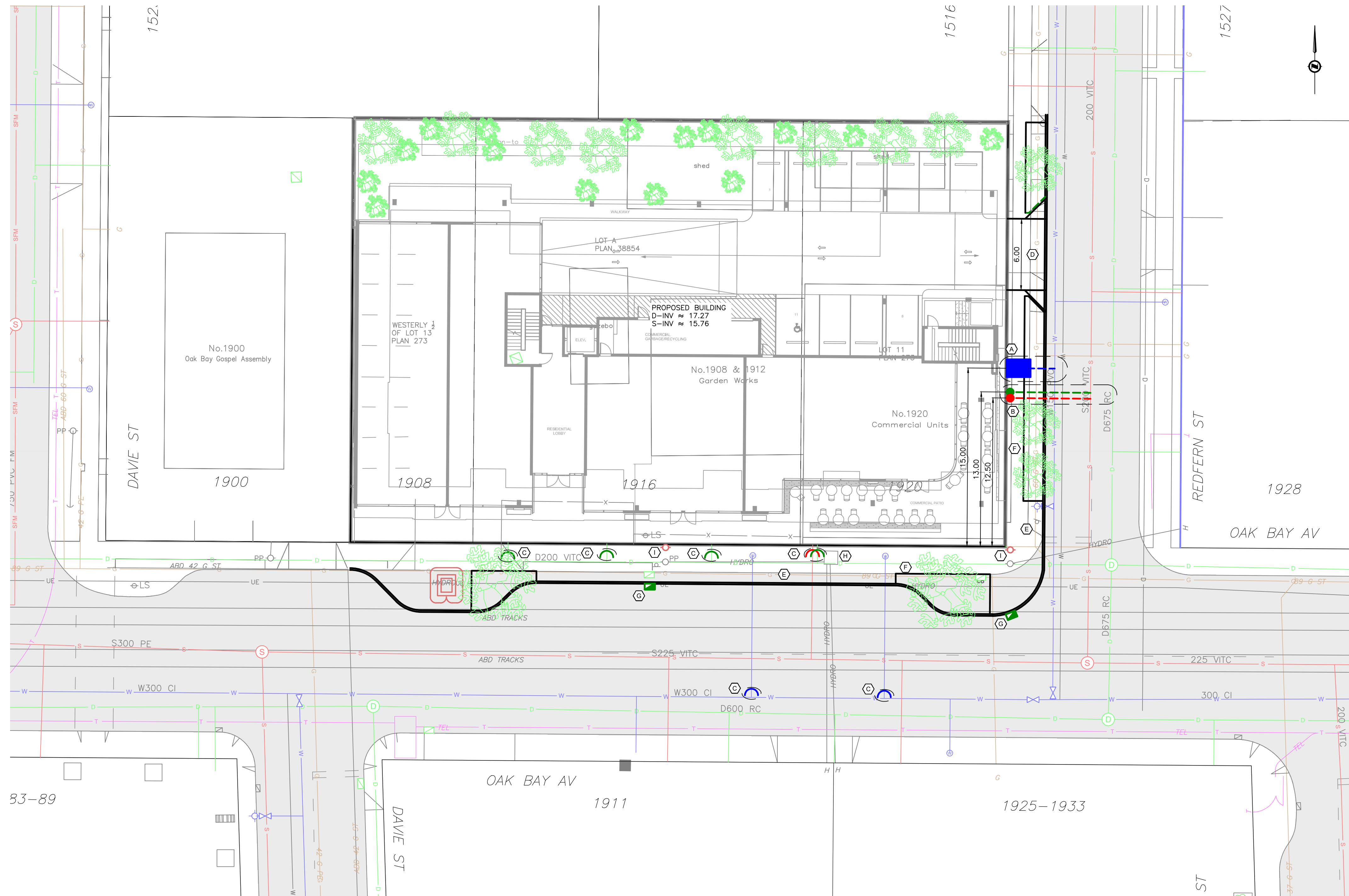
project
1920 OAK BAY AVE
1920 OAK BAY AVE
VICTORIA, BC

sheet title
Planting Plan

project no. 118.30
scale 1: 100 @ 24"x36"
drawn by JK/JD
checked by SM

revision no. sheet no.
L3.01

- PLANTING NOTES**
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
 - Final selection of boulevard trees to be determined through consultation with municipal staff.
 - Separate offsite irrigation system to be installed as per Municipal Specifications for Street Trees and Irrigation, SCHEDULE C (Current Edition).



SITE PLAN
H 1:200

- SHEET NOTES:**
- (A) CITY OF VICTORIA TO INSTALL 150mm FIRE AND 100mm DOMESTIC WATER SERVICE AT DEVELOPERS EXPENSE.
 - (B) CITY OF VICTORIA TO INSTALL 150mm SANITARY AND DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBERS AT DEVELOPERS EXPENSE.
 - (C) CITY OF VICTORIA TO CAP EXISTING SERVICES AT DEVELOPERS EXPENSE.
 - (D) CONTRACTOR TO INSTALL 6.0m DRIVEWAY TO CITY OF VICTORIA STANDARDS.
 - (E) CONTRACTOR TO REMOVE EXISTING CURB, GUTTER AND SIDEWALK AS NEEDED AND INSTALL NEW CURB GUTTER AND SIDEWALK TO CITY OF VICTORIA STANDARDS.
 - (F) CONTRACTOR TO INSTALL NEW BOULEVARD TREES. SEE LANDSCAPE DESIGN.
 - (G) CONTRACTOR TO REINSTATE CATCHBASINS AS NEEDED.
 - (H) BC HYDRO TO ADJUST LID AT DEVELOPERS EXPENSE.
 - (I) CONTRACTOR TO COORDINATE WITH BC HYDRO TO RELOCATE HYDRO POLES.



KEY PLAN
NTS

OAK BAY AVE & REDFERN
PRELIMINARY SERVICING

Scale
horiz. 1:250

Sheet 1 of 1

Eng. Project No. 31757

JEA J E ANDERSON &
ASSOCIATES

SURVEYORS - ENGINEERS

VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

PRELIMINARY ONLY

