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Richmond Rd Perspective View

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Victoria, BC V8W 1E4

Primary Contact: Chris Raudoy

RESUBMISSION FOR REZONING & DEVELOPMENT PERMIT

2025-09-26


PROJECT ADDRESS

2612, 2616, 2620, 2628 Richmond Rd
Victoria, BC

DRAWING LIST

ARCHITECTURAL

- A-000000 Cover Page
- A-000001 Project Data & Site Plan
- A-000002 Perspective Views
- A-000004 Perspective Views
- A-000005 Legal Survey
- A-011000 Level P1
- A-011010 Level 01 Plan
- A-011011 Level Mezz Plan
- A-011020 Level 02 Plan
- A-011030 Level 03 Plan
- A-011040 Level 04 Plan
- A-011050 Level 05 Plan
- A-011060 Level 06 Plan
- A-011061 Roof
- A-011100 Area Plans
- A-011111 Zoning Calculations
- A-011112 Zoning Calculations
- A-012001 Section 01
- A-012002 Section 02
- A-013001 Elevation (N)
- A-013002 Elevation (S)
- A-013003 Elevation (E)
- A-013004 Elevation (W)
- A-013006 Context Elevations
- A-014010 Shadow Study
- A-014011 Spatial Setback



Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

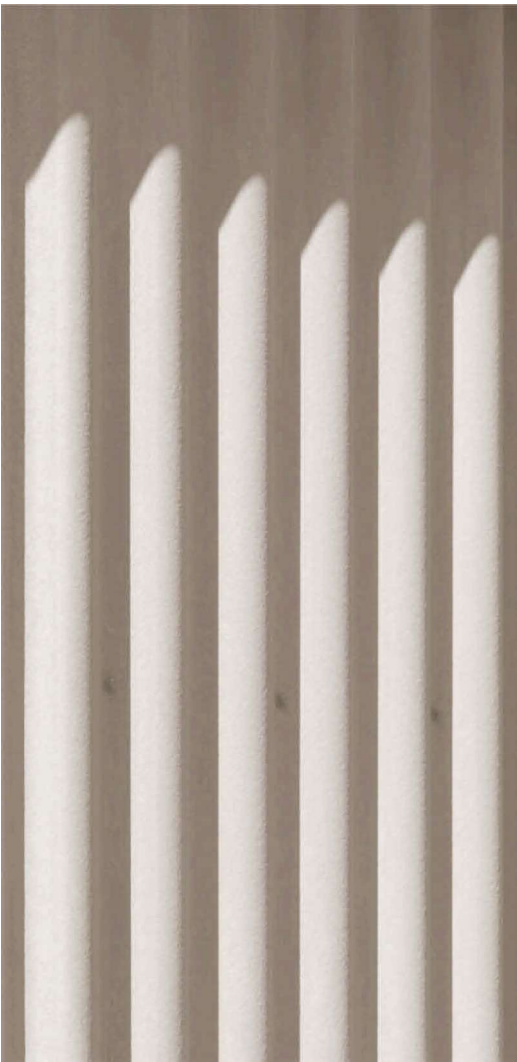
Received Date

October 16, 2025

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2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Cover Page				
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Richmond Rd Perspective View



Textured Finish
Fibre Cement Panels



Smooth Finish
GFRC Panels



Accent Colour
Railings, windows and doors



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2612 ~ 2628 Richmond Road, Victoria				
Drawing Name:				
Perspective Views				
Drawing Station:				
PLANNING				
Project No:	Date	Scale:	Drawn:	Checked:
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Carrick St View

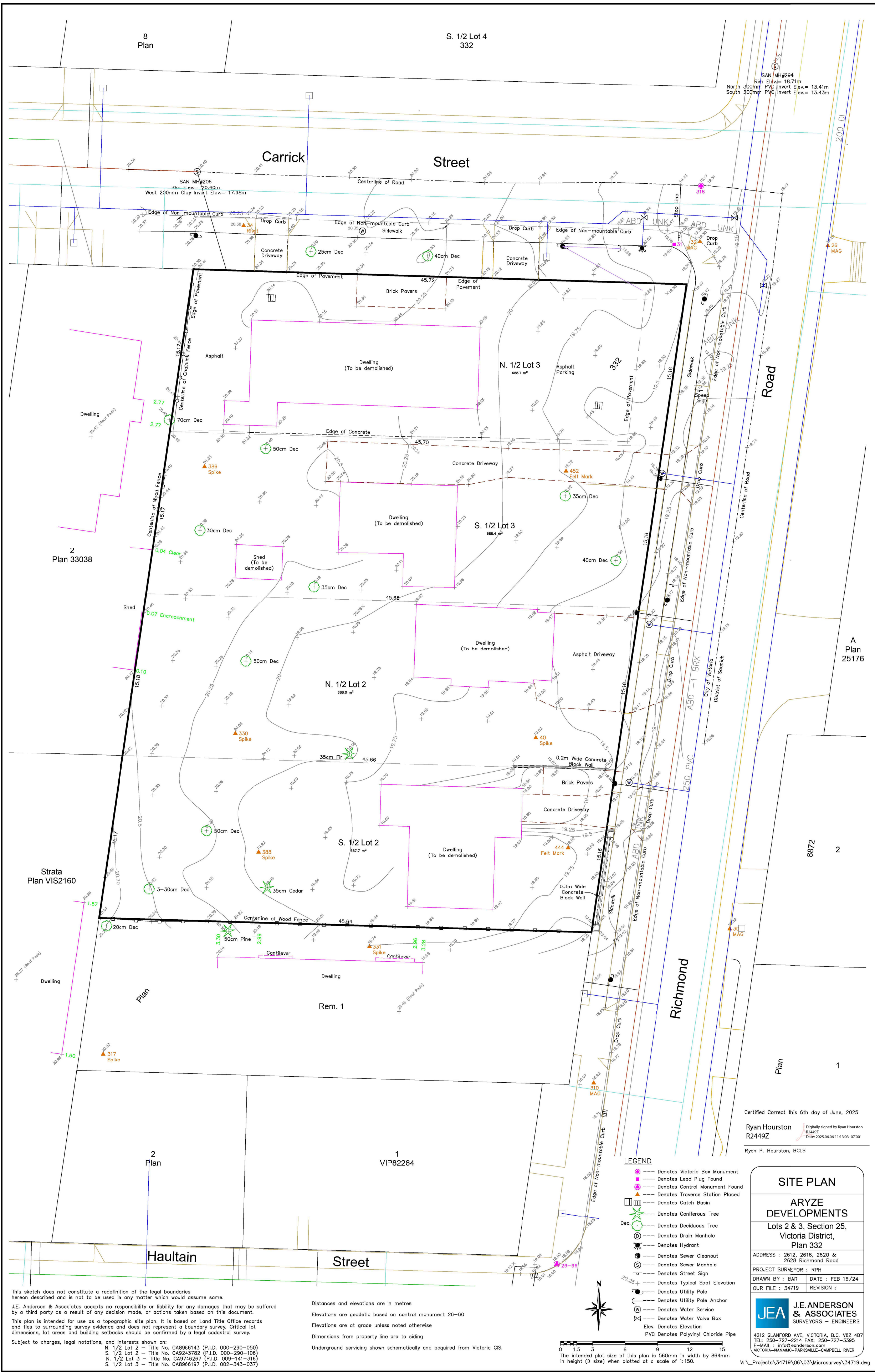


Carrick St Elevation

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Drawing Name:				
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Drawing No: **A-000005**
Project Name: **2612 - 2628 Richmond Road, Victoria**

Legal Survey
Drawing Status: **PLANNING**

Project No: **4153-C** Date: **HN** Scale: **KB**



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Legend

0.00 m
19.90m ● Proposed Grade

0.00 m
0.00 m ◉ Existing Grade

PROJECT INFORMATION TABLE		
Current Use	SFD/DUPLEX/OFFICES	
Proposed Use	Rental Housing	
Proposed Scope of Work	100 Units - Purpose Built Mixed-Use Rental Housing	
Location and Siting of Uses and Structures	Proposed	Zone Standard
First storey non-residential use	Yes	
Minimum one criteria must apply if first storey non-residential use proposed	Yes - Corner Lot	
Floor Area Occupied by Dwelling Units (%)	>50.00	
Number of buildings	1	
Dwelling unit size (m ²)(min.)	34	
3-bedroom units (%) (min.)	6	
2-bedroom units (%) (min.)	20	
Operable bedroom window (min. size)	440 mm	

Site Planning		
Zone (existing)	C1-CR Commercial-Residential District	
	R1-B Single Family Site Dwelling District	
Lot area	2603 m ²	
Lot area + road dedication	2750 m ²	
Street Frontage	45.72	
Gross floor area (m2)	6388.98 m ²	
Floor space ratio	2.4	
Open lot space (%) pre road dedication	75%	
Soft Landscaping	66.50%	min 50%
Hard Landscaping	33.00%	max 50%
Lot Coverage (%) post road dedication	48%	max 55%
Landscape Area (%) post road dedication (184 m ²)	7%	
Landscape Area (%) pre road dedication (216 m ²)	8%	
Above and below ground structures	n/a	

Building Data		
Average grade (m)	19.7	
Height (m)	20.2	
Number of storeys	6	
Balcony Projection	1.8 m	2.0 m
Underground Parkade Projection	n/a	
Setback to residential unit stiar	2.35 m, 2.65 m	4.0 m

Building Setbacks		
Front Yard (Carrick)	4.5 m	4.0 m
Front Yard (Richmond)	5.5 m	4.0 m
Rear Yard	9.5 m	8.0m or 25% of Lot Depth
Side Yard (not a primary façade)	3.5m	ii. 9.0m to a Primary Façade above 4 Storeys iv. 3.0m to all other façades above 4 Storeys

Residential Use details		
Total number of units	100	
Unit Types	Studio, 1B, 1B+Den, 2B, 3B	
Ground-oriented units	16	
Minimum unit floor area (m2)	34 m ²	
Total residential floor area	5391.58 m ²	

Rooftop Structure		
Projection (into height)		
Parapets	0.8m	1
Rooftop Structure	3.5m	5
Roof area coverage (%) (max)	5.46%	3
Setback from edge (m) (min)	10.97m, 8/6 m, 8.5m, 36.4m	

Vehicle Parking (min.)		
Residency	26	
Parking Total	0	
Commercial	20	
Residential	1	
Accessible - standard visitor	1	
Accessible - van visitor	1	
Height clearance	n/a	
Drive aisle grade (%) max	0%	
Driveway grade (%)	2%	
Driveway/ parking materials	Hard Surface	
Electric charging - Residential	0.04	
Electric charging - Commercial	0	

Bicycle Parking (min.)		
Long Term Total (Secure)	140	
Location - Long Term	P1 - Bicycle Storage	
Long term ceiling clearance	2560 mm	
Door entry width	900 mm	
Aisle Width	1.5 m	min 1.5 m
Ground anchored (%) min	70%	min 50%
Short Term (Visitor)	10	
Commercial Short Term	1	
Commercial Long Term	1	
Location - Short Term	Surface <15m from entrance	
Horizontal Ground Mounted	98	
Stacked	42	
Cargo	21	

UNIT MIX								
	L01	L02	L03	L04	L05	L06	Total	%
Studio		7	7	7	3	3	27	27%
1B	9	1	1	2	5	5	23	23%
1B+Den		7	7	6	2	2	24	24%
2B	1	2	2	2	4	4	15	15%
2B+D	5						5	5%
3B	1	1	1	1	1	1	6	6%
Total	16	18	18	18	15	15	100	100%



1 SITE PLAN

1 : 200

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Rev. Date Description Issued by Checked by

Drawing No: A-000001 Rev: P03

Project Name: 2612 - 2628 Richmond Road, Victoria

Drawing Name: Project Data & Site Plan

Drawing Status: PLANNING

Project No: 4153-C Scale: As indicated HN Drawn: KB Checked:

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608-318 Homer St
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faulknerbrowns.com

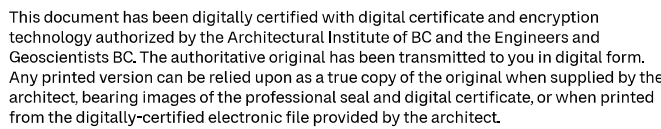
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Drawing No:
A-011000

Project Name: 2612 - 2628 Richmond Road, Victoria

Level P1

PLANNING

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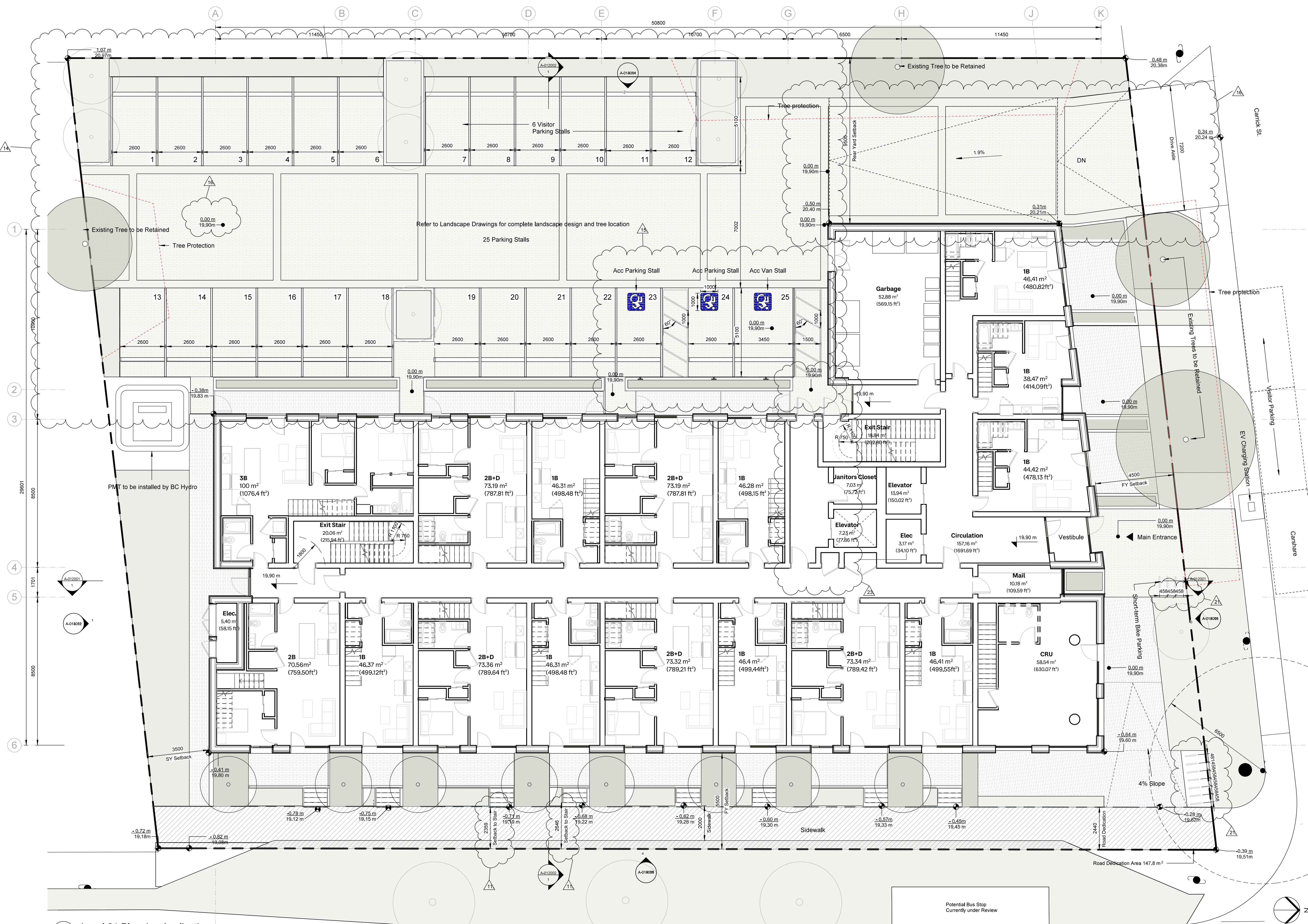
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Drawing No: **A-011010**
Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Level 01 Plan**

PLANNING

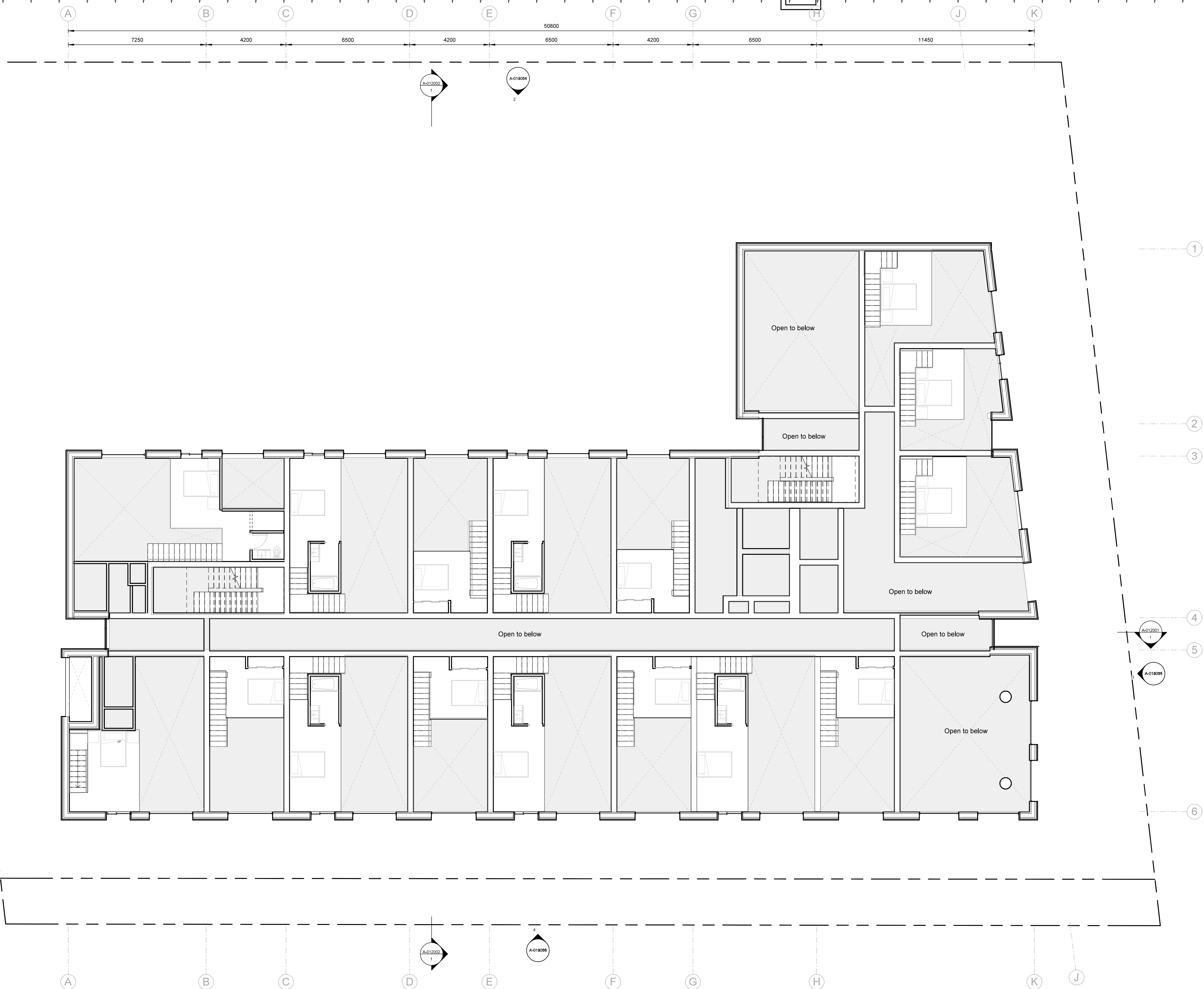
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1 Level 01 Planning Application
1:100

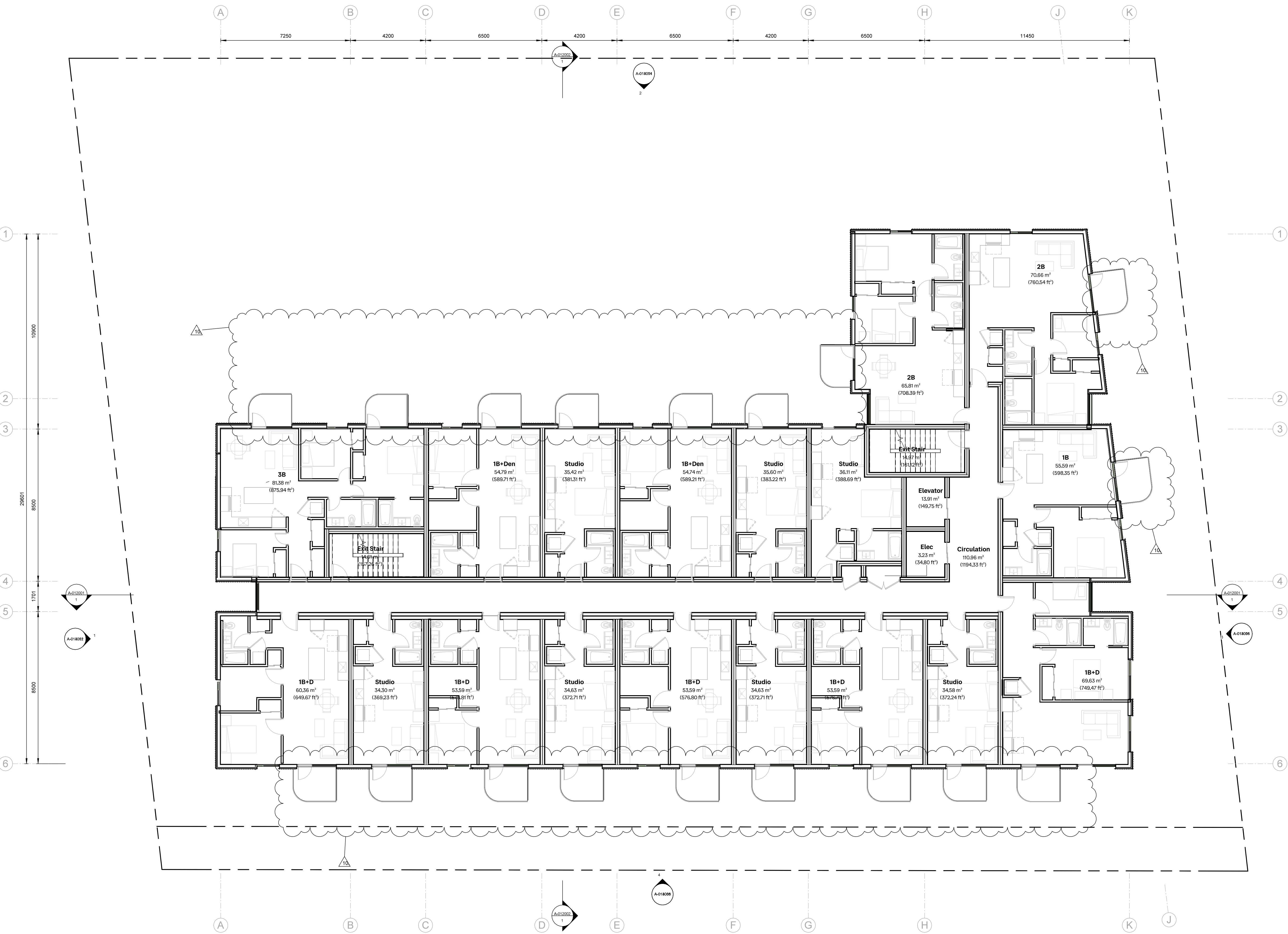


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1 Level 02 Plan

1:100

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Drawing No:
A-011020

Rev:
P03

Project Name:
2612 - 2628 Richmond Road, Victoria

Drawing Name:
Level 02 Plan

Drawing Status:
PLANNING

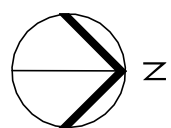
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1 Level 03 Plan
1:100



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1 Level 04 Plan
1:100

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Drawing No: **A-011040**
Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Level 04 Plan**

Drawing Status: **PLANNING**

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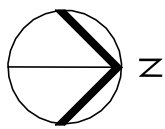


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1 Level 05 Plan

1:100



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Project Name: **2612 - 2628 Richmond Road, Victoria**

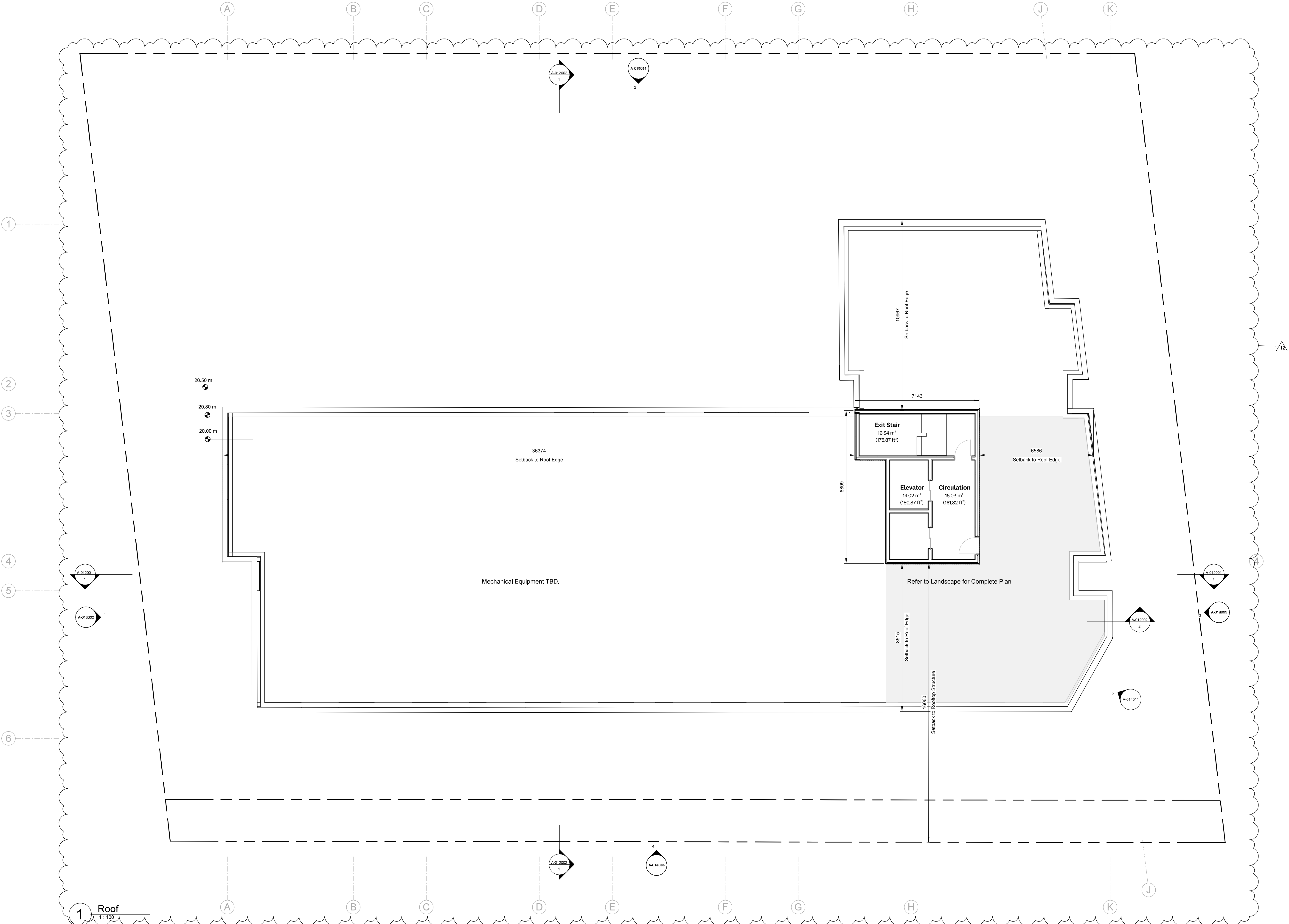
Drawing Name: **Level 06 Plan**

Drawing Status: **PLANNING**

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Drawing No: **A-011061** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Roof**

Drawing Status: **PLANNING**

Project No:	Date:	Scale:	Drawn:	Checked:
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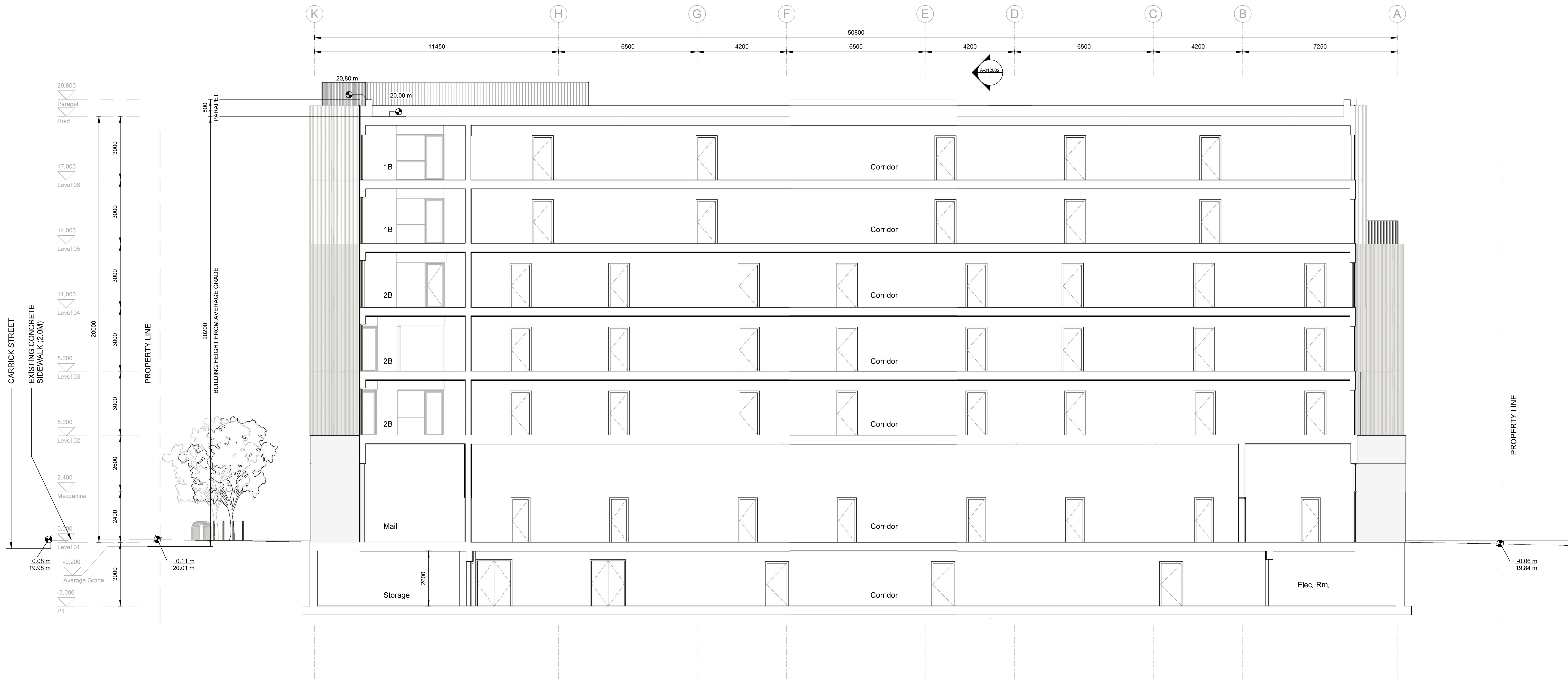
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1 NS Section
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Rev.	Date	Description

Drawing No:	Rev:
A-012001	P03

Project Name:
2612 ~ 2628 Richmond Road, Victoria

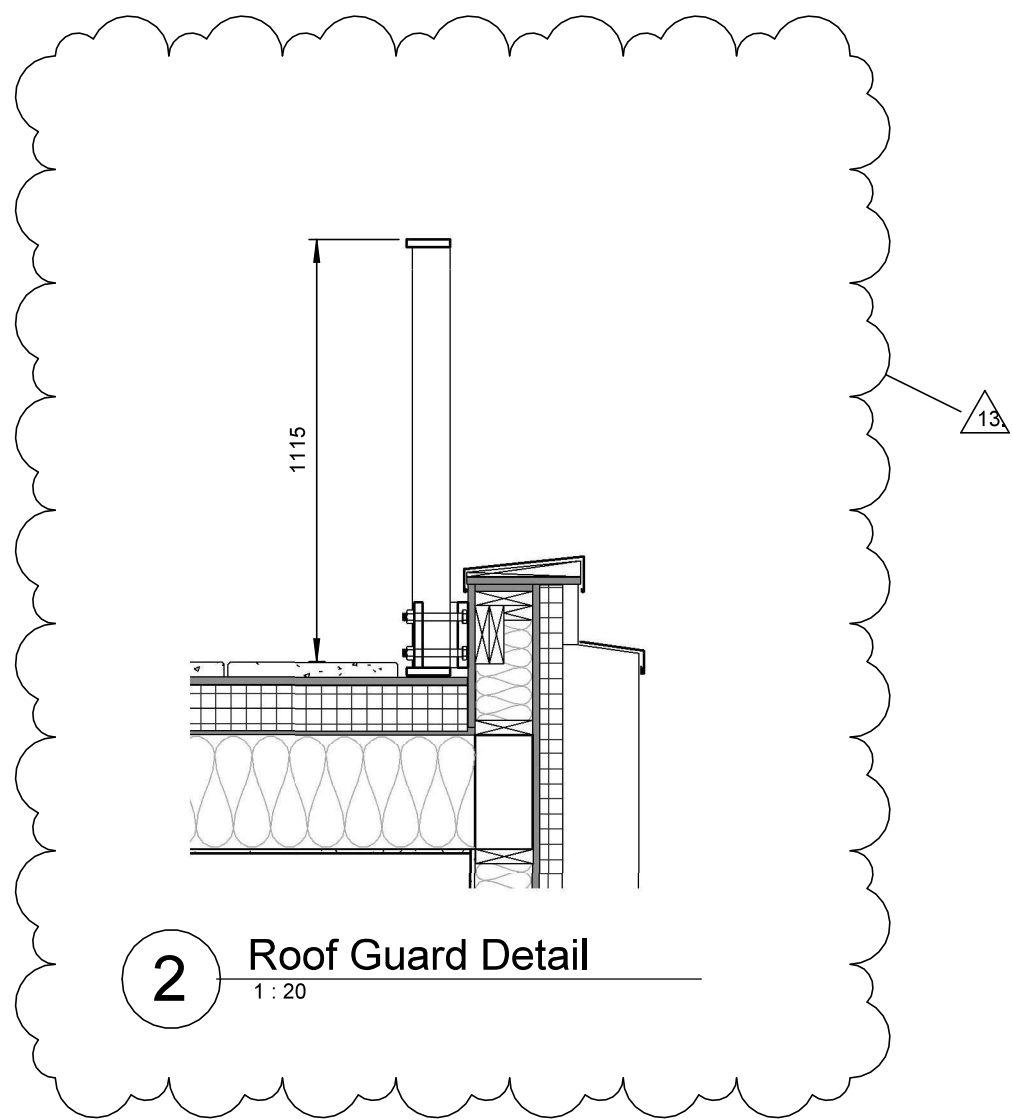
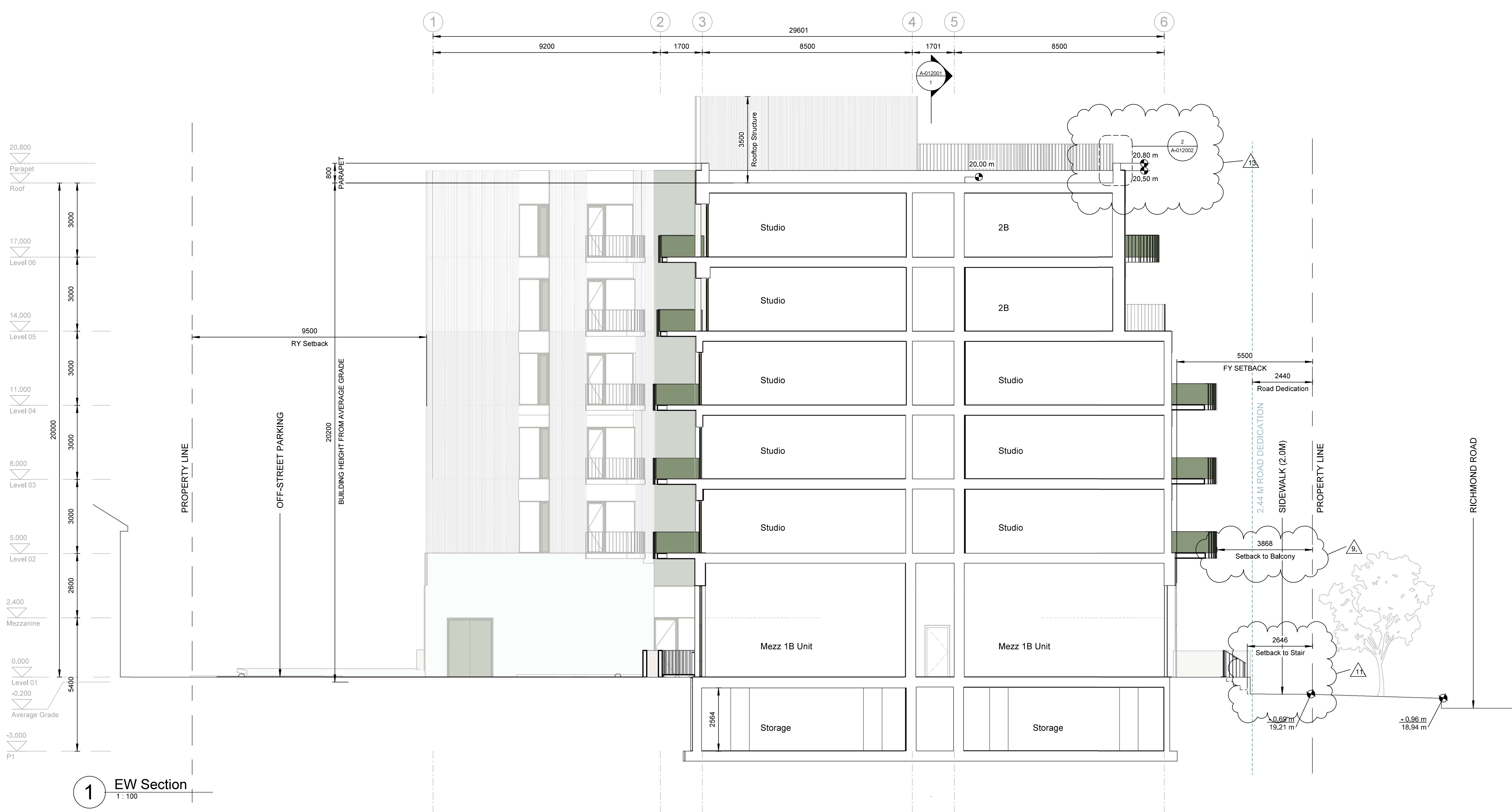
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Section 01

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Drawing No: **A-012002** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Section 02**

Drawing Status: **PLANNING**

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North Elevation
1 : 100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

P03	09/26/2025	Reissued for Rezoning & Development Permit	Rev.	Date	Description	Issued by	Checked by
P02	06/18/2025	Issued for Rezoning & Development Permit					
P01	05/07/2025	Issued for Development Tracker					

Drawing No: **A-013001** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (N)**

Project No:	Date:	Scale:	Drawn:	Checked:
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Exterior Elevation Legend

- M01 Cast-in place Concrete
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- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

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Rev.	Date	Description	Issued by	Checked by

Drawing No: **A-013002** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (S)**

Drawing Status: **PLANNING**

Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--	As indicated HN		KB



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1 East Elevation
1:100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

P03	09/26/2025	Reissued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		
Rev.	Date	Description	Issued	Checked

Drawing No: **A-013003** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (E)**

Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--/--	As indicated HN	KB	



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1

West Elevation

1 : 100

Exterior Elevation Legend

- M01 Cast-in place Concrete
- M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings
Colour Match Windows and Doors

P03	09/26/2025	Reissued for Rezoning & Development Permit
P02	06/18/2025	Issued for Rezoning & Development Permit
P01	05/07/2025	Issued for Development Tracker
Rev.	Date	Description

Drawing No:	Rev:
A-013004	P03

Project Name:
2612 - 2628 Richmond Road, Victoria

Drawing Name:
Elevation (W)

Drawing Status: PLANNING	Scale:	Drawn:	Checked:
Project Not	Date:	As indicated	Author Checker

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North Context Elevation
1 : 200



East Context Elevation
1 : 200

P03	09/26/2025	Reissued for Rezoning & Development Permit		
P02	06/18/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		
Rev.	Date	Description	Issued by	Checked by

Drawing No: **A-013006** Rev: **P03**

Project Name: **2612 ~ 2628 Richmond Road, Victoria**

Drawing Name: **Context Elevations**

Drawing Status: **PLANNING**

Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--	1:200	HN	KB



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SCHEDULE OF AREAS EXCL. IN FSR

Floor Level	Area
P1	
Bike Storage	367.23 m ²
Circulation	98.31 m ²
Elevator	21.06 m ²
Exit Stair	38.00 m ²
M&E	86.76 m ²
Bike Maintenance	7.25 m ²
Storage	238.27 m ²
CRU Storage	96.58 m ²
Total	953.47 m ²

Roof	
Exit Stair	16.34 m ²
Elevator	14.02 m ²
Circulation	15.03 m ²
Total	998.86 m ²

SCHEDULE OF AREAS INCL. IN FSR

Level 01	Area
Circulation	154.17 m ²
Elevator	22.69 m ²
Exit Stair	38.90 m ²
M&E	5.40 m ²
Services	74.73 m ²
Units	1,000.93 m ²
	1,296.83 m ²

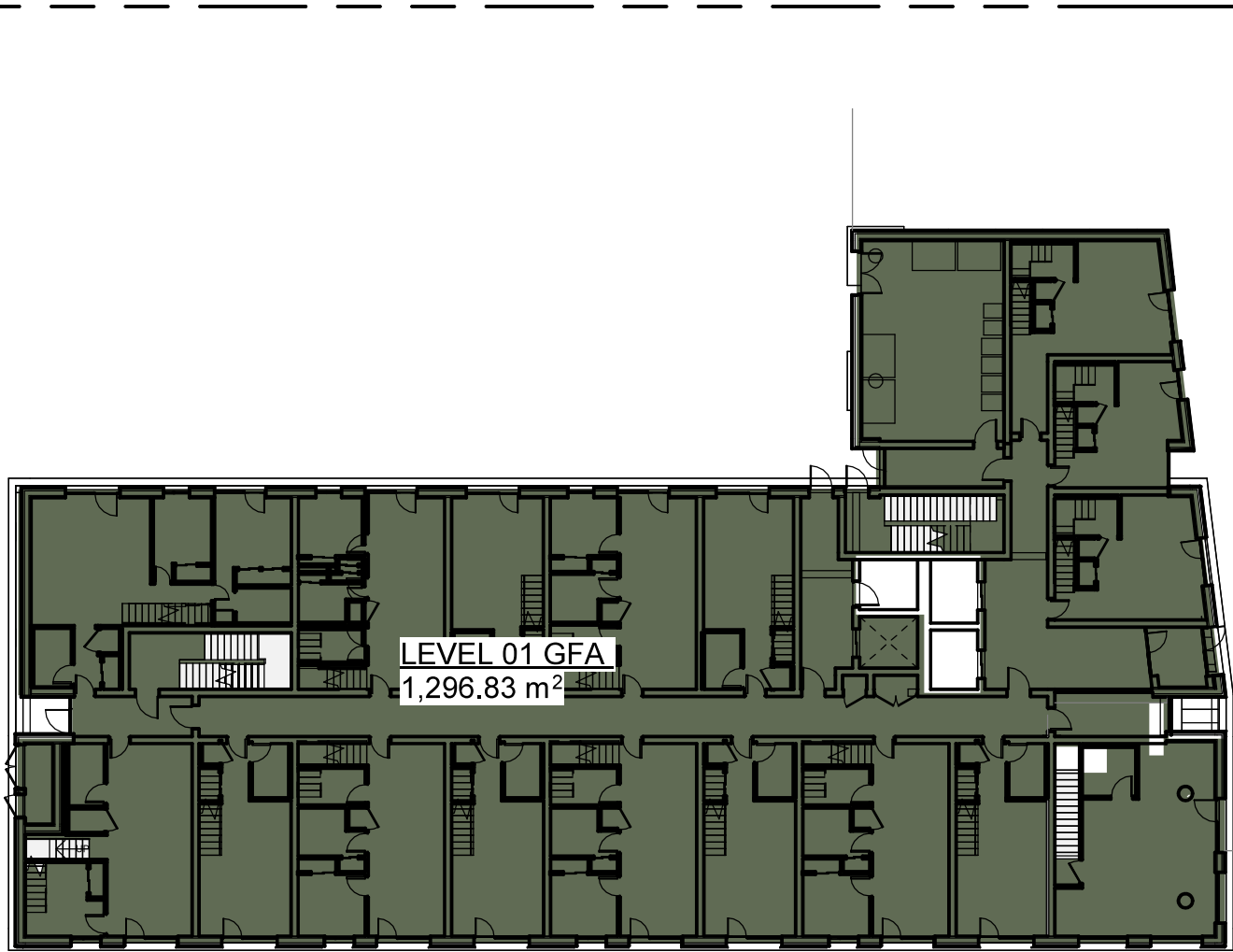
Level 02	
Circulation	110.96 m ²
Elevator	13.91 m ²
Exit Stair	29.58 m ²
M&E	3.23 m ²
Units	918.98 m ²
	1076.66 m ²

Level 03	
Circulation	110.96 m ²
Elevator	13.92 m ²
Exit Stair	29.58 m ²
M&E	3.23 m ²
Units	919.34 m ²
	1077.02 m ²

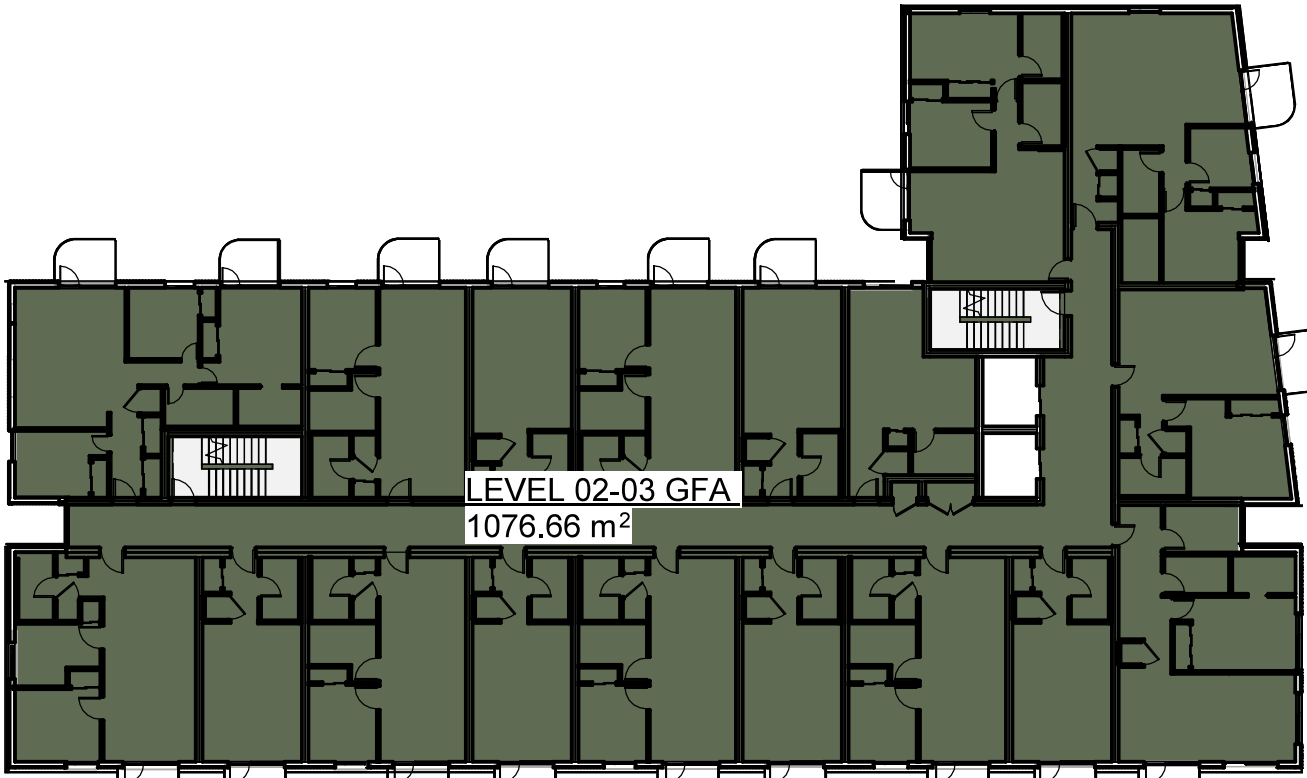
Level 04	
Circulation	111.21 m ²
Elevator	14.04 m ²
Exit Stair	29.67 m ²
M&E	3.23 m ²
Units	901.12 m ²
	1059.27 m ²

Level 05	
Circulation	111.68 m ²
Elevator	13.90 m ²
Exit Stair	29.91 m ²
Units	784.72 m ²
	940.20 m ²

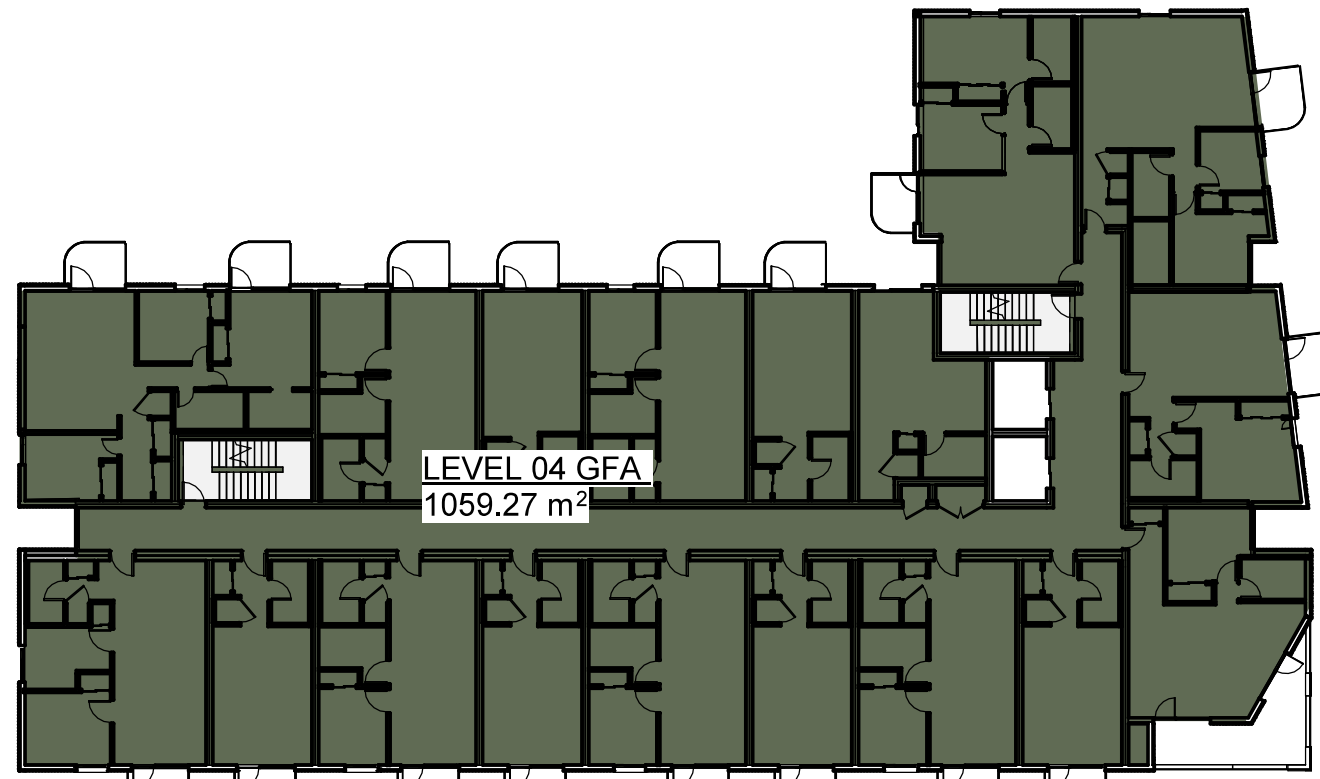
Level 06	
Circulation	103.81 m ²
Elevator	13.90 m ²
Exit Stair	30.00 m ²
M&E	3.18 m ²
Units	788.11 m ²
	939.00 m ²
	6388.98 m ²



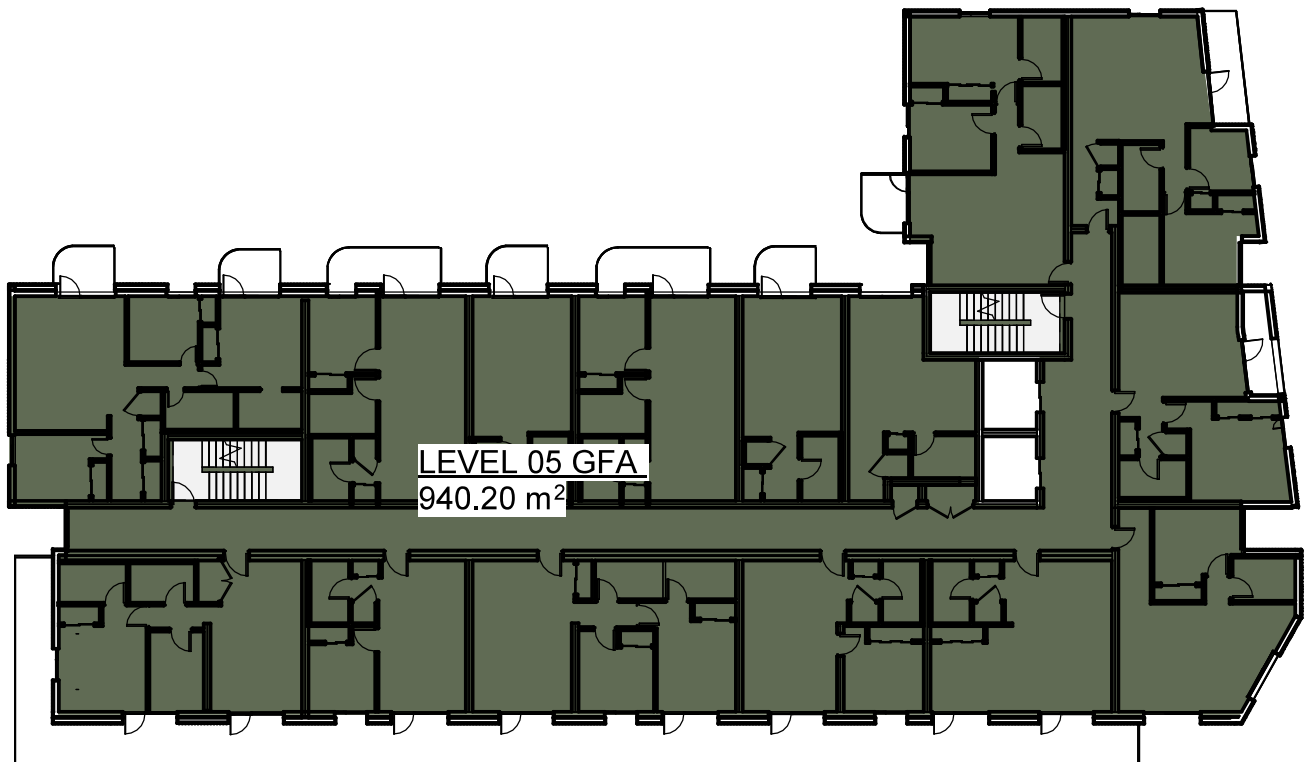
Level 01 Area Plan
1 : 300



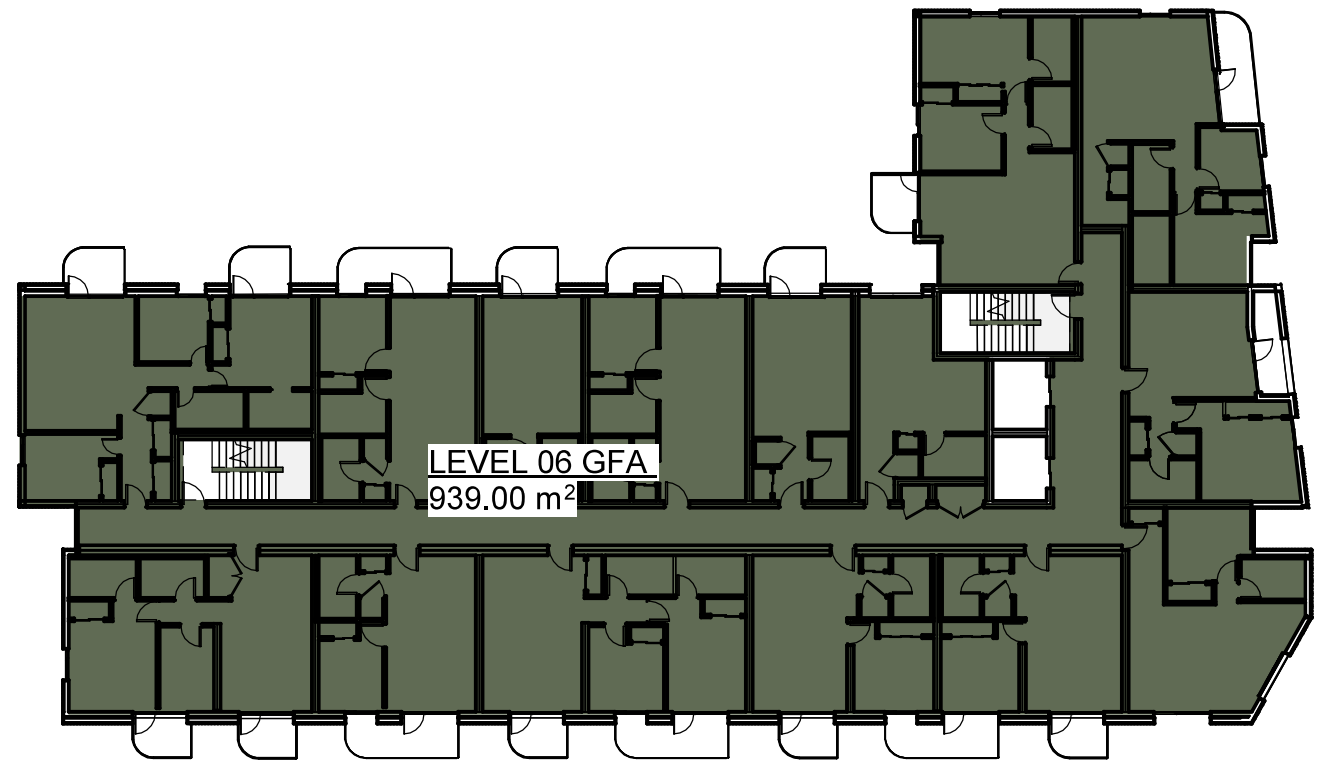
Level 02-03 Area Plan
1 : 300



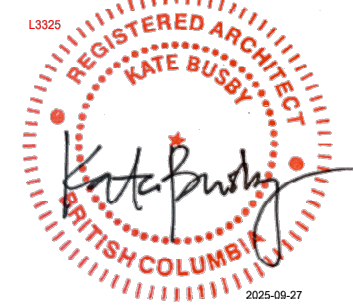
Level 04 Area Plan
1 : 300



Level 05 Area Plan
1 : 300



Level 06 Area Plan
1 : 300



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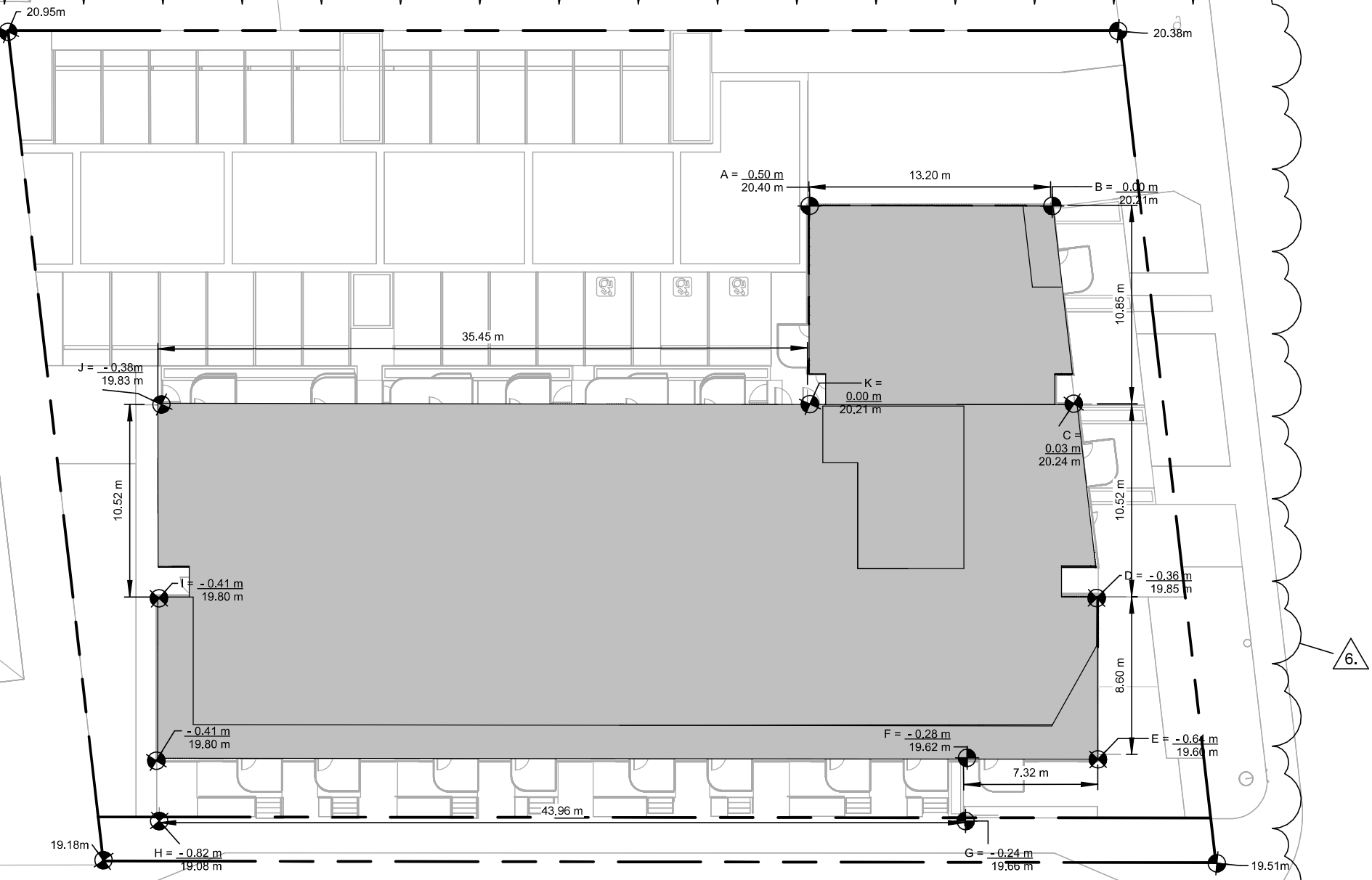
Legend

Hard Landscaping

Soft Landscaping

Point Name	Natural	Proposed
A	20.4	19.9
B	20.21	20.21
C	20.24	19.9
D	19.85	19.9
E	19.6	19.75
F	19.62	19.75
G	19.66	19.66
H	19.08	19.08
I	19.8	19.9
J	19.83	19.9
K	20.21	19.9

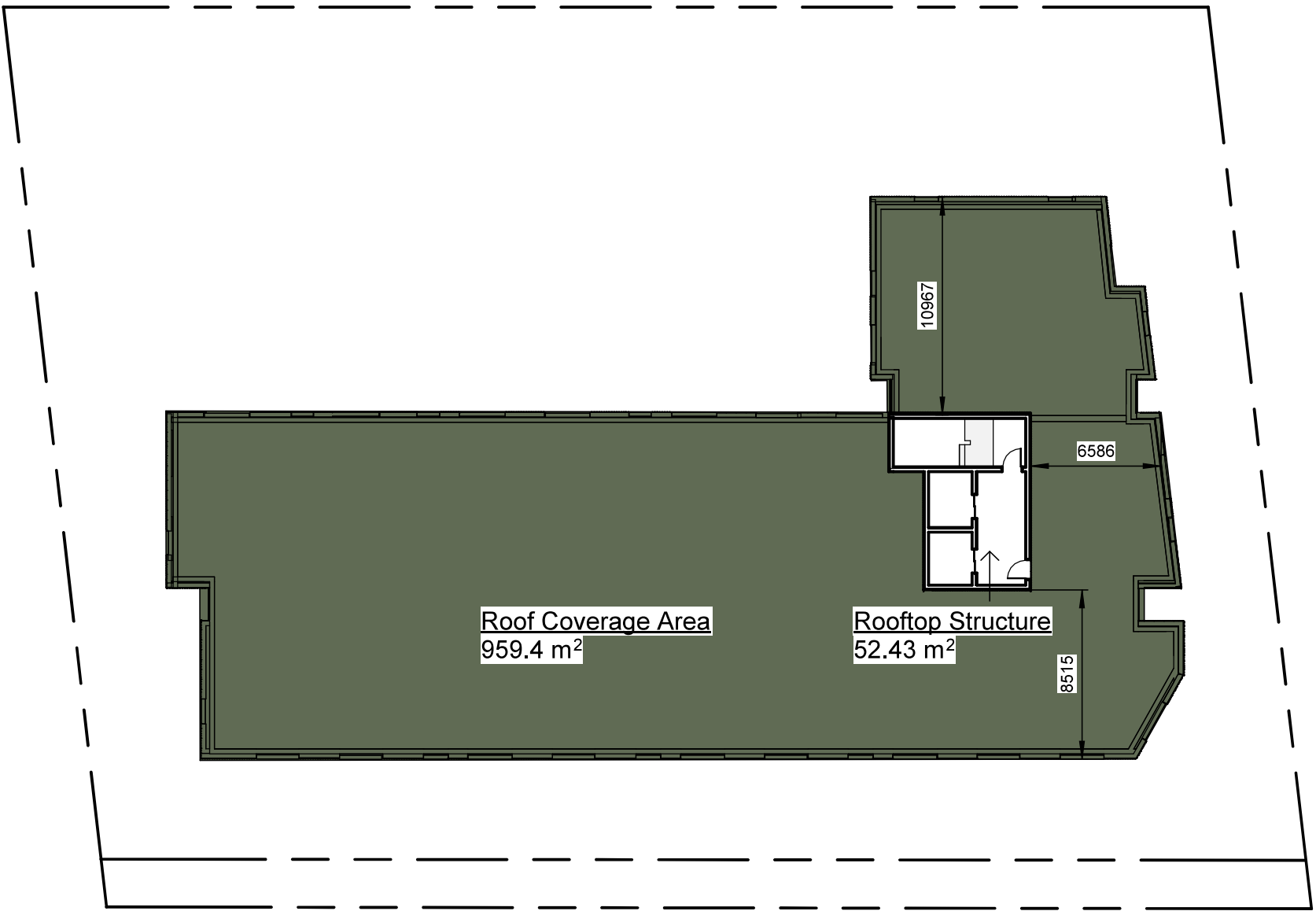
AVERAGE GRADE CALCULATION					
Grade Points	Average of Points	Average	Distance	M	Totals
Points A&B	(19.9+20.21)/2	20.05	A-B	13.2	264.66
Points B &C	(20.21+19.9)/2	20.05	B-C	10.85	217.543
Points C&D	(19.9+19.85)/2	19.88	C-D	10.52	209.138
Points D&E	(19.85+19.6)/2	19.73	D-E	8.6	169.678
Points E&F	(19.6+19.62)/2	19.61	E-F	7.22	141.584
Points F&G	(19.62+19.66)/2	19.64	F-G	3.14	61.6696
Points G&H	(19.66+19.08)/2	19.37	G-H	43.96	851.505
Points H&I	(19.08+19.8)/2	19.44	H-I	11.98	232.891
Points I&J	(19.8+19.83)/2	19.82	I-J	10.51	208.308
Points J&K	(19.83+19.9)/2	19.87	J-K	35.45	704.392
Points K&A	(19.9+19.9)/2	19.9	K-A	10.84	215.716
Totals				166.27	3277.08
Average				19.7	



Average Grade Key Plan
1 : 300



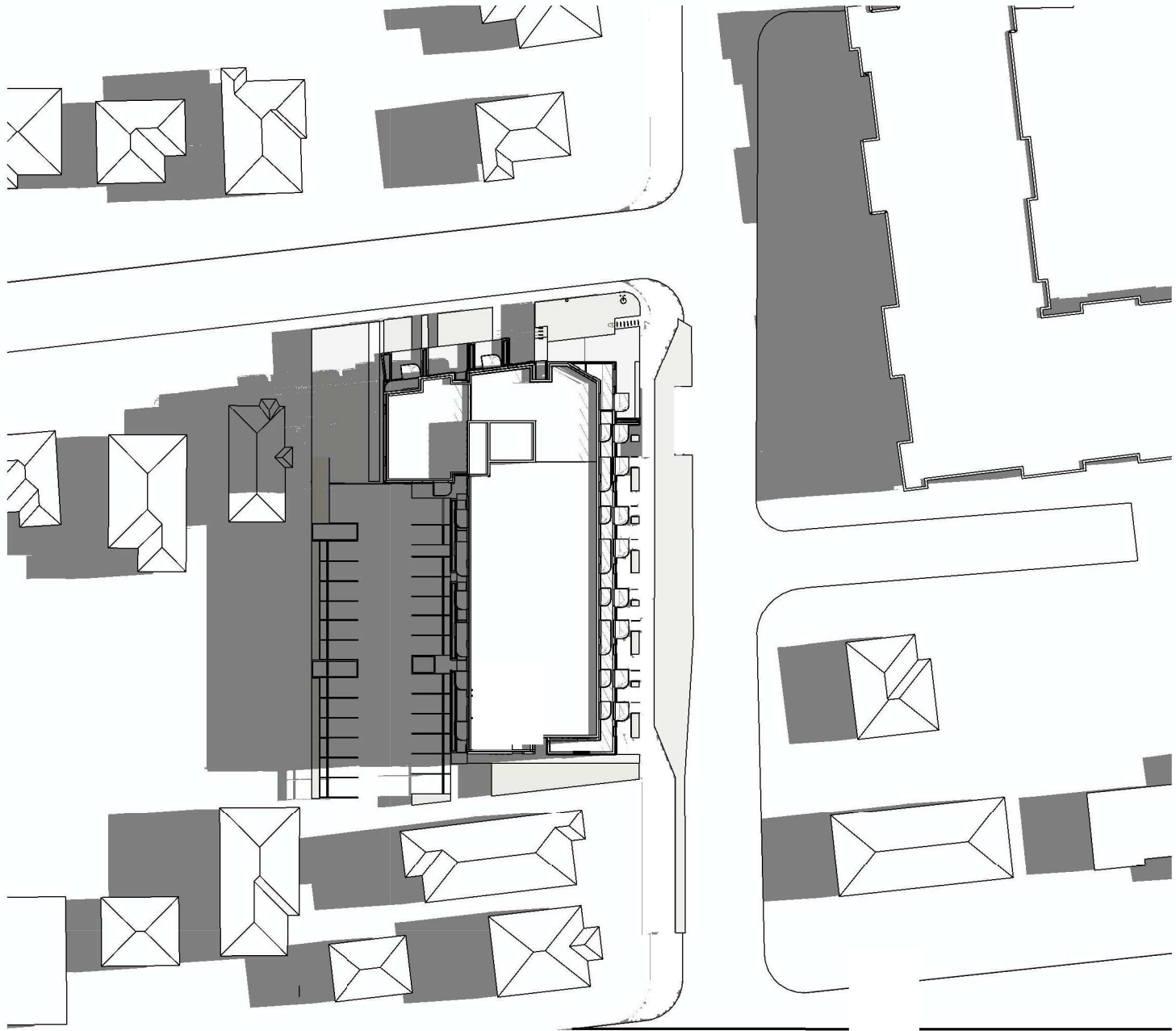
Site Coverage
1 : 300



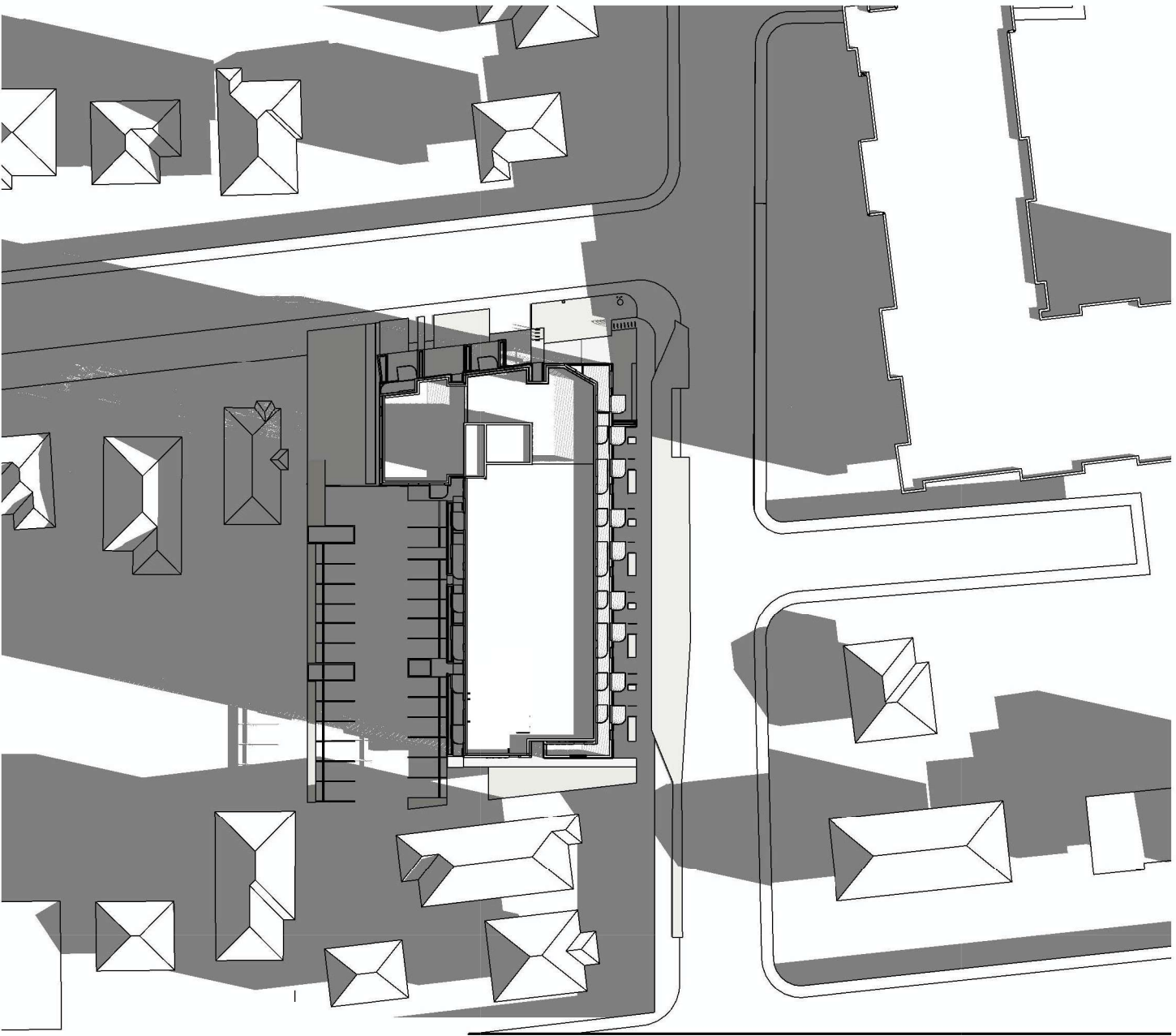
Roof Coverage Area
1 : 300



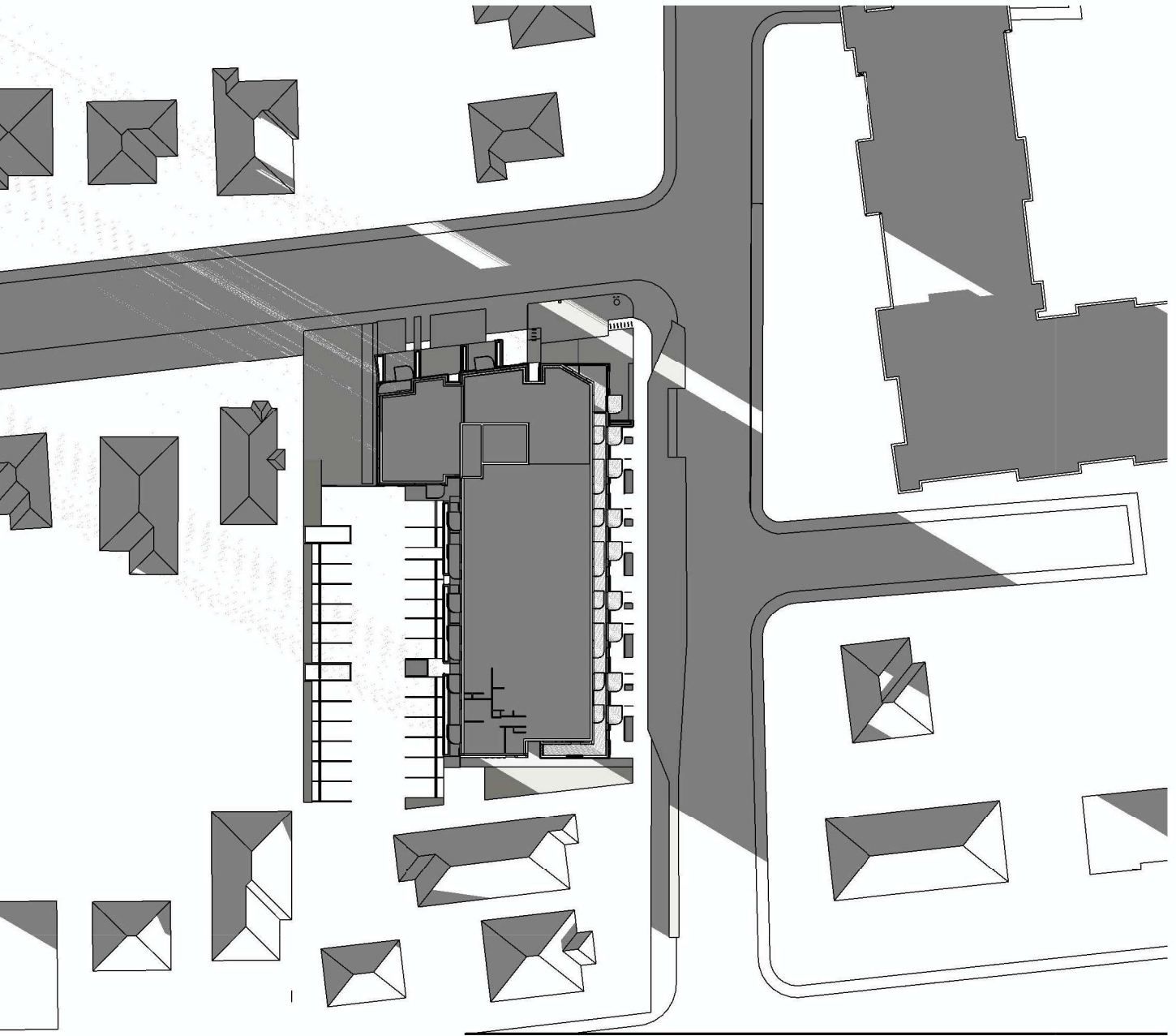
Open Site Space Area
1 : 300



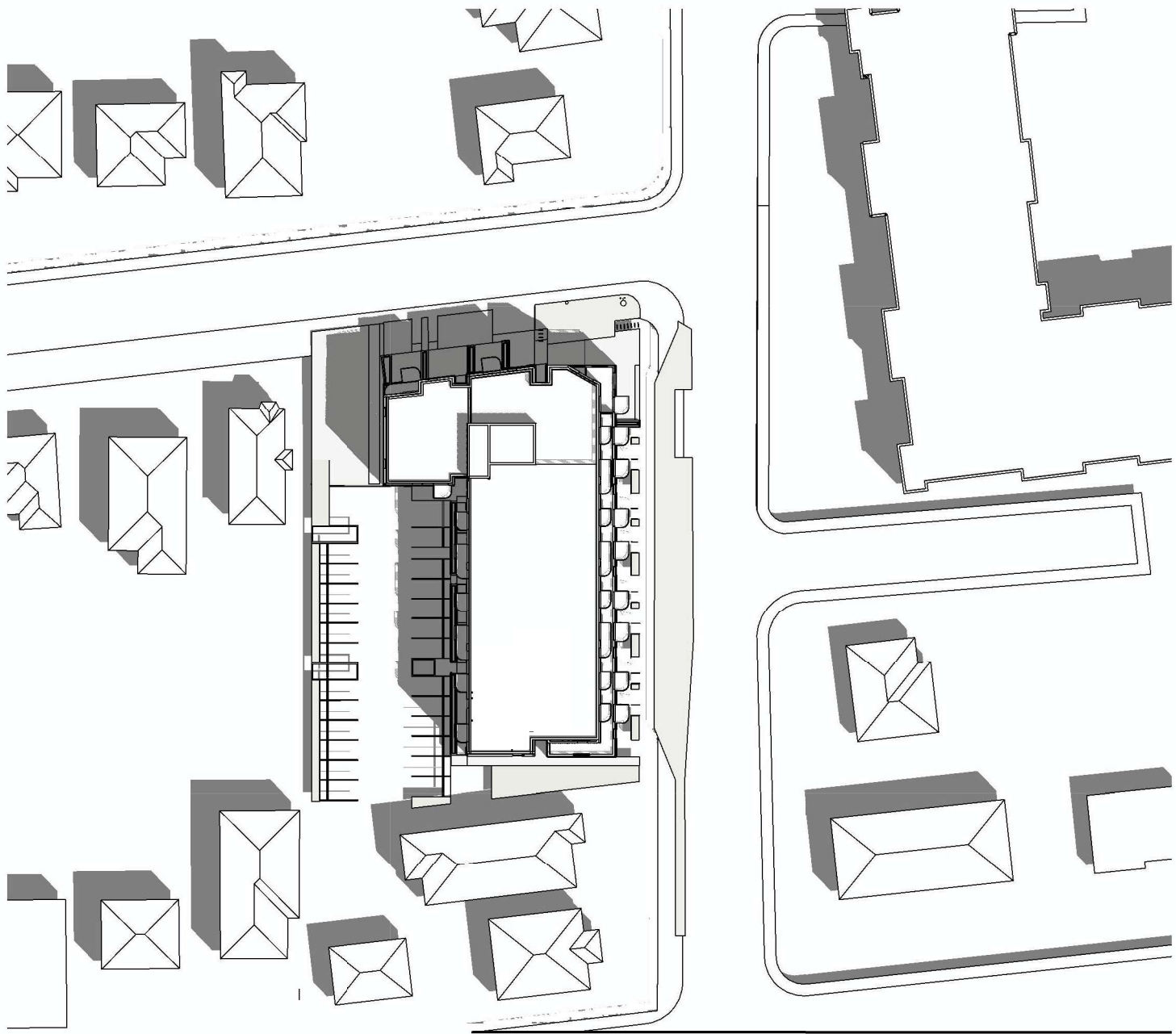
Summer Solstice 9AM



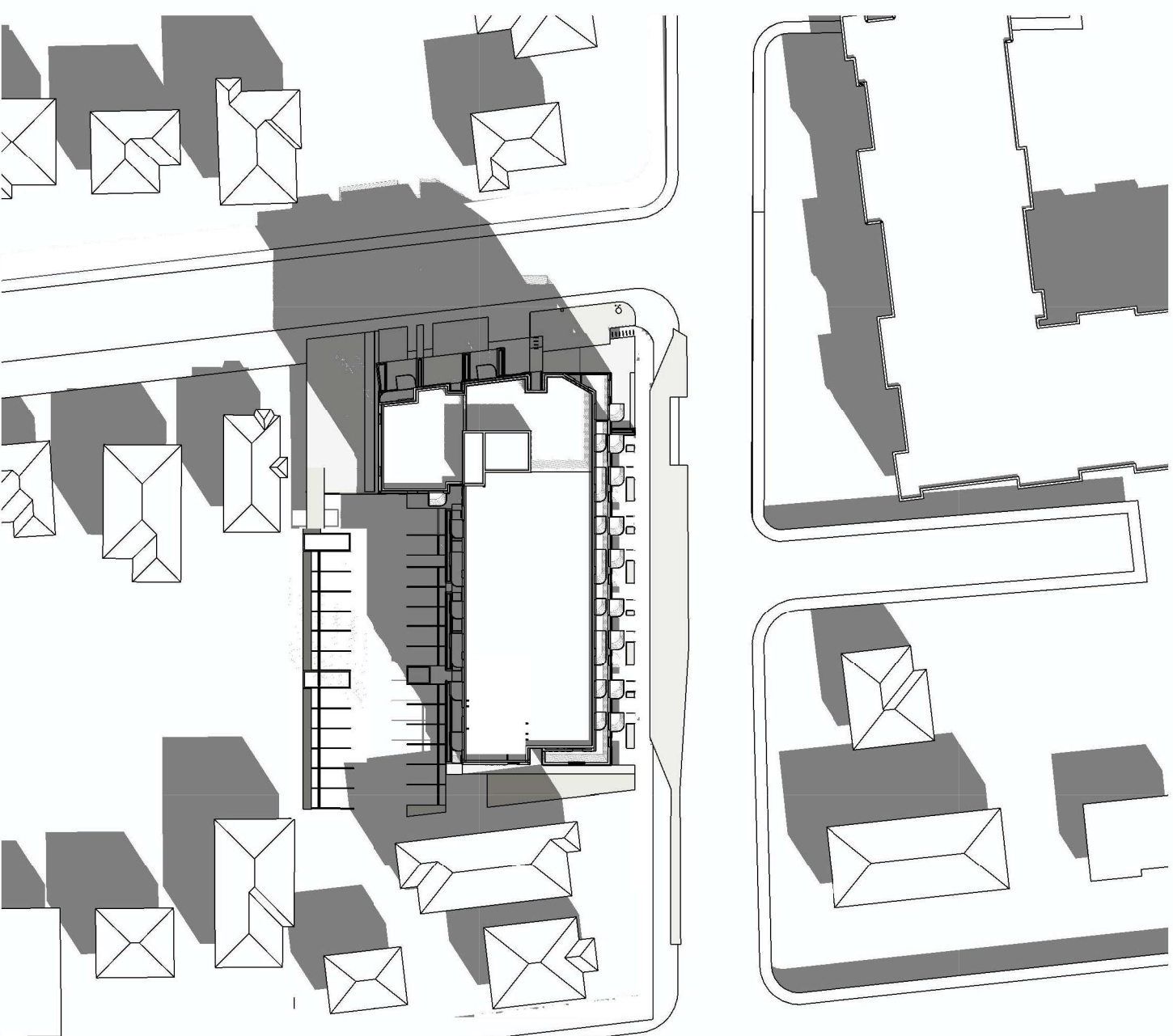
Equinox 9AM



Winter Solstice 9AM



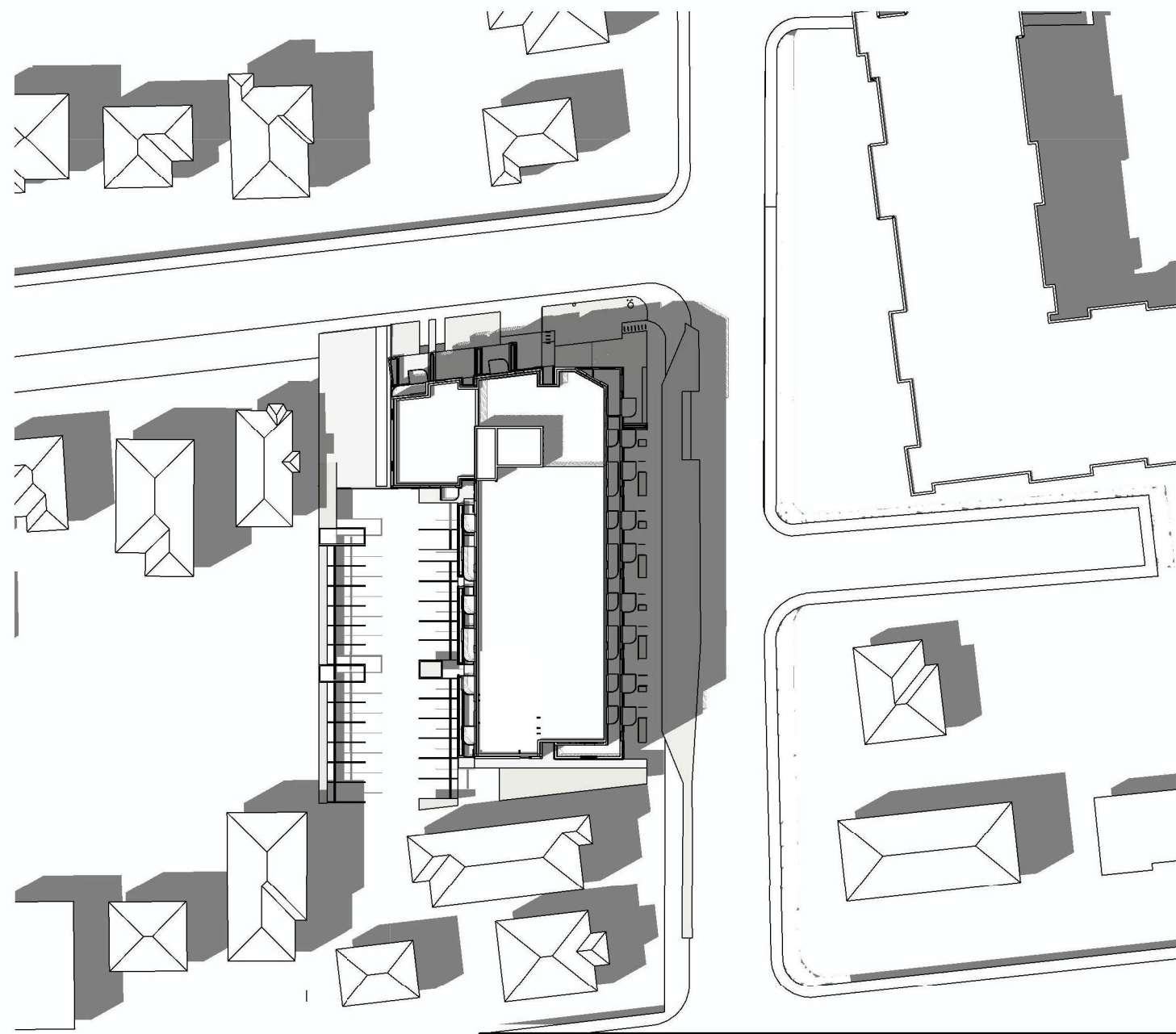
Summer Solstice 12 PM



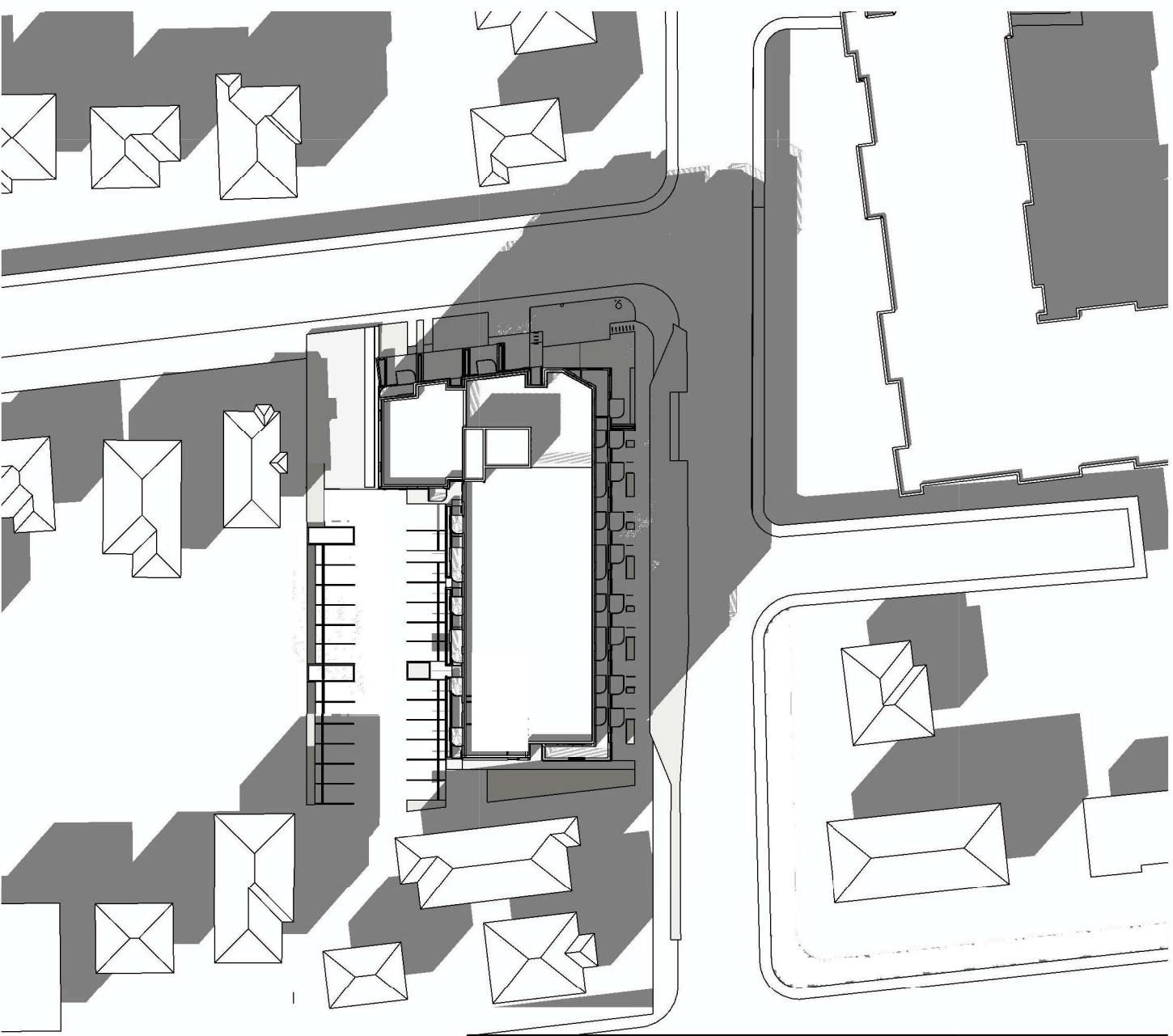
Equinox 12PM



Winter Solstice 12PM



Summer Solstice 4PM



Equinox 4PM



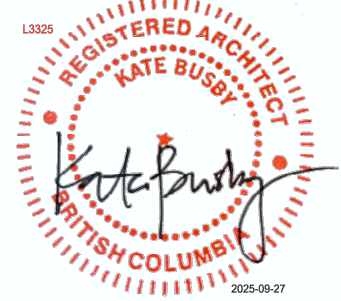
Winter Solstice 4PM

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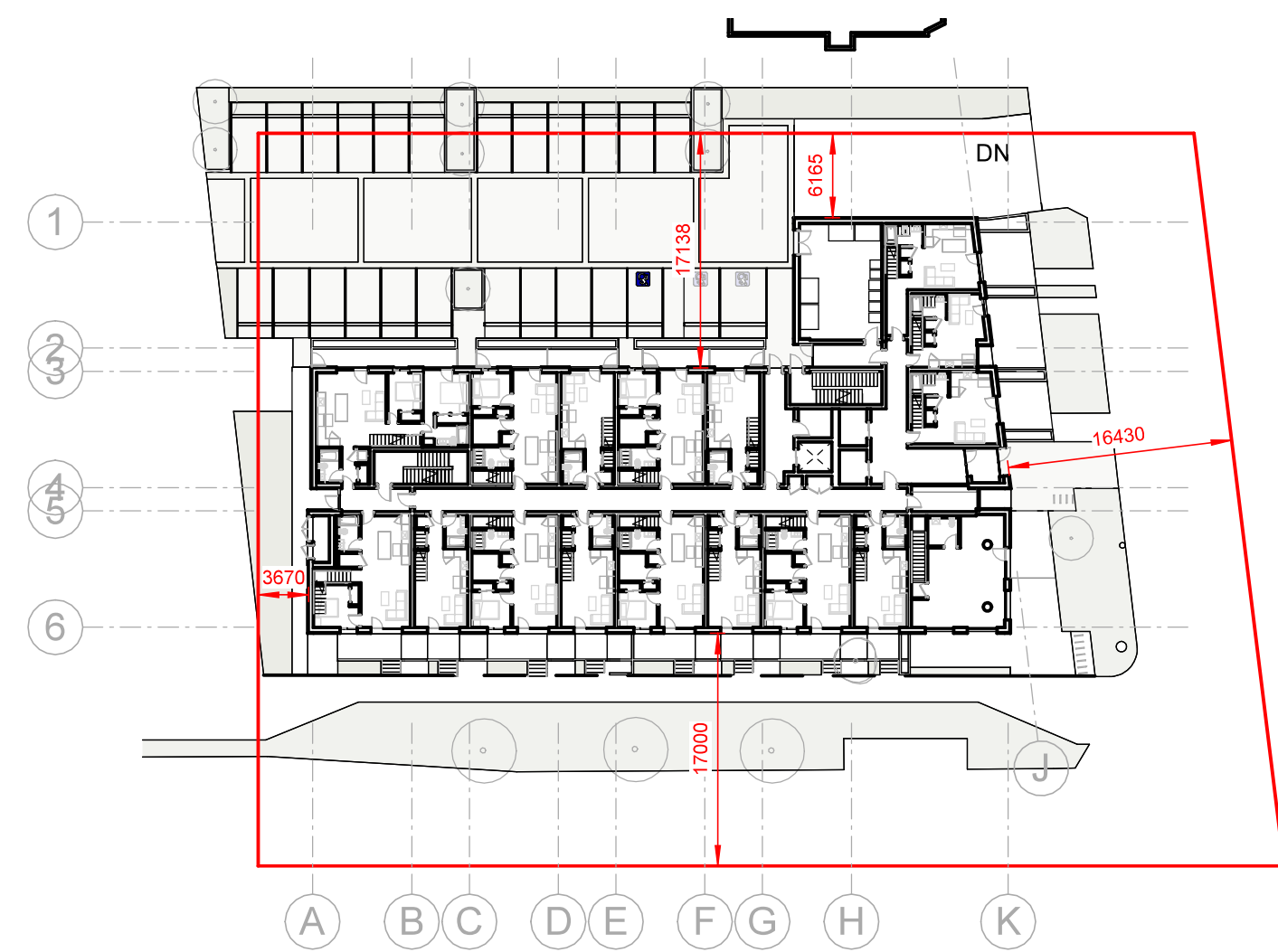
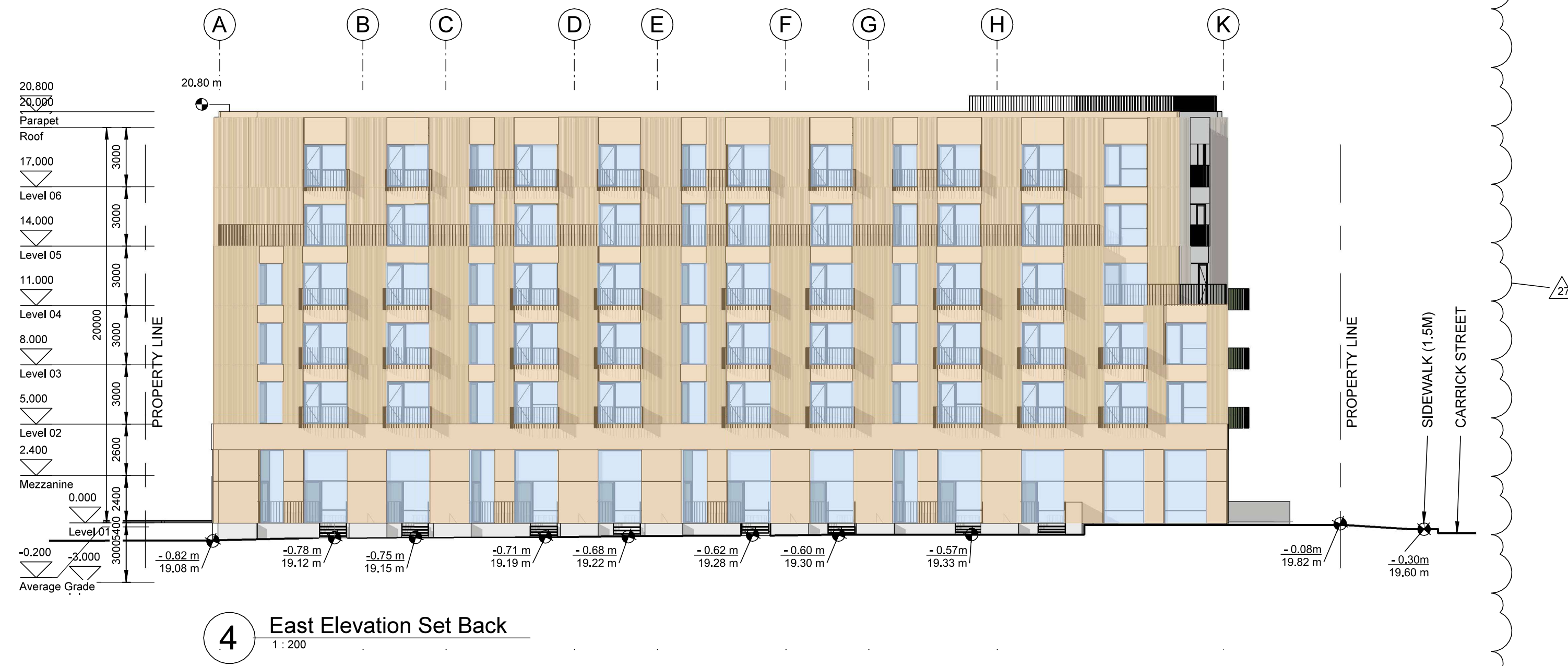
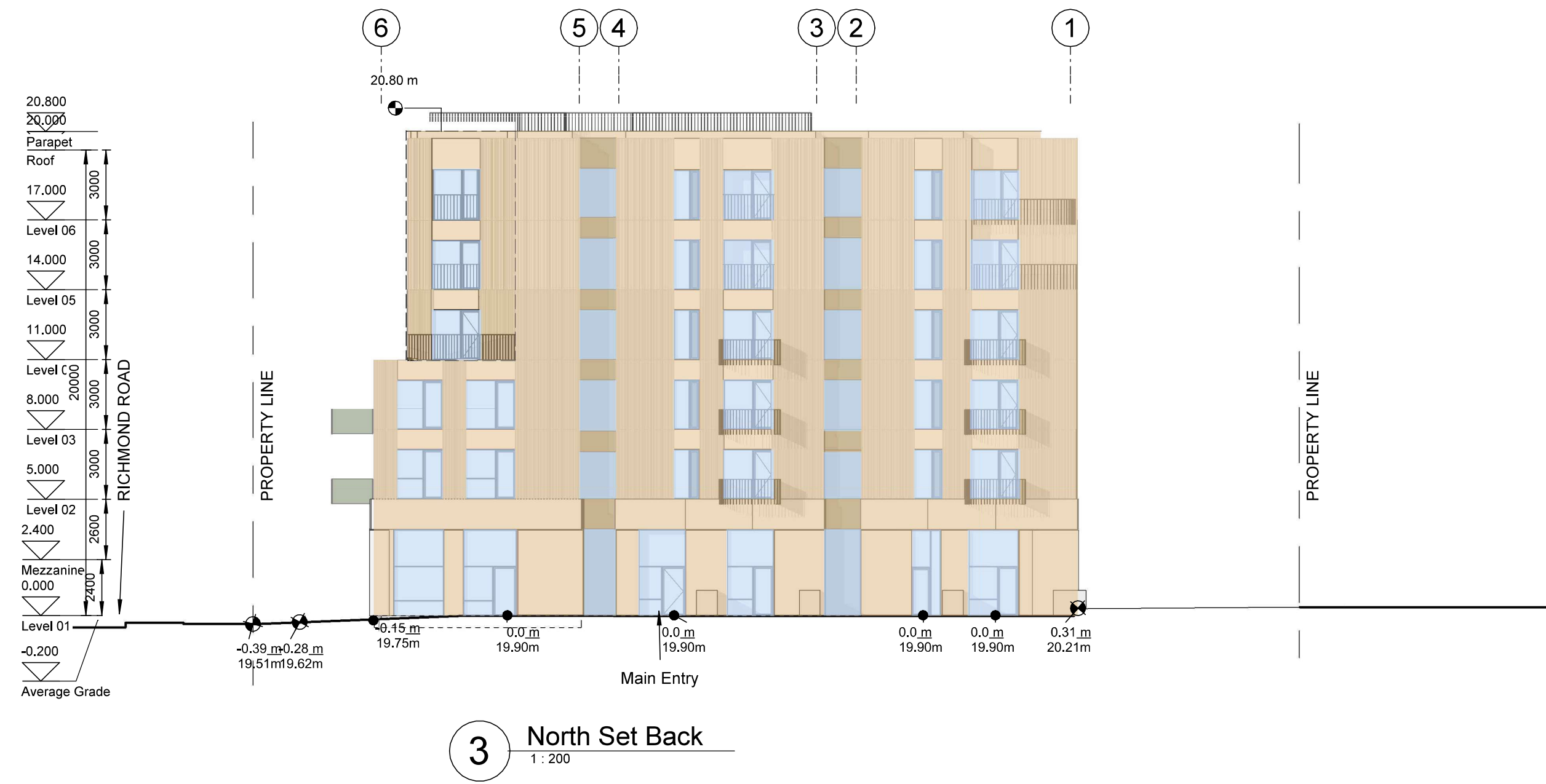
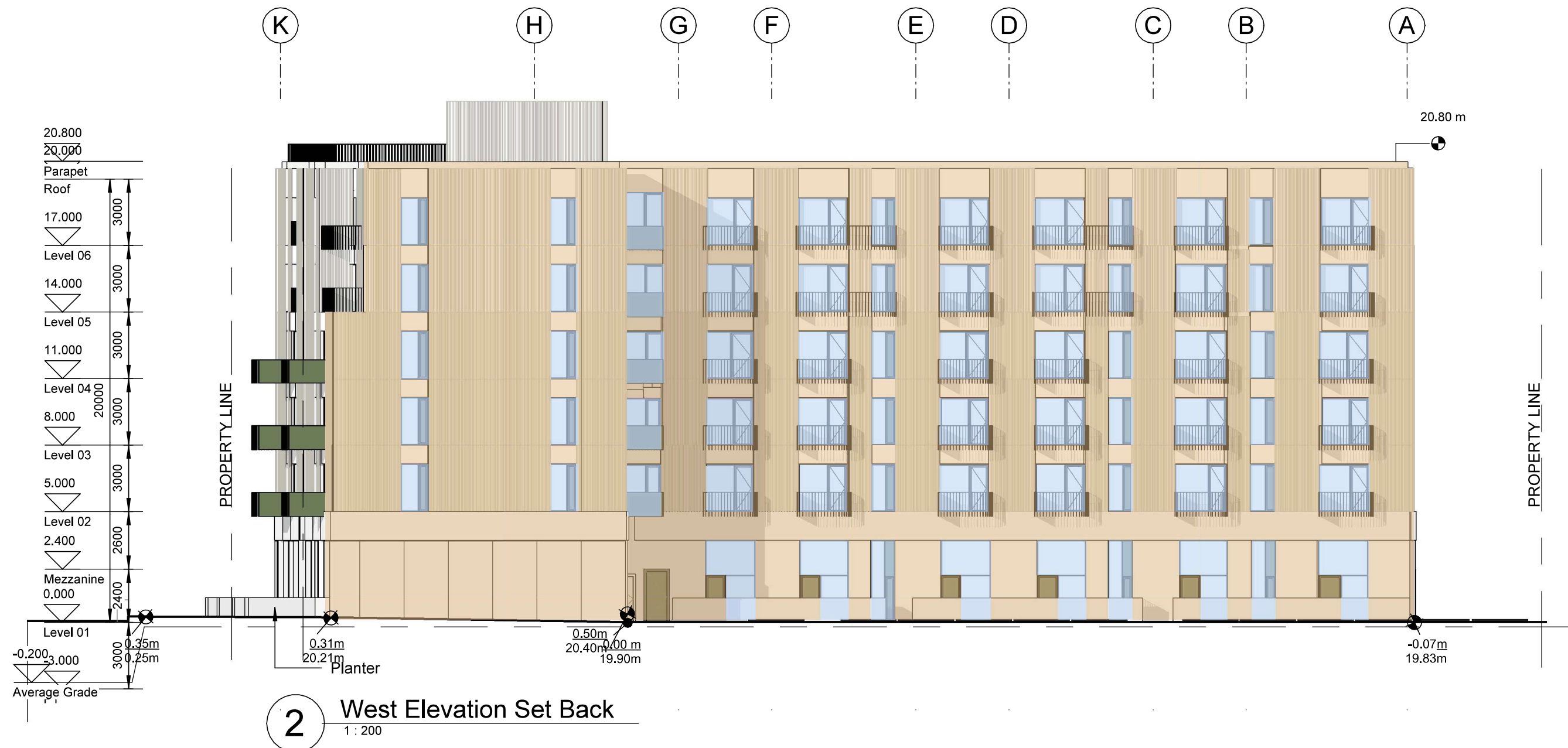
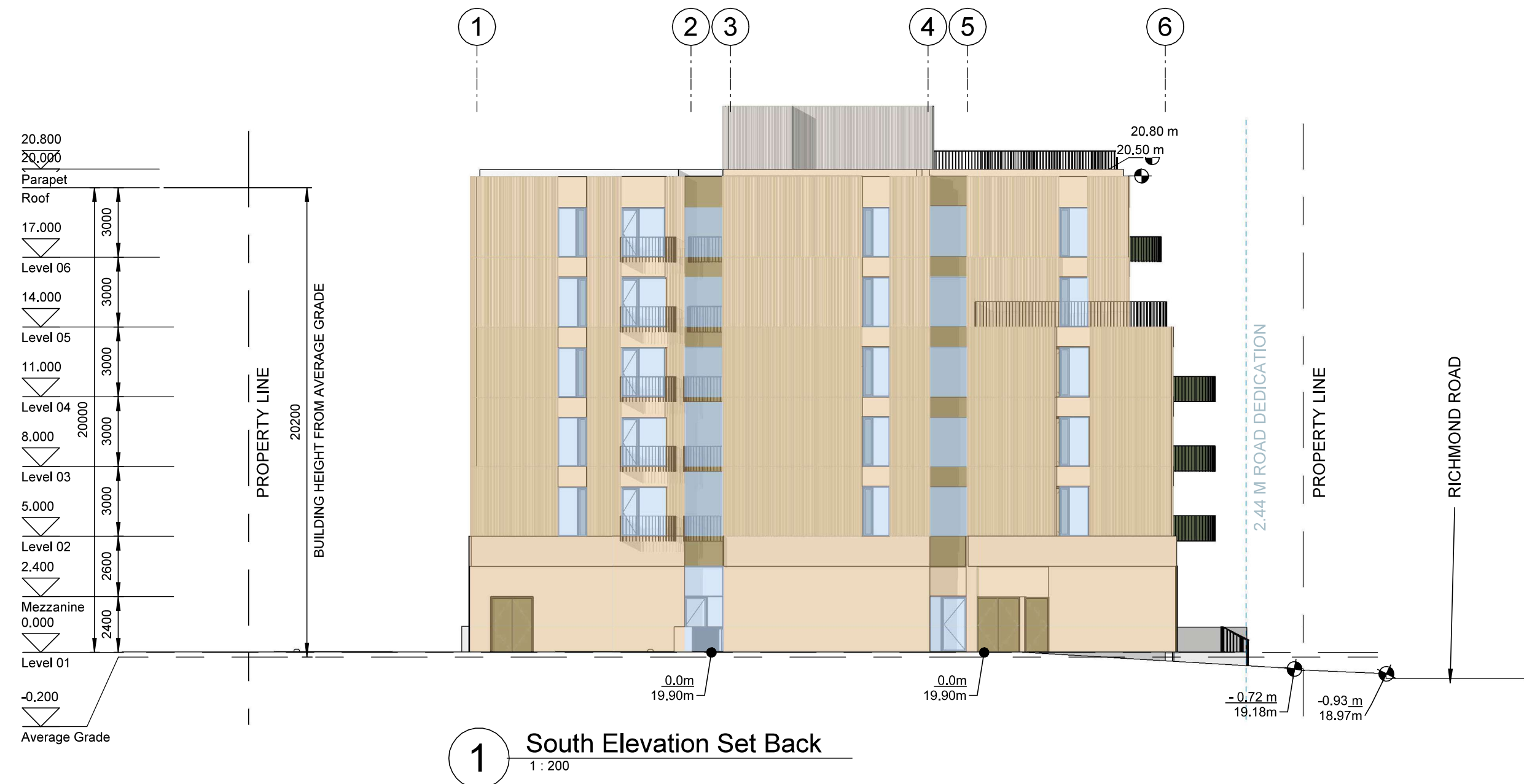


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P02	06/18/2025	Issued for Rezoning & Development Permit		
P01	05/07/2025	Issued for Development Tracker		
Rev	Date	Description	Issued by	Checked by
Drawing No:			Rev.	
A-014010			P02	
Project Name:				
2612 - 2628 Richmond Road, Victoria				
Drawing Name:				
Shadow Study				
Drawing Status:				
PLANNING				
Project No:	Date:	Scale:	Drawn:	Checked:
4153-C	--/--		HN	KB



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Spatial Separation							
	Area of Exposed Building Face	Limiting Distance	Opening % Permitted	Opening % Pproposed	F.R.R.	Construction Type	Cladding
North	614.7m ²	16.4m	100%	31.30%	1	COMBUSTIBLE	NON-COMBUSTIBLE
South 1	389.4m ²	3.6 - 4.2m	22%	11.9%	1	COMBUSTIBLE	NON-COMBUSTIBLE
South 2	223.4m ²	39m	100%	26.5%	1	COMBUSTIBLE	NON-COMBUSTIBLE
East	1044m ²	17m	100%	35.0%	1	COMBUSTIBLE	NON-COMBUSTIBLE
West 1	269.5m ²	6.2m	52%	10.0%	1	COMBUSTIBLE	NON-COMBUSTIBLE
West 2	734.7m ²	17.1m	100%	33.2%	1	COMBUSTIBLE	NON-COMBUSTIBLE

Notes

*CRU occupancy E has 2hr FRR

*BCBC 2024 Reference table 3.2.2.1 D

P03 09/26/2025 Released for Reasoning & Development Permit

P02 06/18/2025 Issued for Reasoning & Development Permit

P01 05/07/2025 Issued for Development Tracker

Rev. Date Description Issued by Checked by

Drawing No:
A-014011

Rev:
P03

Project Name:

2612 - 2628 Richmond Road, Victoria

Drawing Name:
Spatial Setback

Drawing Status:
PLANNING

Project No: Date: Scale: Drawn: Checked:

4153-C --/--/--

As indicated HN

KB

DRAWING LIST

SHEET	DRAWING TITLE	SCALE
L-0.00	COVER SHEET	NTS
L-0.01	NOTE	NTS
L-1.01	LANDSCAPE PLAN - GROUND LEVEL	1:100
L-1.02	PLANTING PLAN - GROUND LEVEL	1:100
L-1.03	LANDSCAPE PLAN - ROOF	1:100
L-1.04	PLANTING PLAN - ROOF	1:100
L-1.05	RAINWATER MANAGEMENT PLAN	1:100
L-1.06	SOIL VOLUME FOR REPLACEMENT TREE PLANTING	1:100
L-2.01	SECTION 1	1:50
L-2.02	SECTION 2	1:50
L-3.01	DETAILS	1:10

DRAWING KEY

- PROPERTY LINE
- HIGHWAY DEDICATION
- SETBACK
- CANOPY ABOVE

- GUARDRAIL
- PERMEABLE UNIT PAVER
- CIP CONCRETE
- SLAB PAVERS
- GRANULAR MATERIAL
- NEW PLANTING
- LAWN
- HEDGES
- EXISTING TREE (TO BE RETAINED)
- PROPOSED NEW TREE
- TREE PROTECTION AREA
- STORMWATER MANAGEMENT AREA

LEGEND

- PEDESTRIAN ENTRANCE
- VEHICULAR ENTRANCE
- RESIDENTIAL MAIN ENTRANCE
- CRU COMMUNITY TERRACE

LIGHTING LEGEND

- BOLLARD LIGHT
- STEPS LIGHT

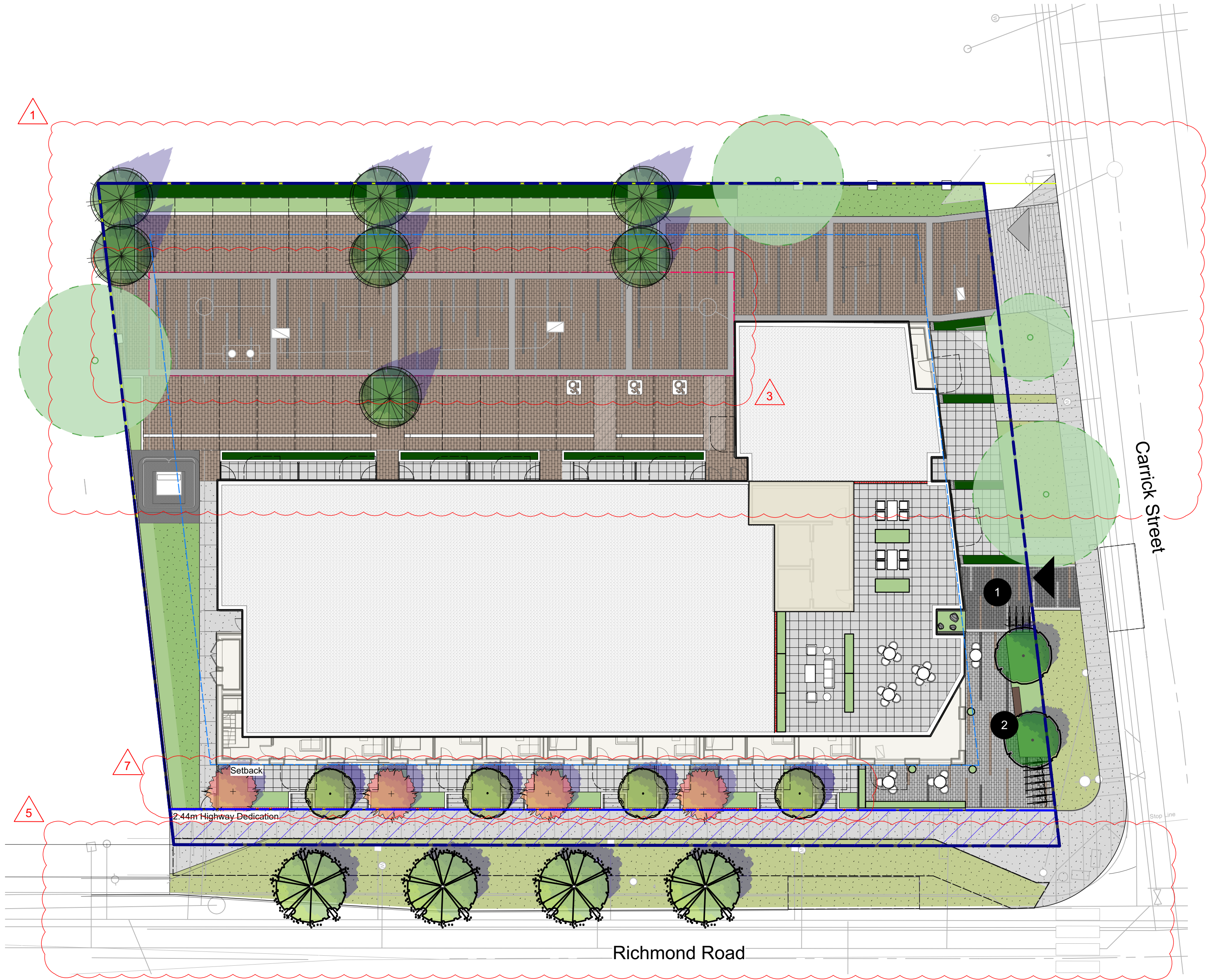
PRECEDENT IMAGE



CRU Patio



Permeable Plaza



TREES



Trembling aspen



Pyramidal European Hornbeam



Ivory Silk Tree Lilac



Vine Maple



Ceder Hedge



Pennisetum alopecuroides Fountain Grass



Rhododendron macrophyllum Pacific Rhodo



Lupinus polyphyllus Big-leafed Lupine

SHRUBS



3	2025-09-26	Issued for RZ/DP Resubmission
2	2025-06-13	Issued for RZ/DP Application
1	2025-05-08	Issued for Development Tracker

no.: | date: | item:

Revisions:

Stamp:



DURANTE KREUK LTD. LANDSCAPE ARCHITECTS
102 - 1637 West 5th Avenue Vancouver B.C. V6J 1N5

P 604.684.4611 | F 604.684.0577 | www.dkl.bc.ca

Project:

Residential Development

2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by: KY

Checked by: SV

Date: 06 MAR 2025

Scale: NTS

Drawing Title:

COVER SHEET

Project No.:

25016

Sheet No.:

L-0.00

LANDSCAPE NOTES

1. All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
2. Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
3. Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
4. All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, ie: it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
5. Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
6. All trees to be staked in accordance with CNLA Standards.
7. For all existing on site services and survey symbols refer to survey drawings.
8. All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

OFF-SITE PLANTING NOTES

1. Street tree final spacing and quantity to the approval of City of Victoria Engineering.
2. Street tree final species to the approval of City of Victoria Park Board.
3. Approved root barrier to be installed per City of Victoria standard, 8' (2.4m) long and 18" (450mm) deep.
4. Call Park Board for inspection after tree planting.

ADDITIONAL NOTES

1. All sidewalks between curb and property line are to be reconstructed fully at the applicant's expense.
2. This plan is NOT FOR CONSTRUCTION and is to be submitted for review to Enigineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans relieve "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/ or your Engineering Building Site Inspector for details.
3. Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board (604-257-8587) for inspection after tree planting completion.

IRRIGATION NOTES

1. All on-site 'Soft Landscape Areas' are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IIABC Standards.
2. Irrigation stub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
3. Irrigation system is a deign-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
4. No visible irrigation lines will be accepted.
5. All irrigation boxes to be equipped with quick couplers.
6. Irrigation controller to be located in mechanical room.

BIRD FRIENDLY STRATEGY

Elements of the landscape design and planting selection have been thoughtfully considered to support the City of Victoria's Bird Friendly Strategy Design Guidelines.' The use of native tiered planting materials will provide a variety of textures and heights that will support bird habitat. The plantings should provide opportunities for nesting, food sources, pollination support, shelters as well as protection.

A landscape consideration that will make this proposed development more bird friendly will be the expansion of the urban tree canopy. The development proposes to add street trees along Richmond Road to City of Victoria Standard. These additional trees can to provide shade, perching and nesting opportunities.

The proposed landscape planting incorporates canopy and habit stratification with tree(s), shrub(s) and groundcover planting, utilizing plants that attract birds, insects and includes native and non-native/non-invasive plants.

PLANT LIST

TREES

QTY

4

7

2

4

BOTANICAL NAME

Acer circinatum

Carpinus betulus 'Fastigiata'

Populus tremuloides

Syringa reticulata 'Ivory Silk

COMMON NAME

siçəƥ - Vine Maple

European hornbeam

Trembling aspen

Ivory Silk Tree Lilac

SIZE / SPACING

5 cm cal. B&B

5 cm cal. B&B

5cm cal. B&B

5cm cal. B&B

SHRUBS

QTY

53

65

17

166

22

35

6

36

1

BOTANICAL NAME

Buxus microphylla 'Winter Gem'

Choisya ternata

Mahonia aquifolium

Mahonia repens

Oemleria cerasiformis

Philadelphus lewisii

Rhododendron 'Ken Jaweck'

Rubus idaeus

Vaccinium parvifolium

COMMON NAME

Winter Gem Boxwood

Mexican orange blossom

Oregon Grape

Creeping mahonia

osoberry or Indian plum

Mock Orange

Ken Jaweck Rhodo

raspberry

sƙ*əq*cəsəƥ - Red Huckleberry

SIZE / SPACING

#2 pot / 24" O.C.

#5 pot , 36" o.c.

#2 pot / 36" O.C.

#1 pot / 16" O.C.

#3 pot. 48" o.c.

#3 pot / 48" O.C.

#2 pot / 36" O.C.

#3 pot. 24" o.c.

#2 pot / 36" O.C.

GROUNDCOVERS, GRASSES, FERNS & VINES

QTY

79

39

21

29

55

BOTANICAL NAME

Dicentra formosa 'Aurora'

Lupinus latifolius

Pennisetum alopecuroides 'Hameln'

Polystichum munitum

Symphytotrichum dumosum 'Wood's Pink'

COMMON NAME

aurora bleeding heart

Broadleaf Lupine

Dwarf Fountain Grass

səχələm - Sword fern

Aster 'Wood's Pink'

SIZE / SPACING

#1 pot, 12" o.c.

#1 pot / 12"O.C.

#1 pot / 18 O.C.

#1 pot / 18" O.C.

#1 Pot / 12" O.C.

Tree Impact Summary			
Tree Status	No. of Trees	No. of Trees to be Removed	No. of Replacement Trees
On-site Trees	10	10	8 (Small Trees) + 9 (Medium Trees)
Off-site Trees	2	0	0
Municipal Trees	2	0	0
Total	14	10	8 (Small Trees) + 9 (Medium Trees)
			Total : 13

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102 - 1637 West 5th Avenue Vancouver B.C. V6J 1N5

P 604.684.4611 | F 604.684.0577 | www.dk1.bc.ca

Project:

Residential
Development

2612, 2616, 2620, 2628
Richmond Road, Victoria

Drawn by:	KY
Checked by:	SV
Date:	06 MAR 2025
Scale:	NTS

Drawing Title:

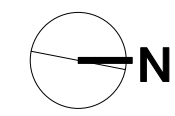
NOTE

Project No.:

25016

Sheet No.:

L-0.01



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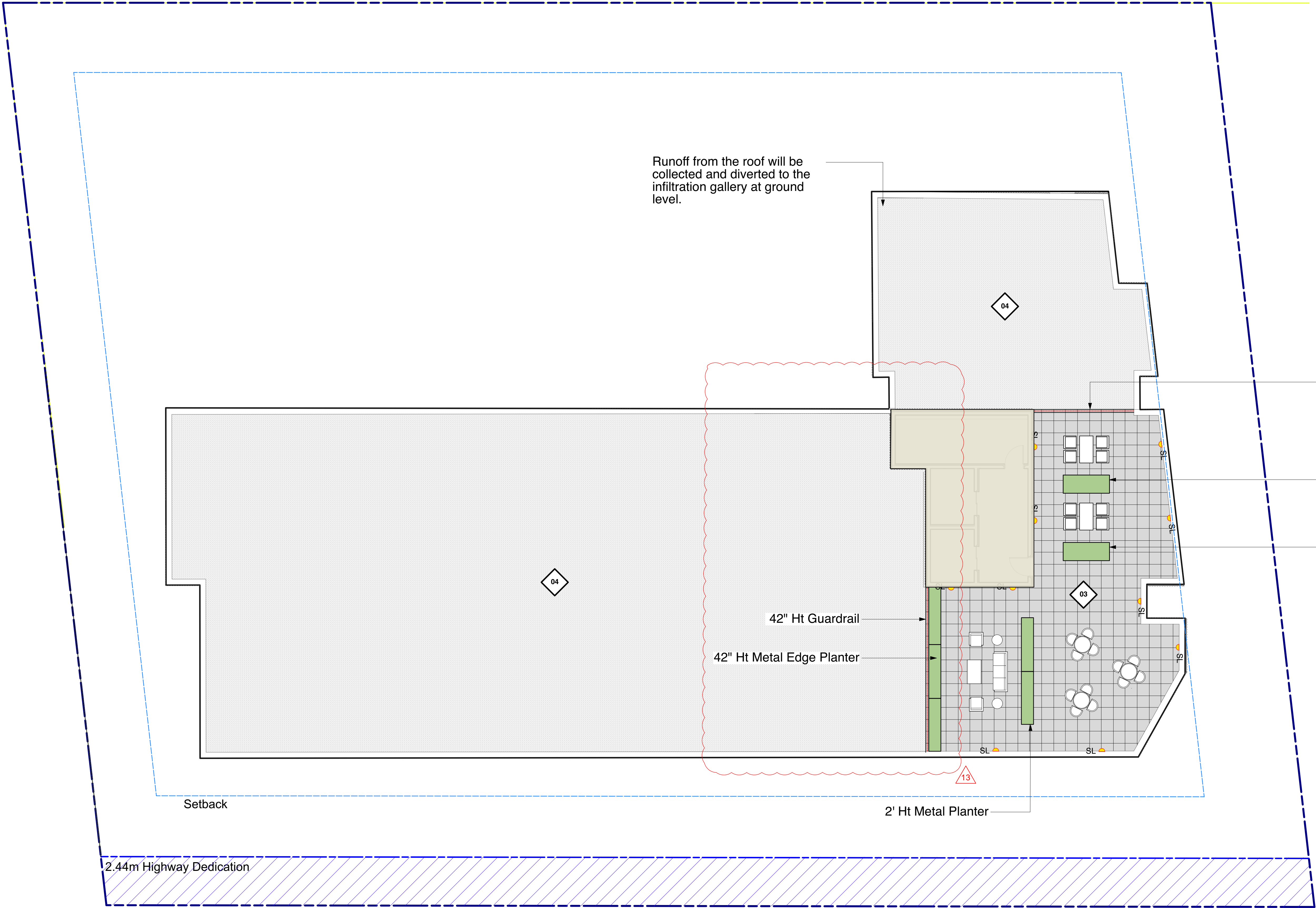
Project:
Residential Development

**2612, 2616, 2620, 2628
 Richmond Road, Victoria**

Drawn by:	KY
Checked by:	SV
Date:	06 MAR 2025
Scale:	1:100

Drawing Title:
**LANDSCAPE PLAN -
 GROUND LEVEL**

Project No.:	25016
Sheet No.:	



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Project:

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Richmond Road, Victoria**

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Date: 06 MAR 2025

Scale: 1:100

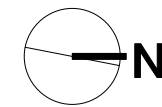
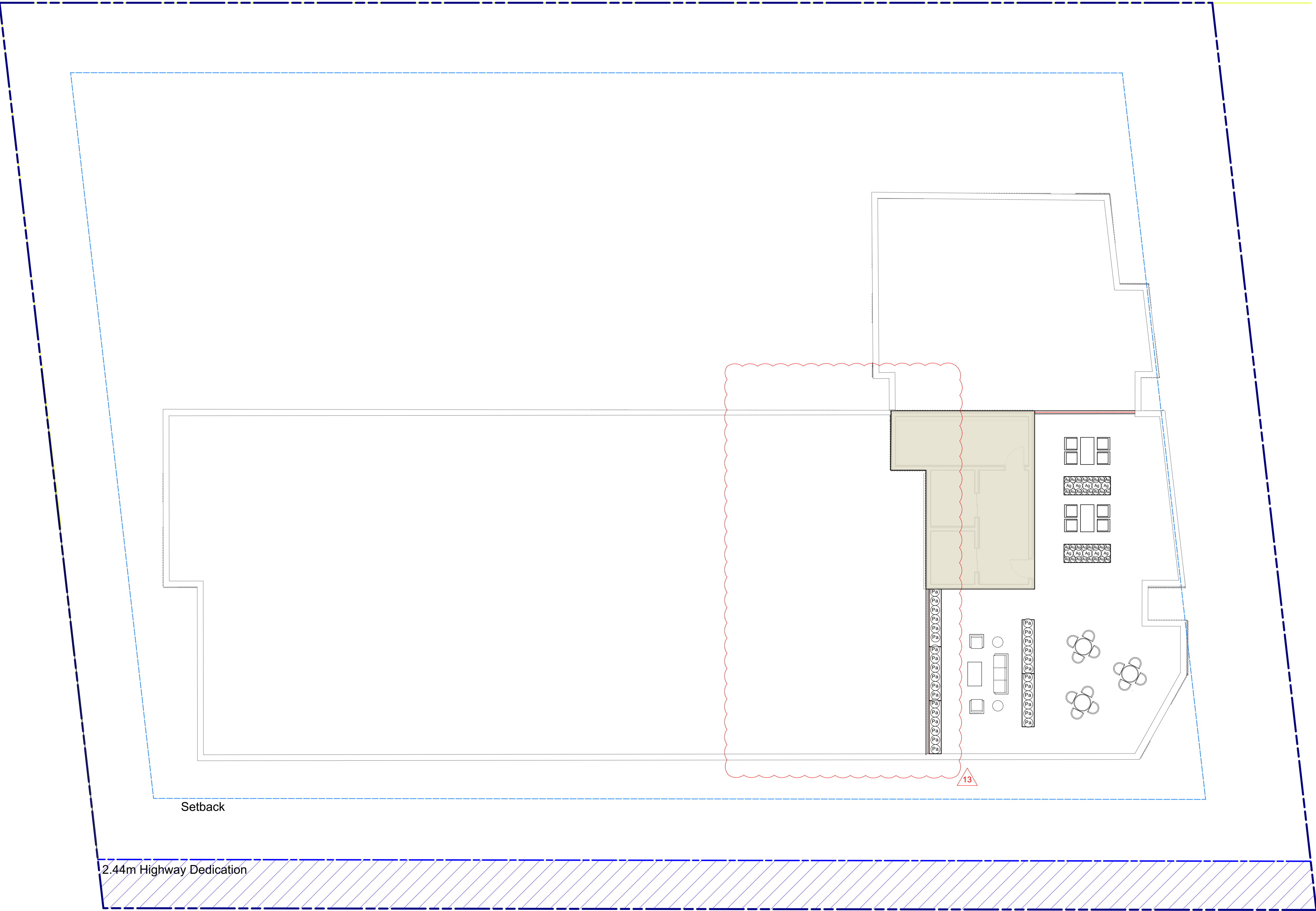
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LANDSCAPE PLAN - ROOF

Project No.:
25016

Sheet No.:

L-1.03

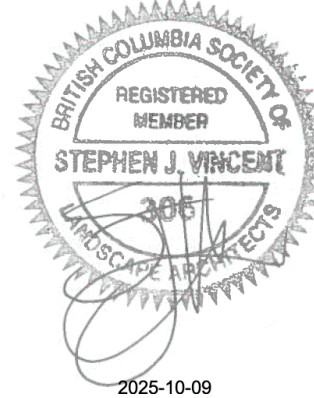


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Drawing Title:

PLANTING PLAN - ROOF

Project No.:
25016

Sheet No.:

L-1.04

LEGEND

PLANTING AREA
343 sqm

PERMEABLE SURFACE
782 sqm

BUILDING FOOTPRINT
1130 sqm

IMPERMEABLE SURFACE
349 sqm

INFILTRATION GALLERY
284 sqm

RAINWATER MANAGEMENT CALCULATIONS

Sizing Factor = $[(24 \times K_S + DR \times n)/32-1]^{(-1)}$
DR = Max. depth of reservoir = $274.3 \times K_S$
n = porosity of drain rock in reservoir = 0.35
Impermeable Area = 1130 sqm + 349 sqm =1479sqm
DR = $274.3 \times 2 = 400\text{mm}$ Maximum

Sizing Factor = $[(24 \times 2 + 400 \times 0.35)/32-1]^{(-1)} = 16.49\%$
Required Area = Impermeable Area x Sizing Factor = 1479 sqm x 16.49% = **244 sqm**

Sizing for Water Quality

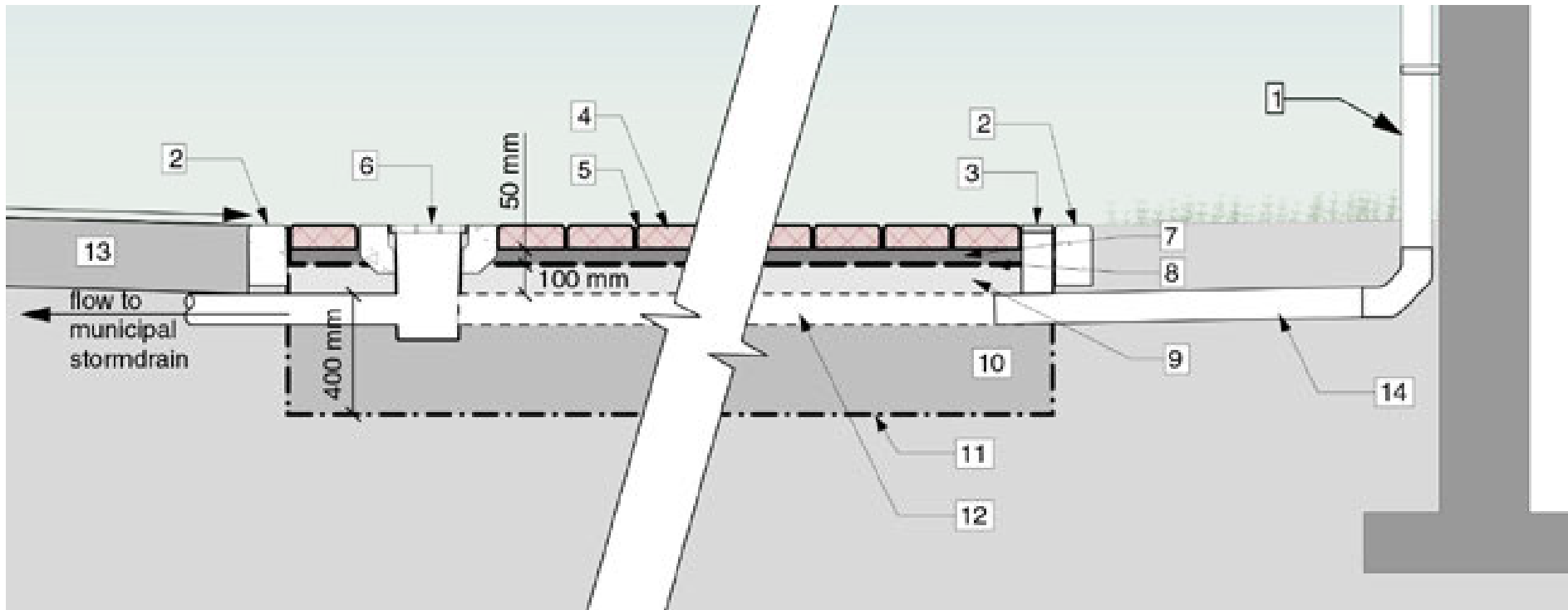
- Sizing approach to meet City of Victoria's water quality target is the same as the approach to meet volume capture and infiltration targets.
- There is no reduction in sizing for water quality sizing in the case of permeable paving.

Sizing for Capture and Infiltration

Permeable Unit Paving with Rock Reservoir

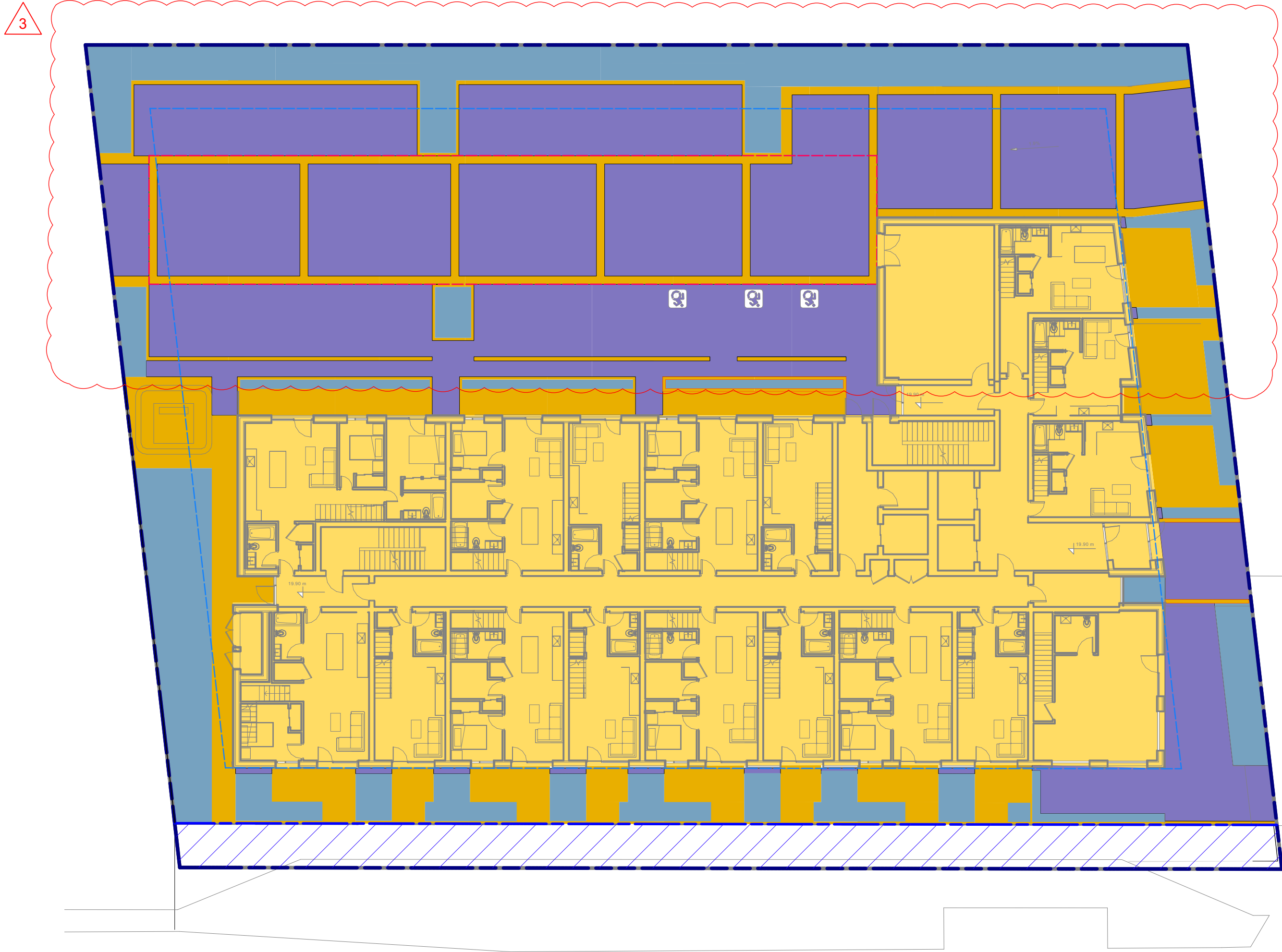
- Determine the maximum depth for the rock reservoir based on measured subsurface soil infiltration rate for the site and round down to the nearest 50 mm increment for contractibility; allowable depth range is 300 to 2000 mm. If the infiltration rate is not being measured at the site, then assume a value of 2 mm/hr for saturated hydraulic conductivity (K_S):
 $D_R = 274.3 \times K_S$
Where:
 D_R = Maximum recommended depth (thickness) of drain rock reservoir (mm)
 K_S = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested minimum value 2 mm/hr)
Note that where the subsurface soil hydraulic conductivity is 2 mm/hr, the maximum rock depth required is 400 mm, limited due to 20% minimum sizing factor.
- Use the following equation to determine the Base Area (bottom area) of Permeable Paving and rock reservoir required by finding the sizing factor for the site. Choose any value for the depth of rock reservoir within the allowable depth range and under the maximum allowable depth calculated in the previous step:
Sizing Factor = $[(24 \times K_S + D_R \times n)/32-1]^{(-1)}$
Where:
Sizing Factor = Fraction of impervious tributary area that must be permeable pavement to receive and treat runoff (unit less)
 K_S = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested value 2 mm/hr)
 D_R = Depth (thickness) of rock reservoir (mm)
n = porosity of drain rock in reservoir (unit less, e.g. 0.35)

Figure 24: Pervious Paver With Reservoir Detail



Permeable Unit Paving With Rock Reservoir Materials

- Downspout
- Curb/edge restraint
- Clean out with cap
- Permeable concrete unit paving stone
- Joint stabilizer
- 200 mm square catch basin – only required as an overflow for safety where adverse slope drains towards a building.
- Paver bedding course, 50 mm depth (open graded)
- Non-woven geotextile
- Upper reservoir open-graded base 100 mm depth
- Reservoir sub-base (open graded), 400
- Woven geotextile on bottom and sides of reservoir
- Perforated drain pipe, 100 mm dia min.
- Impervious paving
- Piped downspout connection



AQUALINE™ PERMEABLE PAVER

LOW MAINTENANCE AND PROVEN
DURABILITY IN A CONTEMPORARY
PERMEABLE PAVER

⦿ FEATURES & BENEFITS

- Interlocking spacer bars for increased structural performance
- Smooth surface with a micro-chamfer to minimize vibration and enhance wheelchair comfort
- Can be utilized to construct an ADA-compliant pavement
- True installed dimensions for design optimization
- Optimal joint openings for infiltration and maintenance
- Can eliminate stormwater runoff and improve water quality
- Meets the requirements of ASTM C936
- Chamfer Width: 3 mm
- Spacer Bar Width: 10 mm
- Surface Infiltration Rate: > 500 inches per hour (varies based on joint infill gradation)
- Surface Open Area: 10%
- Can be installed mechanically

◆ AVAILABLE COLOURS

MIDNIGHT NATURAL SHADED GREY

⚙️ SHAPES & SIZES

80MM

45 1/4" x 8 1/4" x 3 1/4"
110 x 221.5 x 80mm

DURAFUSION™
Unmatched Durability



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Project:

Residential
Development

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Drawn by: KY

Checked by: SV

Date: 06 MAR 2025

Scale: 1:100

Drawing Title:

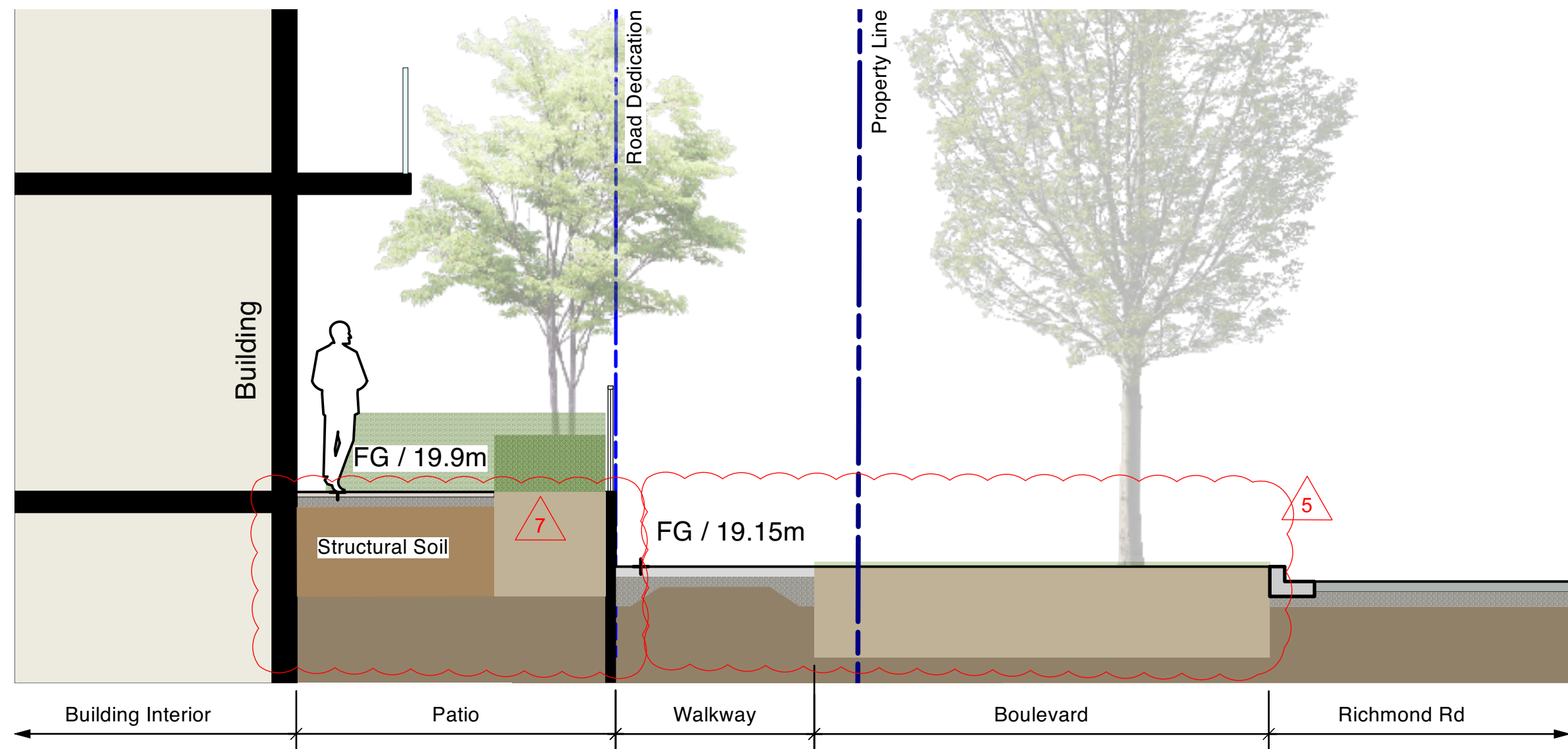
RAINWATER
MANAGEMENT PLAN

Project No.:

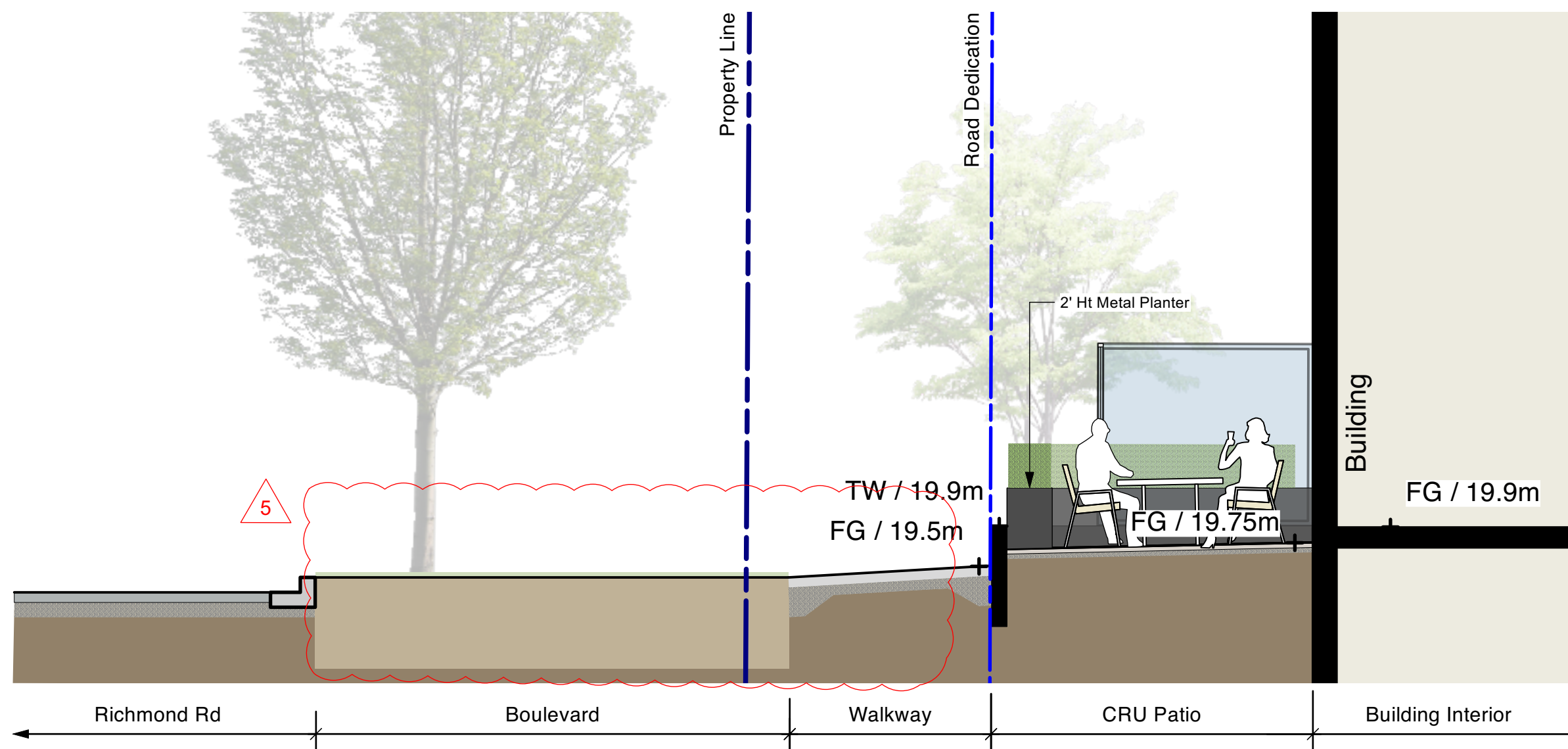
25016

Sheet No.:

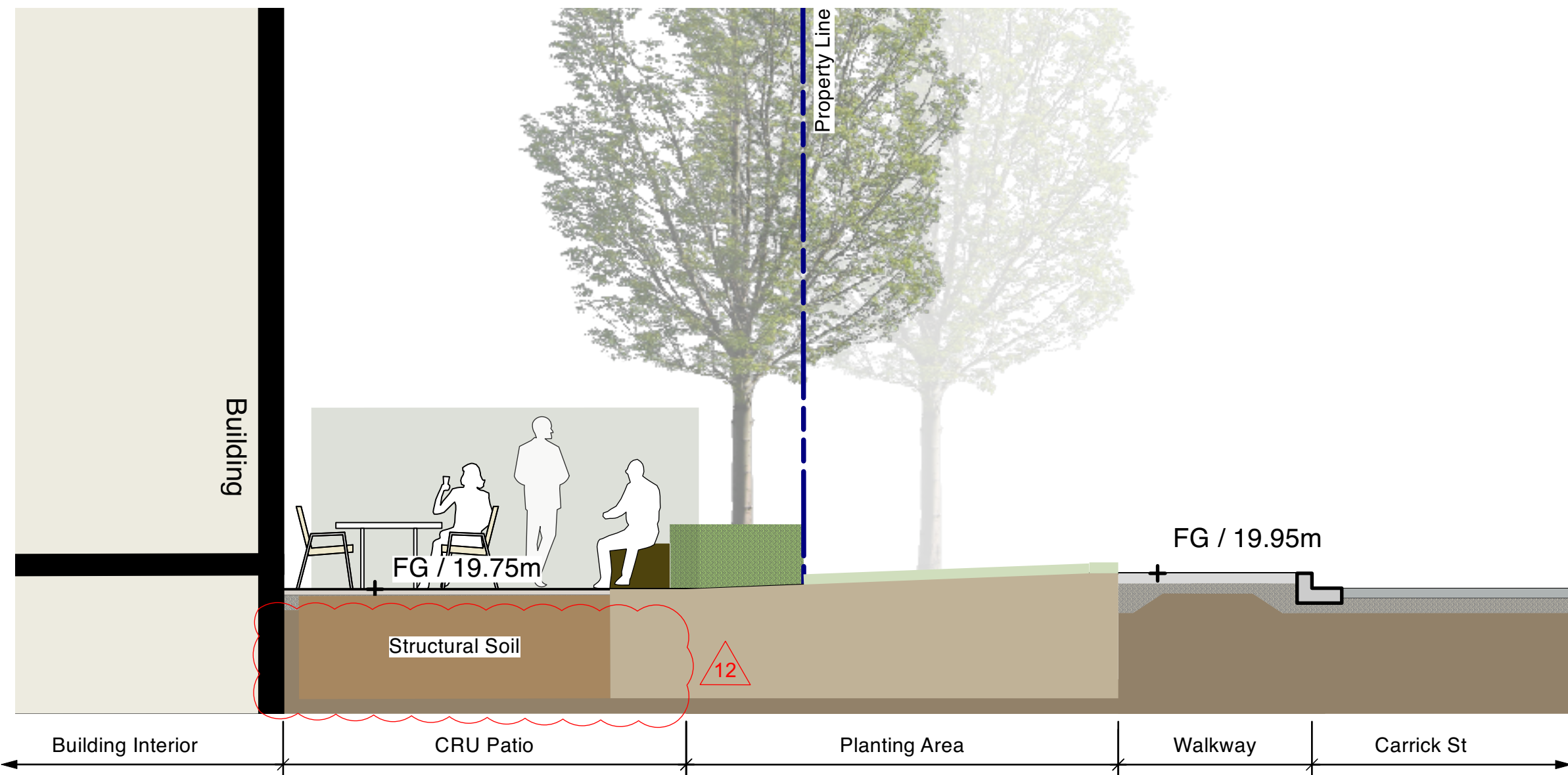
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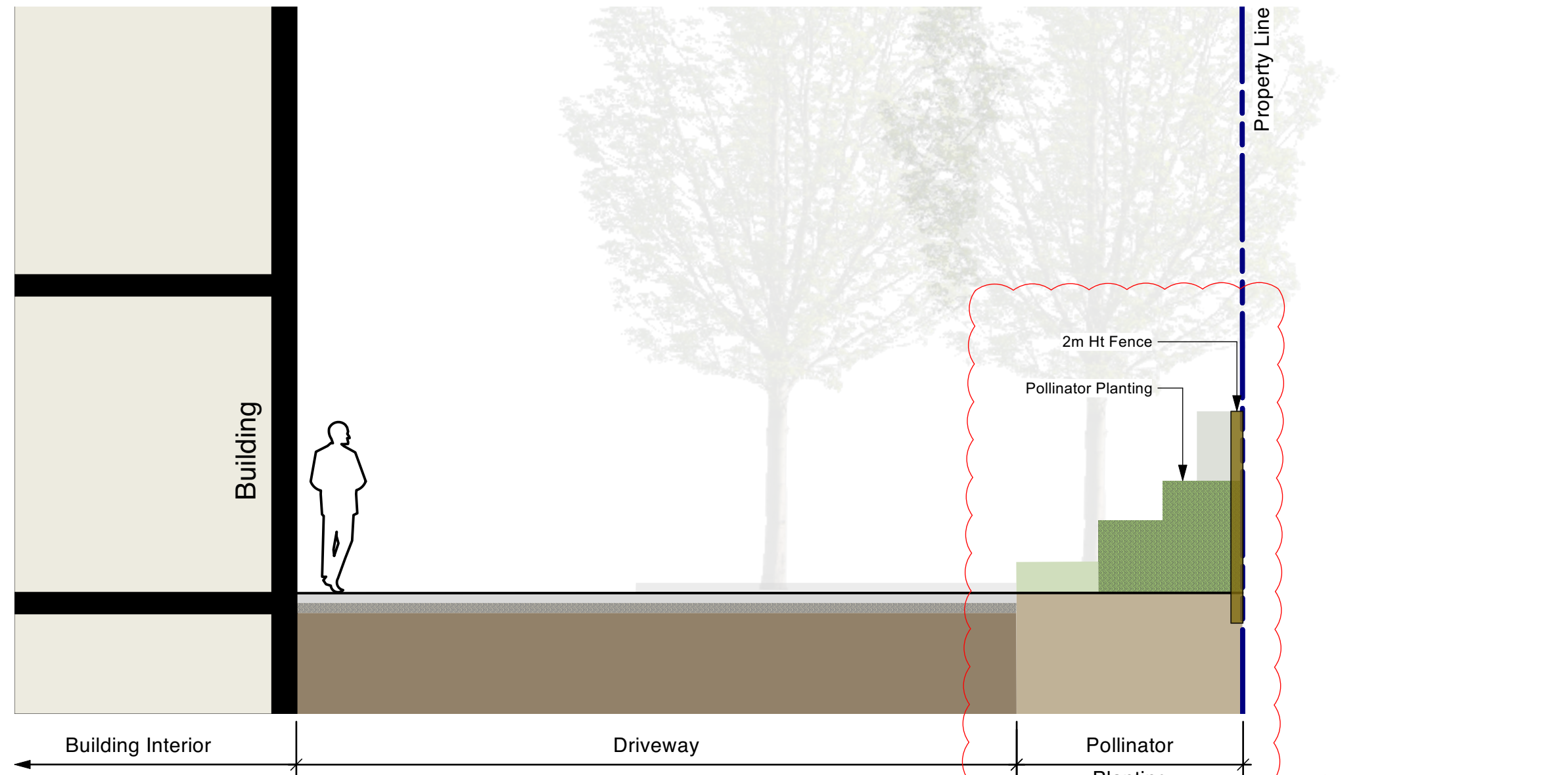
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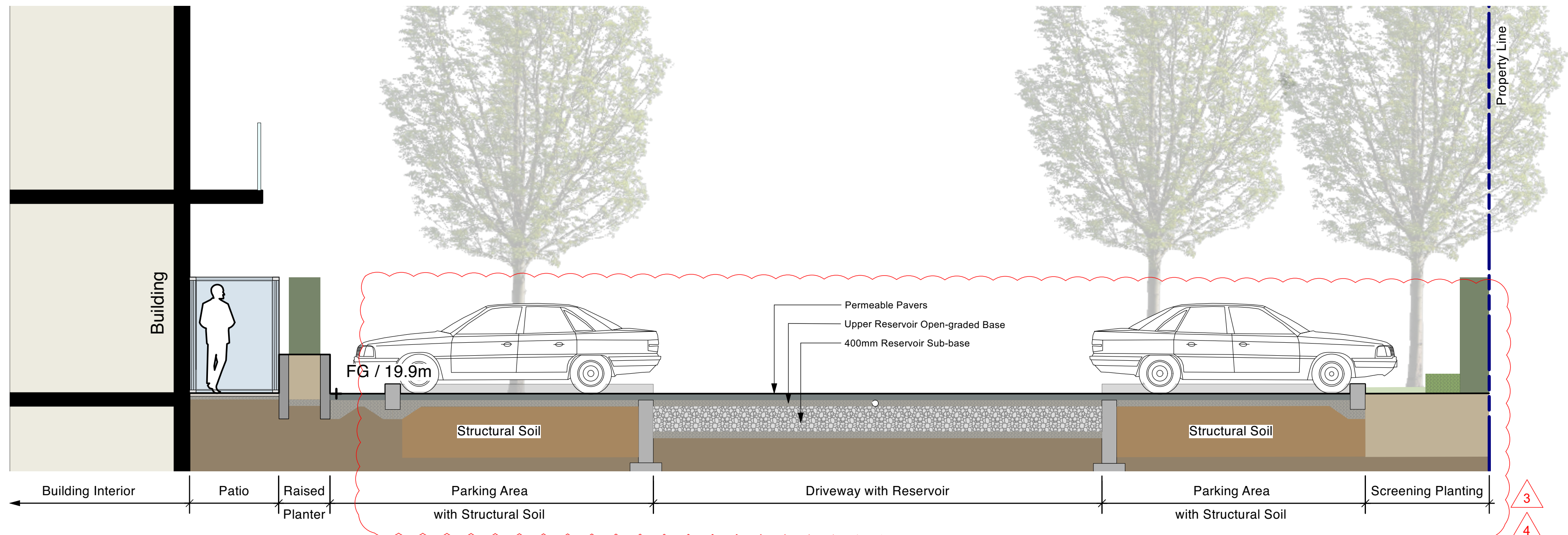
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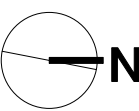
3 SECTION 3 : CRU TO CARRICK STREET
L-2.01 Scale = 1:50



4 SECTION 4 : DRIVEWAY
L-2.01 Scale = 1:50



5 SECTION 5 : PARKING AREA
L-2.01 Scale = 1:50



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Richmond Road, Victoria**

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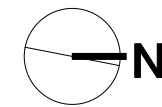
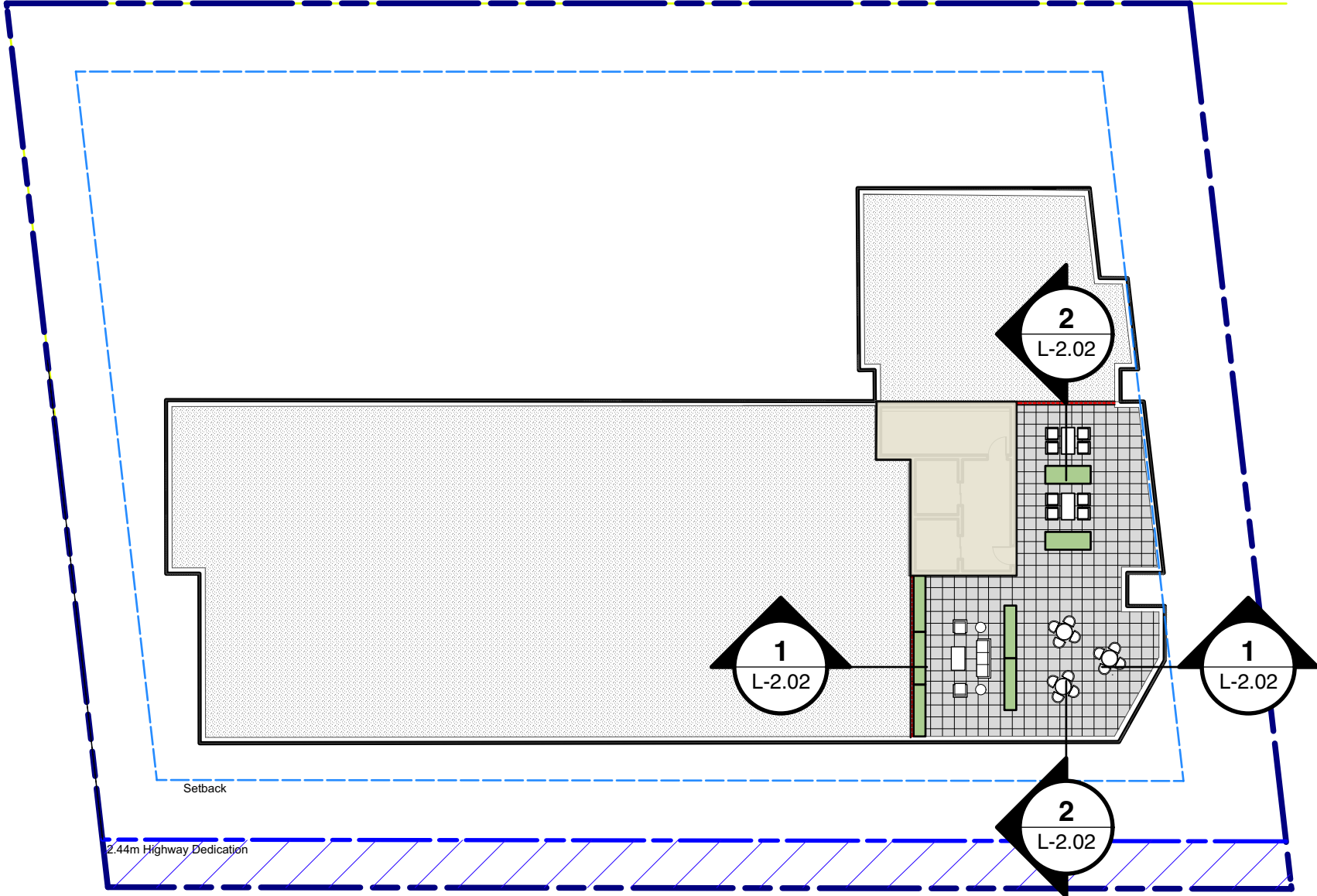
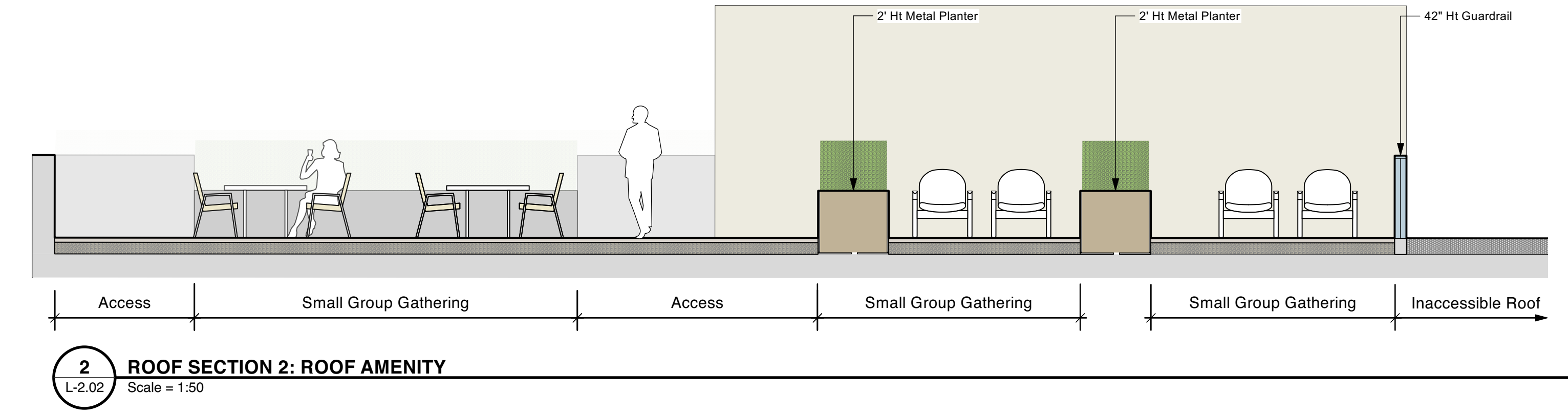
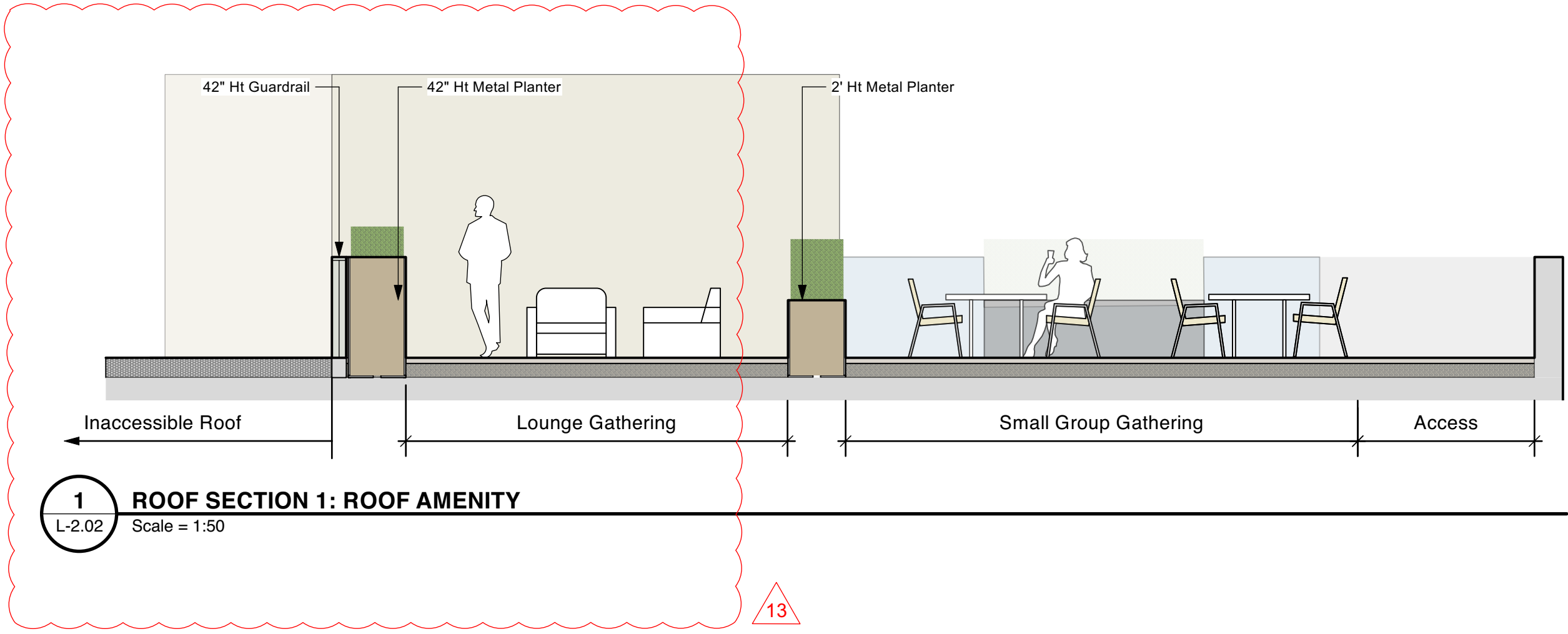
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SECTION 1

Project No.:
25016

Sheet No.:

L-2.01



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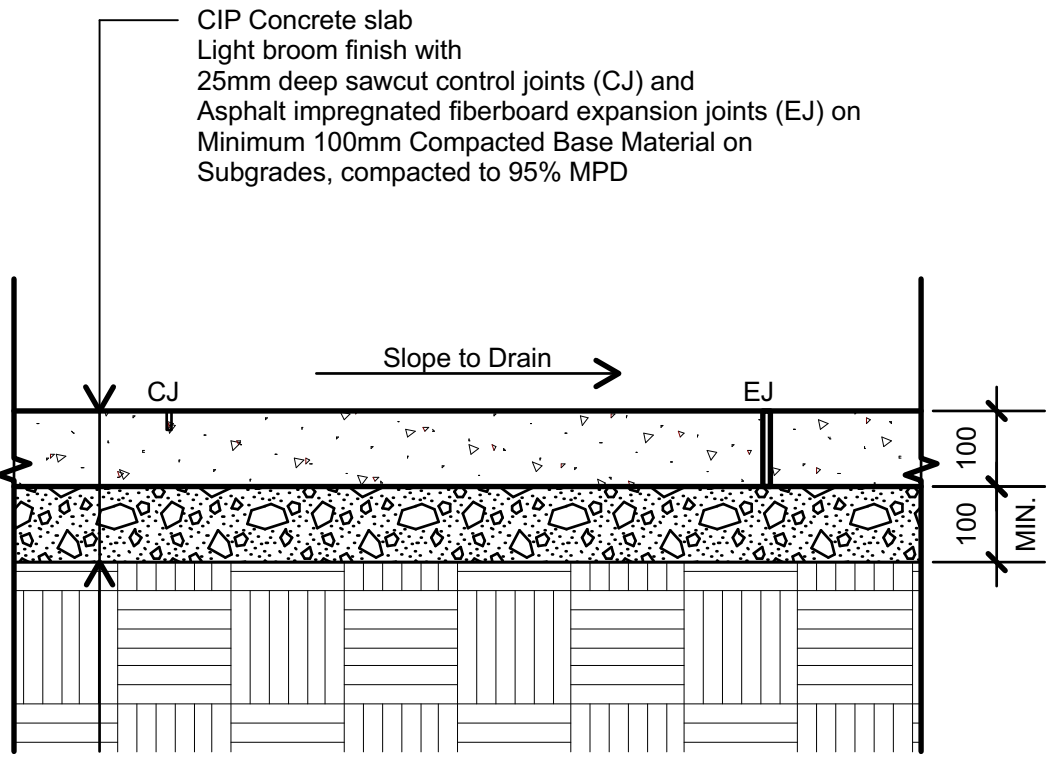
Drawn by:	KY
Checked by:	SV
Date:	06 MAR 2025
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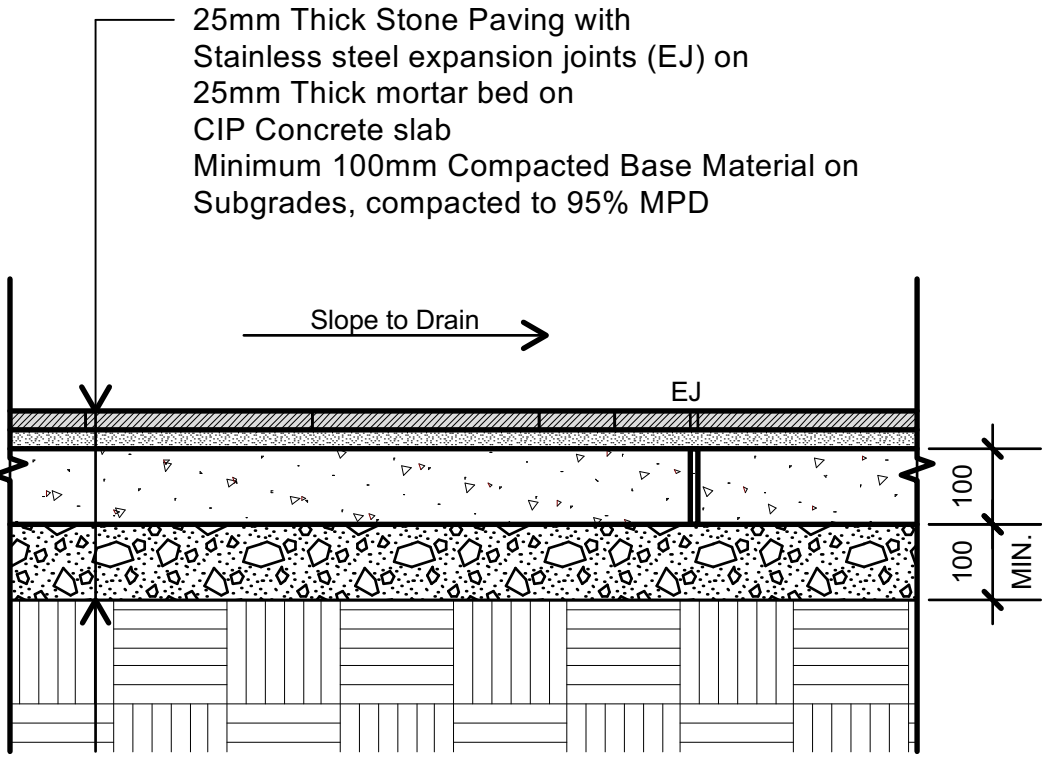
SECTION 2

Project No.:	25016
Sheet No.:	

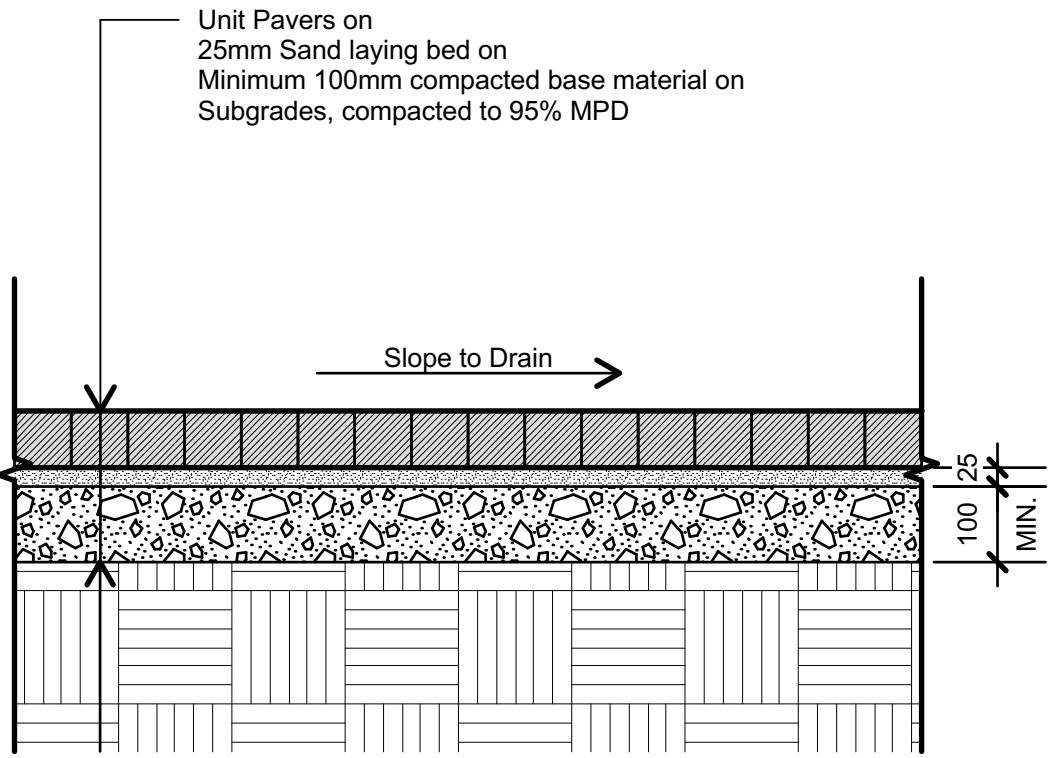
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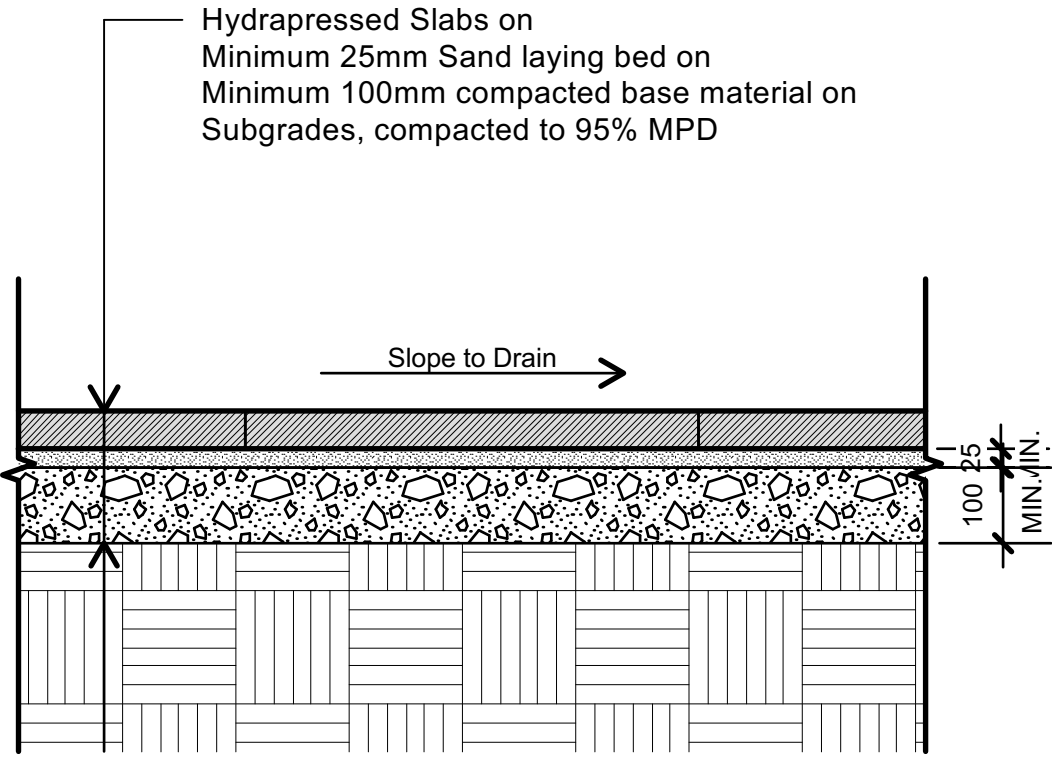
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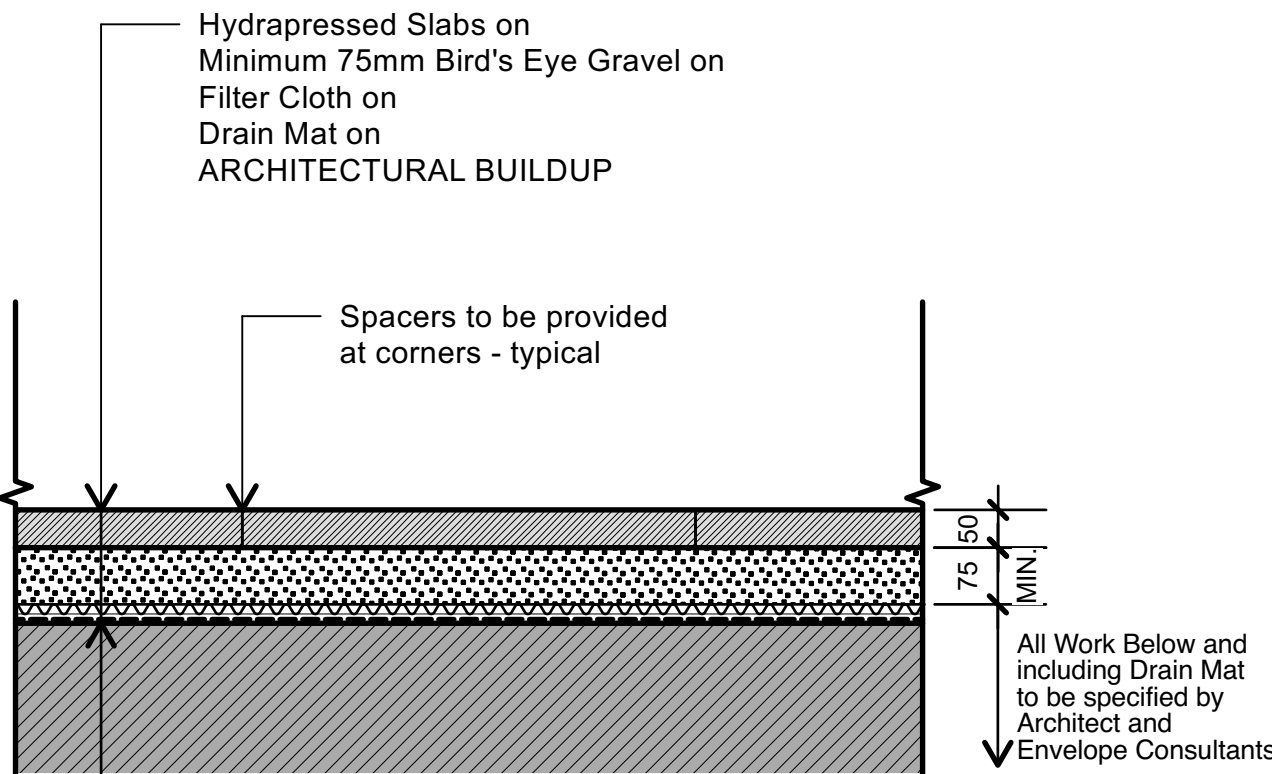
2 STONE PAVING - ON GRADE
3.01 Scale = 1:10



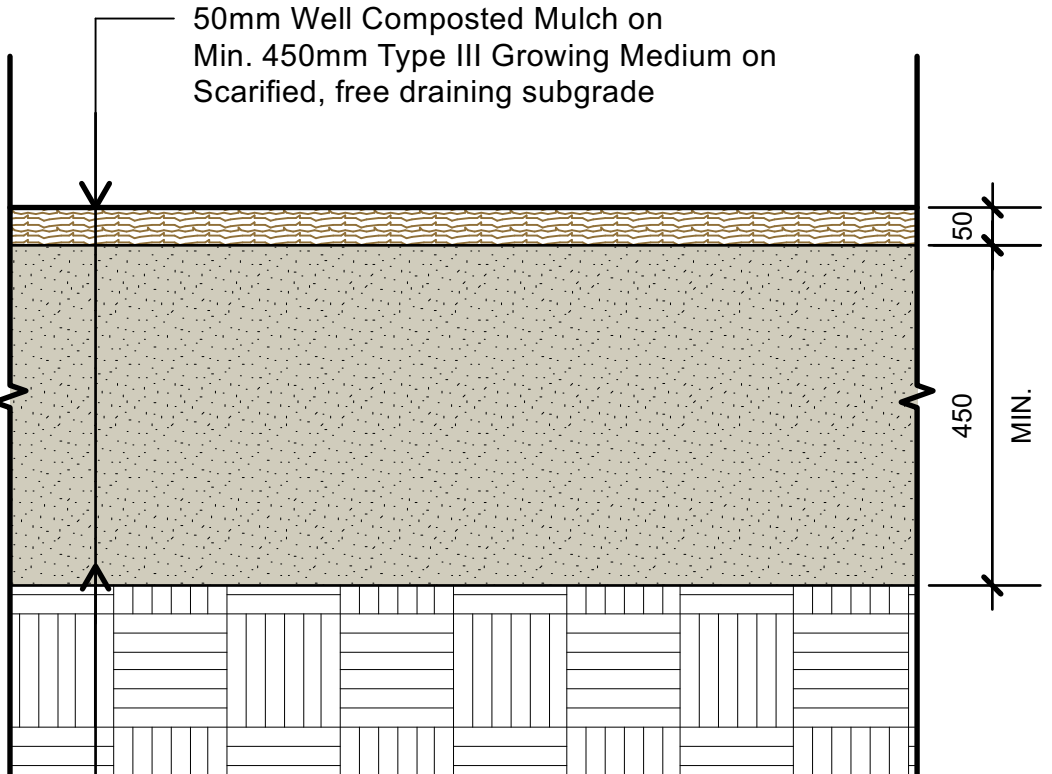
3 UNIT PAVERS - ON GRADE
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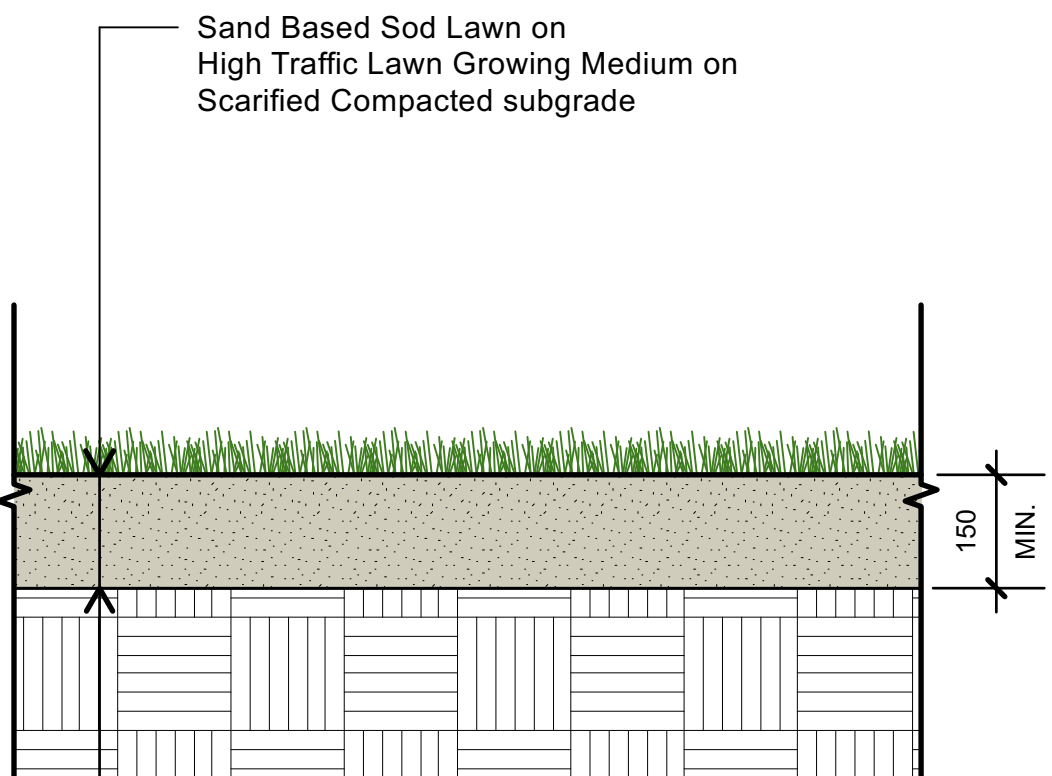
4 HYDROPPRESSED SLABS - ON GRADE
3.01 Scale = 1:10



5 HYDROPPRESSED SLABS - ON SLAB
3.01 Scale = 1:10



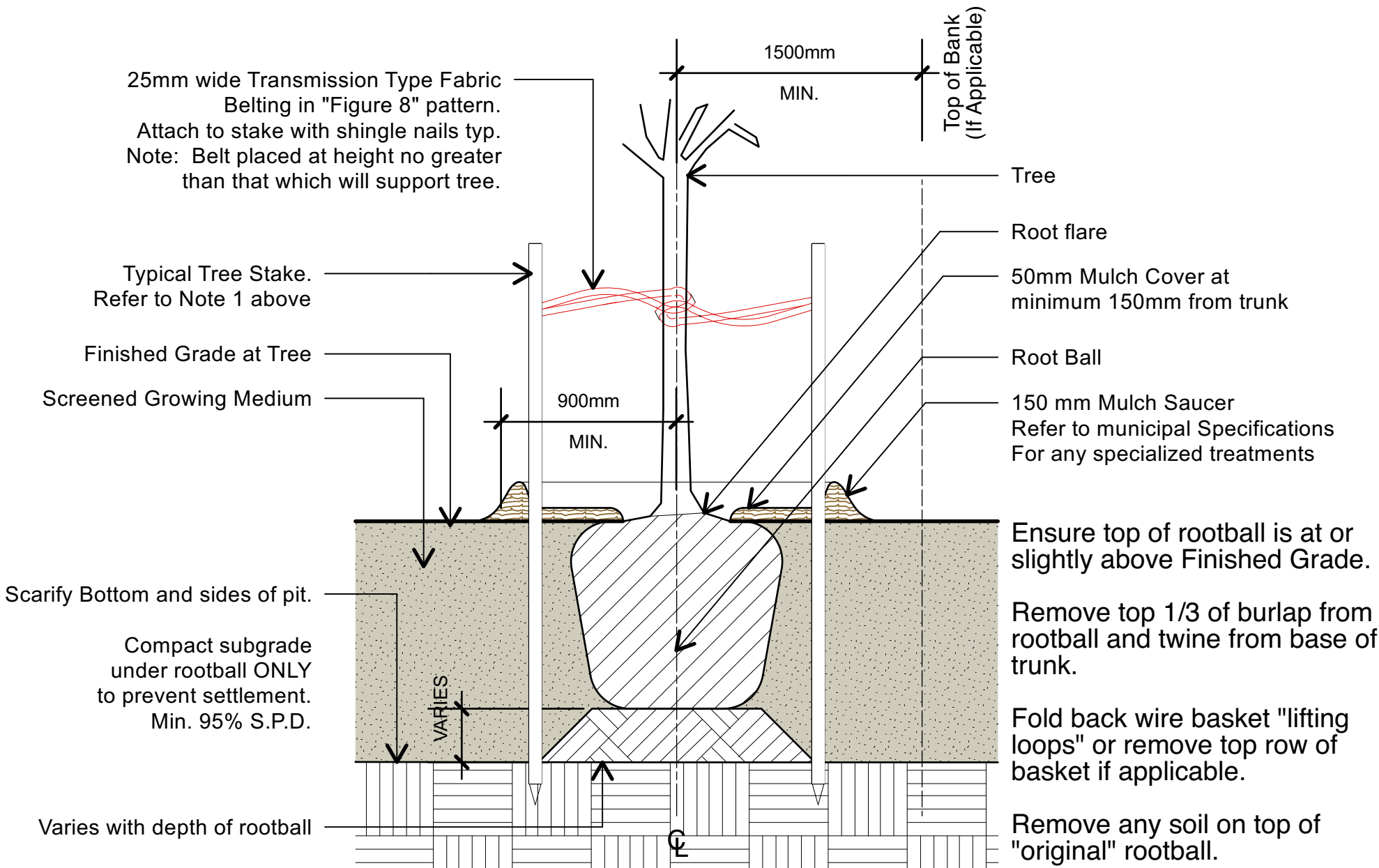
6 PLANTING - ON GRADE
3.01 Scale = 1:10



7 SOD LAWN - ON GRADE
L3.01 Scale = 1:10

TREE PLANTING NOTES

- All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
- Do not cut Tree Leader.
- Ensure tree location does not conflict with Underground Services. "Call before digging".
- Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
- Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
- Refer to Growing Medium Chart below for surface area depth of Growing Medium.



Depth	10 Cubic Meter - Soil Volume			5 Cubic Meter - Soil Volume		
Growing Medium Subgrade (mm)	Area (m2)	SQARE Size of Surface	CIRCLE Size of Surface	Area (m2)	SQARE Size of Surface	CIRCLE Size of Surface
450	22.10	4.7m x 4.7m	7.05 M Ø	11.11	3.3m x 3.3m	3.80 M Ø
600	16.80	4.1m x 4.1m	5.17 M Ø	8.33	2.9m x 2.9m	3.25 M Ø
750	13.70	3.7m x 3.7m	4.36 M Ø	6.67	2.6m x 2.6m	2.90 M Ø

8 TYPICAL TREE PLANTING
3.01 Scale = 1:10

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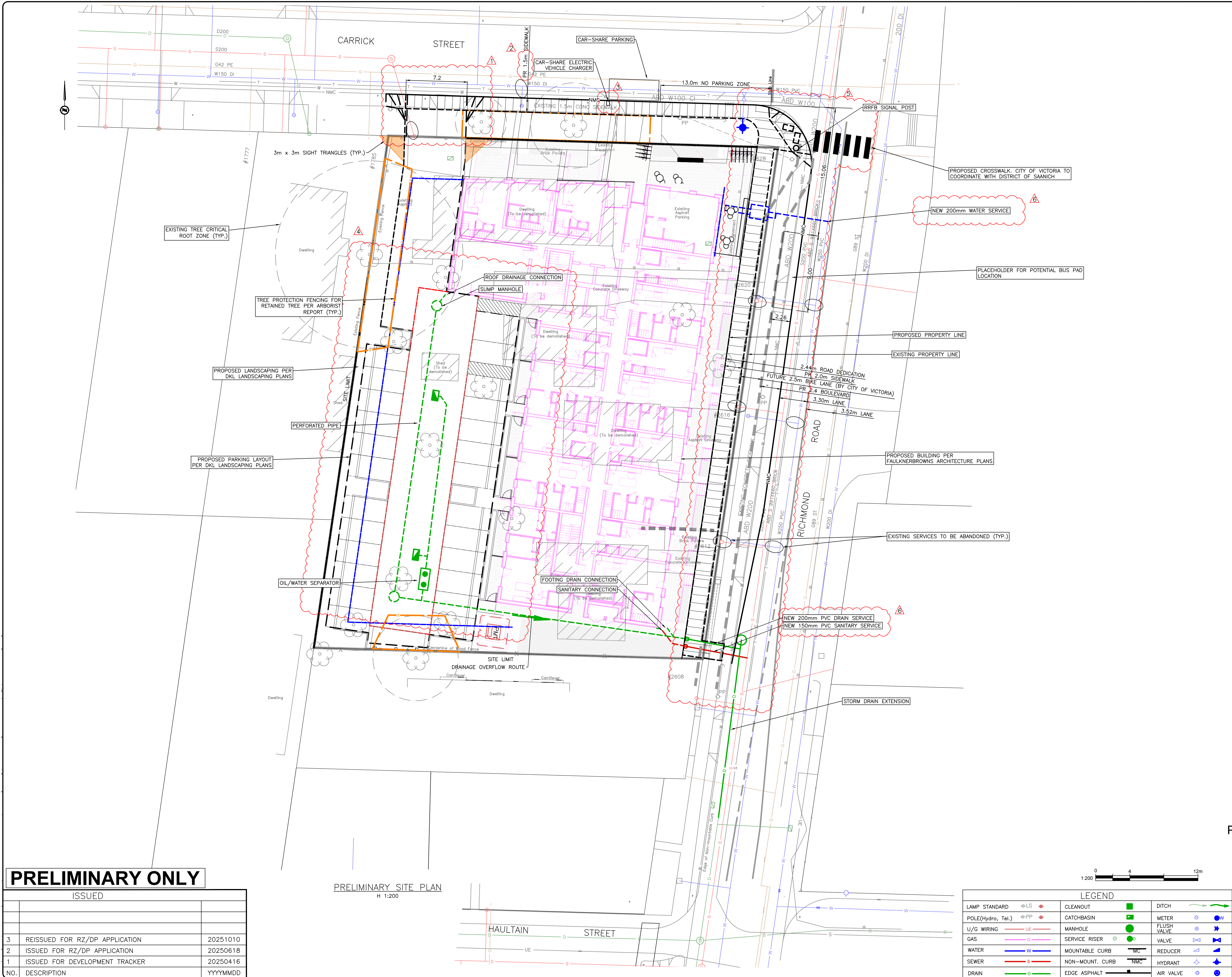
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DETAILS

Project No.:
25016

Sheet No.:

L-3.01



PRELIMINARY ONLY

ISSUED		
3	REISSUED FOR RZ/DP APPLICATION	20251010
2	ISSUED FOR RZ/DP APPLICATION	20250618
1	ISSUED FOR DEVELOPMENT TRACKER	20250416
NO.	DESCRIPTION	YYYYMMDD

PRELIMINARY SITE PLAN
H 1:200

2612-2628 RICHMOND ROAD
PRELIMINARY SITE SERVICING

Scale
horiz. 1:200 Scale
vert. N/A
Sheet 1 of 1
Eng. Project No. 34719
Drafted by. MP



J E ANDERSON &
ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

LEGEND			
LAMP STANDARD	LS	CLEANOUT	
POLE(Hydro, Tel.)	PP	CATCHBASIN	
U/G WIRING	UE	MANHOLE	
GAS	G	SERVICE RISER	
WATER	W	MOUNTABLE CURB	MC
SEWER	S	NON-MOUNT. CURB	NMC
DRAIN	D	EDGE ASPHALT	
		DITCH	
		METER	
		FLUSH VALVE	
		VALVE	
		REDUCER	
		HYDRANT	
		AIR VALVE	