



Richmond Rd Perspective View

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RESUBMISSION FOR REZONING & DEVELOPMENT PERMIT

2025-09-26

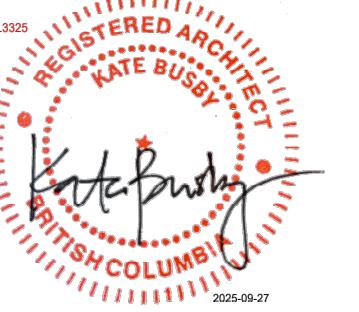
PROJECT ADDRESS

2612, 2616, 2620, 2628 Richmond Rd
Victoria, BC

DRAWING LIST

ARCHITECTURAL

- A-000000 Cover Page
- A-000001 Project Data & Site Plan
- A-000002 Perspective Views
- A-000004 Perspective Views
- A-000005 Legal Survey
- A-011000 Level P1
- A-011010 Level 01 Plan
- A-011011 Level Mezz Plan
- A-011020 Level 02 Plan
- A-011030 Level 03 Plan
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- A-011111 Zoning Calculations
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- A-012001 Section 01
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- A-013001 Elevation (N)
- A-013002 Elevation (S)
- A-013003 Elevation (E)
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- A-014010 Shadow Study
- A-014011 Spatial Setback



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Revisions

Bubbled areas indicate revisions
compared to the previously
submitted plans

Received Date
October 16, 2025



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P03

2612 - 2628 Richmond Road, Victoria

Cover Page

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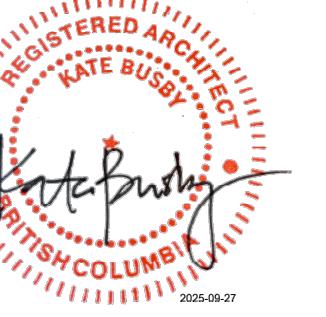
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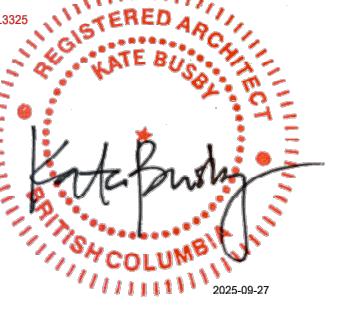
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Richmond Rd Perspective View

Textured Finish
Fibre Cement PanelsSmooth Finish
GFRC PanelsAccent Colour
Railings, windows and doors

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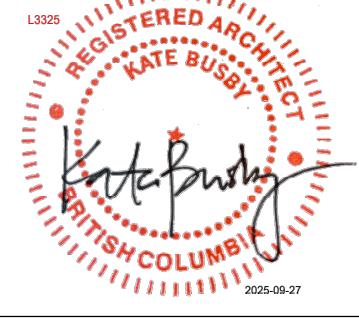


Carrick St View



Carrick St Elevation

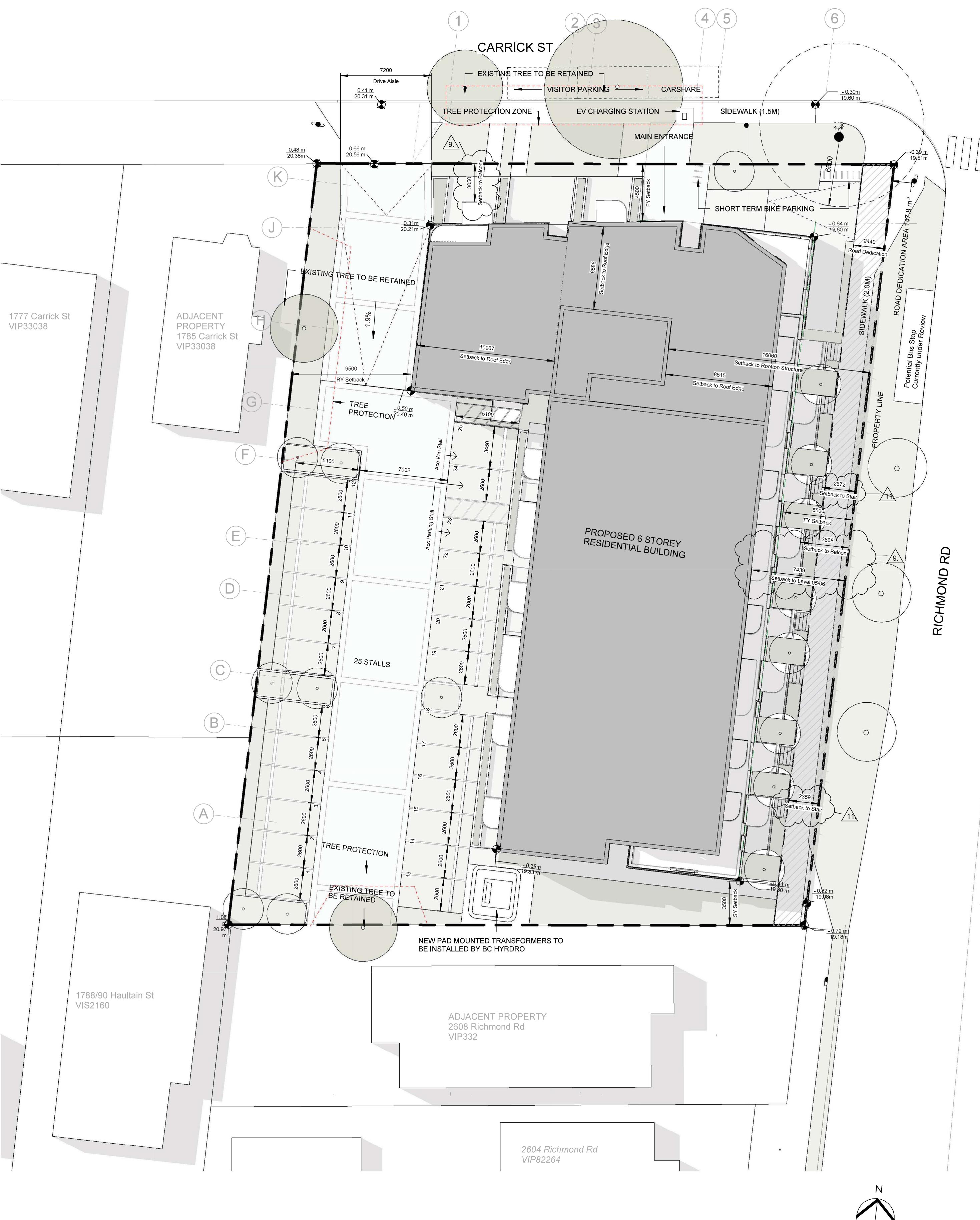
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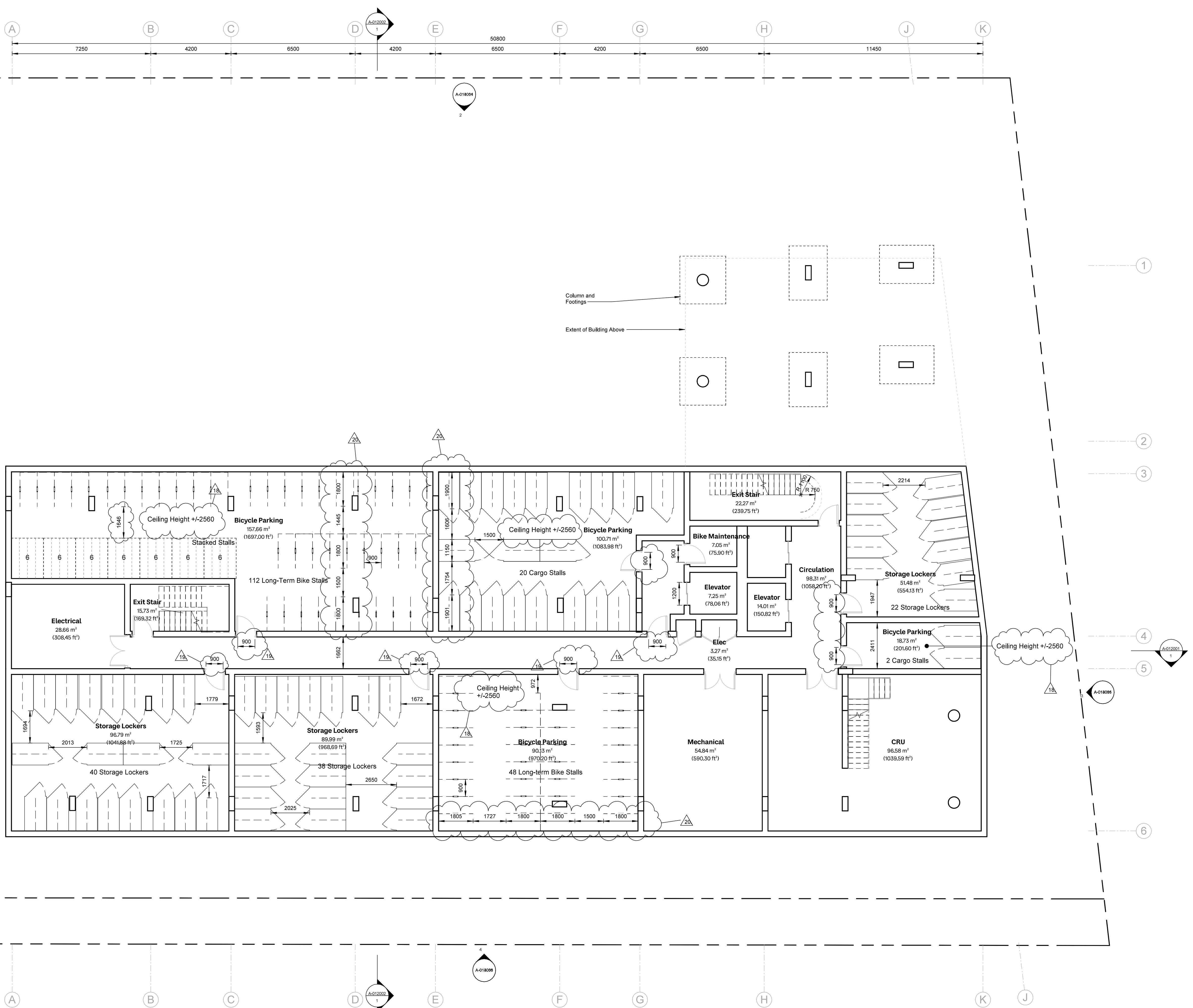
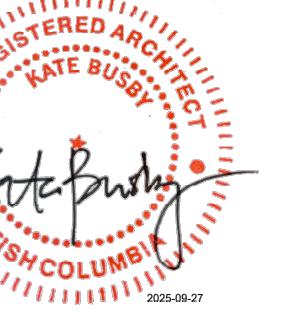
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PROJECT INFORMATION TABLE

Current Use	SFD/DUPLEX/OFFICES						
Proposed Use	Rental Housing						
Proposed Scope of Work	100 Units - Purpose Built Mixed-Use Rental Housing						
Proposed	Zone Standard						
Yes	Yes - Corner Lot						
Minimum one criteria must apply if first storey non-residential use proposed	>50.00						
Floor Area Occupied by Dwelling Units (%)	1						
Number of buildings	34						
Dwelling unit size (m ²)(min.)	6						
3-bedroom units (%)(min.)	20						
2-bedroom units (%)(min.)	440 mm						
Operable bedroom window (min. size)							
Site Planning							
Zone (existing)	C1-CR Commercial-Residential District						
Lot area	R1-B Single Family Site Dwelling District						
Lot area + road dedication	2603 m ²						
Street Frontage	2750 m ²						
Gross floor area (m ²)	45.72						
Floor space ratio	6388.98 m ²						
Open lot space (%) pre road dedication	2.4						
Soft Landscaping	75%						
Hard Landscaping	66.50%						
Lot Coverage (%) post road dedication	33.00%						
Landscape Area (%) post road dedication (184 m ²)	48%						
Landscape Area (%) pre road dedication (216 m ²)	7%						
Above and below ground structures	8%						
	n/a						
Building Data							
Average grade (m)	19.7						
Height (m)	20.2						
Number of storeys	6						
Balcony Projection	1.8 m	2.0 m					
Underground Parkade Projection	n/a						
Setback to residential unit stiars	2.35 m, 2.65 m	4.0 m					
Building Setbacks							
Front Yard (Carrick)	4.5 m	4.0 m					
Front Yard (Richmond)	5.5 m	4.0 m					
Rear Yard	9.5 m	8.0m or 25% of Lot Depth					
Side Yard (not a primary façade)	3.5m	ii. 9.0m to a Primary Façade above 4 Storeys iv. 3.0m to all other facades above 4 Storeys					
Residential Use details							
Total number of units	100						
Unit Types	Studio, 1B, 1B+Den, 2B, 3B						
Ground-oriented units	16						
Minimum unit floor area (m ²)	34 m ²						
Rooftop Structure							
Total residential floor area	5391.58 m ²						
Projection (into height)							
Parapets	0.8m	1					
Rooftop Structure	3.5m	5					
Roof area coverage (%)(max)	5.46%	3					
Setback from edge (m)(min)	10.97m, 8.16m, 8.54m, 36.4m	3					
Vehicle Parking (min.)							
Residency	26						
Parking Total	0						
Commercial	20						
Residential	1						
Accessible - standard visitor	1						
Accessible - van visitor	1						
Height clearance	n/a						
Drive aisle grade (%) max	0%						
Driveway grade (%)	2%						
Driveway/ parking materials	Hard Surface						
Electric charging - Residential	0.04						
Electric charging - Commercial	0						
Bicycle Parking (min.)							
Long Term Total (Secure)	140						
Location - Long Term							
Long term ceiling clearance	2560 mm						
Door entry width	900 mm						
Aisle Width	1.5 m	min 1.5 m					
Ground anchored (%) min	70%	min 50%					
Short Term (Visitor)	10						
Commercial Short Term	1						
Commercial Long Term	1						
Location - Short Term							
Horizontal Ground Mounted	Surface <15m from entrance						
Stacked	98						
Cargo	42						
	21						
UNIT MIX							
L01	L02	L03	L04	L05	L06	Total	%
Studio	7	7	7	3	3	27	27%
1B	9	1	1	2	5	23	23%
1B+Den	7	7	6	2	2	24	24%
2B	1	2	2	4	4	15	15%
2B+D	5					5	5%
3B	1	1	1	1	1	6	6%
Total	16	18	18	18	15	100	100%



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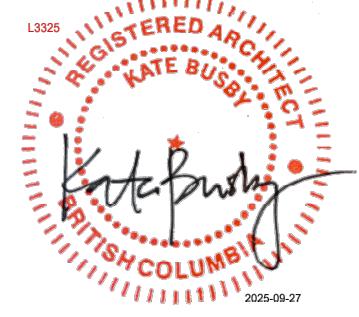


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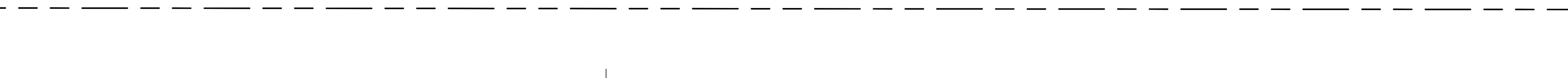
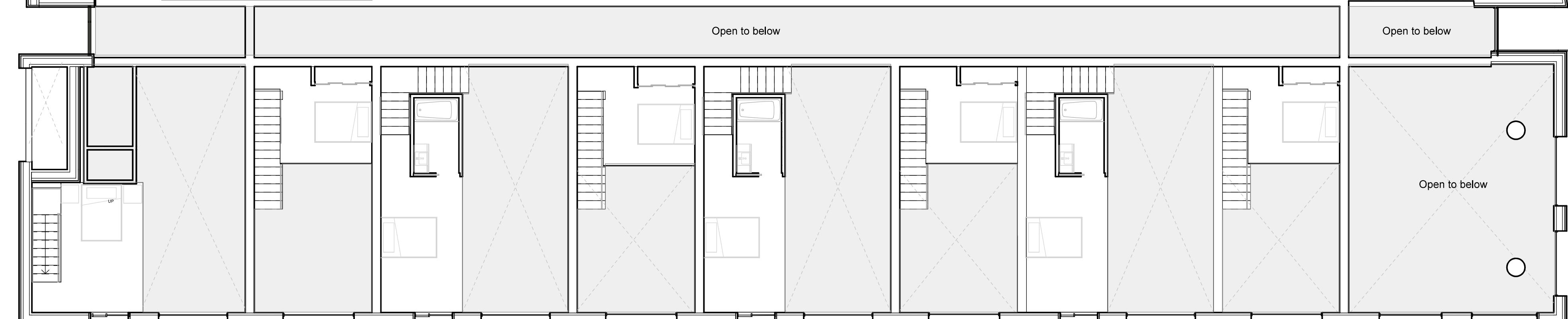
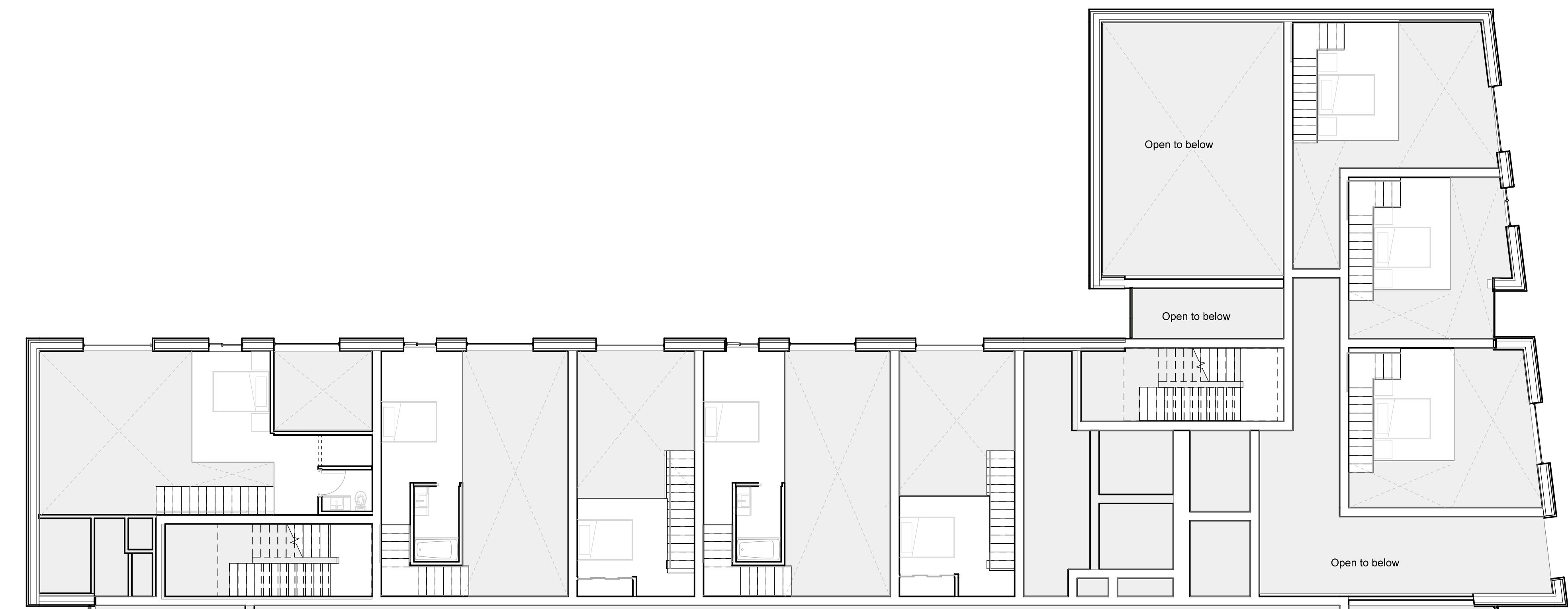
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1

Mezzanine Planning Application

1:100

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Project Name: 2612 - 2628 Richmond Road, Victoria
Drawing Name: Level Mezz Plan

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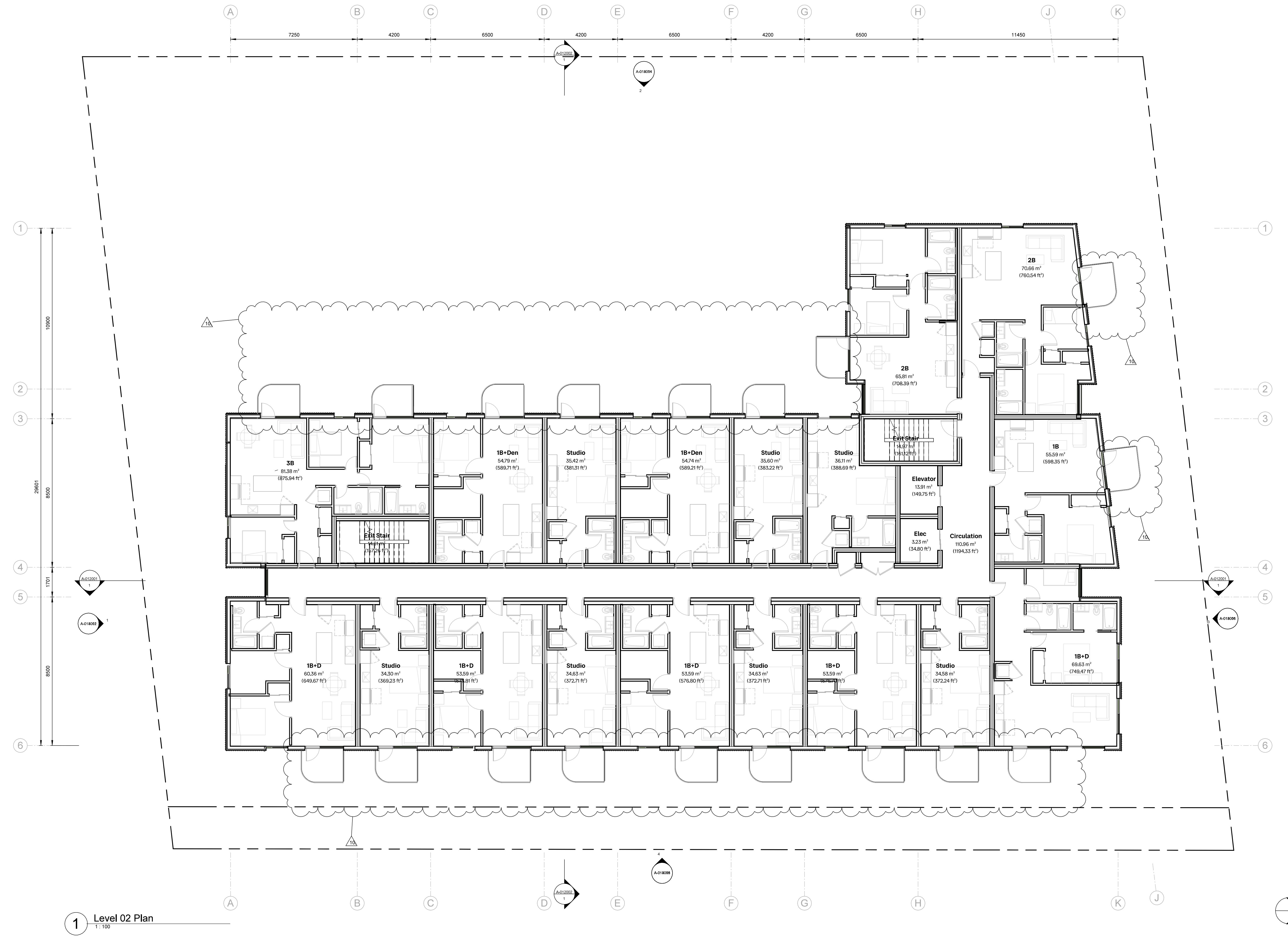
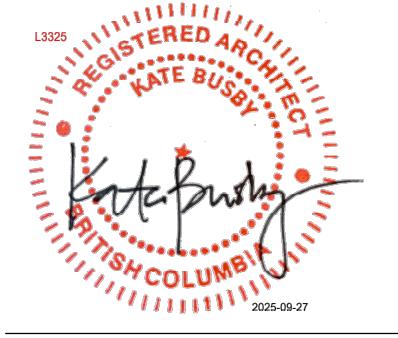
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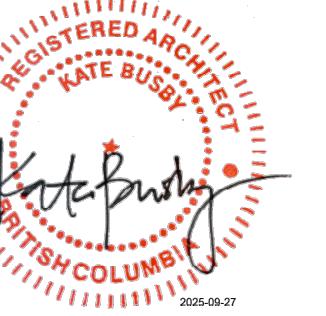


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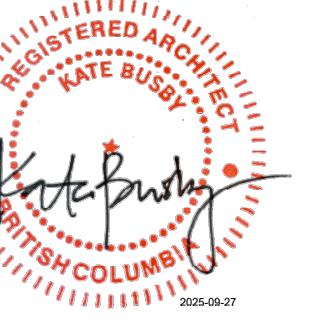
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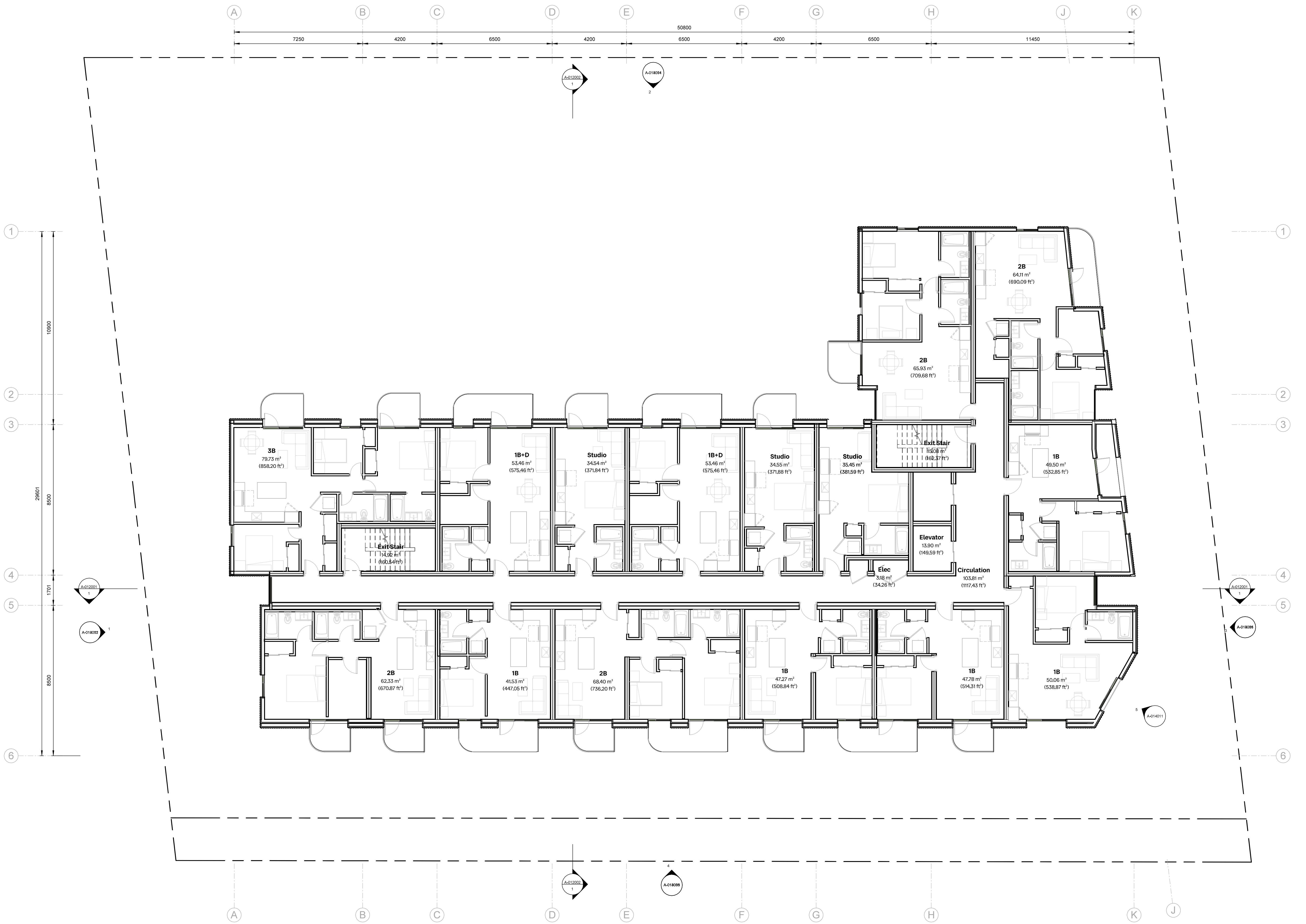
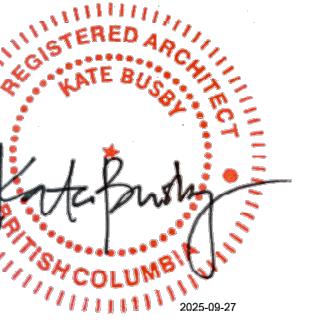
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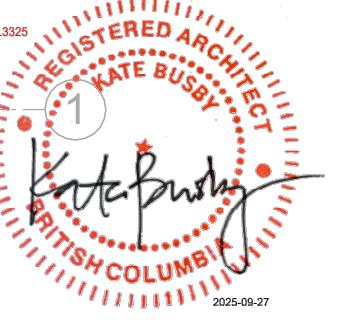
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Drawing Name:			
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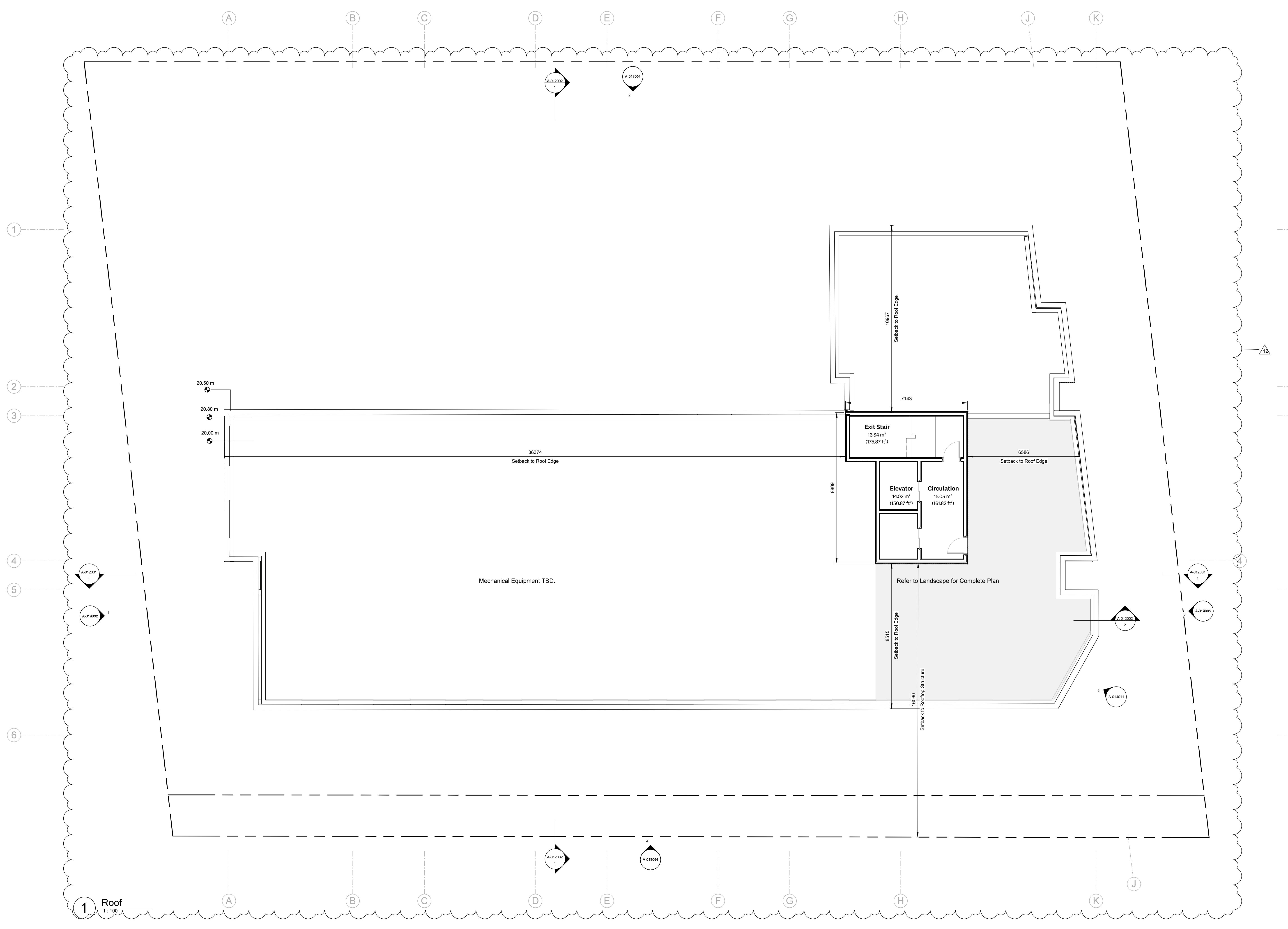
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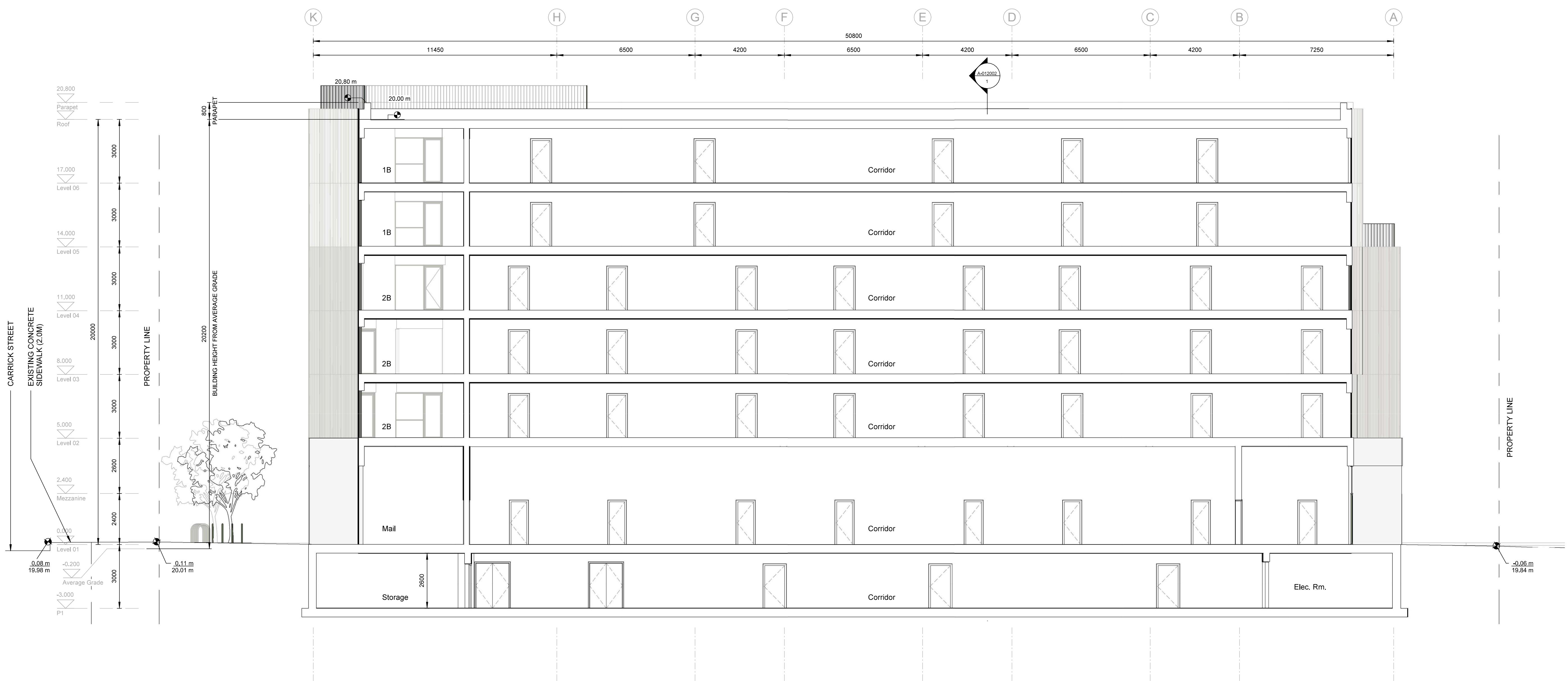


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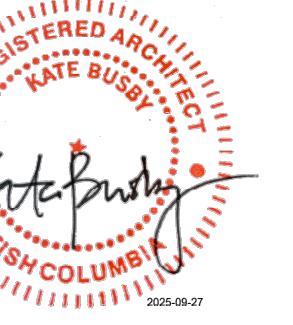


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Section 01		
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1 South Elevation 1:100

Exterior Elevation Legend

- (M01) Cast-in place Concrete
- (M02) GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- (M03a) GFRC Precast Overhead Panel, Light Beige
- (M03b) GFRC Precast Overhead Panel, Green
- (M04a) Corrugated Fibre Cement Cladding, Sand
- (M04b) Corrugated Fibre Cement Cladding, White
- (M05) Prefinished Aluminum Windows, Paint Finish
- (M06) Prefinished Metal Railings, Colour Match Windows and Doors

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Drawing No: A-013002 Rev: P03

Project Name: 2612-2628 Richmond Road, Victoria

Drawing Name: Elevation (S)

Drawing Status: Drawing

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1 East Elevation 1 : 100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

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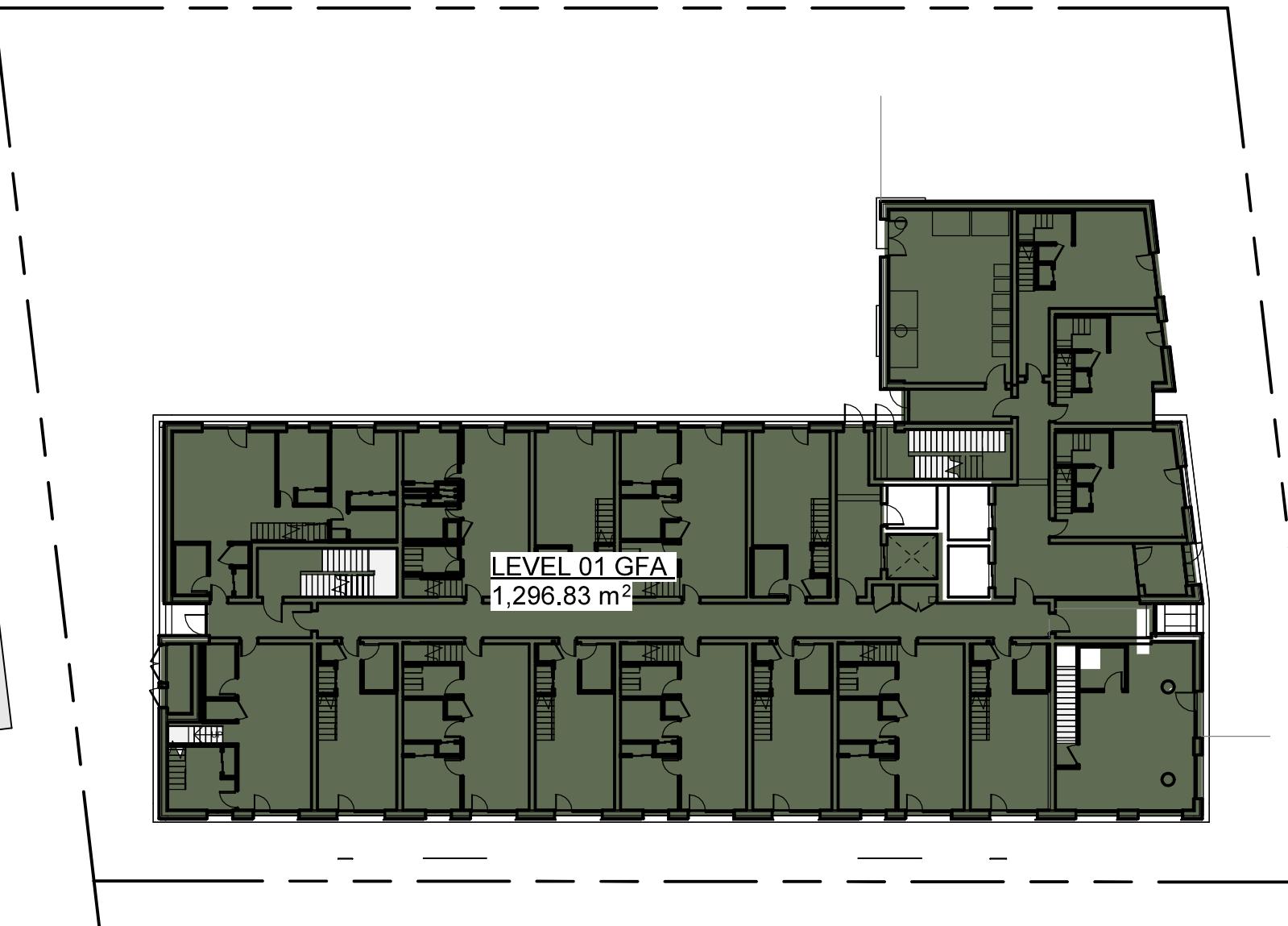
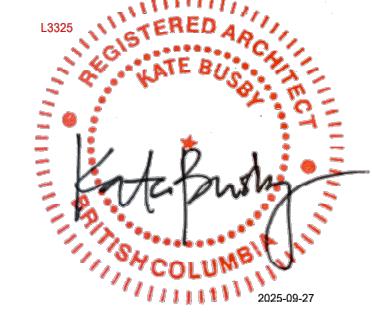


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Project Name: **A-013004**
Drawing No: **2612-2628 Richmond Road, Victoria**
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Drawing Status: **PLANNING**
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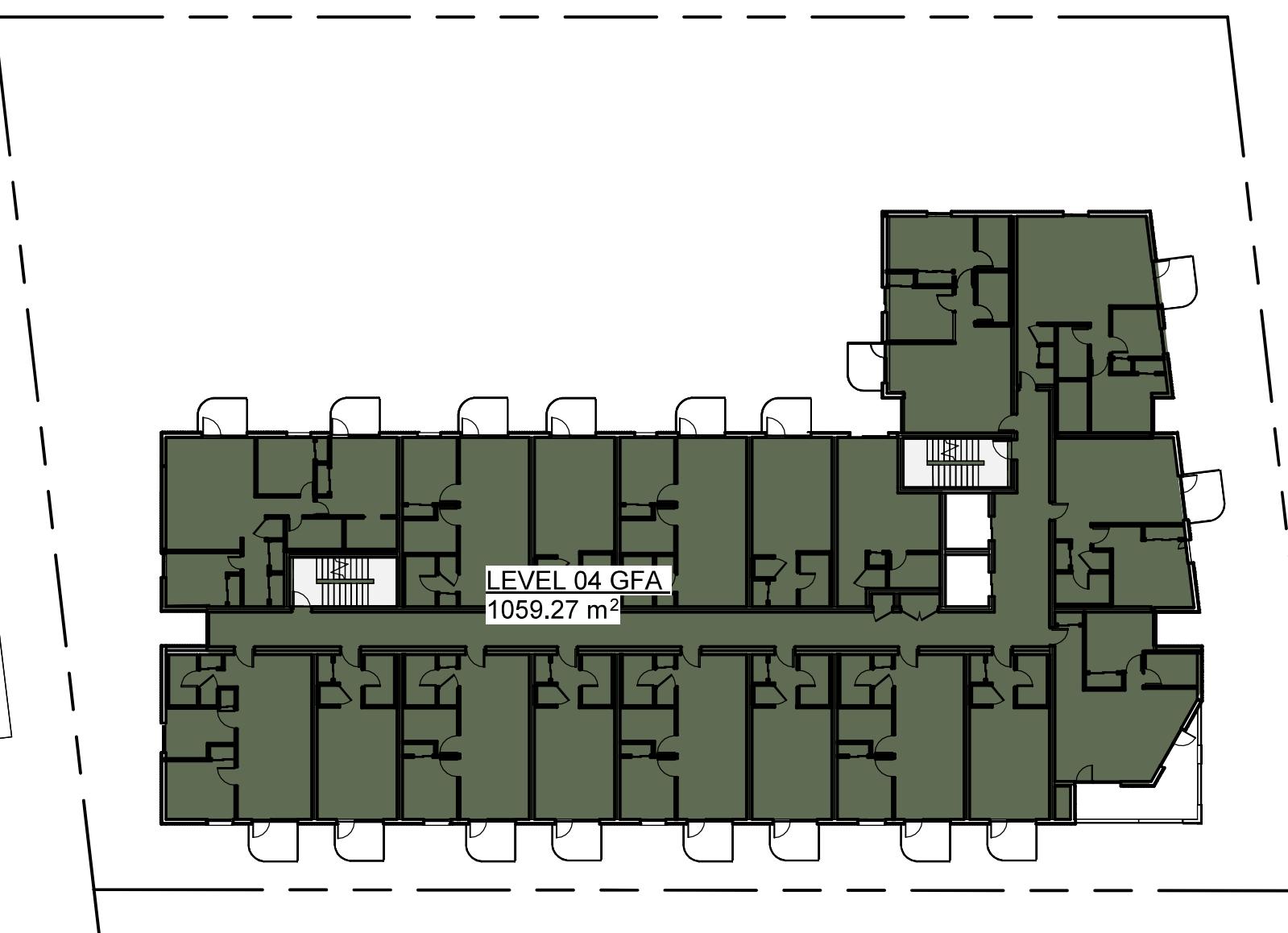


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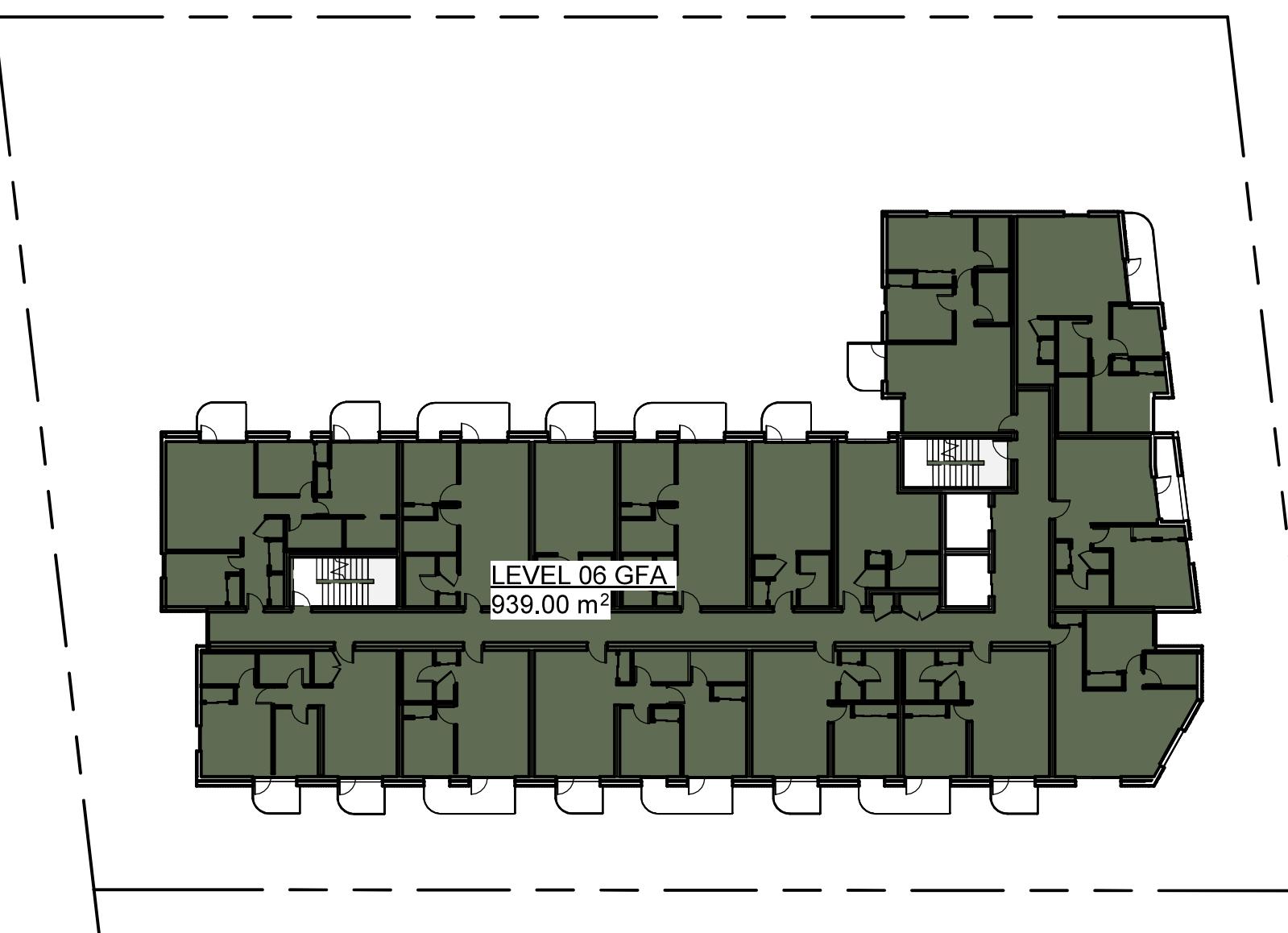
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1 : 300



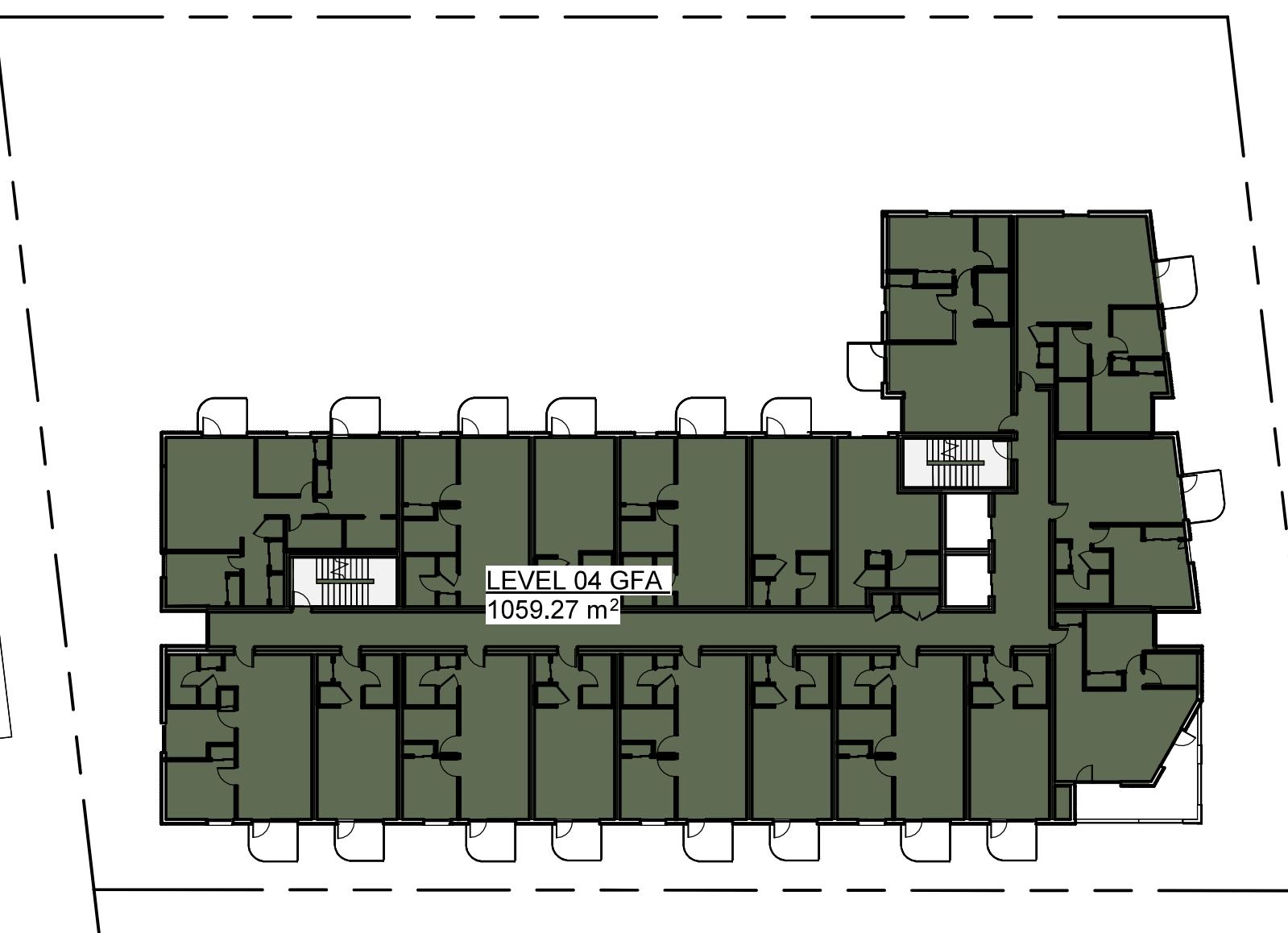
Level 04 Area Plan

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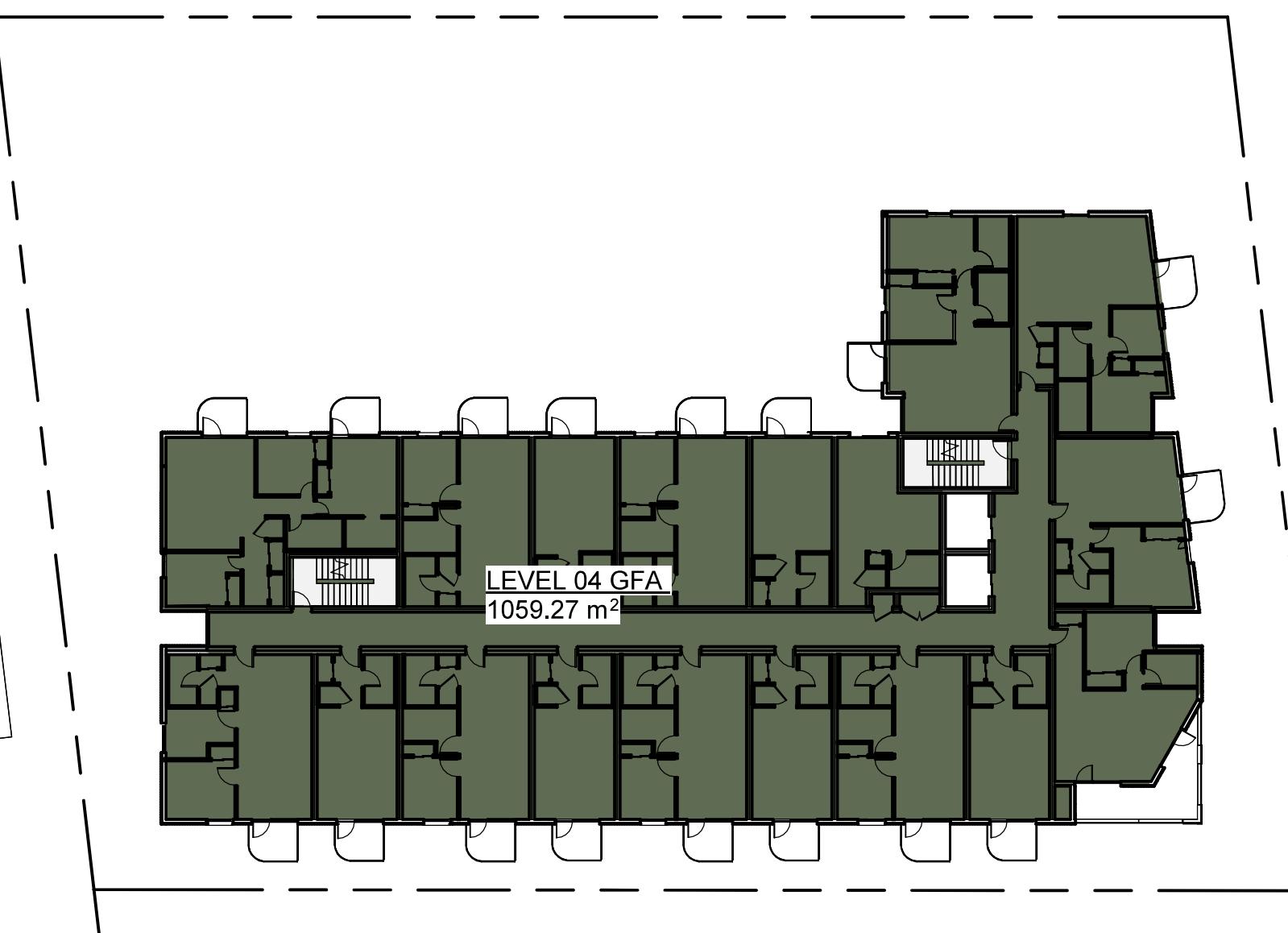
Level 06 Area Plan

1 : 300



Level 02-03 Area Plan

1 : 300



Level 05 Area Plan

1 : 300

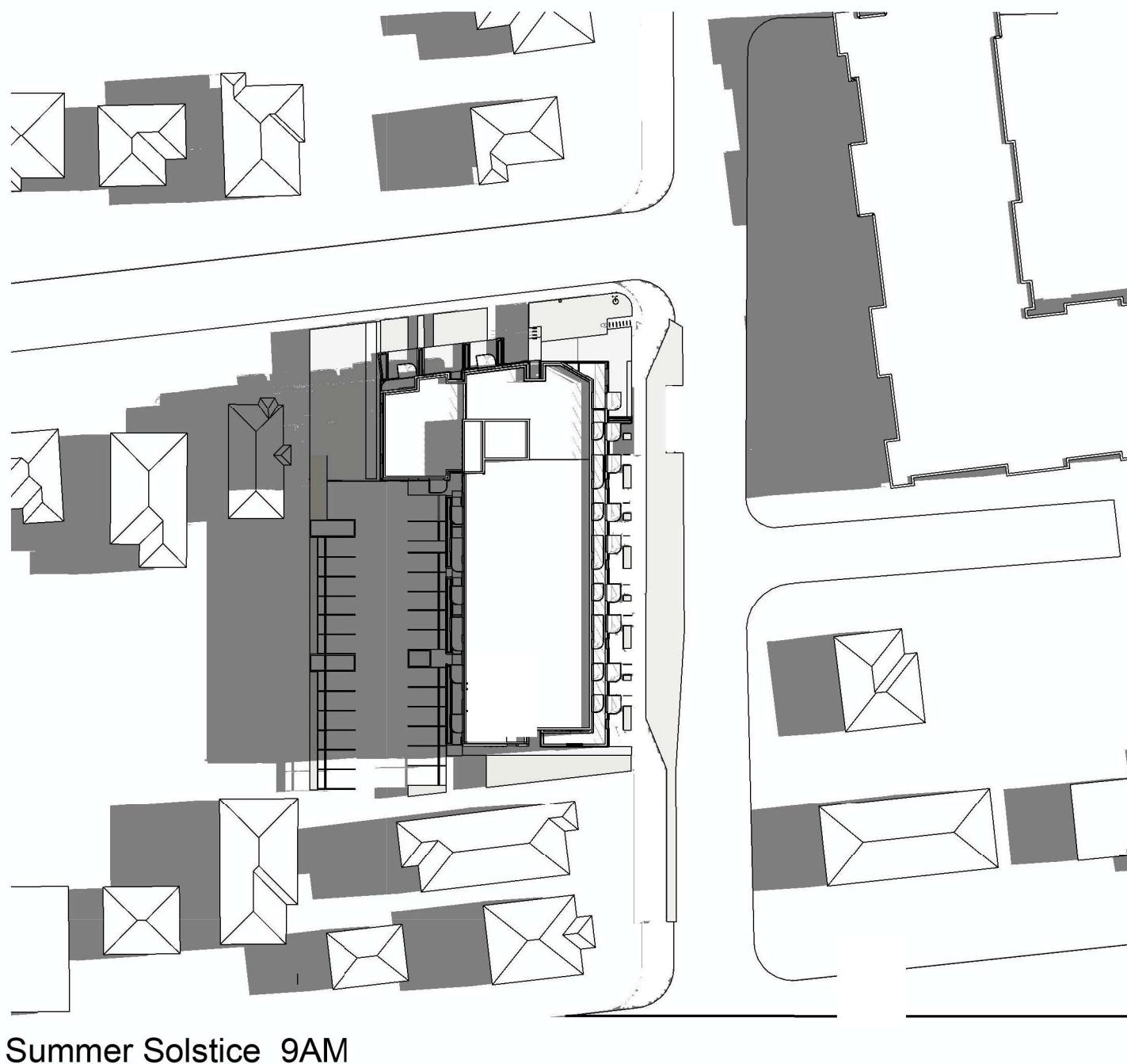
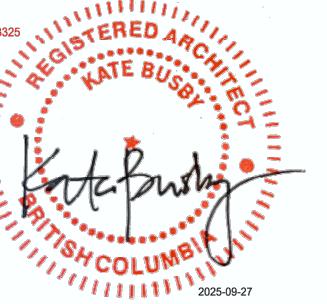
SCHEDULE OF AREAS EXCL. IN FSR

Floor Level	Area
P1	
Bike Storage	367.23 m ²
Circulation	98.31 m ²
Elevator	21.06 m ²
Exit Stair	38.00 m ²
M&E	86.76 m ²
Bike Maintenance	7.25 m ²
Storage	238.27 m ²
CRU Storage	96.58 m ²
Total	953.47 m ²
Roof	
Exit Stair	16.34 m ²
Elevator	14.02 m ²
Circulation	15.03 m ²
Total	998.86 m ²

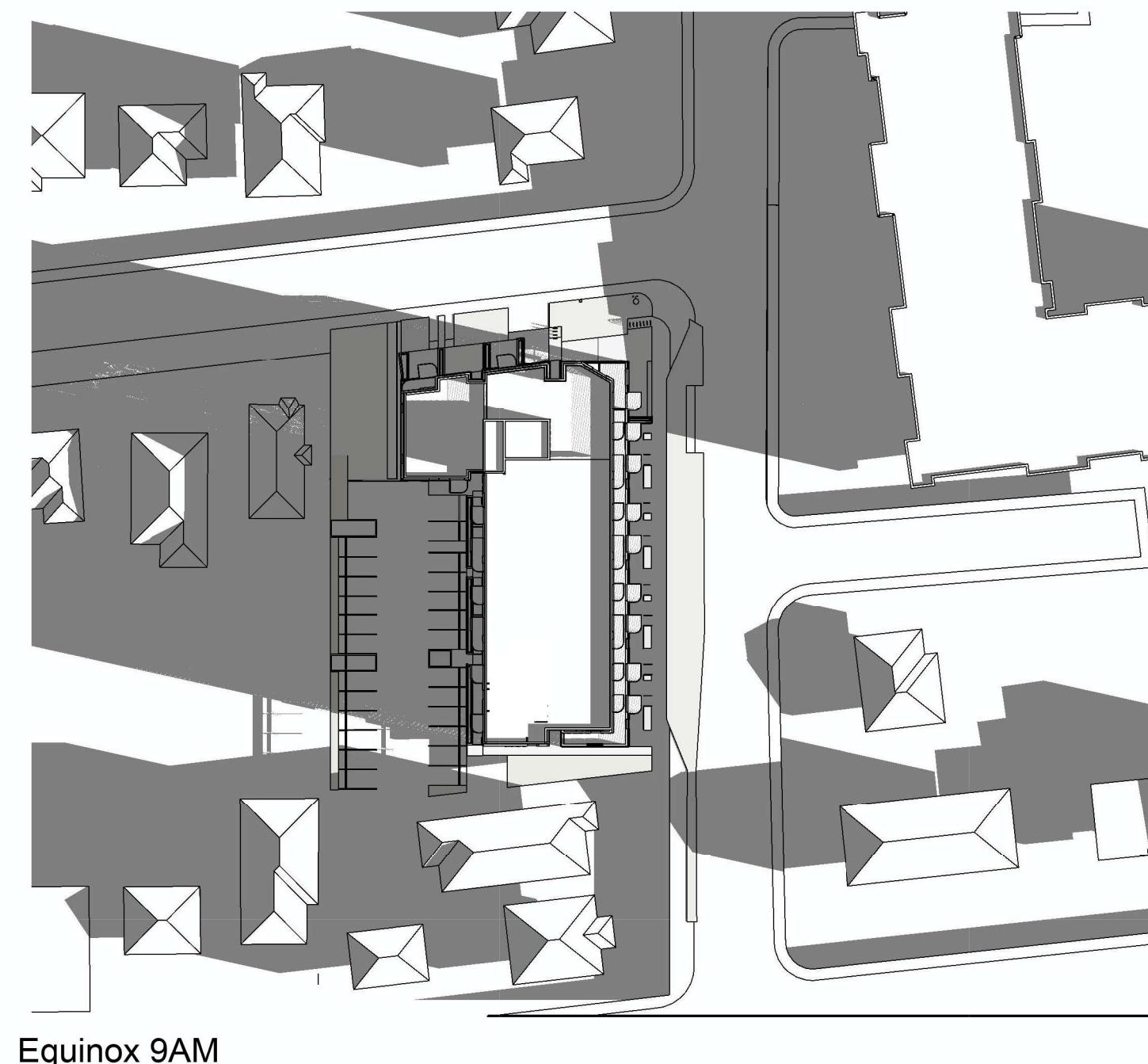
SCHEDULE OF AREAS INCL IN FSR

Level	Area
Level 01	
Circulation	154.17 m ²
Elevator	22.69 m ²
Exit Stair	38.90 m ²
M&E	5.40 m ²
Services	74.73 m ²
Units	1,000.93 m ²
Total	1,296.83 m ²
Level 02	
Circulation	110.96 m ²
Elevator	13.91 m ²
Exit Stair	29.58 m ²
M&E	3.23 m ²
Units	919.98 m ²
Total	1076.66 m ²
Level 03	
Circulation	110.96 m ²
Elevator	13.92 m ²
Exit Stair	29.58 m ²
M&E	3.23 m ²
Units	919.34 m ²
Total	1077.02 m ²
Level 04	
Circulation	111.21 m ²
Elevator	14.04 m ²
Exit Stair	29.67 m ²
M&E	3.23 m ²
Units	901.12 m ²
Total	1059.27 m ²
Level 05	
Circulation	111.68 m ²
Elevator	13.90 m ²
Exit Stair	29.91 m ²
Units	784.72 m ²
Total	940.20 m ²
Level 06	
Circulation	103.81 m ²
Elevator	13.90 m ²
Exit Stair	30.00 m ²
M&E	3.18 m ²
Units	788.11 m ²
Total	939.00 m ²
	6388.98 m ²

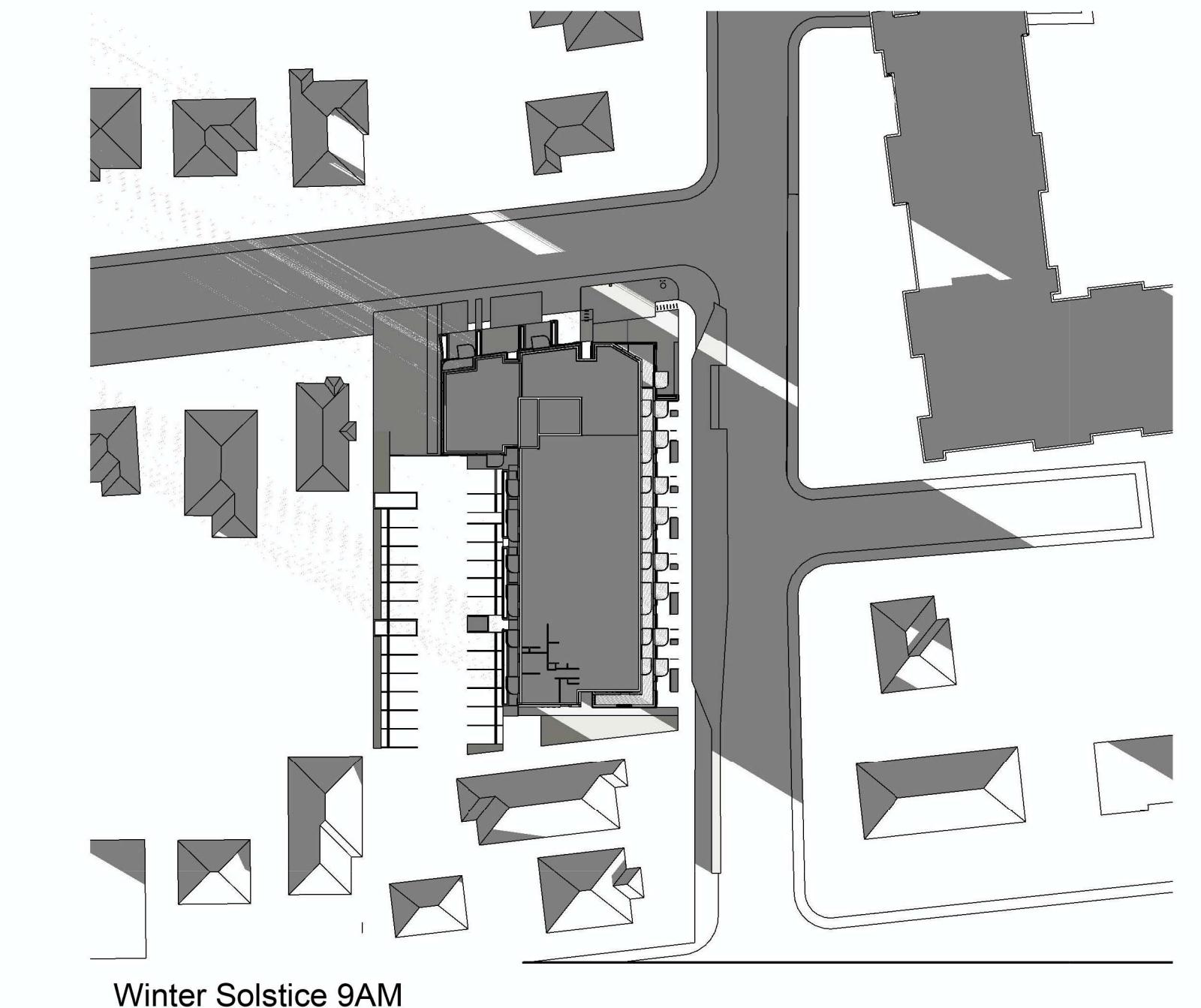
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P02	06/08/2025	Issued for Rezoning & Development Permit	
P01	05/07/2025	Issued for Development Tracker	
Rev:			
Drawing No:			
A-01111			
Project Name:			
2612 - 2628 Richmond Road, Victoria			
Drawing Name:			
Zoning Calculations			
Drawing Status:			
PLANNING	Date:	Scale:	Drawn:
4153-C	1 : 300	HN	Checked: KB



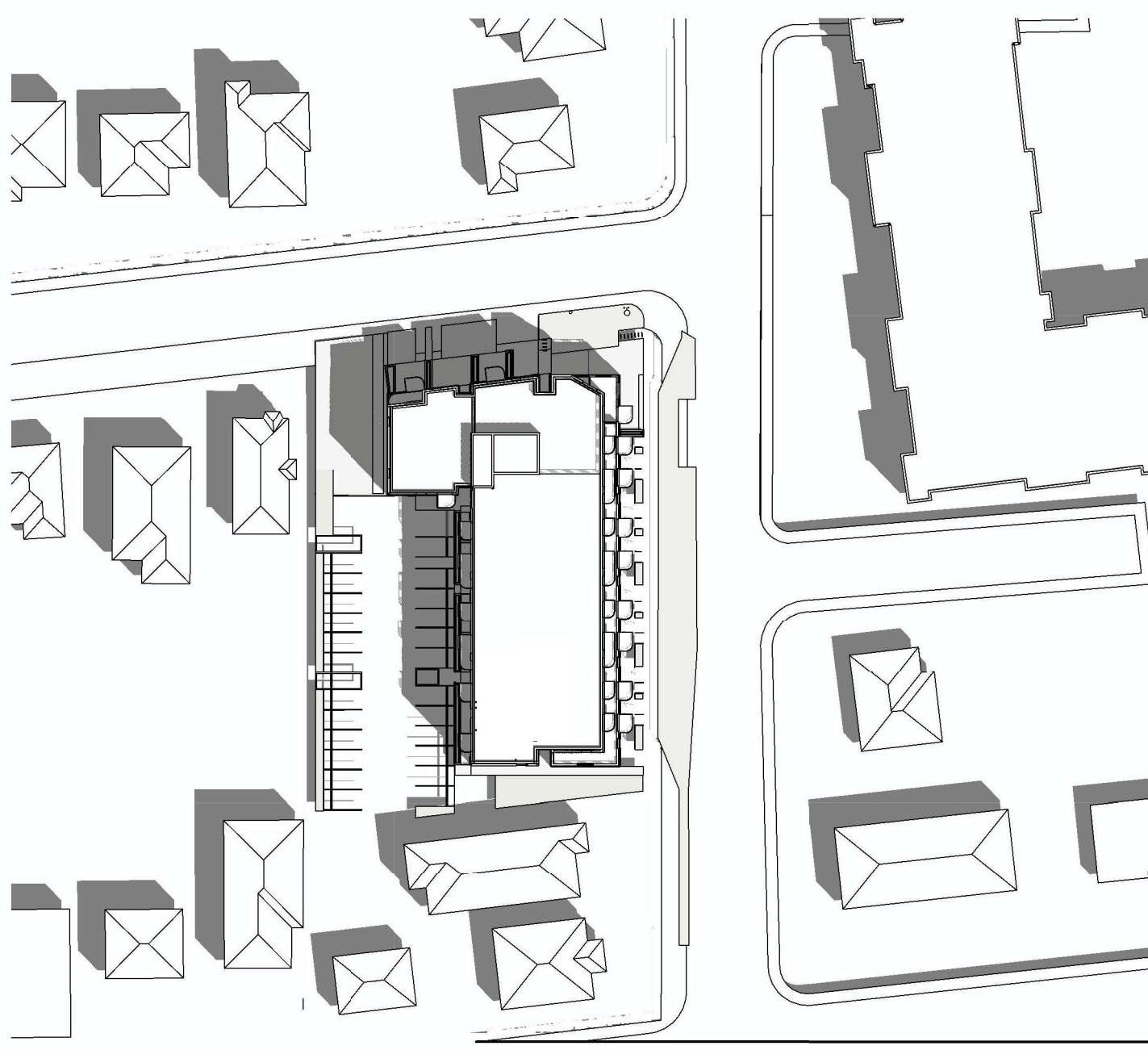
Summer Solstice 9AM



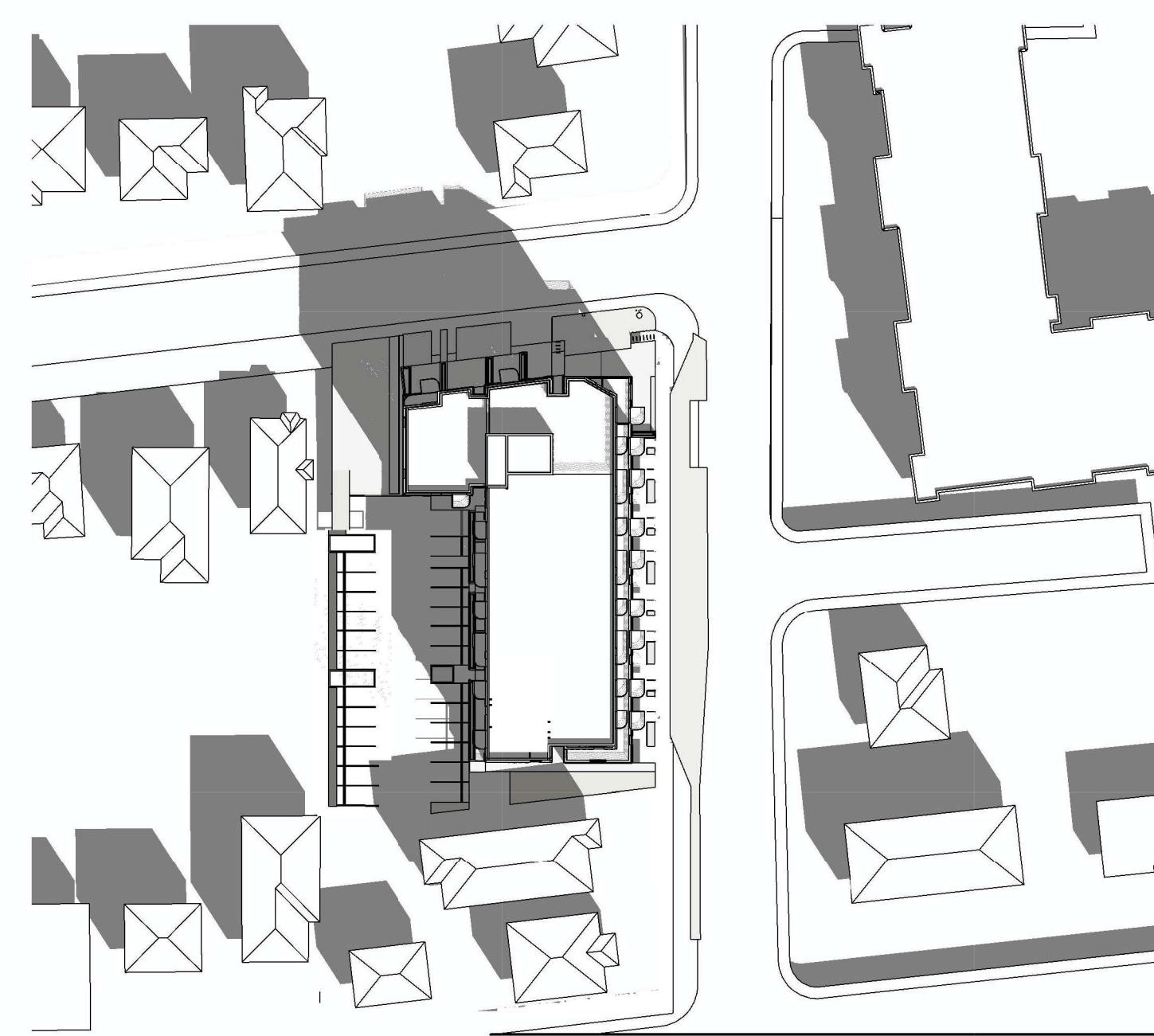
Equinox 9AM



Winter Solstice 9AM



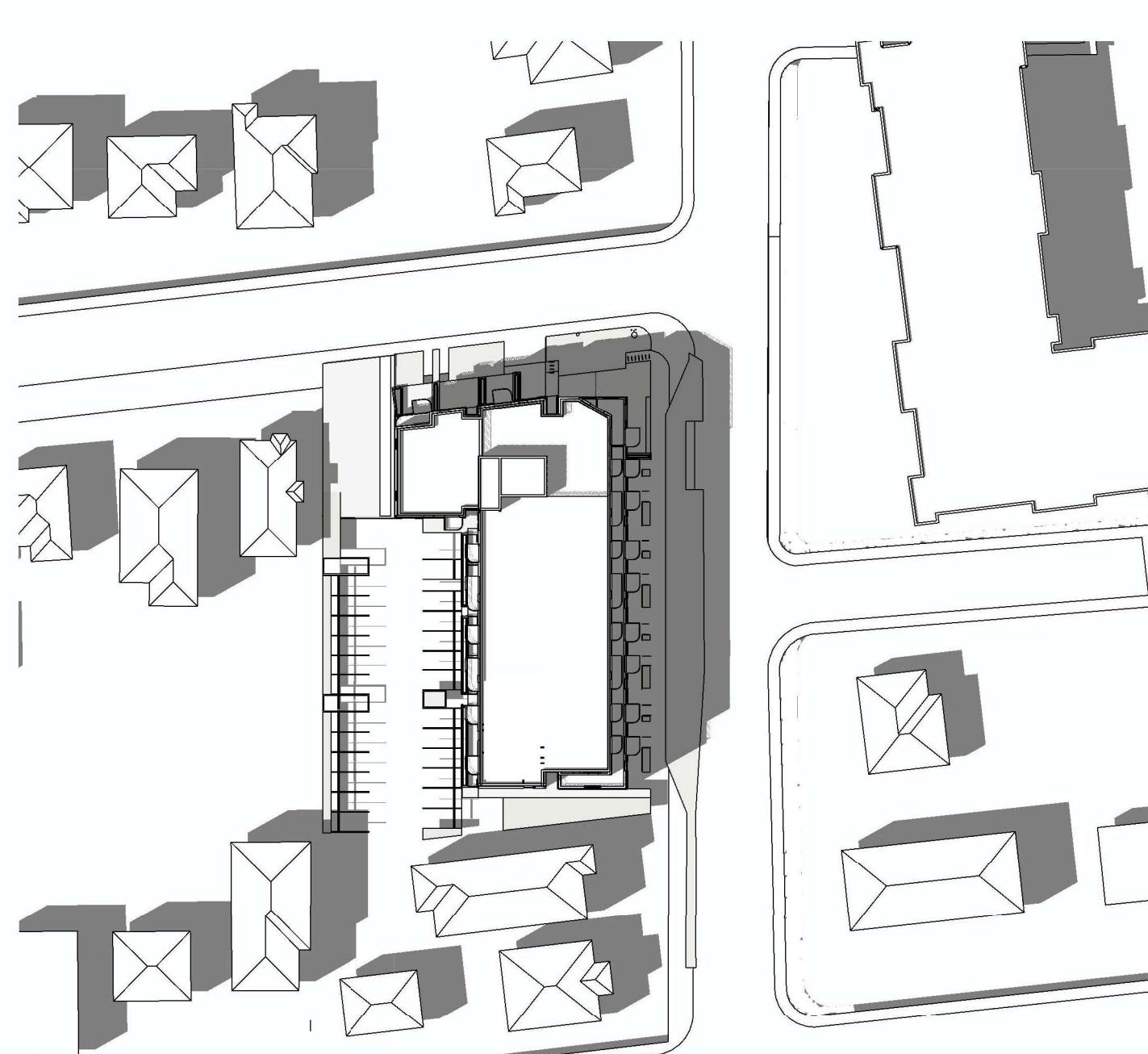
Summer Solstice 12 PM



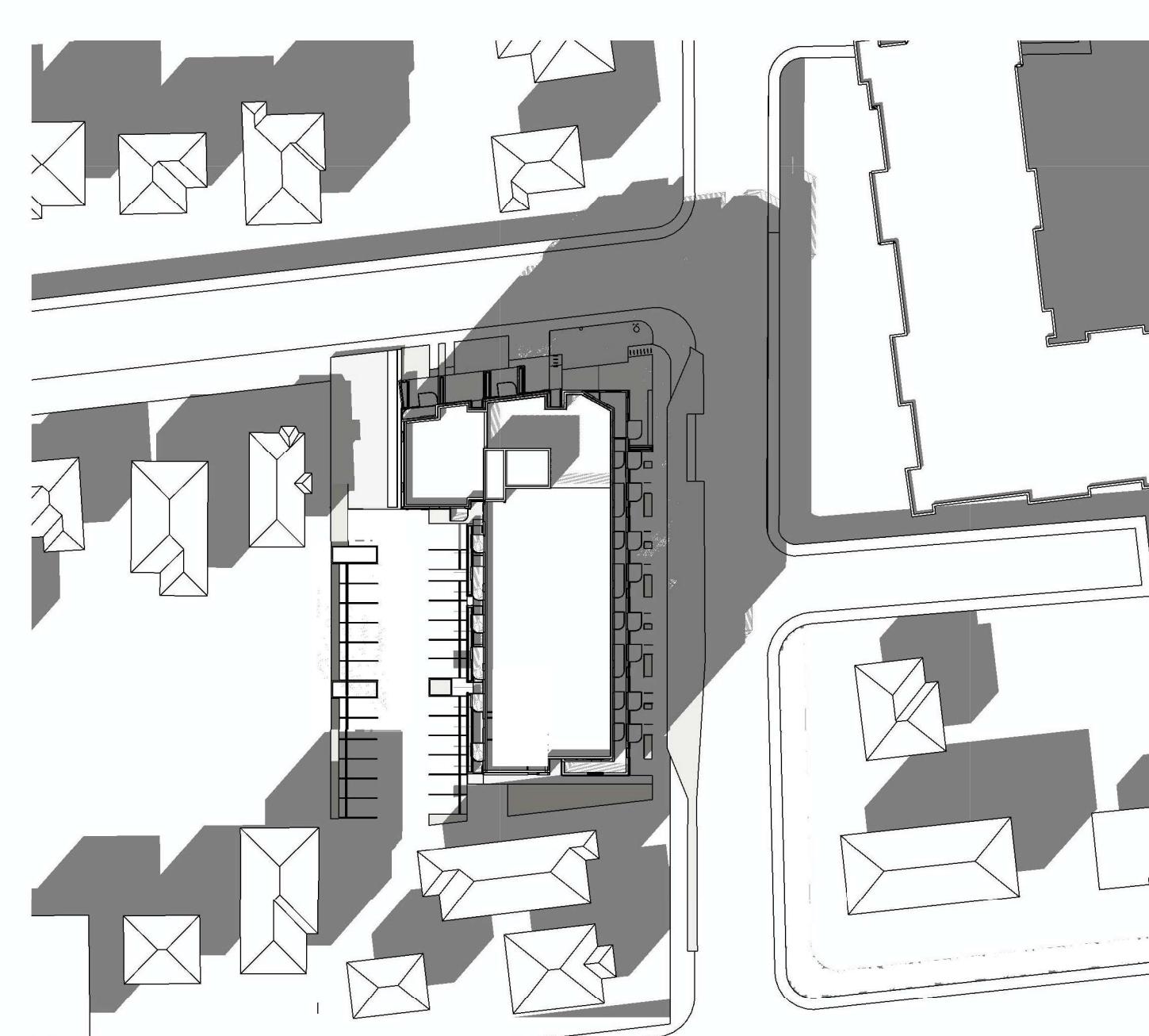
Equinox 12PM



Winter Solstice 12PM



Summer Solstice 4PM

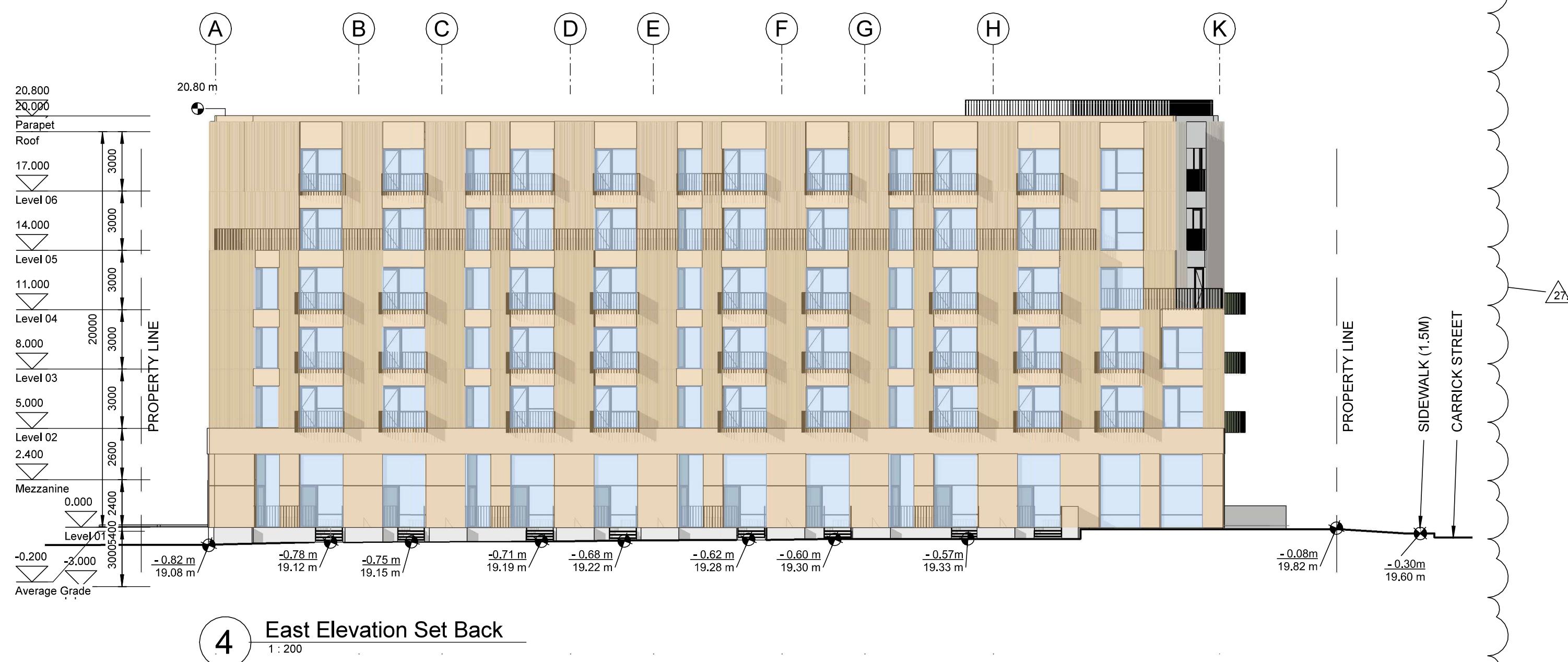
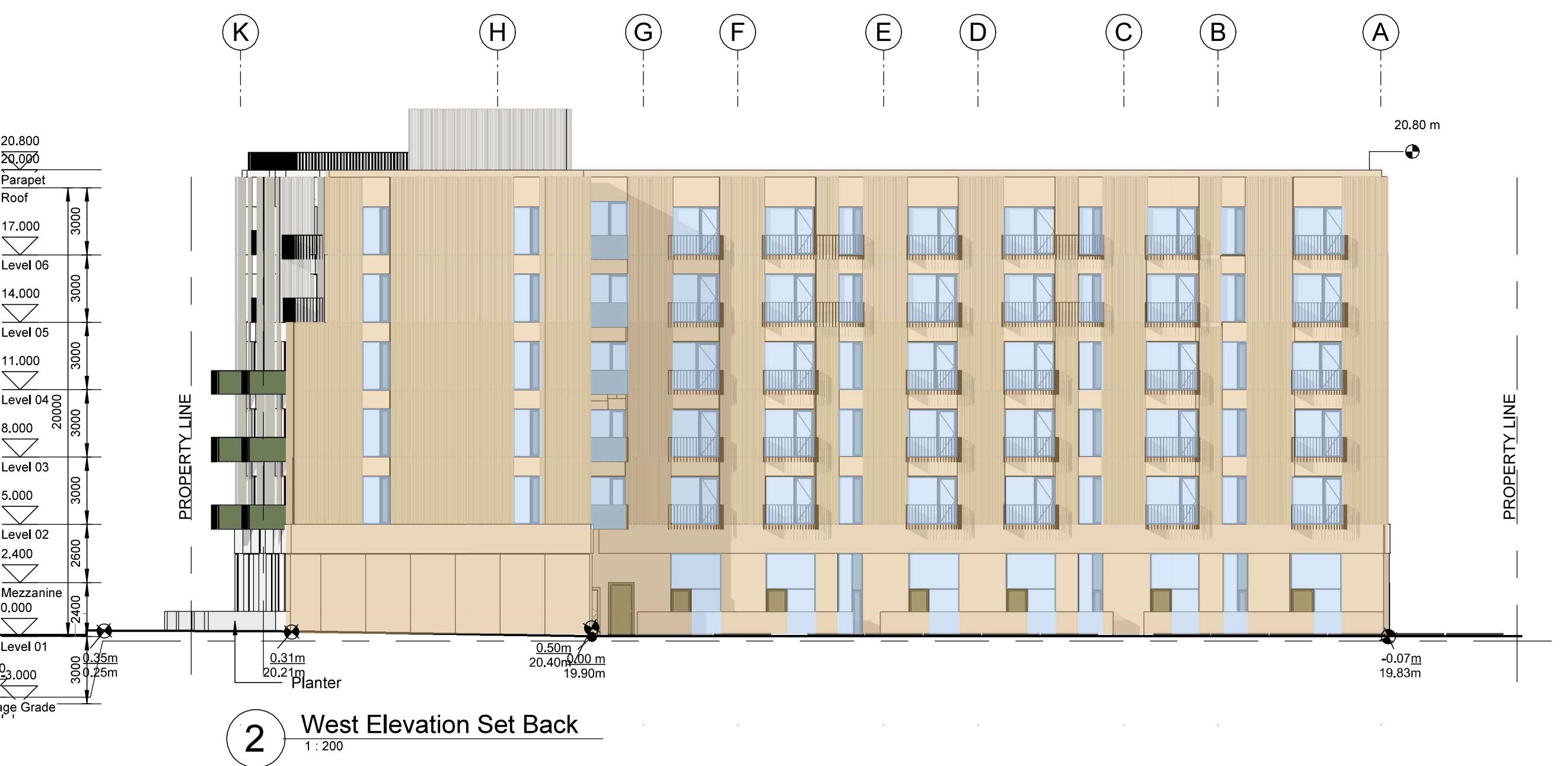
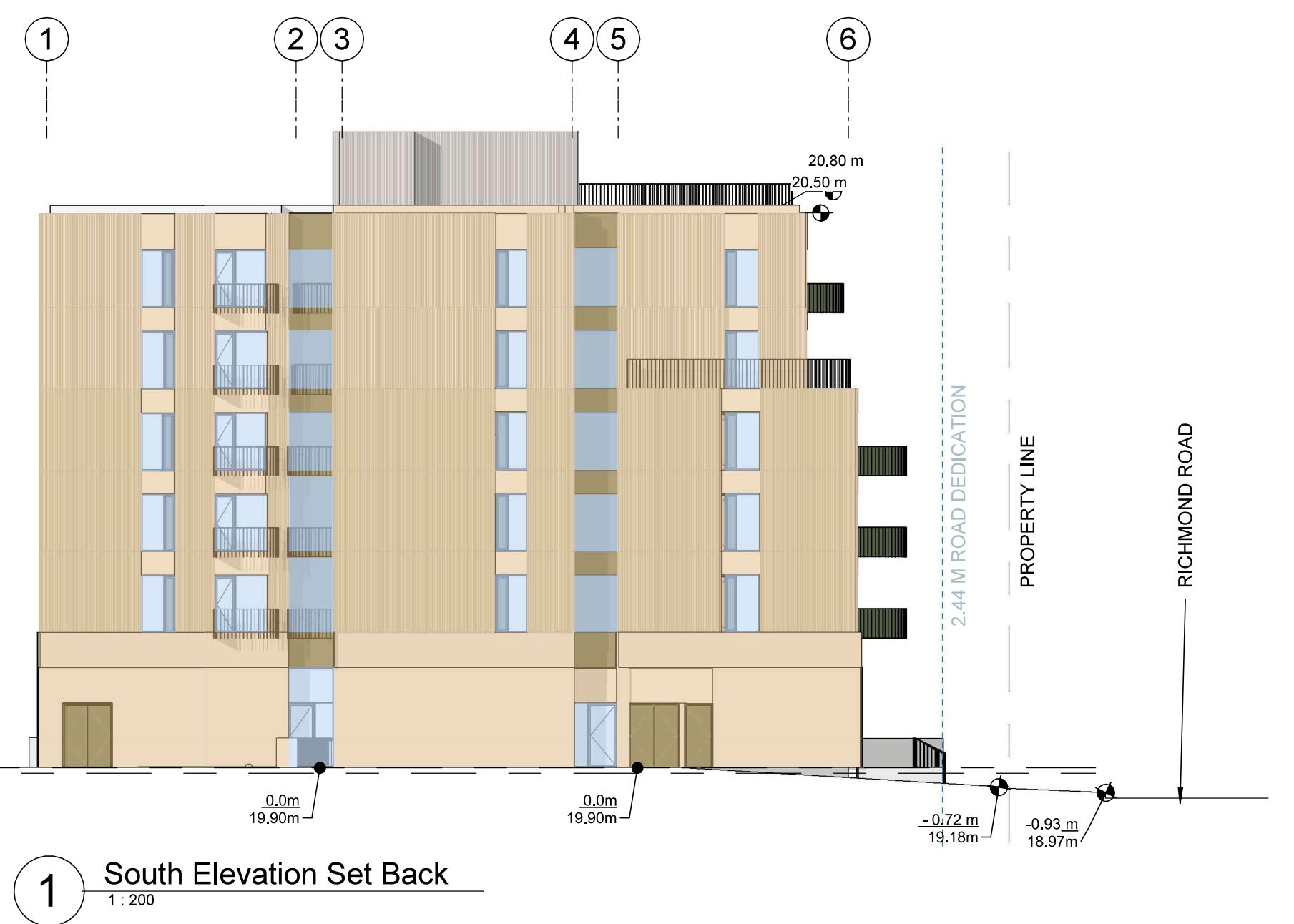
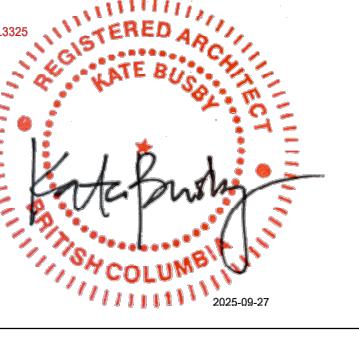


Equinox 4PM



Winter Solstice 4PM

Rev:	06/08/2025	Issued for Rezoning & Development Permit		
Rev:	05/07/2025	Issued for Development Tracker		
Rev:	Date:	Description	Issued by	Checked by
A-14010				
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Shadow Study				
Drawing Status:				
PLANNING				
Project No: 4153-C	Date: --/--/--	Scale: _____	Drawn: HN	Checked: KB



Spatial Separation							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Proposed	F.R.R.	Construction Type	Cladding
North	614.7m ²	16.4m	100%	31.30%	1	COMBUSTIBLE	NON-COMBUSTIBLE
South 1	389.4m ²	3.6 - 4.2m	22%	11.9%	1	COMBUSTIBLE	NON-COMBUSTIBLE
South 2	223.4m ²	39m	100%	26.5%	1	COMBUSTIBLE	NON-COMBUSTIBLE
East	1044m ²	17m	100%	35.0%	1	COMBUSTIBLE	NON-COMBUSTIBLE
West 1	269.5m ²	6.2m	52%	10.0%	1	COMBUSTIBLE	NON-COMBUSTIBLE
West 2	734.7m ²	17.1m	100%	33.2%	1	COMBUSTIBLE	NON-COMBUSTIBLE

Notes

*CRU occupancy E has 2hr FRR

*BCBC 2024 Reference table 3.2.2.1 D

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P02	06/08/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		
Rev:				
Drawing No:				
Project No:				
Date:				
Description:				
Issued by:				
Checked by:				

A-14011

Project Name: 2612 - 2628 Richmond Road, Victoria

Drawing Name: Spatial Setback

Drawing Status: PLANNING

Project No: 4153-C

Date: ---/---/---

Scale: As indicated HN

Drawn: KB

Checked:

DRAWING LIST

SHEET	DRAWING TITLE	SCALE
L-0.00	COVER SHEET	NTS
L-0.01	NOTE	NTS
L-1.01	LANDSCAPE PLAN - GROUND LEVEL	1:100
L-1.02	PLANTING PLAN - GROUND LEVEL	1:100
L-1.03	LANDSCAPE PLAN - ROOF	1:100
L-1.04	PLANTING PLAN - ROOF	1:100
L-1.05	RAINWATER MANAGEMENT PLAN	1:100
L-1.06	SOIL VOLUME FOR REPLACEMENT TREE PLANTING	1:100
L-2.01	SECTION 1	1:50
L-2.02	SECTION 2	1:50
L-3.01	DETAILS	1:10



DRAWING KEY

	PROPERTY LINE
	HIGHWAY DEDICATION
	SETBACK
	CANOPY ABOVE
	GUARDRAIL
	PERMEABLE UNIT PAVER
	CIP CONCRETE
	SLAB PAVERS
	GRANULAR MATERIAL
	NEW PLANTING
	LAWN
	HEDGES
	EXISTING TREE (TO BE RETAINED)
	PROPOSED NEW TREE
	TREE PROTECTION AREA
	STORMWATER MANAGEMENT AREA

PRECEDENT IMAGE



CRU Patio



Permeable Plaza

TREES



Trembling aspen



Pyramidal European Hornbeam



Ivory Silk Tree Lilac



Vine Maple



Cedar Hedge



Pennisetum alopecuroides
Fountain Grass



Rhododendron macrophyllum
Pacific Rhodo



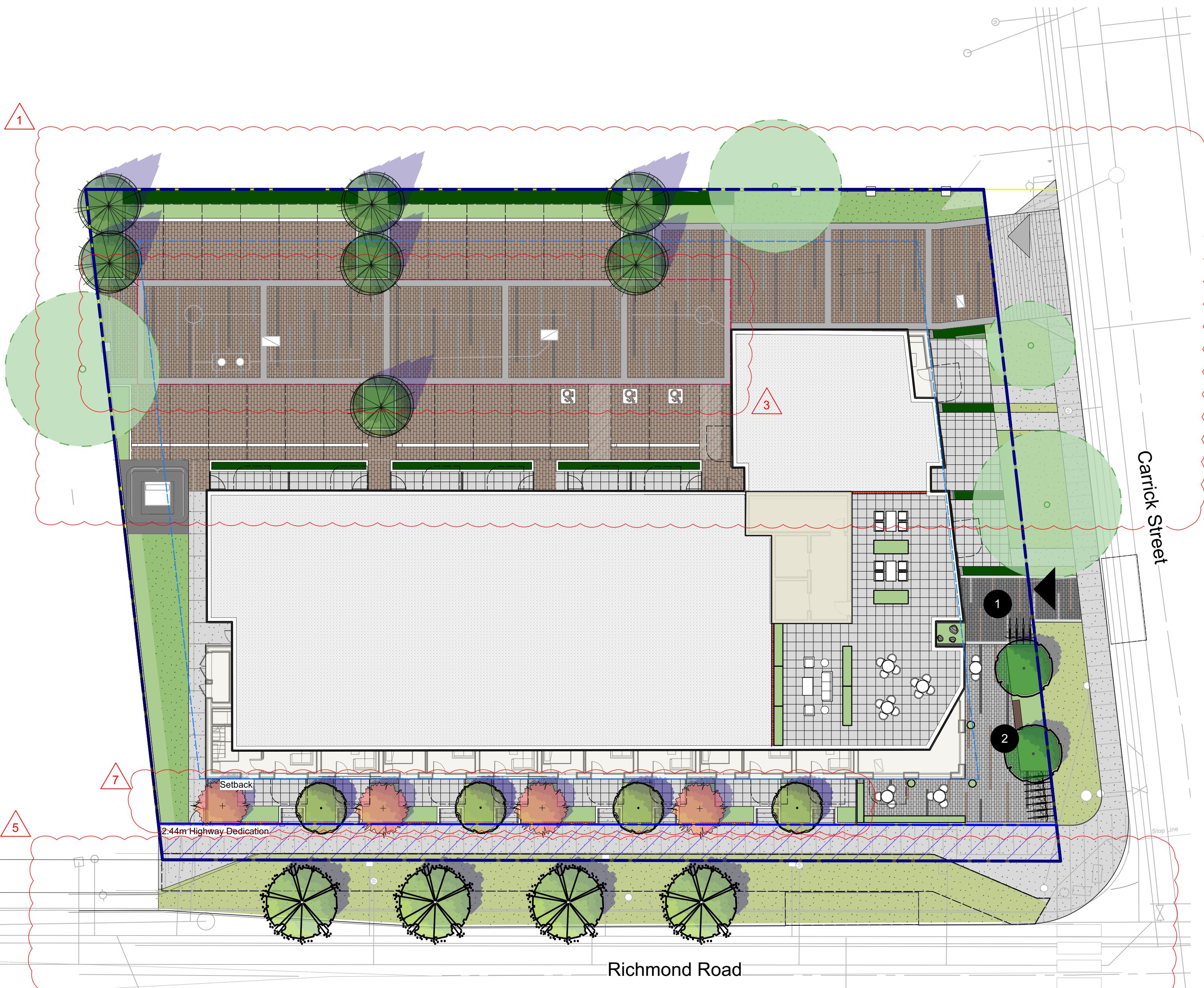
Lupinus polyphyllus
Big-leaved Lupine

LEGEND

	PEDESTRIAN ENTRANCE
	VEHICULAR ENTRANCE
	RESIDENTIAL MAIN ENTRANCE
	CRU COMMUNITY TERRACE

LIGHTING LEGEND

	BL	BOLLARD LIGHT
	SL	STEPS LIGHT



SHRUBS

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P 604.684.4611 | F 604.684.0577 | www.dkl.bc.ca

Project:

Residential Development

2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by: KY

Checked by: SV

Date: 06 MAR 2025

Scale: NTS

Drawing Title:

COVER SHEET

Project No.:

25016

Sheet No.:

L-0.00

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
- All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, i.e. it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
- Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
- All trees to be staked in accordance with CNLA Standards.
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

OFF-SITE PLANTING NOTES

- Street tree final spacing and quantity to the approval of City of Victoria Engineering.
- Street tree final species to the approval of City of Victoria Park Board.
- Approved root barrier to be installed per City of Victoria standard, 8' (2.4m) long and 18" (450mm) deep.
- Call Park Board for inspection after tree planting.

ADDITIONAL NOTES

- All sidewalks between curb and property line are to be reconstructed fully at the applicant's expense.
- This plan is NOT FOR CONSTRUCTION and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering Building Site Inspector for details.
- Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board (604-257-8587) for inspection after tree planting completion.

IRRIGATION NOTES

- All on-site 'Soft Landscape Areas' are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IIABC Standards.
- Irrigation stub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
- Irrigation system is a design-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
- No visible irrigation lines will be accepted.
- All irrigation boxes to be equipped with quick couplers.
- Irrigation controller to be located in mechanical room.

BIRD FRIENDLY STRATEGY

Elements of the landscape design and planting selection have been thoughtfully considered to support the City of Victoria's Bird Friendly Strategy Design Guidelines. The use of native tiered planting materials will provide a variety of textures and heights that will support bird habitat. The plantings should provide opportunities for nesting, food sources, pollination support, shelters as well as protection.

A landscape consideration that will make this proposed development more bird friendly will be the expansion of the urban tree canopy. The development proposes to add street trees along Richmond Road to City of Victoria Standard. These additional trees can provide shade, perching and nesting opportunities.

The proposed landscape planting incorporates canopy and habit stratification with tree(s), shrub(s) and groundcover planting, utilizing plants that attract birds, insects and includes native and non-native/non-invasive plants.

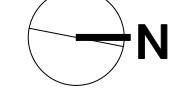
PLANT LIST

TREES	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
		4	Acer circinatum	sičət̄p - Vine Maple	5 cm cal. B&B
		7	Carpinus betulus 'Fastigiata'	European hornbeam	5 cm cal. B&B
		2	Populus tremuloides	Trembling aspen	5cm cal. B&B
		4	Syringa reticulata 'Ivory Silk'	Ivory Silk Tree Lilac	5cm cal. B&B

SHRUBS	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
Bw		53	Buxus microphylla 'Winter Gem'	Winter Gem Boxwood	#2 pot / 24" O.C.
Ct		65	Choisya ternata	Mexican orange blossom	#5 pot , 36" o.c.
Ma		17	Mahonia aquifolium	Oregon Grape	#2 pot / 36" O.C.
Mr		166	Mahonia repens	Creeping mahonia	#1 pot / 16" O.C.
OC		22	Oemleria cerasiformis	osoberry or Indian plum	#3 pot. 48" o.c.
Pe		35	Philadelphus lewisi	Mock Orange	#3 pot / 48" O.C.
Rk		6	Rhododendron 'Ken Jaweck'	Ken Jaweck Rhodo	#2 pot / 36" O.C.
Ru		36	Rubus idaeus	raspberry	#3 pot. 24" o.c.
Vp		1	Vaccinium parvifolium	sk̄eq"čəsət̄p - Red Huckleberry	#2 pot / 36" O.C.

GROUNDCOVERS, GRASSES, FERNS & VINES	SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
d		79	Dicentra formosa 'Aurora'	aurora bleeding heart	#1 pot, 12" o.c.
LI		39	Lupinus latifolius	Broadleaf Lupine	#1 pot / 12" O.C.
Pa		21	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	#1 pot / 18 O.C.
Pm		29	Polystichum munitum	s̄x̄eləm̄ - Sword fern	#1 pot / 18" O.C.
sd		55	Sympytrichum dumosum 'Wood's Pink'	Aster 'Wood's Pink'	#1 Pot / 12" O.C.

Tree Impact Summary			
Tree Status	No. of Trees	No. of Trees to be Removed	No. of Replacement Trees
On-site Trees	10	10	8 (Small Trees) + 9 (Medium Trees)
Off-site Trees	2	0	0
Municipal Trees	2	0	0
			8 (Small Trees) + 9 (Medium Trees)
Total	14	10	Total : 13

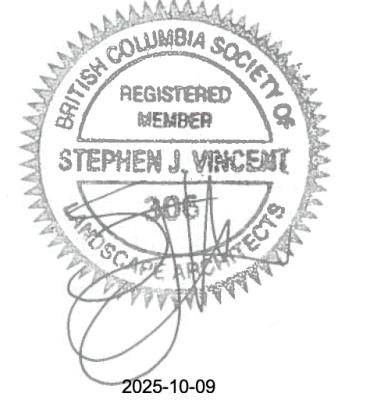


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Project:

Residential Development

2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by:	KY
Checked by:	SV
Date:	06 MAR 2025
Scale:	NTS
Drawing Title:	

NOTE

Project No.:
25016
Sheet No.:

L-0.01



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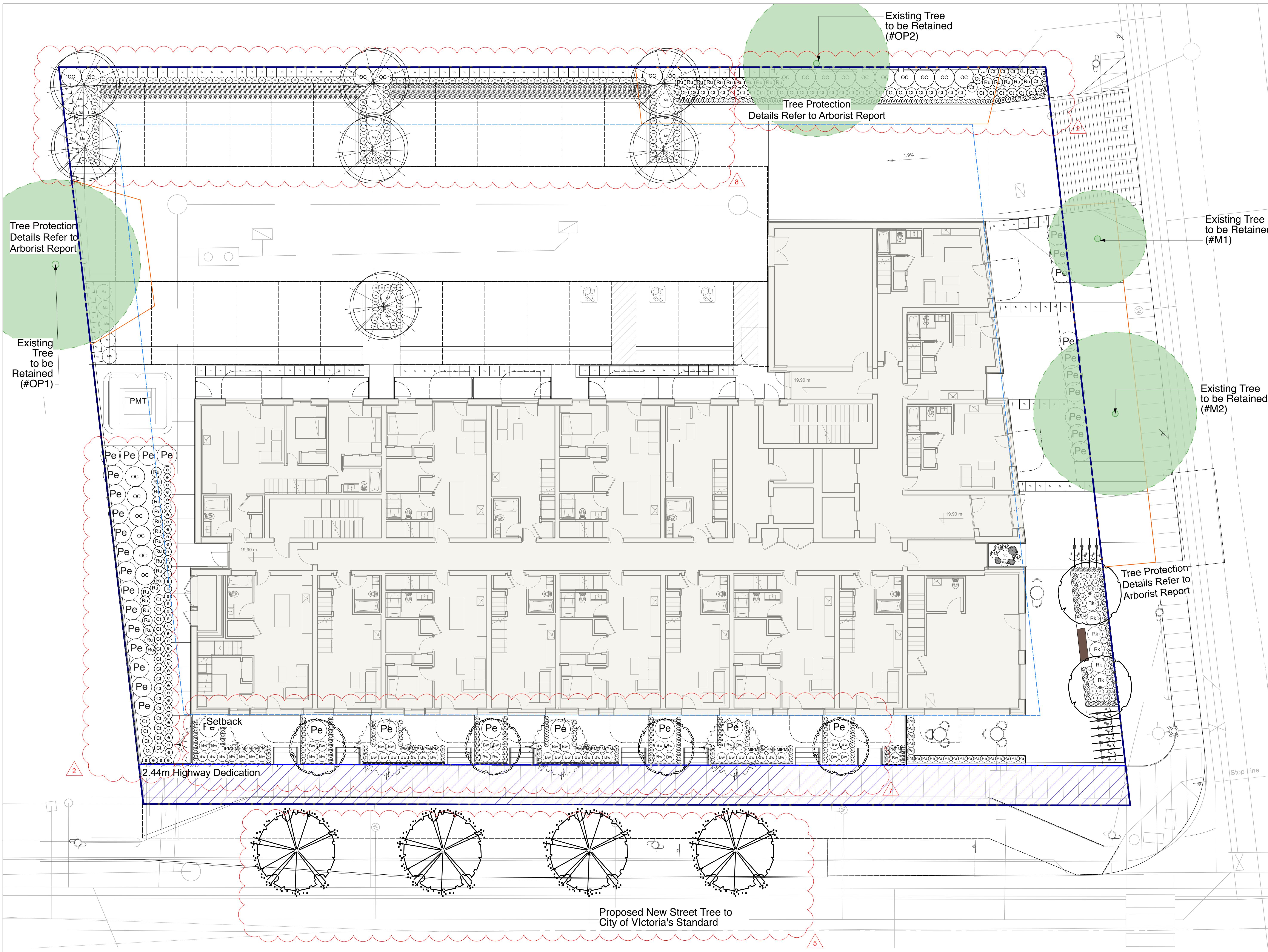
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 Richmond Road, Victoria

Drawn by: KY
 Checked by: SV
 Date: 06 MAR 2025
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 Drawing Title:

LANDSCAPE PLAN - GROUND LEVEL

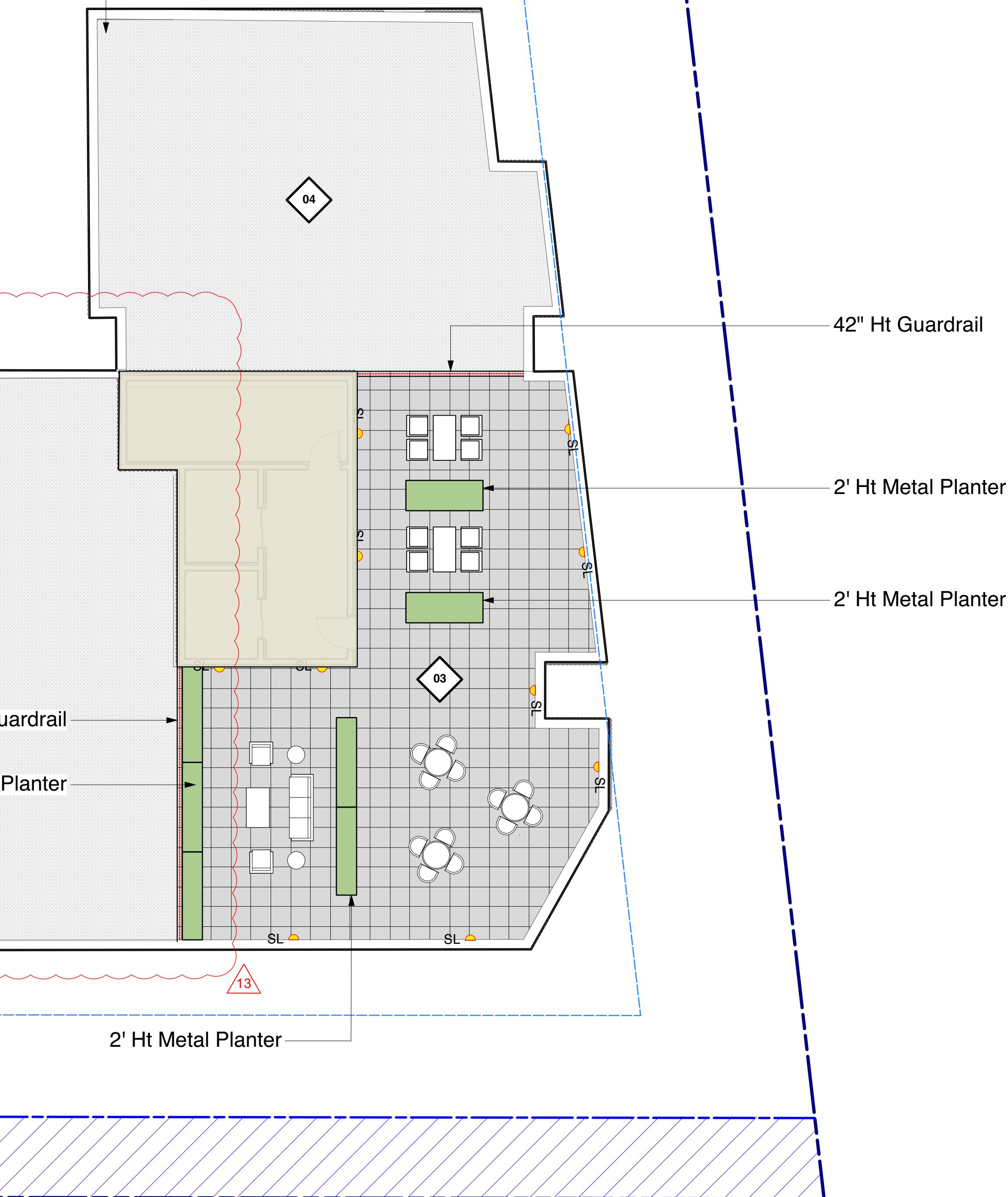
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 Sheet No.:

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N

Runoff from the roof will be collected and diverted to the infiltration gallery at ground level.



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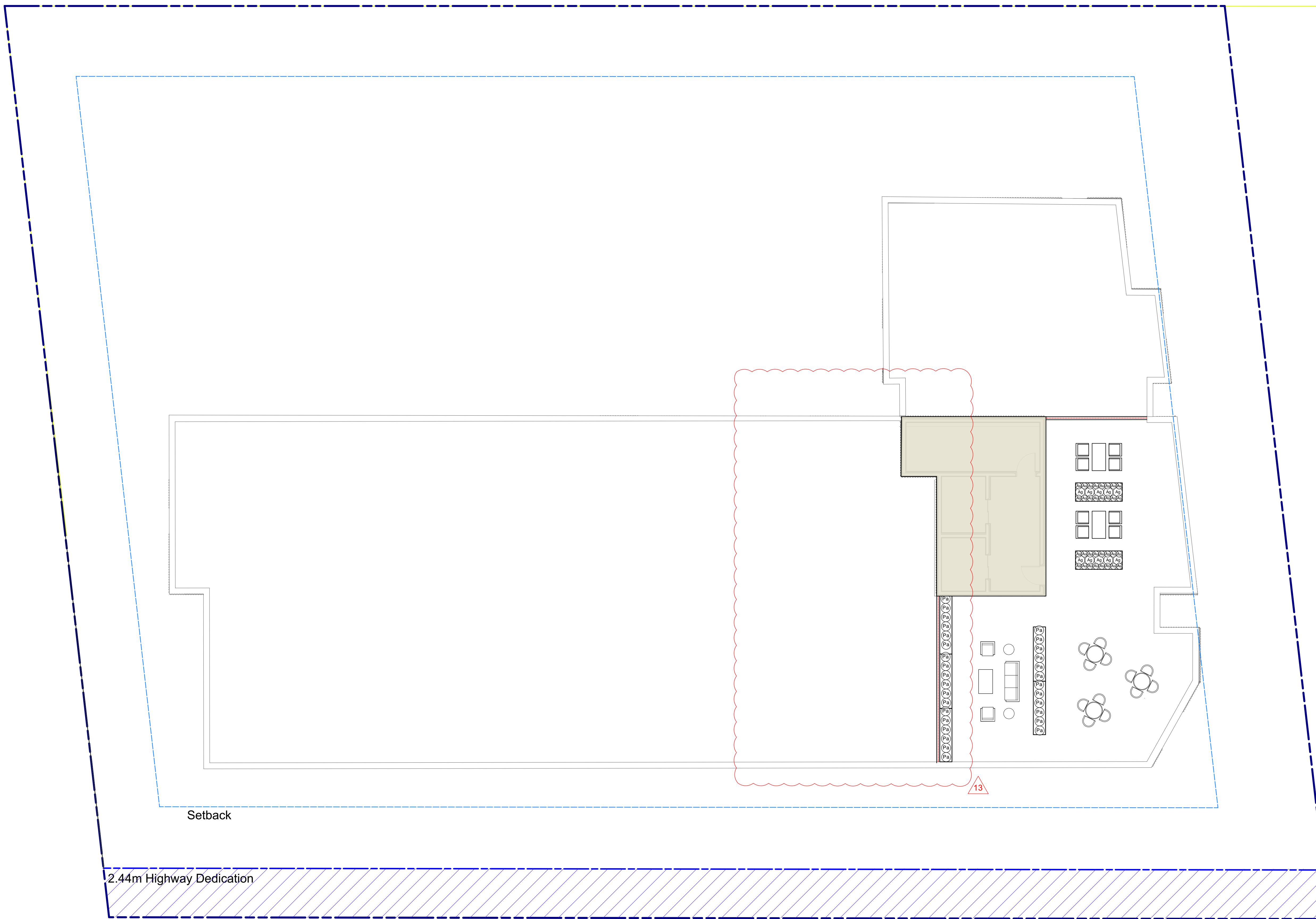
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LANDSCAPE PLAN - ROOF

Project No.: 25016
Sheet No.:

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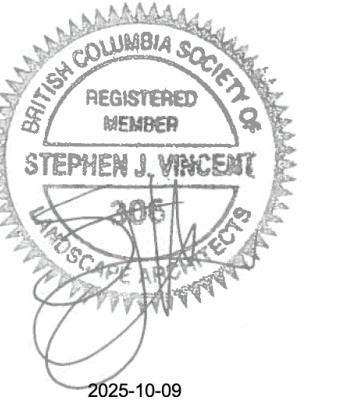


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Scale: 1:100

Drawing Title:

PLANTING PLAN - ROOF

Project No.: 25016
Sheet No.:

L-1.04

LEGEND

	PLANTING AREA 343 sqm
	PERMEABLE SURFACE 782 sqm
	BUILDING FOOTPRINT 1130 sqm
	IMPERMEABLE SURFACE 349 sqm
	INFILTRATION GALLERY 284 sqm

RAINWATER MANAGEMENT CALCULATIONS

Sizing Factor = $[(24 \times K_s + D_R \times n)/(32-1)]^{(-1)}$
 D_R = Max. depth of reservoir = 274.3 x K_s
 n = porosity of drain rock in reservoir = 0.35
 Impermeable Area = 1130 sqm + 349 sqm = 1479sqm
 D_R = 274.3 x 2 = 400mm Maximum

Sizing Factor = $[(24 \times 2 + 400 \times 0.35)/(32-1)]^{(-1)} = 16.49\%$
 Required Area = Impermeable Area x Sizing Factor = 1479 sqm x 16.49% = 244 sqm

Sizing for Water Quality

- Sizing approach to meet City of Victoria's water quality target is the same as the approach to meet volume capture and infiltration targets.
- There is no reduction in sizing for water quality sizing in the case of permeable paving.

Sizing for Capture and Infiltration

Permeable Unit Paving with Rock Reservoir

- Determine the maximum depth for the rock reservoir based on measured subsurface soil infiltration rate for the site and round down to the nearest 50 mm increment for contractability; allowable depth range is 300 to 2000 mm. If the infiltration rate is not being measured at the site, then assume a value of 2 mm/hr for saturated hydraulic conductivity (K_s):

$$D_R = 274.3 \times K_s$$

Where:

D_R = Maximum recommended depth (thickness) of drain rock reservoir (mm)

K_s = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested minimum value 2 mm/hr)

Note that where the subsurface soil hydraulic conductivity is 2 mm/hr, the maximum rock depth required is 400 mm, limited due to 20% minimum sizing factor.

- Use the following equation to determine the Base Area (bottom area) of Permeable Paving and rock reservoir required by finding the sizing factor for the site. Choose any value for the depth of rock reservoir within the allowable depth range and under the maximum allowable depth calculated in the previous step:

$$\text{Sizing Factor} = [(24 \times K_s + D_R \times n)/(32-1)]^{(-1)}$$

Where:

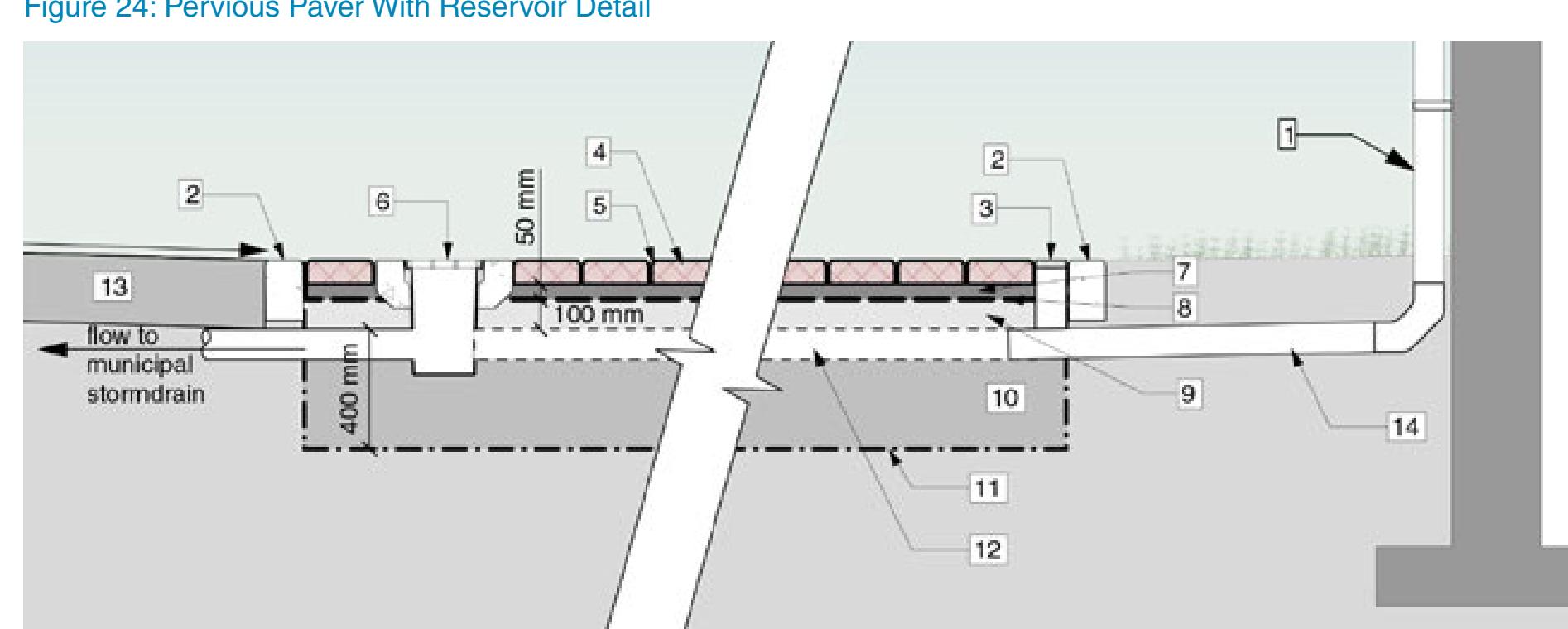
Sizing Factor = Fraction of impervious tributary area that must be permeable pavement to receive and treat runoff (unit less)

K_s = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested value 2 mm/hr)

D_R = Depth (thickness) of rock reservoir (mm)

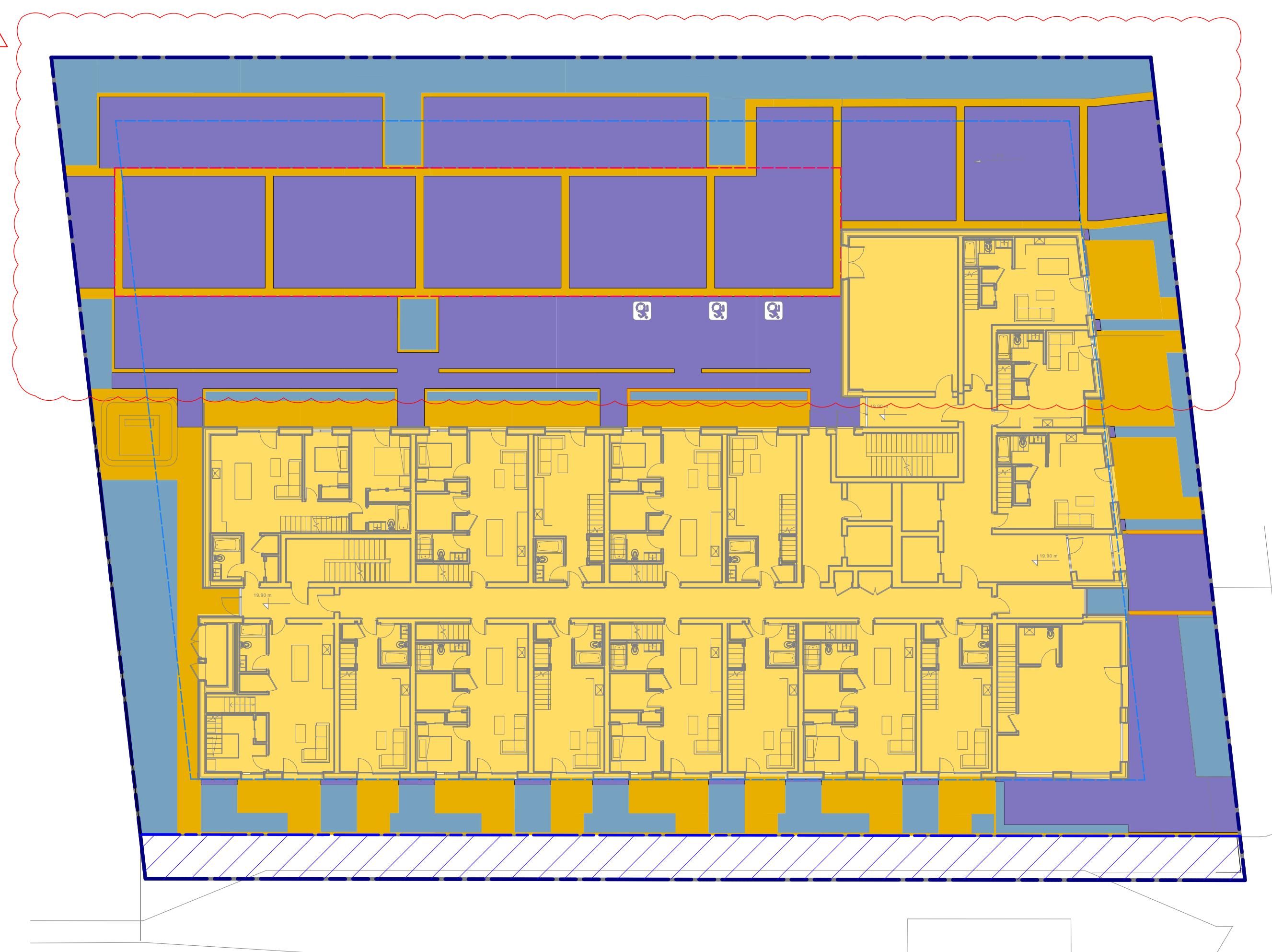
n = porosity of drain rock in reservoir (unit less, e.g. 0.35)

Figure 24: Pervious Paver With Reservoir Detail



Permeable Unit Paving With Rock Reservoir Materials

1. Downspout
2. Curb/edge restraint
3. Clean out with cap
4. Permeable concrete unit paving stone
5. Joint stabilizer
6. 200 mm square catch basin – only required as an overflow for safety where adverse slope drains towards a building.
7. Paver bedding course, 50 mm depth (open graded)
8. Non-woven geotextile
9. Upper reservoir open-graded base 100 mm depth
10. Reservoir sub-base (open graded), 400
11. Woven geotextile on bottom and sides of reservoir
12. Perforated drain pipe, 100 mm dia min.
13. Impervious paving
14. Piped downspout connection

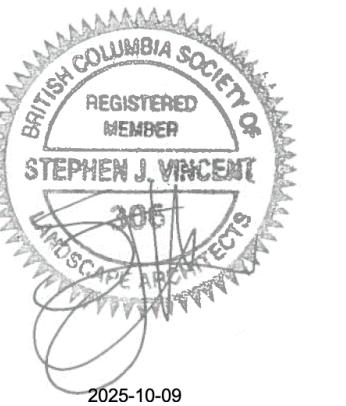


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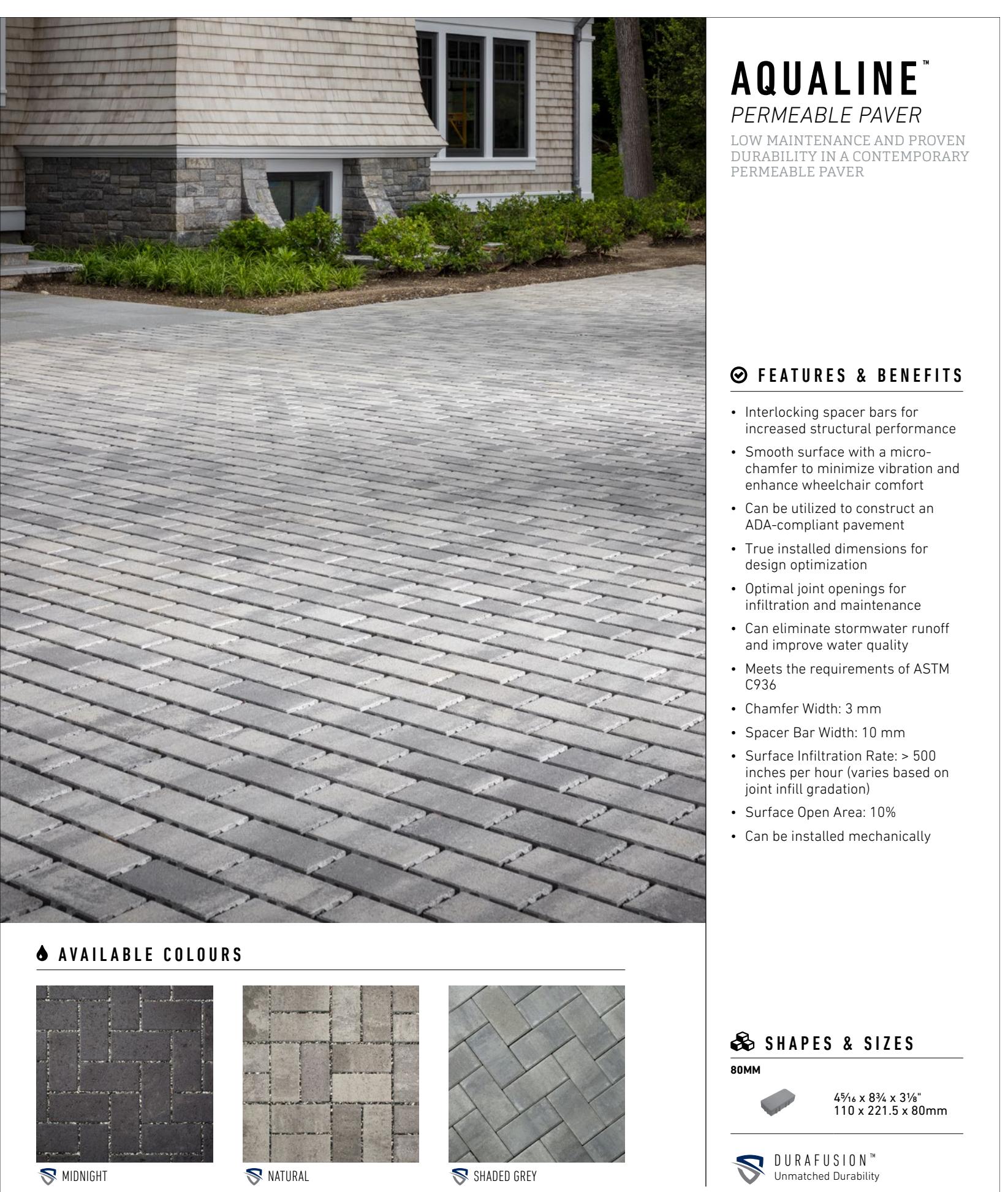
RAINFALL MANAGEMENT PLAN

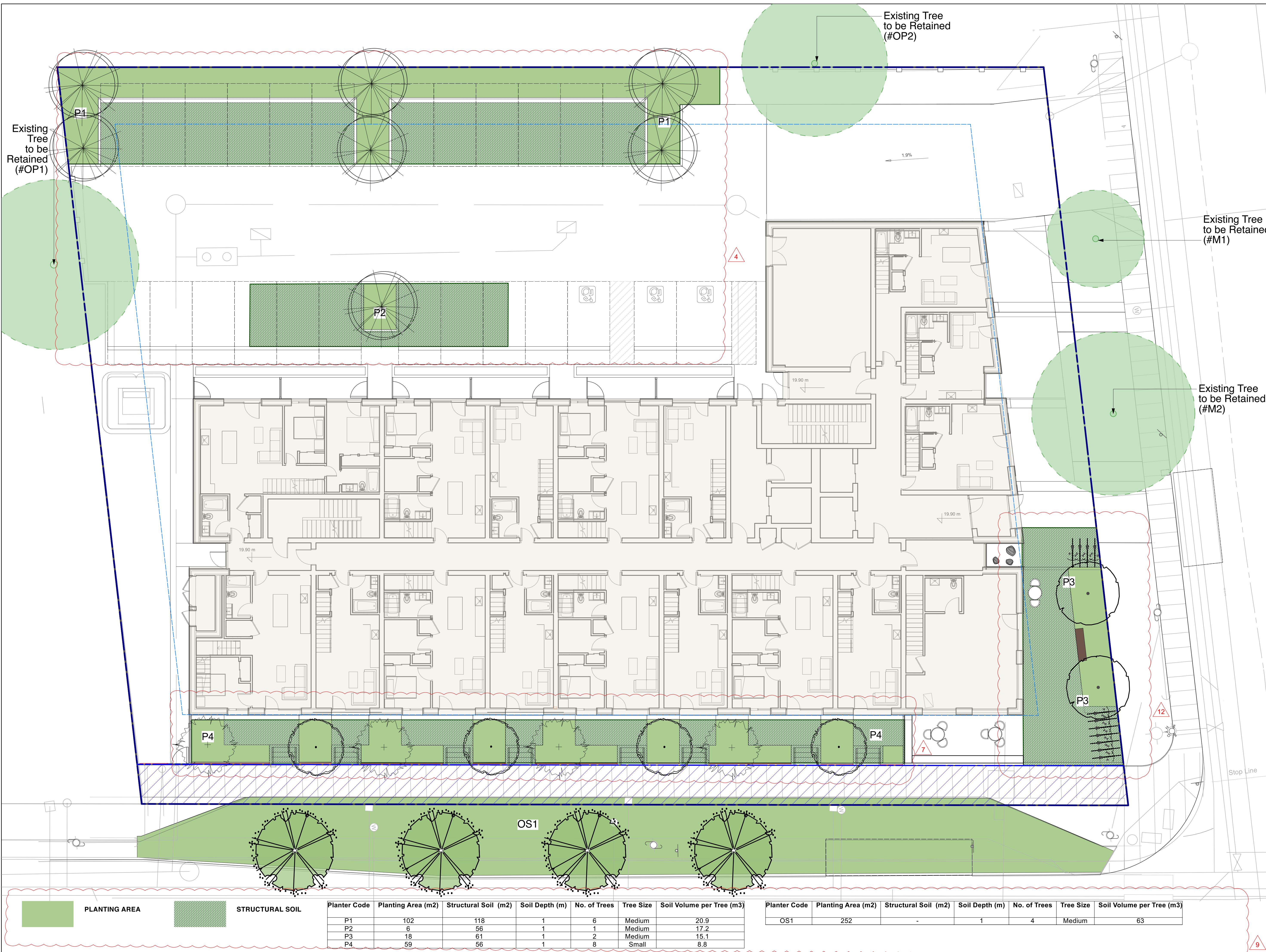
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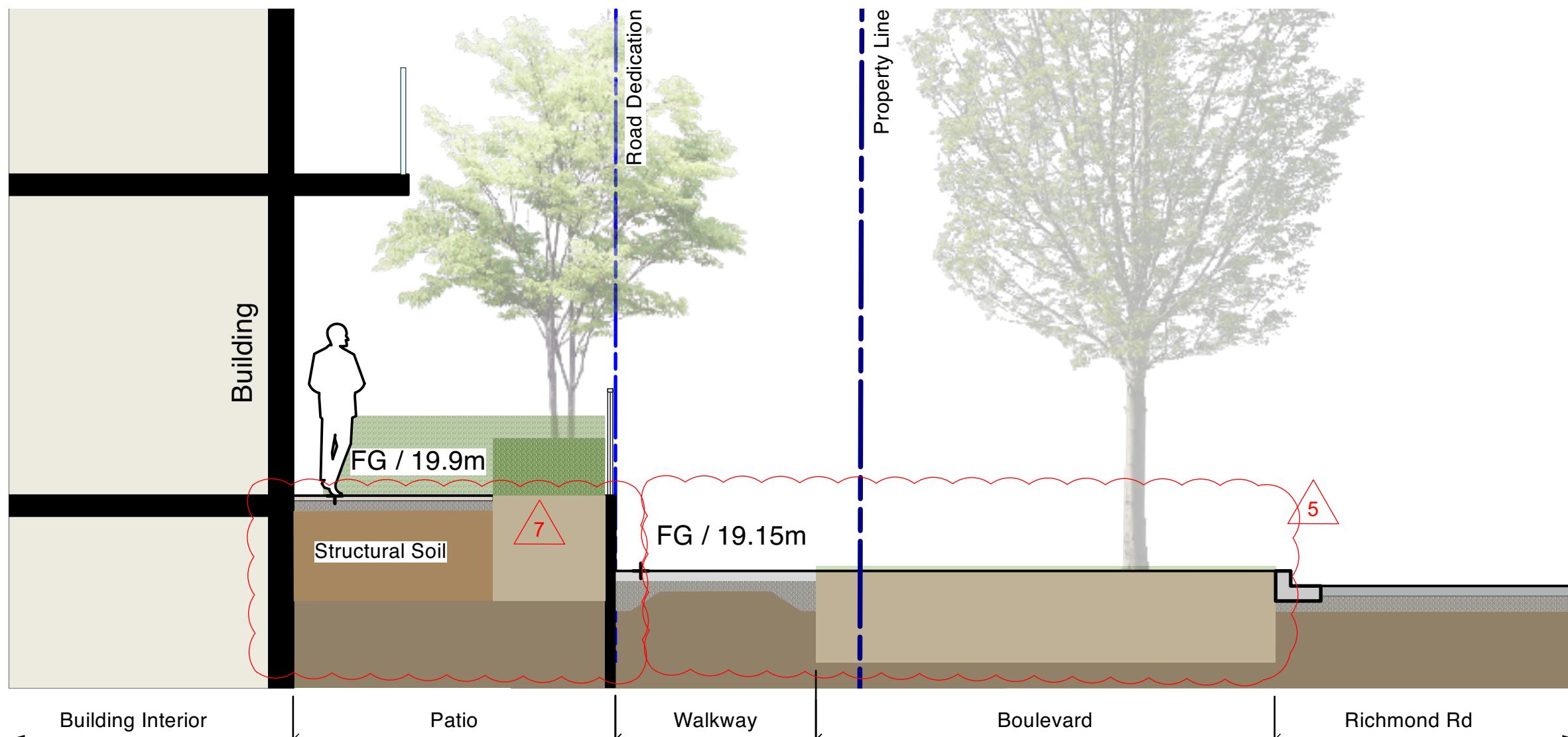
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Sheet No.:

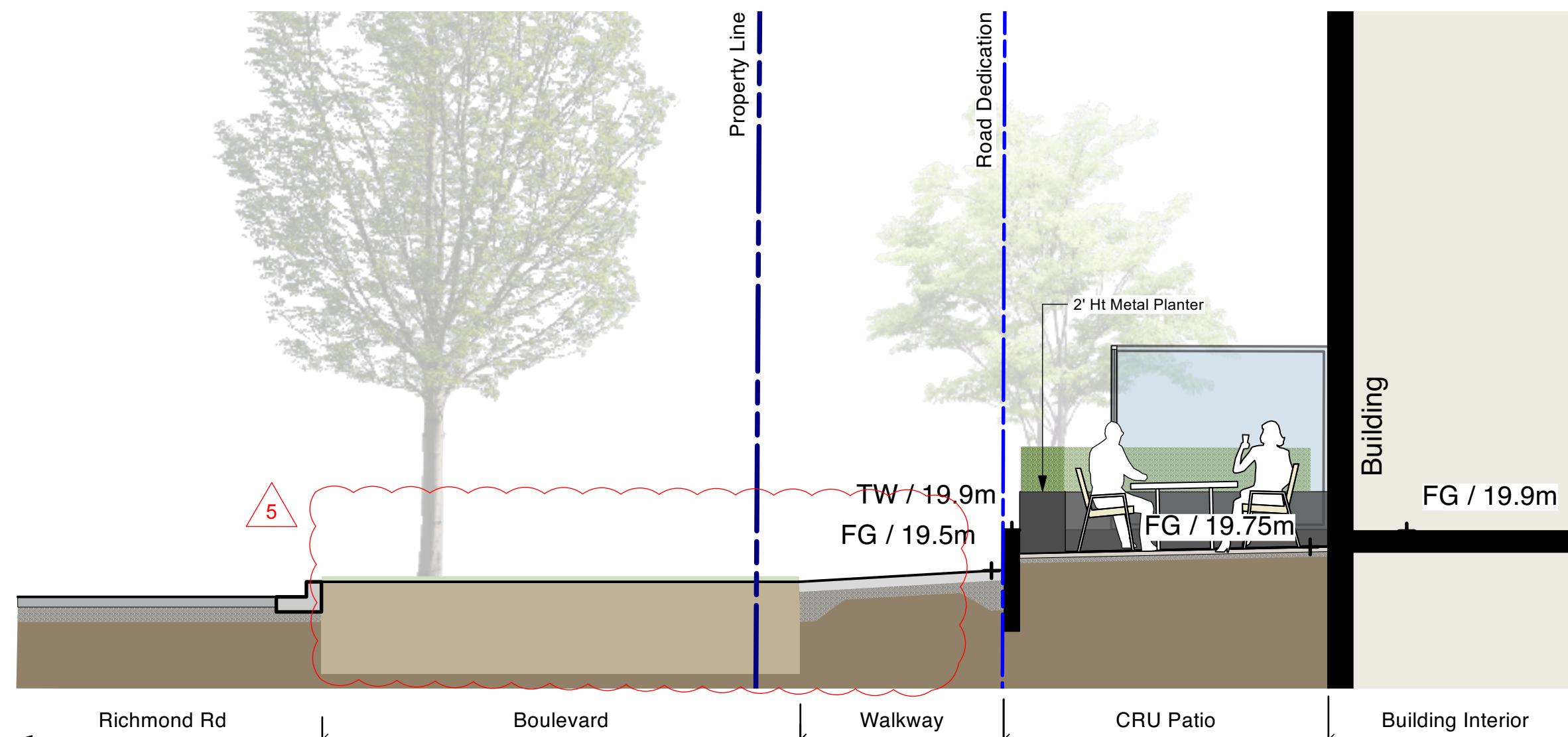
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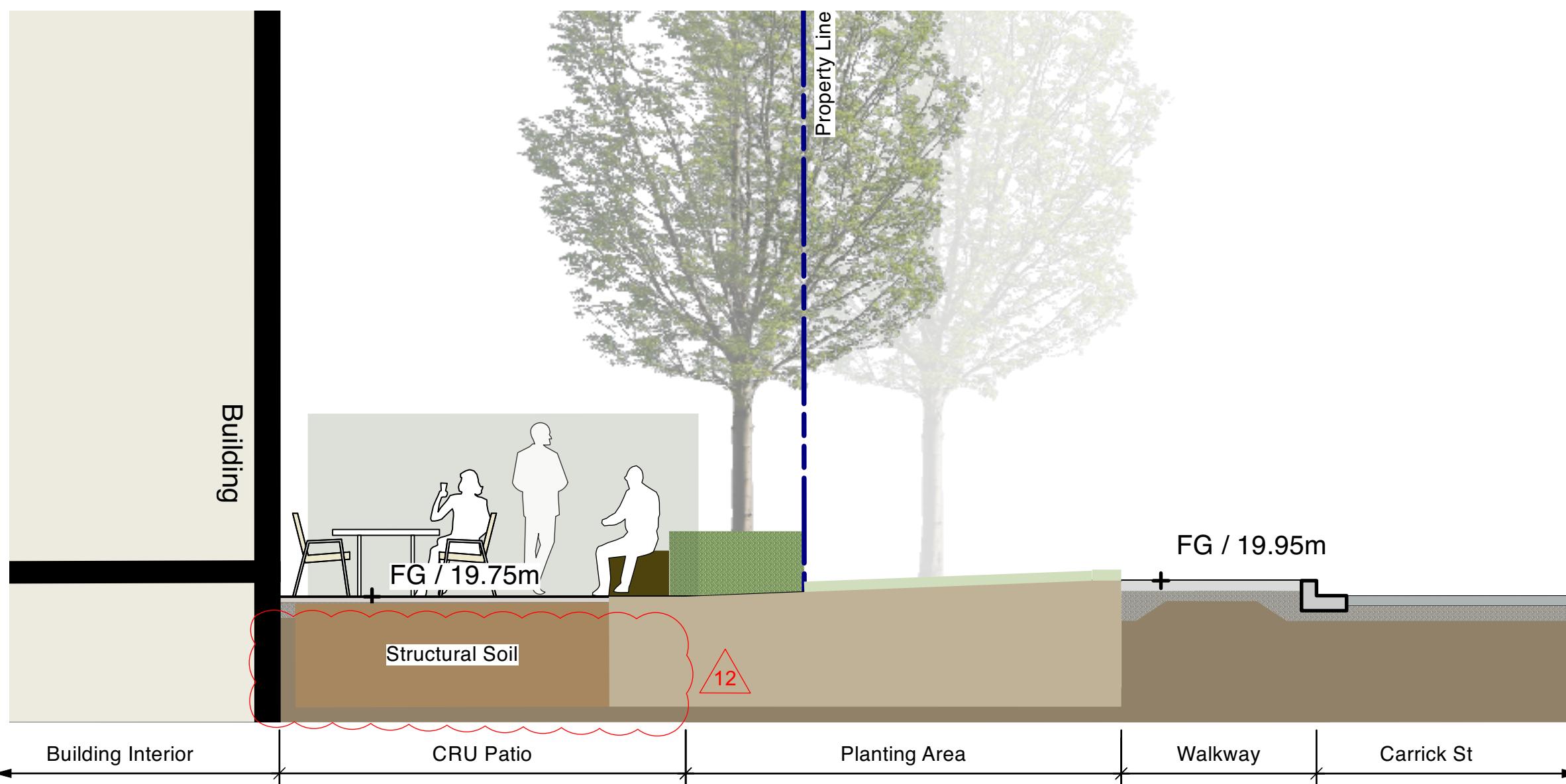




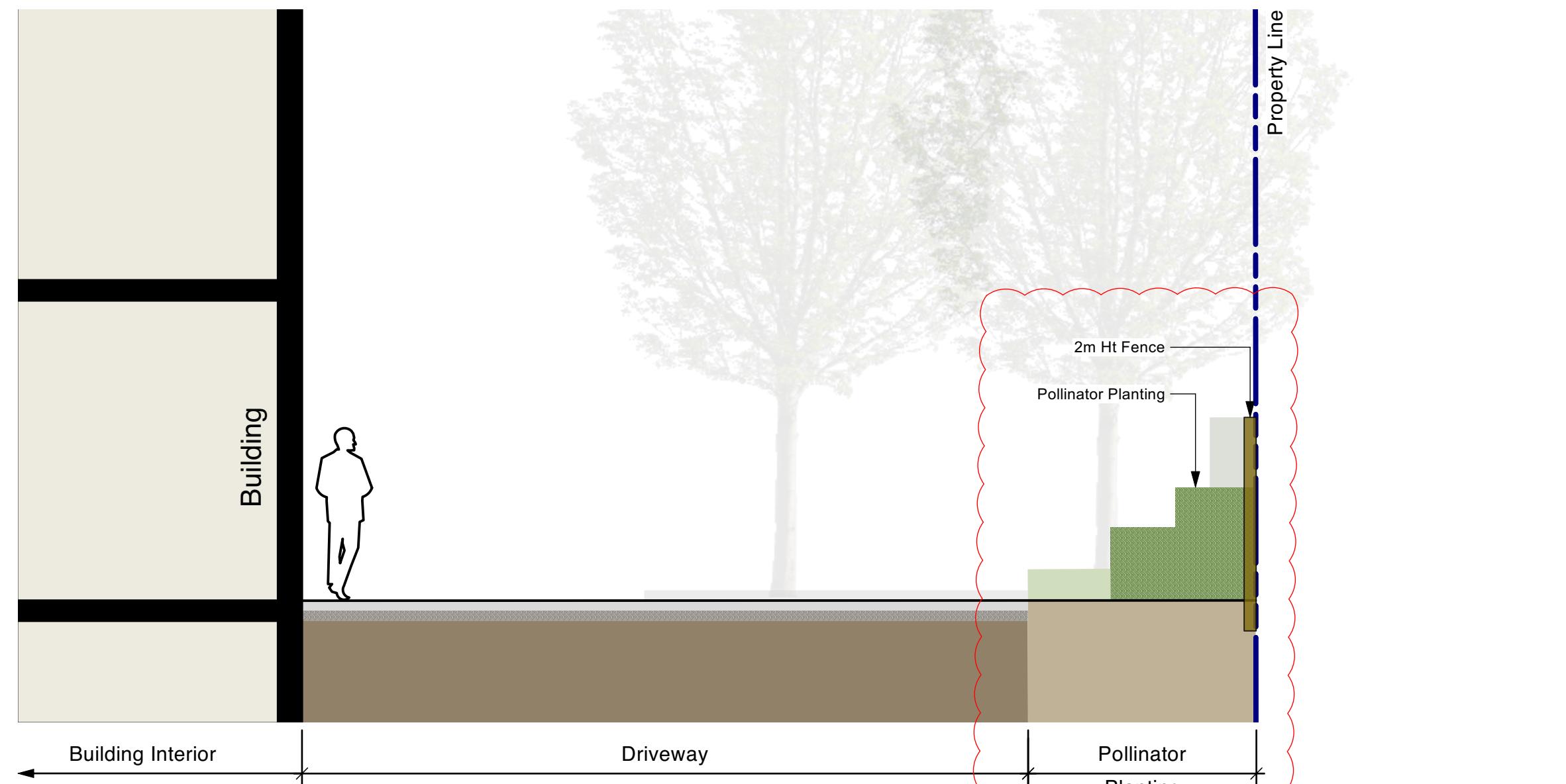
1 SECTION 1 : BUILDING TO RICHMOND ROAD
L-2.01 Scale = 1:50



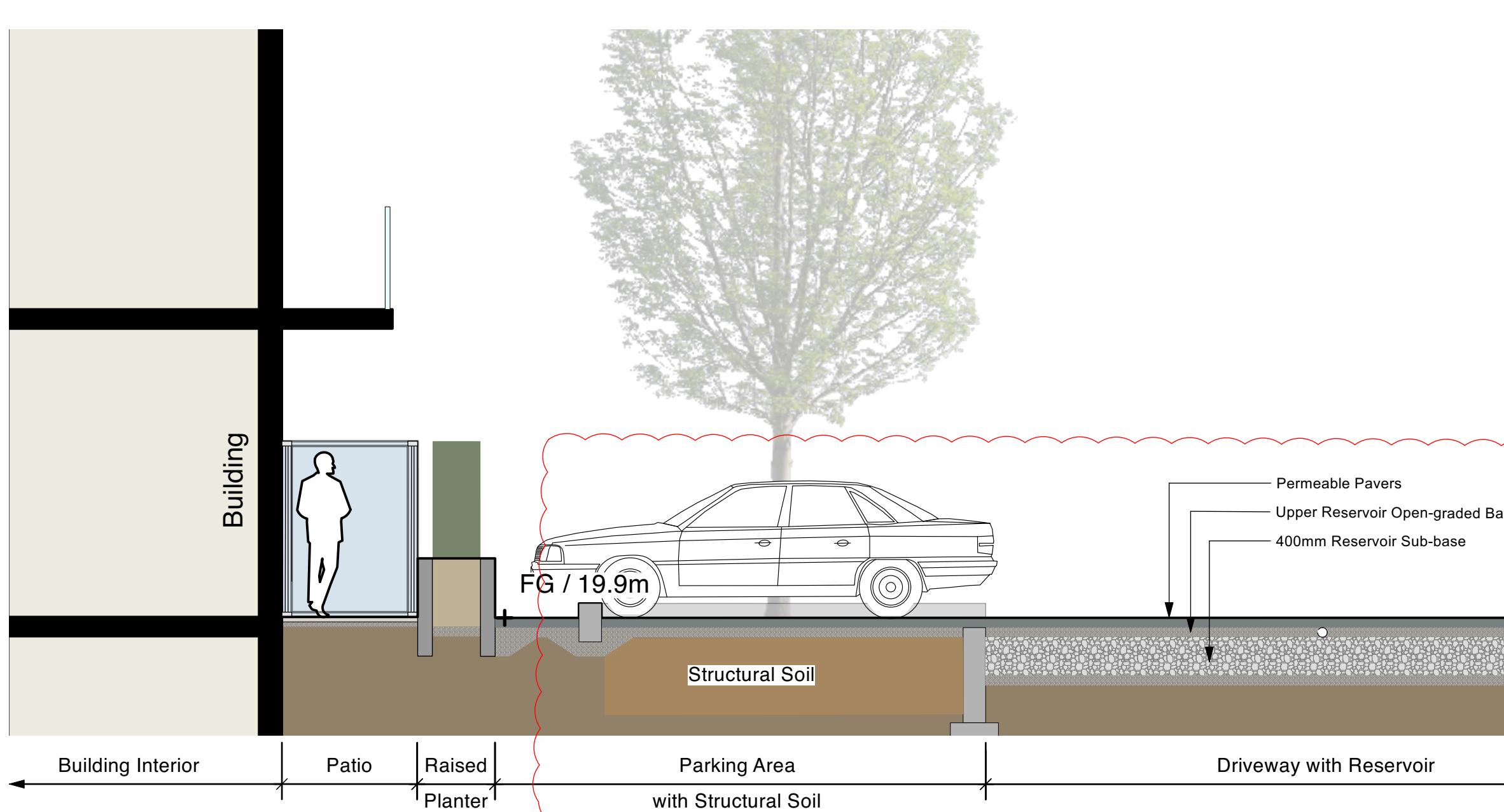
2 SECTION 2 : CRU TO RICHMOND ROAD
L-2.01 Scale = 1:50



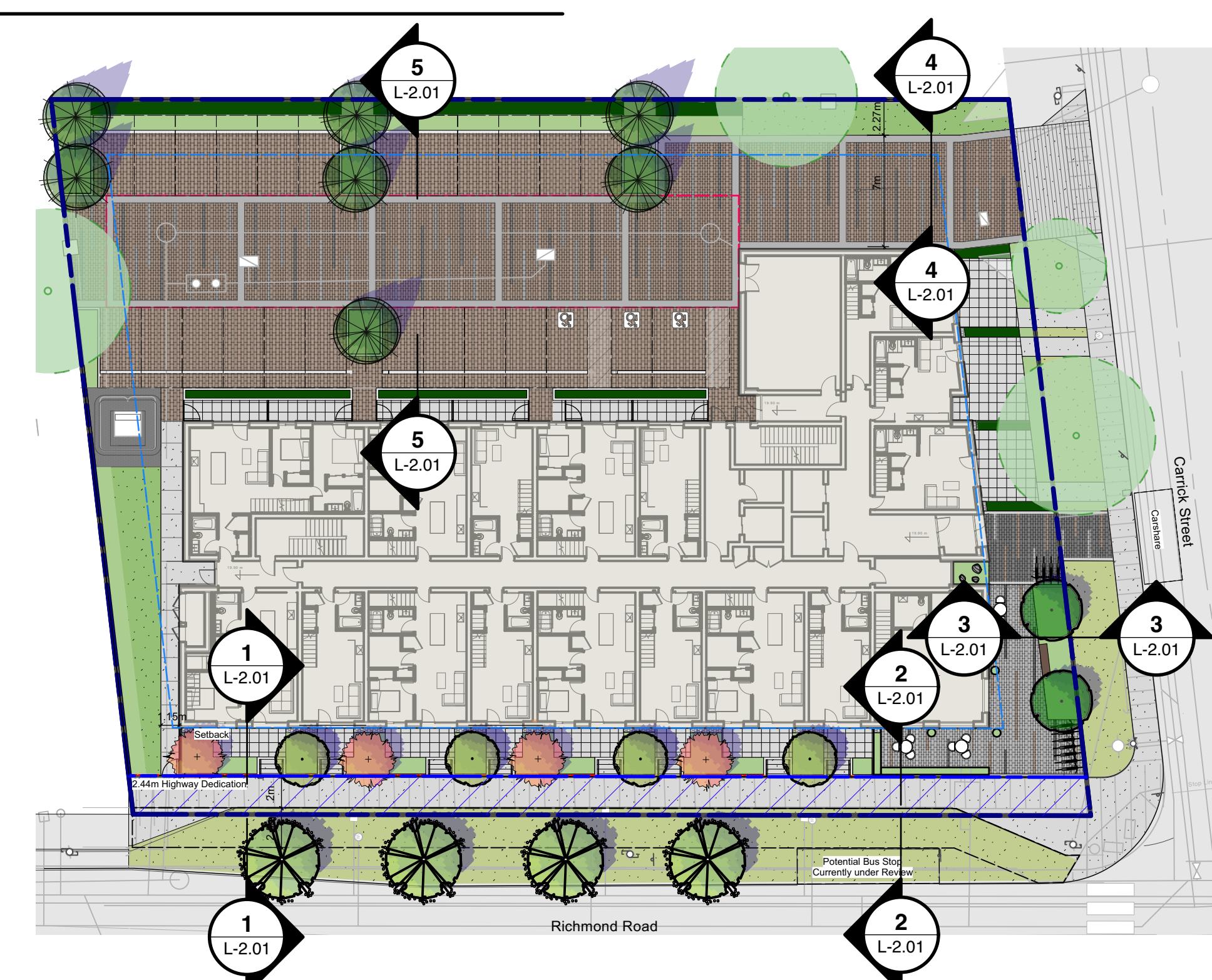
3 SECTION 3 : CRU TO CARRICK STREET
L-2.01 Scale = 1:50



4 SECTION 4 : DRIVEWAY
L-2.01 Scale = 1:50



5 SECTION 5 : PARKING AREA
L-2.01 Scale = 1:50



2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by: KY
Checked by: SV
Date: 06 MAR 2025
Scale: 1:50
Drawing Title:

SECTION 1

Project No.:
25016
Sheet No.:

L-2.01



3 2025-09-26 Issued for RZ/DP Resubmission
2 2025-06-13 Issued for RZ/DP Application
1 2025-05-08 Issued for Development Tracker

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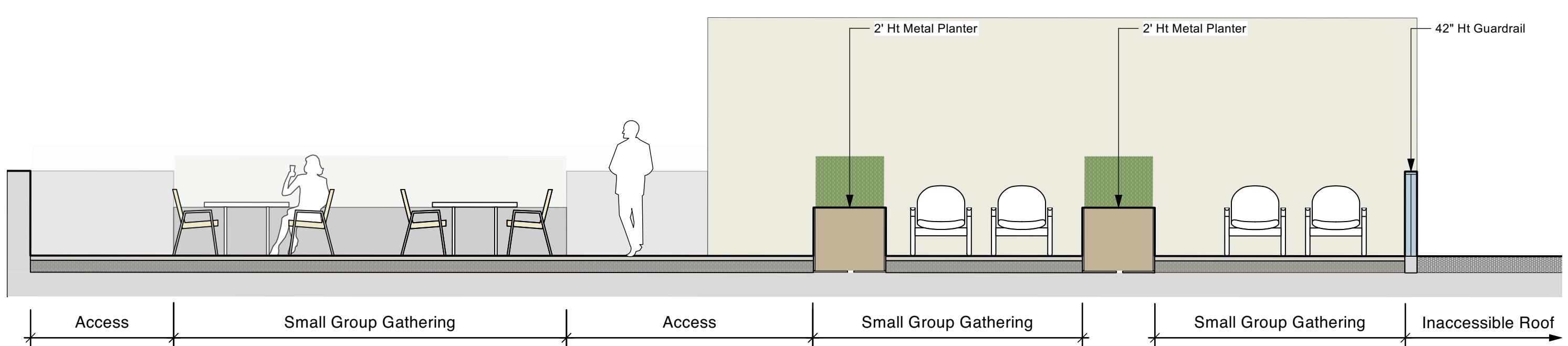
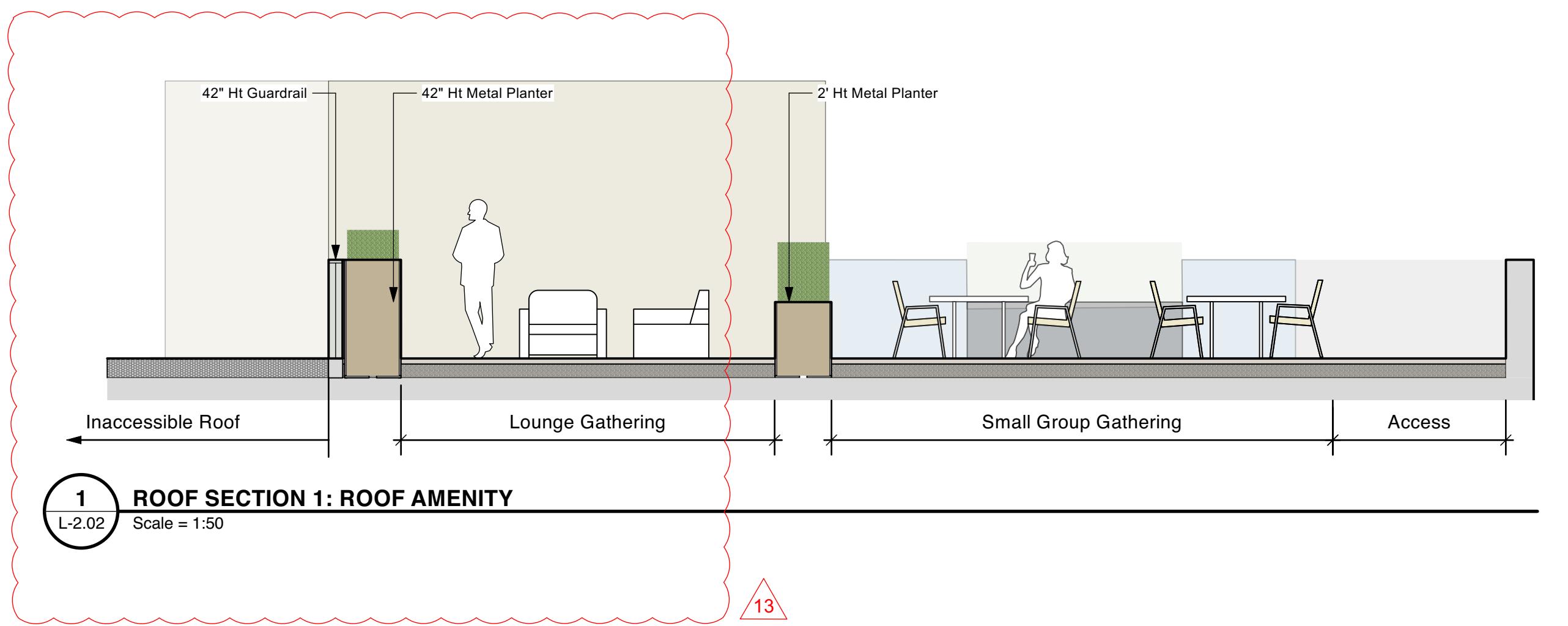


dk

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Project:

Residential Development

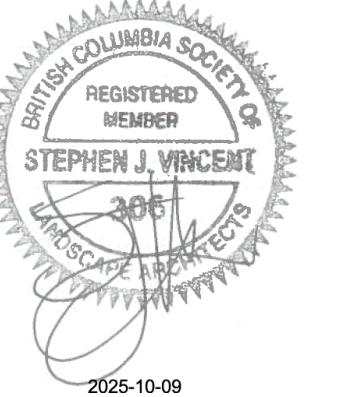


3 2025-09-26 Issued for RZ/DP Resubmission
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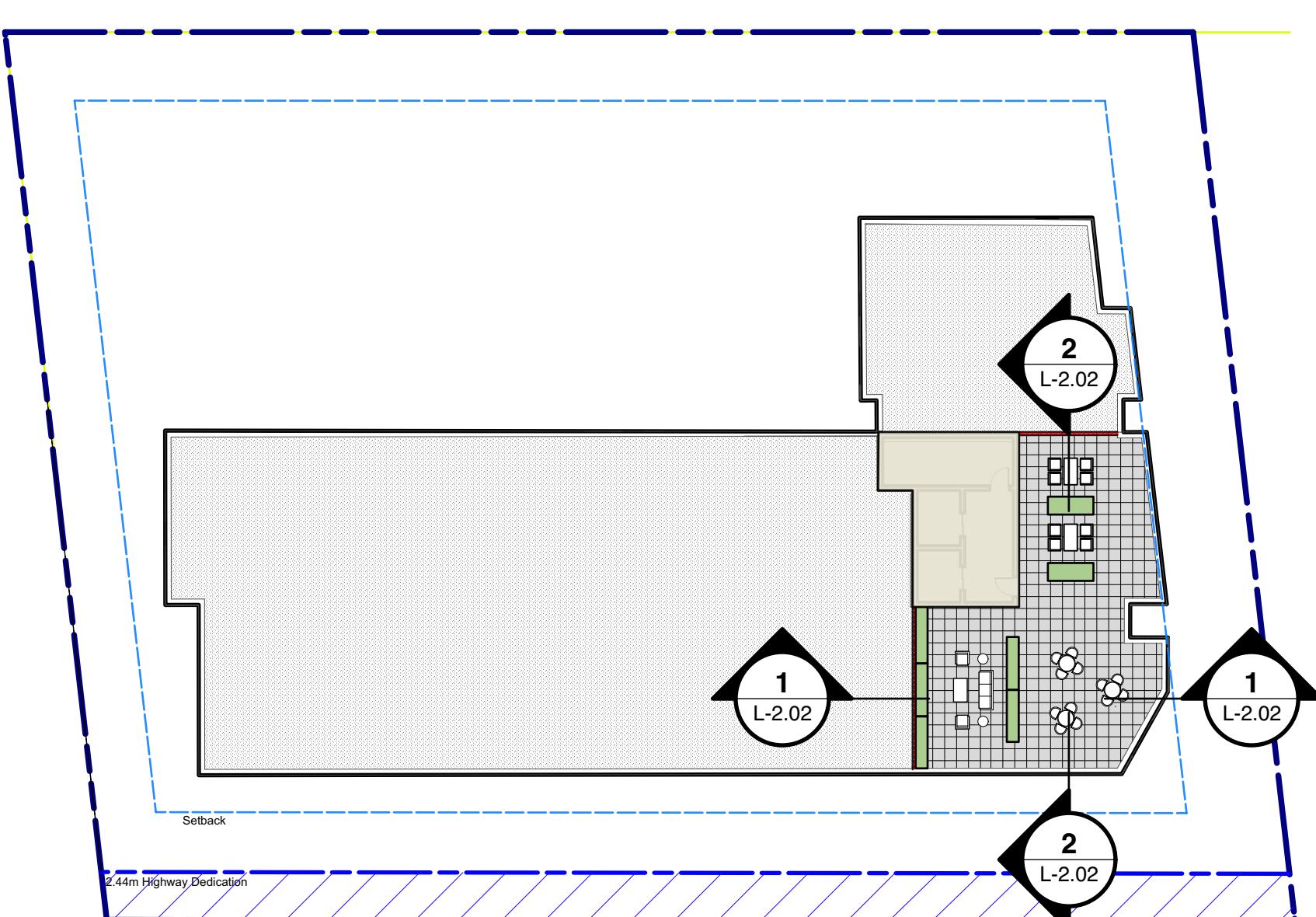
Project:

Residential Development

2612, 2616, 2620, 2628
 Richmond Road, Victoria

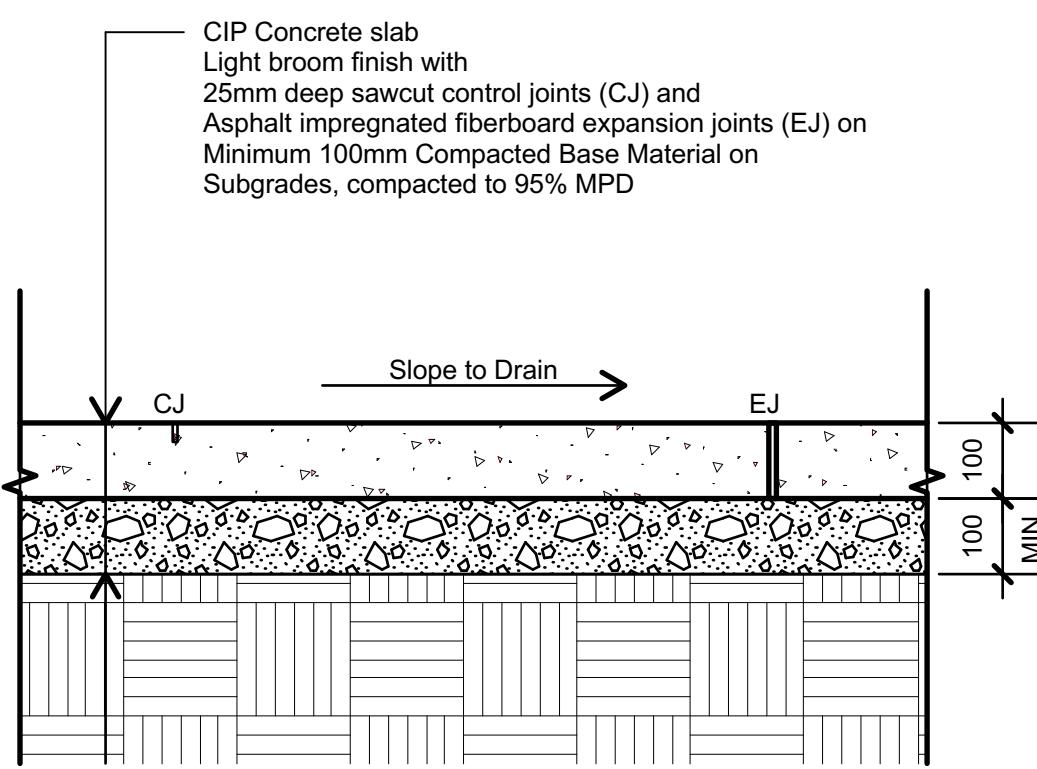
Drawn by: KY
 Checked by: SV
 Date: 06 MAR 2025
 Scale: 1:50
 Drawing Title:

SECTION 2



Project No.: 25016
 Sheet No.:

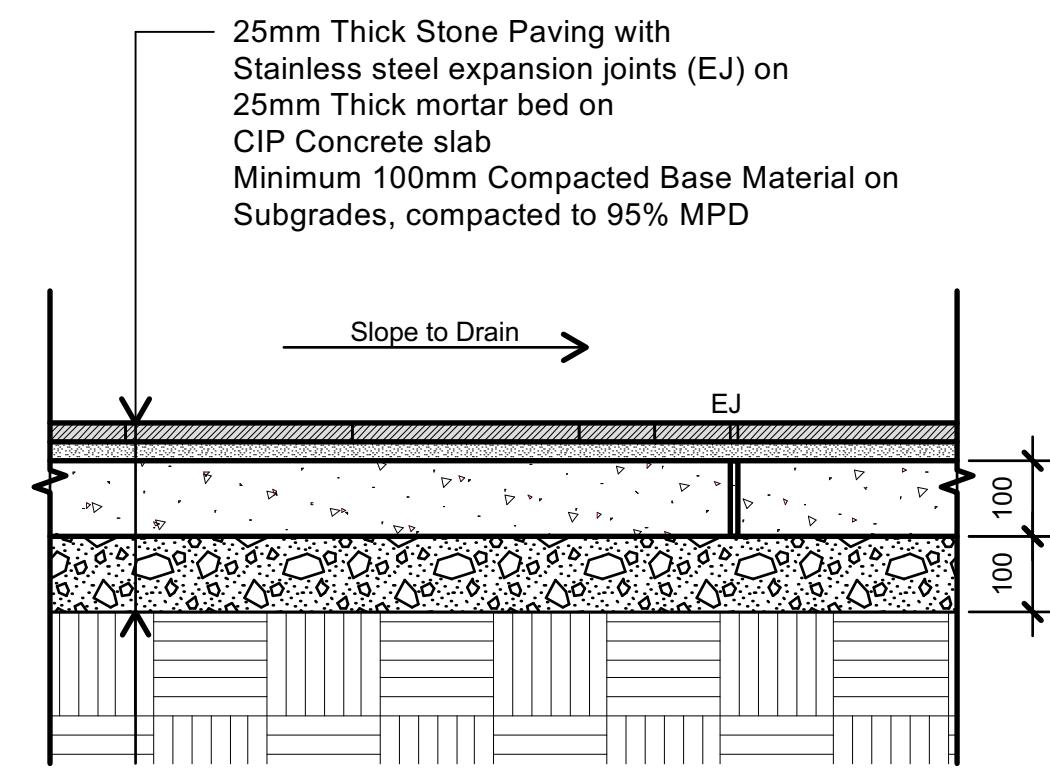
L-2.02



1 CIP CONCRETE - ON GRADE

L3.01

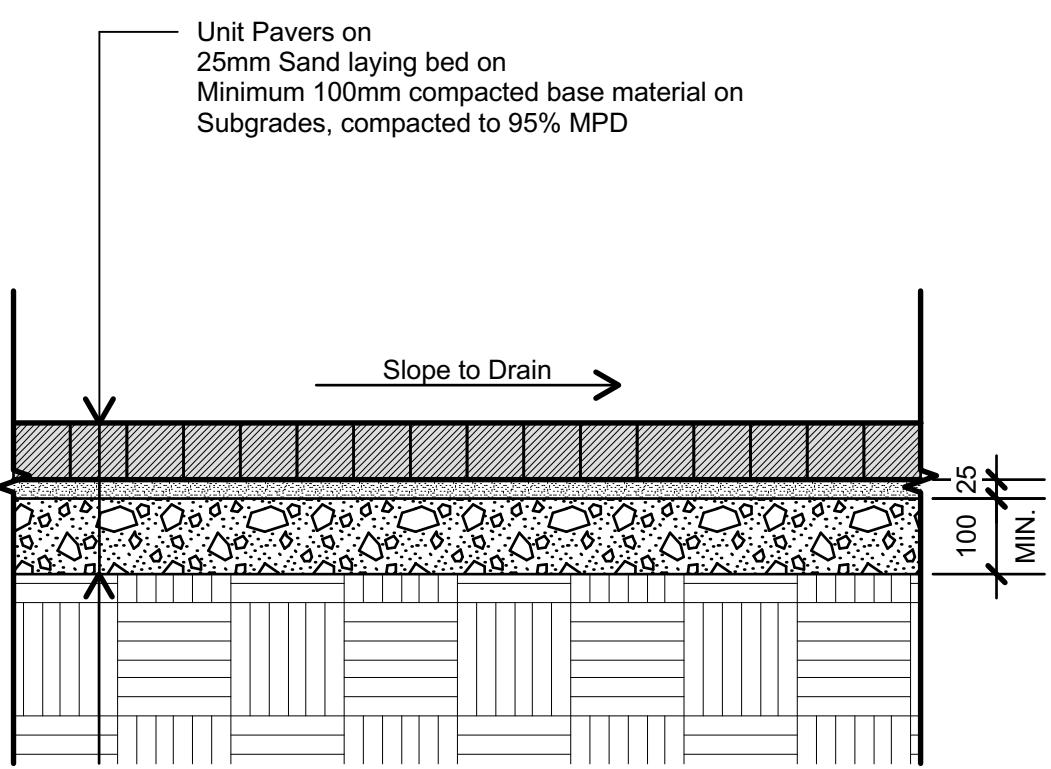
CIP Concrete slab
Light brown finish with
25mm deep sawcut control joints (CJ) and
Asphalt impregnated fiberboard expansion joints (EJ) on
Minimum 100mm Compacted Base Material on
Subgrades, compacted to 95% MPD



2 STONE PAVING - ON GRADE

3.01

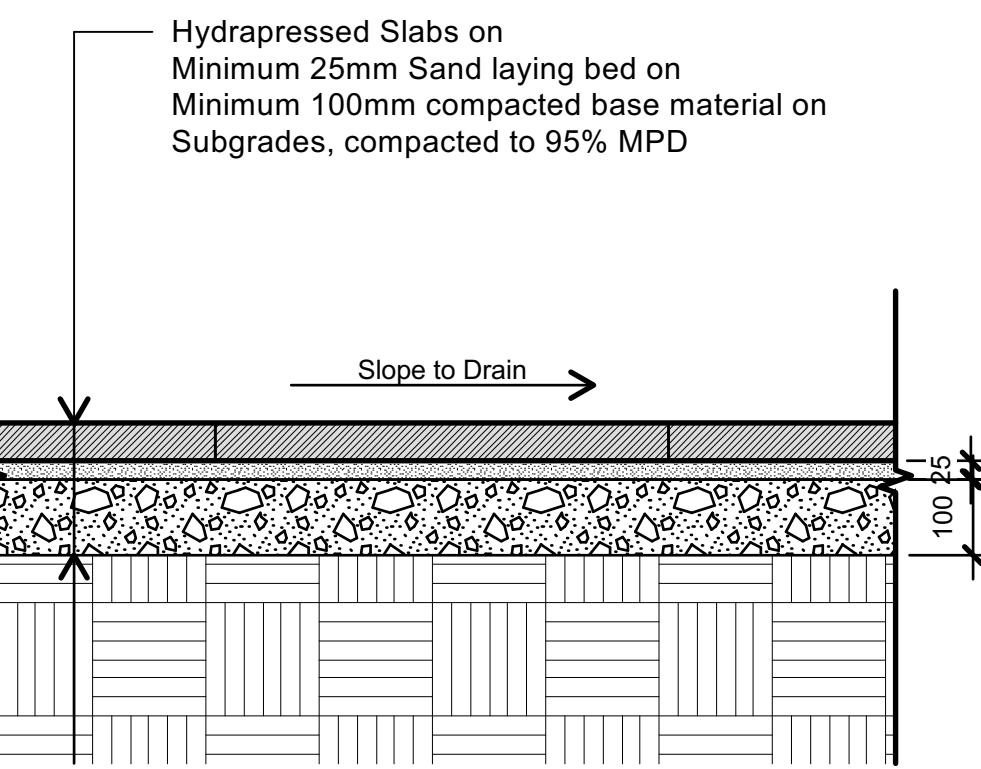
25mm Thick Stone Paving with
Stainless steel expansion joints (EJ) on
25mm Thick mortar bed on
CIP Concrete slab
Minimum 100mm Compacted Base Material on
Subgrades, compacted to 95% MPD



3 UNIT PAVERS - ON GRADE

3.01

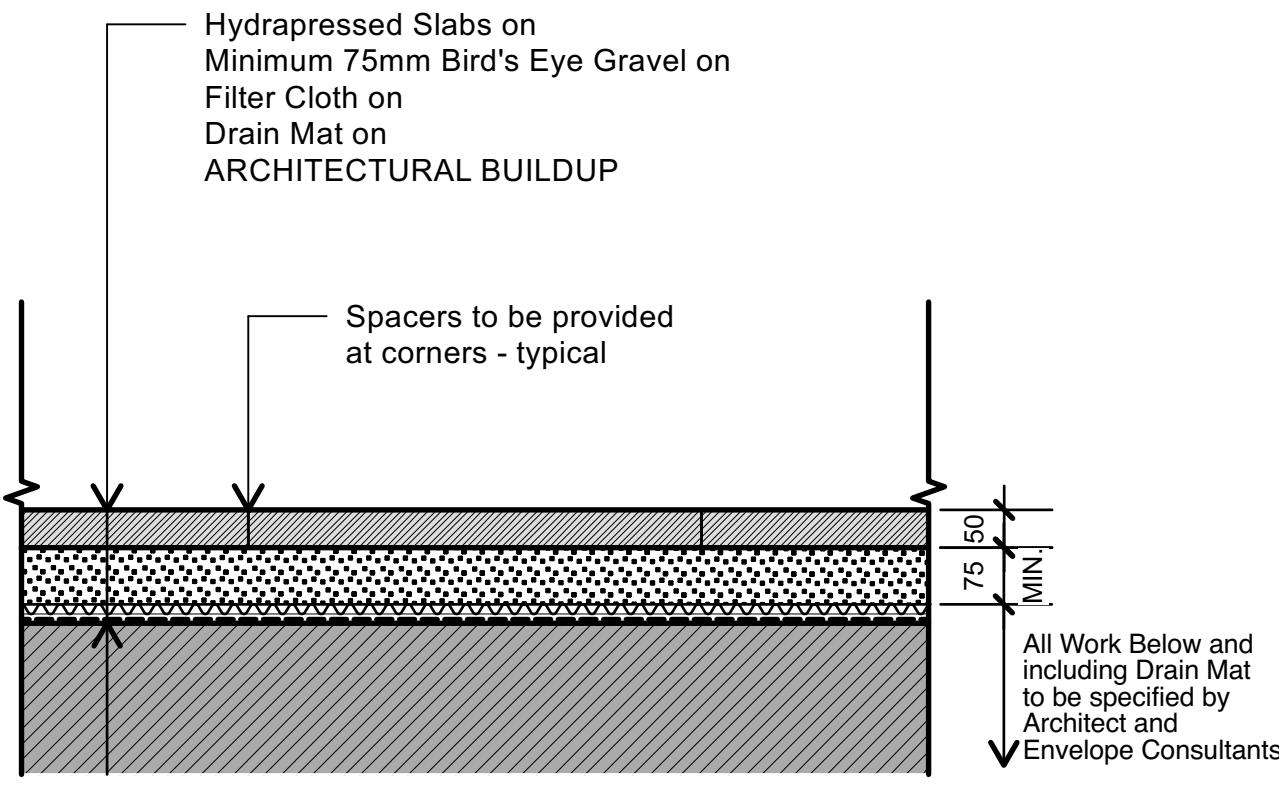
Unit Pavers on
25mm Sand laying bed on
Minimum 100mm compacted base material on
Subgrades, compacted to 95% MPD



4 HYDRORESSED SLABS - ON GRADE

3.01

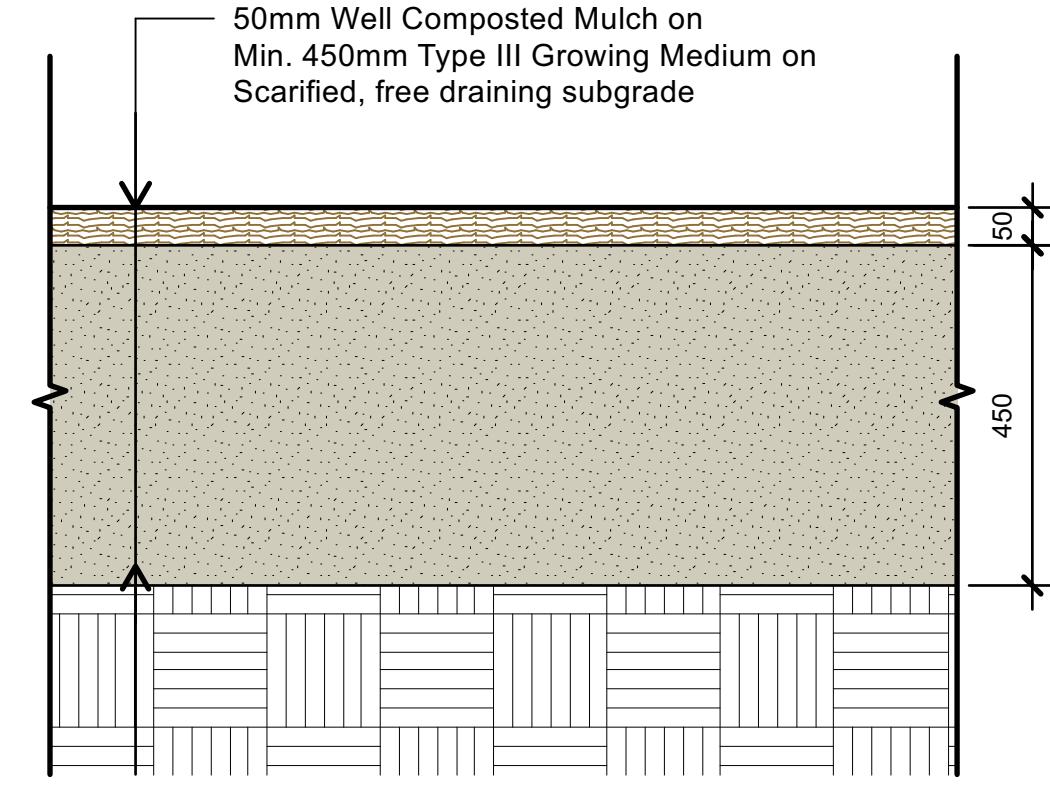
Hydropressed Slabs on
Minimum 25mm Sand laying bed on
Minimum 100mm compacted base material on
Subgrades, compacted to 95% MPD



5 HYDRORESSED SLABS - ON SLAB

3.01

Sand Based Sod Lawn on
High Traffic Lawn Growing Medium on
Scarified Compacted subgrade



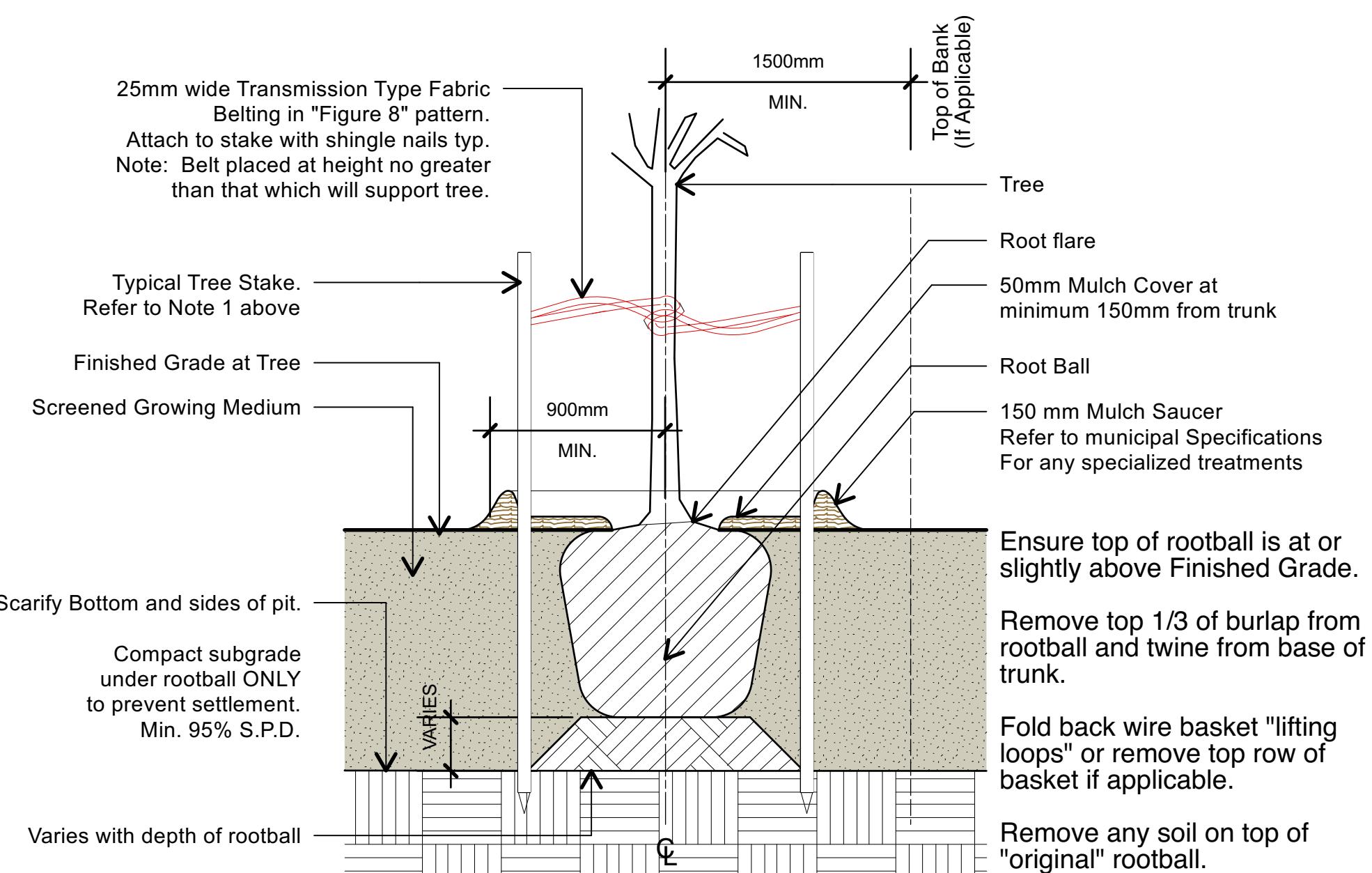
6 PLANTING - ON GRADE

3.01

50mm Well Composted Mulch on
Min. 450mm Type III Growing Medium on
Scarified, free draining subgrade

TREE PLANTING NOTES

1. All street trees to be staked with 2 - 100mm Ø x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
2. Do not cut Tree Leader.
3. Ensure tree location does not conflict with Underground Services. "Call before digging".
4. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
5. Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



7 SOD LAWN - ON GRADE

L3.01

Sand Based Sod Lawn on
High Traffic Lawn Growing Medium on
Scarified Compacted subgrade

Depth	10 Cubic Meter - Soil Volume			5 Cubic Meter - Soil Volume		
	Growing Medium Subgrade (mm)	Area (m²)	SQUARE Size of Surface	CIRCLE Size of Surface	Area (m²)	SQUARE Size of Surface
450	22.10	4.7m x 4.7m	7.05 M Ø	11.11	3.3m x 3.3m	3.80 M Ø
600	16.80	4.1m x 4.1m	5.17 M Ø	8.33	2.9m x 2.9m	3.25 M Ø
750	13.70	3.7m x 3.7m	4.36 M Ø	6.67	2.6m x 2.6m	2.90 M Ø

8 TYPICAL TREE PLANTING

3.01

Scale = 1:10

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Residential Development

**2612, 2616, 2620, 2628
Richmond Road, Victoria**

Drawn by: KY

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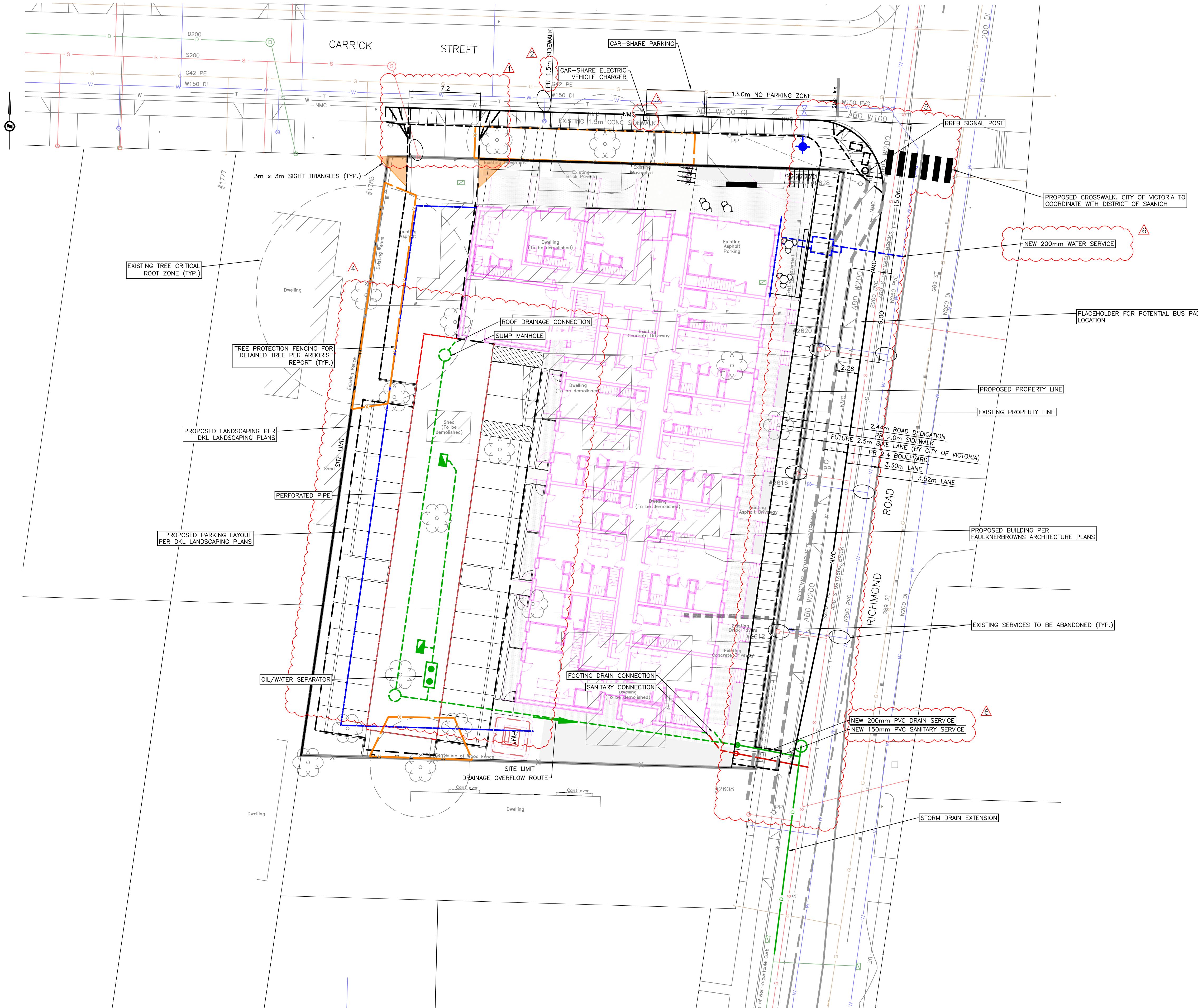
DETAILS

Project No.:

25016

Sheet No.:

L-3.01



2612-2628 RICHMOND ROAD
PRELIMINARY SITE SERVICING

Scale horiz. 1:200 Scale N/A

Sheet 1 of 1

Eng. Project No. 34719

Drafted by. MP

J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com



ISSUED	
3	REISSUED FOR RZ/DP APPLICATION
2	ISSUED FOR RZ/DP APPLICATION
1	ISSUED FOR DEVELOPMENT TRACKER
NO.	DESCRIPTION
	YYYYMMDD

0	4	12m
LEGEND		
LAMP STANDARD		