

Contacts

List of Drawings

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Architectural

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Bal Klear  
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Architectural

- |       |                                      |
|-------|--------------------------------------|
| A0.1  | Survey                               |
| A0.2  | Zoning Area Diagrams & Average Grade |
| A0.3  | Shadow Analysis                      |
| A0.4  | Context Elevations                   |
| A0.5  | Rendered Views                       |
| A0.10 | Building Code Information            |
|       |                                      |
| A1.0  | Site Plan                            |
|       |                                      |
| A2.0  | P1 Plan                              |
| A2.1  | Level 1                              |
| A2.2  | Levels 2 to 4                        |
| A2.3  | Level 5                              |
| A2.4  | Level 6                              |
| A2.5  | Roof                                 |
|       |                                      |
| A4.0  | East Wing - East and West Elevations |
| A4.1  | North and South Elevations           |
| A4.2  | West Wing - East and West Elevations |
|       |                                      |
| A5.0  | Building Sections                    |

Landscape

- |       |                              |
|-------|------------------------------|
| L0.00 | Cover                        |
| L0.01 | General Information Sheet    |
| L0.02 | Tree Replacement             |
| L0.03 | Stormwater Management        |
| L1.01 | Landscape Materials L1       |
| L1.03 | Landscape Materials L5 & L6  |
| L2.01 | Landscape Grading & Drainage |
| L3.01 | Planting                     |

Civil

- |      |  |
|------|--|
| C1.0 | Existing Site Plan and Demolition Plan |
| C1.1 | Site Servicing Plan                    |
| C1.2 | Surface Works                          |
| C1.3 | Intersection Detail                    |
| C1.4 | Civil Details                          |

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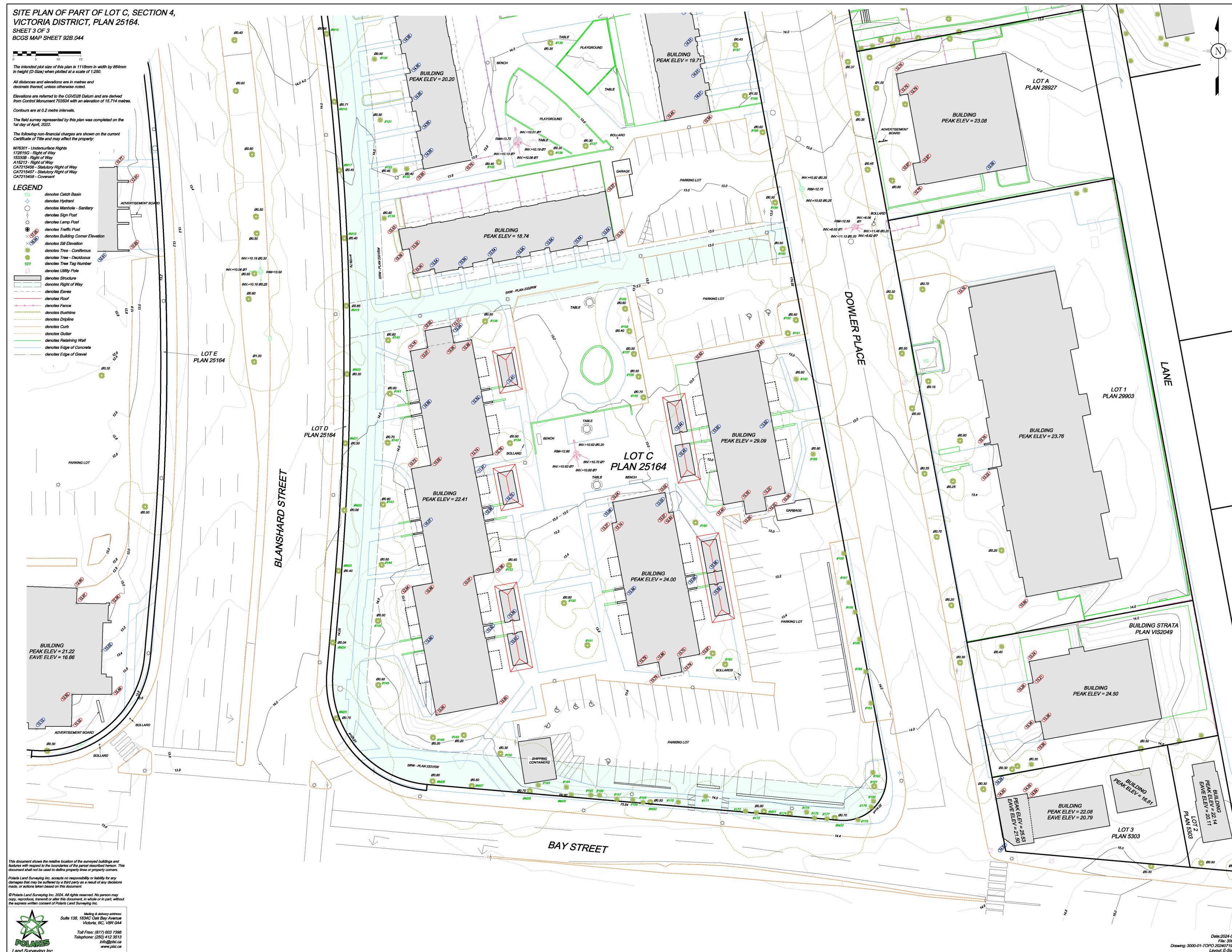
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Evergreen DA-D (Phase 1)  
Victoria, BC





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2. Refer to landscape architectural drawings for paving and plant materials information.
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4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.

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project name
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Victoria, BC

sheet title
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sheet title  
**Survey**

project no.	2442
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scale	1 : 100
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drawn by DS/MZ/GE

date issued	sheet no
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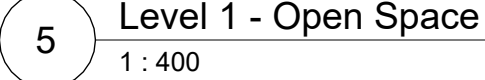
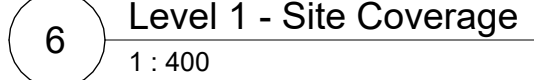
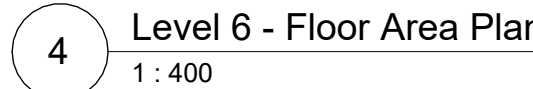
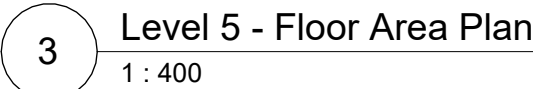
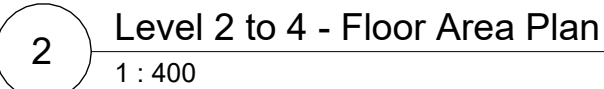
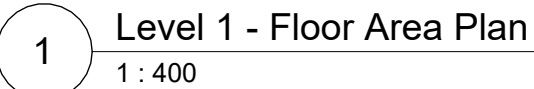
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4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.



Site Coverage = Area of Structure / Site Area =  $2753.05\text{m}^2 / 4334.00\text{m}^2$  = **63.35%**



project name  
Evergreen DA-D  
(Phase 1)

sheet title  
**Zoning Area Diagrams  
& Average Grade**

project no.	2442
scale	As indicated
drawn by	DS/MZ/GB
date issued	sheet no.
25/07/10	A02

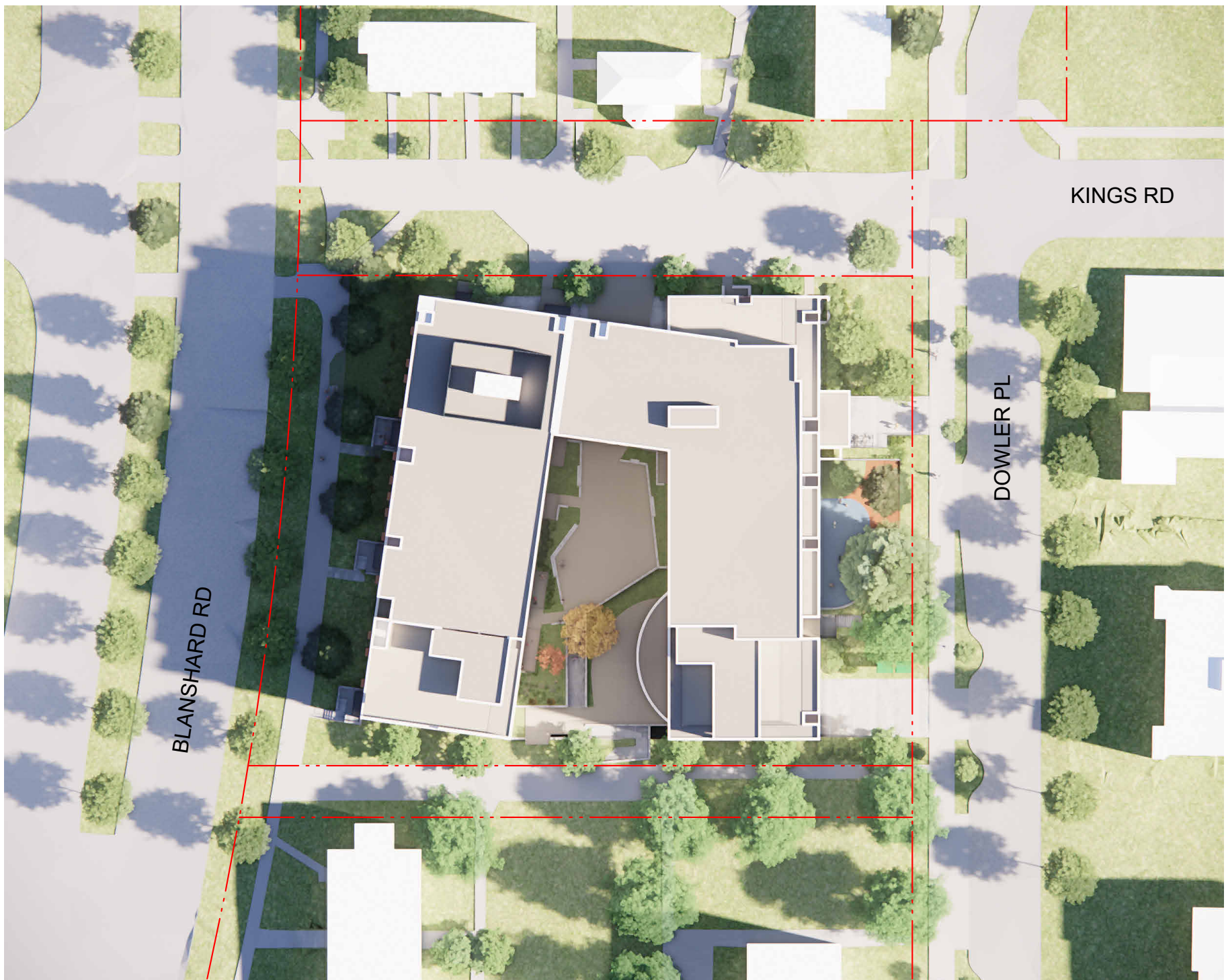
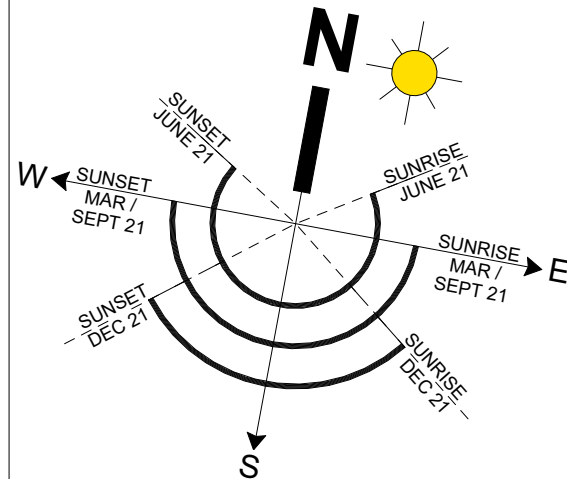




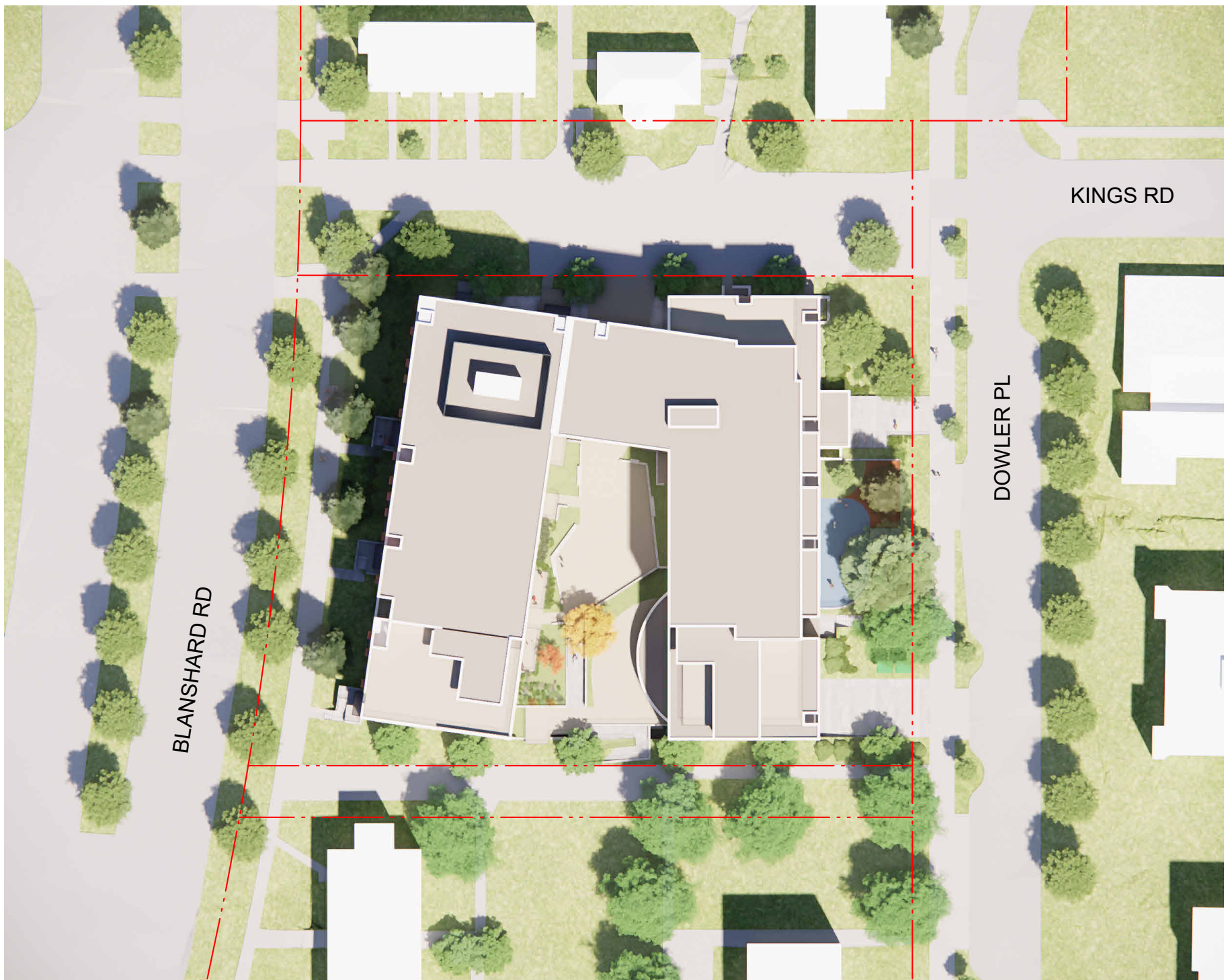
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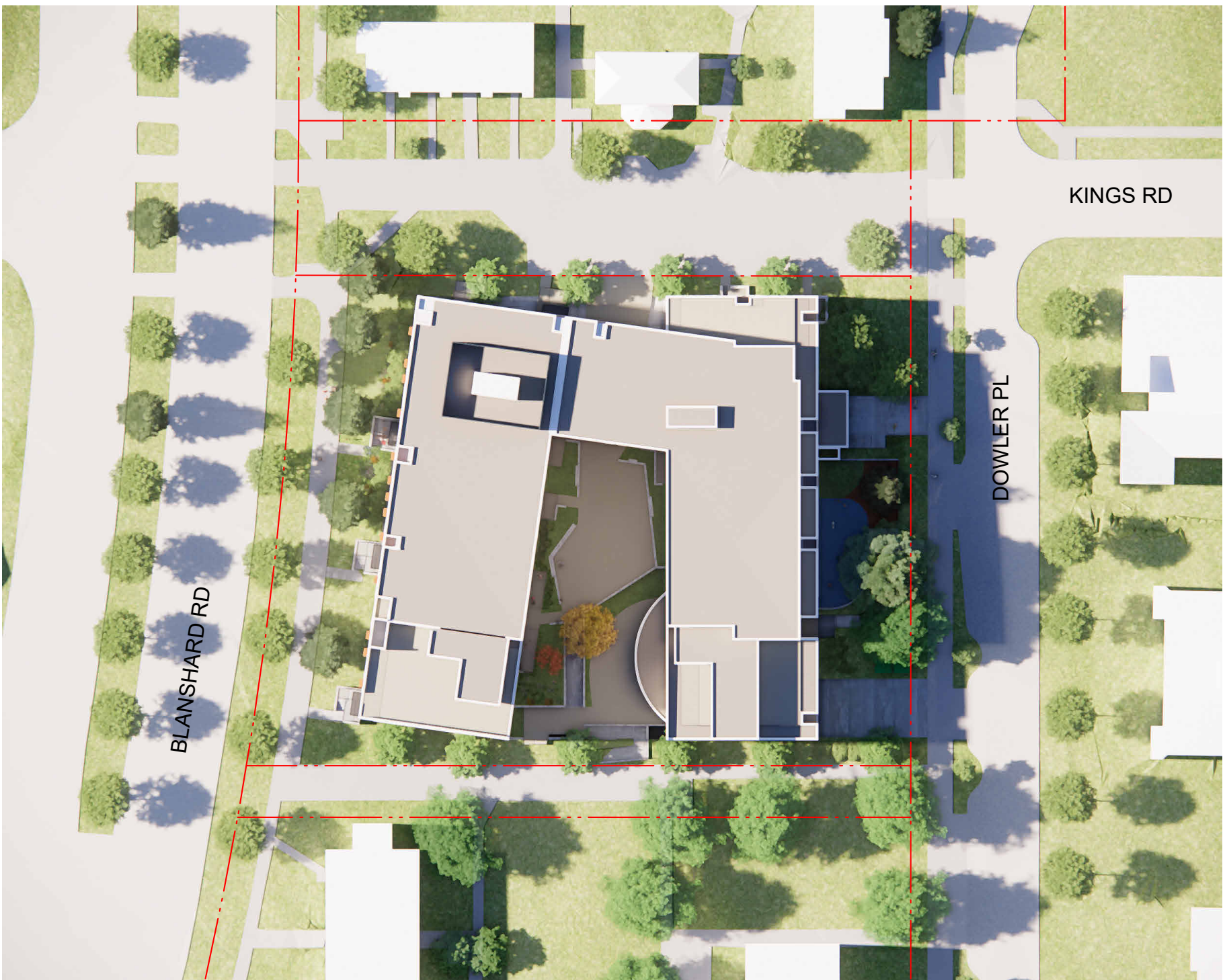
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SUMMER SOLSTICE • 9AM



SUMMER SOLSTICE • 12PM



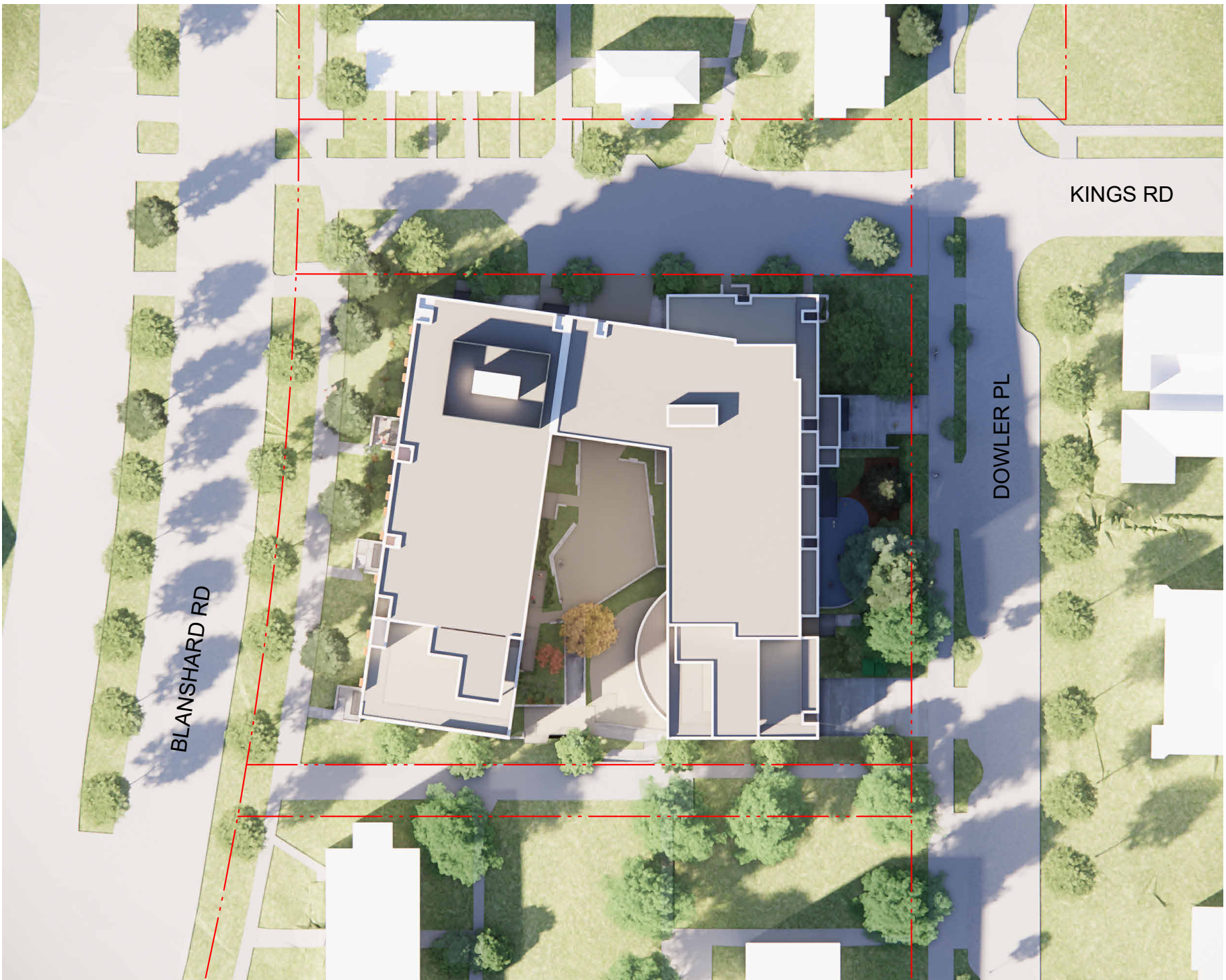
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EQUINOX • 10AM



EQUINOX • 12PM



EQUINOX • 4PM



WINTER SOLSTICE • 10AM



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project name		
Evergreen DA-D (Phase 1)		
Victoria, BC		
sheet title		
Shadow Analysis		
project no.	2442	
scale	1 : 100	
drawn by	GK	
date issued	25/07/10	
sheet no.	A0.3	





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0 2 10  
1:200 scale in meters

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project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**Context Elevations**

project no. 2442

scale As indicated

drawn by GK

date issued 25/07/10

sheet no. **A0.4**

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3 Context Elevations - Dowler Place  
1:200

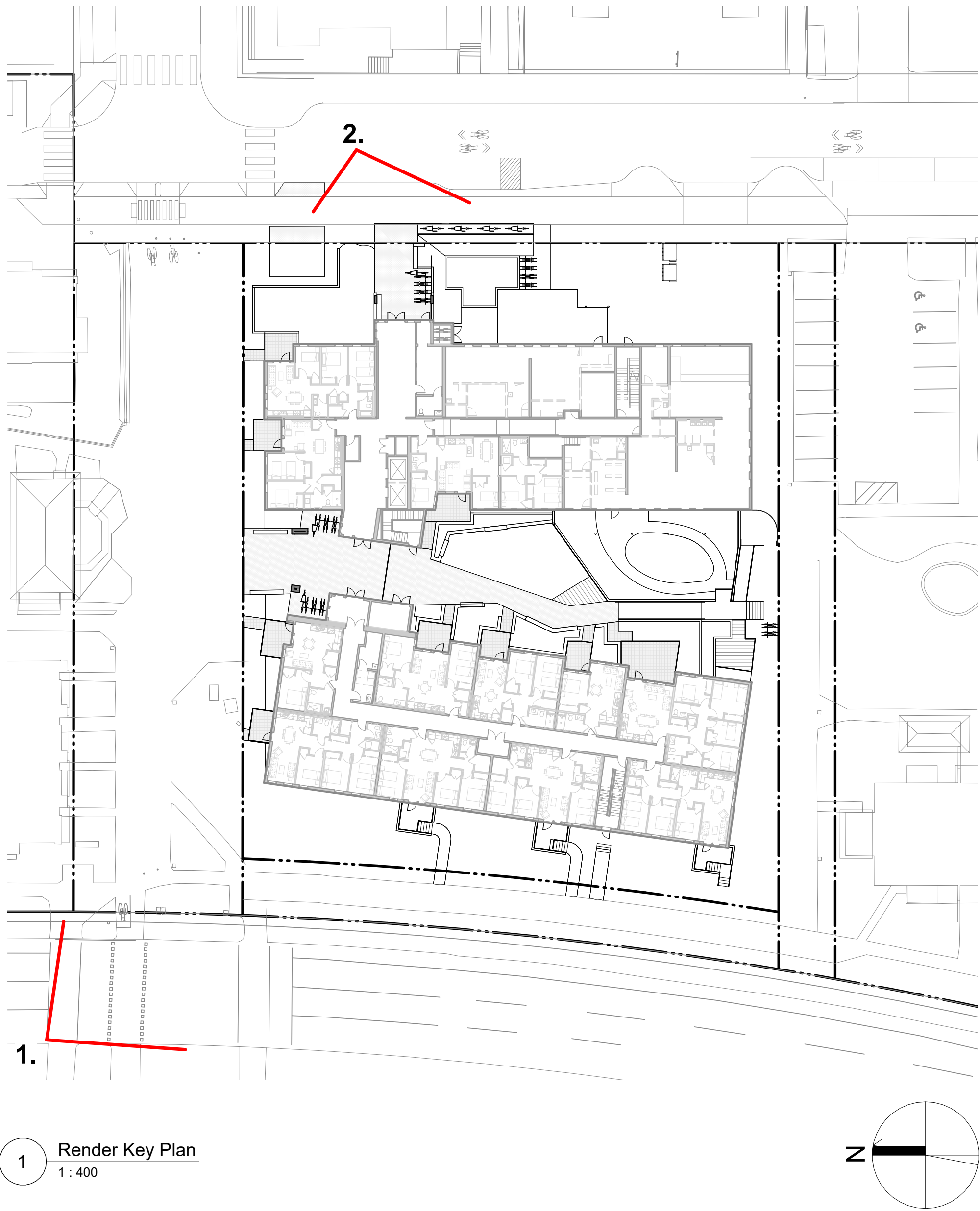


2 Context Elevations - Kings Road  
1:200



1 Context Elevations - Blanshard Street  
1:200





1. View to Southeast from Blanshard Street



2. View to Main Entrance from Dowler Street

REGISTERED ARCHITECT  
MICHAEL J. D'AMBROSIO  
BRITISH COLUMBIA  
2025-07-11

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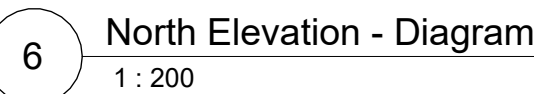
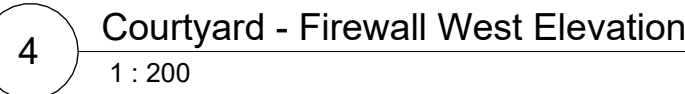
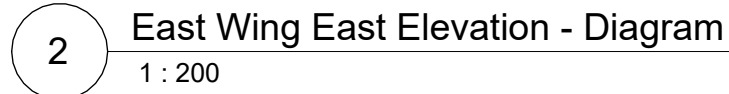
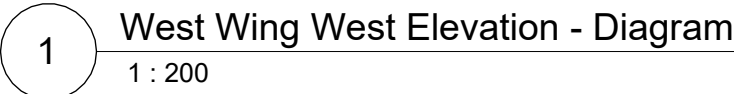
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project name		
Evergreen DA-D (Phase 1)		
Victoria, BC		
sheet title		
Rendered Views		
project no.		2442
scale		As indicated
drawn by		GK
date issued		25/07/10
sheet no.		A0.5

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Building Level	Face	Occupancy	Height	Width	LD	Area	Unprotected Openings	Sprinklered	Actual Openings	Permitted Openings	Cladding Requirements	Construction Requirements	Notes:
Space or Suite			(m)	(m)	(m)	(m <sup>2</sup> )	(m <sup>2</sup> )	(Y/N)	(%)	(%)			
<b>Level 1</b>													
Entrance Lobby	E	C	2.72	5.80	8.37	15.8	8.2	Y	52%	100%	NC		
Childcare	S	A2	3.72	17.50	3.00	65.1	14.2	Y	22%	28%	NC		
Unit D2	S	C	2.72	9.50	3.66	25.8	4.7	Y	18%	46%	NC		
Unit C1	N	C	2.72	7.70	2.39	20.9	3.2	Y	15%	28%*	NC		* Table 3.2.3.1-D max area of 30% and average developed for 2.39m LD
Unit A5	N	C	2.72	9.20	4.63	25.0	6.7	Y	27%	90%	NC		
<b>Level 2</b>													
						0.0		Y			NC		
Unit B8	N	C	2.72	9.55	2.39	26.0	6.7	Y	26%	28.6%*	NC		* Table 3.2.3.1-D max area of 30% and average developed for 2.39m LD
Unit A2	N	C	2.72	9.20	5.10*	25.0	8.3	Y	33%	100%	NC		
Unit C1	N	C	2.72	7.70		20.9	3.2	Y	15%	28%*	NC		
<b>Level 3</b>													
Unit B4	N	C	2.72	11.30	5.80*	30.7	8.3	Y	27%	100%	NC		
Unit B2	C-E	C	2.72	6.70	2.50*	18.2	5.1	Y	28%	60%	NC		* Refer to BCBC 3.1.10.6
Unit B5	C-S	C	2.72	13.30	2.50*	36.2	9.9	Y	27%	40%	NC		* Refer to BCBC 3.1.10.6
Unit C1	S	C	2.72	7.70	3.00	20.9	3.2	Y	15%	52%			
<b>Level 4</b>													
Unit D1	S	C	2.72	9.50	3.00	25.8	4.8	Y	19%	46%	NC		
<b>Level 5</b>													
<b>Level 6</b>													
Multipurpose	N	C	2.72	6.8	8.89	18.5	8.1	Y	44%	100%	NC		

As permitted by sentence 3.2.3.2.(2), the exposing building face is calculated for each fire compartment with fire separations having a fire resistance rating of 45min or more.

Six (6) Storeys over one (1) level underground parking.  
18m max. height from level of first storey to top storey (3.2.2.51)  
25m max. height from level of the first storey to the top of the highest roof assembly (3.2.2.51)

Two (2) Means of Egress with Two (2) separate exits and One (1) horizontal exit required per 3.3.1.3. Travel distance to be not more than 45m per 3.4.2.4. Horizontal exits to conform with 3.4.6.10

Three (3) Means of Egress and Three (3) separate exits required for parking level per 3.3.1.3. Travel distance to be not more than 45m per 3.4.2.4.

One (1) Means of Egress provided for rooftop occupancies with occupant load limited to less than 60 persons and less than 200 per 3.3.1.3(6) and 3.3.1.3(9)

Combustible and Non-Combustible.

Sprinklers required per 3.2.2.18(1), 3.2.2.51 and 3.3.2.18(1)

Fire alarm required per 3.2.4.1(1)  
Smoke detectors required per 3.3.2.18(3)

Residential Suite to Suite	1hr (3.3.4.2.1)
Residential Suite to Daycare Facility	2hr (3.1.3.1)
Residential Suite to Corridor	1hr (3.1.3.1.4)
Roof Assemblies	1hr (3.2.2.5.1.2)
Exit Stair	1hr (3.4.4.1)
Public Corridor	1hr (3.3.4.2)
Elevator	1hr (3.5.3.1)
Electrical Room	1hr (3.6.2.1)
Electrical Closets	0hr
Mechanical Room (Fire safety systems)	1hr (3.6.2.1)
Janitor's Room	0hr (3.3.1.2.2)
Parking to other occupancies (storage)	1.5hr (3.3.5.5.3)

Loadbearing walls, columns and beams are to have the same fire resistance rating as the assembly they support

Where loadbearing columns are located within a wall assembly, the entire length of wall is to have a fire resistance rating equal to that required for the column.

Non-loadbearing exterior walls require a fire resistance rating where they are exposing building face. Refer to exposing building face calculations, plans and sections.

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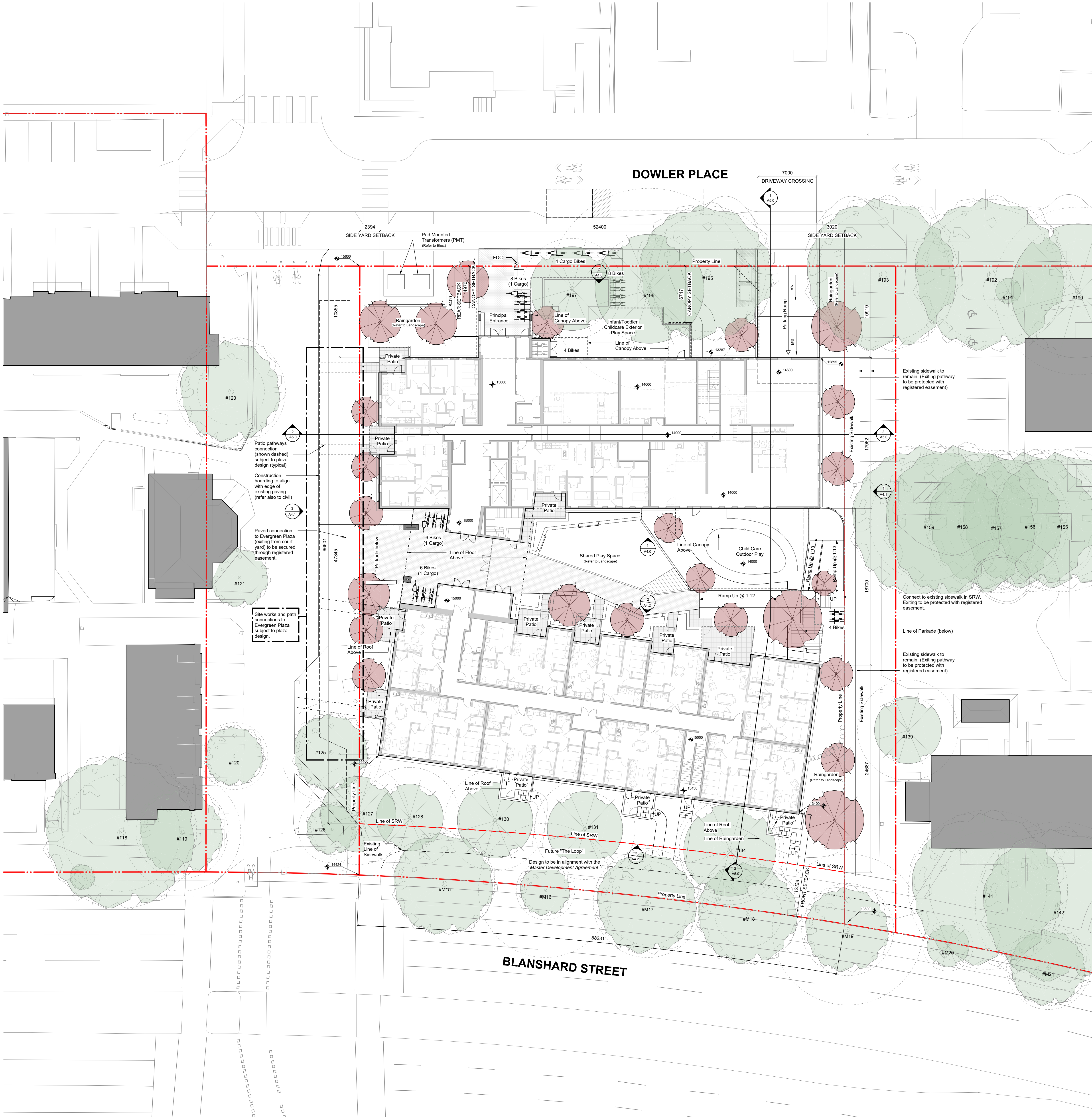
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Project Information Table			
Zone (existing)	R3-2		
Proposed zone or site specific zone	Site Specific		
Site area (m2)	4334		
Total floor area (m2)	9988.00		
Future Childcare area (m2)	421		
Floor space ratio	2.30		
Site Coverage (%)	63.40%		
Open site space (%)	51.00%		
Height of building (m)	20.1m		
Number of storeys	6		
Parking stalls (number) on site	61		
Bicycle parking number (Class 1 & 2)	Class 1 = 158   Class 2 = 32		
Building Setbacks (m)			
Front yard	12.23		
Rear yard	8.4		
Side yard (north)	2.39		
Side yard (south)	3.02		
Combined side yards	5.41		
Residential Use Details			
Total number of units	106		
Unit type, e.g., 1 bedroom	1, 2, 3 and 4-Bdrmm		
Ground-oriented units	12		
Minimum unit floor area (m2)	46		
Total residential floor area (m2)	9567.00		
	sq.m. (min.)	sq.m. (max.)	Qty
One-bedroom	46.5	49.0	16
One-bedroom Adapt.	49.0	52.5	9
One-bedroom Access.	52.3	54.3	6
Two-bedroom	65.4	66.5	16
Two-bedroom Adapt.	67.5	72.8	15
Two-bedroom Access.	73.8	75.0	6
Three-bedroom	83.0	85.7	24
Three-bedroom Adapt.	89.5	91.2	4
Four-bedroom	107.8	107.8	7
Four-bedroom Adapt.	110.6	113.0	3
			106

\*All Areas taken to inside face of exterior walls; Parti walls between units

\*\* Site area subject to subdivision

\*\*\* Project meets BC Housing requirements for Adaptability; project qualifies for BCBC 2024 extension



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1:200 scale in meters

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3	Preapplication Review	25/03/06
rev no	description	date

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project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**Site Plan**

project no. 2442

scale As indicated

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. A1.0

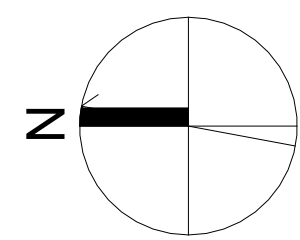




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1:100 scale in meters

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project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**P1 Plan**

project no. 2442

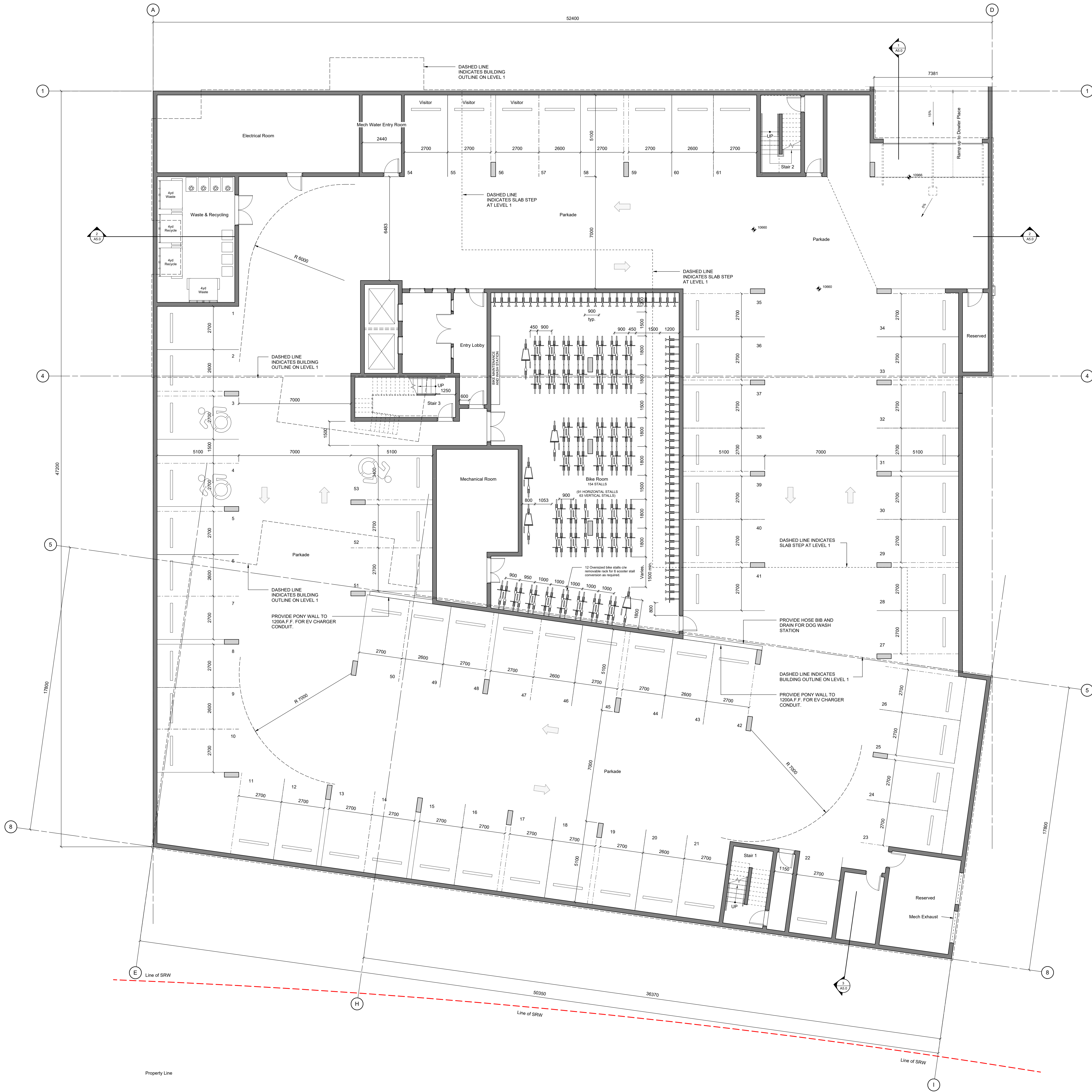
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date issued 25/07/10

sheet no. **A2.0**

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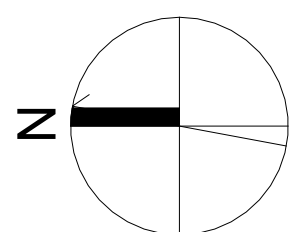




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#### project name

Evergreen DA-D  
(Phase 1)

Victoria, BC

sheet title  
**Level 1**

project no. 2442

scale 1 : 100

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sheet no. **A2.1**

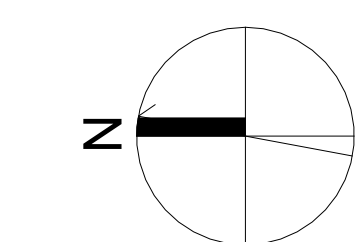
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4. For bicycle parking stall dimensions refer to drawing A2.1 - Level 1.



7	Issued for DDP Application	25/07/1
3	Preapplication Review	25/03/0
rev no	description	date

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project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**Levels 2 to 4**

project no.	2442
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scale	1 : 100
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drawn by DS/MZ/GE

date issued	sheet no.
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## A2.2

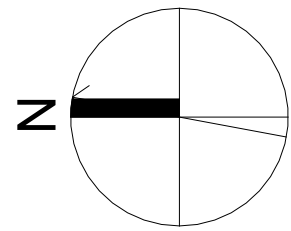




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0 1 5  
1:100 scale in meters

7	Issued for DDP Application	25/07/10
3	Preapplication Review	25/03/06
rev no	description	date

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project name

Evergreen DA-D  
(Phase 1)

Victoria, BC

sheet title  
**Level 5**

project no. 2442

scale 1 : 100

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. **A2.3**

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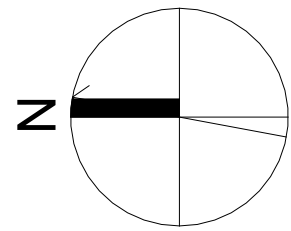




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0 1 5  
1:100 scale in meters

7	Issued for DDP Application	25/07/10
3	Preapplication Review	25/03/06
rev no	description	date

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project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**Level 6**

project no. 2442

scale 1 : 100

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. **A2.4**

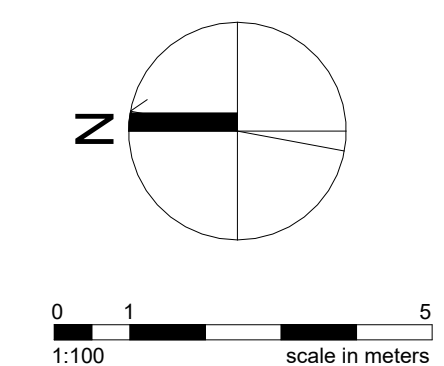
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7	Issued for DDP Application	25/07/1
3	Preapplication Review	25/03/0
rev no	description	date

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project name  
Evergreen DA-D  
(Phase 1)

Victoria, BC

sheet title  
**Roof**

project no.	2442
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scale 1 : 100

drawn by DS/MZ/GE

date issued	sheet no.
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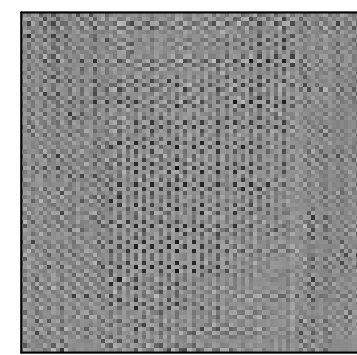
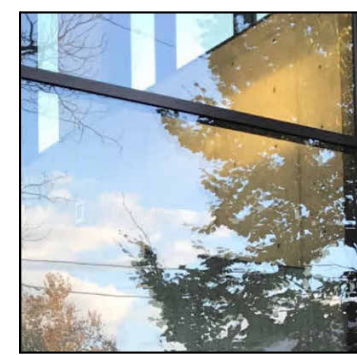
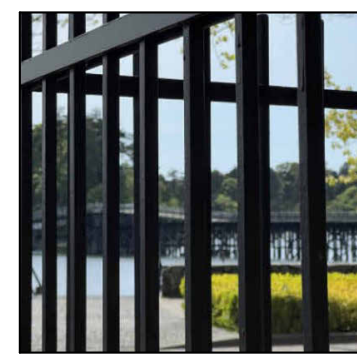
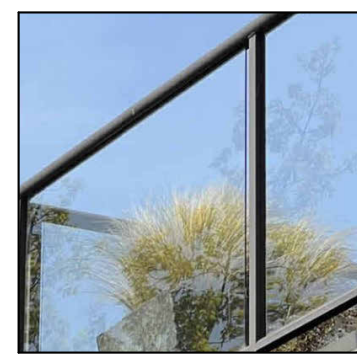
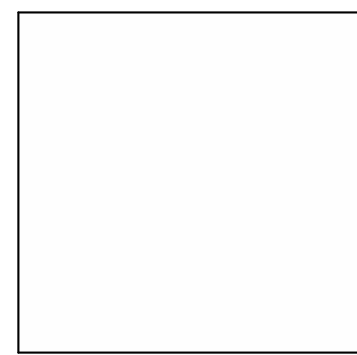
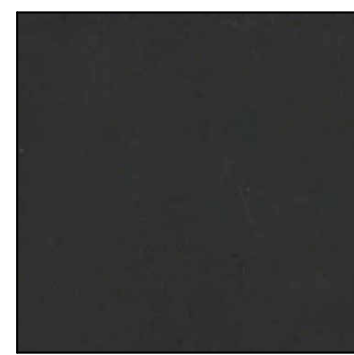
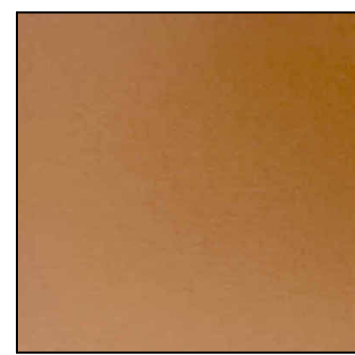
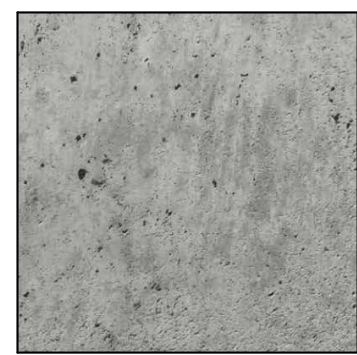
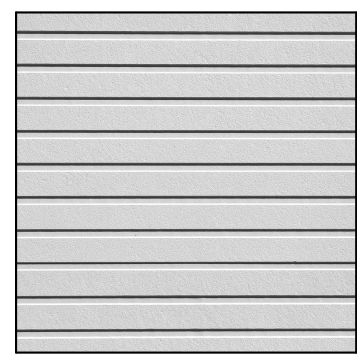
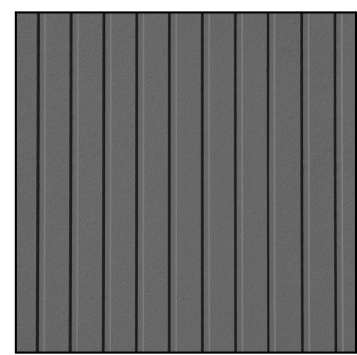


1 East Wing West Elevation  
1 : 100



2 East Wing East Elevation  
1 : 100

MATERIAL  
PALETTE



MATERIAL  
LEGEND

1 Fibre Cement Panels 'Flotto - Cream'

2 Fibre Cement Panels '8 Reveal - Charcoal'

3 Fibre Cement Panels '8 Reveal - Silver Gray'

4 Brick Veneer Norman Running Bond 'Castle Gray'

5 Exposed Architectural Concrete Parkade + Retaining Walls

6 Prefinished Metal (Flashing)

7 Prefinished Metal 'Copper Penny' (Solar Shades)

8 Vinyl Doors and Windows Charcoal Grey

9 Vinyl Doors and Windows White

10 Aluminum Frame Glass Guard (Balconies)

11 Metal Picket Guard 'Charcoal Grey' (Patios and Amenity)

12 Glazing

13 Metal Mechanical Screen 'Silver Grey'

0 1 5  
1:100 scale in meters

7 Issued for DDP Application 25/07/10

rev no description date

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project name  
Evergreen DA-D  
(Phase 1)

Victoria, BC

sheet title  
East Wing - East and  
West Elevations

project no. 2442

scale 1 : 100

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. A4.0





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0 1 5  
1:100 scale in meters

7 Issued for DDP Application: 25/07/10

rev no description date

project name  
Evergreen DA-D  
(Phase 1)

Victoria, BC

sheet title  
North and South  
Elevations

project no. 2442

scale 1 : 100

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. A4.1

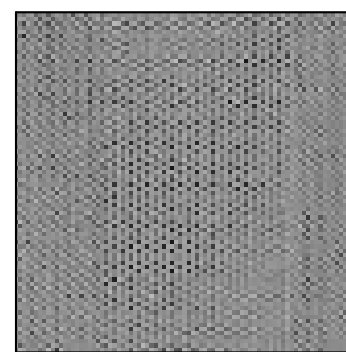
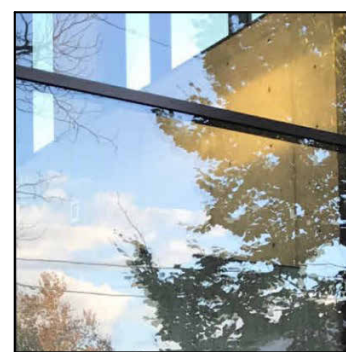
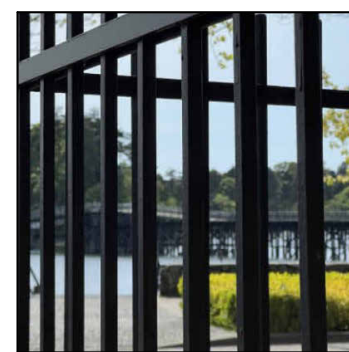
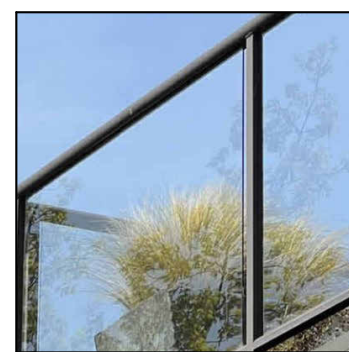
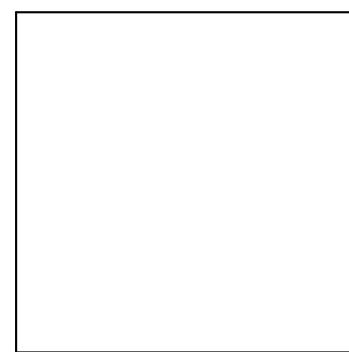
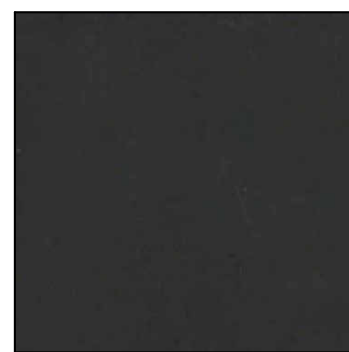
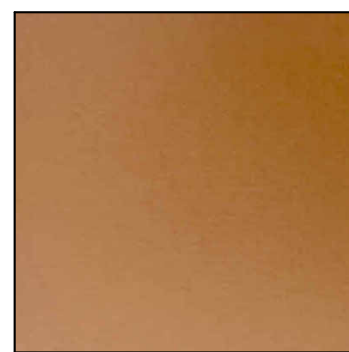
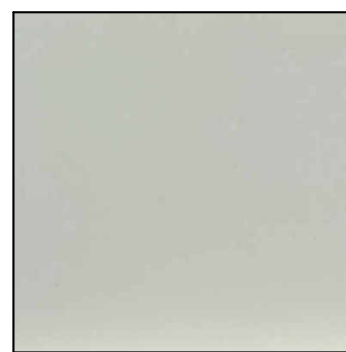
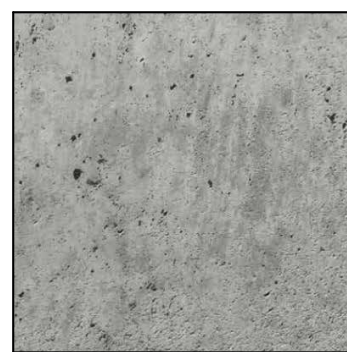
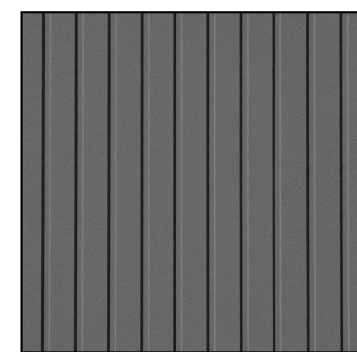


3 North Elevation  
1 : 100



1 South Elevation  
1 : 100

MATERIAL  
PALETTE



MATERIAL  
LEGEND

1 Fibre Cement Panels 'Fioflo - Cream'

2 Fibre Cement Panels '8 Reveal - Charcoal'

3 Fibre Cement Panels '8 Reveal - Silver Gray'

4 Brick Veneer Norman Running Bond 'Castle Gray'

5 Exposed Architectural Concrete Parkade + Retaining Walls

6 Prefinished Metal (Flashings)

7 Prefinished Metal 'Copper Penny' (Solar Shades)

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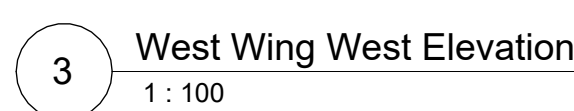
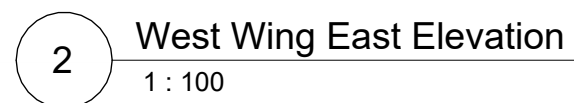
12 Glazing

13 Metal Mechanical Screen 'Silver Grey'



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Victoria, BC

project no.	2442
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scale	1 : 100
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date issued	sheet no.
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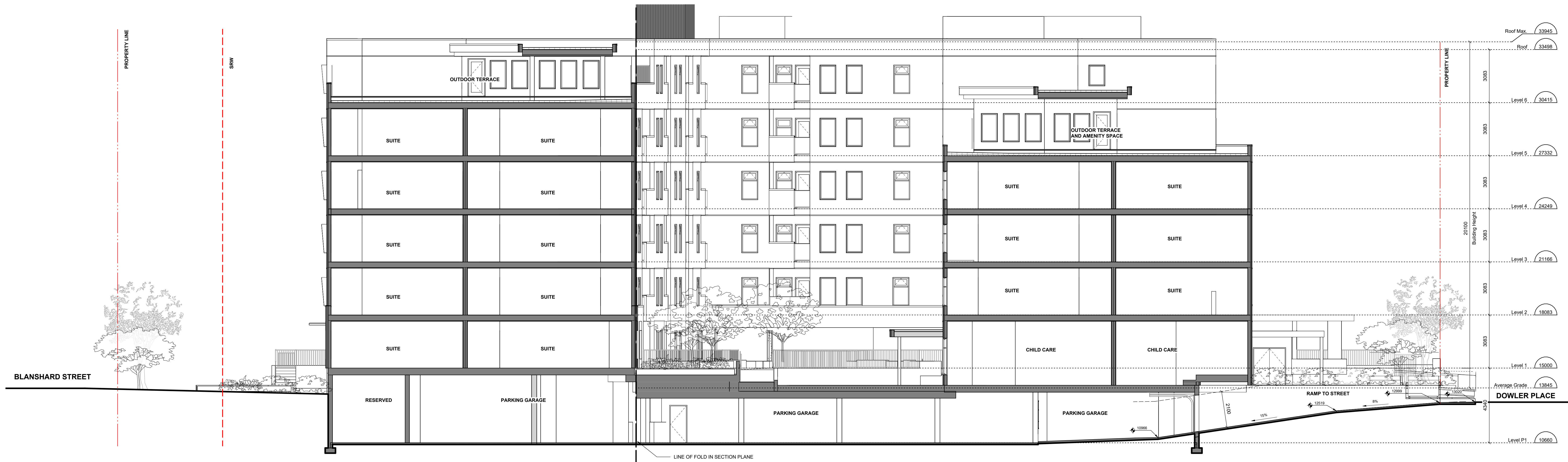




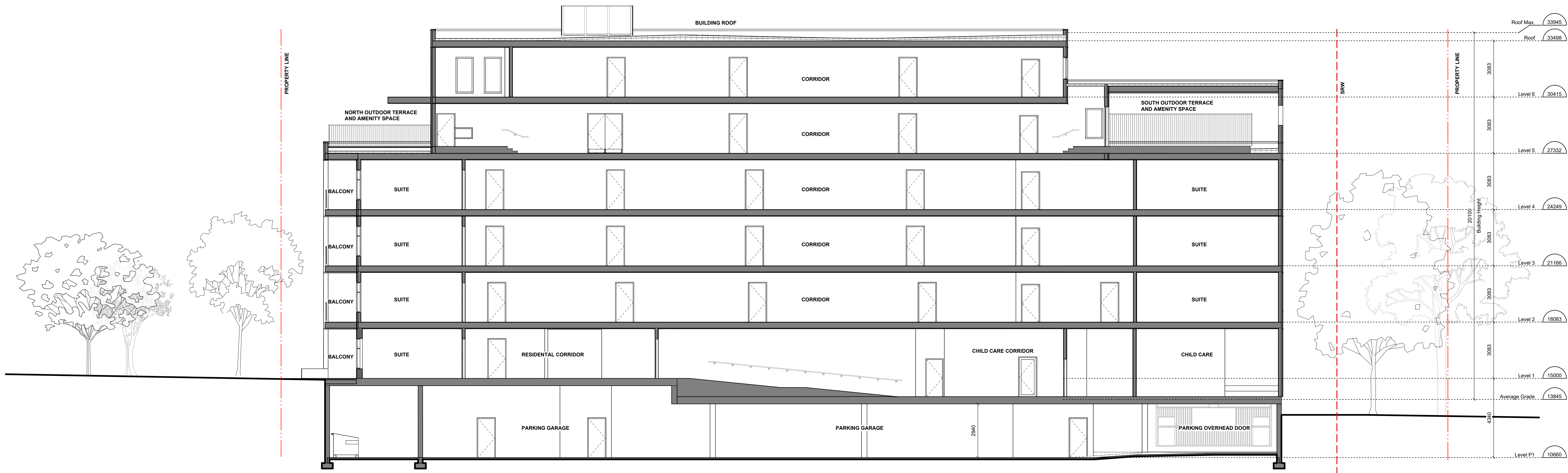
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1 East West Section  
1 : 100



2 North South Section  
1 : 100

0 1 5  
1:100 scale in meters

7 Issued for DDP Application: 25/07/10

rev no	description	date
1	Issued for DDP Application	25/07/10

project name  
**Evergreen DA-D  
(Phase 1)**

Victoria, BC

sheet title  
**Building Sections**

project no. 2442

scale 1 : 100

drawn by DS/MZ/GB

date issued 25/07/10

sheet no. **A5.0**

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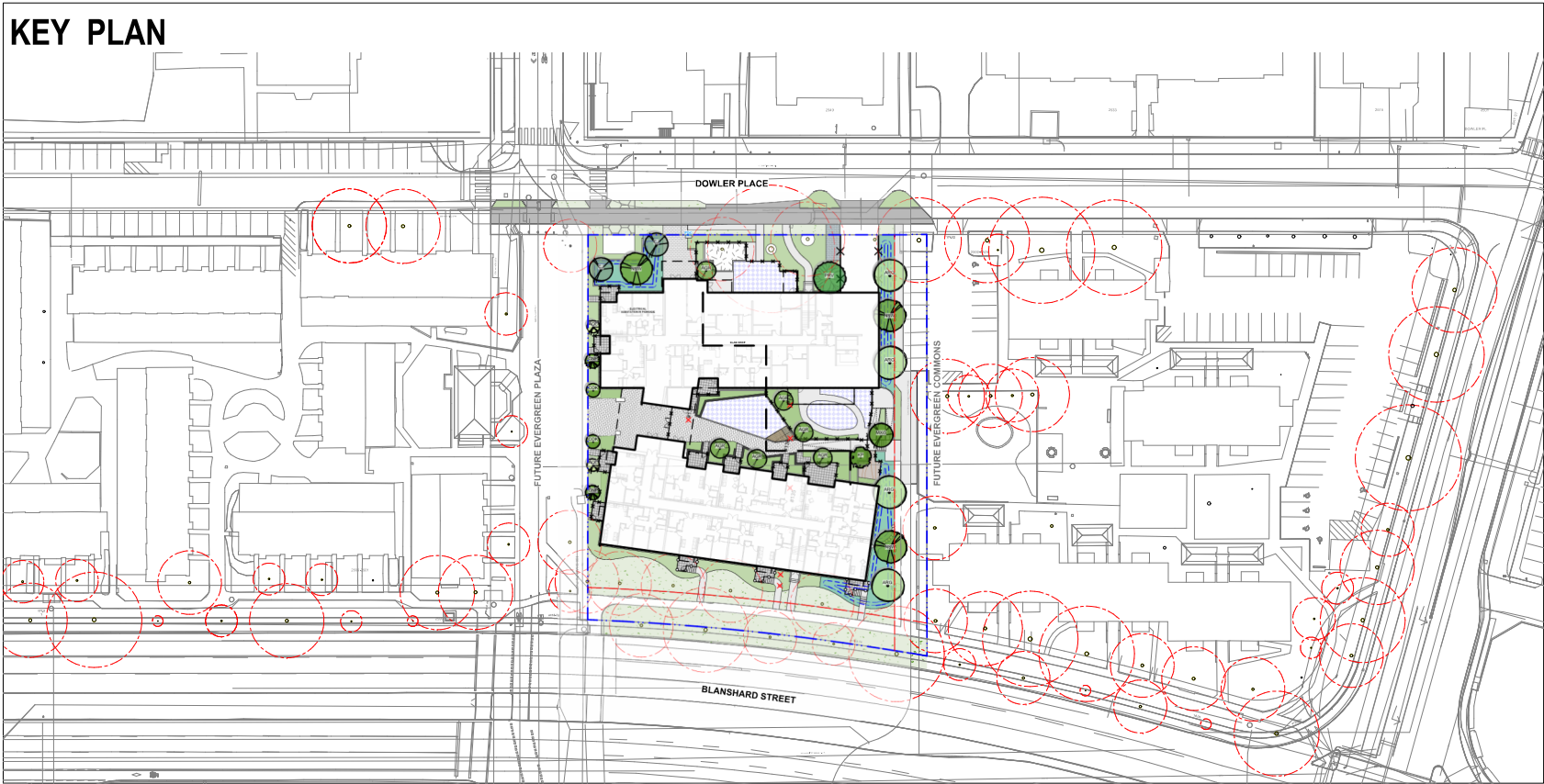


BC Housing/CMHA

# Evergreen DA-D (PHASE 1)

Victoria, BC

Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L0.02	Tree Replacement
L0.03	Stormwater Management
L1.01	Landscape Materials L1
L1.03	Landscape Materials L5 & L6
L2.01	Landscape Grading & Drainage
L3.01	Planting



NOTFORCONSTRUCTION

5	Issued for DDP	2025-07-08
4	DD Progress Set	2025-06-06
3	BP 50% Review	2025-05-07
2	BC Hydro Review	2025-03-27
1	DDP Progress Set	2025-02-28
No.	Issued For	Issue Date



client  
**BC Housing/CMHA**  
201-3440 Douglas St  
Victoria, BC

project  
**EVERGREEN DA-D (PHASE 1)**  
Victoria, BC

sheet title  
**Cover**

project no.	124.10
scale	1:400 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	<b>L0.00</b>



GENERAL NOTES

- Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CL-S-C-E); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
- Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
- Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
- Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to construction of improvements.
- Contractor is responsible for maintaining a complete up-to-date set of drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
- Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
- The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plan for location of tree protection fencing, and protection fencing detail.
- Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

- All elevations are in meters.
- Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
- All road, public, and/or vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
- Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
- Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain, or to drainage devices.
- All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
- Upon discovery, contractor to refrain from blasting rock to meet landscape subgrades. Contractor to contact Landscape Architect on how to proceed in each instance.

IRIGATION NOTES

- Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
- All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
- Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and dwg formats at least two weeks prior to commencement of irrigation installation.
- Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
- Refer to electrical drawings for electrical service.
- Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
- Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
- Steeves shall be installed at the necessary depths, prior to pavement construction. Steeves shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
- Contractor to field IR irrigation system around existing trees, to limit disturbance to root systems.
- All various mistakes during construction, inspection and testing of components will be required to ensure the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
- Over spray onto landscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
- Trees within shrub or rain garden areas to be irrigated with spray heads.
- Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system.

GROWING MEDIUM NOTES

- Refer to Landscape Specifications for growing medium properties by soil type.
- Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
- Growing medium properties and handling shall meet CLS-C-E (see Section 6 CLS-C-E).
- Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
- Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyager Way, Richmond, BC, V6X 3G8, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply sources. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
- Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

- Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
- Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
- Written dimensions take precedence over scale. Do not scale drawings.
- All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
- Where dimensions are called as 'equal' or 'eq', spaced referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

- Plant quantities on Plans shall take precedence over plant list quantities.
- Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

- For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A simple board (drain mat) will be installed over the root barrier.
- Parkade walls and foundation walls will be protected with a simple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
- A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 5m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 5m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

PAVING NOTES

- Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
- Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

- Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
- Refer to Landscape Specifications for Maintenance Period following Acceptance.
- Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", excessive wear and tear, or abuse.
- Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects until the End of Warranty period.
- Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications.

OFF SITE IRRIGATION NOTES

- All boulevard irrigation work, including required inspections, shall comply to "City of Victoria Supplementary Specifications for Street Trees and Irrigation Schedule C, Bylaw 12-042, Subdivision Bylaw".
- The irrigation system and sleeving inspection requirements can be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12-042. Irrigation inspections required for all sleeving, open trench mainline and lateral lines, system operation, controller, backflow preventer (incl. inspection tag and testing report), Call CofV Parks 250-361-0600 min. 2 days in advance to arrange for irrigation inspections.
- Design/build drawings for boulevard Irrigation drawings must be submitted to Parks Division and Landscape Architect for review and approval minimum 30 days prior to installation work.
- Boulevard irrigation pipe connection to be 25 mm service from existing water connection on, refer to CIVL drawings for location. Separate water meter and timer/controller, to be provided at point of connection. Timer/controller for boulevard areas must be readily accessible to municipal staff.
- Boulevard irrigation to be inspected by municipal staff. Municipal staff, boulevard tree irrigation system will be maintained and operated by municipality, after it is inspected and approved by municipal staff.
- Boulevard Irrigation electric zone valves to be RainBird PGA, except tree drip valves: RainBird Low Flow Control Zone Kit w/ PR Filter; XGZLR-100-PRF 1.
- 100mm diameter PVC Sleeving is required for all irrigation piping installed under hard surfaces. Extend sleeves 300mm beyond edge of hard surface into soft landscape areas.

OFF-SITE IRRIGATION INSPECTIONS REQUIRED

- The following irrigation and sleeving inspections by Parks Staff are required by Schedule C. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
  - (1) Irrigation sleeving prior to backfilling
  - (2) Open trench main line and pressure test
  - (3) Open trench lateral line
  - (4) Irrigation system, controller, coverage test, backflow preventer assembly test report required. backflow assembly is to have an inspection tag completed and attached.

BOULEVARD PLANTING NOTES

- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedule can be found on the City of Victoria Bylaws webpage.
- The finished grade for boulevard footprints, lanes, footpaths, lanes, footpaths, tree of all stones, roots, and branches. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

OFF-SITE HORTICULTURE INSPECTIONS REQUIRED

- The following inspections are required for all off-site horticulture areas:
  - (1) Excavated and scarified subgrade prior to placement of growing media.
  - (2) Installed and prepared growing media prior to planting.
  - (3) Plant material on-site prior to planting.
  - (4) Planted landscape prior to backfill installation.
  - (5) All time that planted and mulched landscape meets the conditions for Total Performance as required by MMCD.

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	MAX	MEYER
ARCH	ARCHITECT	MFR	MANUFACTURER	
AVG	AVERAGE	MH	MANHOLE	
B&P	BULLED AND BURLAPPED	MM	MINIMUM	
BC	BOTTOM OF CURB	MSC	MISCELLANEOUS	
BLDG	BUILDING	MLL	MILLIMETER	
BM	BENCH-MARK	N	NORTH	
BR	BOTTOM OF RAMP	NC	NOT IN CONTACT	
BS	BOTTOM OF SLAB	NM	NUMBER	
BW	BOTTOM OF WALL	NOM	NOMINAL	
CA	CAULPS	NTS	NOT TO SCALE	
CB	CURB	OC	ON CENTER	
CP	CURB FEET	OD	OUTSIDE DIAMETER	
CP	CAST IN PLACE	PC	POINT OF CURVATURE	
CL	CENTER LINE	PI	POINT OF INTERSECTION	
CL	CLEARANCE	PL	PROPERTY LINE	
CM	CENTER METER	PT	POINT OF TANGENCY	
CLM	CLEAR METER	QTY	QUANTITY	
CONT	CURB METRE	QTY	QUANTITY	
DEG	DEGREE	REF	REFERENCE	
DEM	DEMOLITION	REF	REFERENCE	
DIA	DIAMETER	REQD	REQUIRED	
DEM	DEMOLITION	REV	REVISION	
DTL	DETAIL	ROW	RIGHT OF WAY	
DWG	DRAWING	SAN	SANITARY	
E	EAST	SD	STORM DRAIN	
EL	ELEVATION	SF	SQUARE FOOT (FEET)	
ENG	ENGINEER	SH	SHEET	
EQ	EQUAL	SHL	SIMILAR	
EST	ESTIMATE	SPCS	SPECIFICATIONS	
EW	EACH WAY	STM	STORM SEWER	
EXT	EXISTING	STD	STANDARD	
EXP	EXPANDED, EXPOSED	STB	STREET	
FFE	FINISHED FLOOR ELEVATION	STB	STREET	
FL	FACE OF CURB	TOP	TOP AND BOTTOM	
FT	FOOT (FEET)	TR	TOP OF RAMP	
FT	FOOT (FEET)	TS	TOP OF SLOPE	
GA	GAUGE	TF	TOP OF FOOTING	
GEN	GENERAL	TH	THICK	
GR	GRADE	TOPO	TOPOGRAPHY	
GRD	GRADE ELEVATION	TR	TOP OF RAMP	
HORIZ	HORIZONTAL	TS	TOP OF SLOPE	
HP	HIGH POINT	TYP	TYPICAL	
IN	INVERT DIAMETER	VAR	VARIABLE	
ID	INVERT ELEVATION	W	WITH	
IN	INCLUDED	W/	WITH	
INCL	INCLUDED	W/	WITH	
LF	LINEAR FEET	WTF	WATER FRAME	
LP	LOW POINT	YD	YARD	
		@	AT	

GRADING LEGEND

	Proposed Landscape Grade
	Existing Grade
	Architectural grade, for reference only
	Proposed Landscape Grade
	Civil Grade, for reference only
	Proposed Landscape Contour

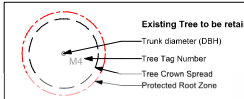
LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain	4-L4.04
	Sched 40 PVC	
	Clean Out	6-L4.04
	Landscape Area Drain	8-L4.01
	Landscape Overflow Drain	2-L4.04
	Trench Drain	
	Culvert	
	Root Barrier	

LINE TYPE LEGEND

	Property line
	SRW
	Building Footprint
	Extent of Roof / Canopy, above
	Extent of Parkade, below
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL

TREE LEGEND



MATERIALS L5 & L6

	Tiles on Pedestal
	Rubber Surfacing with decorative patterning
	Decorative Porcelain Tiles
	Artificial Turf

SITE FURNISHINGS L5 & L6

	Movable Chair
	Movable Dining Table & Chair
	Adirondack Chair
	JEM Chaise Lounge
	Bar Style Table & Chairs
	Metal Planter
	Vegetable Planter
	Accessible Vegetable Planter

MATERIALS LEGEND

	Municipal Sidewalk
	Asphalt Paving - Road / Drive Aisle / Parking

HARDSCAPE SURFACES

	Pedestrian Pavement
	Concrete Unit Pavers Type 1
	Concrete Unit Pavers Type 2
	Unit Paver - Permeable - Vehicular
	Rubber Safety Surfacing
	Wood Chip Surfacing
	Raised Seating Platform
	Lookout Deck
	Gravel Maintenance Edge

STEPS, RAMPS, CURBS, WALLS

	Retaining Wall - Concrete
	Retaining Wall - Precast Modular
	Stairs with Handrail
	Ramp with Handrail
	Boulder Slope Retention/Wall
	Concrete Band - Flush

SOFTSCAPE

	Tree & Shrub Planting Area - on Grade
	Tree & Shrub Planting Area - on Slab
	Rain Garden Area
	Lawn Area
	Turfstone

FENCING & RAILS

	Fence
	Gate
	Fence

SITE FURNISHINGS

	Bike Rack
	Backed Bench
	Seated Bench
	Wood Topper on Seat Wall

SITE LIGHTING

	Landscape Bolder
	Insect Light



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1	DDP Progress Set	2025-02-28
No.	Issued For	Issue Date



client  
BC Housing/CMHA  
201-3440 Douglas St  
Victoria, BC

project  
EVERGREEN DA-D (PHASE 1)  
Victoria, BC

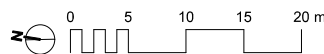
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General  
Information Sheet

project no.	124.10
scale	AS SHOWN @ 24'x36'
drawn by	KR/JD
checked by	SM/JD
sheet no.	

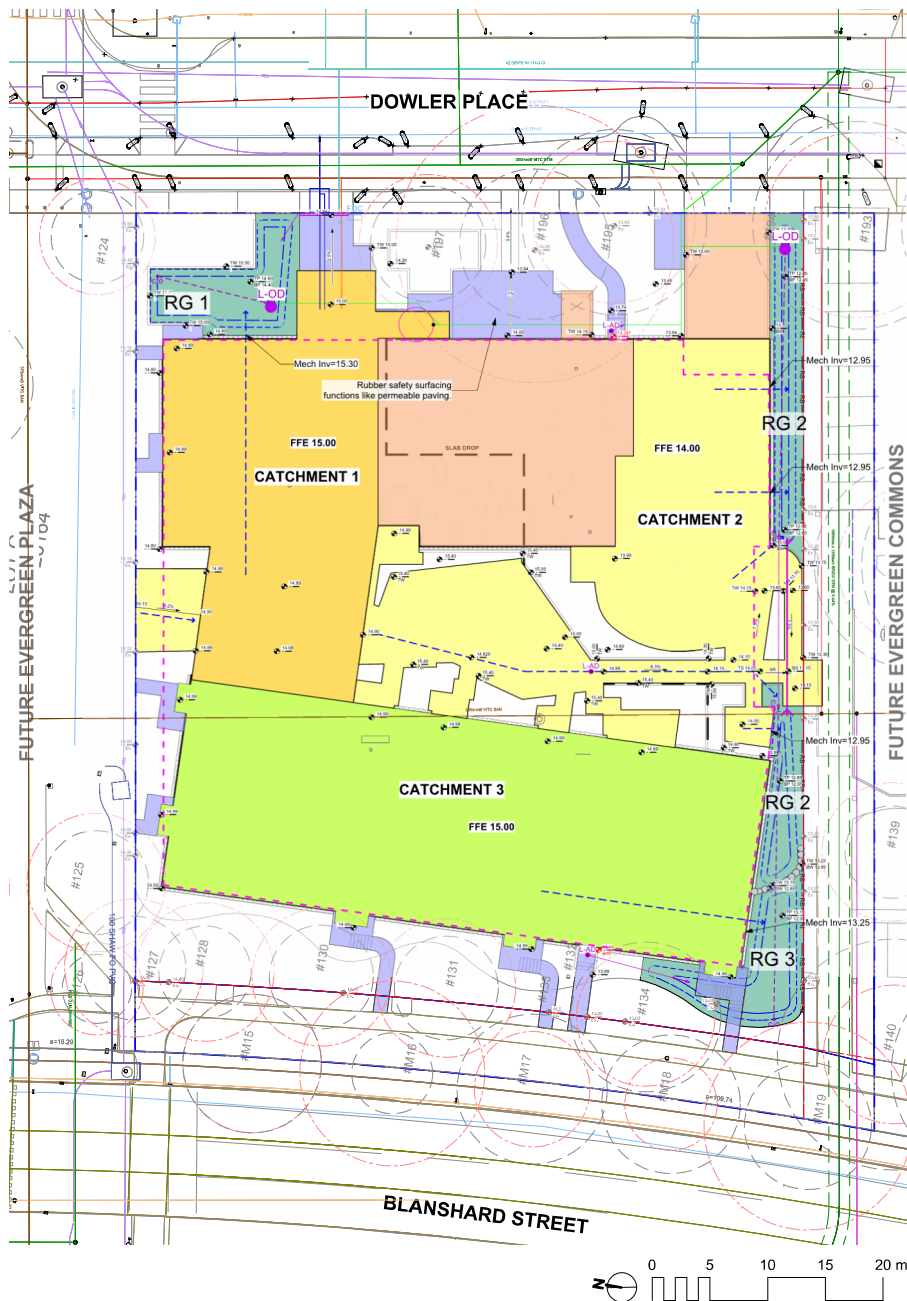
L0.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.

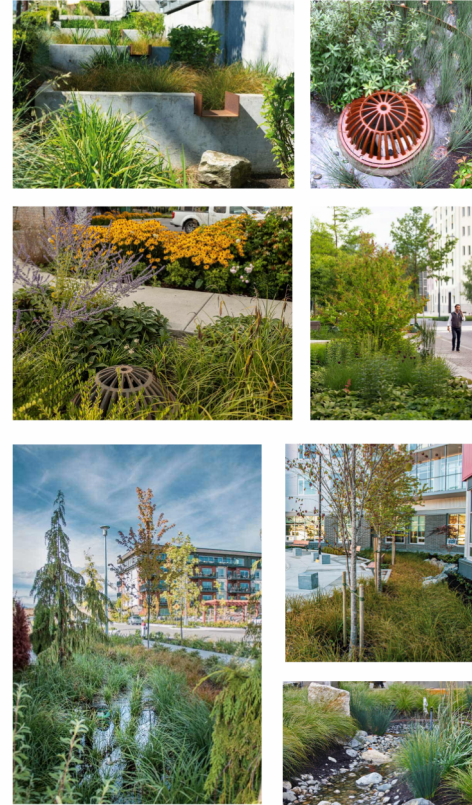








## RAIN GARDEN PRECEDENTS

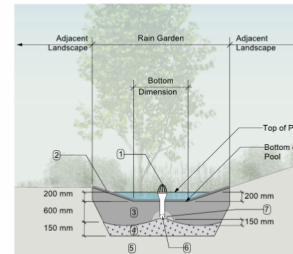


### STORMWATER MANAGEMENT LEGEND

	Property Line
	Building Footprint
	Extent of Roof / Canopy, ABOVE
	Extent of Parkade, BELOW
	Rain Garden Top of Pool (TP)
	Rain Garden Bottom of Pool (BP)
	Existing Grade
	Proposed Landscape Grade
	Proposed Civil Grade
	Direction of Flow
	Rain Garden Area
	Overflow Drain See civil drawings

### IMPERMEABLE SURFACE AREAS

	Impervious Area
	Roof & Paving Areas Draining to Rain Gardens
	Impervious Area Draining Directly to Storm System
	Impervious Area Draining to Absorbent Landscape



- RAIN GARDEN MATERIALS**
1. Overflow drain
  2. Composted mulch, 50 - 70 mm depth
  3. Bio-retention growing medium, 600 mm depth
  4. Scarified/titled subgrade, 150 mm depth
  5. Existing subgrade/native material
  6. 100 mm diameter (min) perforated pipe
  7. 25 mm diameter drain rock, 100 mm depth

1 Typical Rain Garden  
Scale: 1:50

### CITY OF VICTORIA STORMWATER CALCULATIONS

Site Stormwater Storage Requirements		Area	Required Storage Volume for Design Storm*
		(sq. m.)	(cu. m./day)
<b>Impervious Area Managed by Rain Gardens</b>		2211	71
Impervious Area Draining to Absorbent Landscape		205	
Impervious Area Draining to City Storm Drain		471	

Rain Garden Sizing Calculations						
Catchment Area	Contributing Impervious Area	Design Storm Runoff Volume Contributing to Rain Garden*	Planter Growing Medium Depth	Stormwater Treatment Capacity per sq. m. of Rain Garden	Rain Garden Base Area	Rain Garden Capacity**
	(sq. m.)	(cu. m./day)	(m.)	(cu. m./day)	(sq. m.)	(cu. m./day)
Catchment 1	569.0	18.2	0.60	0.80	57.1	45.7
Catchment 2	715.0	22.9	0.60	0.80	54.0	43.2
Catchment 3	927.0	29.7	0.60	0.80	49.7	39.8
total					128.6	

Excess (+) or Deficient (-) Storage Volume required to be managed by Green Stormwater Infrastructure: **57.9**

#### Assumptions

\* Design storm is 32mm of water, in a 24 hr period.

\*\* Rain Garden capacity based on 200 mm live ponding plus 20% of the sand/ compost growing medium volume (assuming growing medium has 20% void space) with a minimum infiltration rate of 2 cm/hr (or 48 cm per day), via perforated underdrain.

\*\*\* Landscaped areas require minimum 170mm depth of growing medium in order to manage 32mm rainfall / 24 hours (assuming 20% void space). Engineered green roof systems that are shown to meet the minimum requirements may also be included.



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client  
**BC Housing/CMHA**  
201-3440 Douglas St  
Victoria, BC

project  
**EVERGREEN DA-D (PHASE 1)**  
Victoria, BC

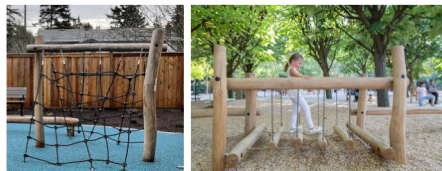
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**Stormwater Management**

project no.	12410
scale	1:200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	

**L0.03**



LANDSCAPE PRECEDENTS



1. CENTRAL SHARED PLAY SPACE WITH PLAY EQUIPMENT AGES 5-12



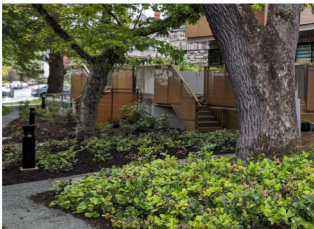
2. HIGH QUALITY, GREEN, SAFE SPACES



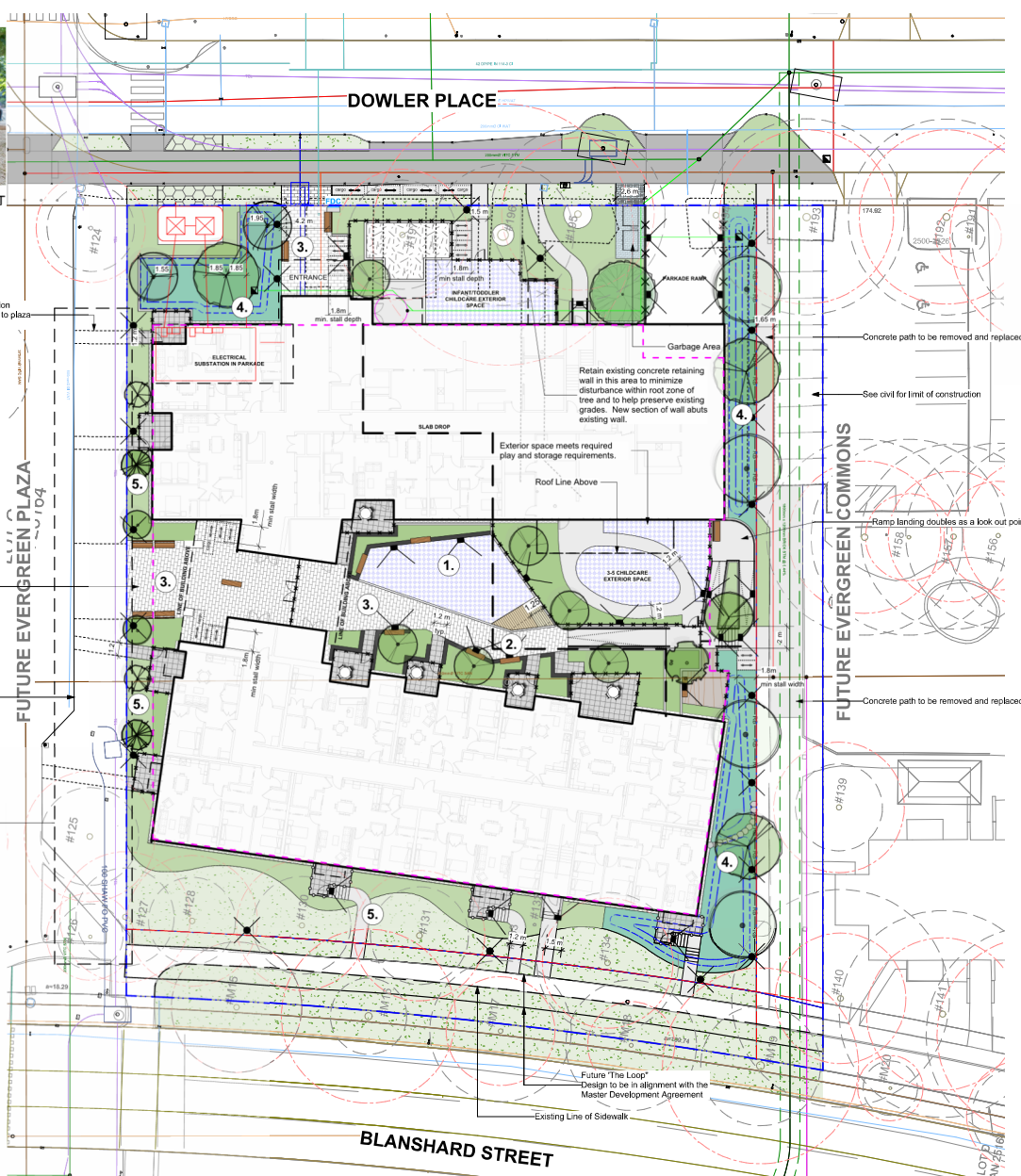
3. INTEGRATED FURNISHINGS IN LANDSCAPE



4. CELEBRATING RAINWATER MANAGEMENT



5. DEFINED PRIVATE VS PUBLIC SPACES WITH OPEN SIGHTLINES



MATERIALS LEGEND	
	Municipal Sidewalk (for reference only)
	Asphalt Paving - Road / Drive Aisle / Parking (for reference only, by others)
HARDSCAPE SURFACES	
	Pedestrian Pavement C/P Concrete c/w broom finish and sawcut control joints
	Concrete Unit Pavers Type 1 Newstone Double Standard - Charcoal Colour, 225 mm x 225 mm x 40 mm, Sand and gravel built up
	Concrete Unit Pavers Type 2 Newstone Standard - Northern Shadow Colour, 225 mm x 112.5 mm x 40 mm, Sand and gravel built up
	Unit Paver - Permeable - Vehicular Newstone Eco-Pro - Natural Colour, 200 mm x 100 mm x 70 mm
	Rubber Safety Surfacing c/w decorative patterning & design
	Wood Chip Surfacing
	Raised Seating Platform Wood slats on steel structure
	Lookout Deck Wood decking surfacing
	Gravel Maintenance Edge Clear crush aggregate with wood edge
STEPS, RAMPS, CURBS, WALLS	
	Retaining Wall - Concrete Smooth-slatted exposed faces
	Retaining Wall - Precast Modular Barkman Keystone Linear modular concrete wall system in charcoal colour - or approved equivalent
	Stairs with Handrail To meet BCBC requirements
	Ramp with Handrail To meet BCBC requirements
	Boulder Slope Retention/Weir 600 - 1200 mm diameter minimum, no sharp edges, top 1/3 of base into grade
	Concrete Band - Flush
SOFTSCAPE	
	Tree & Shrub Planting Area - on Grade 450mm depth
	Tree & Shrub Planting Area - on Slab 300-900mm depth, avg. 800mm depth. Bern to maximize depth to 750mm where possible
	Rain Garden Area 600mm depth
	Lawn Area 150mm depth unless otherwise noted
	Turfstone Belgard Canada, c/w structural soil base
FENCING & RAILS	
	Fence 1200 mm height, Metal picket, colour to complement architecture
	Gate Metal picket
	Fence 1200 mm height, Metal picket, colour to complement architecture, C/w panels below to screen underside of raised balcony
SITE FURNISHINGS	
	Bike Rack Dero Hoop Rack - or approved equivalent
	Backed Bench Walstone Rutherford Backless Bench, Sand Plastic Lumber - Sand, Powder Coat Gun Metal or approved equivalent, or approved equivalent
	Seamless Bench Walstone Rutherford Backless Bench, Sand Plastic Lumber - Sand, Powder Coat Gun Metal or approved equivalent, or approved equivalent
	Wood Topper on Seat Wall Walstone Rutherford Backless Wall Top Bench, Sand Plastic Lumber - Sand, Powder Coat Gun Metal or approved equivalent, or approved equivalent
SITE LIGHTING	
	Landscape Bollard Product TBD
	Inset Light Product TBD

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Vancouver, BC V6P 1G1  
Tel: 604.271.1111  
Email: info@ndilandscape.ca

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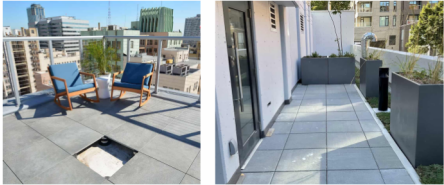
project  
**EVERGREEN DA-D (PHASE 1)**  
Victoria, BC

sheet title  
**Landscape Materials L1**

project no.	124.10
scale	1:200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	L1.01



LANDSCAPE PRECEDENTS



1. MOVABLE FURNISHINGS FOR FLEXIBLE AMENITY SPACE THAT CONNECTS WITH MULTI-PURPOSE ROOM



2. ADAPTABLE MULTI-FUNCTIONAL AMENITY SPACE INTEGRATED WITH TOT PLAY SPACE



3. TOT PLAY SPACE ON SAME LEVEL AS MULTI-PURPOSE ROOM



4. SHADE AND SHELTER FOR WEATHER PROTECTION (L5 & L6 SOUTH FACING OUTDOOR SPACES)



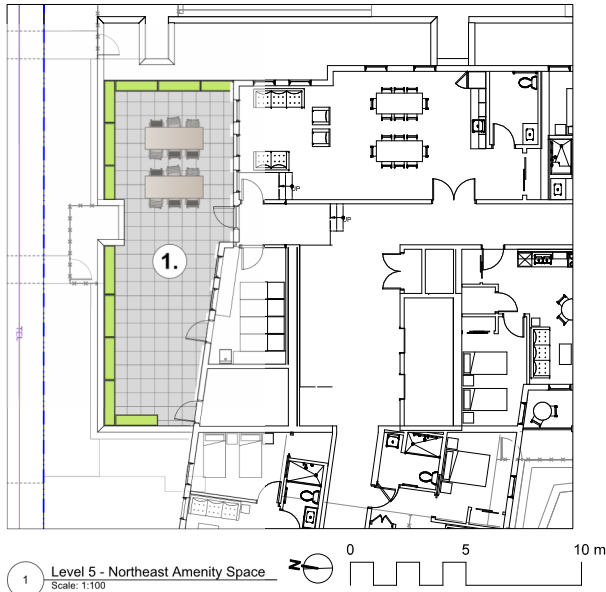
5. RAISED BEDS FOR GARDENING & FOOD PRODUCTION OPPORTUNITIES



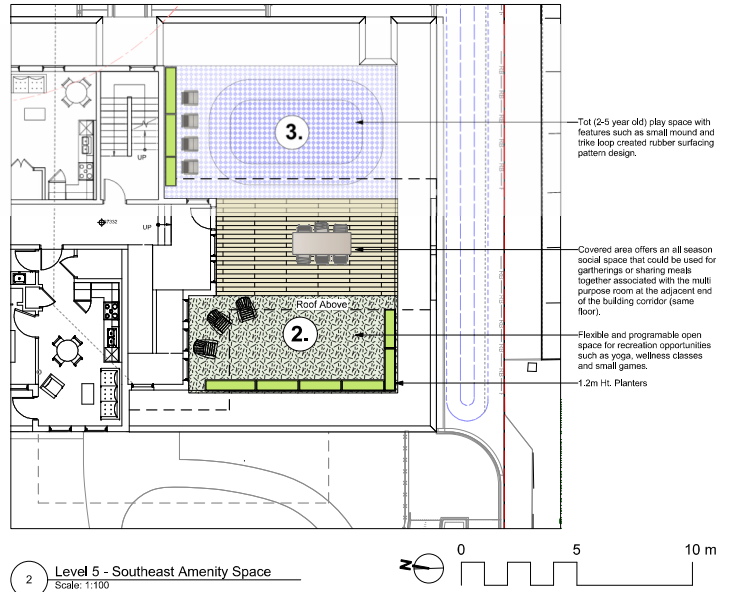
6. FLEXIBLE SOCIAL SPACE INTEGRATED WITH RAISED BEDS



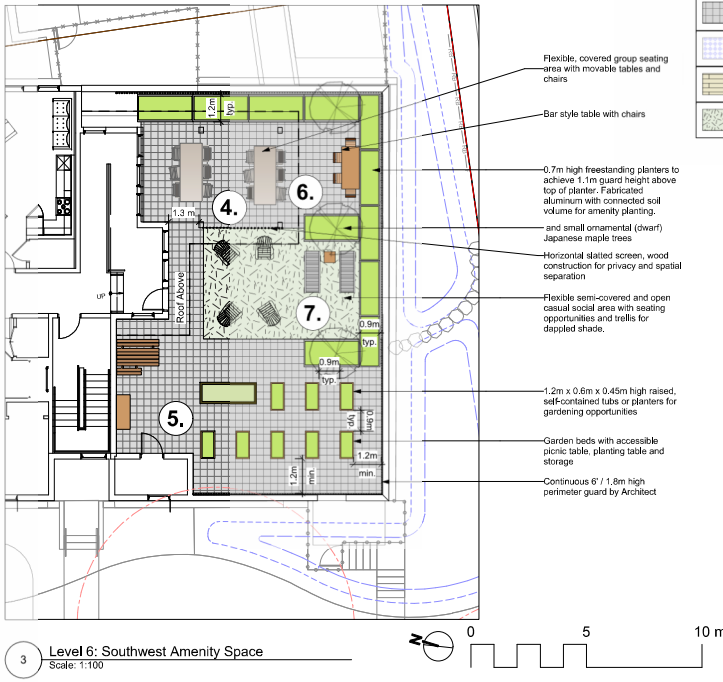
7. PASSIVE RECREATION & HANG OUT SPACE



1 Level 5 - Northeast Amenity Space  
Scale: 1:100



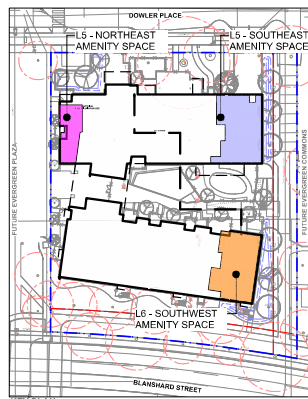
2 Level 5 - Southeast Amenity Space  
Scale: 1:100



3 Level 6 - Southwest Amenity Space  
Scale: 1:100

MATERIALS L5 & L6	
	Tiles on Pedestal 20 mm x 610 mm x 610 mm porcelain tile on pedestal system. Emmon - project select
	Rubber Surfacing with decorative patterning
	Decorative Porcelain Tiles Emmon - project select, 24" x 48" x 2mm thick plank style porcelain tile on pedestal system.
	Artificial Turf Syn-Lawn or approved equivalent

SITE FURNISHINGS L5 & L6	
	Movable Chair Vibron Green Valley Dining Chair, Colour: Cedar/Neutral Black - or approved equivalent.
	Movable Dining Table & Chair Vibron Yorkton Rectangular Dining Table - Colour: Silver or approved equivalent.
	Adirondack Chair Vibron Green Valley Dining Chair, Plastic Lumber - Grey, Powder Coat Traffic Yellow - or approved equivalent, or approved equivalent.
	JEM Lounge Chair Vibron Green Valley Dining Chair, Plastic Lumber - Grey, Powder Coat Traffic Yellow - or approved equivalent, or approved equivalent.
	Bar Style Table & Chairs Vibron Green Valley Dining Chair, Plastic Lumber - Grey, Powder Coat Traffic Yellow - or approved equivalent, or approved equivalent.
	Metal Planter Green Theory Rectangular, length and width varies, 1.2m H - or approved equivalent.
	Vegetable Planter Green Theory Wide Rectangle 1200mm L x 600mm W x 450mm H
	Accessible Vegetable Planter Vibron Rutherford Accessible Planter 2444mm L x 927mm W x 857mm H - or approved equivalent.



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info@ndilandscape.ca

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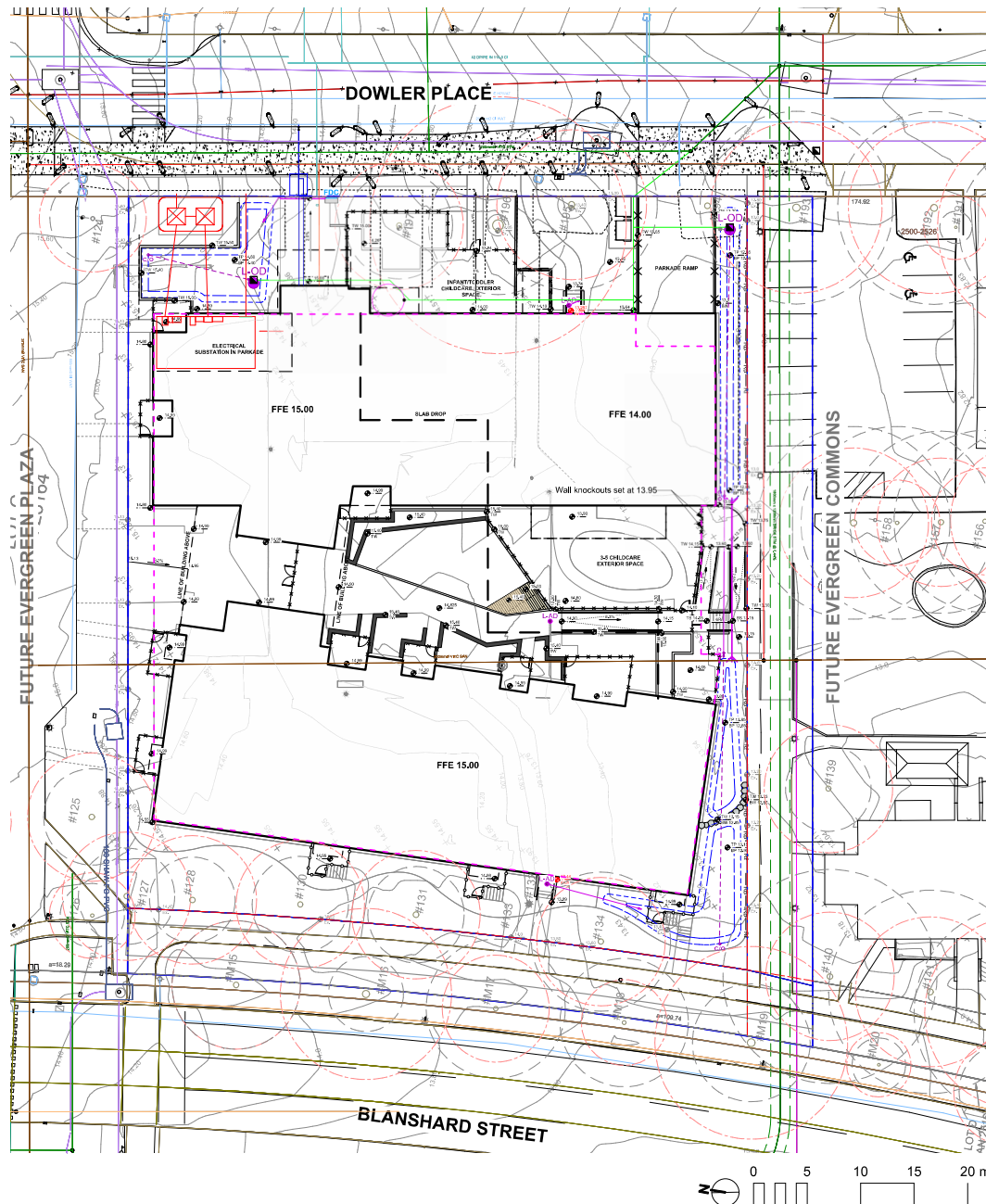
3 BP 50% Review 2025-05-07

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#### GRADING LEGEND

25.25	Proposed Landscape Grade
25.25 36.7%	<div> <div> <div>Top of Wall</div> <div>Bottom of Wall</div> <div>Top of Curb</div> <div>Bottom of Curb</div> <div>Top of Post</div> </div> <div> <div>Bottom of Post</div> <div>Top of Slab</div> <div>Bottom of Slab</div> <div>High Point</div> <div>Low Point</div> </div> </div>
25.25	Existing Grade
25.25	Architectural grade, for reference only
25.25	Proposed Landscape Grade
25.25	Civil Grade, for reference only
(8.00) - 1'	Proposed Landscape Contour

#### LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain
	Sched 40 PVC
	Clean Out
	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate.
	Landscape Overflow Drain
	Trench Drain Aco K100 Trench Drain, Load Class 'A'
	Culvert 300mm dia, pipe c/w headwall
	Root Barrier



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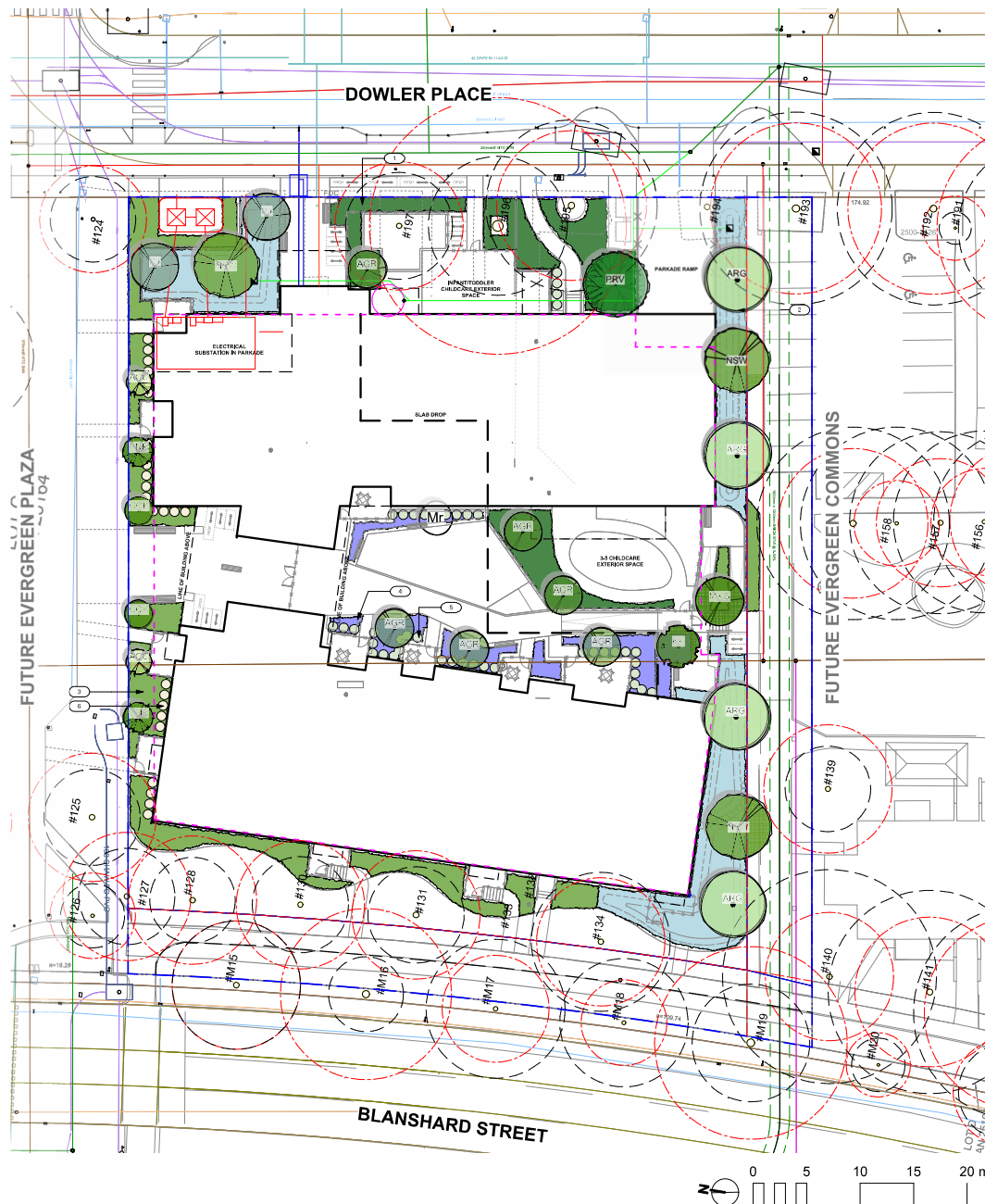
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**Landscape Grading  
 & Drainage**

project no.	124.10
scale	1:200 @ 24"x36"
drawn by	KR/JD
checked by	SM/JD
sheet no.	

**L2.01**





## RAIN GARDEN



PLANT LIST									
Sym	Qty	Botanical Name	Common Name	Schd.	Size / Plant / Spacing	N/PE			
<b>TREES:</b>									
ACC	2	<i>Acacia crotolaria</i>	Yellow Maple	m	medium, 1.5 m h, b&b				N
AGR	6	<i>Acer glabrum</i>	Paperbark Maple	m	4.0m c&b, b&b				
AGC	4	<i>Acer saccharum</i> Autumn Glory	Autumn Glory Maple	m	6.0m c&b, b&b				
CJ	2	<i>Conocarpus japonicus</i>	Kanazawa Tree	m	5.0m c&b, b&b				
CNP	2	<i>Chamaecyparis nortoniensis</i> 'Pendula'	Nortonia Fairy Cypress	m	2.5m h, b&b				N
COK	2	<i>Cornus kousa</i> 'Milly Way'	Milly Way Kousa Dogwood	m	medium, 1.5 m h, b&b				P
CP	1	<i>Quercus prinus</i> var. <i>princetana</i>	Pinkish Quercus	m	1.5 m h, b&b				
MXG	1	<i>Magdalenia 'Galaxy'</i>	Galaxy Magdalenia	m	medium, 1.5 m h, b&b				
NEW	3	<i>Nyssa sylvatica</i> 'Whiffle'	Whiffle Nyssa	m	5.0m c&b, b&b				
PRV	1	<i>Parsonsia cuneata</i> 'Ruby Vase'	Ruby Vase Parsons Ironwood	m	5.0m c&b, b&b				
<b>SHRUBS/PERENNIALS/CLIMBERS:</b>									
ACC	74	<i>Acacia saligna</i> 'Covillea'	Kowakia	m	1st pot				N/P
AT	446	<i>Abutilon</i> 'laetevirens' var. <i>cydonicum</i>	Northwestern Lark Fern	m	1st pot				
CH	26	<i>Choysya ternata</i>	Mexican Orange	m	1st pot				
Epr	443	<i>Euphorbia</i> 'rubra' var. <i>cydonicum</i>	Scarlet	m	1st pot				
GL	220	<i>Galium aparine</i>	Galium	m	1st pot				N/P
LA	74	<i>Leucadendron angustifolium</i> 'Victoria'	Hicksville English Lavender	m	1st pot				
LI	14	<i>Limonium</i> 'mexicanum'	Blue Sea Purslane	m	1st pot				
ML	31	<i>Lonicera japonica</i>	Privet Honeycreeper	m	2nd pot				
M	1	<i>Magdalenia saligna</i> 'Royal Star'	Royal Star Magdalenia	m	1.2m b&b				
MS	4	<i>Mentha aquatica</i>	Orange Mint	m	42nd pot				
OC	443	<i>Oxalis</i> 'orange'	Rainbow Sweet	m	1st pot				
Pr	189	<i>Persea grandis</i> 'rubra'	Scarlet Fern	m	1st pot				
Rt	5	<i>Rhododendron</i> 'Sirois Lady'	Sirois Lady Rhododendron	m	42nd pot				
Rt	7	<i>Ribes sanguineum</i>	Red Flowing Currant	m	43rd pot				N/P
Rd	42	<i>Taxus baccata</i> 'Repandens'	English Weeping Yew	m	1st pot				
VO	31	<i>Vaccinium vitis-idaea</i> 'Thunderbolt'	Orange Huckleberry	m	43rd pot				
<b>RAIN GARDEN PLANTS:</b>									
Art	156	<i>Antennaria biennis</i>	Prosser's Tall Groundsels	m	1st pot				N
CS	156	<i>Centaurea</i>	Slough Bedstraw	m	1st pot				
Cam	37	<i>Campanula trachelium</i> 'Mistralite Fire'	Mistralite Fire Dogwood	m	1st pot				
Can	20	<i>Coronilla sericea</i>	Slough Dogwood	m	1st pot				
AG	372	<i>Juniperus communis</i> 'Green's Grey'	Soft Common Rush	m	1st pot				
LI	17	<i>Lonicera japonica</i>	Privet Honeycreeper	m	42nd pot				
ML	11	<i>Ribes sanguineum</i>	Red Flowing Currant	m	43rd pot				N/P

- ① Low Native Planting Along Downerwood Frontage & 3-5 Childcare Space: Sword Fern, Lady Fern, Sorel, Bawlewort, Salal
- ② Rain Garden: Slough Sedge, Red-twig Dogwood, Red Flowering Currant, Sol Common Rush, Midwinter Fire Dogwood, Phacelia's Tall Grass, Honeysuckle
- ③ Shade Tolerant Native Planting Along Blamshard & Future Plaza: Salal, Oregon Grape, Red Flowering Currant, Sword Fern, Lady Fern
- ④ Courtyard Planting: Kinnikinnick, Oregon Grape, Salal, Honeysuckle, Lily Turf, Huckleberry, Rhododendron, Lavender
- ⑤ Hedging for Courtyard Patios: Yew spp.
- ⑥ Hedging for North Patios Along Future Plaza: Choisya spp.

 <p><b>MDI LANDSCAPE ARCHITECTS</b></p> <p>2288A Lakeside Ave. W. Unit 101 Victoria BC V8Z 1P1      Tel: 250-612-0851 E: mendi@mdilandscape.ca</p>		
5	Issued for DDP	2025-07-08
4	DD Progress Set	2025-06-06
3	BP 50% Review	2025-05-07
2	BC Hydro Review	2025-03-27
1	DDP Progress Set	2025-02-28
No.	Issued For	Issue Date
		
<b>client</b>		
<b>BC Housing/CMHA</b> 201-3440 Douglas St Victoria, BC		
<b>project</b>		
<b>EVERGREEN DA-D (PHASE 1)</b> Victoria, BC		
<b>sheet title</b>		
<h1 style="margin: 0;">Planting</h1>		
<b>project no.</b>		124.10
<b>scale:</b>		1: 200 @ 24"x36"
<b>drawn by</b>		KR/JD
<b>checked by</b>		SM/OJ
<b>sheet no.</b>		L3.01

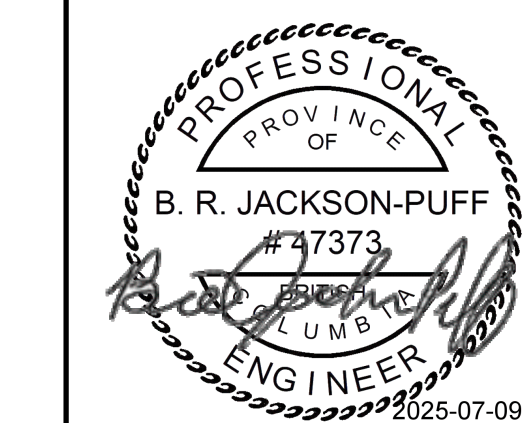


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B. R. JACKSON-PUFF  
#47373  
ENGINEER  
2025-07-09

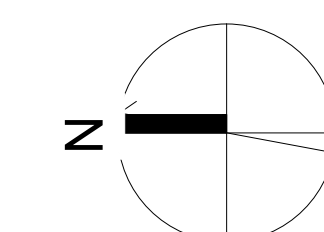
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B	ISSUED FOR DDP	2025/07/08
A	50% DESIGN DEV.	2025/06/09
rev no	description	date

Victoria, BC

sheet title  
**Site Servicing Plan**

project no.	CA0036198.523
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scale	1:250
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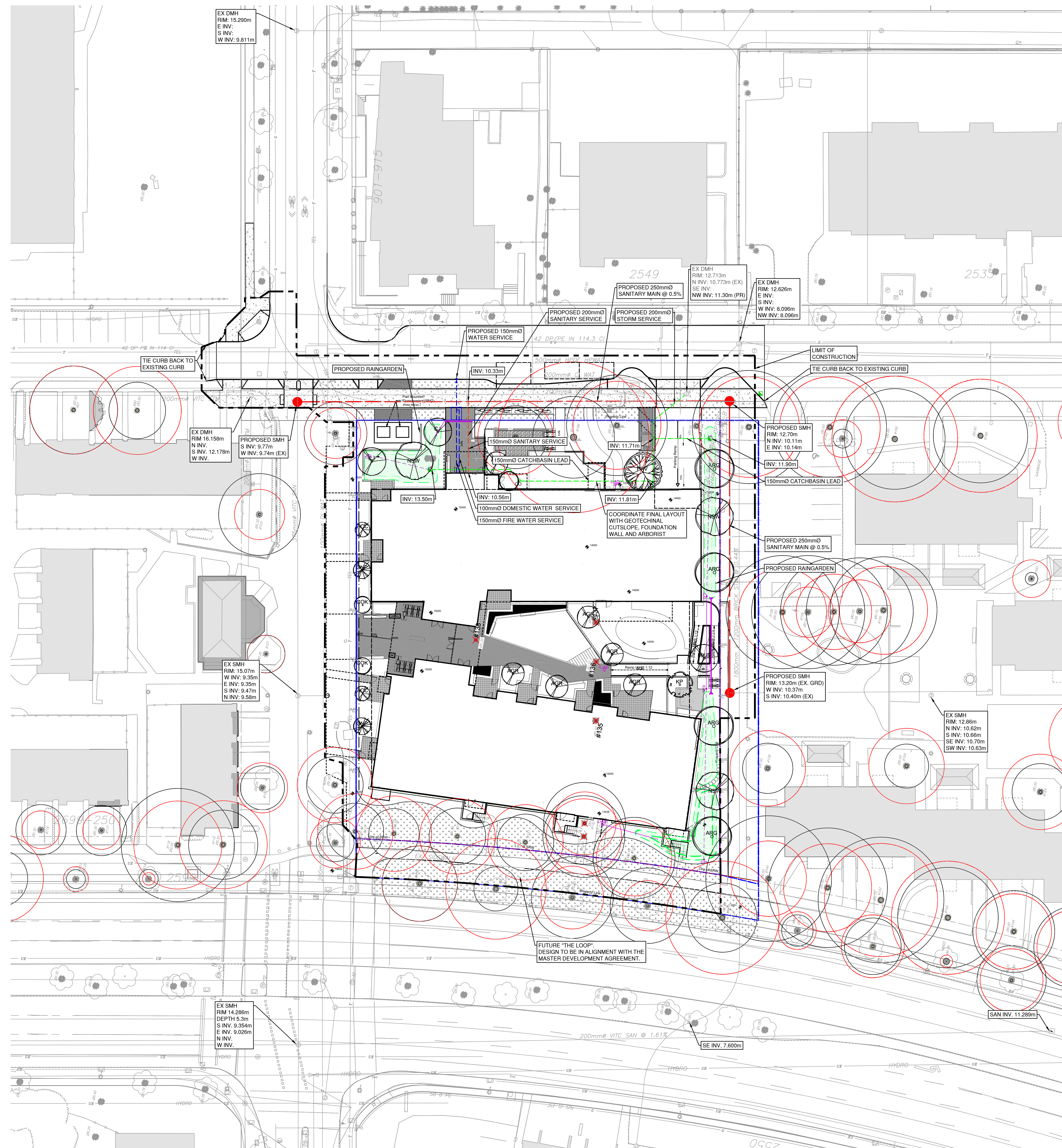
drawn by	SG/BJP
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date issued	sheet no.
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2025/07/04	C1.1
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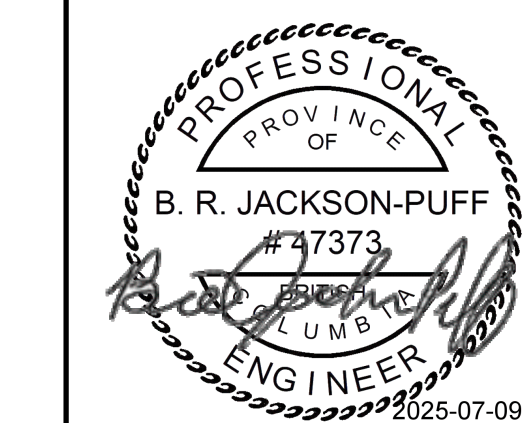


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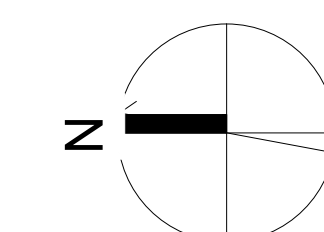




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rev no	description	date

Victoria, BC

sheet title  
**Surface Works**

project no.	CA0036198.523
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scale	1:250
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drawn by	SG/BJP
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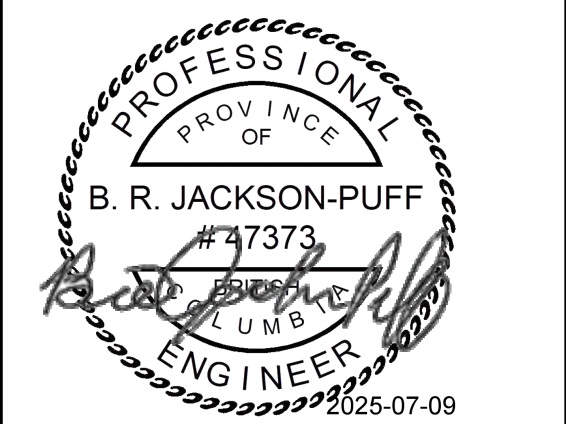
date issued	sheet no.
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2025/07/04	C1.2
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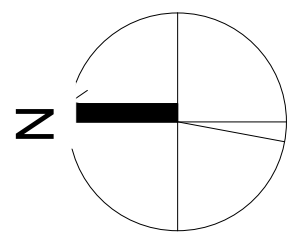
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rev no	description	date

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project name  
Evergreen Phase 1

Victoria, BC

sheet title  
Intersection Detail

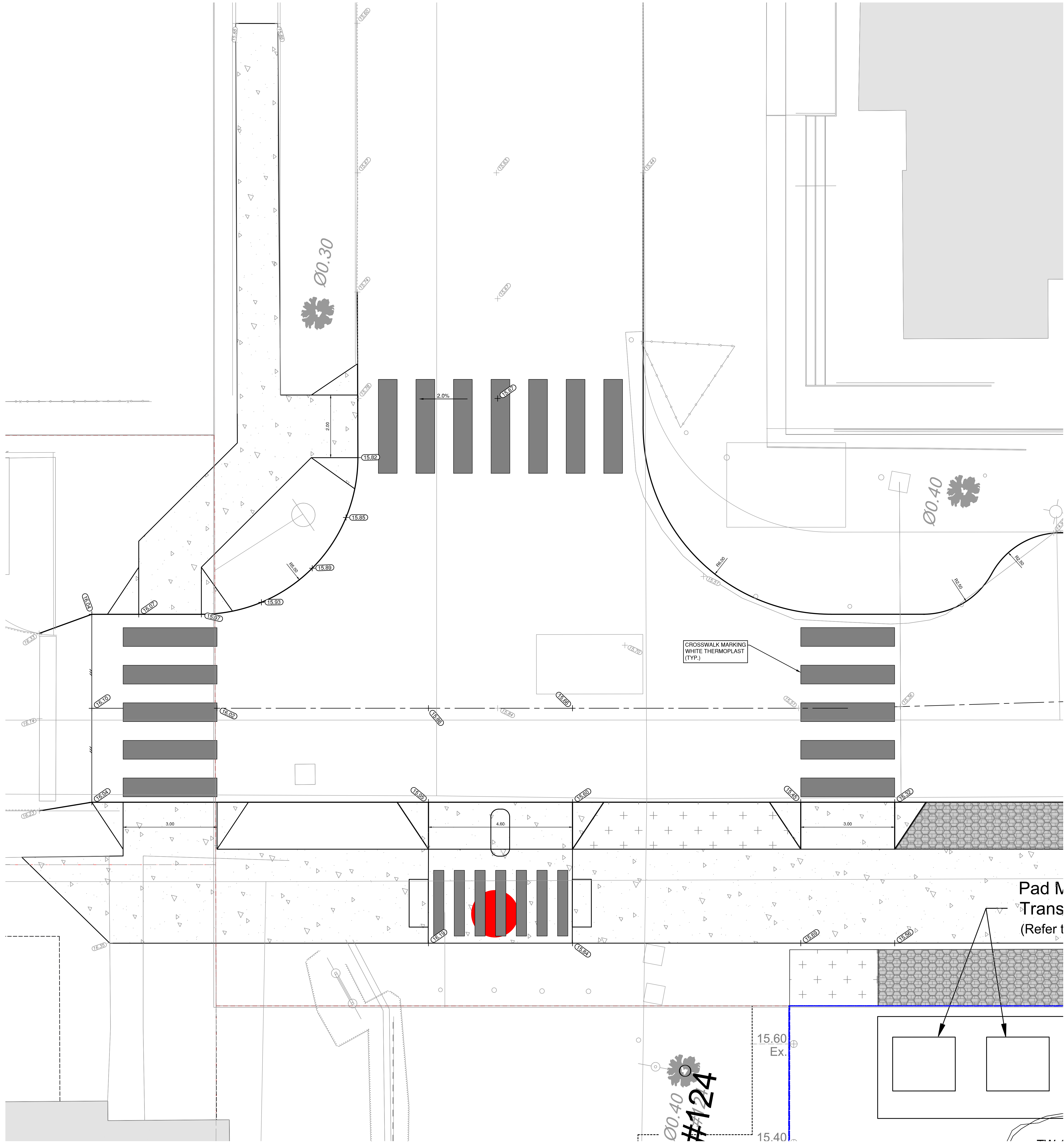
project no. CA0036198.5231

scale 1:50

drawn by SG/BJP

date issued 2025/07/4

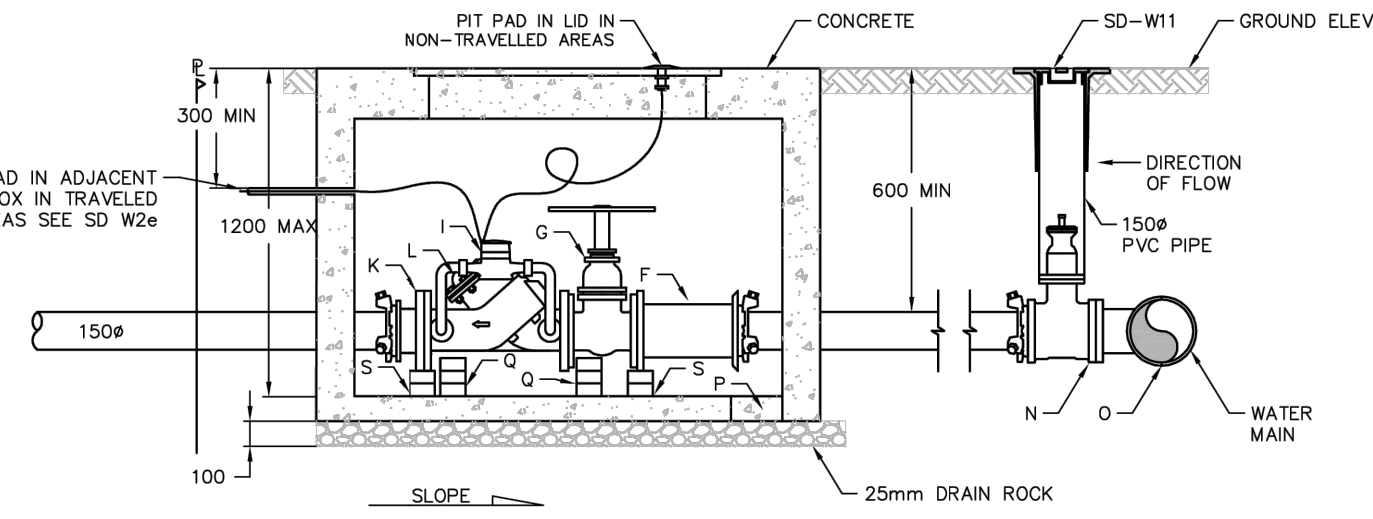
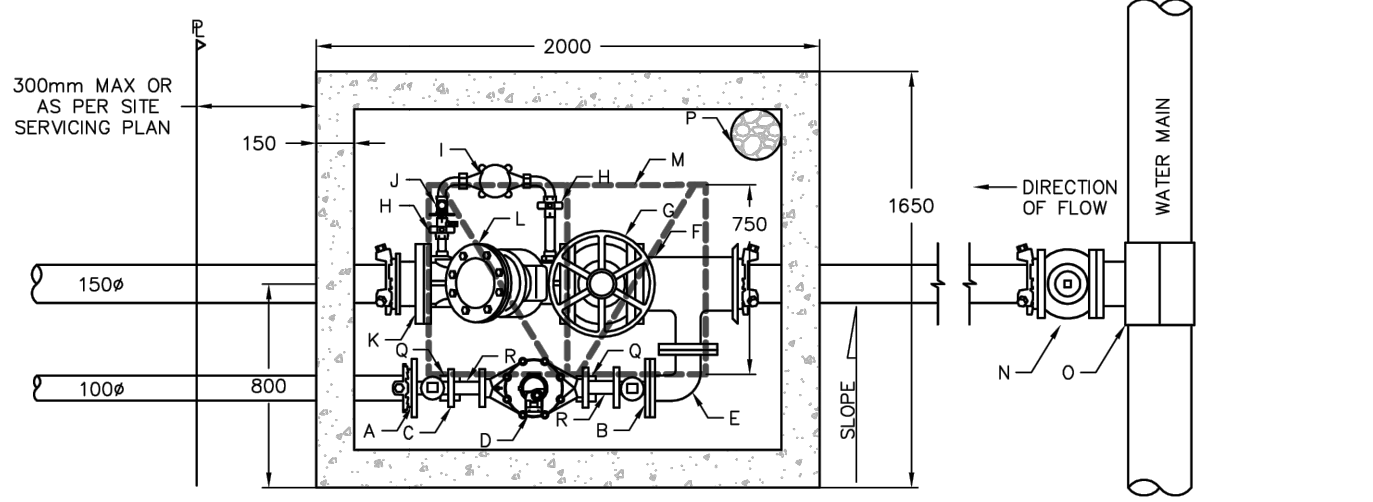
sheet no. C.1.3







SUPPLEMENTARY STANDARD  
DETAIL DRAWINGS



- A) 100 MJ X 50 FIP mm END CAP  
B) 150 FL X 50 FIP mm BLIND FLANGE  
C) 50mm METER SETTER C/W 2-50 mm FIP BRASS MALE ADAPTORS  
D) 50mm METER  
E) 100mm FL X FL 90° BEND  
F) 150 FL X 150 MJ X 100mm FL TEE  
G) 150mm FL X FL WHEEL GATE VALVE  
H) 15mm BALL VALVE  
I) 15mm METER  
J) 15mm CHECK VALVE  
K) 150mm ADAPTOR  
L) 150mm FL DETECTOR CHECK VALVE  
M) HATCH: ROAD-T14510607DAV, SIDEWALK-T13510607DAV  
N) 150mm VALVE  
O) 150mm SADDLE OR TEE  
P) 200mm# PVC SUMP  
Q) 3- 200 X 100 X 50mm CONCRETE BLOCKS FOR METER SETTER  
R) MIP X MIP NIPPLE  
S) 2- 200 X 100 X 50mm CONCRETE BLOCKS FOR 150mm SERVICE PIPE

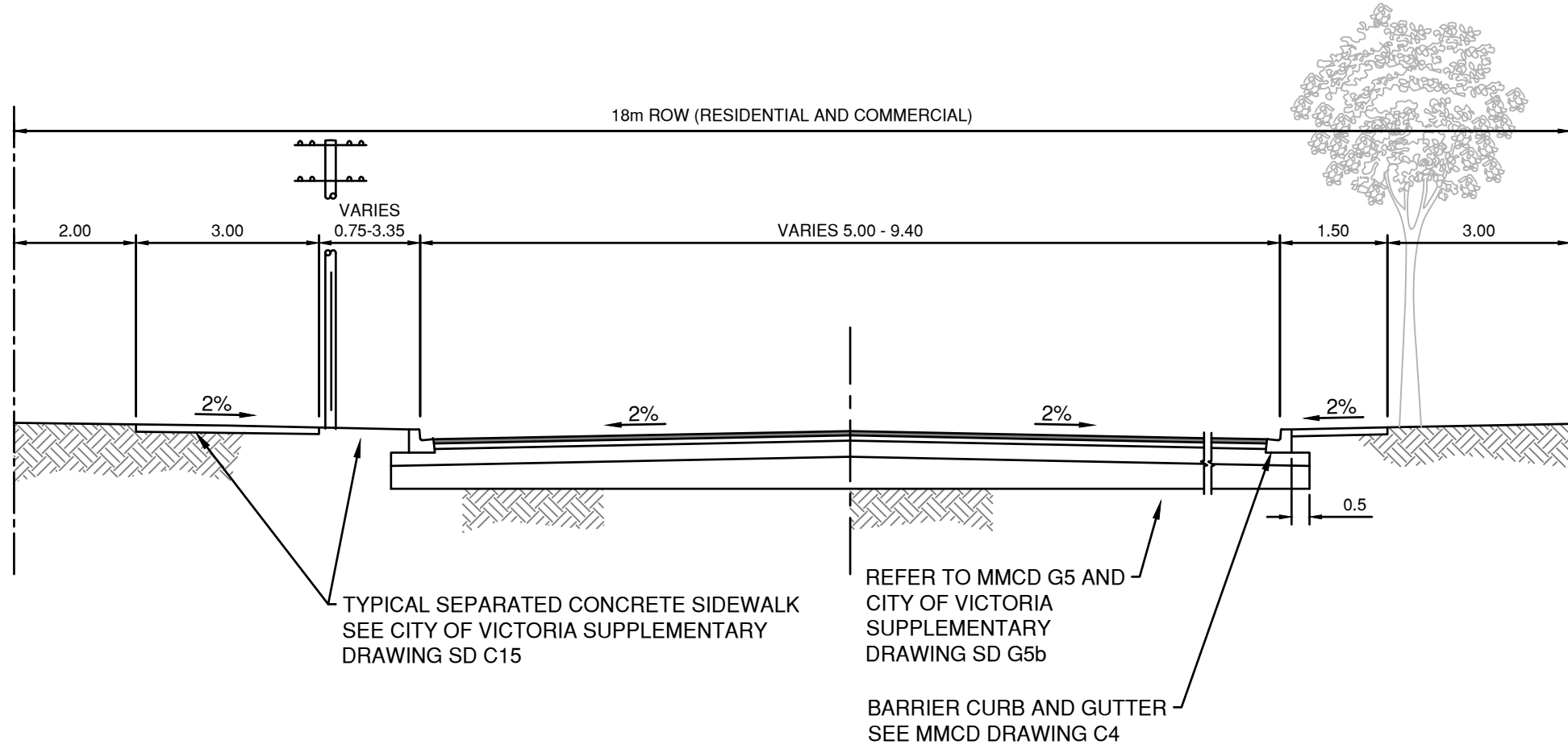
- NOTES:  
1) ALL PIPE AND FITTINGS TO BE PIPE RESTRAINED.  
2) THE OWNER SHALL CONNECT TO THE CITY PIPE AT PROPERTY LINE.  
3) FIRE SERVICE TO BE RIGHT SIDE OF DOMESTIC METER ENTERING PROPERTY AND DIMENSIONED TO CLOSEST IRON PIN

NOT TO SCALE

150mm FIRE SERVICE C/W 100mm DOMESTIC  
SERVICE AND 50mm WATER METER

REVISIONS  
DEC 2015

DRAWING NUMBER:  
SD W2f

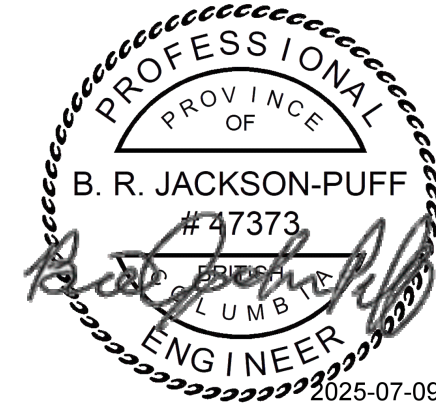


- NOTES:  
1. ALL DIMENSIONS IN METRES UNLESS NOTED OTHERWISE.  
2. OVERALL DIMENSIONS AND ROW MAY VARY AT INTERSECTIONS.  
3. PAVEMENT WIDTHS:  
• SINGLE FAMILY TO LOW DENSITY TOWNHOUSE 9m  
• HIGH DENSITY TOWNHOUSE TO LOW RISE APARTMENTS AND NEIGHBOURHOOD COMMERCIAL CENTRES 10m

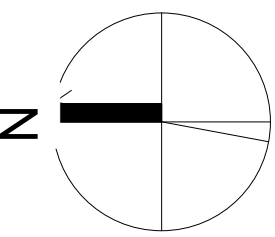
TYPICAL LOCAL STREET  
NTS



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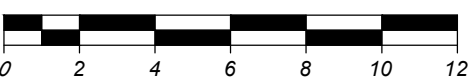
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Victoria, BC	
sheet title	Civil Details
project no.	CA0036198.5231
scale	1:50
drawn by	SG/BJP
date issued	2025/07/04
sheet no.	C1.4



SITE PLAN OF PART OF LOT C, SECTION 4,  
VICTORIA DISTRICT, PLAN 25164.

SHEET 1 OF 3

BCGS MAP SHEET 92B.044



The intended plot size of this plan is 1118mm in width by 864mm in height (D-Size) when plotted at a scale of 1:200.

All distances and elevations are in metres and decimals thereof, unless otherwise noted.

Elevations are referred to the CGVD28 Datum and are derived from Control Monument 703504 with an elevation of 15.714 metres.

Contours are at 0.2 metre intervals.

The field survey represented by this plan was completed on the 1st day of April, 2022.

The following non-financial charges are shown on the current Certificate of Title and may affect the property:

M76301 - Undersurface Rights  
1726150 - Right of Way  
153308 - Right of Way  
A15213 - Right of Way  
CA7215456 - Statutory Right of Way  
CA7215457 - Statutory Right of Way  
CA7215458 - Covenant

LEGEND

- denotes Catch Basin
- denotes Hydrant
- denotes Manhole - Sanitary
- denotes Sign Post
- denotes Lamp Post
- denotes Traffic Post
- denotes Building Corner Elevation
- denotes Sill Elevation
- denotes Tree - Coniferous
- denotes Tree - Deciduous
- denotes Tree Tag Number
- denotes Utility Pole
- denotes Structure
- denotes Right of Way
- denotes Eaves
- denotes Roof
- denotes Fence
- denotes Bushline
- denotes Dripline
- denotes Curb
- denotes Gutter
- denotes Retaining Wall
- denotes Edge of Concrete
- denotes Edge of Gravel



This site plan is Certified Correct in accordance with the Practice of Land Surveying as of the 1st day of April, 2022.

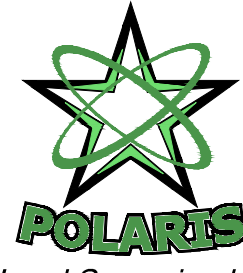
Jordan Elliot Little, B.C.L.S. 905  
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Toll Free: (877) 553 7358  
Telephone: (250) 412 3513  
info@plsi.ca  
www.plsi.ca



Date: 2024-07-19  
File: 3000-01  
Drawing: 3000-01-TOPD 20240719.dwg  
Layout: E-Size (1)



SITE PLAN OF PART OF LOT C, SECTION 4,  
VICTORIA DISTRICT, PLAN 25164.  
SHEET 2 OF 3  
BCGS MAP SHEET 92B.044

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Elevations are referred to the CGVD28 Datum and are derived from Control Monument 703504 with an elevation of 15.714 metres.

Contours are at 0.2 metre intervals.

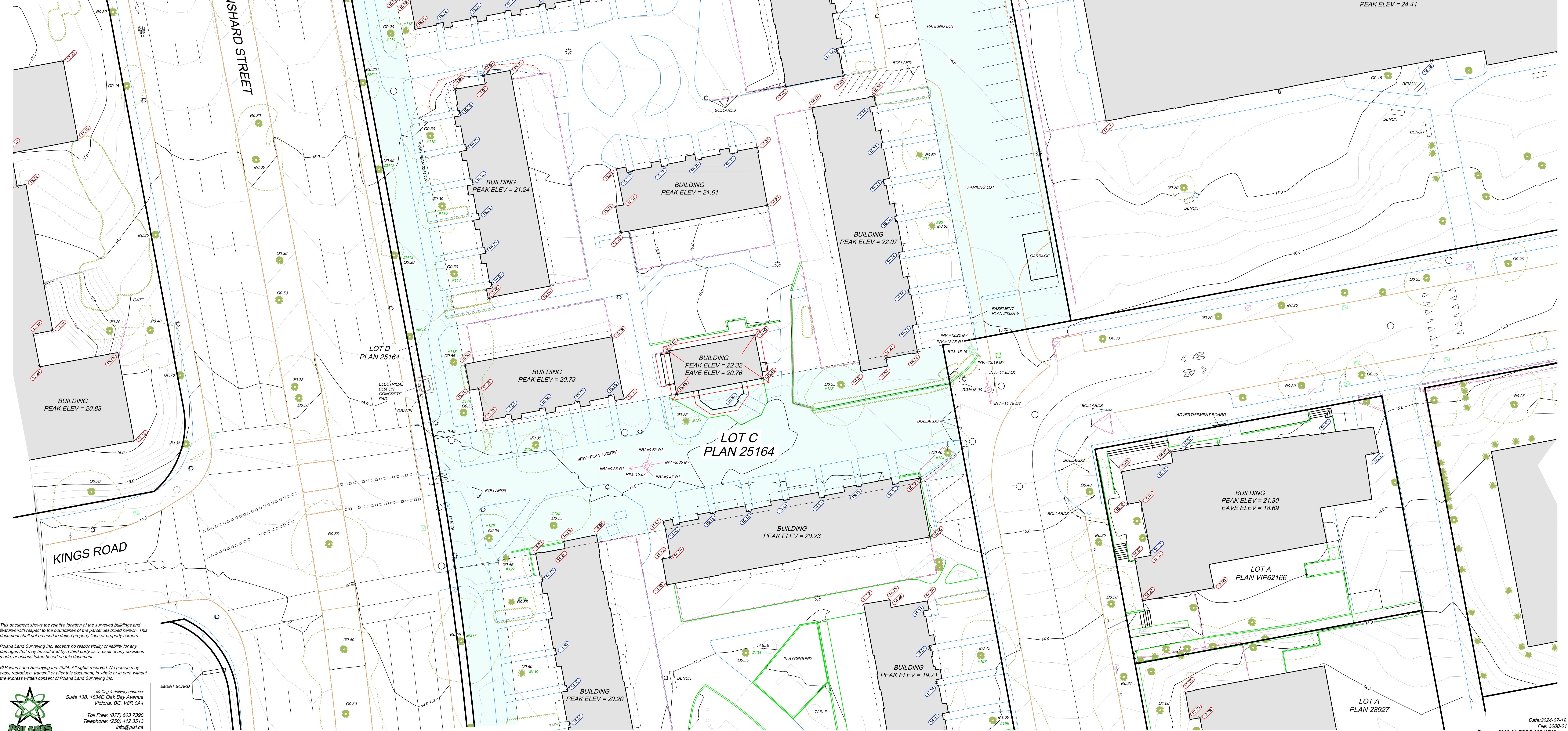
The field survey represented by this plan was completed on the 1st day of April, 2022.

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A15213 - Right of Way  
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SITE PLAN OF PART OF LOT C, SECTION 4,  
VICTORIA DISTRICT, PLAN 25164.  
SHEET 3 OF 3  
BCGS MAP SHEET 92B.044

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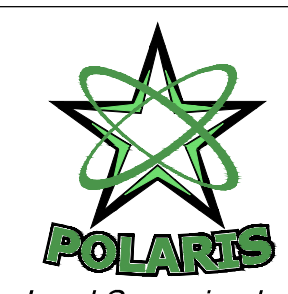


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File: 3000-01  
Drawing: 3000-01-TOPD 20240719.dwg  
Layout: E-Size (3)