



780 BLANSHARD ST. - REHABILITATION + ADDITION

VICTORIA, BC

REISSUED FOR HERITAGE ALTERATION PERMIT
MAY 29TH, 2026

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 35B

PROJECT TEAM

| OWNER | ARCHITECTURAL | LANDSCAPE | STRUCTURAL | TRANSPORTATION | GEOTECHNICAL | ARCHITECTURAL DRAWING - HAP | ARCHITECTURAL DRAWING - HAP | LANDSCAPE DRAWINGS | CIVIL DRAWINGS |
|--------------------------------------------------------------------|------------------------------------------------------------------|-------------------------------------------------------------|------------------------------------------------------------------------|----------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------|
| Reliance Properties | office of mcfarlane biggar architects + designers | Gauthier + Associates Landscape Architects | KOR Structural | WATT Consulting Group | Ryzuk Geotechnical Ltd. | ARCHITECTURAL DRAWING - HAP | ARCHITECTURAL DRAWING - HAP | LANDSCAPE DRAWINGS | CIVIL DRAWINGS |
| 305-111 Water St Vancouver, BC V6B 1A7 604.683.2404 | 301 - 1825 Quebec St Vancouver, BC V5T 2Z3 604.558.6344 | 629 Atlantic St Vancouver, BC V6A 2J9 604.317.9682 | Suite 501 - 510 Burrard St Vancouver, BC V6C 3A8 778.652.1885 | 302 - 740 Hillside Avenue Victoria, BC V8T 1Z4 250.208.3874 | #6-40 Cadillac Avenue Victoria, BC V8Z 1T2 250.475.3131 | A000 COVER SHEET A001 3D VIEWS A002 GENERAL NOTES + ABBREVIATIONS A010 CONTEXT PLAN A011 PROJECT STATISTICS A012 PROJECT STATISTICS DIAGRAMS A013 CONTEXT STREETSCAPES A021 CODE ANALYSIS - PLANS A030 SITE PLAN EXISTING A031 LEVEL 1 DEMOLITION/RETENTION PLAN A032 LEVEL 2 DEMOLITION/RETENTION PLAN A033 LEVEL 3 DEMOLITION/RETENTION PLAN A034 LEVEL 4 DEMOLITION/RETENTION PLAN A035 LEVEL 5 DEMOLITION/RETENTION PLAN A036 DEMOLITION/RETENTION ELEVATION NORTH A037 DEMOLITION/RETENTION ELEVATION SOUTH A038 DEMOLITION/RETENTION ELEVATIONS A039 DEMOLITION/RETENTION ELEVATIONS A100 SITE PLAN PROPOSED A101 LEVEL 1 FLOOR PLAN A102 LEVEL 2 FLOOR PLAN A103 LEVEL 3 FLOOR PLAN A104 LEVEL 4 FLOOR PLAN | A105 LEVEL 5 FLOOR PLAN A106 ROOF PLAN A200 ELEVATION NORTH (BLANSHARD ST) A201 ELEVATION SOUTH (FAIRFIELD ROAD) A202 EAST ELEVATION A203 WEST ELEVATION A204 TYPICAL OPENINGS A300 BUILDING LONGITUDINAL SECTION EAST-WEST A301 BUILDING CROSS SECTIONS EAST-WEST A302 BUILDING CROSS SECTIONS NORTH-SOUTH | L0.0 COVER SHEET L0.1 TREE SURVEY L0.2 TREE MANAGEMENT PLAN L1.0 OVERALL SITE PLAN L1.1 WEST ENLARGEMENT PLAN L1.2 NORTH ENLARGEMENT PLAN L1.3 SOUTH ENLARGEMENT PLAN L2.0 LEVEL 5: MATERIALS AND LAYOUT PLAN | C01 SITE AND DEMOLITION PLAN C02 CONCEPTUAL CIVIL SERVICING PLAN C03 CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING |
| Contact Juan Pereira juanp@relianceproperties.ca | Contact Steve McFarlane smcfarlane@officemb.ca | Contact Bryce Gauthier bryce@gauthierla.com | Contact John Markulin jmarkulin@korstructural.com | Contact Tania Wegwitz twegwitz@wattconsultinggroup.com | Contact Cameron Schellenberg cschellenberg@ryzuk.com | | | | |
| Avalon Mechanical | e2 Engineering Inc. | D. Clark Arboriculture | WSP | TCCP | JRS Engineering | | | | |
| #520 -1112 W Pender St Vancouver, BC V6E 2S1 250-940-2976 | 549 Herald Street Victoria, BC V8W 1S5 778.402.3060 | 2741 The Rise Victoria, BC V8T 3T4 250.208.1568 | 760 Enterprise Crescent Victoria, BC V8Z 6R4 250.475.1000 | 769 Roslyn Blv. North Vancouver, BC V7G 1P4 604.929.8520 | #301 - 3450 Uptown Blvd Victoria, BC V7G 1P4 250.475.3131 | | | | |
| Contact Kevin Jackson kjackson@avalonmechanical.com | Contact Jay Singh jay.singh@e2eng.ca | Contact Clark Clark clarkarbor@gmail.com | Contact Jeff Somerville Jeff.Somerville@wsp.com | Contact Barry Thorson barry@tccp.ca | Contact Adam Jarolim ajarolim@jrseengineering.com | | | | |

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1 NORTH VIEW FROM BLANSHARD ST
A001 1:1



2 WEST VIEW FROM BURDETT AND PENWILL
A001 1:1



3 EAST VIEW FROM FAIRFIELD RD
A001 1:1

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SYMBOLS

| | |
|--|--------------------------|
| | NORTH SYMBOL |
| | ROOM TAG |
| | DOOR TAG |
| | ROOM TAG |
| | DRAWING TITLE |
| | ELEVATION MARKER |
| | ELEVATION/GRADE SYMBOL |
| | SECTION SYMBOL |
| | ELEVATION SYMBOL |
| | GRID HEAD |
| | WALL TAG |
| | ROOF TAG |
| | MATERIAL TAG |
| | FIXTURES / EQUIPMENT TAG |
| | MILLWORK TAG |
| | WINDOW TAG |
| | CW DOOR TAG |
| | REVISION TAG |

HATCHES

| | |
|---------------------------------------------|--|
| CONCRETE EXISTING | |
| CONCRETE NEW | |
| PARTITION EXISTING | |
| CONCRETE MASONRY | |
| STEEL | |
| ALUMINIUM | |
| GB | |
| GB TYPE X | |
| PLYWOOD | |
| MINERAL WOOL | |
| SPRAY INSULATION | |
| RIGID INSULATION | |
| RIGID INSULATION 02 | |
| SEMI RIGID INSULATION | |
| BATT/LOOSE FILL INSULATION | |
| EARTH | |
| GRAVEL DRAINAGE LAYER | |
| ENGINEERED FILL | |
| COMPACTED GRANULAR FILL | |
| SAND | |
| DEMO | |
| EXISTING AREA TO BE RETAINED + REUSED | |
| EXISTING AREA TO BE PRESERVED + RESTORED | |
| EXISTING ELEMENT TO BE PRESERVED + RESTORED | |

ABBREVIATIONS

| | |
|----------------------------------------|-------------------------------|
| & / + AND | MAT MATERIAL |
| @ AT | MAX MAXIMUM |
| # NUMBER | MC METAL CLADDING |
| ± PLUS/MINUS | MECH MECHANICAL |
| AFF ABOVE FINISHED FLOOR | MET METAL |
| AL/ALUM ALUMINIUM | MFR MANUFACTURER |
| APPROX APPROXIMATE(LY) | MIN MINIMUM |
| ARCH ARCHITECTURAL | MIR MIRROR |
| BCBC BRITISH COLUMBIA BUILDING CODE | MISC MISCELLANEOUS |
| BLDG BUILDING | MTD MOUNTED |
| BO BOTTOM OF | MUL MULLION |
| BOH BACK OF HOUSE | MW MICROWAVE |
| CW COMPLETE WITH | N/A NOT APPLICABLE |
| CB CATCH BASIN | NBC NATIONAL BUILDING CODE |
| CIP CAST IN PLACE | NIC NOT IN CONTRACT |
| CJ CONTROL JOINT | NOM NOMINAL |
| CL CENTRE LINE | NTS NOT TO SCALE |
| CO CLEAN OUT | OC ON CENTRE |
| COMM COMMUNICATION | OD OUTSIDE DIMENSION |
| CON CONCRETE | OH OVER HEAD |
| CONT CONTINUOUS | OP OPERABLE PARTITION |
| CPT CARPET | OPP OPPOSITE |
| CTR CENTRE | OV OVEN |
| DBL DOUBLE | PA PUBLIC ADDRESS SPEAKER |
| DET DETAIL | PLY PLYWOOD |
| DEMO DEMOLITION | PL PROPERTY LINE |
| DF DRINKING FOUNTAIN | PT PAINT |
| DIA DIAMETER | PTD PAINTED |
| DIM DIMENSION | PTN PARTITION |
| DN DOWN | RD ROOF DRAIN |
| DWG DRAWING | REQ'D REQUIRED |
| DR DOOR | REV REVISION OR REVERSE |
| DRW DRAWER | RM ROOM |
| DW DISHWASHER | RO ROUGH OPENING |
| EA EACH | RVL REVEAL |
| EJ EXPANSION JOINT | RWL RAIN WATER LEADER |
| EL ELEVATION | SC SIAMESE CONNECTION |
| ELEC ELECTRIC(AL) | SCHED SCHEDULE |
| EMER EMERGENCY | SCWD SOLID CORE WOOD DOOR |
| ELEV ELEVATOR | SECT SECTION |
| ENCL ENCLOSURE | SH SHELF |
| EQ EQUAL | SP SPRINKLER |
| EQUIP EQUIPMENT | SPEC SPECIFICATION |
| EXIST EXISTING | SQ SQUARE |
| EXP EXPOSED | SQ FT SQUARE FEET |
| EXT EXTERIOR | SQ M SQUARE METRES |
| FA FIRE ALARM | SS STAINLESS STEEL |
| FD FLOOR DRAIN | SSG STRUCTURALSILICONE GLASS |
| FF FINISHED FLOOR | ST STAIR |
| FHC FIRE HOSE CABINET | STD STANDARD |
| FIN FINISH(ED) | STL STEEL |
| FLR FLOOR | STOR STORAGE |
| FND FOUNDATION | STRU STRUCTURAL |
| FO FACE OF | SUSP SUSPENDED |
| FP FALL PROTECTION | TBC TO BE CONFIRMED |
| FR FRIDGE | TBD TO BE DETERMINED |
| FRR FIRE RESISTANCE RATING | TD TRENCH DRAIN |
| FT FOOT or FEET | T&G TONGUE AND GROOVE |
| GL GRIDLINE | TL TILE |
| G1S GOOD ONE SIDE | TO TOP OF |
| G2S GOOD TWO SIDES | TOC TOP OF CURB/CONCRETE |
| GA GAUGE | TOF TOP OF FINISH |
| GALV GALVANIZED | TOFF TOP OF FINISHED FLOOR |
| GL GLASS or GLAZED | TOS TOP OF STRUCTURE |
| GR GRADE | TOW TOP OF WALL |
| GRND GROUND | TYP TYPICAL |
| GB GYPSUM BOARD | UNO UNLESS NOTED OTHERWISE |
| HB HOSE BIB | UIS UNDERSIDE |
| HCWD HOLLOW CORE WOOD DOOR | UH UTILITY HOLE |
| HDWR HARDWARE | VBBL VANCOUVER BUILDING BYLAW |
| HPDL HIGH PRESSURE DECORATIVE LAMINATE | VERT VERTICAL |
| HORIZ HORIZONTAL | VEST VESTIBULE |
| HT HEIGHT | VIF VERIFY IN FIELD |
| INSUL INSULATION | WC WATER CLOSET |
| INT INTERIOR | WD WOOD |
| JC JANITOR CLOSET | WRHS WAREHOUSE |
| JT JOINT | WH WAREHOUSE |
| LAM LAMINATE / LAMINATED | WV WOOD VENEER |
| LS LAMP STANDARD | W/ WITH |
| LT LIGHT | W/O WITHOUT |

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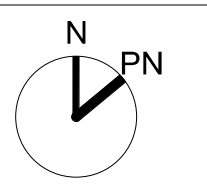


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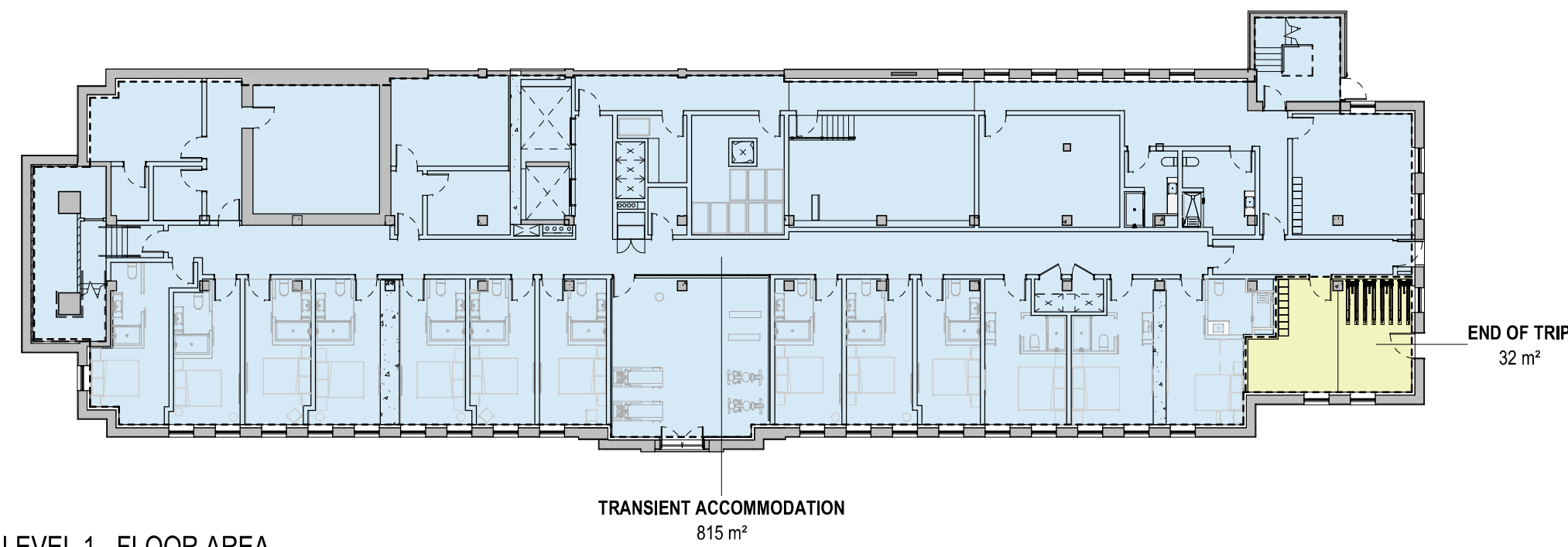
| REV | DATE | DESCRIPTION |
|-----|--------------|-----------------------------------------|
| A | OCT 31, 2025 | ISSUED FOR HERITAGE ALTERATION PERMIT |
| B | MAY 29, 2026 | REISSUED FOR HERITAGE ALTERATION PERMIT |



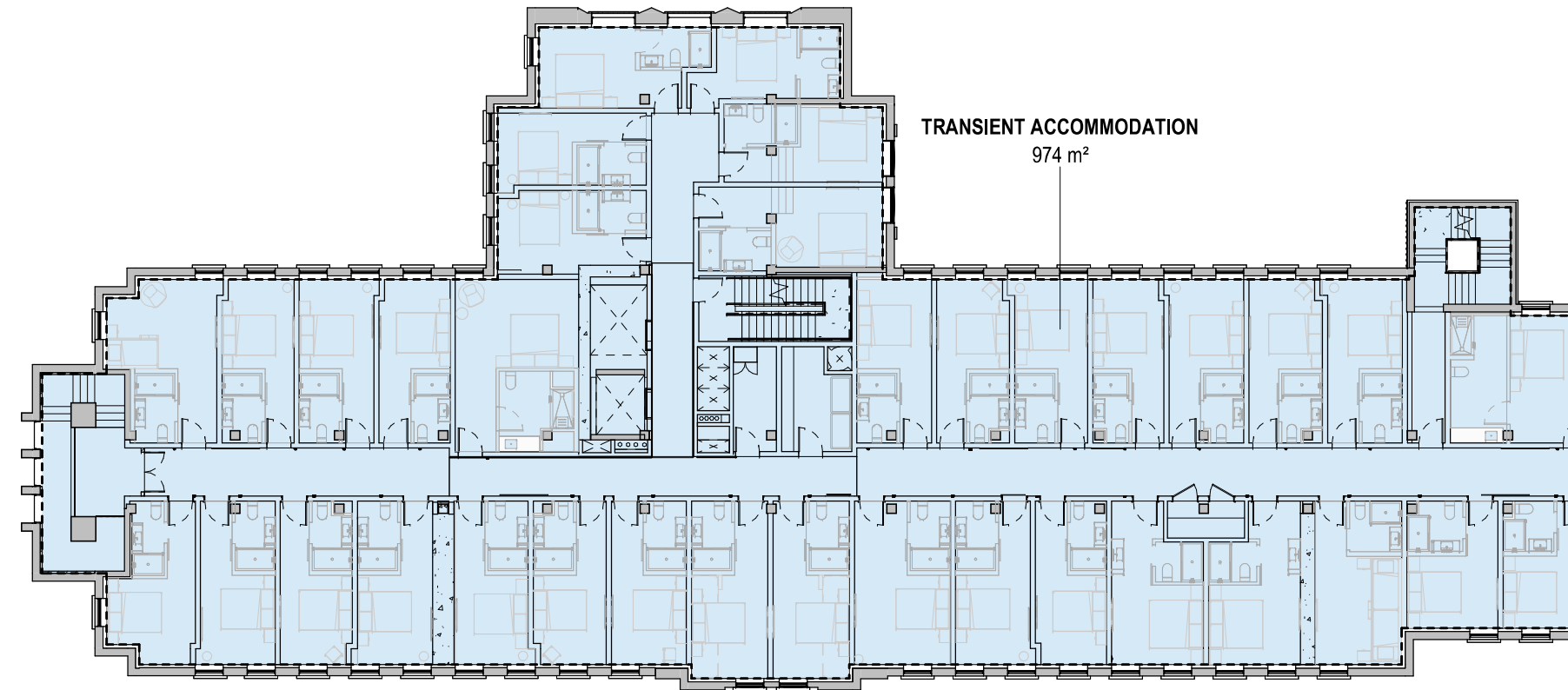
780 Blanshard Hotel
780 Blanshard St, Victoria BC
2025-004



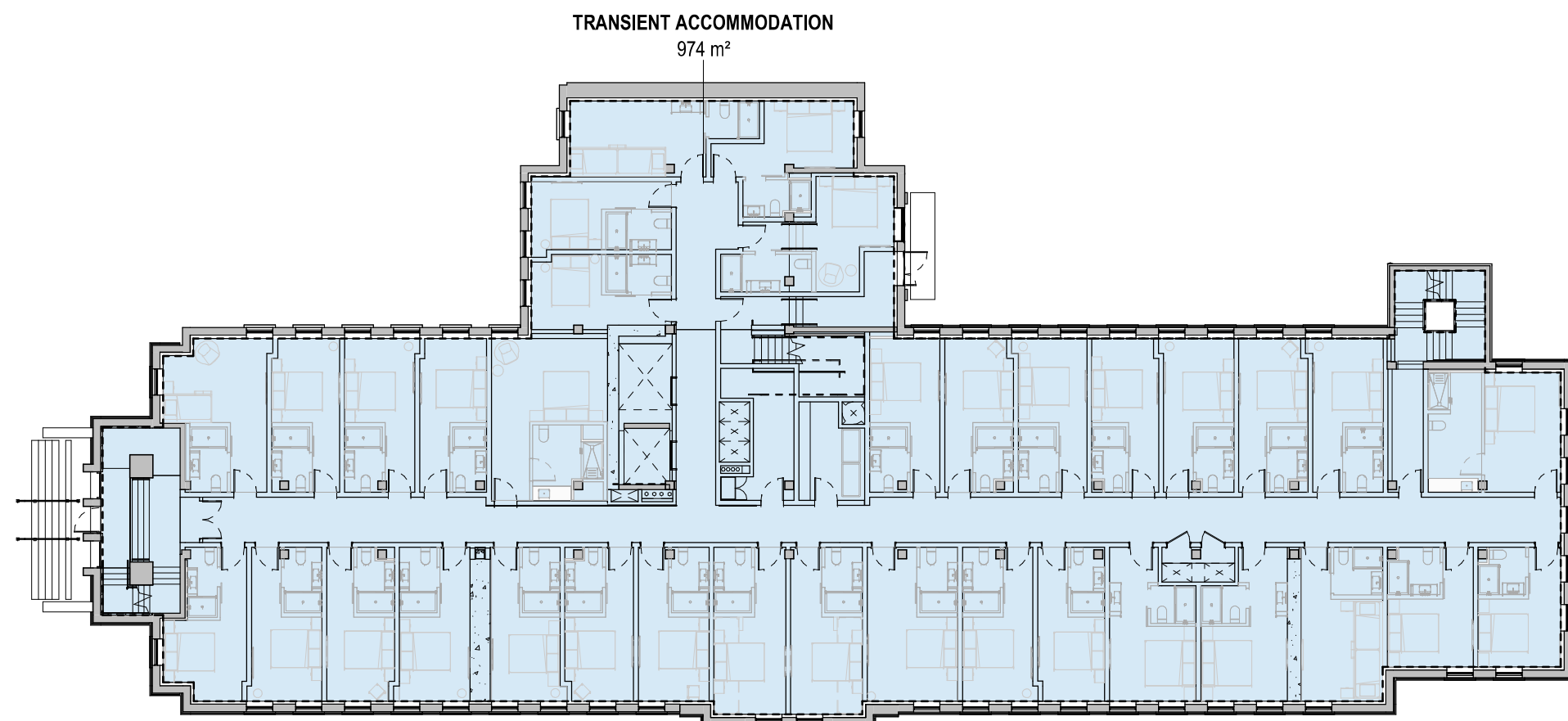
A010
CONTEXT PLAN
SCALE: 1 : 1000



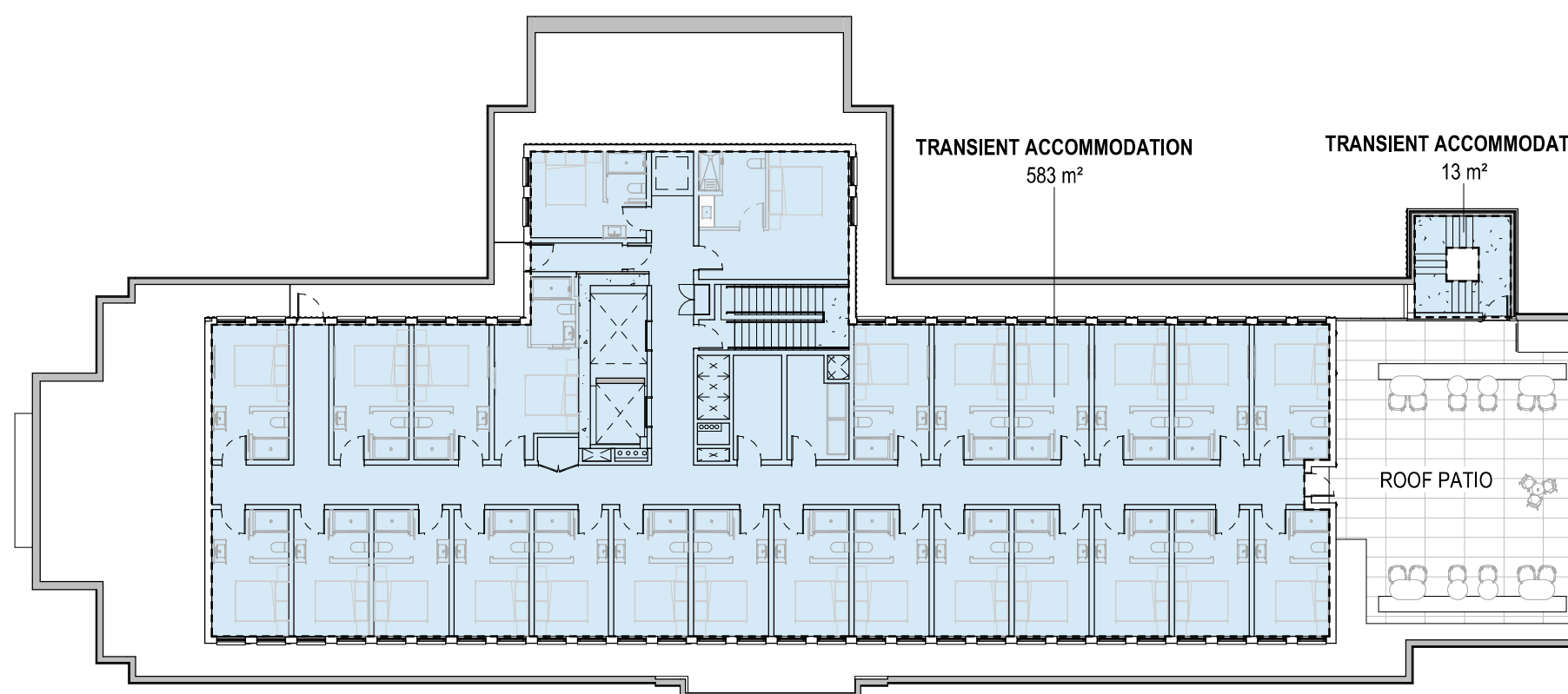
1 LEVEL 1 - FLOOR AREA
A011 1:250



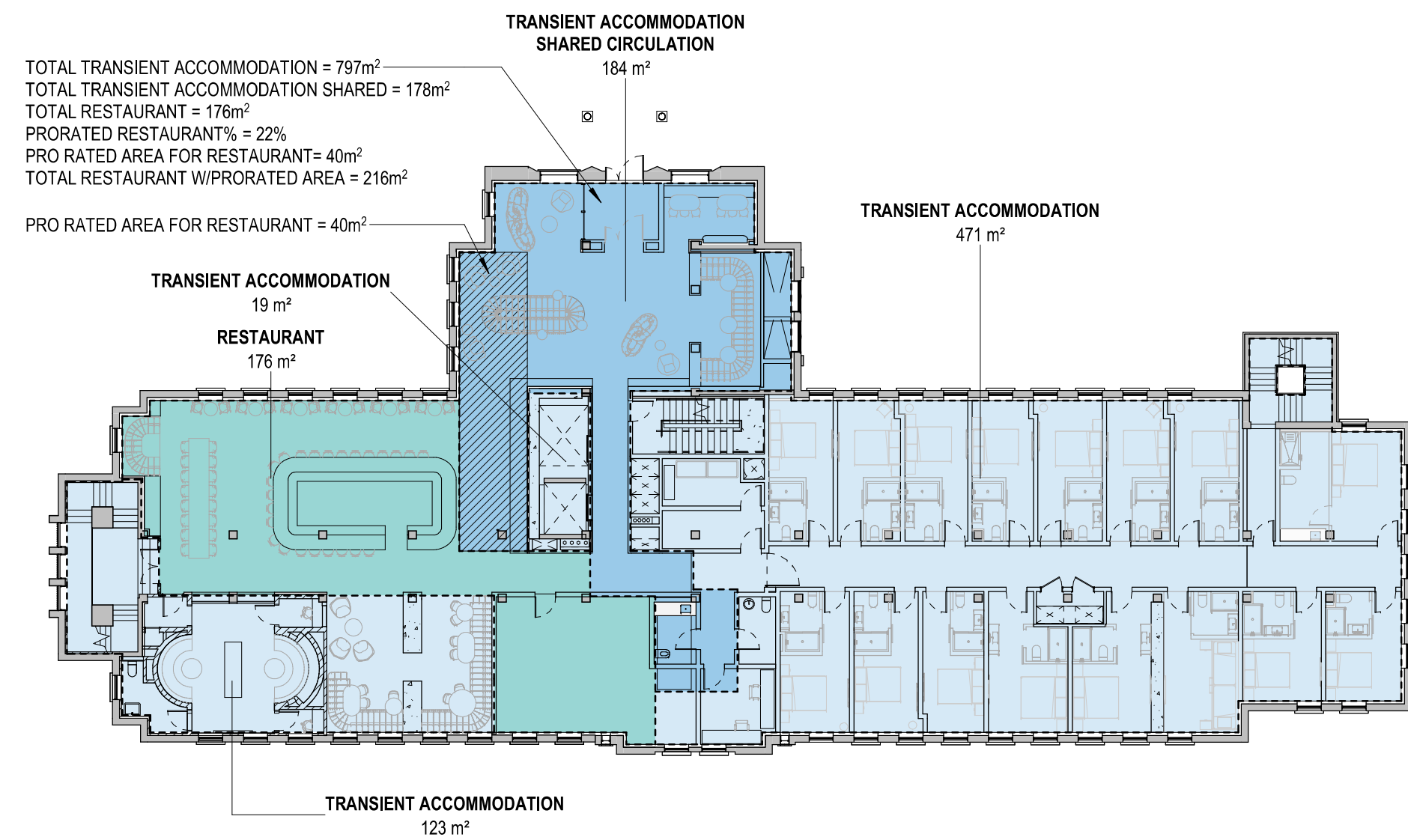
4 LEVEL 4 - FLOOR AREA
A011 1:250



2 LEVEL 2 - FLOOR AREA
A011 1:250



5 LEVEL 5 - FLOOR AREA
A011 1:250



3 LEVEL 3 - FLOOR AREA
A011 1:250

| FLOOR AREA | |
|-------------------------|---------------------|
| USE | AREA |
| LEVEL 1 | |
| END OF TRIP | 32 m ² |
| TRANSIENT ACCOMMODATION | 815 m ² |
| LEVEL 2 | |
| TRANSIENT ACCOMMODATION | 974 m ² |
| LEVEL 3 | |
| RESTAURANT | 176 m ² |
| TRANSIENT ACCOMMODATION | 614 m ² |
| TRANSIENT ACCOMMODATION | 184 m ² |
| SHARED CIRCULATION | 974 m ² |
| LEVEL 4 | |
| TRANSIENT ACCOMMODATION | 974 m ² |
| LEVEL 5 SLAB | |
| TRANSIENT ACCOMMODATION | 596 m ² |
| TOTALS | 4366 m ² |

| FLOOR AREA EXCLUSIONS | |
|-----------------------|---------------------|
| USE | AREA |
| LEVEL 1 | |
| END OF TRIP | 31.7 m ² |
| TOTAL EXCLUSIONS | 31.7 m ² |

FLOOR SPACE RATIO

SITE AREA = 2272m²

FSR = 4366m² (TOTAL AREA) - 32.0m² (EXCLUSIONS) = 4,334m²

FSR (TOTAL) = 4,334m² / 2,272m² = 1.9

*TOTAL FLOOR AREA DOCUMENTED PER CITY OF VICTORIA DEFINITION, TO INSIDE FACES OF EXTERIOR WALLS.

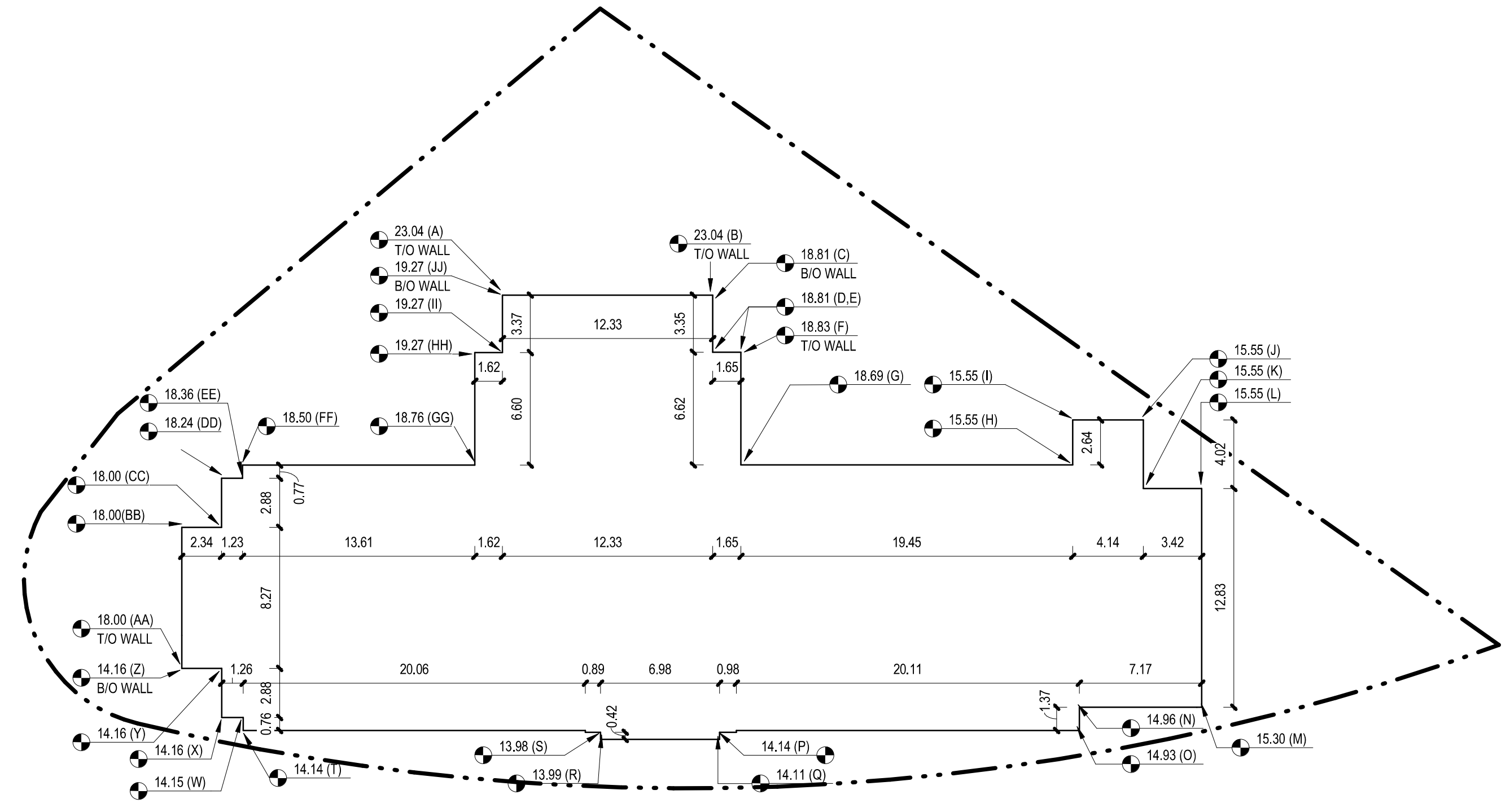
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PARKING CALCULATIONS:

| BYLAW | USE | AREA (M²) / # OF SUITES | REQUIRED | PROPOSED | REDUCTION THROUGH TDM | SHORTFALL | REFERENCE |
|------------------------------------------------------|---------------------------|-------------------------|----------|-------------------------------------------------------------------------------------------------------------------------|-----------------------|-----------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------|
| BYLAW 2018 (PART 5) | HOTEL | 126 SUITES | 32 | 27 (25 OFF-SITE) INCLUSIVE OF ONE (1) ON-SITE ACCESSIBLE PARKING SPACE AND ONE (1) ON-SITE VAN ACCESSIBLE PARKING SPACE | 8 REFER TO TDM MEMO | -2 | PER SECTION 5.1 TABLE 1 COLUMN B.3 - 0.25 SPACES PER ROOM PER SECTION 5.1 TABLE 1 COLUMN B.3 - 1 SPACE PER 40 M² |
| | FOOD AND BEVERAGE SERVICE | 216M² | 5 | | | | |
| | TOTAL | - | 37 | | | | |
| NOTE: 2 ON-SITE ACCESSIBLE STALLS TO BE ELECTRIFIED. | | | | | | | |
| BYLAW | USE | AREA (M²) / # OF SUITES | REQUIRED | PROPOSED | SURPLUS | REFERENCE | |
| BYLAW 2018 (PART 5) | HOTEL | 126 SUITES | 5 | 18 INCLUSIVE OF 2 OVERSIZED STALLS | +12 | PER SECTION 5.1 TABLE 2 COLUMN B - 1 SPACE PER 25 ROOMS PER SECTION 5.1 TABLE 2 COLUMN B - 1 SPACE PER 400M² | |
| | FOOD AND BEVERAGE SERVICE | 216M² | 1 | | | | |
| | TOTAL | - | 6 | | | | |
| BYLAW | USE | AREA (M²) / # OF SUITES | REQUIRED | PROPOSED | SURPLUS | REFERENCE | |
| BYLAW 2018 (PART 5) | HOTEL | 126 SUITES | 3 | 6 INCLUSIVE OF 1 OVERSIZED STALL | +1 | PER SECTION 5.1 TABLE 2 COLUMN C - 1 SPACE PER 40 ROOMS PER SECTION 5.1 TABLE 2 COLUMN C - 1 SPACE PER 100M² | |
| | FOOD AND BEVERAGE SERVICE | 216M² | 2 | | | | |
| | TOTAL | - | 5 | | | | |

AVERAGE GRADE CALCULATIONS:

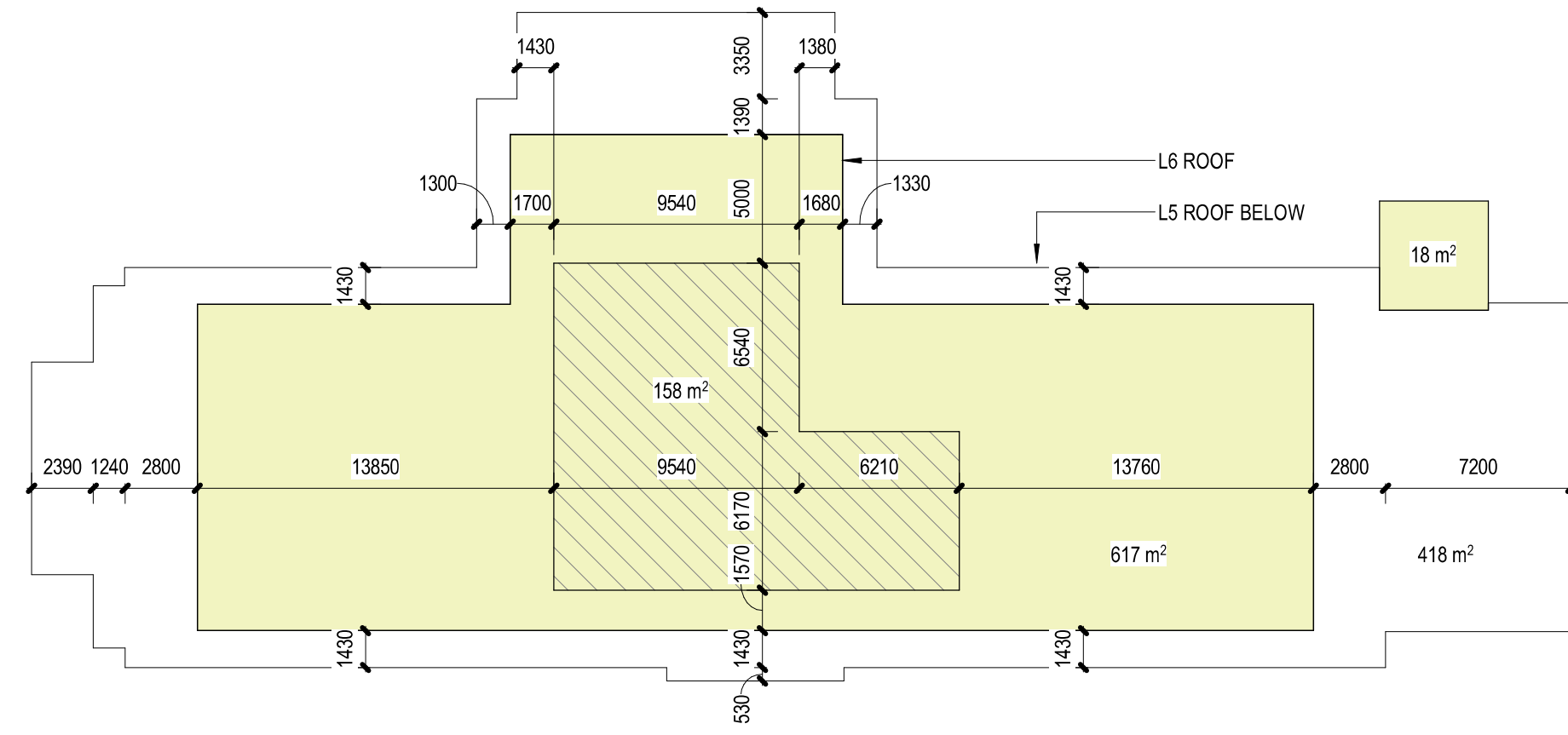
| POINT 1 | POINT 2 | DISTANCE | TOTALS | |
|---------------------------------|---------|----------|--------|---------|
| A+B | 23.04 | 23.04 | 12.33 | 284.08 |
| C+D | 18.81 | 18.81 | 3.35 | 63.01 |
| D+E | 18.81 | 18.81 | 1.65 | 31.04 |
| F+G | 18.83 | 18.09 | 6.62 | 124.19 |
| G+H | 18.69 | 15.55 | 19.45 | 332.98 |
| H+I | 15.55 | 15.55 | 2.64 | 41.05 |
| I+J | 15.55 | 15.55 | 4.14 | 64.38 |
| J+K | 15.55 | 15.55 | 4.02 | 62.51 |
| K+L | 15.55 | 15.55 | 3.42 | 53.18 |
| L+M | 15.55 | 15.30 | 12.83 | 197.90 |
| M+N | 15.30 | 14.96 | 7.17 | 108.48 |
| N+O | 14.96 | 14.93 | 1.37 | 20.47 |
| O+P | 14.93 | 14.14 | 21.09 | 306.54 |
| P+Q | 14.14 | 14.11 | 0.42 | 5.93 |
| Q+R | 14.11 | 13.99 | 6.98 | 98.07 |
| R+S | 13.99 | 13.98 | 0.42 | 5.87 |
| S+T | 13.98 | 14.14 | 20.95 | 294.56 |
| T+W | 14.14 | 14.15 | 0.76 | 10.75 |
| W+X | 14.15 | 14.16 | 1.26 | 17.84 |
| X+Y | 14.16 | 14.16 | 2.88 | 40.78 |
| Y+Z | 14.16 | 14.16 | 2.34 | 33.13 |
| AA+BB | 18.00 | 18.00 | 8.27 | 148.86 |
| BB+CC | 18.00 | 18.00 | 2.34 | 42.12 |
| CC+DD | 18.00 | 18.24 | 2.88 | 52.19 |
| DD+EE | 18.24 | 18.36 | 1.23 | 22.51 |
| EE+FF | 18.36 | 18.50 | 0.77 | 14.19 |
| FF+GG | 18.50 | 18.76 | 13.61 | 253.55 |
| GG+HH | 18.76 | 19.27 | 6.60 | 125.50 |
| HH+II | 19.27 | 19.27 | 1.62 | 31.22 |
| II+JJ | 19.27 | 19.27 | 3.37 | 64.94 |
| | | | 176.78 | 2951.84 |
| | | | | 16.70 |
| TOTAL = 2951.84 | | | | |
| PERIMETER = 176.78m | | | | |
| AVERAGE PROPOSED GRADE = 16.70m | | | | |



1 BUILDING AVERAGE GRADE PLAN
A012 1: 250

5 L6 ROOFTOP STRUCTURES PLAN

A012 1: 250

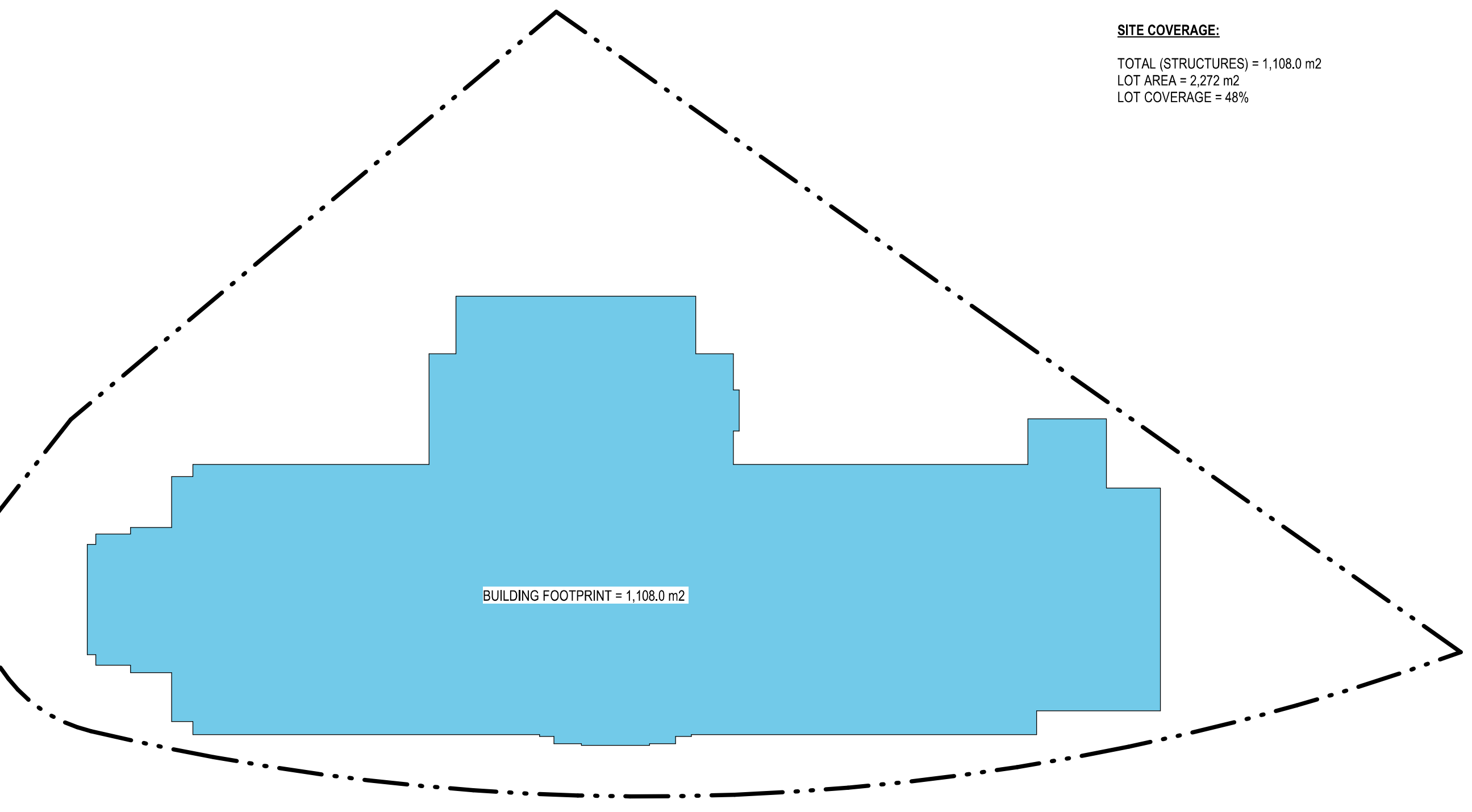


CALCULATIONS:
L5 ROOF AREA= 418m²
L6 ROOF AREA= 617m²
L6 MECH. SCREEN AREA= 158m²
MECH. SCREEN % (COMBINED L5 & L6 ROOF AREA)=15%
MECH. SCREEN % (L6 ROOF AREA ONLY)=25%

LEGEND

 L5 ROOF AREA
 L6 MECHANICAL SCREEN AREA
 L6 ROOF AREA

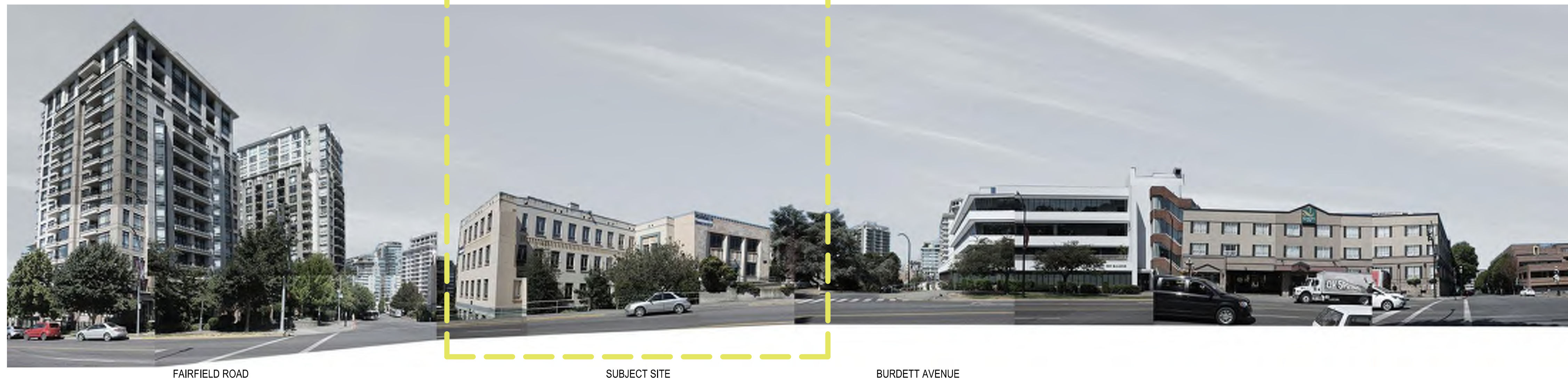
SITE COVERAGE:
TOTAL (STRUCTURES) = 1,108.0 m2
LOT AREA = 2,272 m2
LOT COVERAGE = 48%



2 SITE COVERAGE PLAN

A012 1: 250

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FAIRFIELD ROAD

SUBJECT SITE

BURDETT AVENUE

1 STREETScape - BLANSHARD STREET
A013 N.T.S.



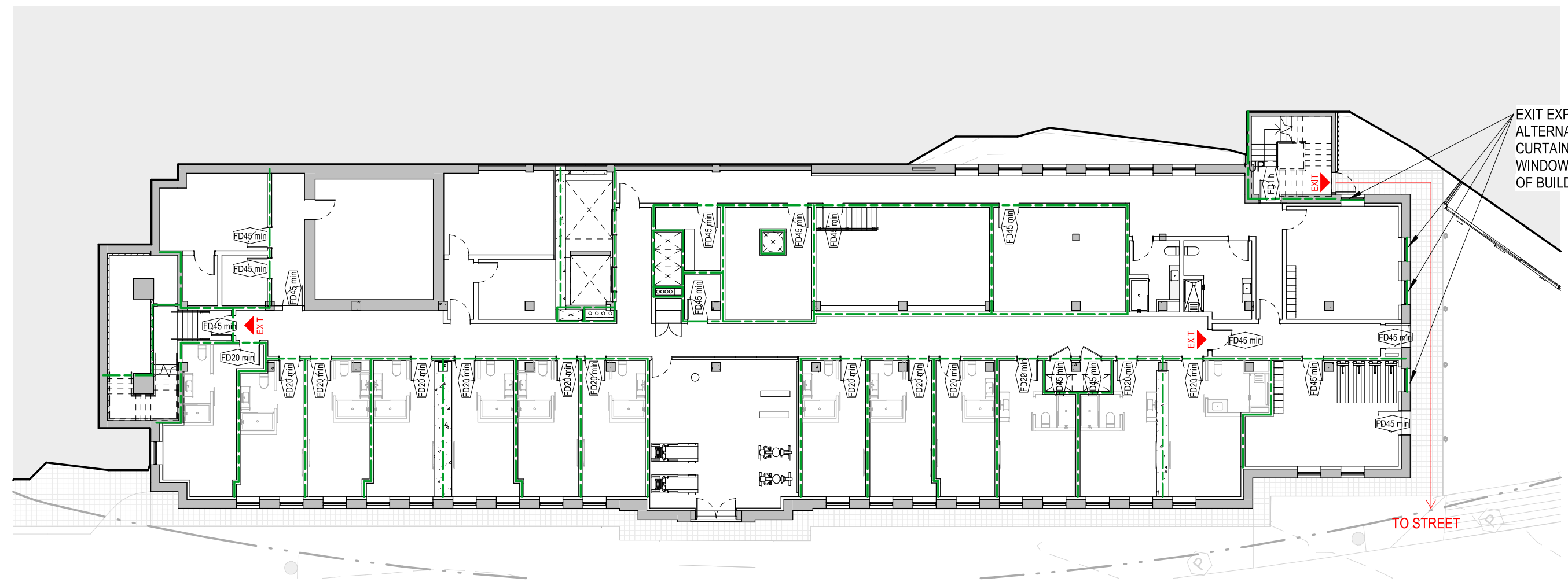
BURDETT AVENUE

SUBJECT SITE

BLANSHARD STREET

2 STREETScape - FAIRFIELD ROAD
A013 N.T.S.

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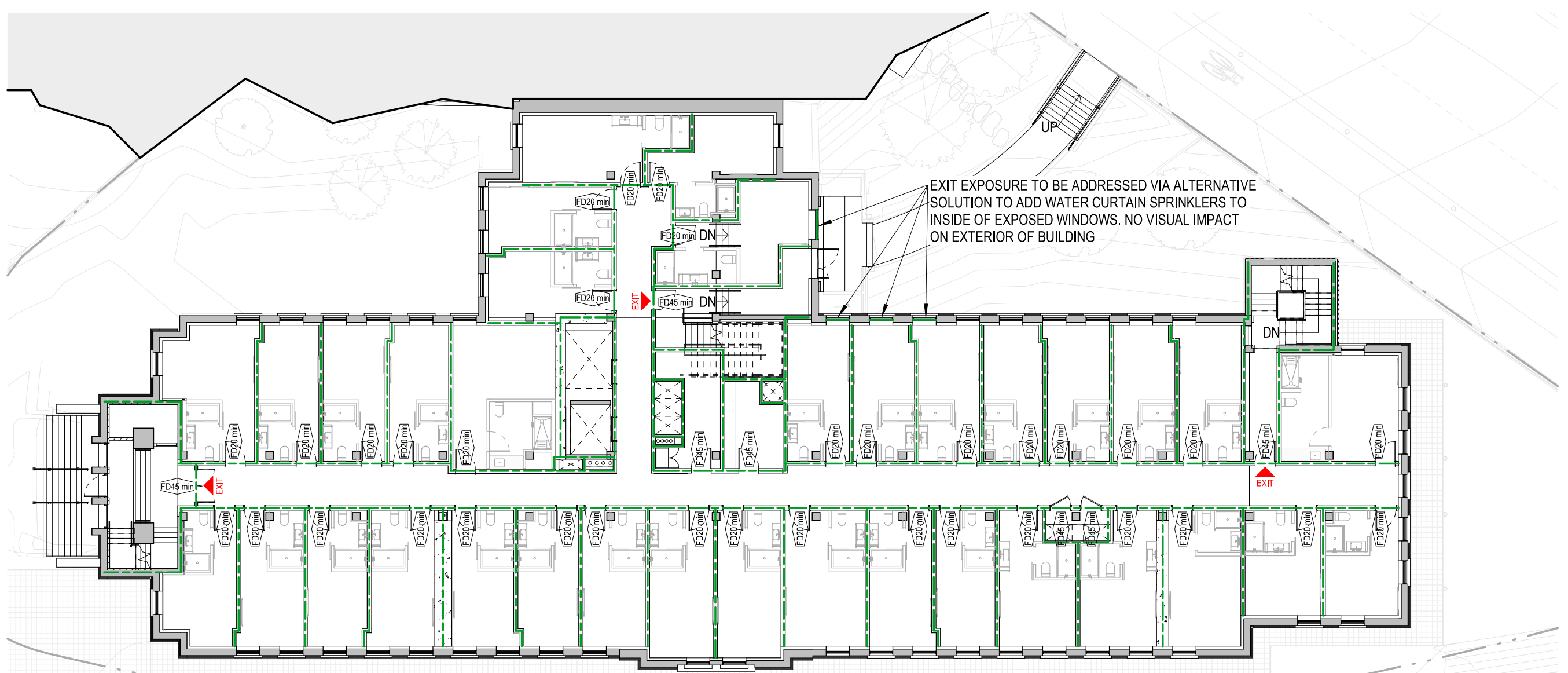
1 CODE ANALYSIS PLAN - LEVEL 1

A021 1:200



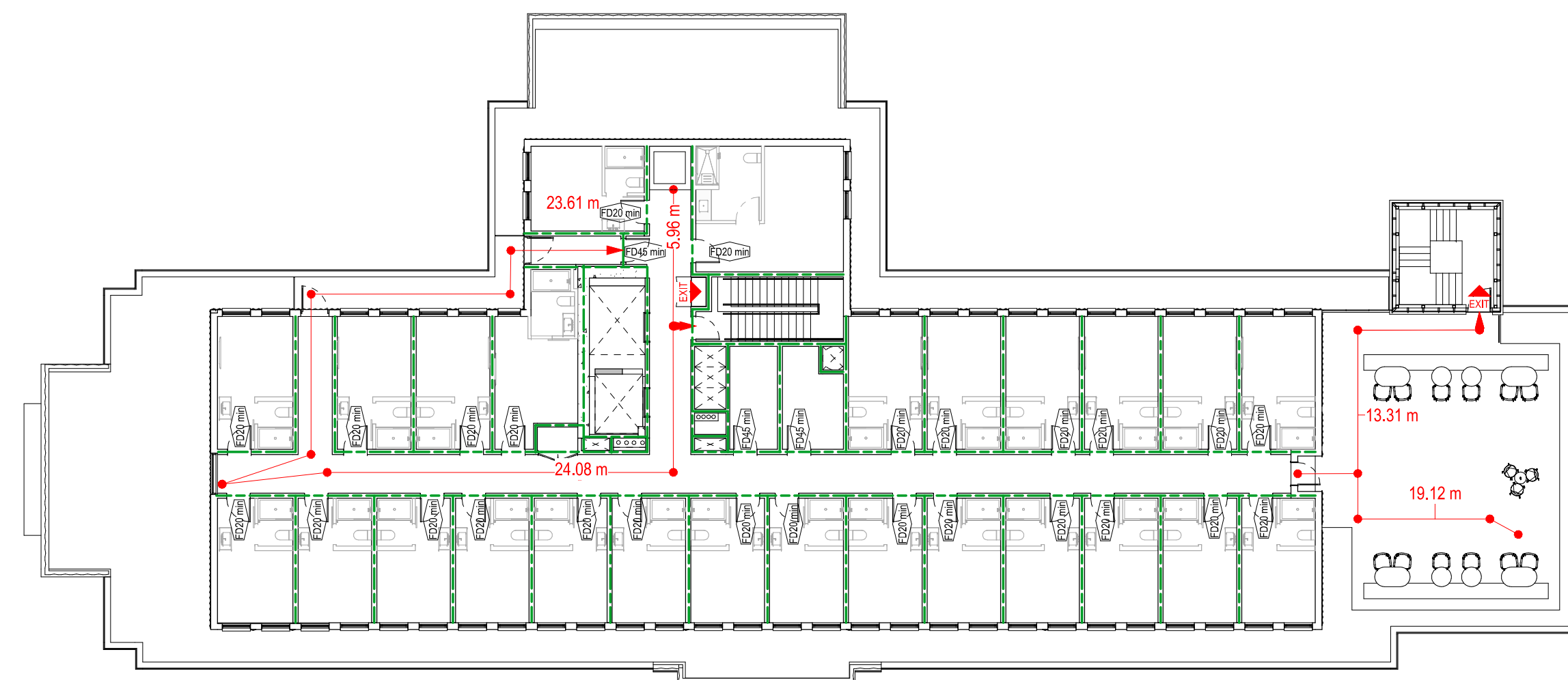
4 CODE ANALYSIS PLAN - LEVEL 4

A021 1:200



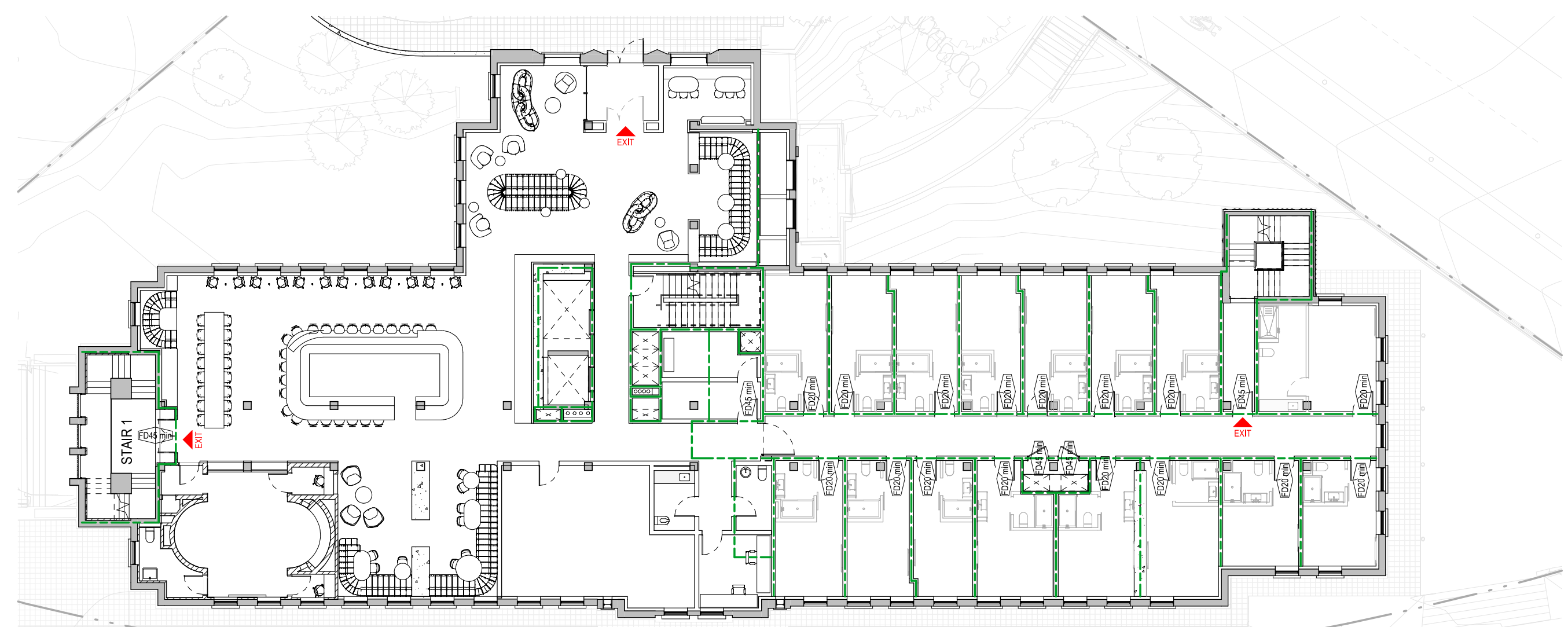
2 CODE ANALYSIS PLAN - LEVEL 2

A021 1:200



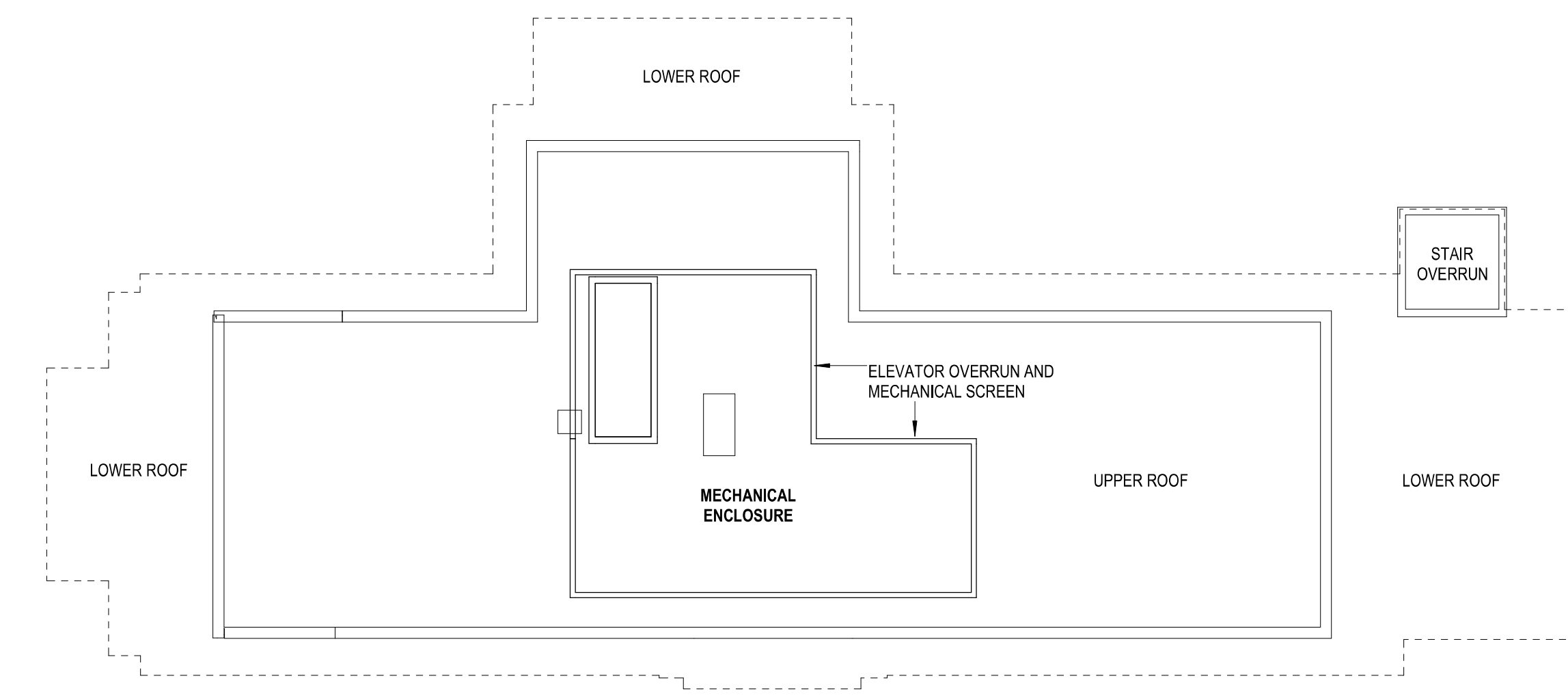
5 CODE ANALYSIS PLAN - LEVEL 5

A021 1:200



3 CODE ANALYSIS PLAN - LEVEL 3

A021 1:200



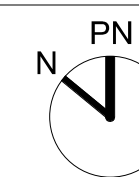
6 CODE ANALYSIS - ROOF PLAN

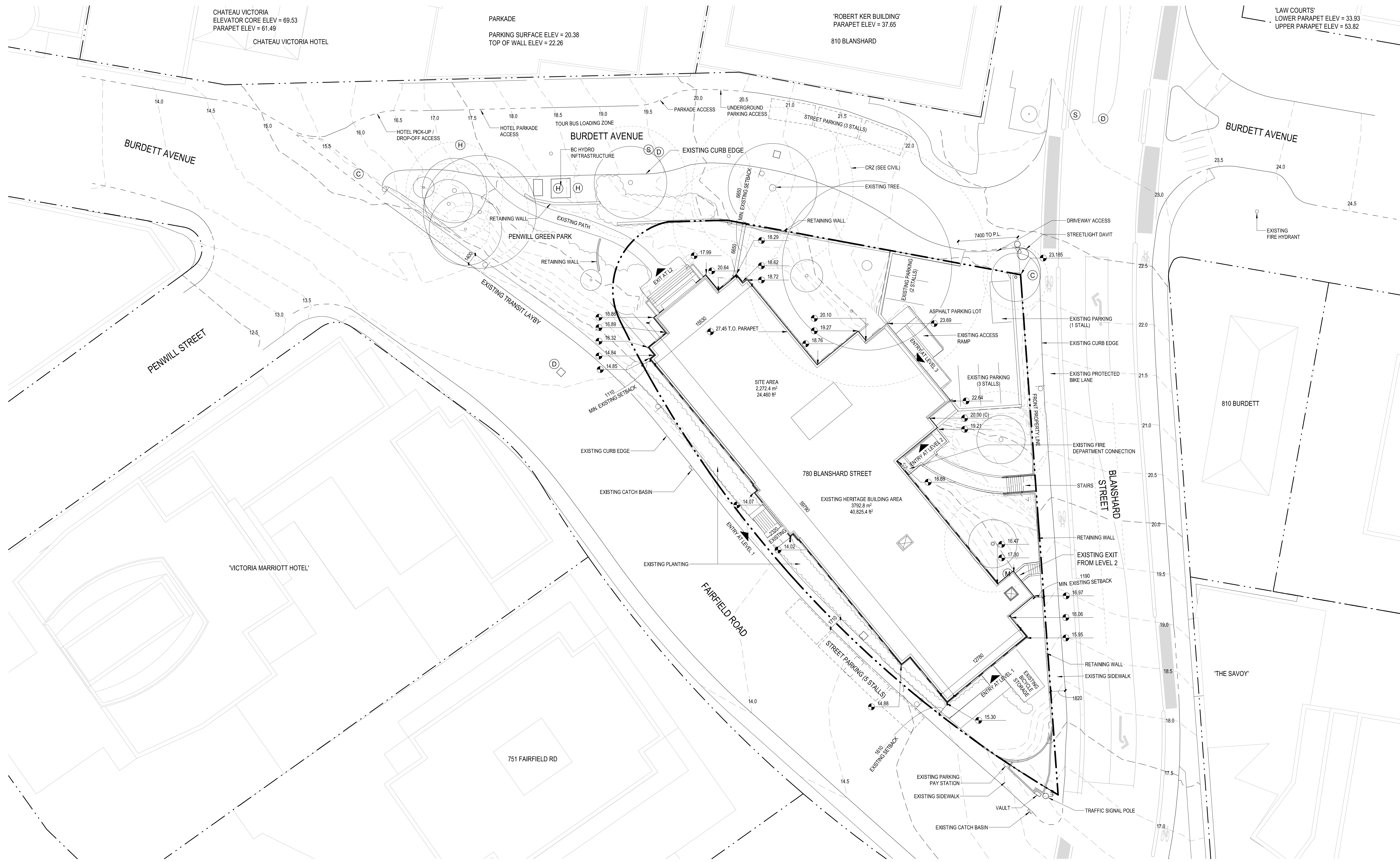
A021 1:200

LEGEND

- 0 MINUTES F.R.R.
- 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.
- FD20 min 20 MINUTES F.P.R.
- FD45 min 45 MINUTES F.P.R.
- FD1 h 60 MINUTES F.P.R.

NOTE:
1. DRAWING TO BE READ IN COLOUR.
2. DRAWINGS TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY TCCP.





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architects + designers
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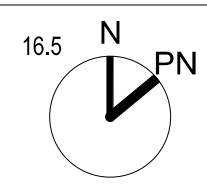


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| REV | DATE | DESCRIPTION |
|-----|--------------|-----------------------------------------|
| A | OCT 31, 2025 | ISSUED FOR HERITAGE ALTERATION PERMIT |
| B | MAY 29, 2026 | REISSUED FOR HERITAGE ALTERATION PERMIT |



780 Blanshard Hotel
780 Blanshard St, Victoria BC
2025-004



A030
SITE PLAN EXISTING
SCALE: 1:200

DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

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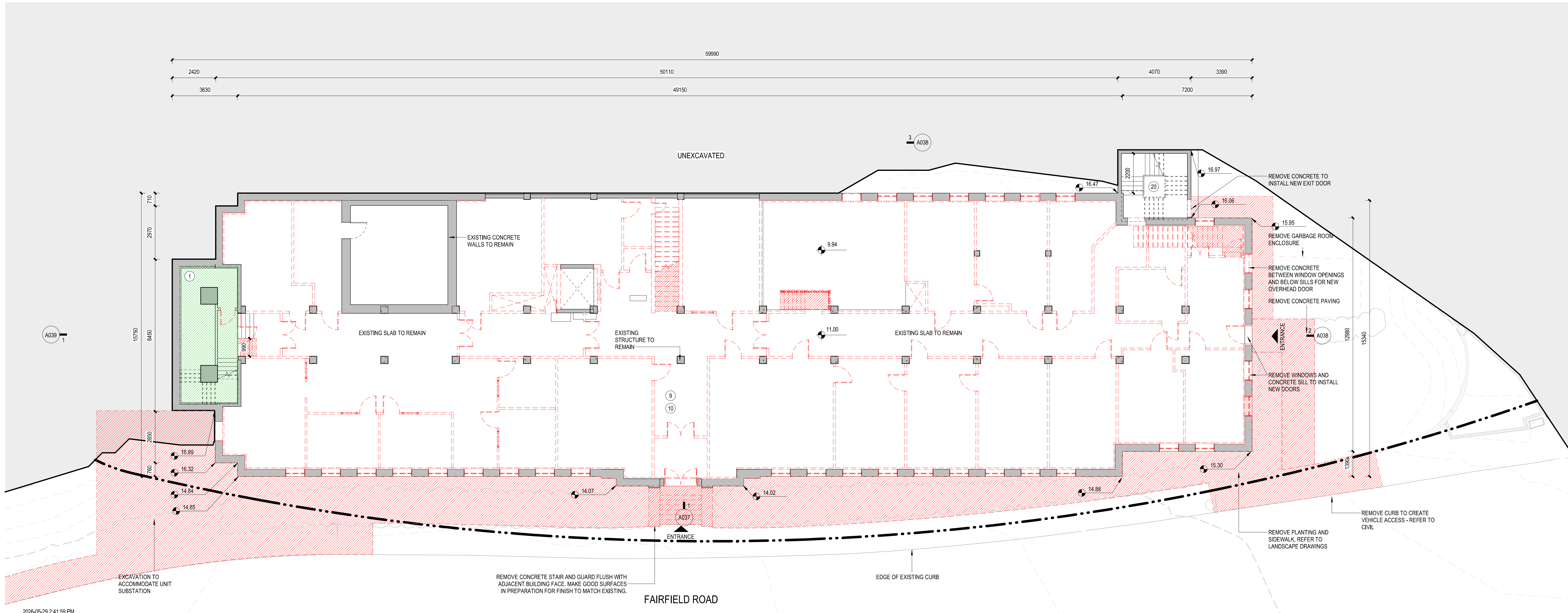
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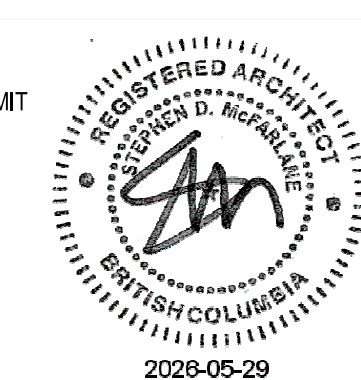
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| REV | DATE | DESCRIPTION |
|-----|--------------|-----------------------------------------|
| A | OCT 31, 2025 | ISSUED FOR HERITAGE ALTERATION PERMIT |
| B | MAY 29, 2026 | REISSUED FOR HERITAGE ALTERATION PERMIT |



780 Blanshard Hotel
780 Blanshard St, Victoria BC
2025-004



A031
LEVEL 1 DEMOLITION/RETENTION PLAN
SCALE: 1:100

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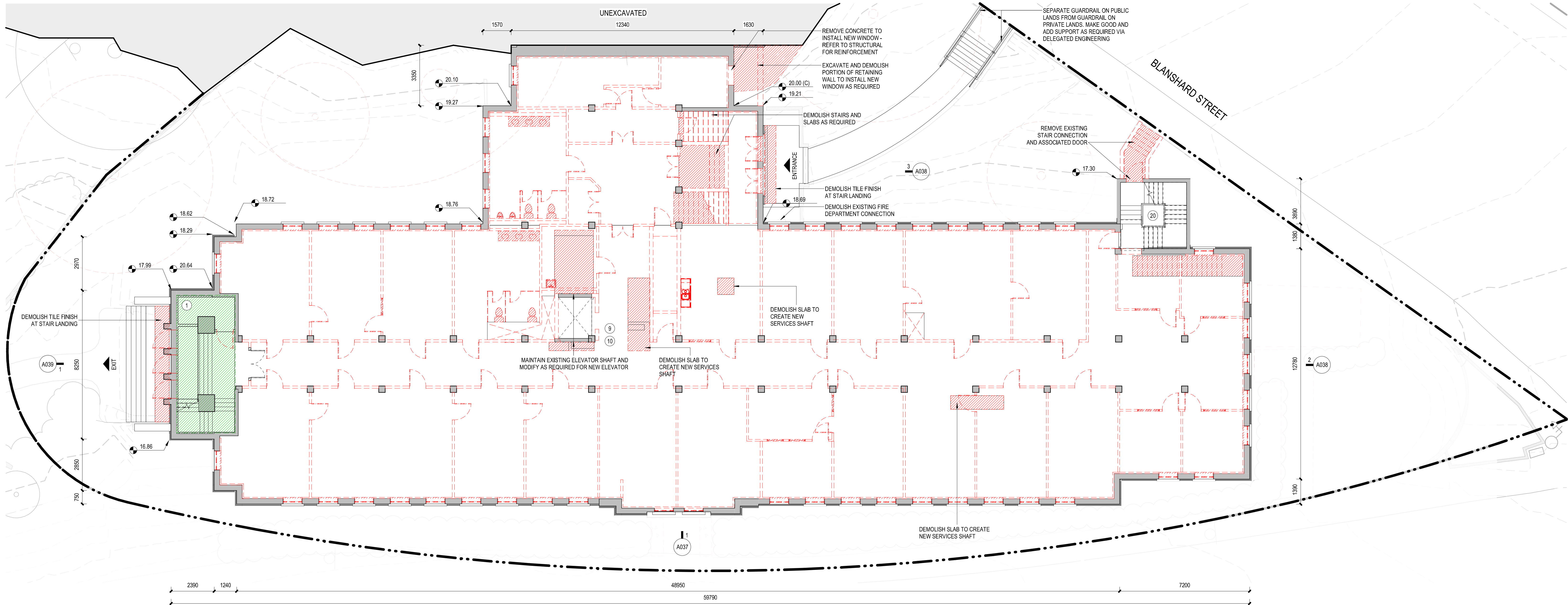
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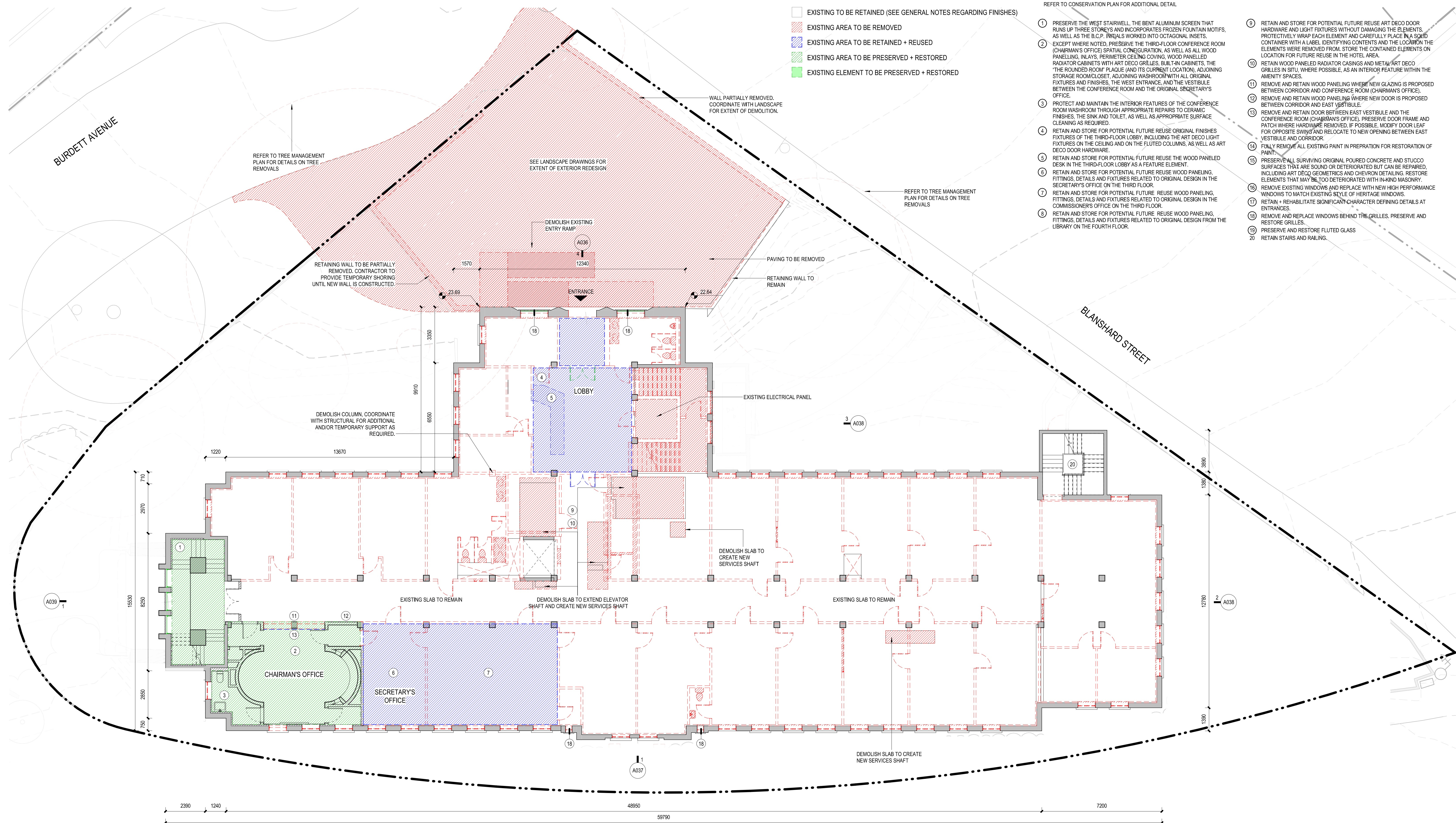
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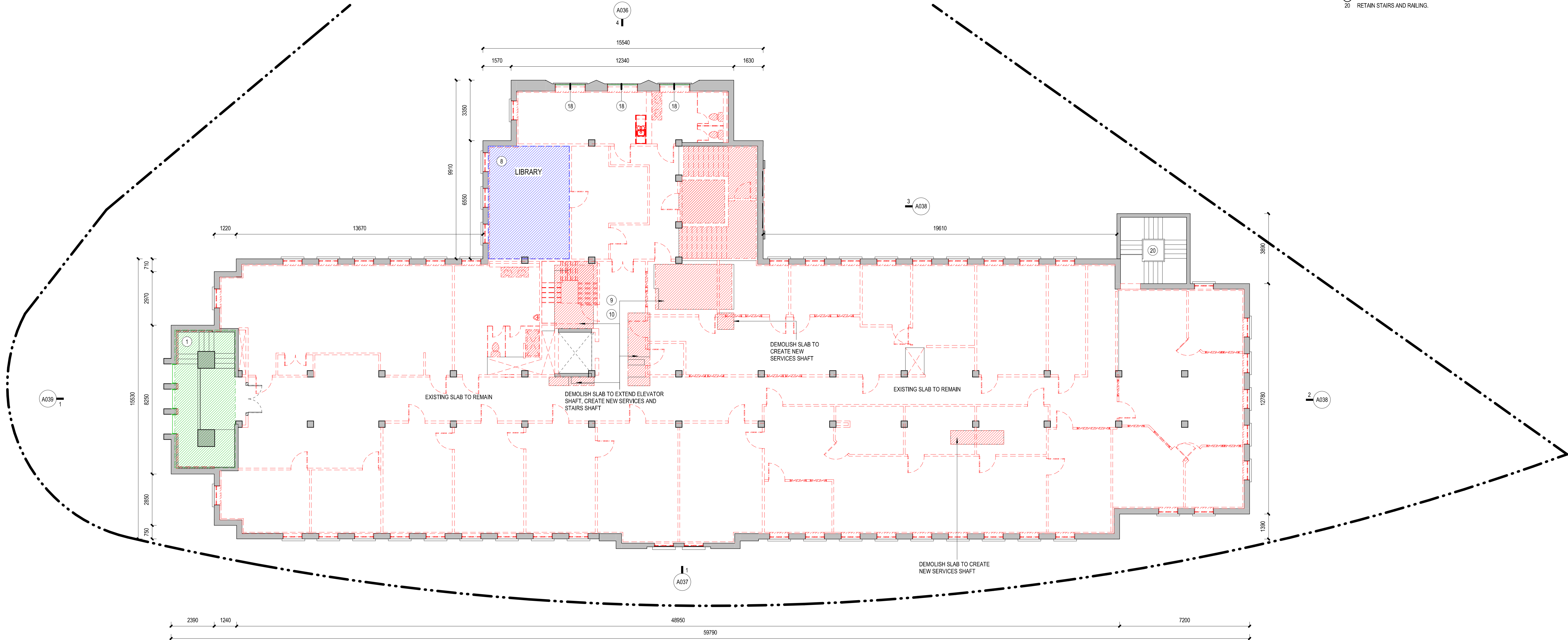
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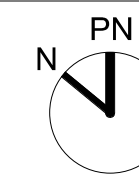
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- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.C.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 EXCEPT WHERE NOTED, PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, IN-LAYS, PERIMETER CEILING COVING, WOOD PANELED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE "THE ROUNDED ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
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- 10 FULLY REMOVE ALL EXISTING PAINT IN PREPARATION FOR RESTORATION OF PAINT.
- 11 PRESERVE ALL SURVIVING ORIGINAL POURED CONCRETE AND STUCCO SURFACES THAT ARE SOUND OR DETERIORATED BUT CAN BE REPAIRED, INCLUDING ART DECO GEOMETRICS AND CHEVRON DETAILING. RESTORE ELEMENTS THAT MAY BE TOO DETERIORATED WITH IN-KIND MASONRY.
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- 17 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 18 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE AMENITY SPACES.
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DEMOLITION NOTES:

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REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

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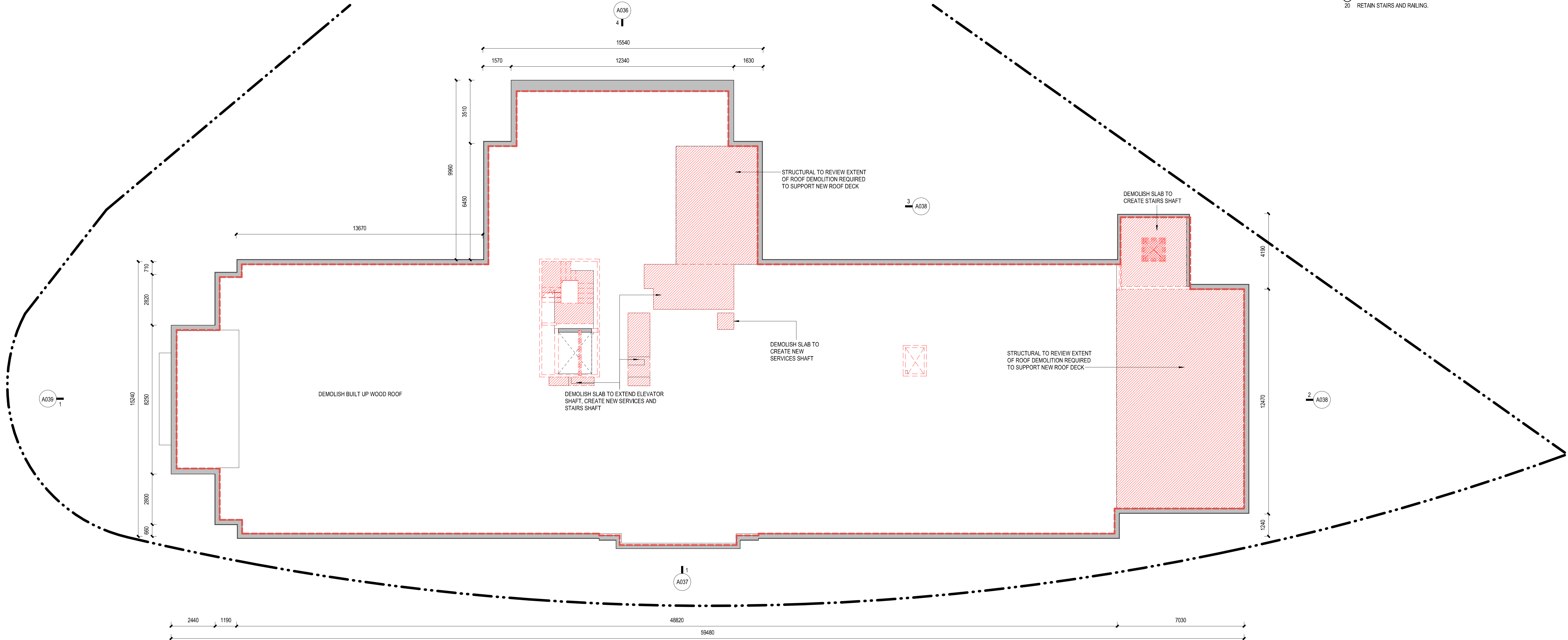
LEGEND

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- 4 RETAIN AND STORE FOR POTENTIAL FUTURE REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE.
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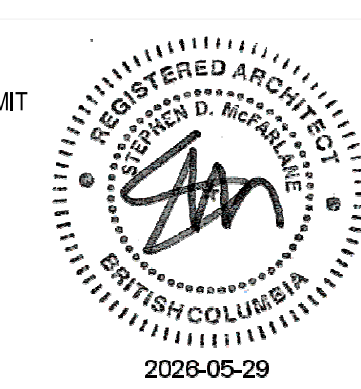
1 Level 1 Demolition Plan
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A035 1:100

omb office of mcfarlane biggar
architects + designers
301-1825 Quebec Street Vancouver, BC V5T 2Z3
102 - 31 Bastion Square Victoria, BC V8W 1J1
T 604 558 8344 E info@officeomb.ca officeomb.ca



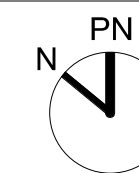
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| REV | DATE | DESCRIPTION |
|-----|--------------|-----------------------------------------|
| A | OCT 31, 2025 | ISSUED FOR HERITAGE ALTERATION PERMIT |
| B | MAY 29, 2026 | REISSUED FOR HERITAGE ALTERATION PERMIT |



780 Blanshard Hotel

780 Blanshard St, Victoria BC
2025-004



A035

LEVEL 5 DEMOLITION/RETENTION PLAN
SCALE: 1:100

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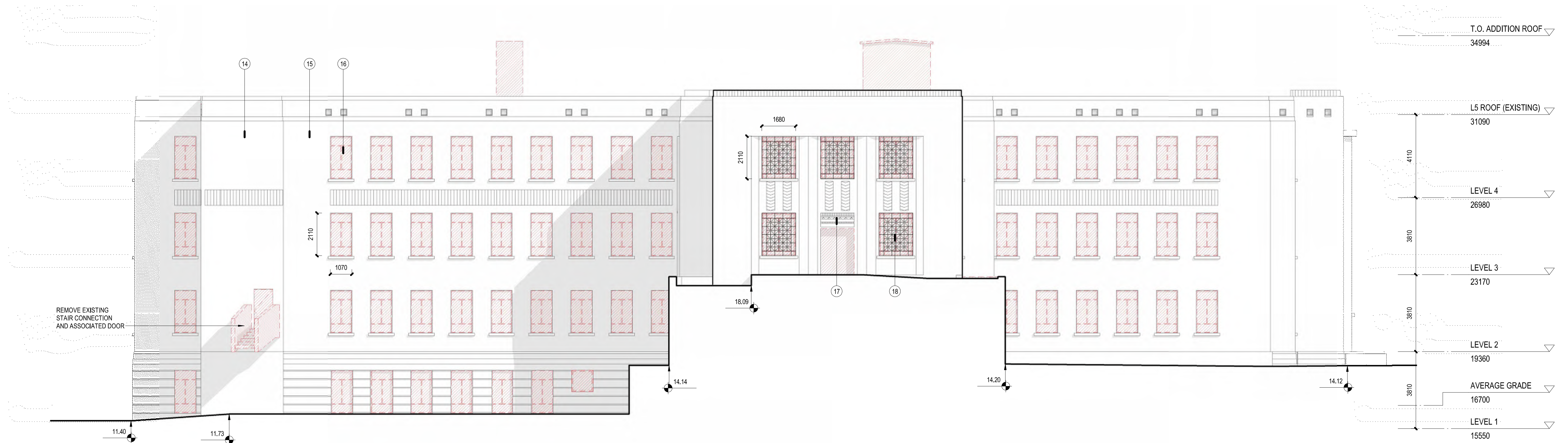
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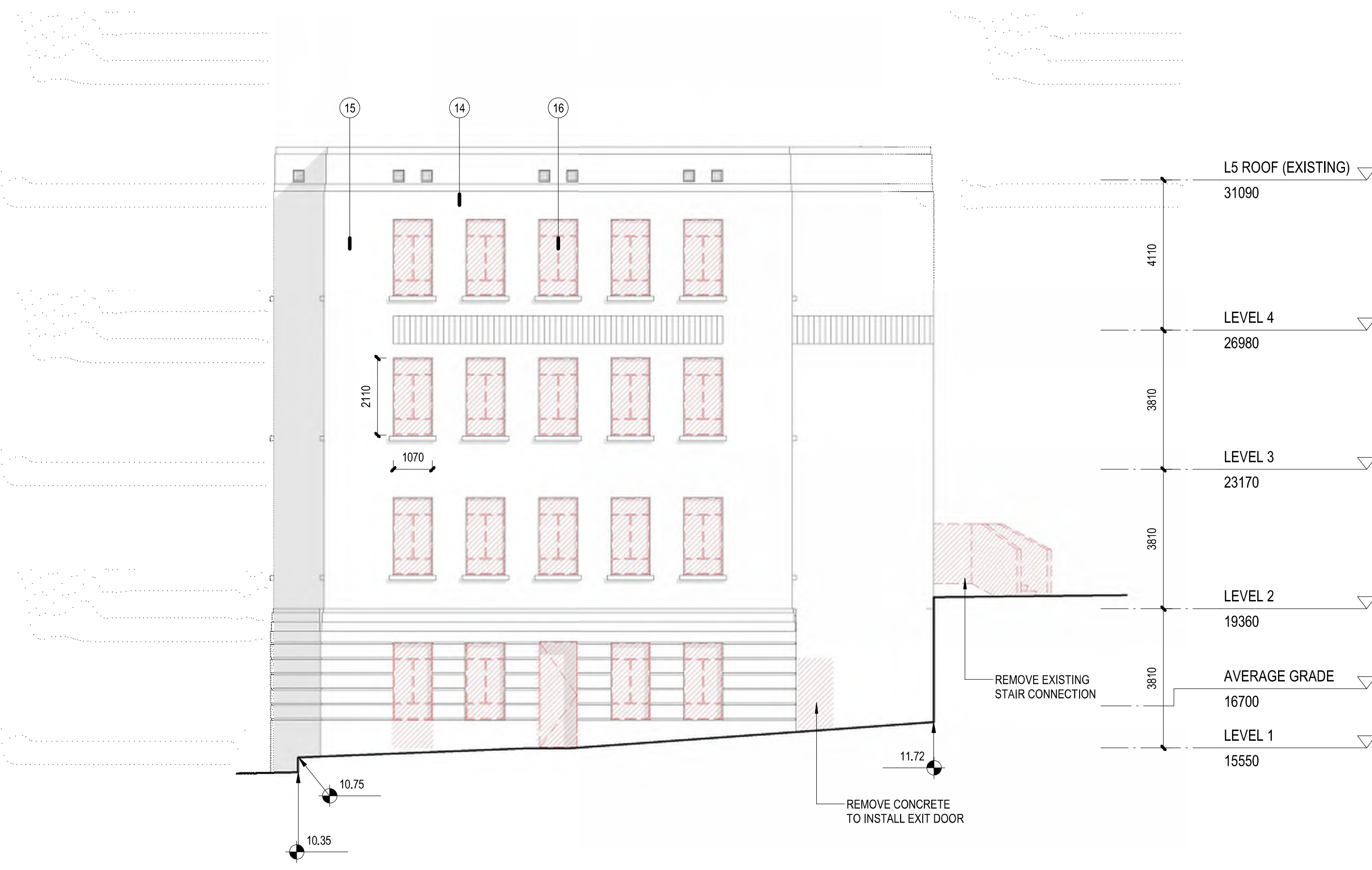
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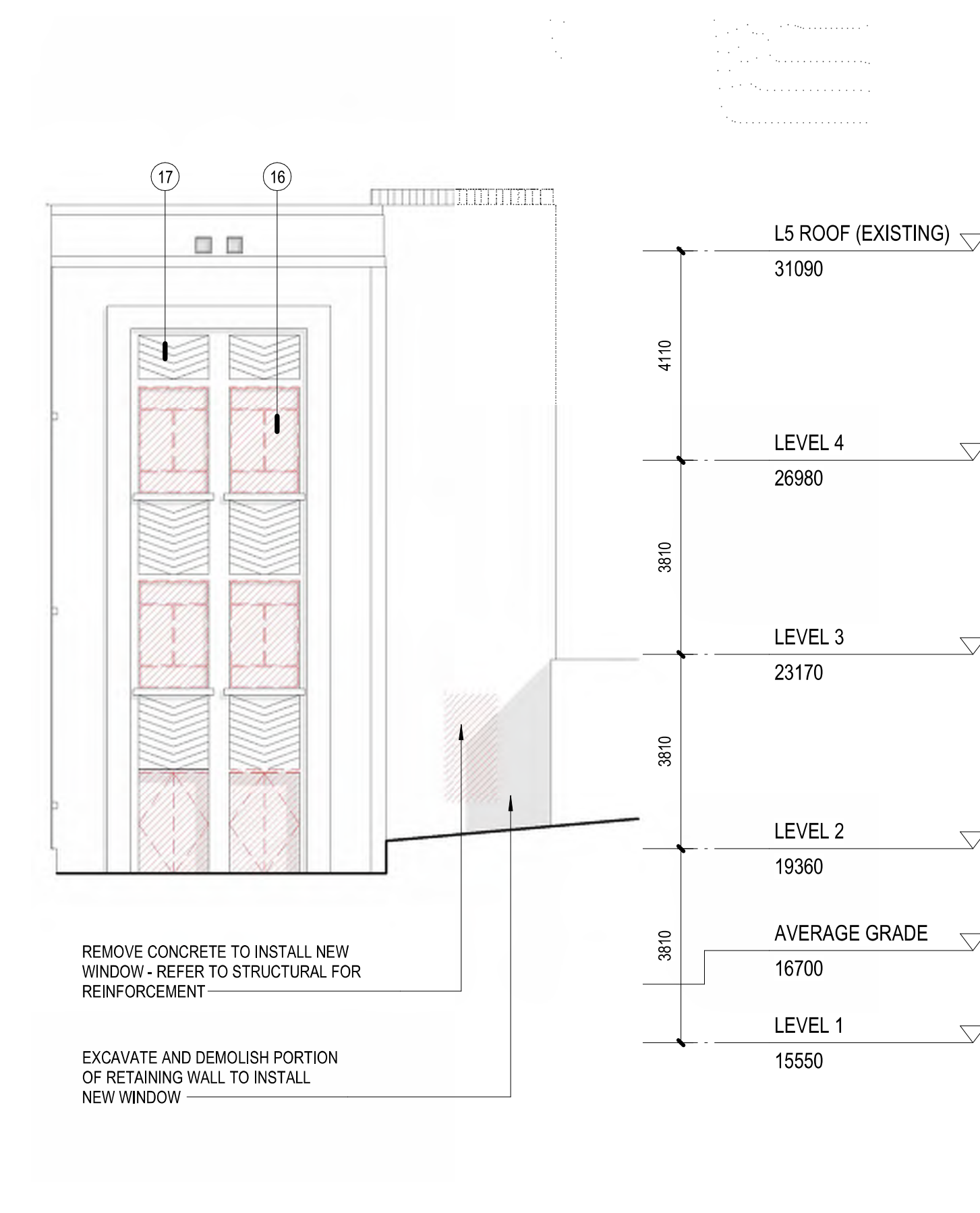
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2 EAST DEMOLITION ELEVATION
A038 1:100



3 NORTH EAST DEMOLITION ELEVATION
A038 1:100

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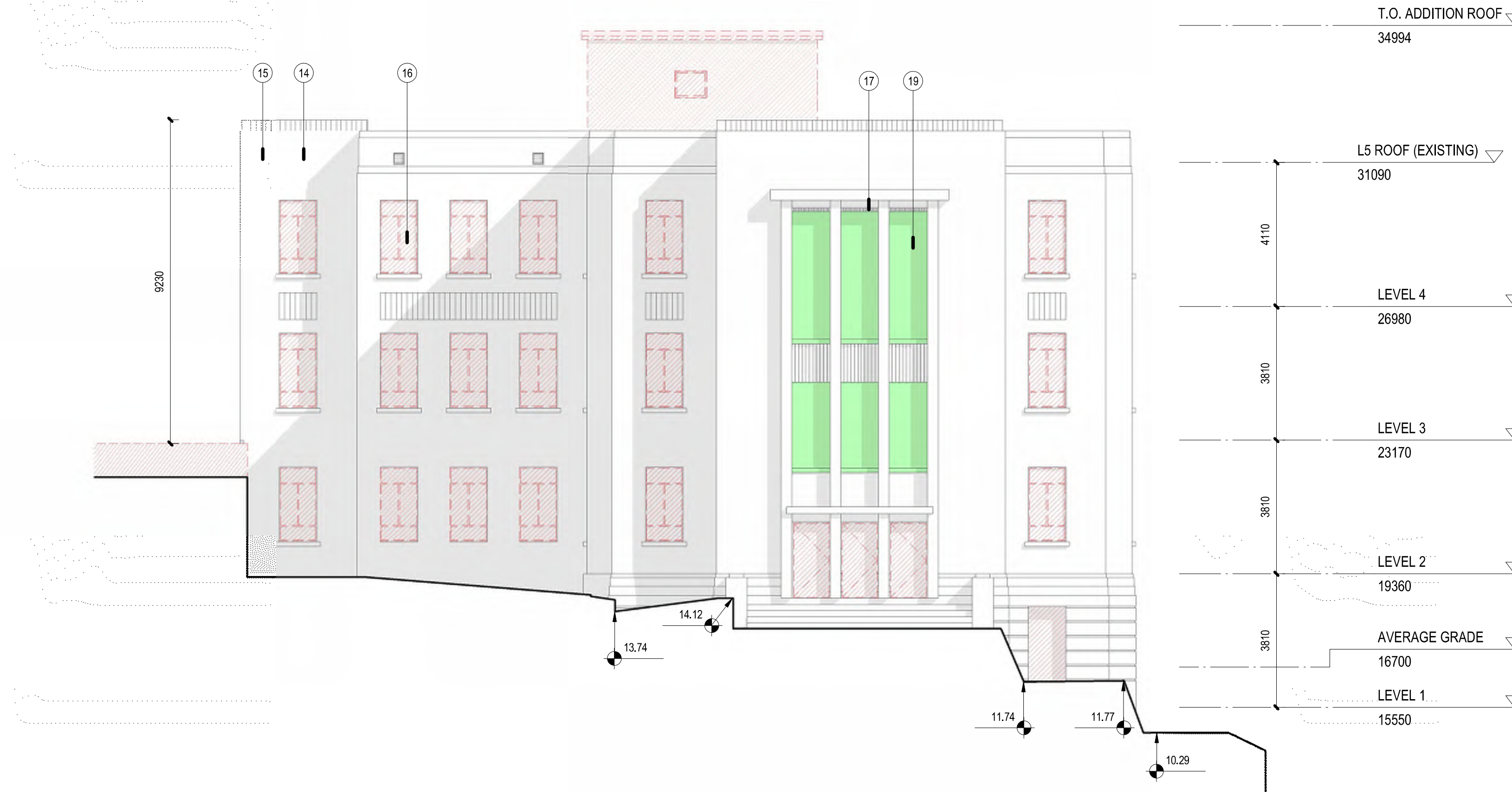
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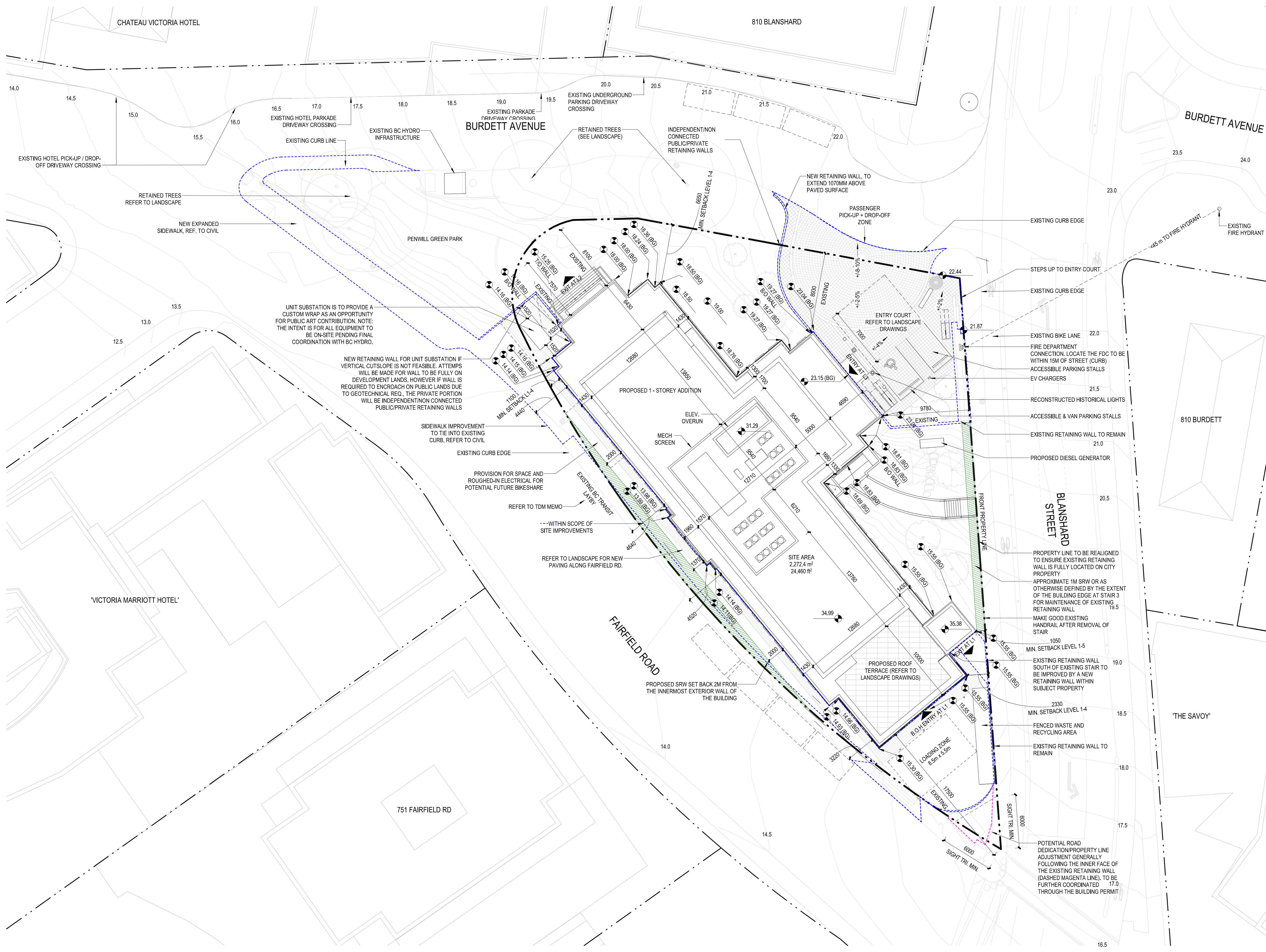
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1 WEST DEMOLITION ELEVATION
A039 1 : 100

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PROJECT INFORMATION

| | EXISTING | PERMITTED/REQUIRED | PROPOSED |
|---------------------------|-----------------------------------------------|--------------------|-----------------------------------------------|
| ZONE | CBD-1 | - | CBD-1 |
| SITE AREA | 2,272 m ² / 24,460 ft ² | - | 2,272 m ² / 24,460 ft ² |
| TOTAL FLOOR AREA (m2) | 3,793 m ² / 40,827 ft ² | - | 4,360 m ² / 46,930 ft ² |
| FLOOR SPACE RATIO | 1.67 | 3.0 | 1.9 |
| SITE COVERAGE | 48% | - | 48% |
| OPEN SITE SPACE | 52% | - | 52% |
| HEIGHT OF BUILDING | 15.01 m/49'-3" | 43.0 m/141'-1" | 18.85m/61'-8" |
| NUMBER OF STOREYS | 4 | - | 5 (4 EXISTING+ 1 ADDITION) |
| PARKING STALLS | 6 | 37 STALLS | 2 ON-SITE + 25 OFF-SITE STALLS |
| BICYCLE PARKING (CLASS 1) | 0 | 6 | 18 |
| BICYCLE PARKING (CLASS 2) | 12 (LOCATED BEHIND LOCKED FENCE) | 5 | 6 |

BUILDING SETBACKS

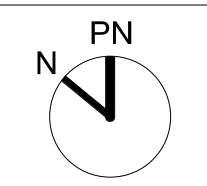
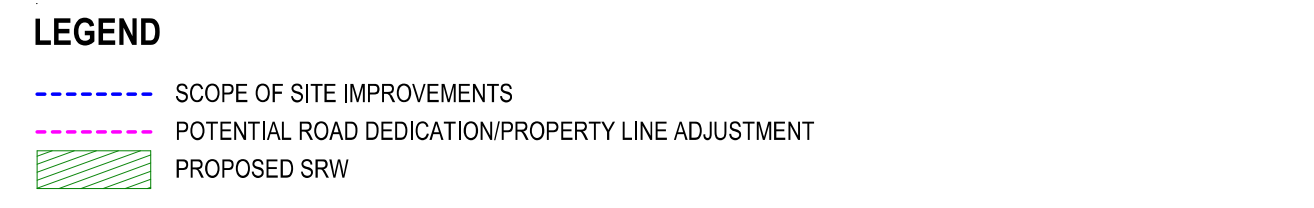
| | EXISTING | PERMITTED/REQUIRED | PROPOSED |
|---------------------------------|----------------|--------------------|----------------|
| FRONT YARD - BLANSHARD STREET | 1.19 m/3'-11" | - | 1.05 m/3'-5" |
| SIDE/REAR YARD - BURDETT AVENUE | 6.65 m/21'-10" | - | 6.65 m/21'-10" |
| SIDE/REAR YARD - FAIRFIELD ROAD | 1.10 m/3'-7" | - | 1.10 m/3'-7" |

| | EXISTING | PERMITTED/REQUIRED | PROPOSED |
|-------------------------------|----------|--------------------|------------------------|
| ROOFTOP STRUCTURE (PROJECT N) | 9.95 | 3m | 1.5m-4.98m (VARIANCE) |
| ROOFTOP STRUCTURE (PROJECT E) | 8.84 | 3m | 1.5m-10.45m (VARIANCE) |
| ROOFTOP STRUCTURE (PROJECT S) | 8.76 | 3m | 1.57m (VARIANCE) |
| ROOFTOP STRUCTURE (PROJECT W) | 2.94 | 3m | 1.5m-9.86m (VARIANCE) |

HOTEL USE DETAILS

| | | | |
|---------------------------------------|---|---|--------------------------------------------|
| TOTAL NUMBER OF 1 BEDROOM HOTEL ROOMS | - | - | 126 |
| TOTAL ACCESSIBLE HOTEL ROOMS | - | - | 7 |
| GROUND ORIENTED UNITS | - | - | 0 |
| MINIMUM HOTEL UNIT FLOOR AREA | - | - | 13.65 m ² / 147 ft ² |

- ### PROJECT INFORMATION TABLE GENERAL NOTES
- REFER TO A012 FOR TDM MEMO TO REDUCE TOTAL PARKING NUMBERS REQUIRED.
 - IT IS ASSUMED GROUND ORIENTED SUITES ARE SUITES THAT HAVE DIRECT ACCESS OUTSIDE AT GRADE, WHICH FOR THIS BUILDING THERE ARE NO HOTEL SUITES WITH GROUND FLOOR ACCESS.
 - THE EXISTING BUILDING IS NOT PARALLEL TO THE PROPERTY LINE. SETBACKS IN THE TABLE ABOVE ARE THE MINIMUM SETBACKS ON THE THREE EDGES OF THE PROPERTY LINE.
 - ZONE CBD-1 DOES NOT OUTLINE ANY MINIMUM SETBACKS FOR BUILDINGS UNDER 20M.





2026-05-29 2:42:36 PM

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T 604 558 8344 E info@officeomb.ca officeomb.ca

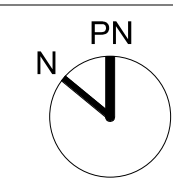


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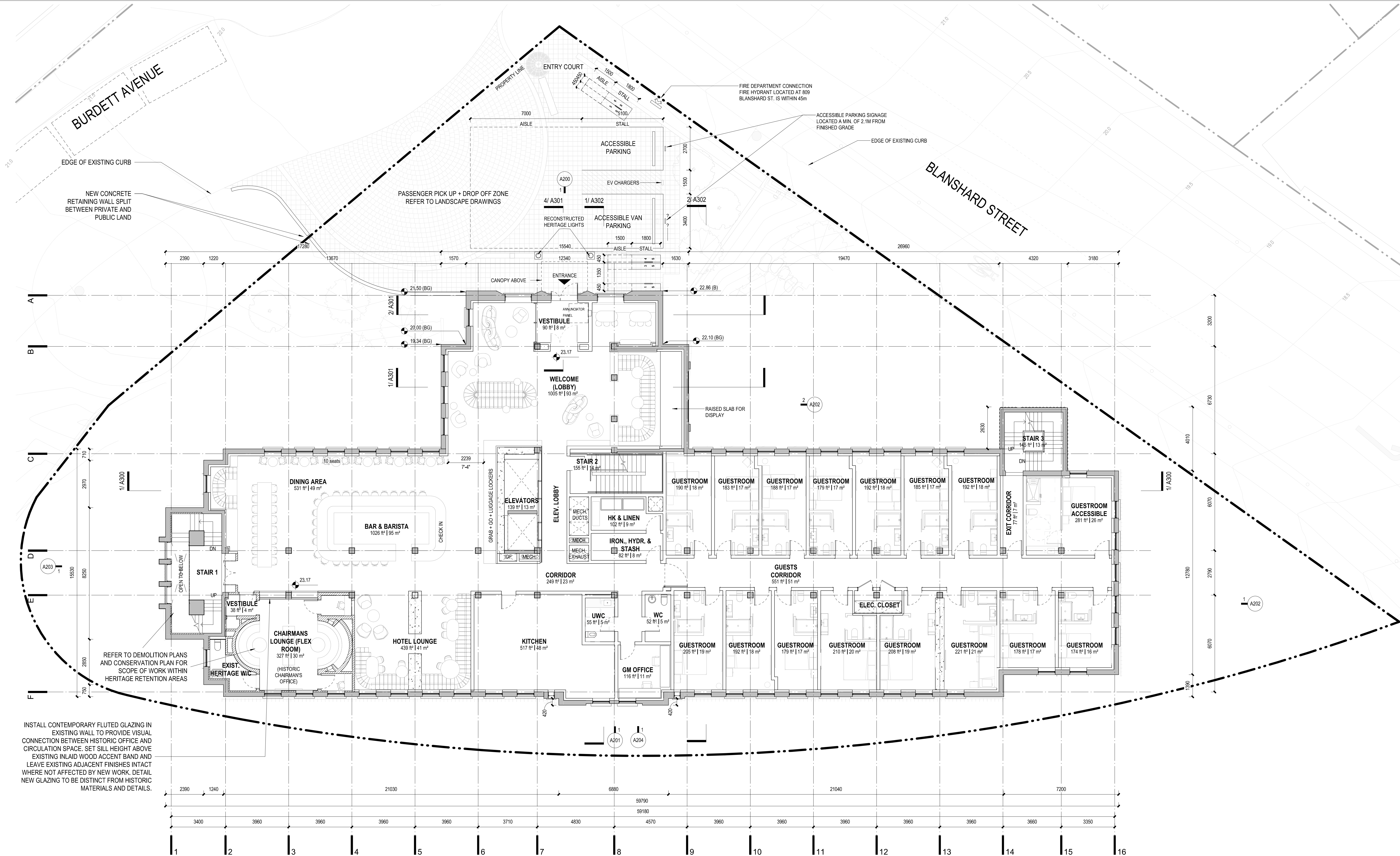
| REV | DATE | DESCRIPTION |
|-----|--------------|-----------------------------------------|
| A | OCT 31, 2025 | ISSUED FOR HERITAGE ALTERATION PERMIT |
| B | MAY 29, 2026 | REISSUED FOR HERITAGE ALTERATION PERMIT |



780 Blanshard Hotel
780 Blanshard St, Victoria BC
2025-004



A101
LEVEL 1 FLOOR PLAN
SCALE: 1:100



2026-05-29 2:42:45 PM

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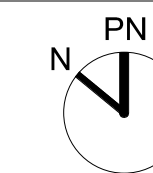
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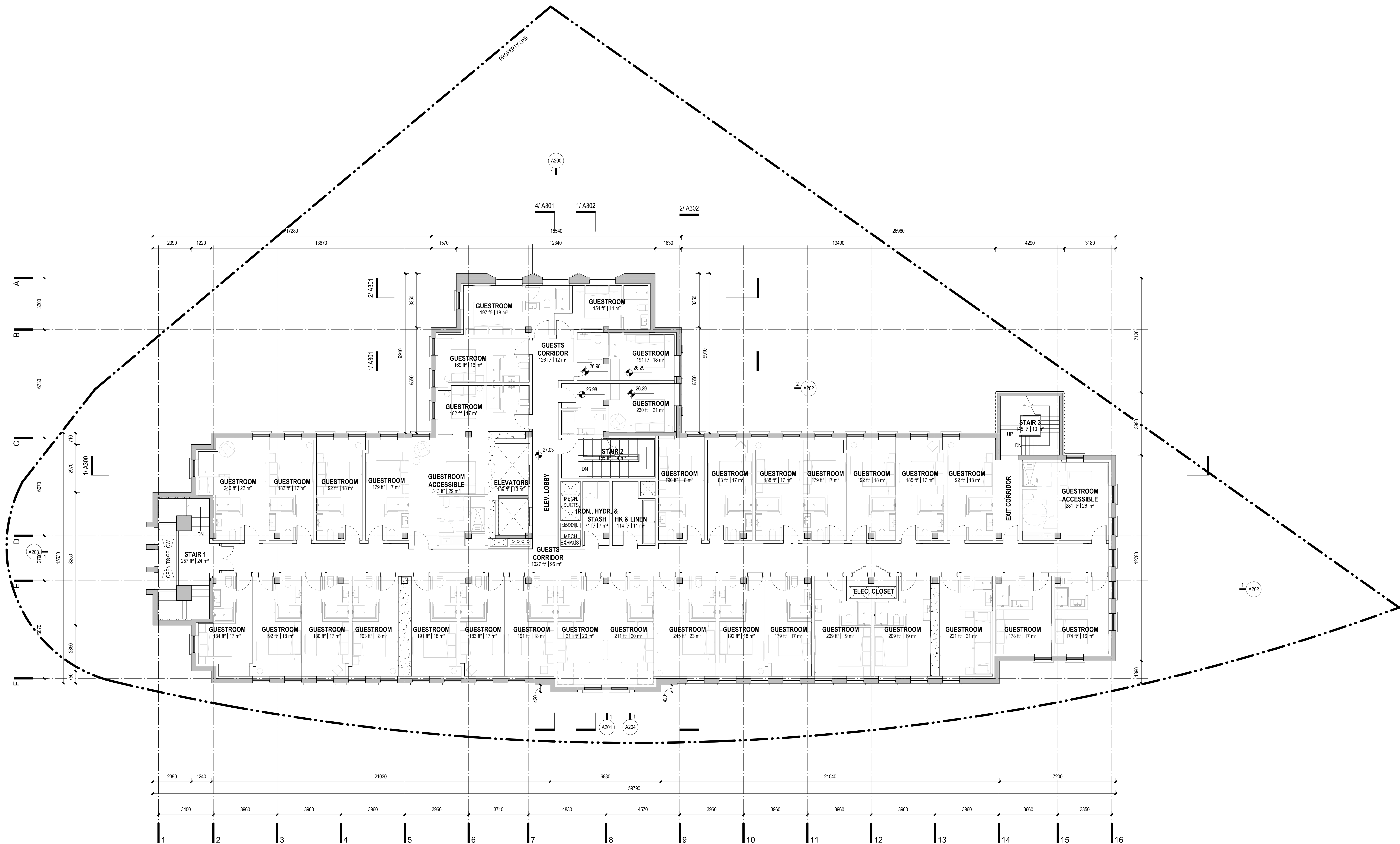


780 Blanshard Hotel

780 Blanshard St, Victoria BC
2025-004



A103
LEVEL 3 FLOOR PLAN
SCALE: 1:100



2026-05-29 2:42:49 PM

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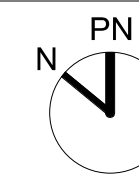
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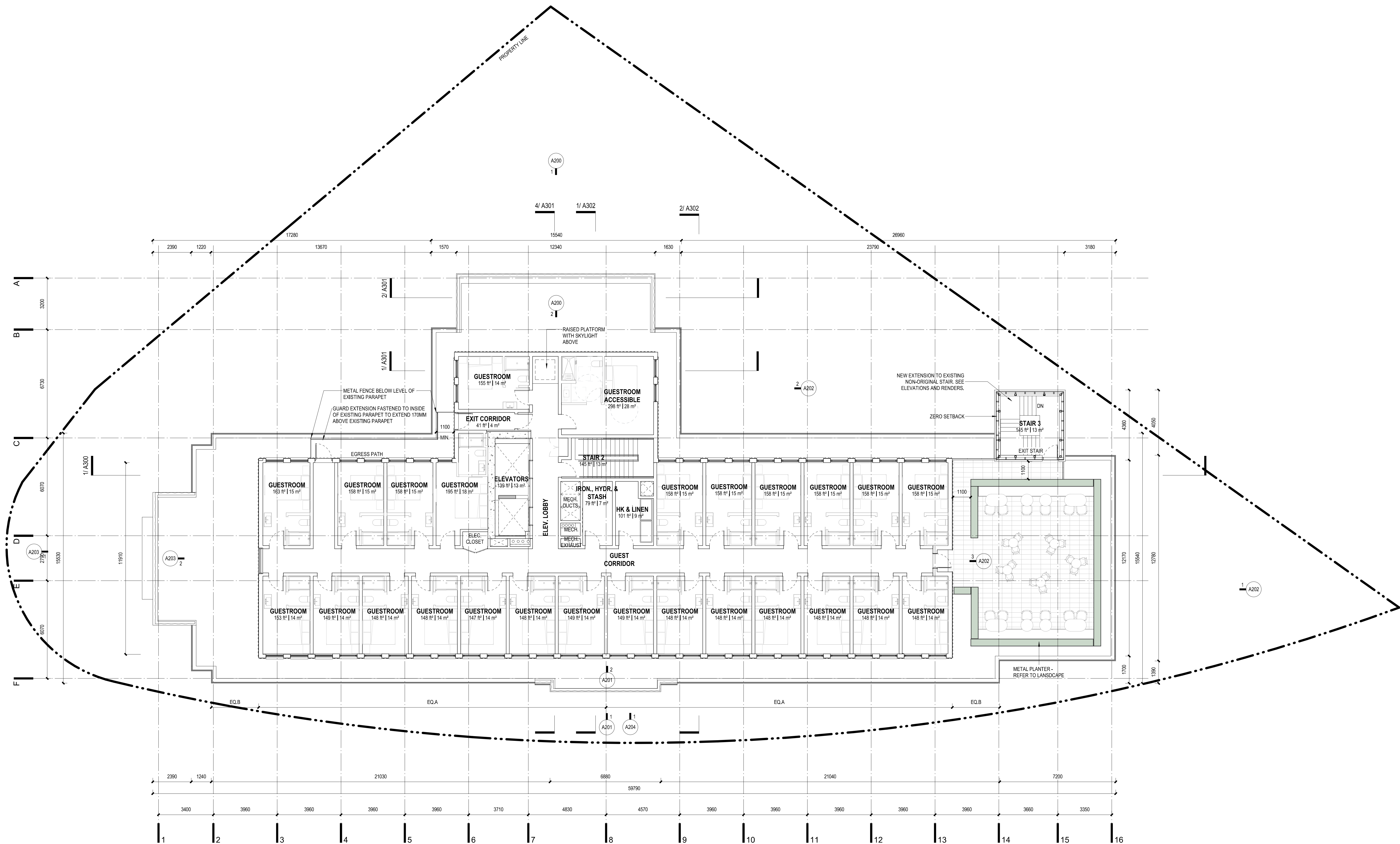


780 Blanshard Hotel

780 Blanshard St, Victoria BC
2025-004



A104
LEVEL 4 FLOOR PLAN
SCALE: 1:100



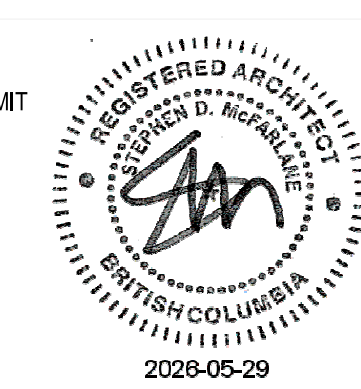
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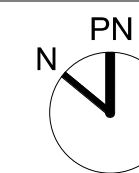


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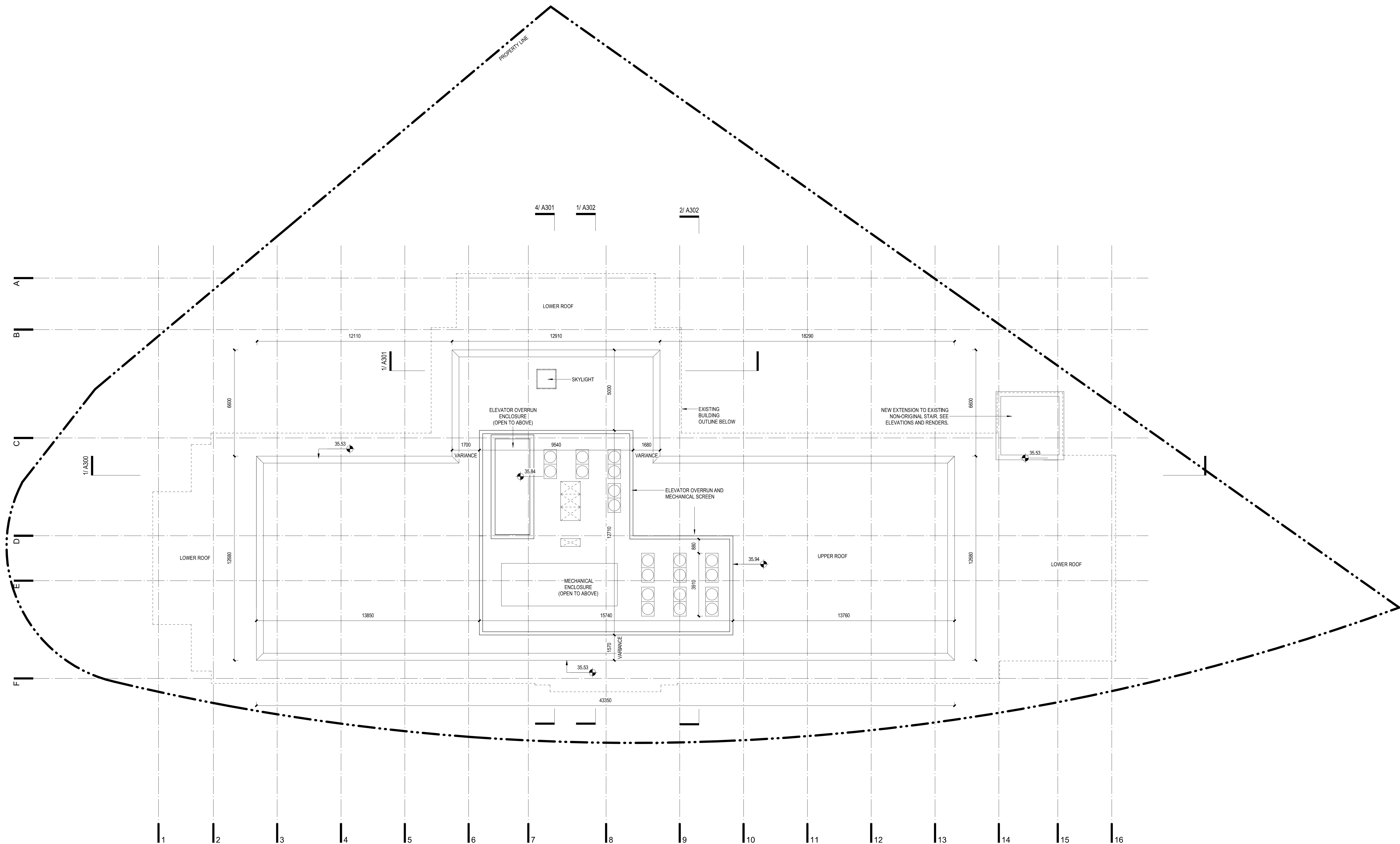
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780 Blanshard Hotel
780 Blanshard St, Victoria BC
2025-004



A105
LEVEL 5 FLOOR PLAN
SCALE: 1 : 100



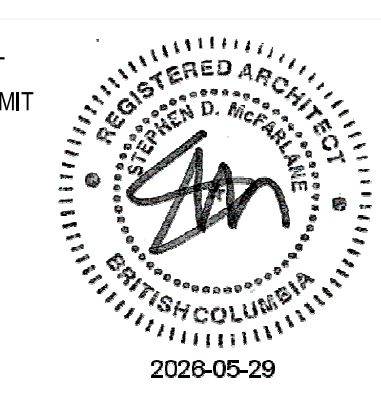
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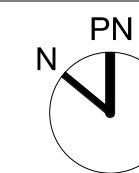


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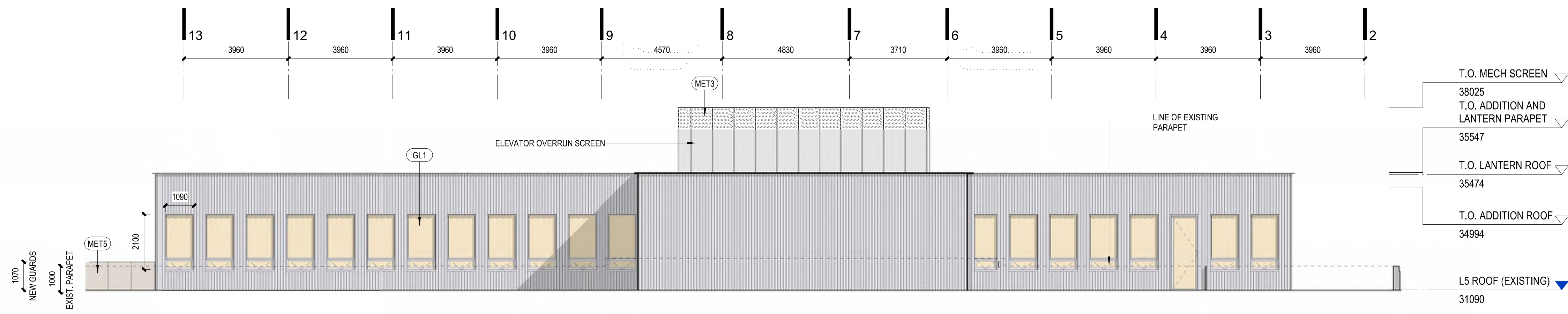
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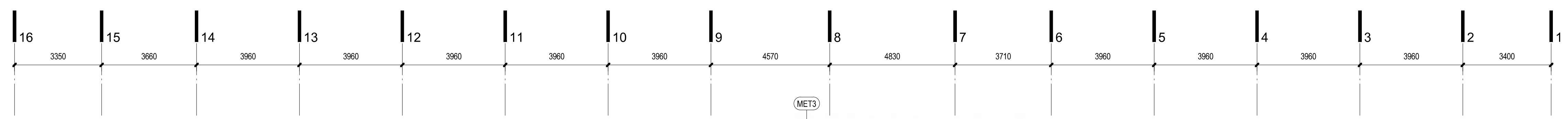


A106
ROOF PLAN
SCALE: 1:100



2 ROOFTOP ADDITION - NORTH ELEVATION
A200 1 : 100

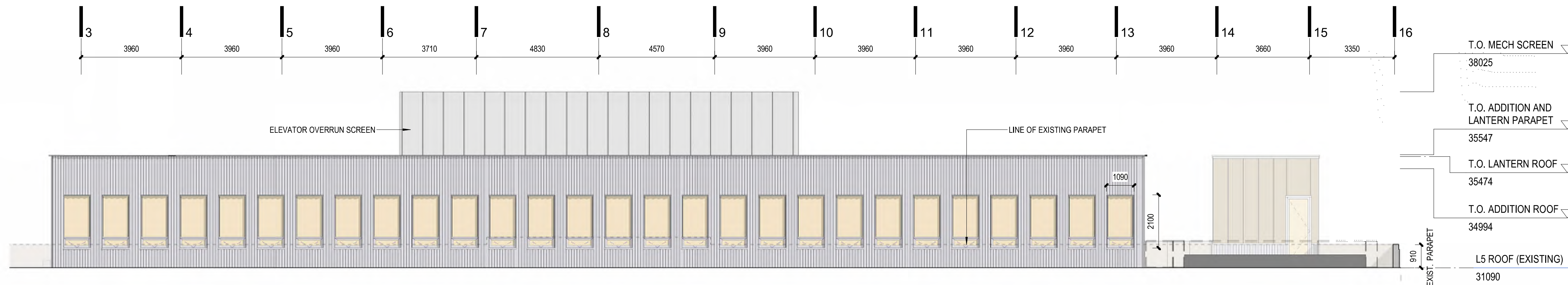
- T.O. MECH SCREEN
38025
- T.O. ADDITION AND LANTERN PARAPET
35547
- T.O. LANTERN ROOF
35474
- T.O. ADDITION ROOF
34994
- L5 ROOF (EXISTING)
31090



1 BUILDING NORTH ELEVATION
A200 1 : 100

- T.O. MECH SCREEN
38025
- T.O. ADDITION AND LANTERN PARAPET
35547
- T.O. LANTERN ROOF
35474
- T.O. ADDITION ROOF
34994
- L5 ROOF (EXISTING)
31090
- PROPOSED BUILDING HEIGHT
18770
- LEVEL 4
26980
- LEVEL 3
23170
- LEVEL 2
19360
- AVERAGE GRADE
16700
- LEVEL 1
15550

- MATERIAL PALETTE**
- GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME
 - GL2 NEW FLUTED GLASS W/ ANODIZED ALUMINUM FRAME
 - GL3 EXISTING FLUTED GLASS
 - MET1 PREFINISHED CHEVRON METAL PANEL
 - MET2 BLACK PAINTED METAL SCREEN
 - MET3 PREFINISHED FLAT METAL PANEL
 - MET4 PREFINISHED FLAT METAL PERFORATED PANEL
 - MET5 PAINTED METAL
 - PT1 PAINT HERITAGE COLOUR BERBER WHITE
 - PT2 PAINT TO MATCH ANODIZED ALUMINUM



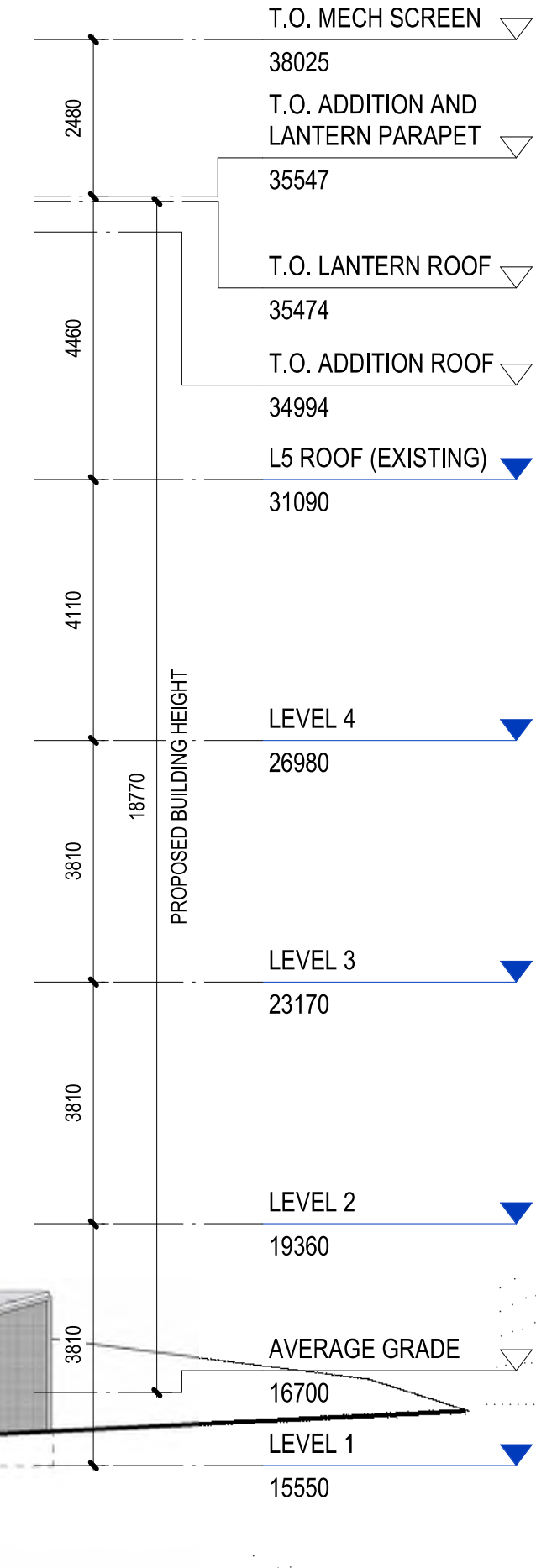
2 BUILDING ROOFTOP ADDITION - SOUTH ELEVATION
A201 1:100



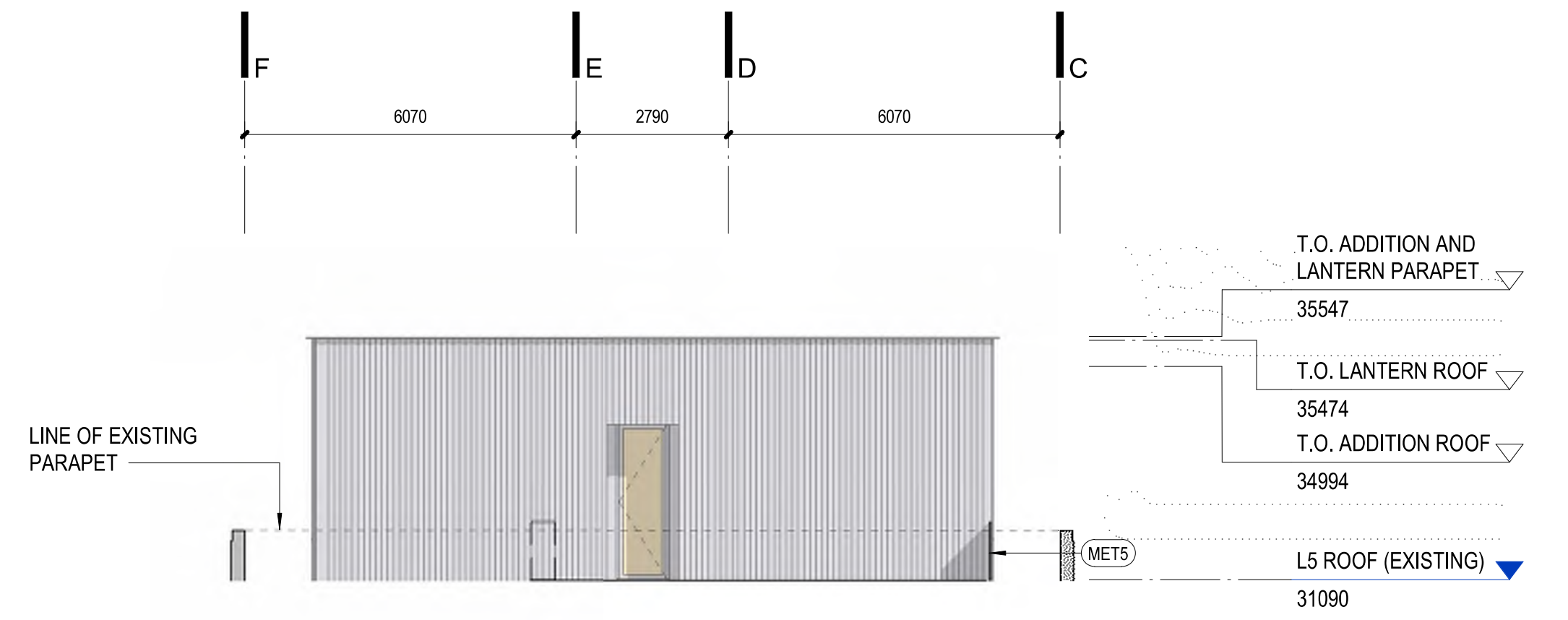
1 BUILDING SOUTH ELEVATION (FAIRFIELD ROAD)
A201 1:100

MATERIAL PALETTE

- GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME
- GL2 NEW FLUTED GLASS W/ ANODIZED ALUMINUM FRAME
- GL3 EXISTING FLUTED GLASS
- MET1 PREFINISHED CHEVRON METAL PANEL
- MET2 BLACK PAINTED METAL SCREEN
- MET3 PREFINISHED FLAT METAL PANEL
- MET4 PREFINISHED FLAT METAL PERFORATED PANEL
- MET5 PAINTED METAL
- PT1 PAINT HERITAGE COLOUR BERBER WHITE
- PT2 PAINT TO MATCH ANODIZED ALUMINUM



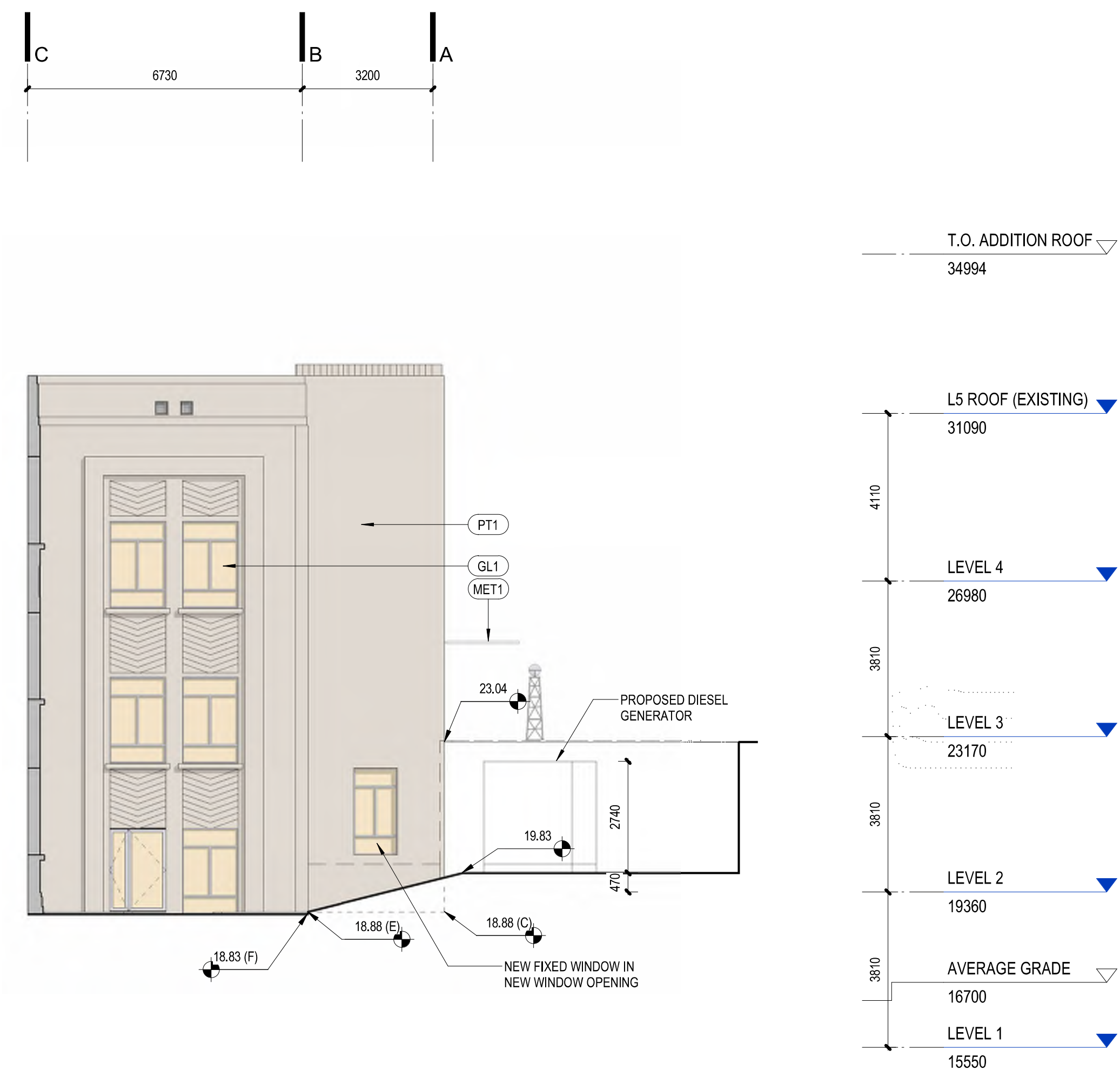
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3 BUILDING L5 ADDITION - EAST ELEVATION
A202 1:100

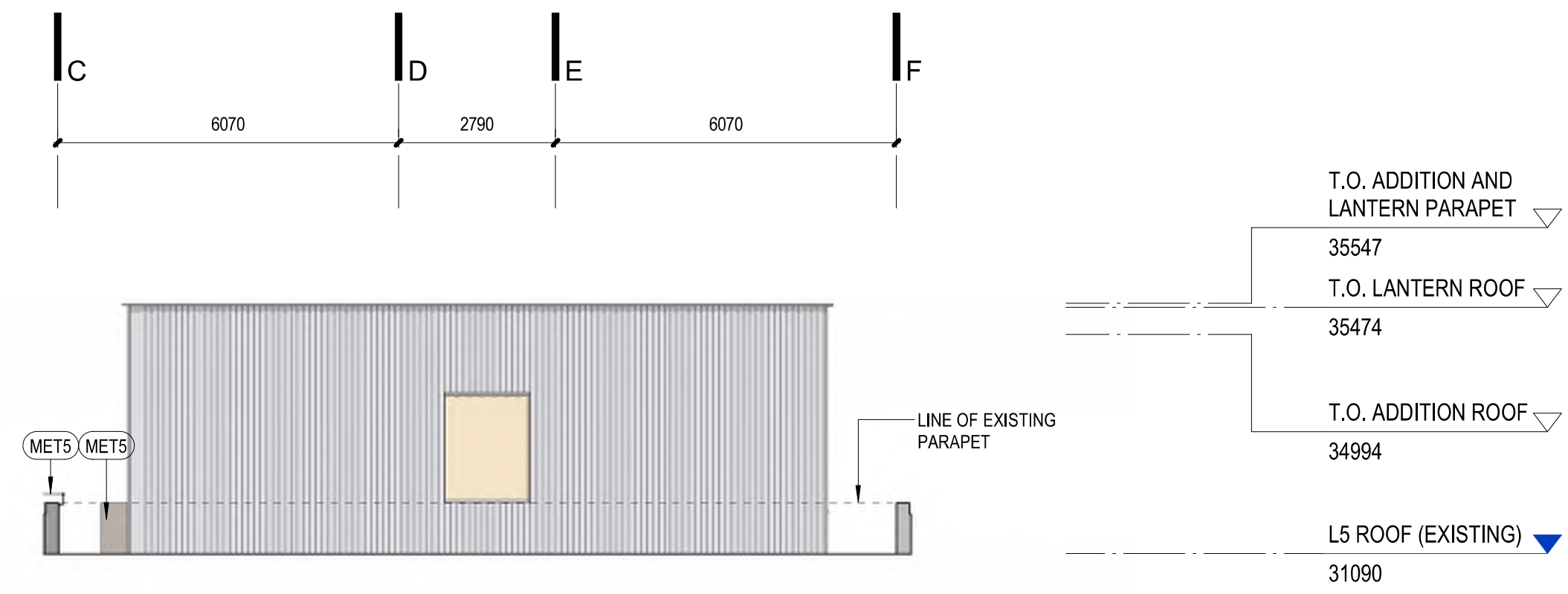


1 BUILDING EAST ELEVATION
A202 1:100

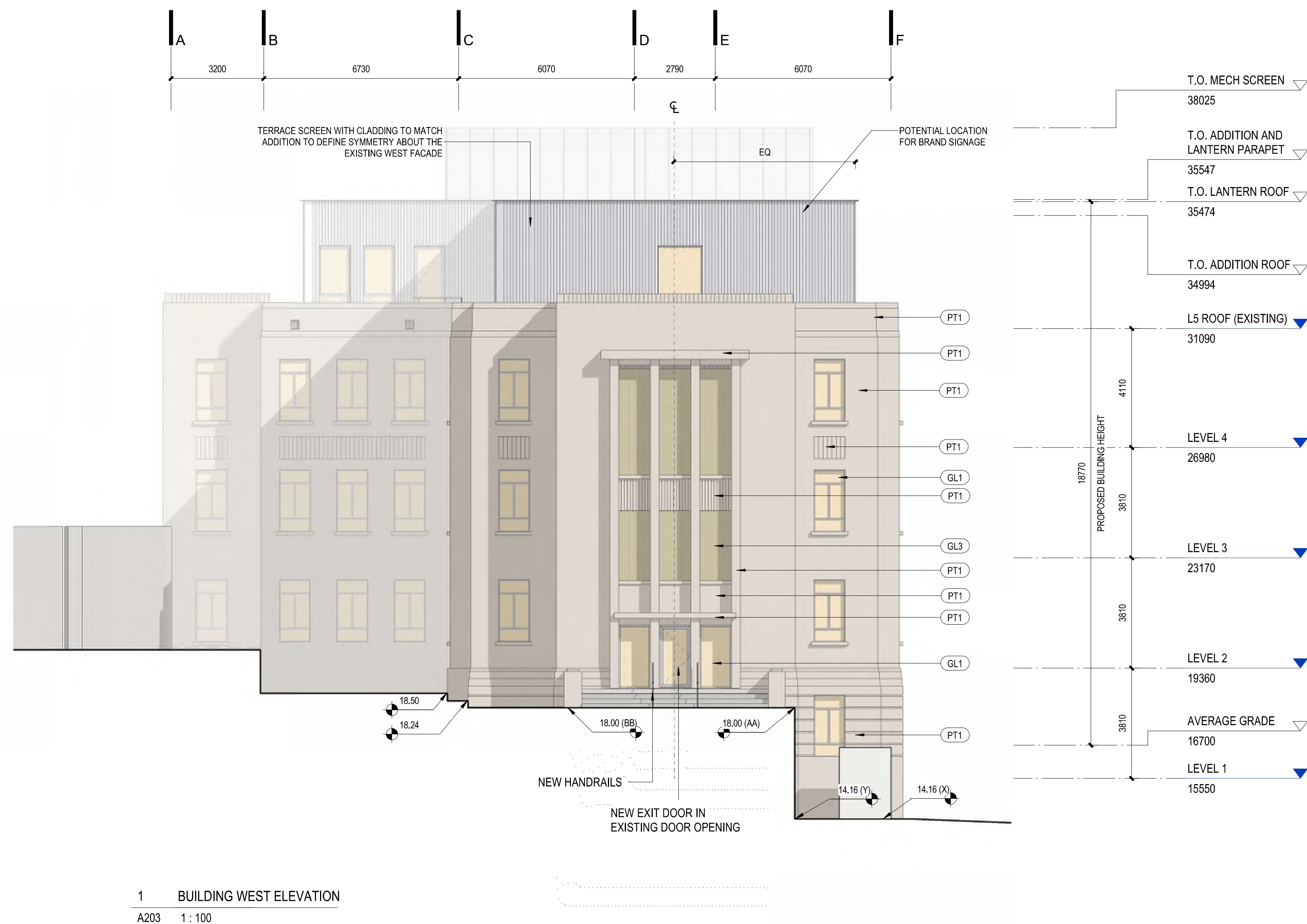


2 BUILDING NORTHEAST ELEVATION
A202 1:100

- MATERIAL PALETTE**
- GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME
 - GL2 NEW FLUTED GLASS W/ ANODIZED ALUMINUM FRAME
 - GL3 EXISTING FLUTED GLASS
 - MET1 PREFINISHED CHEVRON METAL PANEL
 - MET2 BLACK PAINTED METAL SCREEN
 - MET3 PREFINISHED FLAT METAL PANEL
 - MET4 PREFINISHED FLAT METAL PERFORATED PANEL
 - MET5 PAINTED METAL
 - PT1 PAINT HERITAGE COLOUR BERBER WHITE
 - PT2 PAINT TO MATCH ANODIZED ALUMINUM


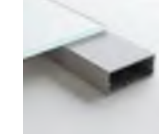


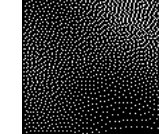




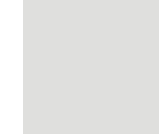


2 BUILDING ROOFTOP ADDITION - WEST ELEVATION
A203 1:100



1 BUILDING WEST ELEVATION
A203 1:100

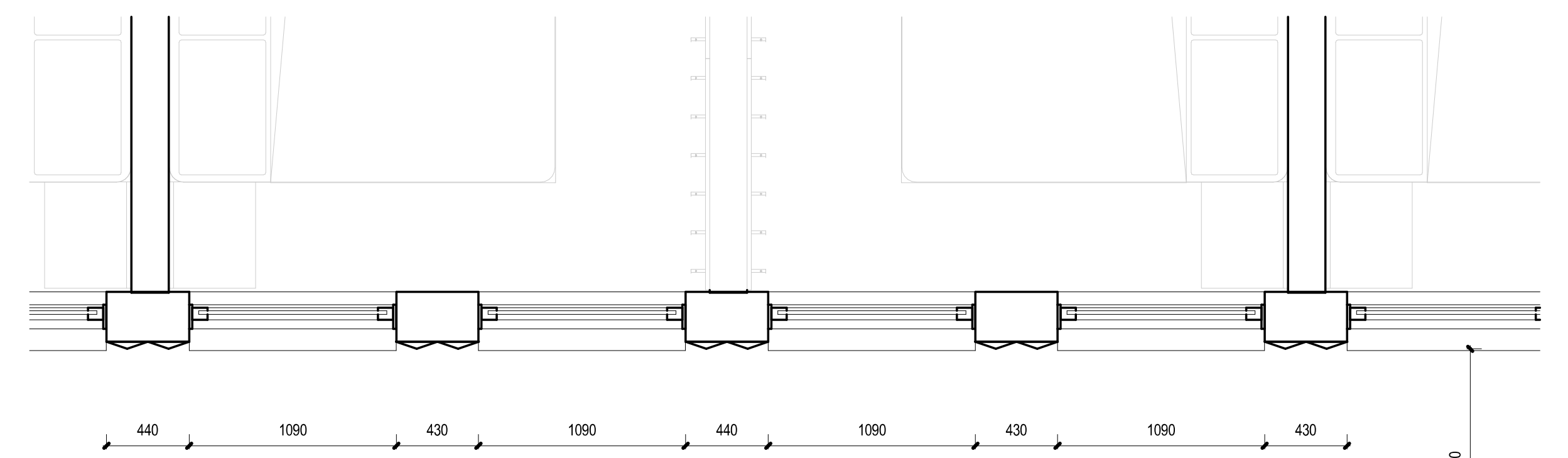
MATERIAL PALETTE

-  GL1 CLEAR GLASS W/ ANODIZED ALUMINUM FRAME
-  GL2 NEW FLUTED GLASS W/ ANODIZED ALUMINUM FRAME
-  GL3 EXISTING FLUTED GLASS
-  MET1 PREFINISHED CHEVRON METAL PANEL
-  MET2 BLACK PAINTED METAL SCREEN
-  MET3 PREFINISHED FLAT METAL PANEL
-  MET4 PREFINISHED FLAT METAL PERFORATED PANEL
-  MET5 PAINTED METAL
-  PT1 PAINT HERITAGE COLOUR BERBER WHITE
-  PT2 PAINT TO MATCH ANODIZED ALUMINUM

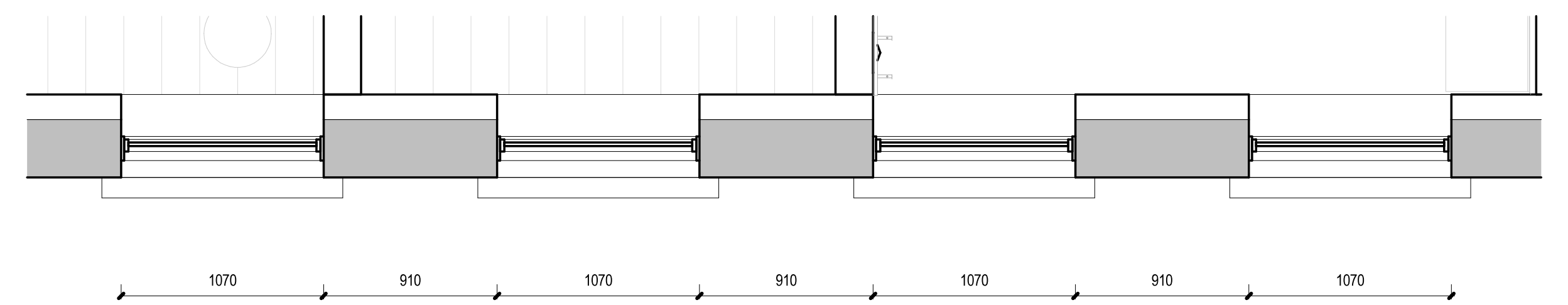


1 TYPICAL BAY - ELEVATION
A204 1:50

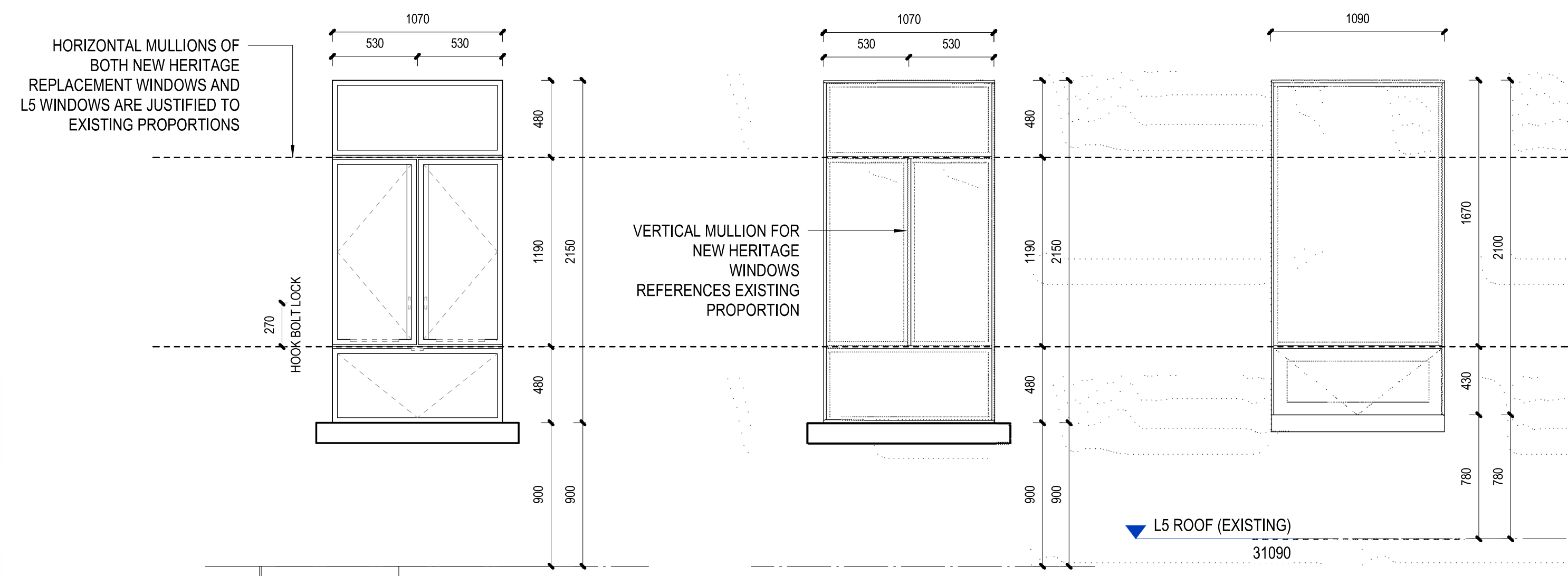
2 TYPICAL BAY - WALL SECTION
A204 1:50



3 TYPICAL BAY PLAN DETAIL (ROOFTOP ADDITION)
A204 1:25



4 TYPICAL BAY PLAN DETAIL (EXISTING BUILDING)
A204 1:25



5 TYPICAL EXISTING WINDOW
A204 1:25

6 TYPICAL WINDOW AT HERITAGE BUILDING
A204 1:25

7 TYPICAL WINDOW AT ROOFTOP ADDITION
A204 1:25

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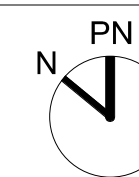
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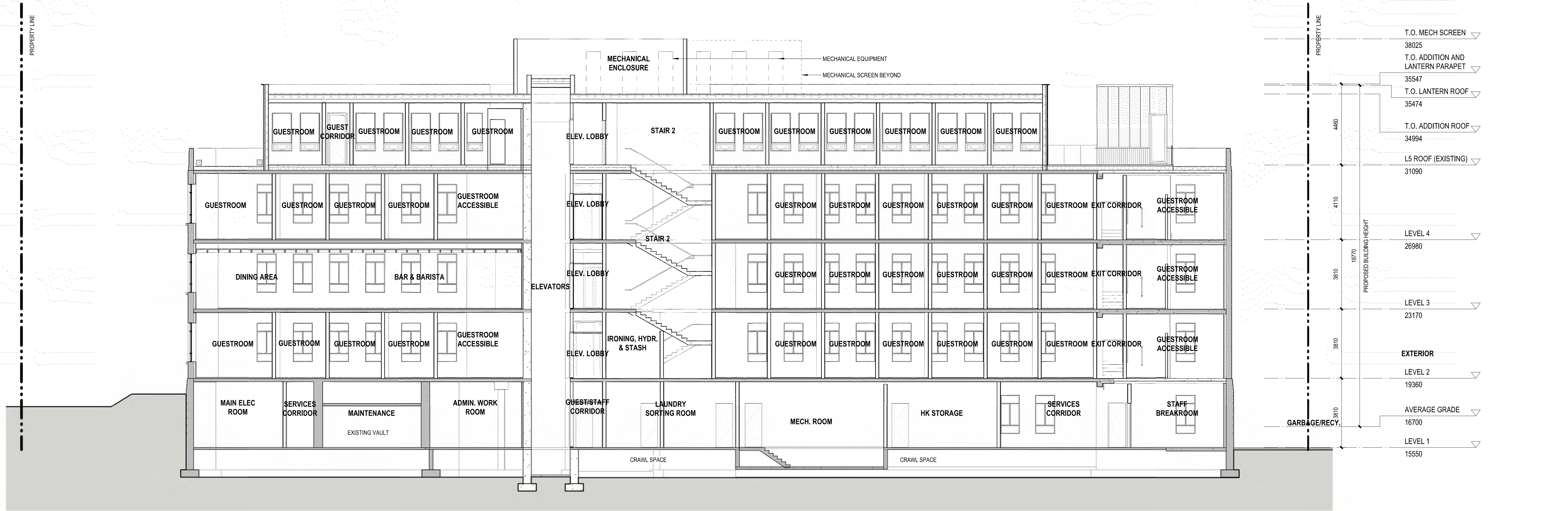
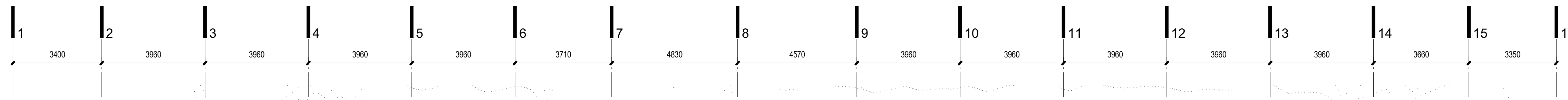


780 Blanshard Hotel

780 Blanshard St, Victoria BC
2025-004



A204
TYPICAL OPENINGS
SCALE: As indicated



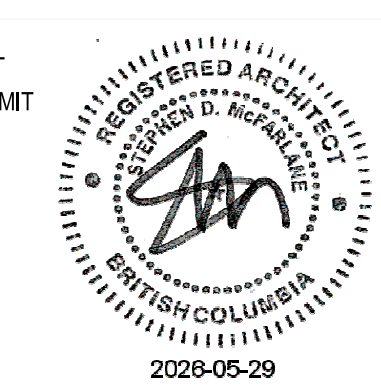
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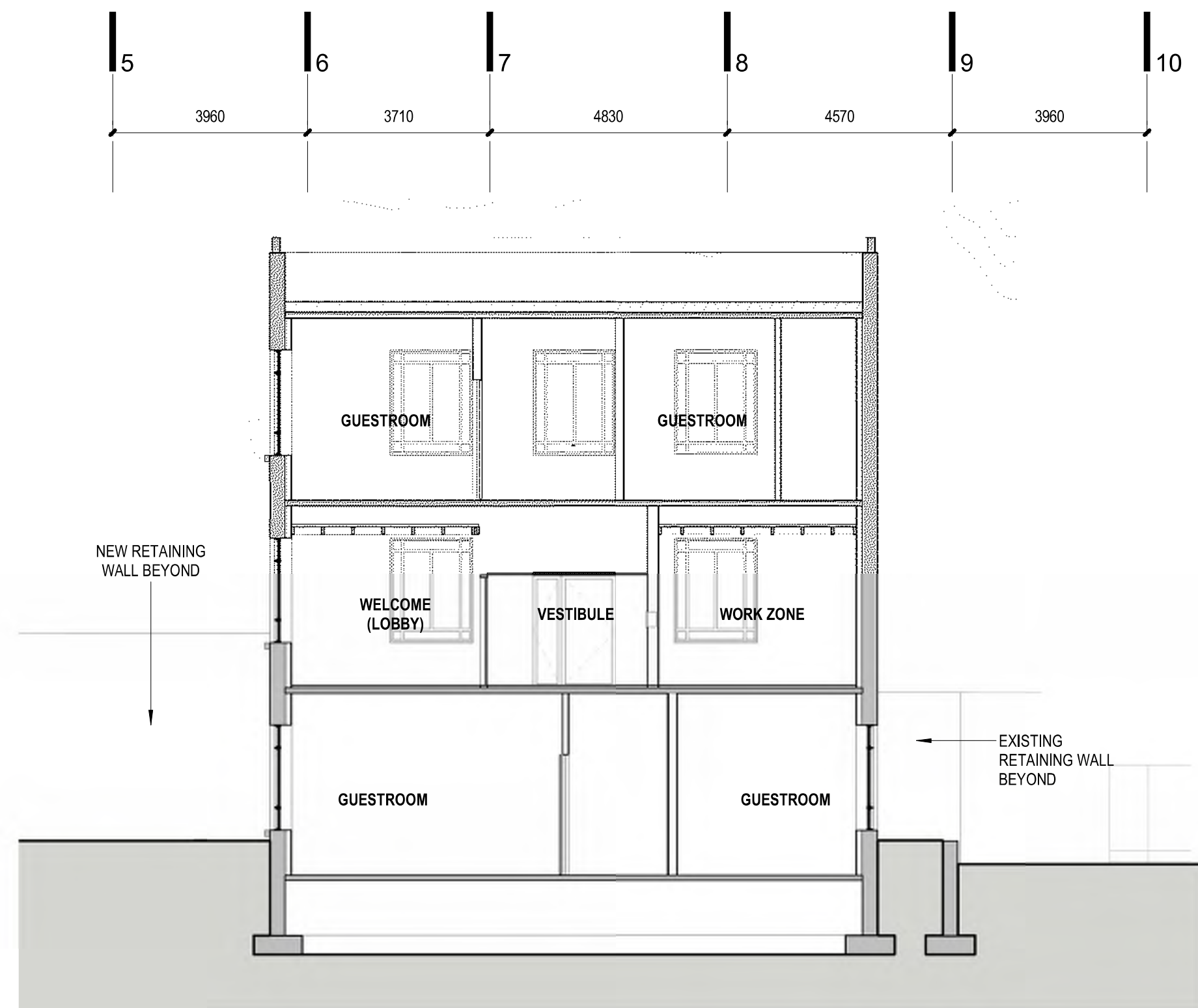
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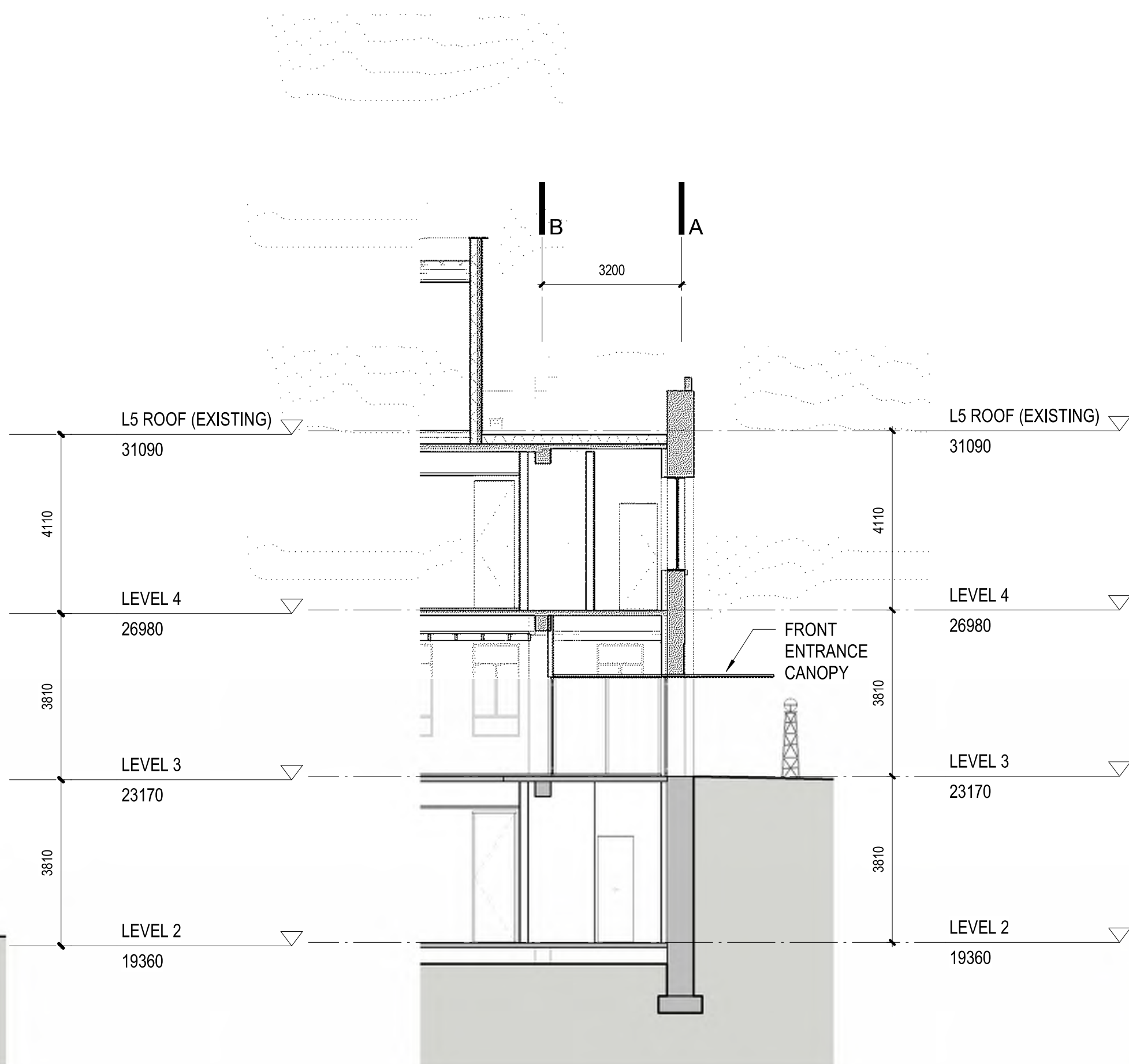


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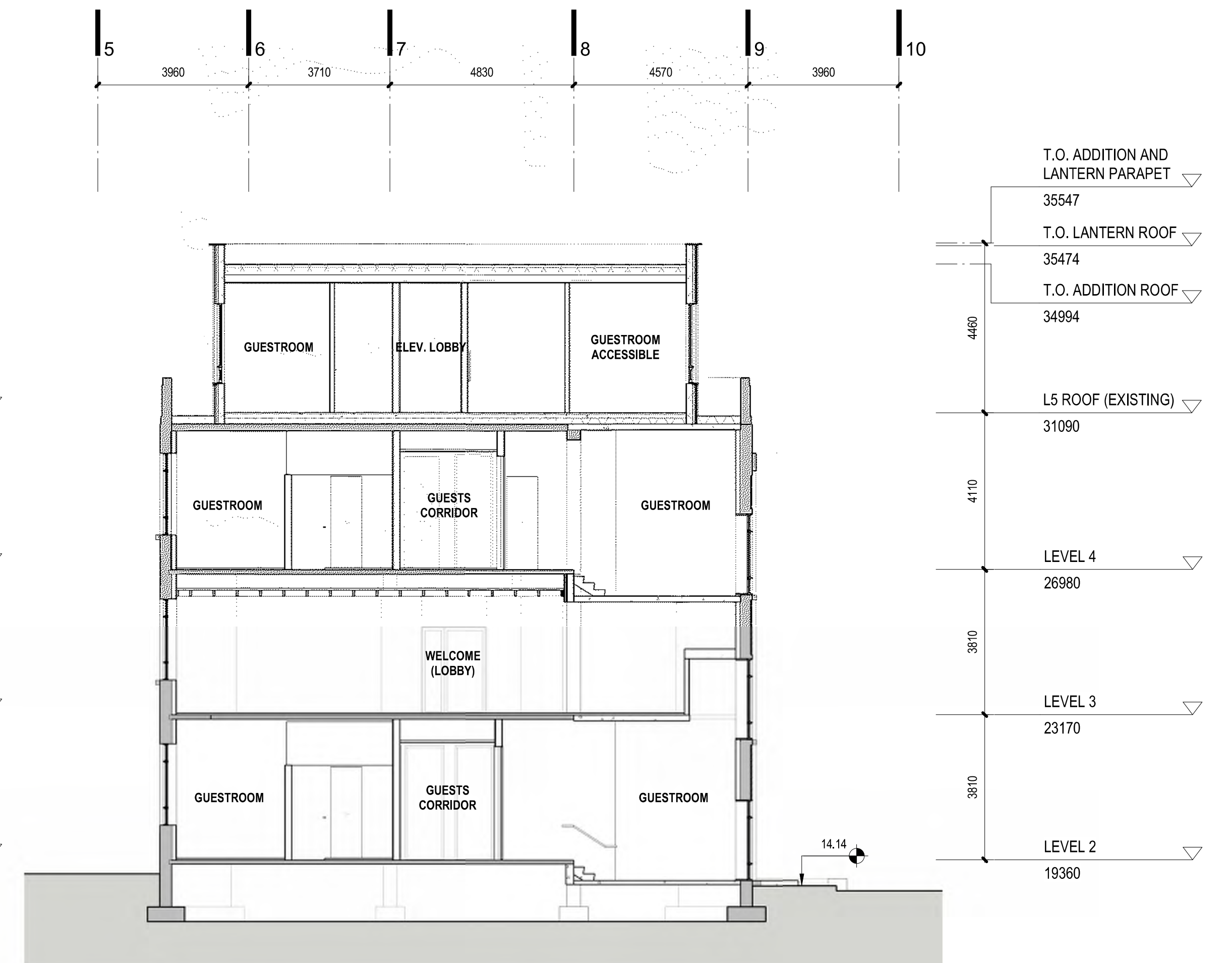
A300
BUILDING LONGITUDINAL SECTION EAST-WEST
SCALE: 1:100



2 CROSS SECTION @ ENTRY VESTIBULE
A301 1:100

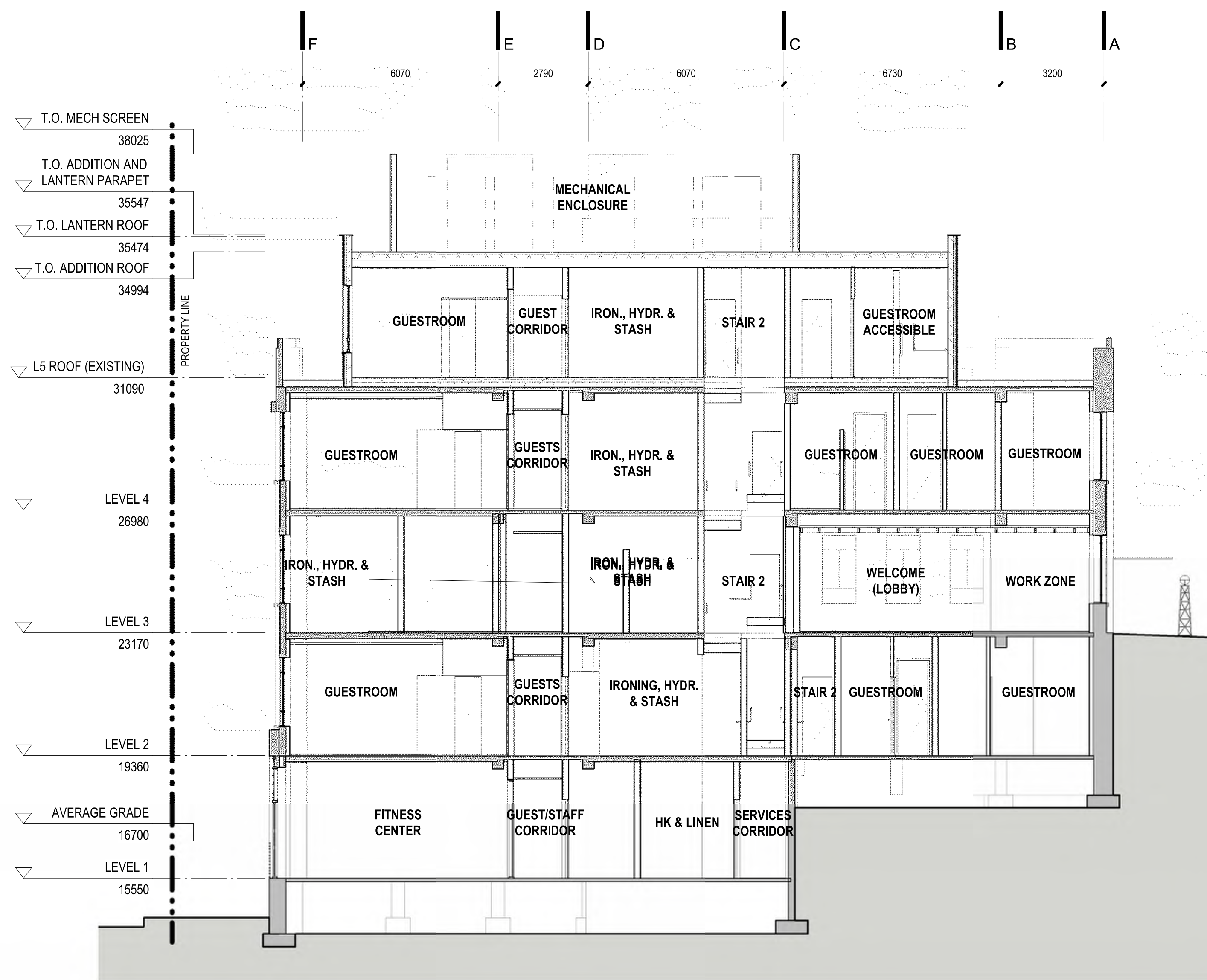


4 CROSS SECTION NORTH SOUTH @ ENTRY VESTIBULE
A301 1:100



1 CROSS SECTION @ ENTRY LOBBY
A301 1:100

2026-05-29 2:43:27 PM



1 CROSS SECTION NORTH SOUTH @ ENTRY
A302 1:100



2 CROSS SECTION NORTH-SOUTH @ RIGHT WING
A302 1:100

2026-05-29 2:43:32 PM

780 BLANSHARD STREET

REISSUED FOR HERITAGE ALTERATION PERMIT

**CLIENT:
RELIANCE PROPERTIES LTD.**

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juanp@relianceproperties.ca
604.694.8680

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GIALA GAUTHIER + ASSOCIATES LANDSCAPE
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778.714.0123

LANDSCAPE DRAWING INDEX PERMIT

| Sheet No. | Sheet Name |
|-----------|------------------------------------|
| L0.0 | COVER SHEET |
| L0.1 | TREE SURVEY |
| L0.2 | TREE MANAGEMENT PLAN |
| L1.0 | OVERALL SITE PLAN |
| L1.1 | WEST ENLARGEMENT PLAN |
| L1.2 | NORTH ENLARGEMENT PLAN |
| L1.3 | SOUTH ENLARGEMENT PLAN |
| L2.0 | LEVEL 5: MATERIALS AND LAYOUT PLAN |

TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
18. A SIGNIFICANT TREE;
19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
20. A TREE ON A STEEP SLOPE;
21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

TREE SURVEY

| SYMBOL | DESCRIPTION |
|--------|------------------------------------|
| | EXISTING TREE TO BE REMOVED |
| | TREE CANOPY OUTLINE |
| | PROTECTED ROOT ZONE |
| | EXISTING TREE TO BE RETAINED: |
| | TREE CANOPY OUTLINE |
| | PROTECTED ROOT ZONE |
| | EXISTING CURB LINE |
| | PROPOSED UTILITIES. REFER TO CIVIL |
| | EXISTING CONDITIONS |



TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPERATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SSUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
 17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
 18. A SIGNIFICANT TREE;
 19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
 20. A TREE ON A STEEP SLOPE;
 21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
 22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
 23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
 24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
 25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
 26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

TREE SURVEY

| SYMBOL | DESCRIPTION |
|--------|------------------------------------|
| | EXISTING TREE TO BE REMOVED |
| | TREE CANOPY OUTLINE |
| | - - - PROTECTED ROOT ZONE |
| | EXISTING TREE TO BE RETAINED: |
| | TREE CANOPY OUTLINE |
| | — PROTECTED ROOT ZONE |
| | EXISTING CURB LINE |
| | PROPOSED UTILITIES. REFER TO CIVIL |
| | EXISTING CONDITIONS |
| | TREE PROTECTION FENCE |



LEGEND

| SYMBOL | DESCRIPTION |
|--------|-----------------------------------------------------------------------------|
| | EXISTING CURB LINE |
| | SCOPE OF WORK |
| | 1 EXISTING PAVING TO REMAIN |
| | 2 PAVING TYPE 1 CIP Concrete Paving |
| | 3 PAVING TYPE 2 TBD |
| | 4 PAVING TYPE 3 Cobblestone, TBD |
| | PLANTING TYPE 1 Existing Planting Area |
| | EXISTING TREE TO REMAIN |
| | 5 SITE FURNISHING Stone elements with low-level lighting |
| | 6 SITE FURNISHING Standard Bike Rack as per New Town Public Realm Design |
| | 7 SITE FURNISHING Stone Bench, TBD |
| | PROPOSED UTILITIES. REFER TO CIVIL |
| | 8 STEPPING STONES |





LEGEND

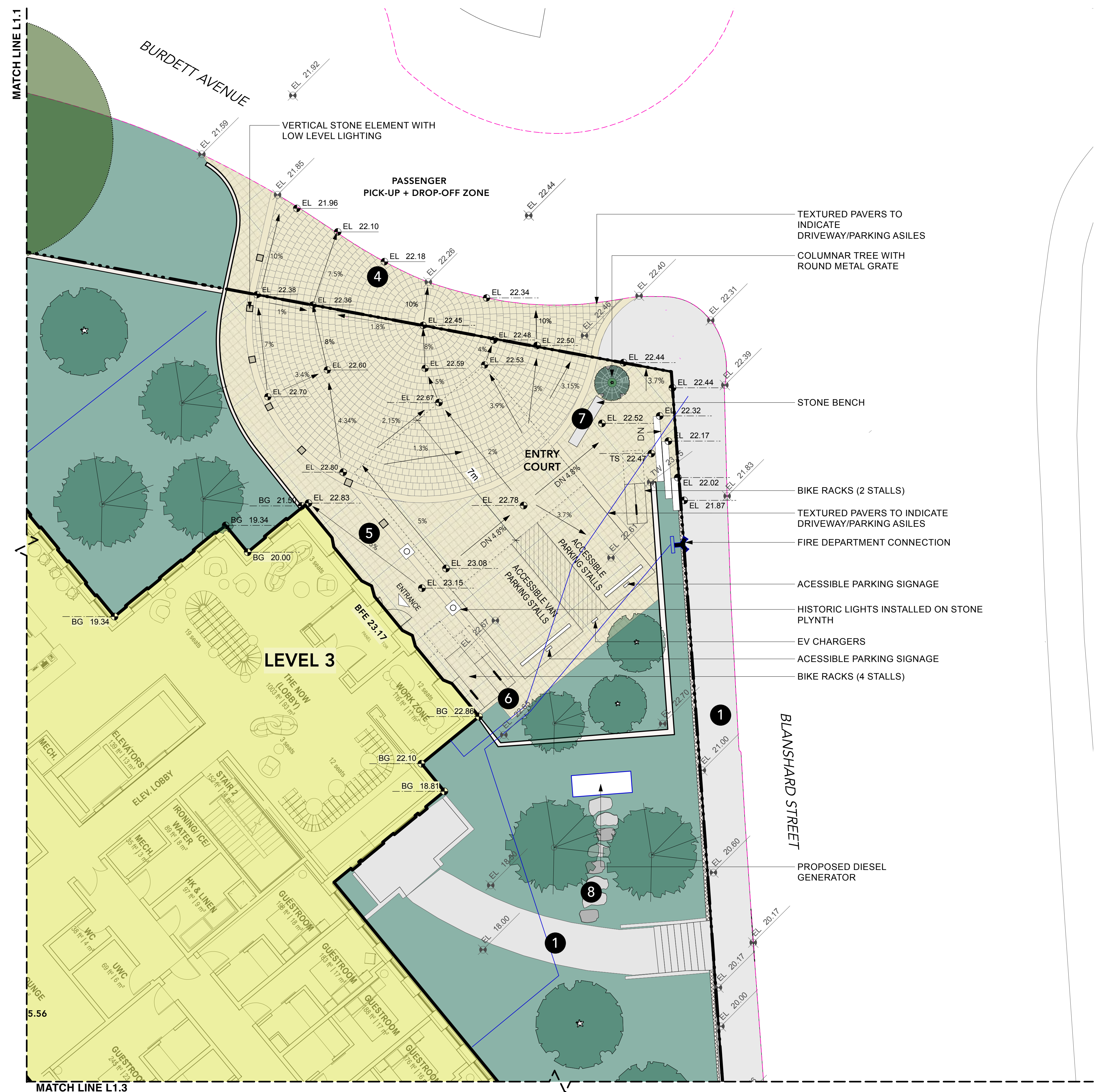
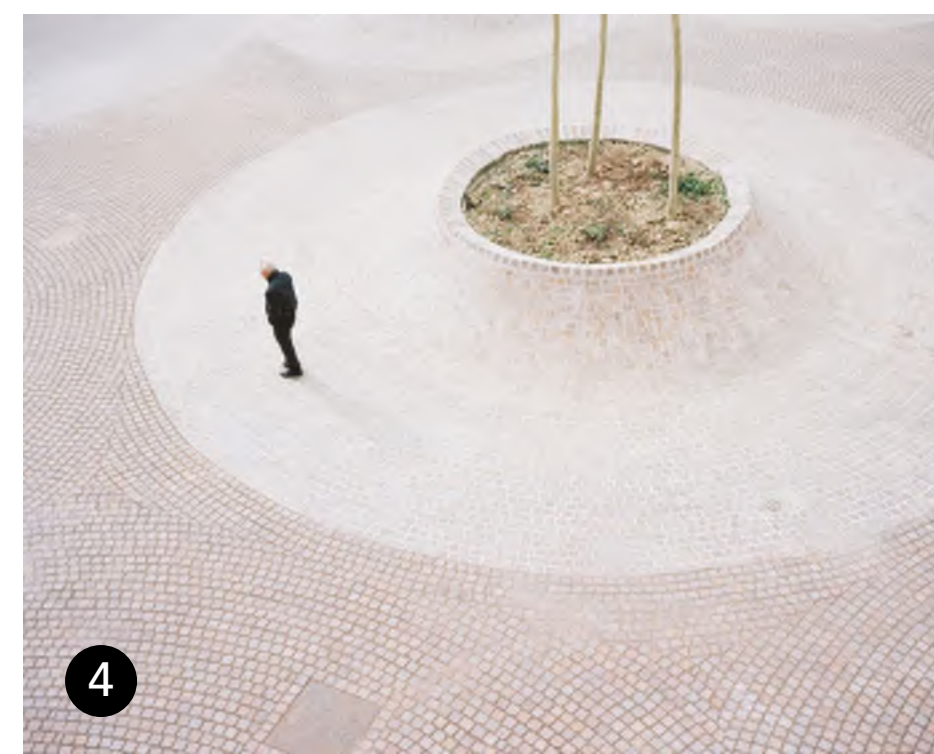
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| | EXISTING CURB LINE |
| | 1 EXISTING PAVING TO REMAIN |
| | 2 PAVING TYPE 1 CIP Concrete Paving |
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| | 6 SITE FURNISHING Standard Bike Rack as per New Town Public Realm Design |
| | 7 SITE FURNISHING Stone Bench, TBD |
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LEGEND

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| | PROPOSED UTILITIES. REFER TO CIVIL |
| | 8 STEPPING STONES |





LEGEND

| SYMBOL | DESCRIPTION |
|--------|-----------------------------------------------------------------------------|
| | EXISTING CURB LINE |
| | 1 EXISTING PAVING TO REMAIN |
| | 2 PAVING TYPE 1 CIP Concrete Paving |
| | 3 PAVING TYPE 2 TBD |
| | 4 PAVING TYPE 3 Cobblestone, TBD |
| | PLANTING TYPE 1 Existing Planting Area |
| | EXISTING TREE TO REMAIN |
| | 5 SITE FURNISHING Stone elements with low-level lighting |
| | 6 SITE FURNISHING Standard Bike Rack as per New Town Public Realm Design |
| | 7 SITE FURNISHING Stone Bench, TBD |
| | PROPOSED UTILITIES. REFER TO CIVIL |

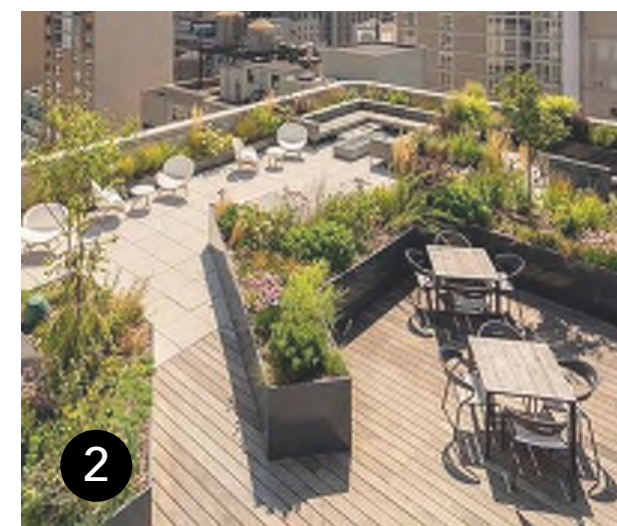


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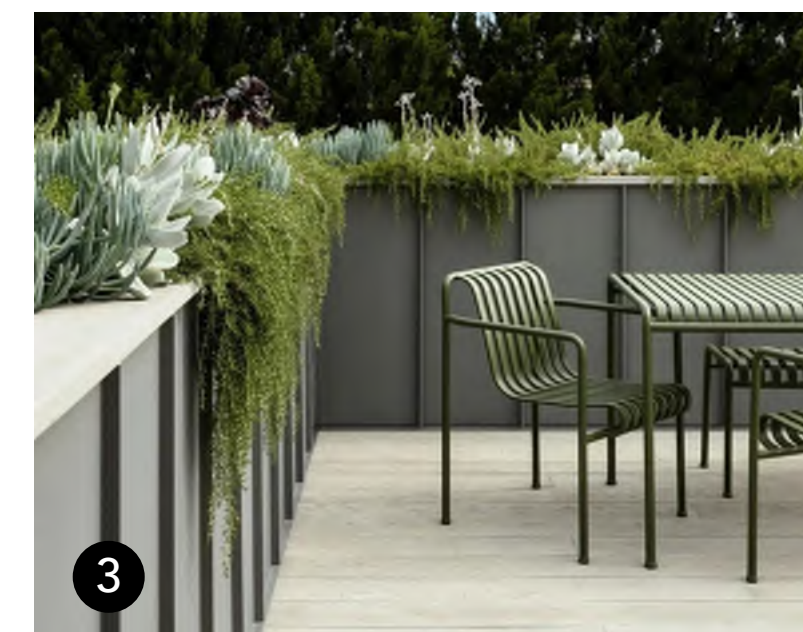
| SYMBOL | DESCRIPTION |
|--------|------------------------------------------------------------------------------|
| | 1 PAVING TYPE 5 Unit Pavers, TBD |
| | 2 PLANTING TYPE 1 Aluminum Planter |
| | 3 WEATHERPROOF OUTDOOR FURNITURE Every Day Line by Landscape Forms |
| | 4 WOODEN RECLINER + TABLE |



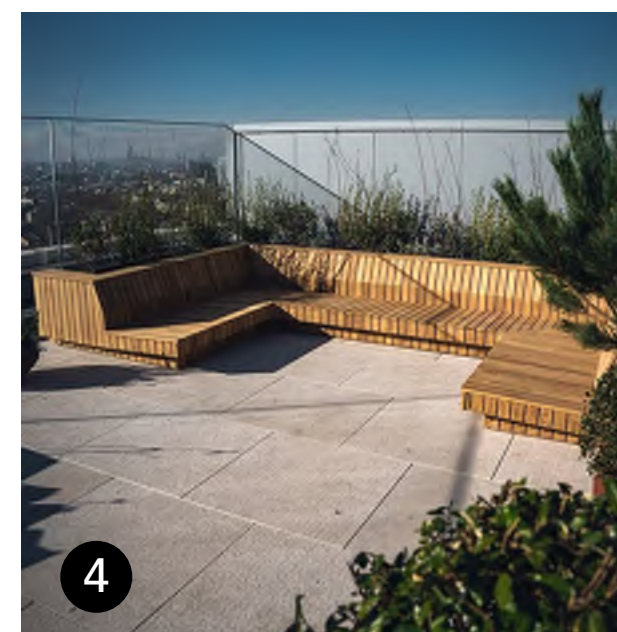
2 LOW PLANTING AREA



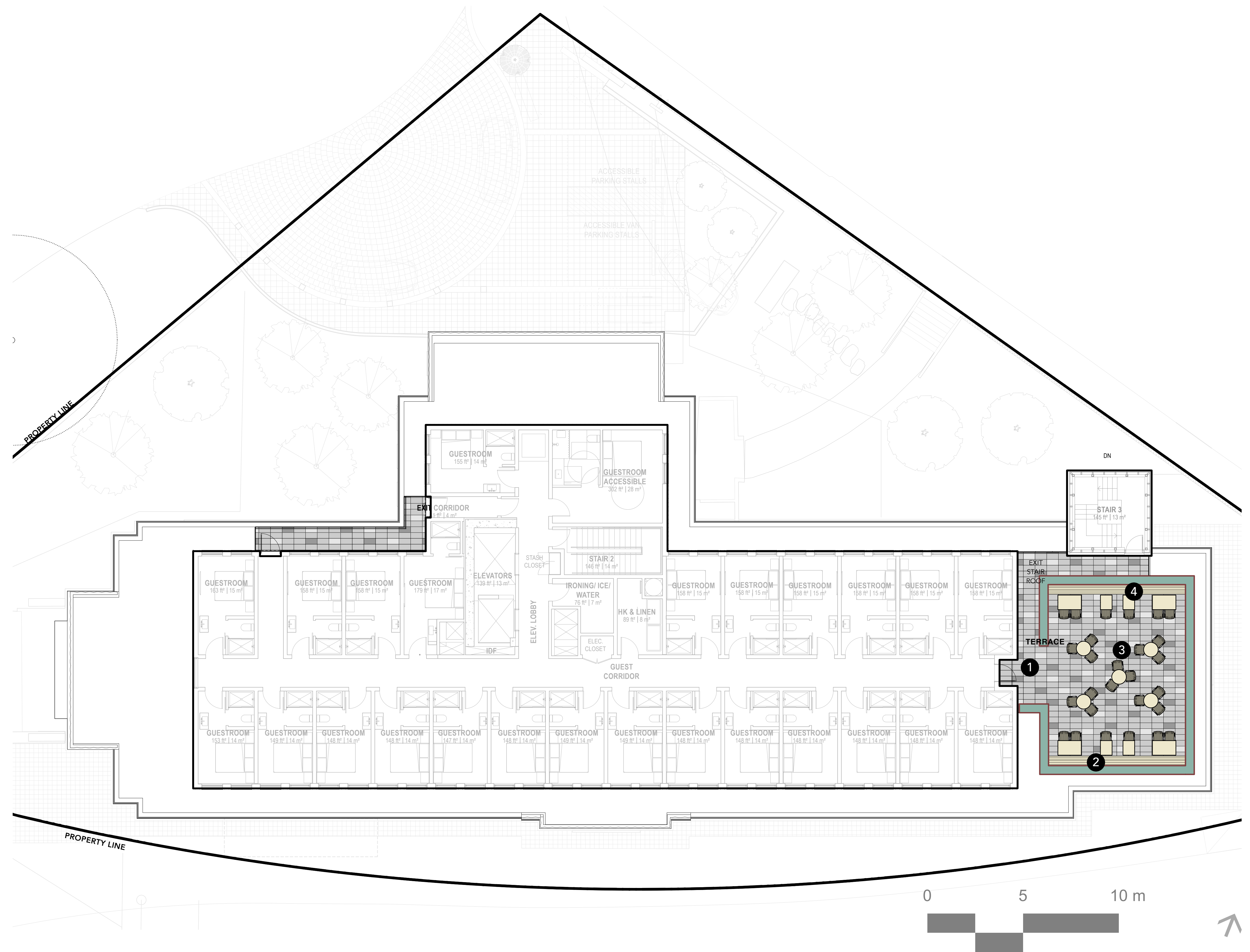
2 METAL PLANTERS



3 WEATHERPROOF OUTDOOR FURNITURE



4 WOODEN RECLINER



GENERAL NOTES:

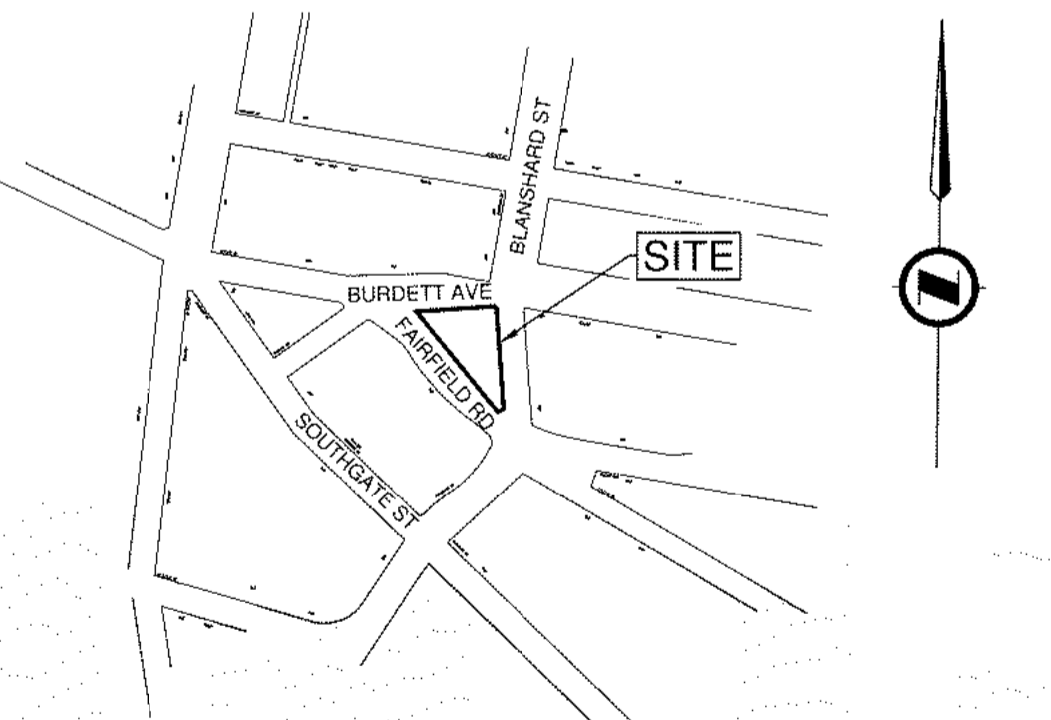
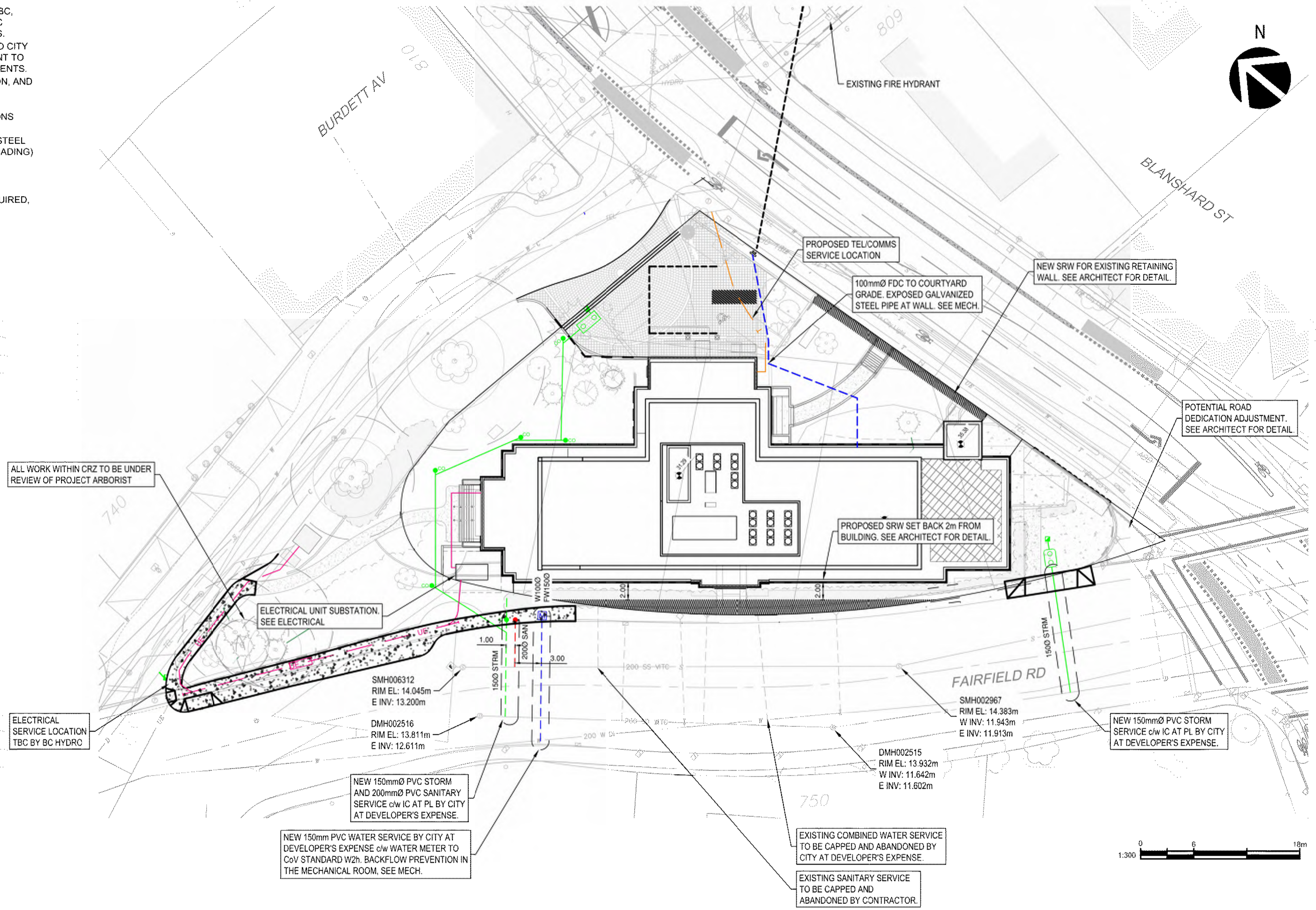
1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE MOST CURRENT CITY OF VICTORIA ENGINEERING SPECIFICATIONS/DETAILS, MMCD SPECIFICATIONS AND DETAILS, BC PLUMBING CODE AND THESE DRAWINGS.
2. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING THE VARIOUS PARTS OF THE WORK.
3. EXISTING SERVICES SHOWN ON THIS DRAWING ARE APPROXIMATE ONLY AND CANNOT BE GUARANTEED FOR ACCURACY. CONTRACTOR TO CONFIRM LOCATION OF ALL EXISTING SERVICES IN THE FIELD PRIOR TO CONSTRUCTION.
4. A PERMIT AND SECURITY DEPOSIT ARE REQUIRED FOR WORKS WITHIN A MUNICIPAL ROAD ALLOWANCE AND/OR MUNICIPAL RIGHT OF WAY AND MUST BE OBTAINED BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
5. MAINTAIN VEHICULAR ACCESS TO EXISTING LOTS.
6. CAREFULLY RELOCATE EXISTING LANDSCAPE FEATURES, TRAFFIC SIGNS AND SITE FEATURES TO ACCOMMODATE CONSTRUCTION WORK. ALL EXISTING WORKS TO BE RETURNED TO AS FOUND OR BETTER CONDITION.
7. A PERMIT TO CONSTRUCT WORKS ADJACENT TO BOULEVARD OR BY-LAW PROTECTED TREES MUST BE OBTAINED FROM CITY OF VICTORIA BEFORE WORKS COMMENCE. ARBORIST REQUIRED WHEN WORK IS INSIDE CRITICAL ROOT ZONE OF BOULEVARD TREES AND PRIVATE BY-LAW PROTECTED TREES.
8. CONTACT BC-1 (1-800-474-6886), BC HYDRO, ROGERS CABLE, AND FORTIS GAS FOR UNDERGROUND UTILITY LOCATIONS PRIOR TO CONSTRUCTION.
9. DISPOSE OF ALL EXCAVATED MATERIAL UNSUITABLE FOR REUSE AT A SUITABLE OFF-SITE DISPOSAL AREA, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
10. ALL ELEVATIONS ARE METRIC GEODETIC.

TRAFFIC CONTROL NOTES:

1. ALL TRAFFIC CONTROL TO CONFORM TO MOST CURRENT WORKSAFE BC, MMCD, AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS), AND THESE DRAWINGS.
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO PREPARE AND SUBMIT TO CITY OF VICTORIA A TRAFFIC CONTROL PLAN FOR ACCEPTANCE. DOCUMENT TO INCLUDE DETAILS OF ALL WORK SITES AND LANE CLOSURE REQUIREMENTS.
3. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES AND ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS.
4. ALL FLAG PERSONS TO HAVE PROOF OF CERTIFICATION. FLAG PERSONS STRICTLY REQUIRED WHEN ONLY ONE OPEN LANE OF TRAFFIC.
5. AT THE END OF EVERY DAY, EXCAVATIONS SHALL BE COVERED WITH STEEL TRAFFIC PLATES SUITABLE FOR VEHICULAR TRAFFIC (MINIMUM H20 LOADING) WHEREVER POSSIBLE.
6. 24 HOUR EMERGENCY CONTACT INFORMATION FOR CONTRACTOR REPRESENTATIVE TO BE PROVIDED TO CITY OF VICTORIA.
7. CITY OF VICTORIA TO BE ADVISED OF ROUTING FOR DETOURS, IF REQUIRED, PRIOR TO ACCEPTANCE.
8. CONTRACTOR TO CONFORM TO CITY OF VICTORIA NOISE BY-LAW.

SANITARY / DRAIN / WATER / ROAD NOTES:

1. CONSTRUCTION TO BE UNDERTAKEN USING BEST MANAGEMENT PRACTICES FOR STORMWATER TREATMENT. CONTRACTOR IS RESPONSIBLE TO PREPARE AND FOLLOW A SILT ABATEMENT PLAN WHICH WILL PREVENT CONTAMINATED WATER FROM ENTERING THE STORM SYSTEM, OVERLAND DRAINAGES, CREEKS AND WETLAND AREAS.
2. SEWER/WATER/DRAIN CONSTRUCTION WITHIN PRIVATE EASEMENTS TO BE IN ACCORDANCE WITH BC PLUMBING CODE.
3. CONNECTIONS TO EXISTING WATERMANS AND METERS TO BE BY CITY OF VICTORIA CREWS AT APPLICANT'S EXPENSE.
4. FOR CROSSING OF EXISTING SEWERS, WHERE THE WATER SERVICE DOES NOT HAVE THE REQUIRED 450mm VERTICAL SEPARATION, WRAP THE SEWER JOINTS WITH PETROLATUM TAPE 1.5m EITHER SIDE OF THE WATER MAIN. WHERE A VERTICAL SEPARATION OF 150mm CAN NOT BE ACHIEVED, SPECIAL MITIGATIVE MEASURES SHALL BE APPROVED.
5. CATCHBASINS AND MANHOLE COVERS TO HAVE GEOTEXTILE PLACED BETWEEN FRAME AND GRATES TO REDUCE INFLOW OF SEDIMENT UNTIL SITE IS PAVED AND LANDSCAPED. CONTRACTOR TO CLEAN/REPLACE GEOTEXTILE AS REQUIRED TO ACHIEVE FLOW INTO CATCHBASINS.
6. CONNECTION TO EXISTING SANITARY AND DRAIN MAINS TO BE COMPLETED BY CITY OF VICTORIA OR UNDER CITY OF VICTORIA SUPERVISION.
7. NEW STORM DRAIN LEADS BY COV TO BE HUB CONNECTIONS 1.0m OF 150Ø PVC AT 2% UNLESS OTHERWISE NOTED. CONTRACTOR TO EXPOSE CONNECTION POINTS AT STORM MAIN.
8. STORM DRAIN LATERALS ON-SITE TO BE 100Ø PVC UNLESS OTHERWISE NOTED.
9. EXISTING SERVICES MUST BE EXPOSED AT CROSSING AND TIE-IN POINTS PRIOR TO CONSTRUCTION FOR GRADE CHECK.
10. PIPES THAT ARE TO BE ABANDONED SHALL BE SAW-CUT A MINIMUM OF 1.5m FROM EXISTING CONNECTION WITH ENDS CAPPED AND ENCASED IN CONCRETE. REMOVE/FILL ALL REDUNDANT CASTINGS ONCE TURNOVER IS COMPLETE.
11. ALL RESIDENTS TO BE NOTIFIED IN WRITING A MINIMUM OF 48 HOURS PRIOR TO ANY SCHEDULED WATER SERVICE OR ACCESS DISRUPTIONS. MAXIMUM SHUTDOWN 4 HOURS.
12. ANY UNSCHEDULED UTILITY SERVICE DISRUPTIONS TO BE RECTIFIED IN A TIMELY MANNER. CONTRACTOR TO KEEP STANDARD REPAIR COMPONENTS ON SITE AT ALL TIMES. CONTRACTOR TO IMMEDIATELY NOTIFY CITY OF VICTORIA AND/OR CRD REPRESENTATIVE OF ANY UNSCHEDULED UTILITY SERVICE DISRUPTION.
13. ALL ROADS ARE KEPT CLEAN OF DEBRIS ON A REGULAR BASIS.
14. ALL EXISTING ASPHALT TO BE CUT SQUARE WITH ASPHALT SAW.
15. CONTRACTOR TO COORDINATE CONCRETE, ASPHALT AND AGGREGATE TESTS AS REQUIRED BY ENGINEER.
16. UNDERGROUND WIRING AND GAS TO BE CONSTRUCTED IN ACCORDANCE WITH BC HYDRO/TEL/CABLE/GAS DRAWINGS AND SPECIFICATIONS.



KEY PLAN
SCALE H 1:5000

LEGEND

| | | | |
|--------------------------|-----------------------------|----------------------------------|-----------------|
| SURFACE DETAIL | SEWER LATERAL | TEL MANHOLE | SANITARY |
| ⊕ STORM DRAIN MANHOLE | Y SEWER LATERAL | ⊕ TEL MANHOLE | — S SANITARY |
| ⊕ STORM DRAIN VENT | ⊕ WATER VALVE ON MAIN | ⊕ TEL POLE | — D STORM |
| ⊕ CATCH BASIN | ⊕ WATER SERVICE VALVE | ⊕ TEL POLE WITH DIP | — W WATER |
| ⊕ DRAIN CLEANOUT | ⊕ WATER METER | ⊕ TEL POLE WITH LIGHT | — UE HYDRO |
| ⊕ DRAIN LATERAL | ⊕ BOULEVARD SERVICE | ⊕ TEL SERVICE BOXES | — L LIGHTING |
| ⊕ SANITARY SEWER MANHOLE | ⊕ FIRE HYDRANT | ⊕ TEL VAULT | — G GAS |
| ⊕ SANITARY SEWER VENT | ⊕ REDUCER | ⊕ POLE ANCHOR | — T TEL/CABLE |
| ⊕ SEWER CLEANOUT | ⊕ LIGHT MANHOLE | ⊕ HYDRO/TEL POLE TO BE RELOCATED | |
| | ⊕ LIGHT PULL BOX - SIDEWALK | | |
| | | ⊕ SIGNAL PULL BOX - SIDEWALK | |
| | | ⊕ LIGHT/SIGNAL PULL BOX - STREET | |
| | | ⊕ LIGHT POLE (STEEL) | |
| | | ⊕ SIGNAL POLE (STEEL) | |
| | | ⊕ LIGHT/SIGNAL POLE (STEEL) | |
| | | ⊕ CLUSTER LAMP - TYPE A | |
| | | ⊕ CLUSTER LAMP - TYPE B | |
| | | ⊕ STREET SIGN | |
| | | ⊕ PARKING METER | |
| | | ⊕ HYDRO/TEL POLE TO BE REMOVED | |
| | | ⊕ GAS METER | |
| | | ⊕ GAS VALVE | |
| | | ⊕ GAS SHIFFER | |
| | | ⊕ TEST HOLE | |
| | | ⊕ FENCE LINE | |
| | | ⊕ RETAINING WALL | |
| | | ⊕ TREE | |
| | | ⊕ ROCK OUTCROP | |

| REV | DATE | DESCRIPTION | DES | DRN | CHK |
|-----|------------|------------------------------------------|-----|-----|-----|
| 2 | 2026/06/01 | RE-ISSUED FOR HERITAGE ALTERATION PERMIT | JCS | VKQ | JCS |
| 1 | 2025/10/21 | RE-ISSUED FOR HERITAGE PERMIT | JS | SG | |
| 0 | 2025/09/19 | ISSUED FOR HERITAGE PERMIT | JCS | SG | |

SEAL:

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DESIGNED BY: JCS
CHECKED BY: JCS
DRAWN BY: SG
APPROVED BY: JCS

DATE: 2025/09/15

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25mm

DISCIPLINE: CIVIL

wsp

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301-3600 Uptown Boulevard, Victoria, BC, V8Z 0B9
T 250-384-5510 | www.wsp.com

CLIENT: RELIANCES PROPERTIES

PROJECT NUMBER: 221-03333-00

CLIENT REF. #:

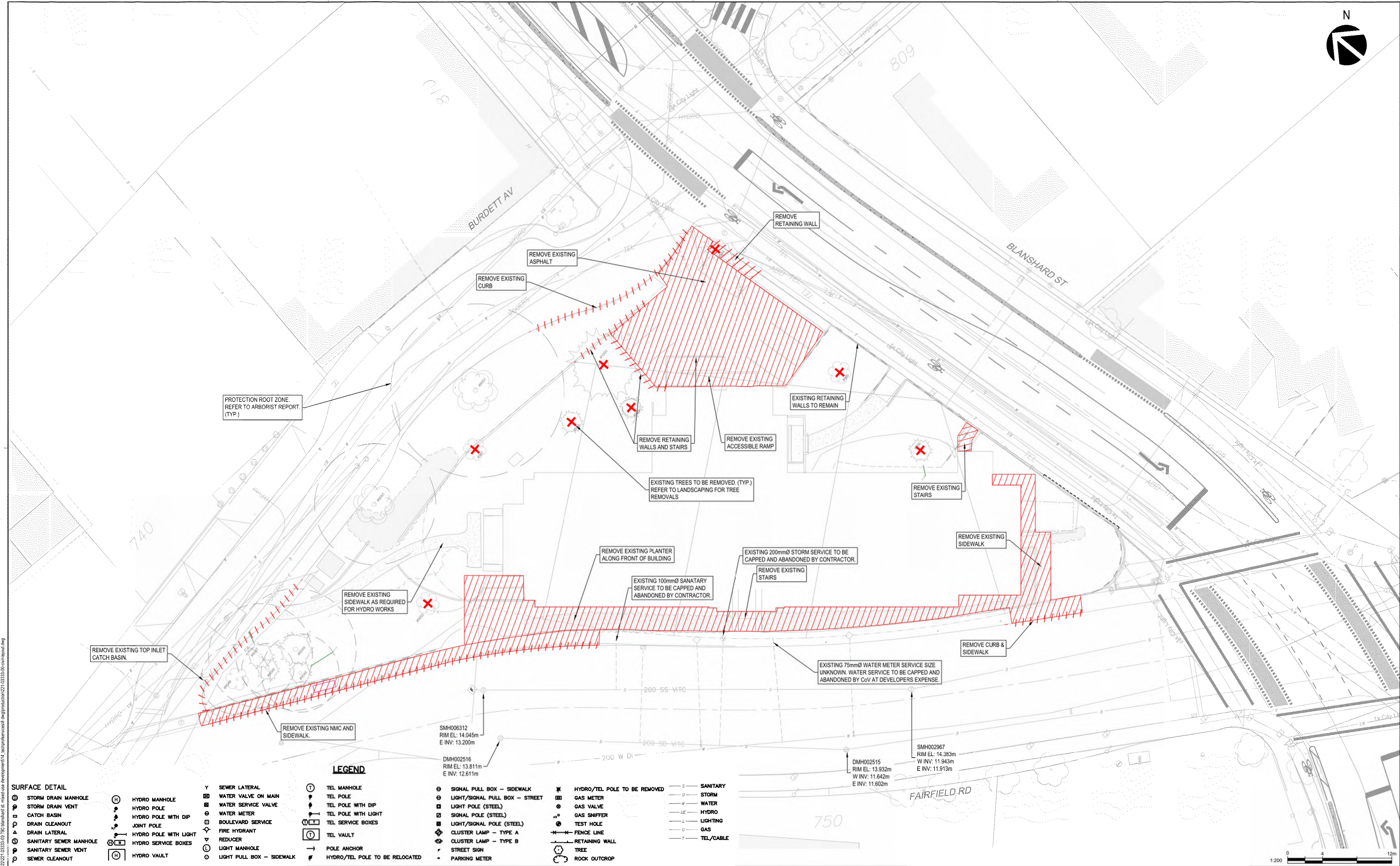
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PROJECT: 780 BLANSHARD STREET VICTORIA, BC

DRAWING NUMBER: C101

REV: 2

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LEGEND

| | | | | | |
|--|------------------------|--|--------------------------------|--|--------------------------------|
| | STORM DRAIN MANHOLE | | SEWER LATERAL | | TEL MANHOLE |
| | STORM DRAIN VENT | | WATER VALVE ON MAIN | | TEL POLE |
| | CATCH BASIN | | WATER SERVICE VALVE | | TEL POLE WITH DIP |
| | DRAIN CLEANOUT | | WATER METER | | TEL POLE WITH LIGHT |
| | DRAIN LATERAL | | BOULEVARD SERVICE | | TEL SERVICE BOXES |
| | SANITARY SEWER MANHOLE | | FIRE HYDRANT | | TEL VAULT |
| | SANITARY SEWER VENT | | REDUCER | | POLE ANCHOR |
| | SEWER CLEANOUT | | LIGHT MANHOLE | | HYDRO/TEL POLE TO BE RELOCATED |
| | HYDRO MANHOLE | | LIGHT PULL BOX - SIDEWALK | | HYDRO/TEL POLE TO BE REMOVED |
| | HYDRO POLE | | SIGNAL PULL BOX - STREET | | GAS METER |
| | HYDRO POLE WITH DIP | | LIGHT/SIGNAL PULL BOX - STREET | | GAS VALVE |
| | JOINT POLE | | LIGHT POLE (STEEL) | | GAS SNIFFER |
| | HYDRO POLE WITH LIGHT | | SIGNAL POLE (STEEL) | | TEST HOLE |
| | HYDRO SERVICE BOXES | | LIGHT/SIGNAL POLE (STEEL) | | FENCE LINE |
| | HYDRO VAULT | | CLUSTER LAMP - TYPE A | | RETAINING WALL |
| | | | CLUSTER LAMP - TYPE B | | TREE |
| | | | STREET SIGN | | ROCK OUTCROP |
| | | | PARKING METER | | |
| | | | | | SANITARY |
| | | | | | STORM |
| | | | | | WATER |
| | | | | | HYDRO |
| | | | | | LIGHTING |
| | | | | | GAS |
| | | | | | TEL/CABLE |

REVISION:

| REV | DATE | DESCRIPTION | DES | DRN | CHK |
|-----|------------|------------------------------------------|-----|-----|-----|
| 2 | 2026/06/01 | RE-ISSUED FOR HERITAGE ALTERATION PERMIT | JCS | VKQ | JCS |
| 1 | 2025/10/31 | RE-ISSUED FOR HERITAGE PERMIT | JS | SG | |
| 0 | 2025/09/19 | ISSUED FOR HERITAGE PERMIT | JCS | SG | |

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ORIGINAL SCALE: 1:200
DESIGNED BY: JCS
CHECKED BY: JCS
DRAWN BY: SG
APPROVED BY: JCS

DATE: 2025/09/15

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CLIENT: RELIANCES PROPERTIES

PROJECT NUMBER: 221-0333-00

CLIENT REF. #:

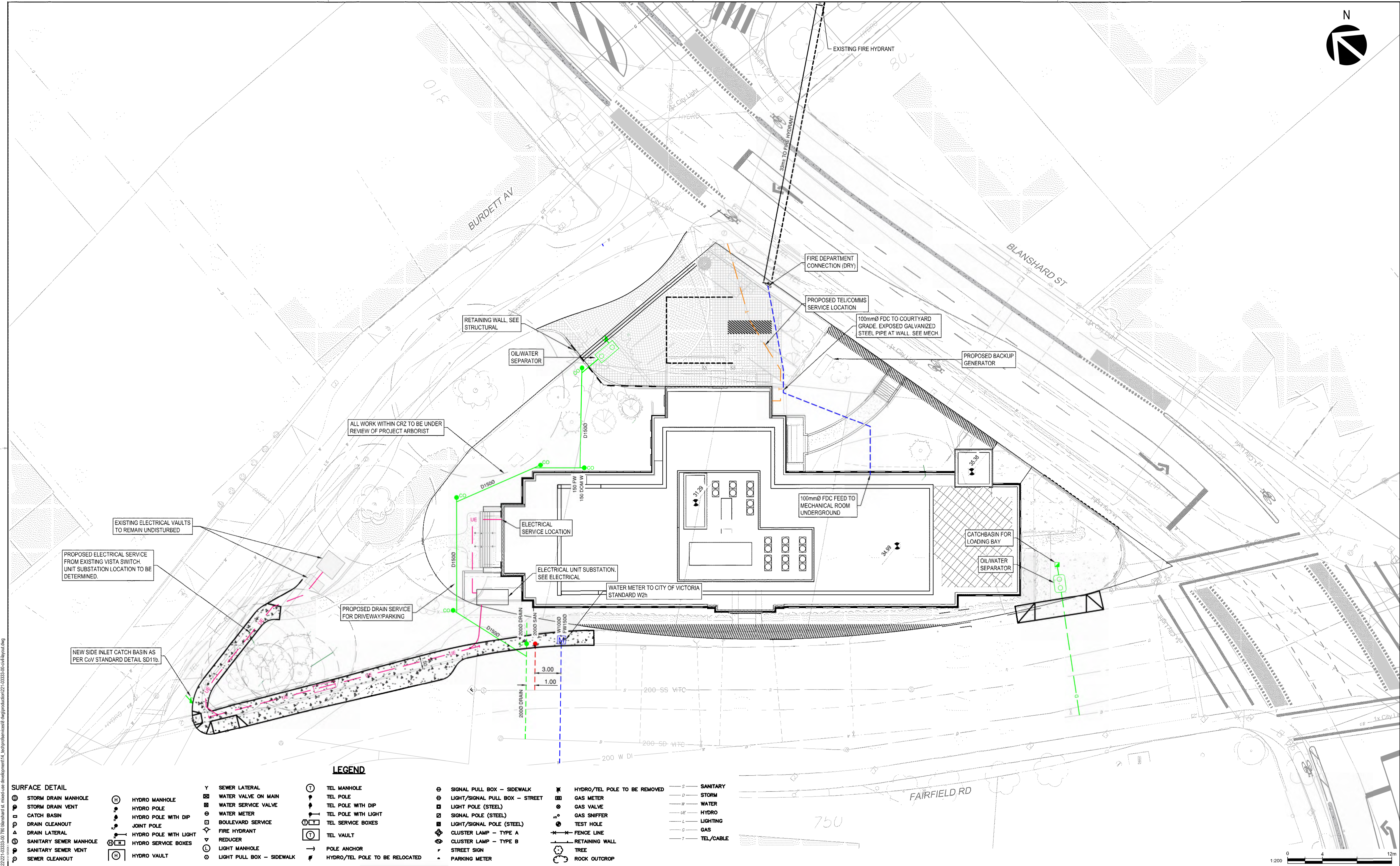
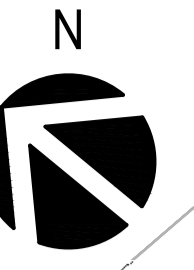
TITLE: SITE AND DEMOLITION PLAN

PROJECT: 780 BLANSHARD STREET VICTORIA, BC

DRAWING NUMBER: C102

REV: 2

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LEGEND

| | | | | | |
|--------------------------|-----------------------------|-----------------------|----------------------------------|--------------------------------|-------------|
| SURFACE DETAIL | Y SEWER LATERAL | ⊕ TEL MANHOLE | ⊕ SIGNAL PULL BOX - SIDEWALK | ⊕ HYDRO/TEL POLE TO BE REMOVED | ⊕ SANITARY |
| ⊕ STORM DRAIN MANHOLE | ⊕ WATER VALVE ON MAIN | ⊕ TEL POLE | ⊕ LIGHT/SIGNAL PULL BOX - STREET | ⊕ GAS METER | ⊕ STORM |
| ⊕ STORM DRAIN VENT | ⊕ WATER SERVICE VALVE | ⊕ LIGHT POLE (STEEL) | ⊕ LIGHT POLE WITH DIP | ⊕ GAS VALVE | ⊕ WATER |
| ⊕ CATCH BASIN | ⊕ WATER METER | ⊕ TEL POLE WITH LIGHT | ⊕ TEL POLE WITH LIGHT | ⊕ GAS SNIFFER | ⊕ HYDRO |
| ⊕ DRAIN CLEANOUT | ⊕ BOULEVARD SERVICE | ⊕ TEL SERVICE BOXES | ⊕ TEL VAULT | ⊕ TEST HOLE | ⊕ LIGHTING |
| ⊕ DRAIN LATERAL | ⊕ FIRE HYDRANT | ⊕ POLE ANCHOR | ⊕ HYDRO/TEL POLE TO BE RELOCATED | ⊕ FENCE LINE | ⊕ GAS |
| ⊕ SANITARY SEWER MANHOLE | ⊕ REDUCER | ⊕ LIGHT MANHOLE | ⊕ LIGHT PULL BOX - SIDEWALK | ⊕ RETAINING WALL | ⊕ TEL/CABLE |
| ⊕ SANITARY SEWER VENT | ⊕ LIGHT MANHOLE | ⊕ HYDRO VAULT | | ⊕ TREE | |
| ⊕ SEWER CLEANOUT | ⊕ LIGHT PULL BOX - SIDEWALK | | | ⊕ ROCK OUTCROP | |

| REV | DATE | DESCRIPTION | DES | DRN | CHK |
|-----|------------|------------------------------------------|-----|-----|-----|
| 2 | 2026/06/01 | RE-ISSUED FOR HERITAGE ALTERATION PERMIT | JCS | VKO | JCS |
| 1 | 2025/10/31 | RE-ISSUED FOR HERITAGE PERMIT | JS | SG | |
| 0 | 2025/09/19 | ISSUED FOR HERITAGE PERMIT | JCS | SG | |

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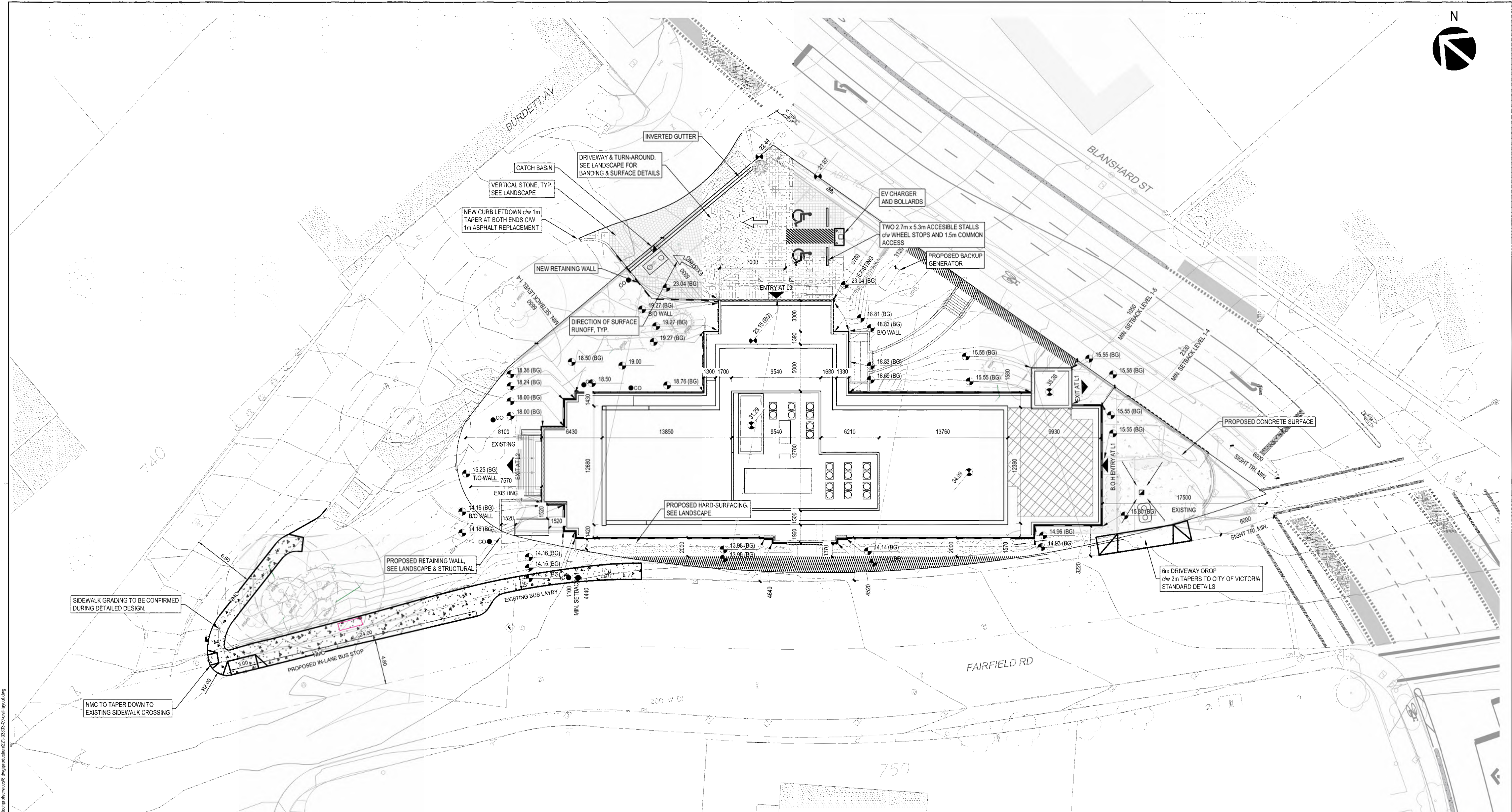
TITLE: CONCEPTUAL CIVIL SERVICING PLAN

PROJECT: 780 BLANSHARD STREET VICTORIA, BC

DRAWING NUMBER: C103

REV: 2

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LEGEND

| | | | | | |
|--------------------------|-----------------------------|----------------------------------|----------------------------------|--------------------------------|---------------|
| SURFACE DETAIL | Y SEWER LATERAL | ⊕ TEL MANHOLE | ⊕ SIGNAL PULL BOX - SIDEWALK | ⊗ HYDRO/TEL POLE TO BE REMOVED | — S SANITARY |
| ⊕ STORM DRAIN MANHOLE | ⊕ WATER VALVE ON MAIN | ⊕ TEL POLE | ⊕ LIGHT/SIGNAL PULL BOX - STREET | ⊕ GAS METER | — D STORM |
| ⊕ STORM DRAIN VENT | ⊕ WATER SERVICE VALVE | ⊕ TEL POLE WITH DIP | ⊕ LIGHT POLE (STEEL) | ⊕ GAS VALVE | — W WATER |
| ⊕ CATCH BASIN | ⊕ WATER METER | ⊕ TEL POLE WITH LIGHT | ⊕ SIGNAL POLE (STEEL) | ⊕ GAS SHIFFER | — H HYDRO |
| ⊕ DRAIN CLEANOUT | ⊕ BOULEVARD SERVICE | ⊕ TEL SERVICE BOXES | ⊕ LIGHT/SIGNAL POLE (STEEL) | ⊕ TEST HOLE | — L LIGHTING |
| ⊕ DRAIN LATERAL | ⊕ FIRE HYDRANT | ⊕ TEL VAULT | ⊕ CLUSTER LAMP - TYPE A | ⊕ FENCE LINE | — G GAS |
| ⊕ SANITARY SEWER MANHOLE | ⊕ REDUCER | ⊕ POLE ANCHOR | ⊕ CLUSTER LAMP - TYPE B | ⊕ RETAINING WALL | — T TEL/CABLE |
| ⊕ SANITARY SEWER VENT | ⊕ LIGHT MANHOLE | ⊕ HYDRO/TEL POLE TO BE RELOCATED | ⊕ STREET SIGN | ⊕ TREE | |
| ⊕ SEWER CLEANOUT | ⊕ LIGHT PULL BOX - SIDEWALK | | ⊕ PARKING METER | ⊕ ROCK OUTCROP | |

| REV | DATE | DESCRIPTION | DES | DRN | CHK |
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CLIENT: RELIANCES PROPERTIES

PROJECT NUMBER: 221-03333-00

TITLE: CONCEPTUAL ULTIMATE SURFACE WORKS & SITE GRADING

PROJECT: 780 BLANSHARD STREET VICTORIA, BC

DRAWING NUMBER: C104

REV: 2

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