



Block 01

Block 02

Le PARC

FAIRFIELD-KIPLING

8 UNIT TOWN HOME DEVELOPMENT

1400 Fairfield Rd and 349 Kipling St, Victoria, BC

List of Architectural Drawings

No.	Title	Scale
A1.0	Cover Sheet	NTS
A1.1	Survey Plan	NTS
A1.2	Context Plan	1:200
A1.3	Context Streetscape	(1:120) 1" = 10'-0"
A1.4	Solar Study	(1:120) 1" = 10'-0"
A1.5	Sustainability Strategy	(1:120) 1" = 10'-0"
A1.6	Neighbouring Window Overlay	(1:120) 1" = 10'-0"
A2.0	Site Plan	1:120
A2.1	Graphical Floor Area Ratio	1:100
A2.2	Graphical No. of Stories	1:100
A2.3	Graphical Lot Coverage & Open Site Space	(1:120) 1" = 10'-0"
A3.1	Unit A1 Floor Plans Unit 7	1:50
A3.2	Unit A2 Floor Plans Unit 8	1:50
A3.3	Unit B1 Floor Plans	1:50
A3.4	Unit B2 Floor Plans Unit 1	1:50
A3.5	Unit B3 Floor Plans Unit 6	1:50
A4.0	Block 01 Floor Plans	1:65
A4.1	Block 01 Floor Plans	1:65
A4.2	Block 01 Elevations	1:65
A4.3	Block 01 Elevations	1:65
A4.4	Block 02 Floor Plans	1:65
A4.5	Block 02 Elevations	1:65
A4.6	Block 01 & 02 Sections	1:65
A5.0	Building Assemblies	NTS
A6.0	Concept Renderings	NTS
A6.1	Concept Renderings	NTS
26	Sheets in Set	

Team of Consultants

Architect
Sébastien Garon Architecture + Design Inc
Project No. 19.015
1018 Deep Cove Rd
North Vancouver BC
Sébastien Garon, Architect, AIBC
(604) 812-1869
sebastien@sgad.ca

Contractor
P. Cosgrave Construction Ltd.
Paul Cosgrave, Principal
(250) 886-1361
paul@cosgrave.ca

Landscape
BIOPHILIA design collective ltd

1501 Haultain St
Victoria BC V8R 2K1
Bianca Bodley
(250) 590-1156
bianca@biophilialcollective.ca

Surveyor
J.E.Anderson & Associates
Project No. 31517
4212 Glanford Ave
Victoria BC V8Z 4B7

(250) 727-2214
info@jeanderson.com

Arborist
Talbot Mackenzie & Associates
Noah Borges, ISA Certified Arborist
(250) 479-8733
tmreehelp@gmail.com

Civil Engineer
Westbrook Consulting Ltd.
Iva Kvartuc, B. Eng.
(250) 391-8592 ext. #235
IKvartuc@wbrook.ca

Geotechnical
Ryzuk Geotechnical
Scott Currie, P. Eng.
(250)-475-3131
scott@ryzuk.com


Structural
Skyline Engineering
Wade Griffin
(250)-590-4133 Ext. 103
wgriffi@seng.ca

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.



CITY OF VICTORIA

Revisions
Received Date:
December 13, 2019

Issued	Issued for
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Cover Sheet

Project Name: Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: NTS

Sheet No:

A1.0

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal _____

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Survey Plan

Project Name: _____

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal: _____

PID: _____
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: NTS
Sheet No: _____

A1.1

SITE PLAN

BART JOHNSON

Lots 13 & 35, Fairfield Farm
Estate, Victoria City,
Plan 884

ADDRESS : 1400 Fairfield/ 351 Kipling

PROJECT SURVEYOR : PJW

DRAWN BY : BAR DATE : OCT 2/18

OUR FILE : 31517 REVISION :



J.E. ANDERSON
& ASSOCIATES
SURVEYORS - ENGINEERS

4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL: info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

LEGEND

- Denotes Control Monument Found
- Denotes Traverse Station Placed
- Denotes Catch Basin
- Denotes Coniferous Tree
- Denotes Deciduous Tree
- Denotes Typical Spot Elevation
- Denotes Utility Pole
- Denotes Water Service

Table of Tree Descriptions

Tag #	Species	Diameter
#242	Deciduous	60cm
#252	Deciduous	45cm
#253	Deciduous	50cm
#254	Deciduous	30cm
#285	Cedar	40cm
#286	Cedar	40cm
#287	Deciduous	30cm (Twin)
#288	Cedar	30cm (Twin)
#289	Cedar	30cm
#290	Cedar	45cm (Twin)
No tag	Monkey	30cm
No tag	Fruit	25cm
No tag	Deciduous	10cm
No tag	Deciduous	10cm
No tag	Cherry	25cm
No tag	Cherry	45cm
No tag	Pine	25cm

Legal boundaries are derived from field survey

Distances and elevations are in metres.

Elevations are geodetic based on control monument 9--68.

Elevations are at grade unless noted otherwise.

Building dimensions and offsets to property lines are shown to
exterior of building walls.

0 2 4 8 12 16 20
The intended plot size of this plan is 432mm in width by 560mm
in height. When plotted at a scale of 1:200.

FOR DEVELOPMENT APPLICATION ONLY

Thurlow Road

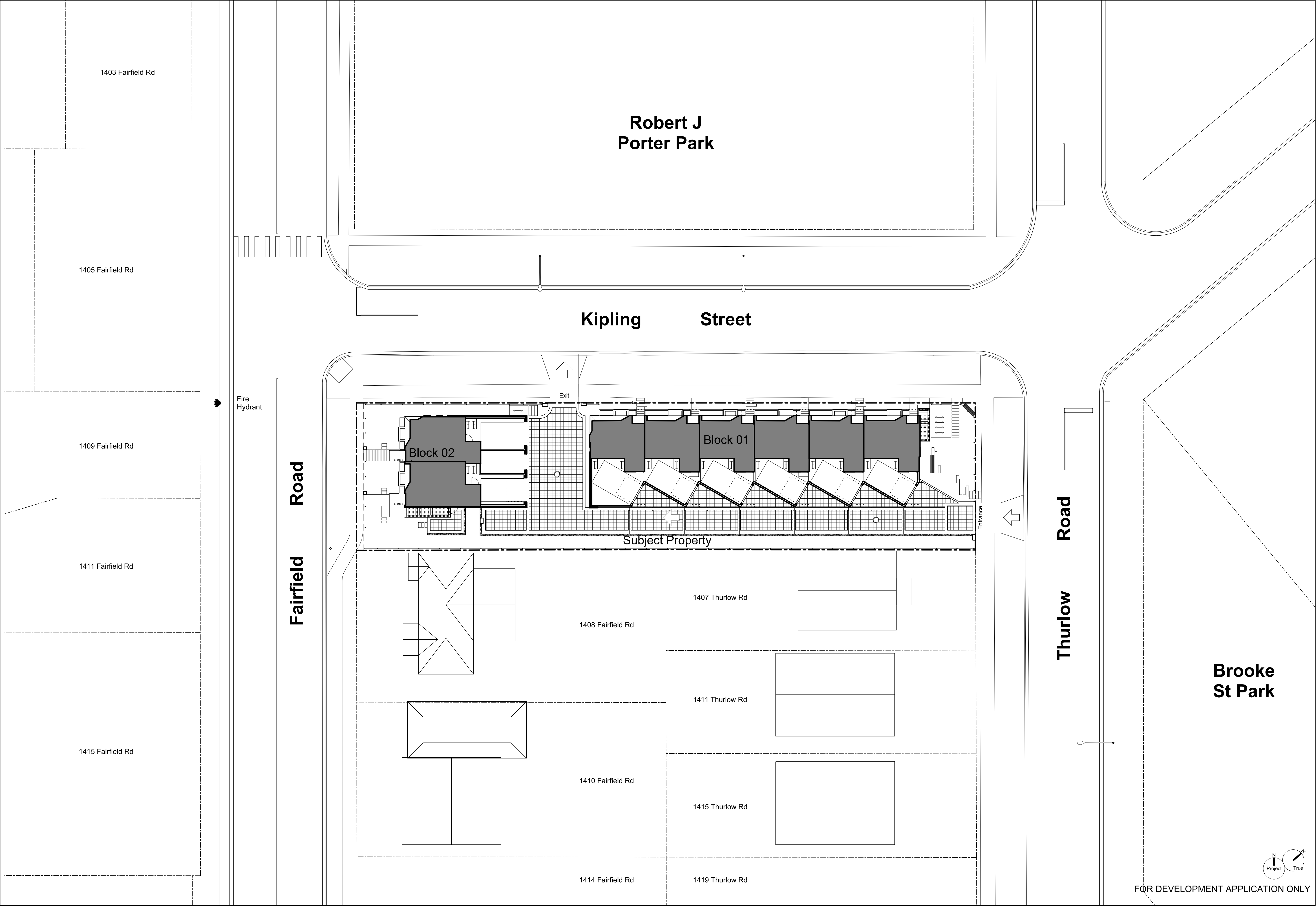
Street

Kipling

Fairfield Road

This sketch does not constitute a redefinition of the legal boundaries
hereon described and is not to be used in any matter which would assume same.
J.E. Anderson & Associates accepts no responsibility or liability for any damages that may be suffered by a
third party as a result of any decision made, or actions taken based on this document.
Subject to charges, legal notations, and interests shown on: Title No. ET59777 (P.I.D. 008-292-345) Lot 13
Title No. CA6094211 (P.I.D. 005-209-510) Lot 35

V:_Projects\31517\08\02\Microsurvey\31517.dwg



THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Context Plan

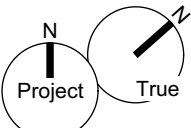
Project Name:

Fairfield-Kipling
Development

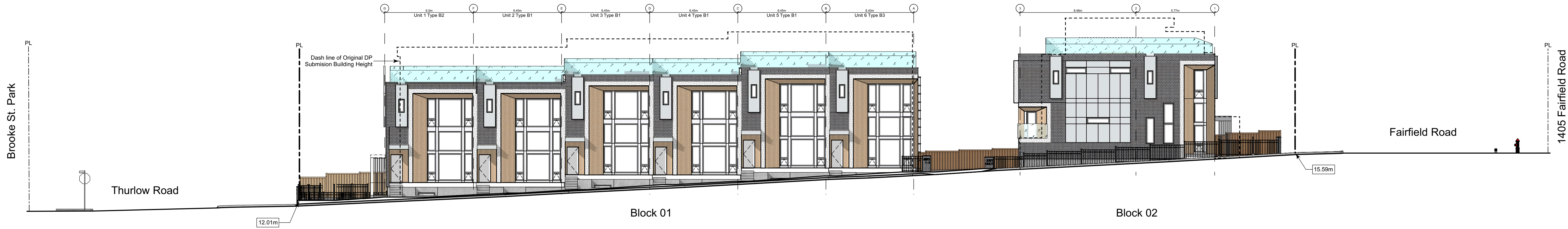
Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

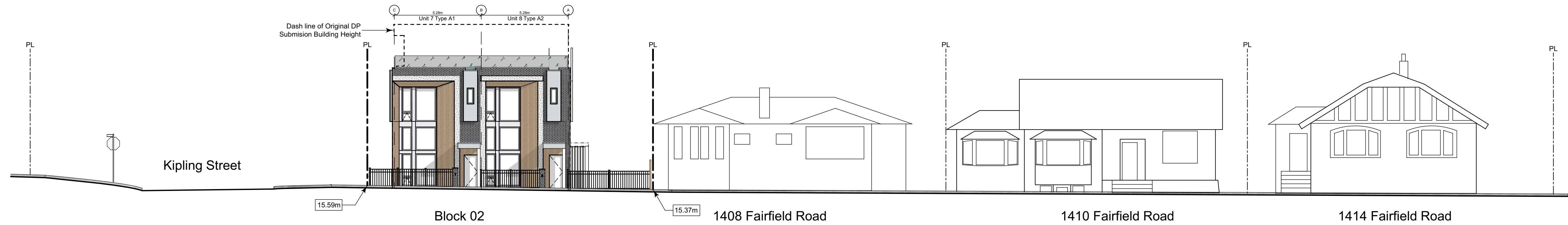
PID:	
Project No:	19.015
Drawn By:	SG/TD
Plot Date:	Dec 12, 2019
Scale:	1:200
Sheet No:	



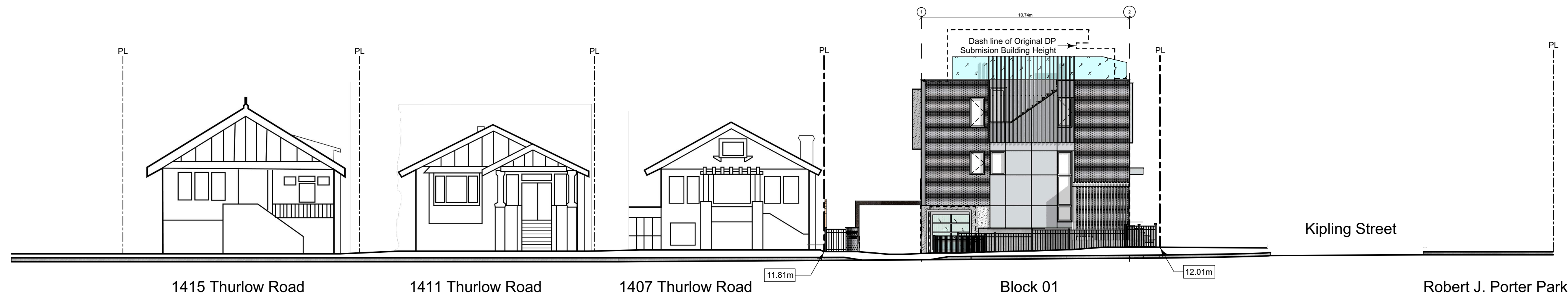
FOR DEVELOPMENT APPLICATION ONLY



1 Streetscape Kipling Street
Scale: 1:150



2 Streetscape Fairfield Road
Scale: 1:150



3 Streetscape Thurlow Road
Scale: 1:150

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Context Streetscape

Project Name:

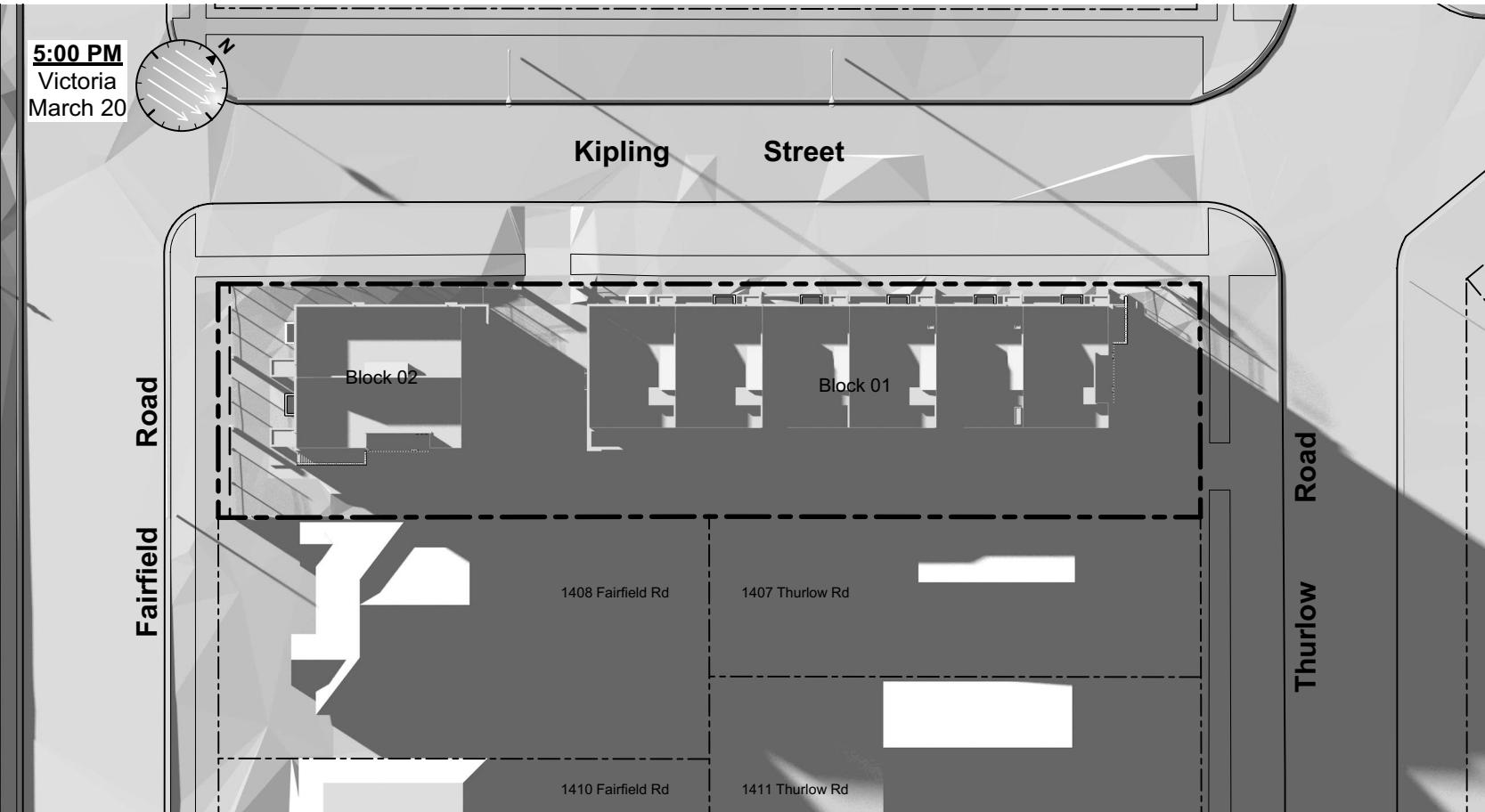
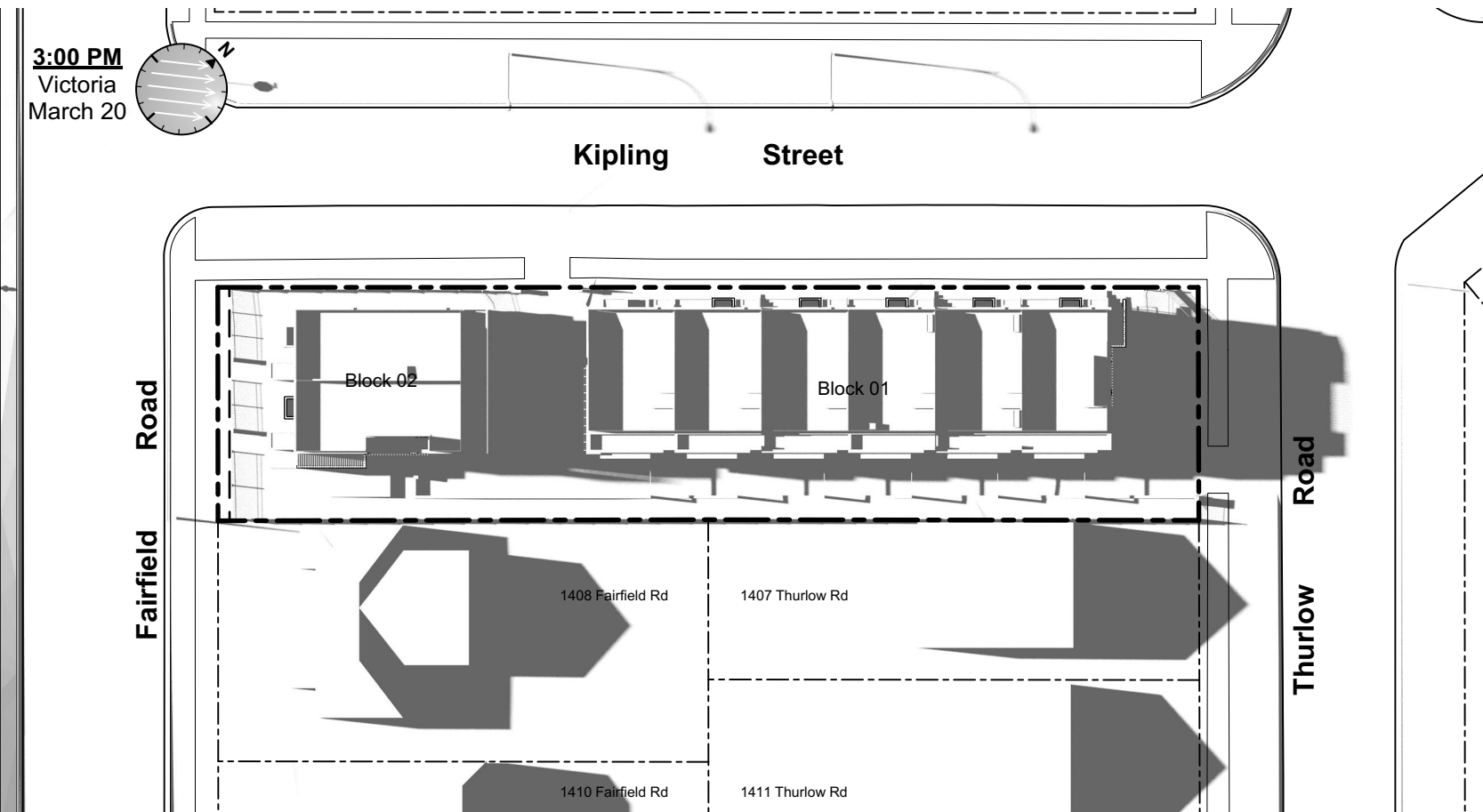
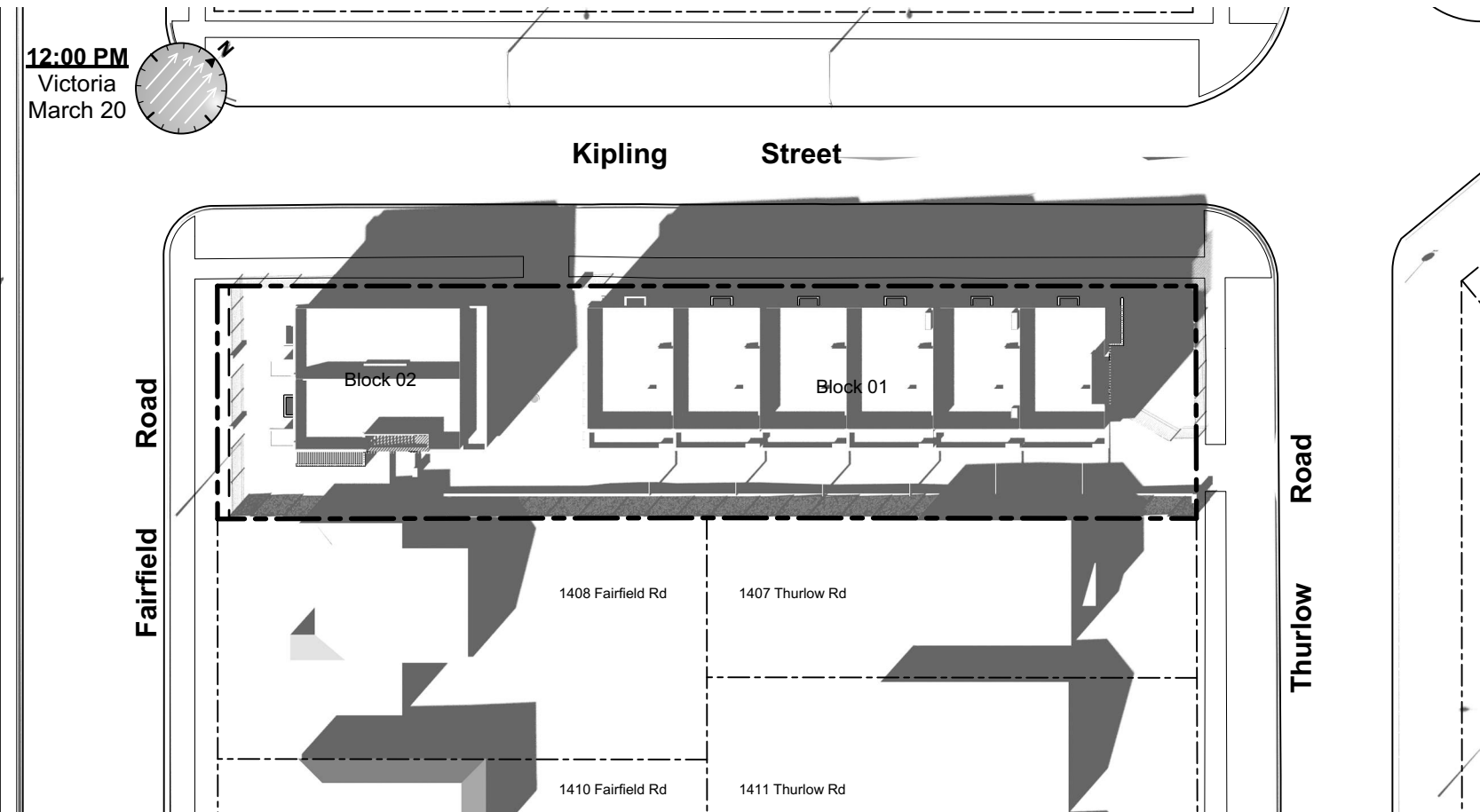
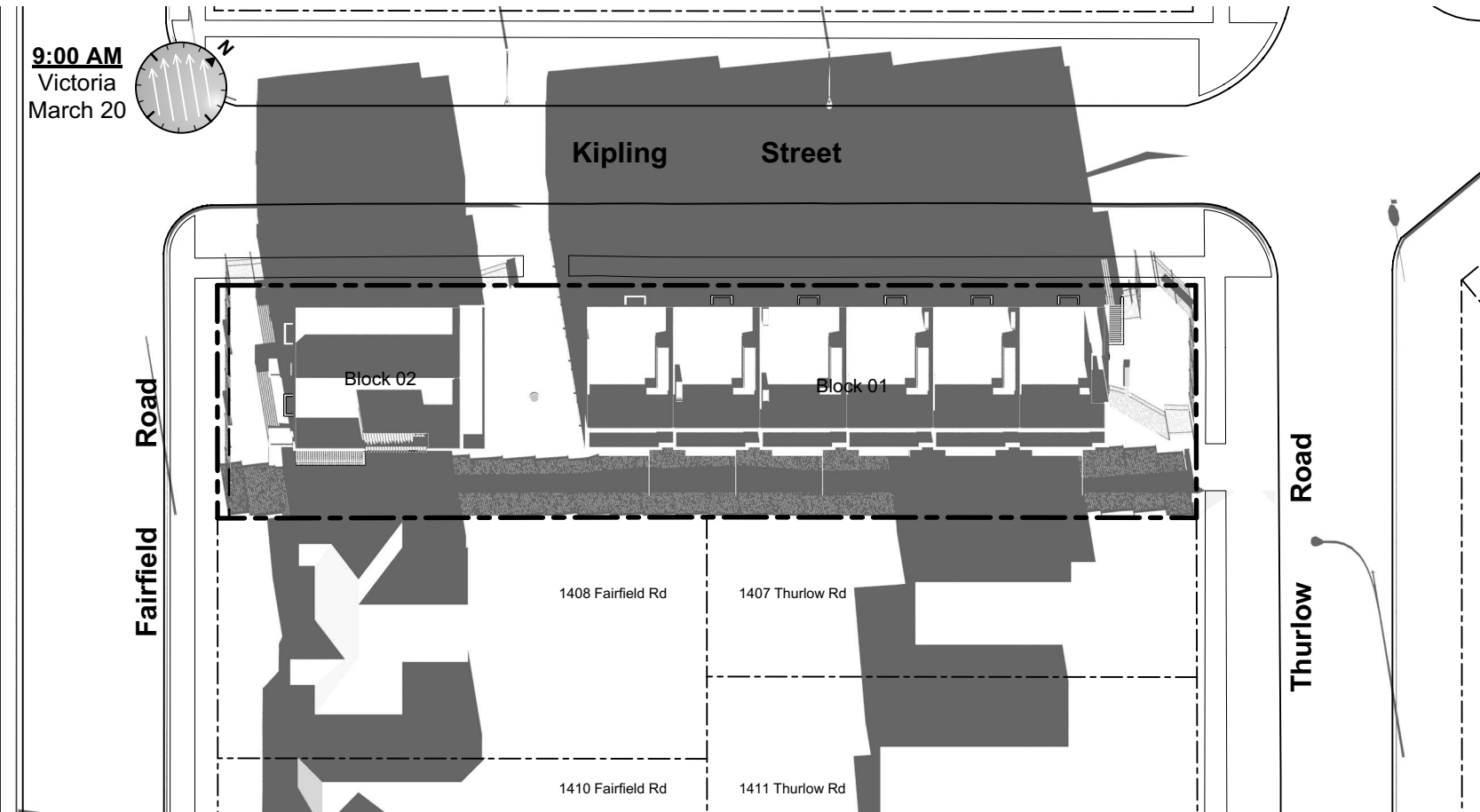
Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

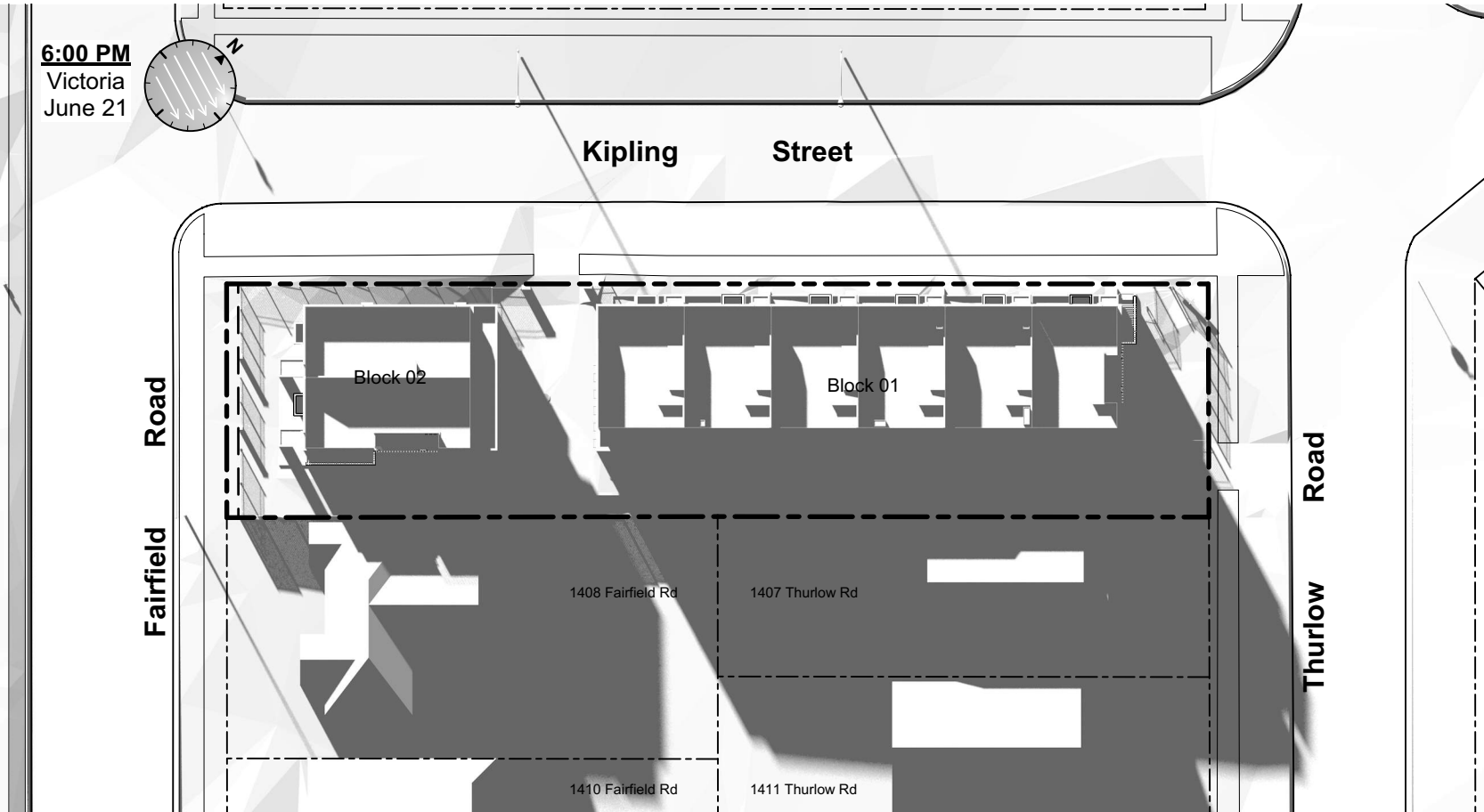
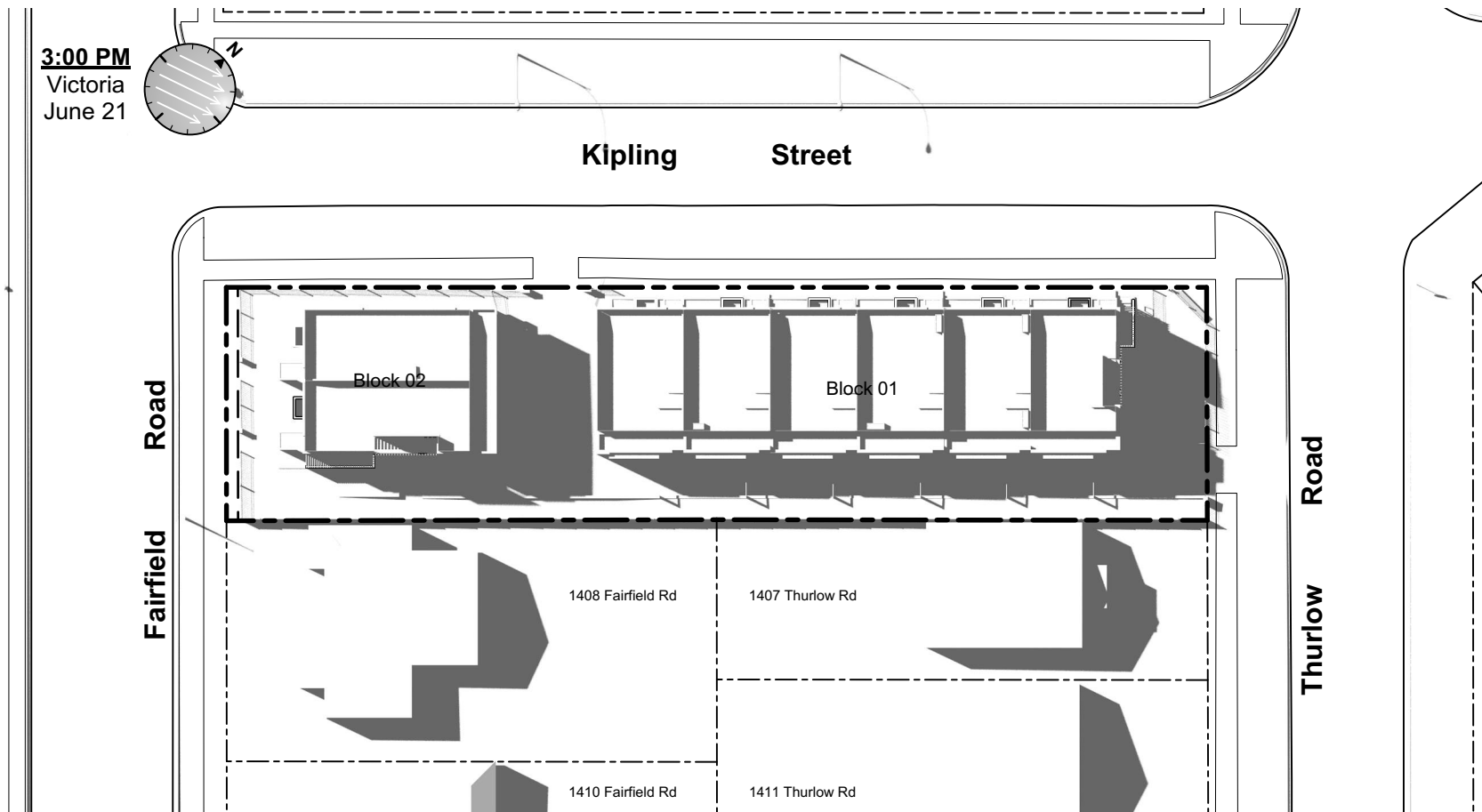
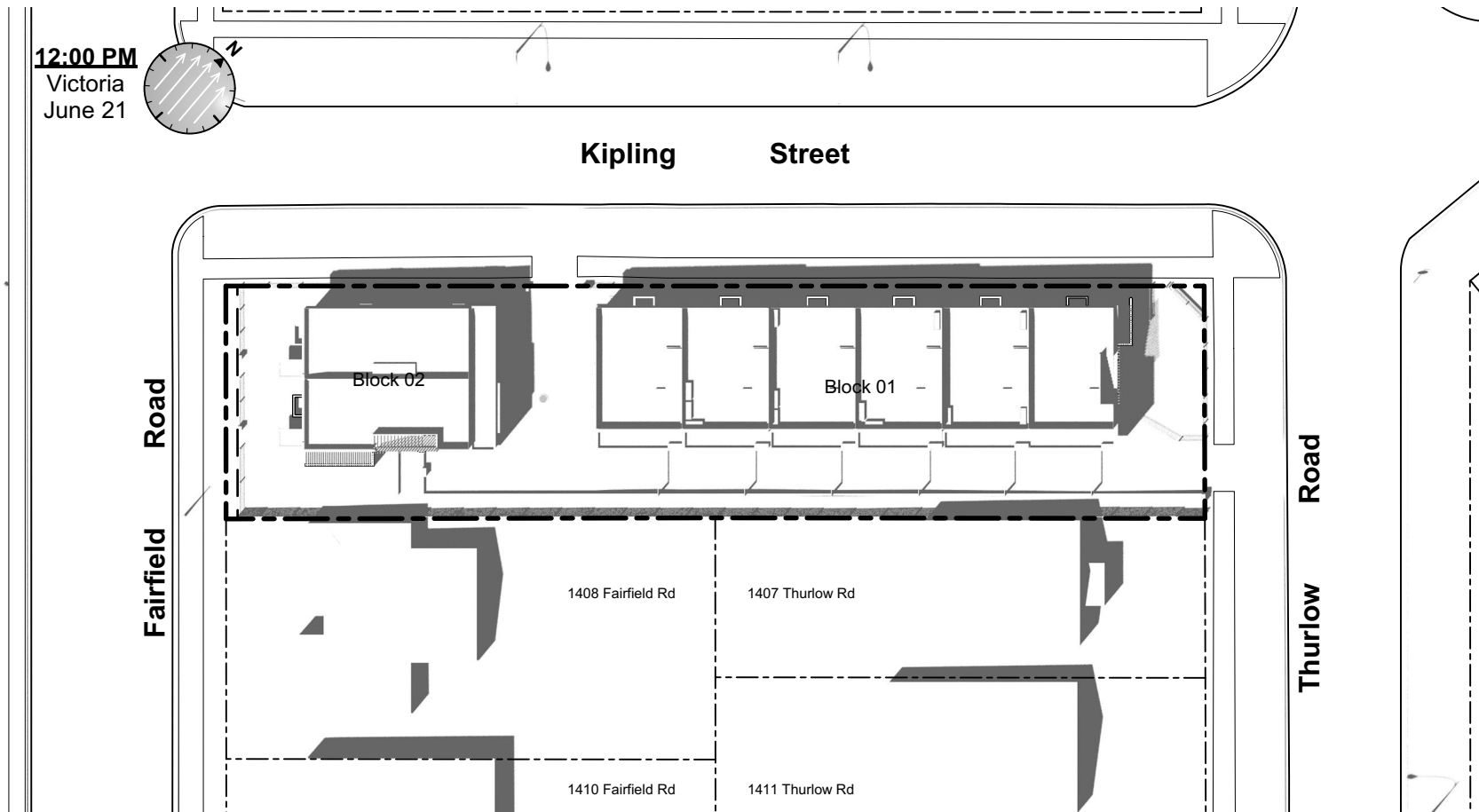
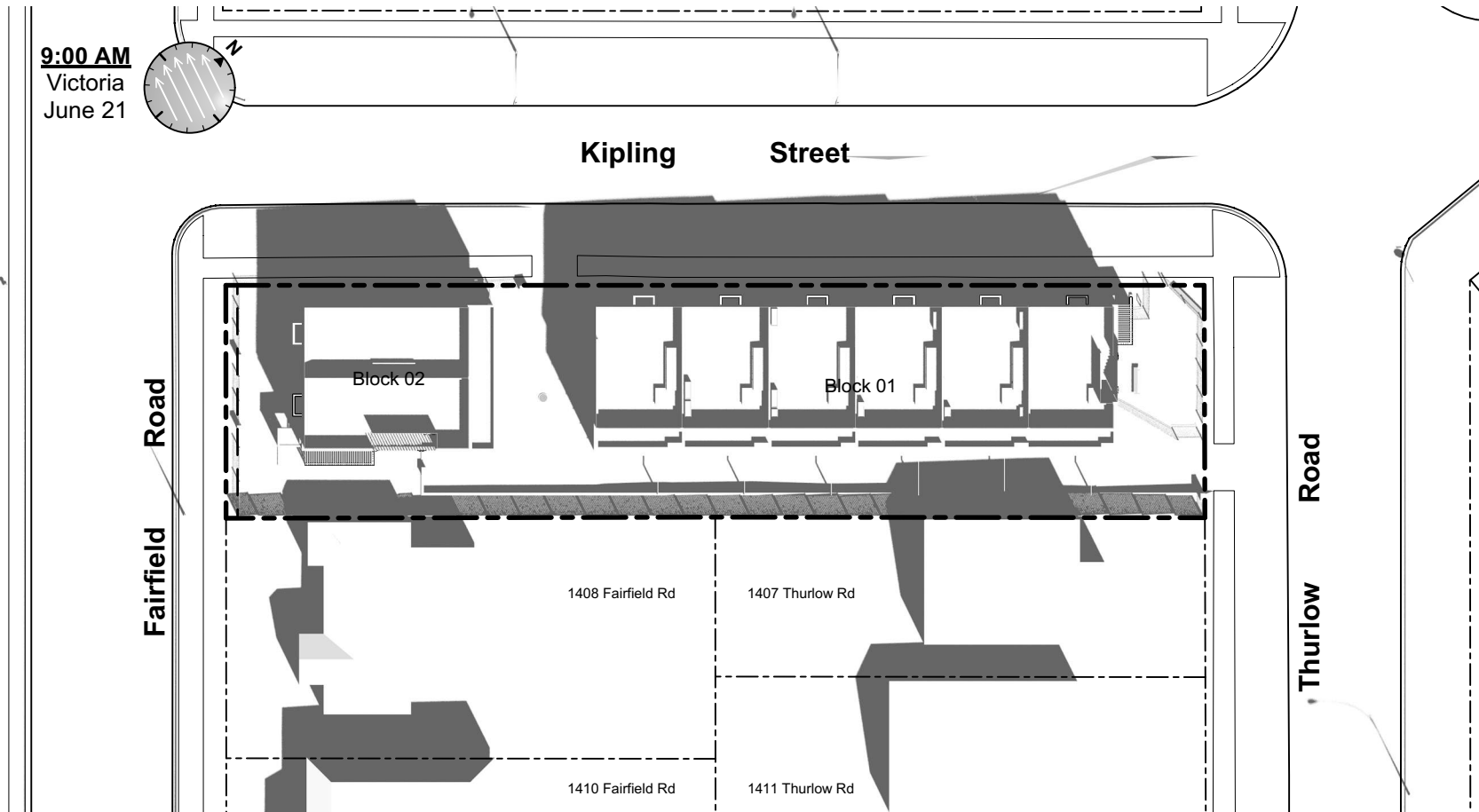
Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: (1:120) 1" = 10'-0"
Sheet No:

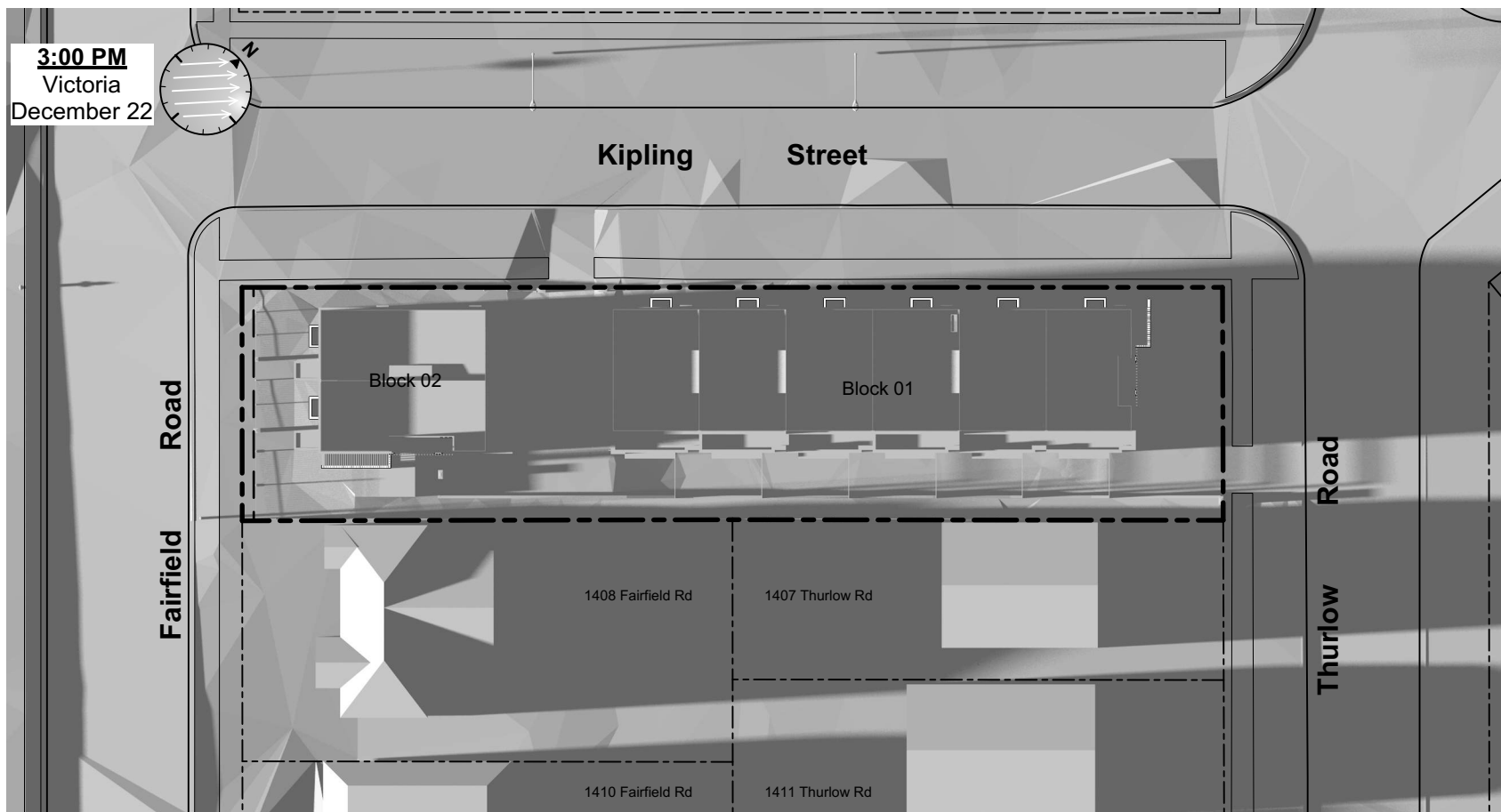
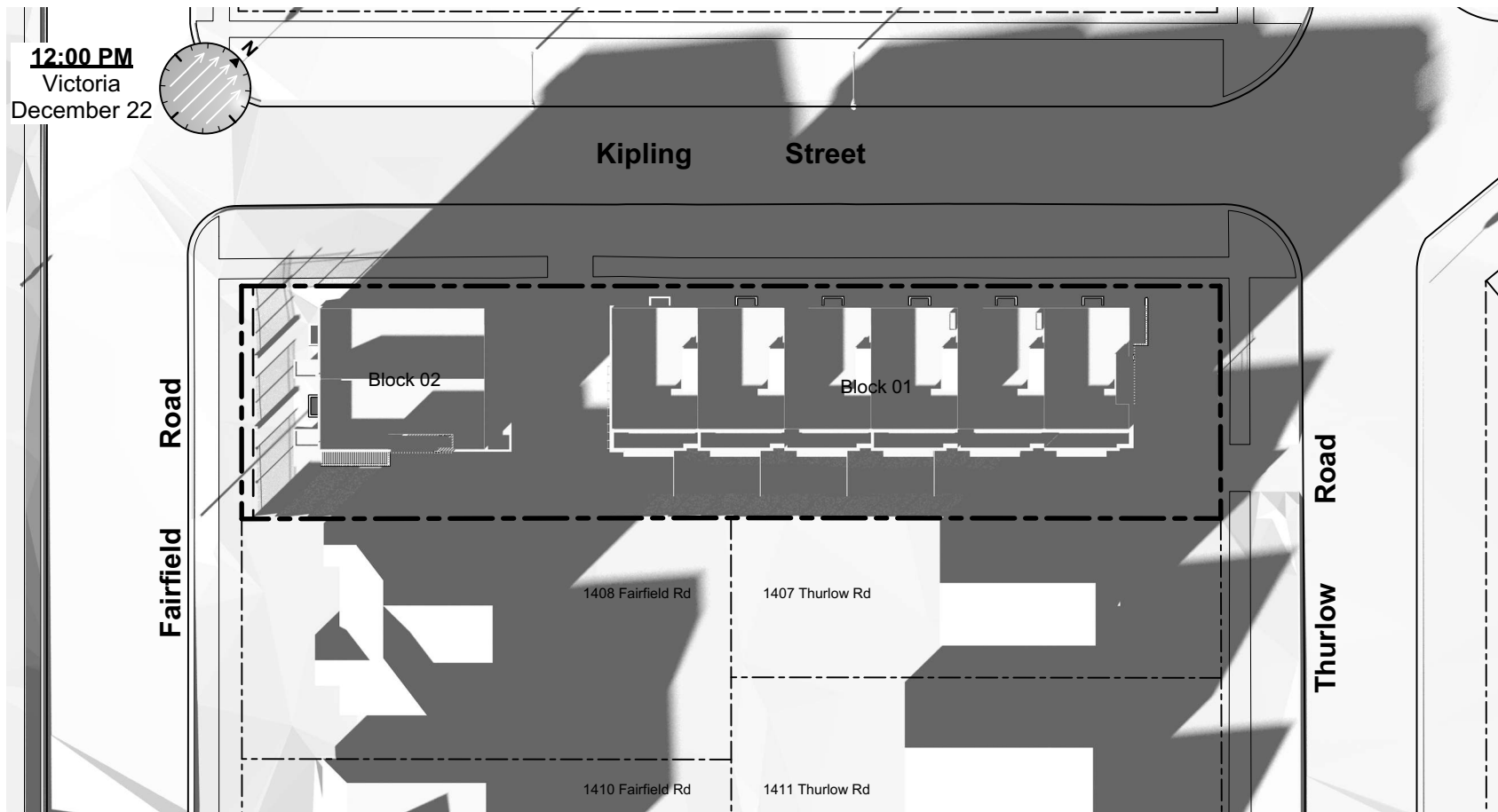
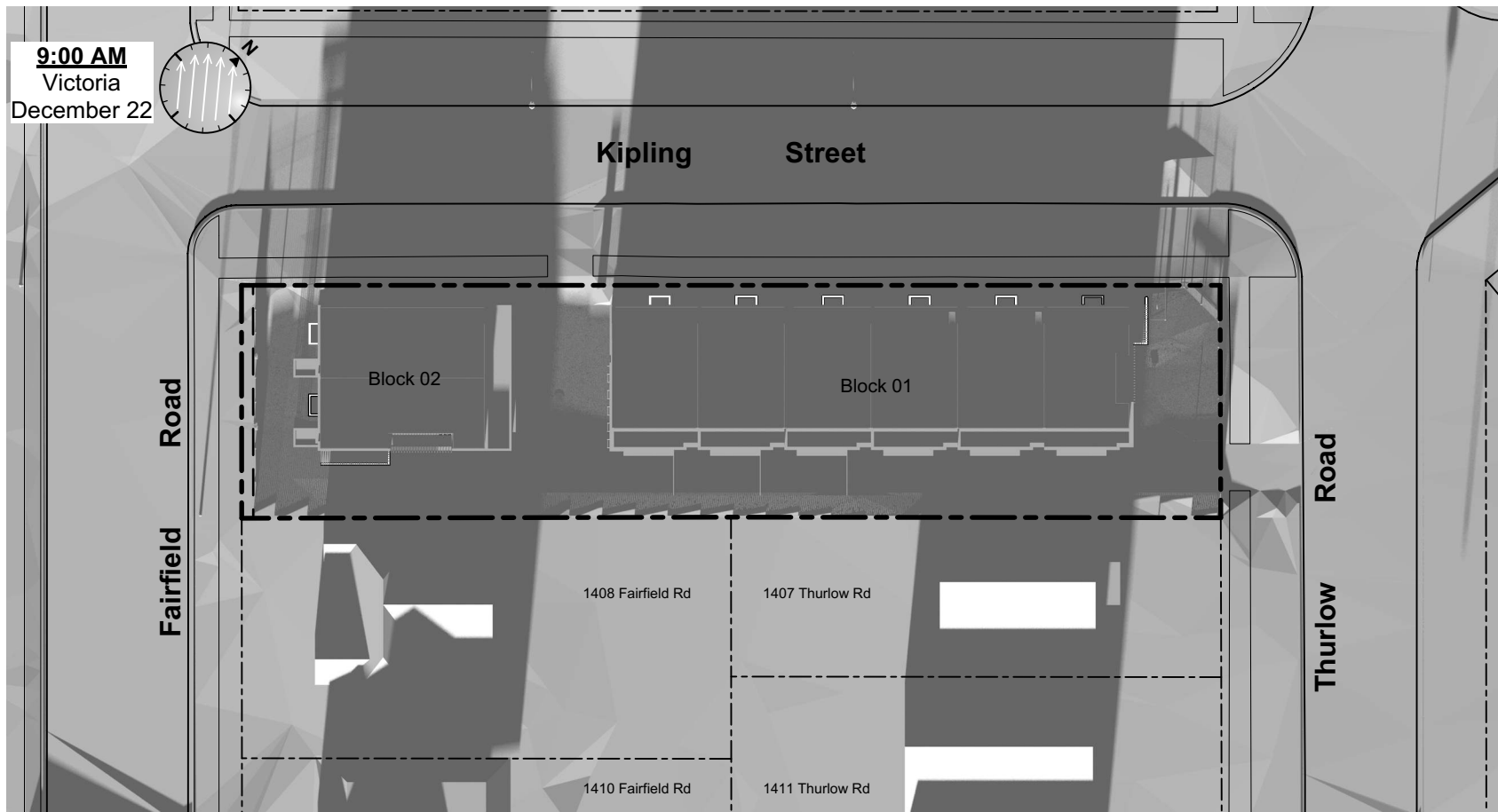
March Equinox



June Solstice



December Solstice



THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal _____

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Solar Study

Project Name: _____

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal: _____

PID: _____

Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: (1:120) 1" = 10'-0"

Sheet No: _____

FOR DEVELOPMENT APPLICATION ONLY



- Legend
- | No. | Description |
|-----|--|
| 1 | Ready for solar panels (rough-in) |
| 2 | Ready for electric car charging outlets (rough-in) |
| 3 | Water efficient plumbing fixtures |
| 4 | Low-VOC interior finishes |
| 5 | Rooftop greenery |
| 6 | Water efficient landscaping |
| 7 | Bike parking |
| 8 | Enhanced natural light |
| 9 | Energy efficient light fixtures |

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Sustainability Strategy

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

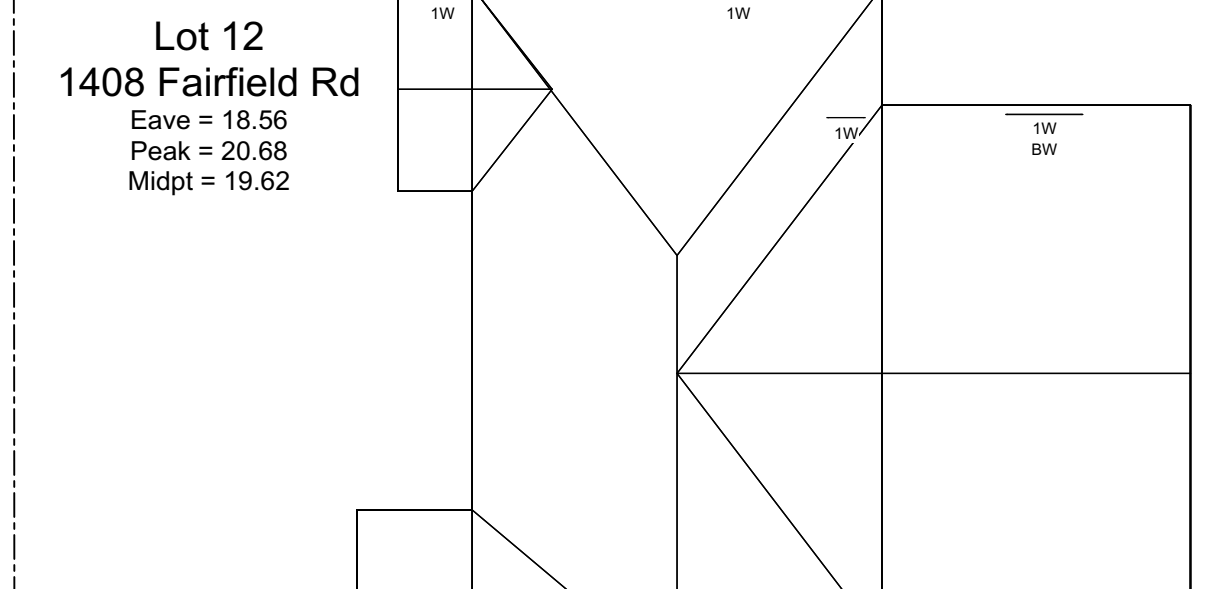
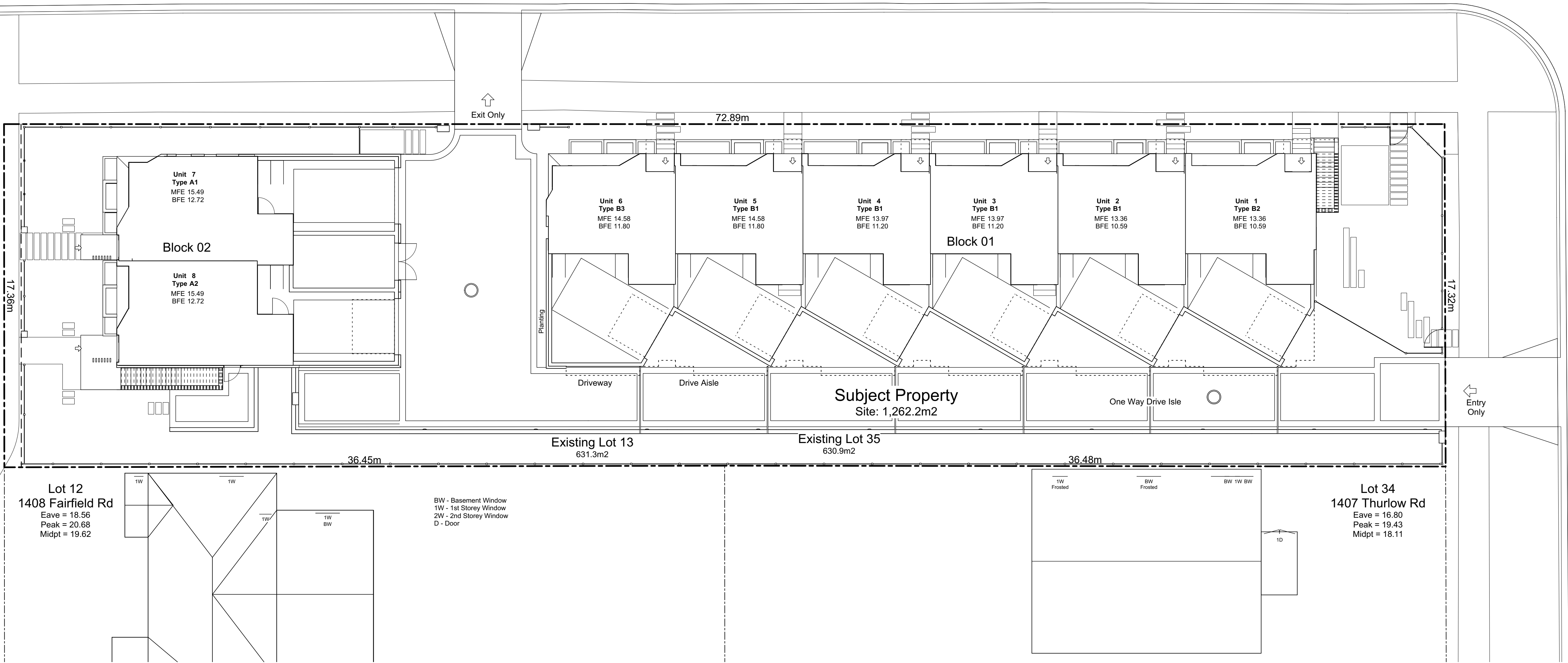
Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: (1:120) 1" = 10'-0"
Sheet No:

Fairfield Road

Thurlow Road

Kipling Street



Note:
Diagrams as shown are for illustrative purposes only.
Window locations are approximate and have not been surveyed.



1 Window Elevation
Scale: 1" = 10'-0"

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.
VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Neighbouring
Window Overlay

Project Name:	Fairfield-Kipling Development
Civic:	1400 Fairfield Rd & 349 Kipling St
Legal:	
PID:	
Project No:	19.015
Drawn By:	SG/TD
Plot Date:	Dec 12, 2019
Scale:	(1:120) 1" = 10'-0"
Sheet No:	

Zoning Reconciliation

Lot Description		Property 1	Property 2
Civic Address:		1400 Fairfield Rd.	349 Kipling St.
Legal Address:		Lot 13 Plan 884	Lot 35 Fairfield Farm
		Section Fld Victoria	Estate Victoria VIP884
Zoning:		R1-B	R1-B
Site Area:		631.3 M2	630.9 M2
			Total: 1262.3 M2
Density		7.9 UPH	
FSR			Proposed: 0.870
Site Open Space			32.79% 413.93 M2
Lot Coverage			46.78% 590.49 M2
Block 01		33.65%	424.75 M2
Block 02		13.13%	165.74 M2
Setbacks	Min.	Proposed	
Side Yard Corner Lot (Kipling St.)		0.75 m	2.46 FT
Side Yard Interior		3.91 m	12.83 FT
Front Yard (Fairfield Rd.)		4.48 m	14.70 FT
Front Yard (Thurlow Rd.)		5.39 m	17.68 FT
Building Height	Max	Proposed	
Block 01		9.34 m	3 Stories
Block 02		8.23 m	3 Stories
Vehicle Parking	Required:	9 stalls	Proposed: 9 stalls
	Dwelling Unit	8 stalls	8 stalls
	Visitor	0.1 / Unit	1 stalls
Bicycle Parking	Required:	12 stalls	Proposed: 26 stalls
	Long Term	6 stalls	16 stalls
	Short Term	6 stalls	In Private Grage

Project Data

Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking
Block 01					
Unit 1	B2	1,833	1,449	4	1
Unit 2	B1	1,818	1,476	4	1
Unit 3	B1	1,818	1,476	4	1
Unit 4	B1	1,818	1,476	4	1
Unit 5	B1	1,818	1,476	4	1
Unit 6	B3	1,803	1,494	4	1
Block 02					
Unit 7	A1	2,007	1,468	3	1
Unit 8	A2	2,047	1,508	3	1
Refuse Visitor		161	Excluded		
Total		15,122			
Site Area		1,262.3 m2			
FSR		0.870			
Difference		-407			

Tree Schedule

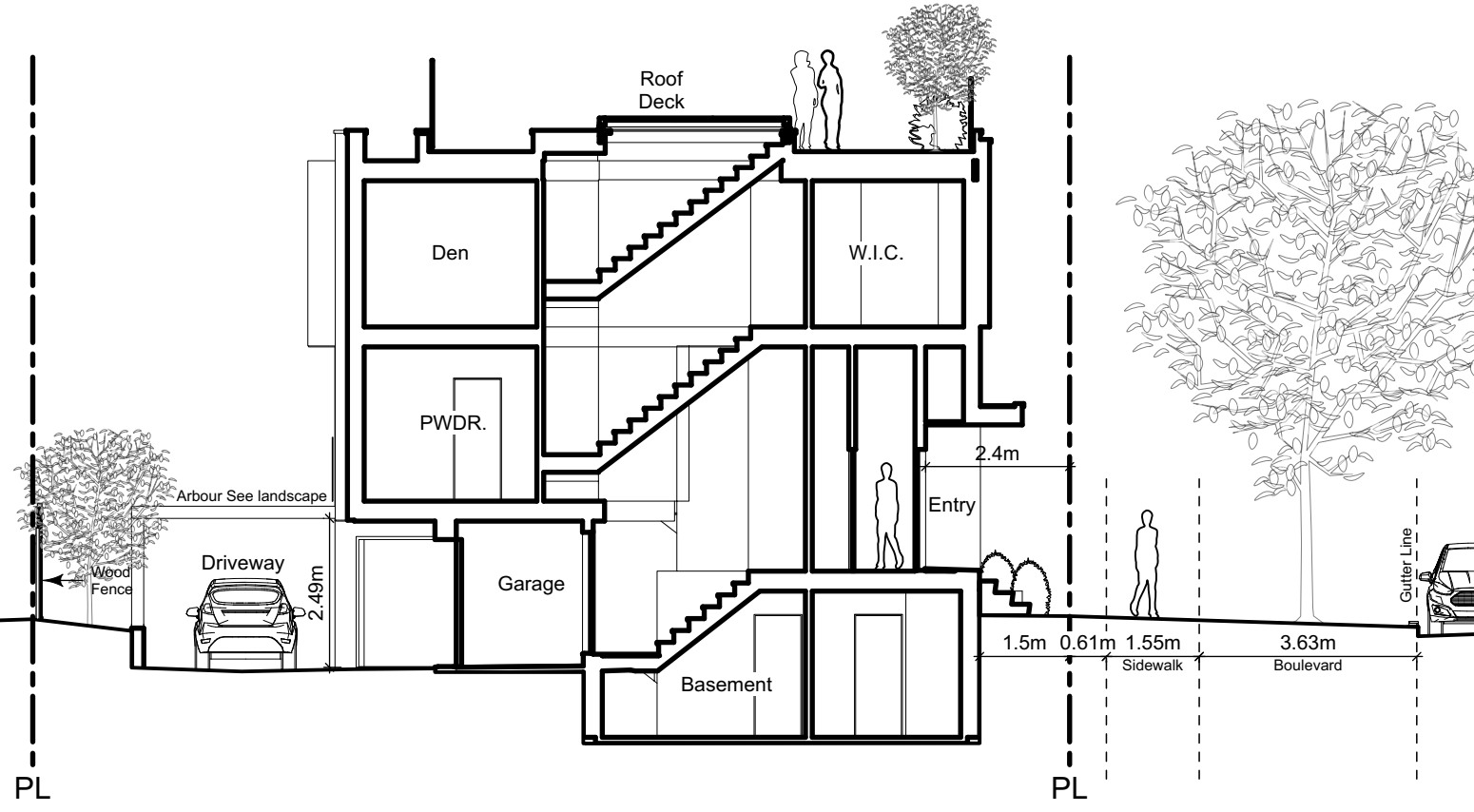
Tag	Name	Action	DBH (cm)	Spread (m)
695	Apple	Remove	4.0	3.5
799	Monkey Puzzle	Remove	31.0	5.0
800	Blue Spruce	Remove	25.0	5.0
898	Western Red Cedar	Remove	42.0	5.0
903	Western Red Cedar	Remove	42.0	4.0
912	Big Leaf Maple	Remove	46.0	12.0
913	Western Red Cedar	Remove	37.0	5.0
914	Western Red Cedar	Remove	33.0	4.0
915	Western Red Cedar	Remove	51.0	10.0
916	Ash	Remove	55.0	14.0
NT1	Japanese Cherry	Remove	48.0	8.0
NT2	Cherry Plum	Remove	28.0	3.0
NT3	Ginkgo	Retain	7.0	2.0
NT4	Ash	Remove	3.0	1.0
NT5	Red Maple	Remove	8.0	2.0
NT6	Scarlet Oak	Retain	4.0	2.0
NT7	Red Maple	Retain	47.0	10.0
NT8	Red Maple	Retain	49.0	10.0
NT9	Japanese Cherry	Retain	30.0	5.0

Grade Calculations - Block 02

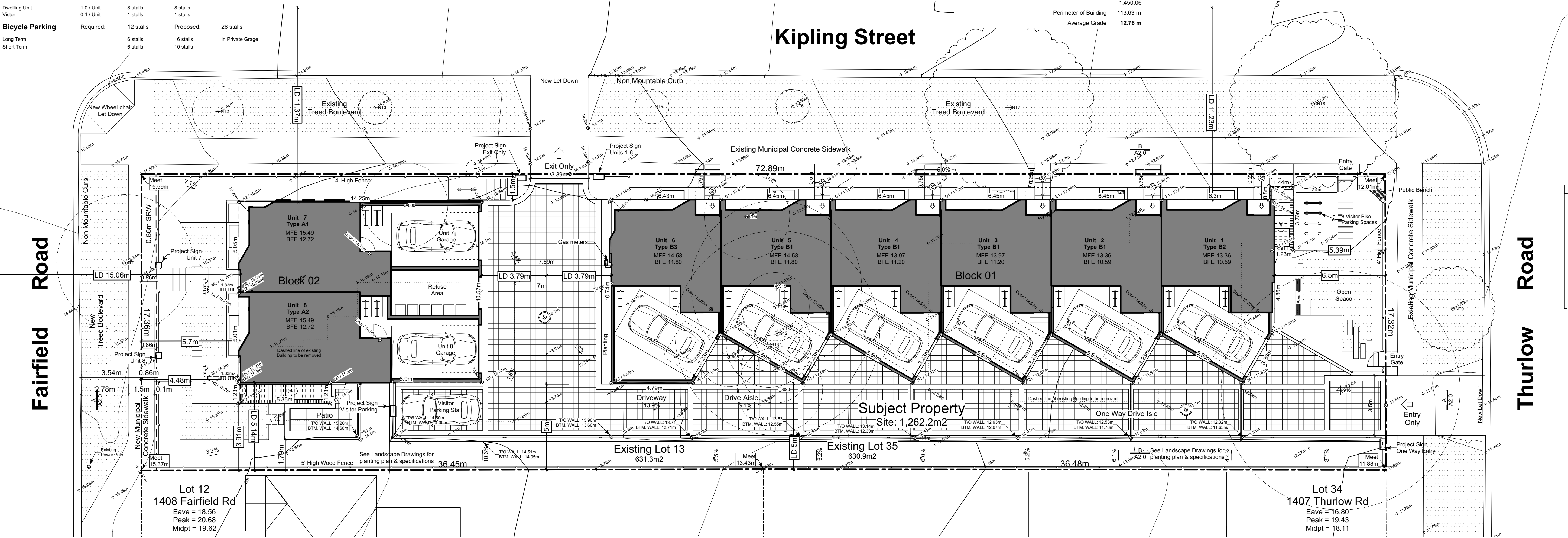
Grade Points	Average	Distance	Total
A 15.20 m To B 13.88 m	14.54 m	x 14.25 m	207.23
B 13.88 m To C 13.88 m	13.88 m	x 10.57 m	146.76
C 13.88 m To D 15.20 m	14.54 m	x 8.90 m	129.43
D 15.20 m To E 15.20 m	15.20 m	x 1.23 m	18.70
E 15.20 m To F 15.20 m	15.20 m	x 5.35 m	81.32
F 15.20 m To G 15.20 m	15.20 m	x 1.23 m	18.70
G 15.20 m To H 15.20 m	15.20 m	x 1.83 m	27.82
H 15.20 m To I 15.20 m	15.20 m	x 0.17 m	2.58
I 15.20 m To J 15.21 m	15.20 m	x 1.83 m	27.82
J 15.21 m To K 15.29 m	15.25 m	x 5.01 m	76.39
K 15.29 m To L 15.29 m	15.29 m	x 1.83 m	27.98
L 15.29 m To M 15.29 m	15.29 m	x 0.17 m	2.60
M 15.29 m To N 15.29 m	15.29 m	x 1.83 m	27.98
N 15.29 m To A 15.20 m	15.25 m	x 5.05 m	76.99
Perimeter of Building		59.25 m	872.29
Average Grade			14.72 m

Grade Calculations - Block 01

Grade Points	Average	Distance	Total
A 14.00 m To B 13.87 m	13.94 m	x 6.43 m	89.61
B 13.87 m To C 13.60 m	13.74 m	x 6.45 m	88.59
C 13.60 m To D 13.30 m	13.45 m	x 6.45 m	86.74
D 13.30 m To E 12.30 m	13.12 m	x 6.45 m	84.63
E 12.94 m To F 12.61 m	12.78 m	x 6.45 m	82.42
F 12.61 m To G 12.30 m	12.46 m	x 6.30 m	78.48
G 12.30 m To H 12.30 m	12.30 m	x 0.80 m	9.84
H 12.30 m To I 12.30 m	12.30 m	x 1.44 m	17.71
I 12.30 m To J 12.10 m	12.20 m	x 3.76 m	45.87
J 12.10 m To K 12.10 m	12.10 m	x 1.23 m	14.88
K 12.10 m To L 11.81 m	11.96 m	x 4.86 m	58.11
L 11.81 m To M 11.81 m	11.81 m	x 3.38 m	39.93
M 11.81 m To N 11.81 m	11.81 m	x 5.59 m	66.04
N 11.81 m To O 11.81 m	11.81 m	x 3.23 m	38.16
O 11.81 m To P 12.07 m	11.94 m	x 5.59 m	66.76
P 12.07 m To Q 12.07 m	12.07 m	x 3.23 m	38.99
Q 12.07 m To R 12.37 m	12.22 m	x 5.59 m	68.32
R 12.37 m To S 12.37 m	12.37 m	x 3.23 m	39.97
S 12.37 m To T 12.59 m	12.48 m	x 5.59 m	69.78
T 12.59 m To U 12.59 m	12.59 m	x 3.23 m	40.67
U 12.59 m To V 12.89 m	12.74 m	x 5.59 m	71.23
V 12.89 m To W 12.89 m	12.89 m	x 3.23 m	41.65
W 12.89 m To X 13.60 m	13.25 m	x 4.79 m	63.46
X 13.60 m To A 14.00 m	13.80 m	x 10.74 m	148.21
Perimeter of Building			1,450.06
Average Grade			12.76 m



Site Section B
Scale: 1:120



1 Site Plan
Scale: 1:120



A Site Section A
Scale: 1:120

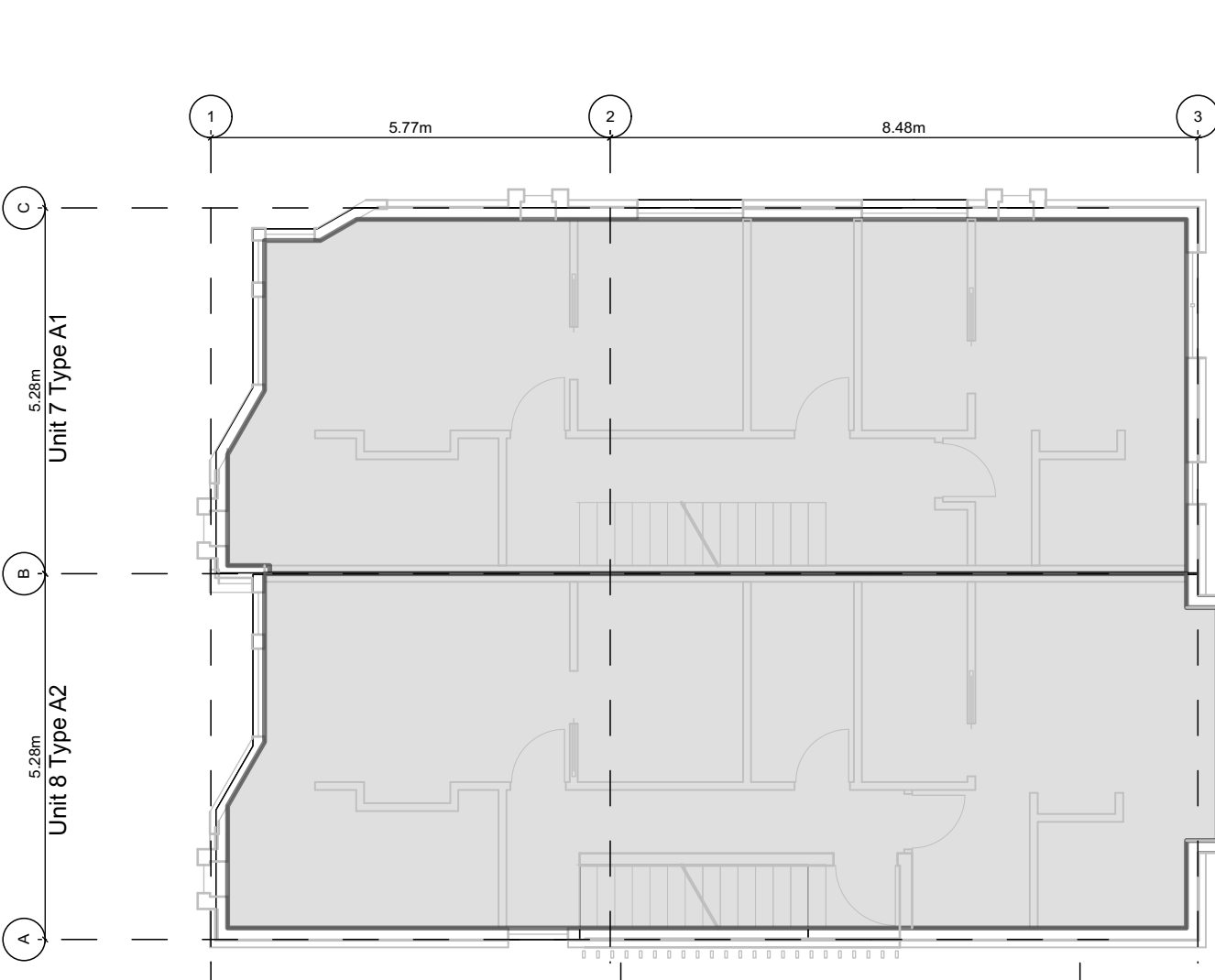
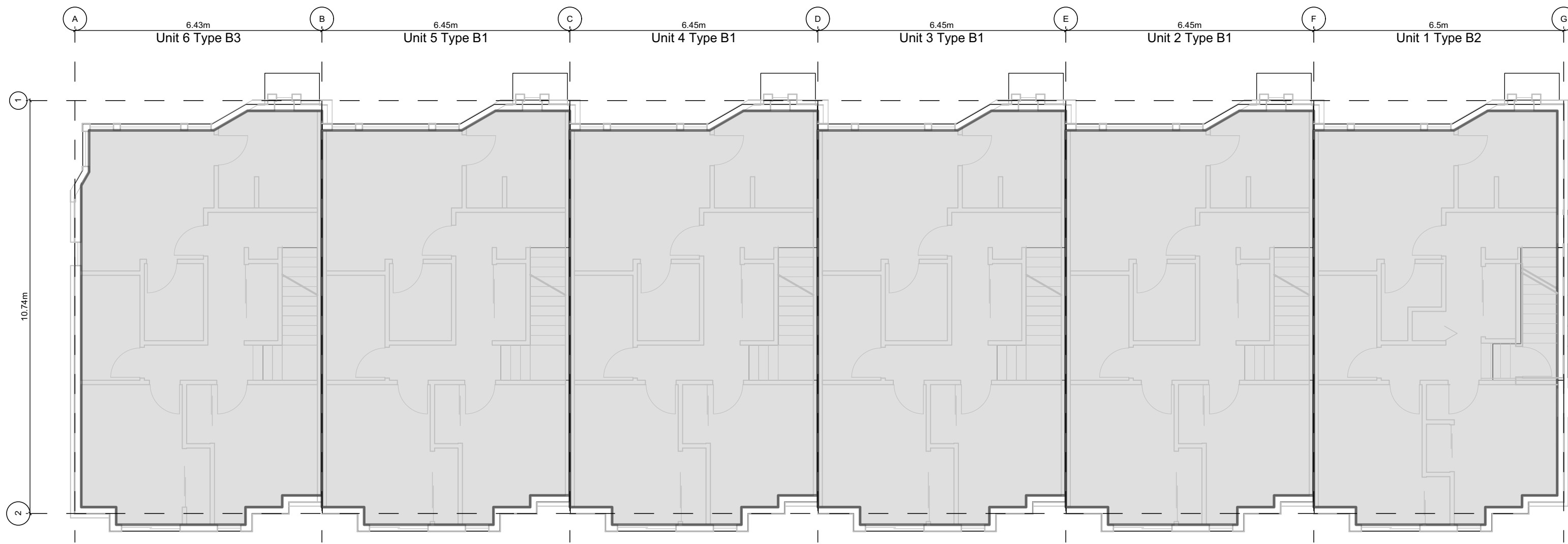
THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Project Name:	Fairfield-Kipling Development
Civic:	1400 Fairfield Rd & 349 Kipling St
Legal:	
PID:	
Project No:	19.015
Drawn By:	SG/TD
Plot Date:	Dec 12, 2019
Scale:	1:120
Sheet No:	

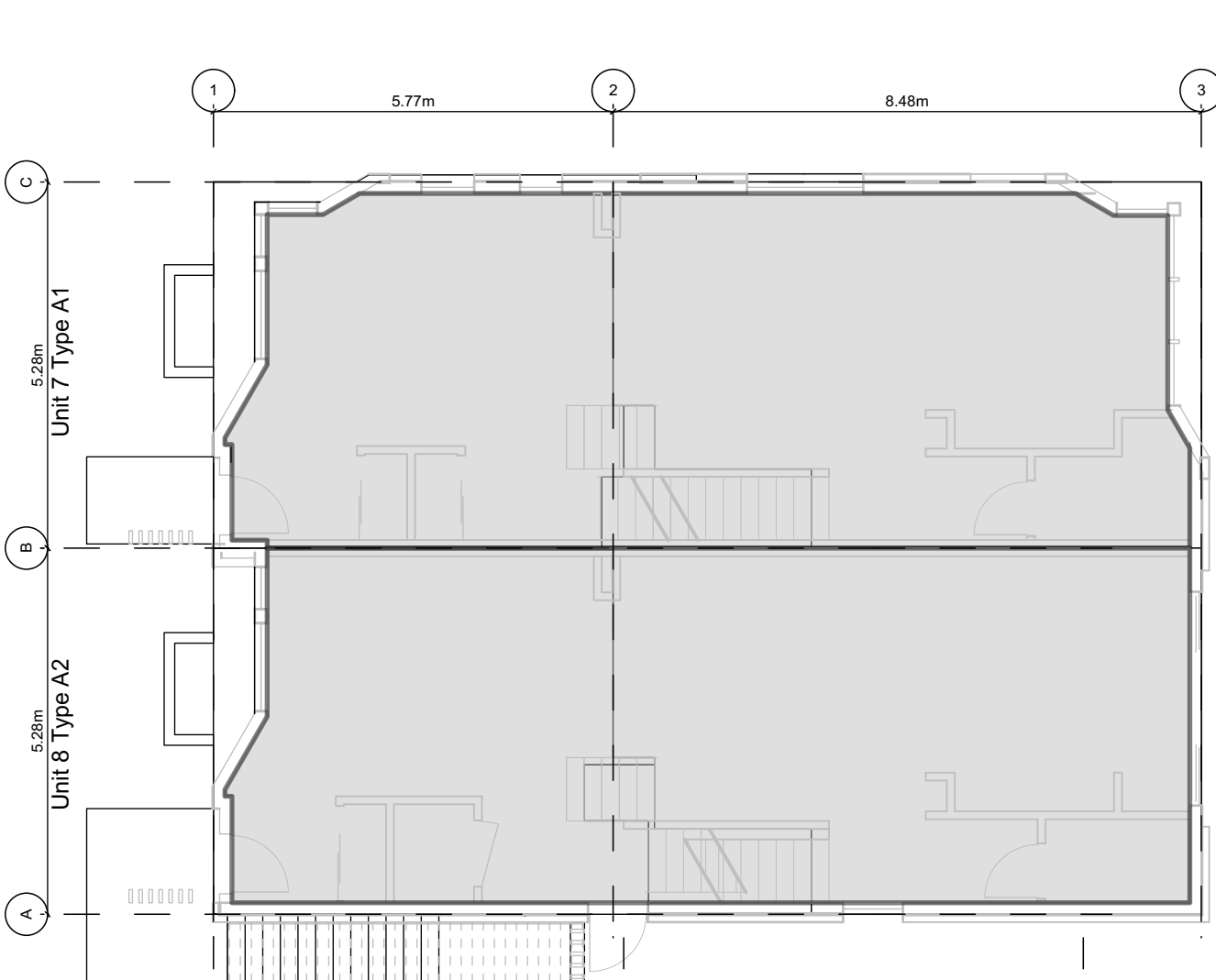
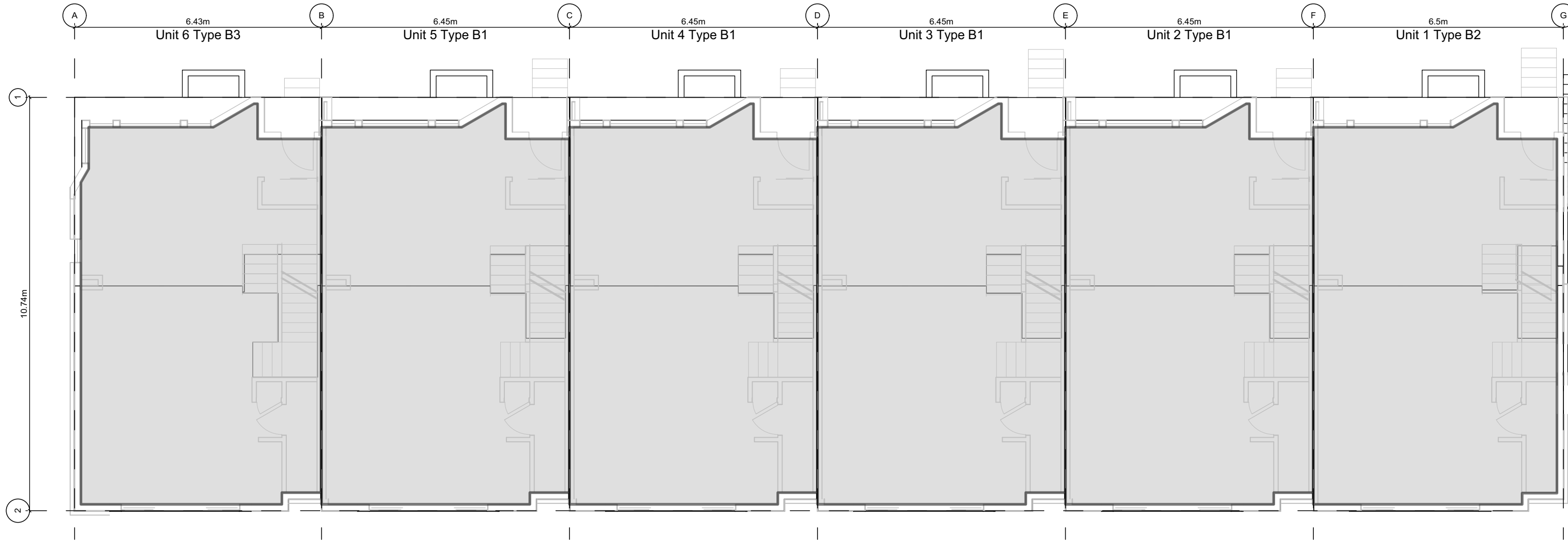


Project Data						
	Type	Area (SF)	Zoning Area (SF)	Bedrms	Car Parking	Bike Parking
Block 01		10,907	8,846		6	12
Unit 1	B2	1,833	1,449	4	1	2
Unit 2	B1	1,818	1,476	4	1	2
Unit 3	B1	1,818	1,476	4	1	2
Unit 4	B1	1,818	1,476	4	1	2
Unit 5	B1	1,818	1,476	4	1	2
Unit 6	B3	1,803	1,494	4	1	2
Block 02		4,054	2,975		2	4
Unit 7	A1	2,007	1,468	3	1	2
Unit 8	A2	2,047	1,508	3	1	2
Refuse		161	Excluded			
Visitor					1	10
Total		15,122	11,822	Block 01 & 02		
Site Area		1,262.3 m2	13,587			
FSR			0.870			
Difference			-407			

3 Block 01 - Floor 2
Scale: 1:100

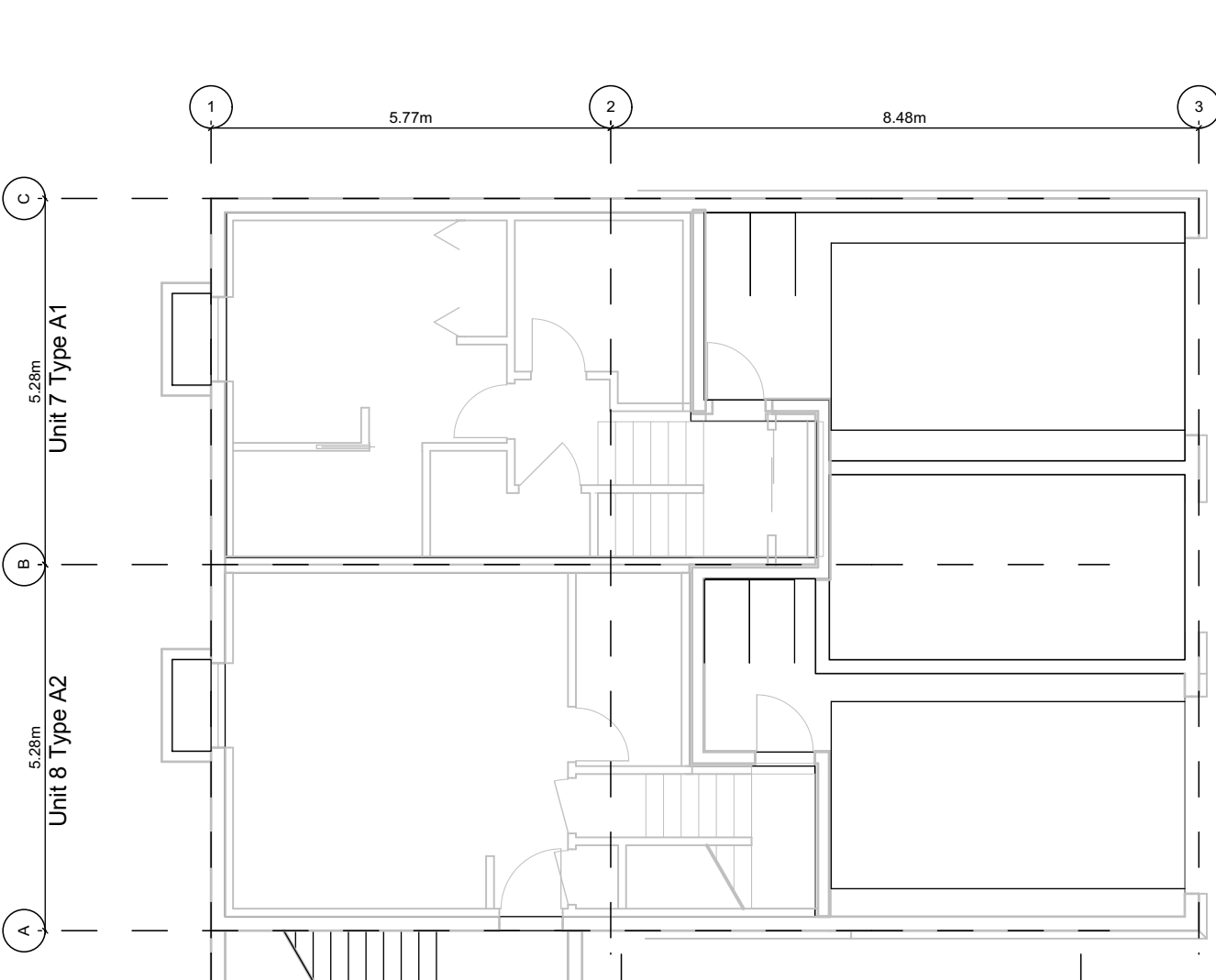
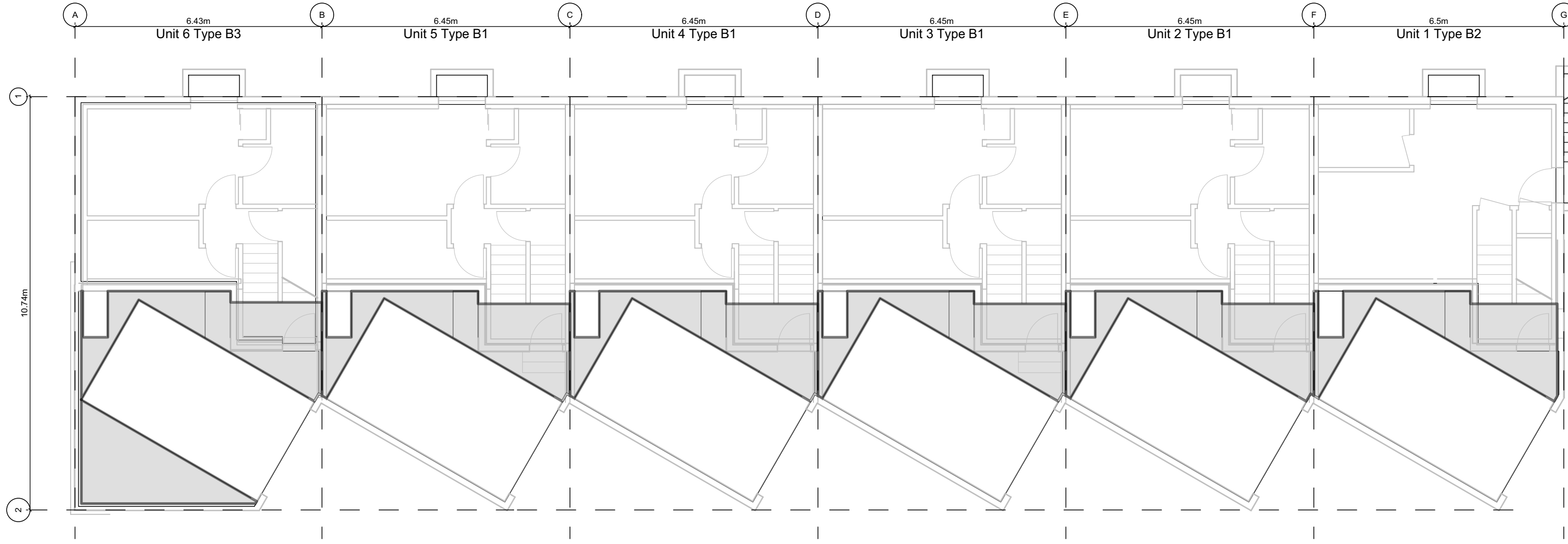
6 Block 02 - Floor 2
Scale: 1:100

Floor Space Ratio; The building area is measured to the interior side of the exterior wall and C/L of demising walls. Basements excluded.



2 Block 01 - Floor 1
Scale: 1:100

5 Block 02 - Floor 1
Scale: 1:100



1 Block 01 - Basement
Scale: 1:100

4 Block 02 - Basement
Scale: 1:100

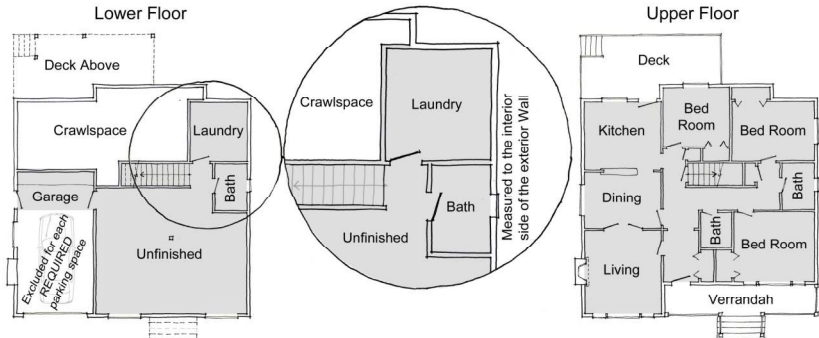
"Area" when used in reference to a floor of a storey of a building means the entire area which in plan is enclosed by the interior face of the exterior walls of the storey at floor level plus the area enclosed by any cantilevered element that is within that storey and that is above floor level, but does not include of the following areas:

a) the area used or intended to be used for required parking or movement of motor vehicles, as set out in this bylaw, which is calculated starting from the lowest level of the building;

b) the area used or intended to be used for required Bicycle Parking, Long-Term, as set out in this bylaw, which is calculated starting from the lowest level of the building;

c) the area or areas of balconies, exposed decks, patios or roofs; and

d) the area of elevator shafts.



"Total Floor Area" means the sum of the areas of all floors of a building or buildings, excluding floor space under a ceiling which is less than 1.8m above grade.

All Basements are less than 1.8m below grade see sections in the A4.xx series

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Graphical
Floor Area Ratio

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

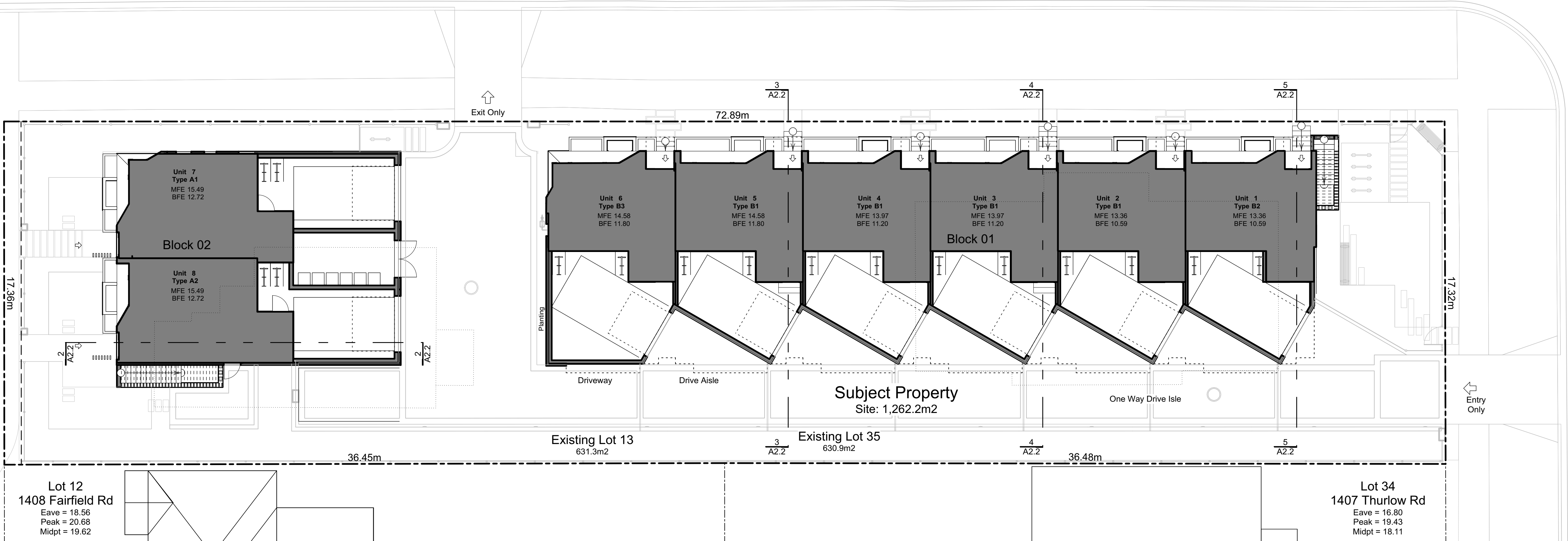
PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:100
Sheet No:

A2.1

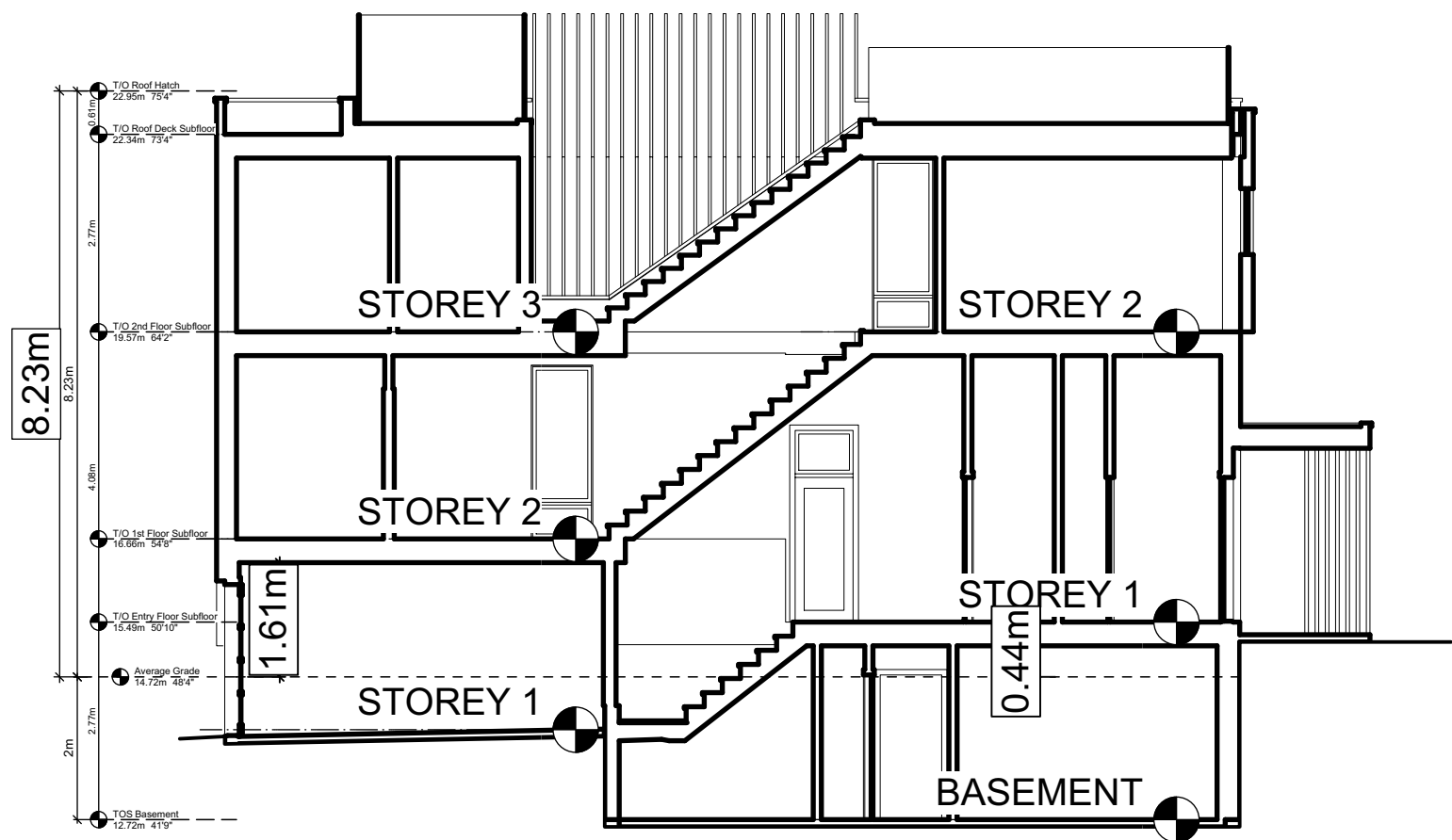
Kipling Street

Fairfield Road

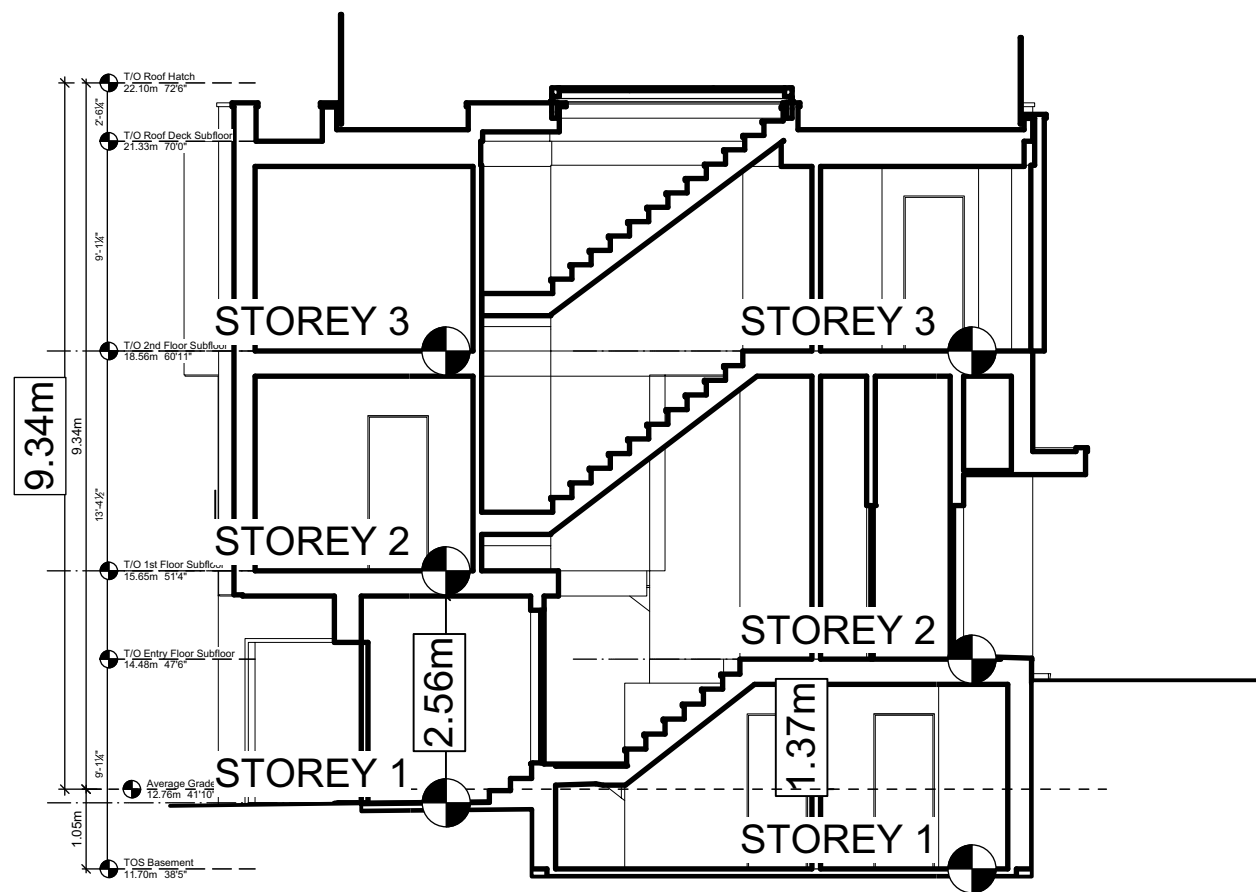
Thurlow Road



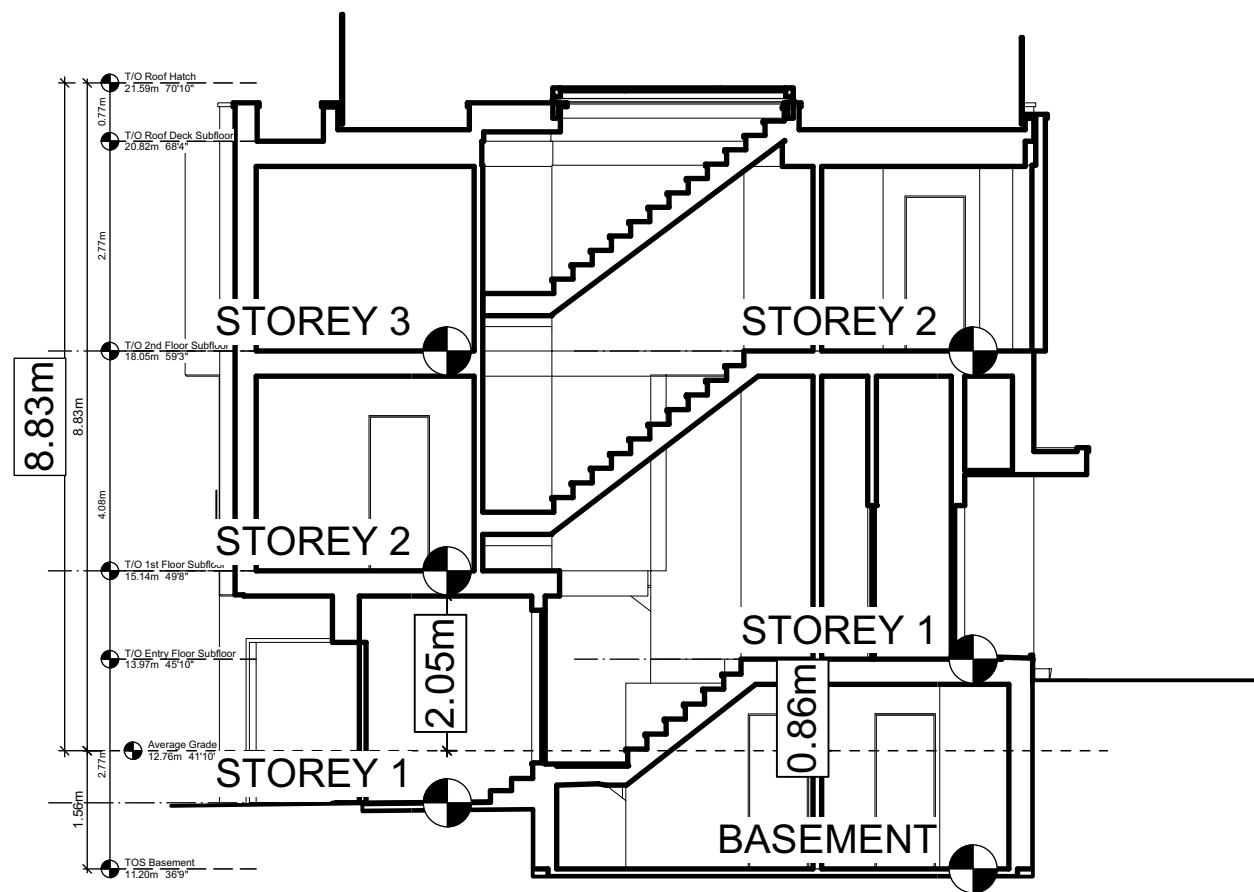
1 Site Plan
Scale: 1:120



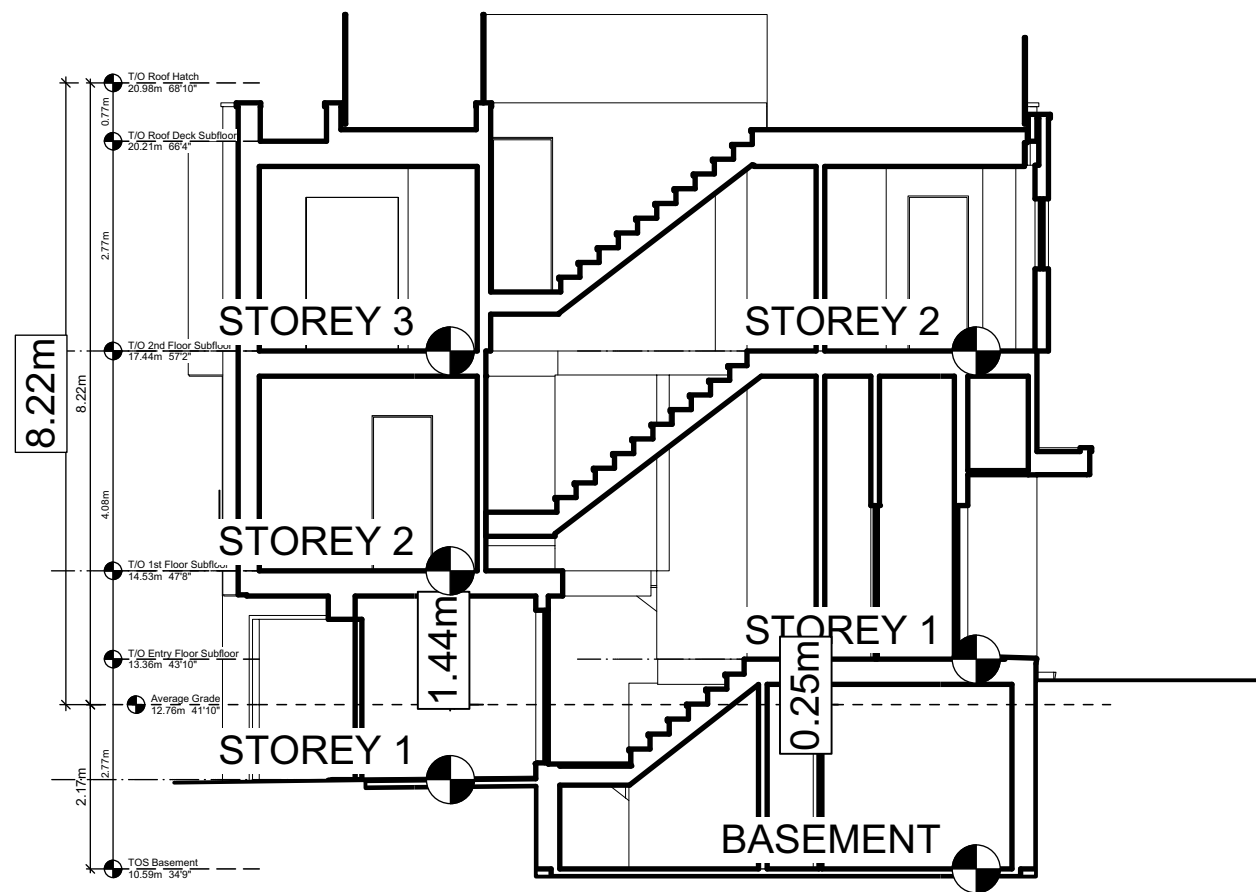
2 Block 2 Unit 8 Section
Scale: 1:100



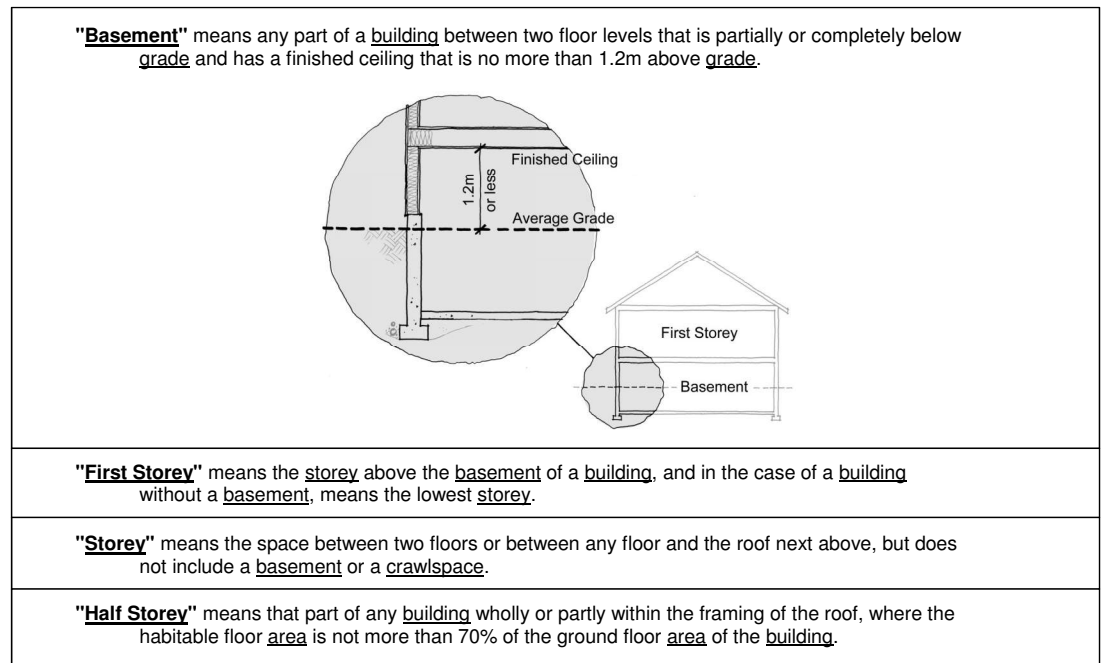
3 Block 1 Unit 5 Section
Scale: 1:100



4 Block 1 Unit 3 Section
Scale: 1:100



5 Block 1 Unit 1 Section
Scale: 1:100



FOR DEVELOPMENT APPLICATION ONLY

SBASTIAN GARON
ARCHITECTURE + DESIGN

1018 Deep Cove Rd, North Vancouver BC
(604) 812-1869 info@SGAD.ca
www.SGAD.ca

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Graphical
No. of Stories

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: 1:100

Sheet No:

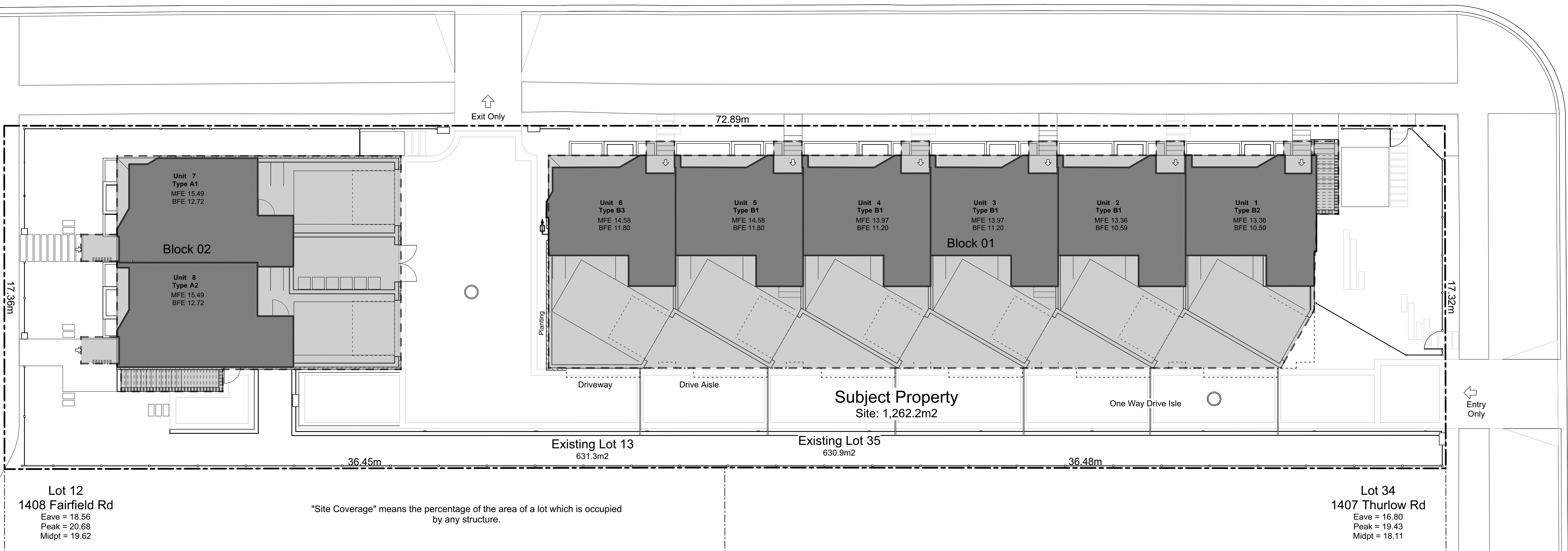
A2.2

Fairfield Road

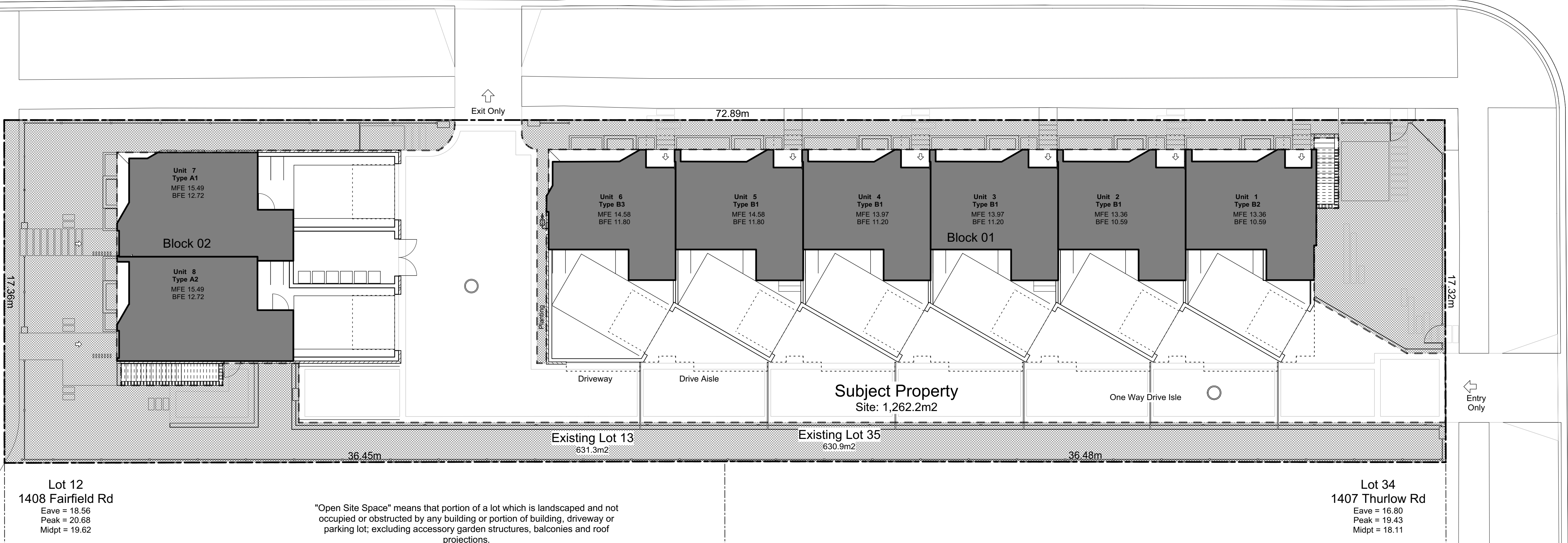
Fairfield Road

Thurlow Road

Thurlow Road



2 Lot Coverage
Scale: 1:120



1 Open Site Space
Scale: 1:120

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED AND MUST NOT BE USED, REPRODUCED, OR REVISED WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS. DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND OMISSIONS TO THE ARCHITECT FOR CLARIFICATION BEFORE COMMENCING WITH THE WORK.

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Graphical
Lot Coverage &
Open Site Space

Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

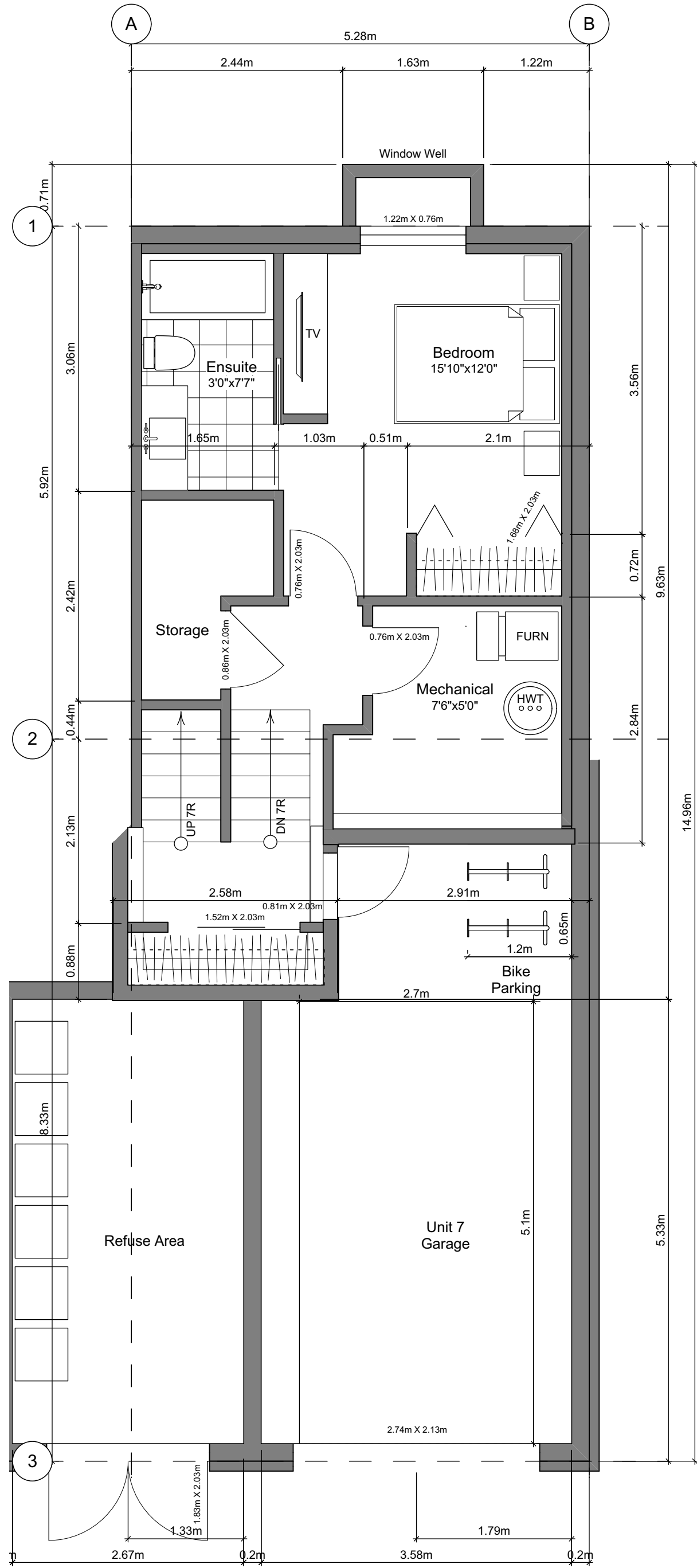
Project No: 19.015

Drawn By: SG/TD

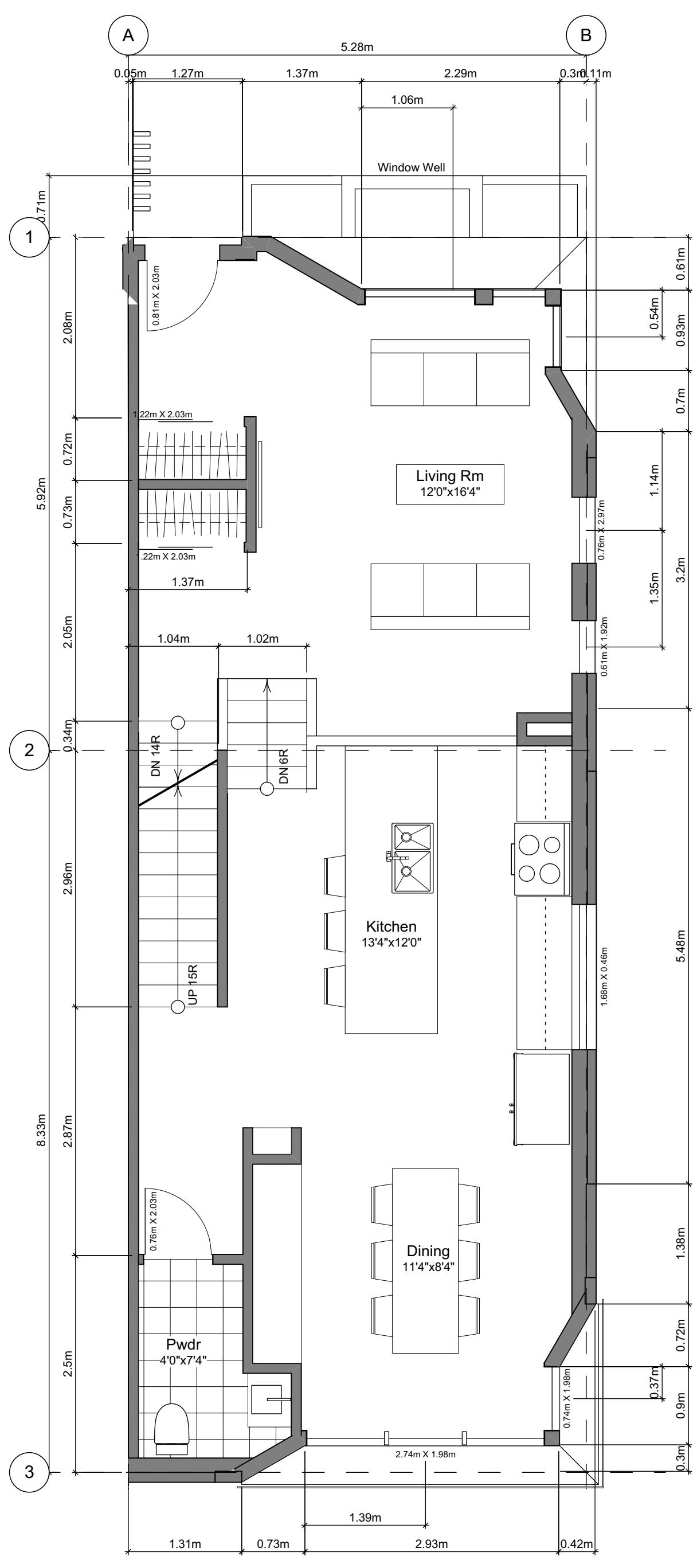
Plot Date: Dec 12, 2019

Scale: (1:120) 1" = 10'-0"

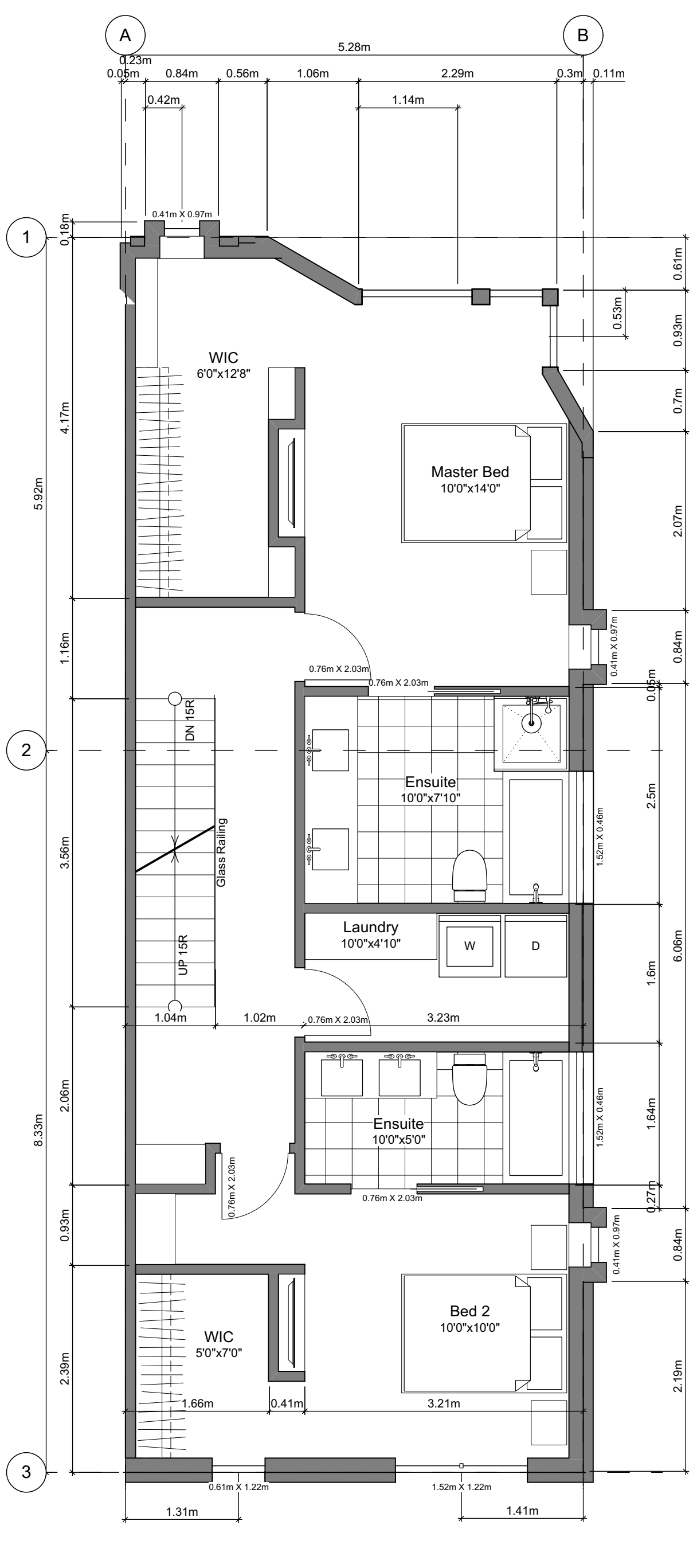
Sheet No:



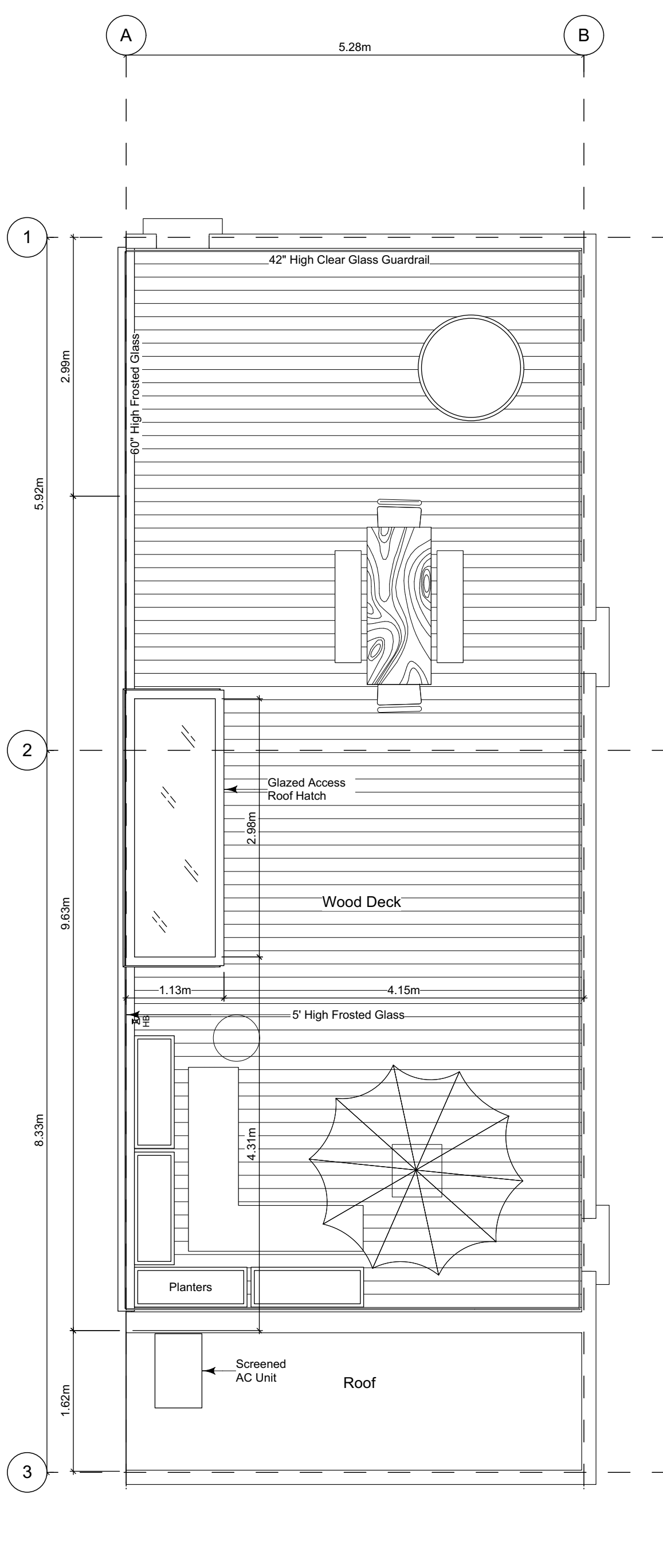
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 7 (A1)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	447 sq ft	41.5 m2	0 sq ft	0.0 m2
Main Floor	769 sq ft	71.4 m2	726 sq ft	67.5 m2
Second Floor	792 sq ft	73.5 m2	741 sq ft	68.9 m2
Roof Deck	0 sq ft	0.0 m2	0 sq ft	0.0 m2
Totals:	2,007 sq ft	186.5 m2	1,468 sq ft	136.3 m2
Garage	284 sq ft	26.4 m2		
Rooftop Open Space	699 sq ft	65.0 m2		

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Unit A1 Floor Plans
Unit 7

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

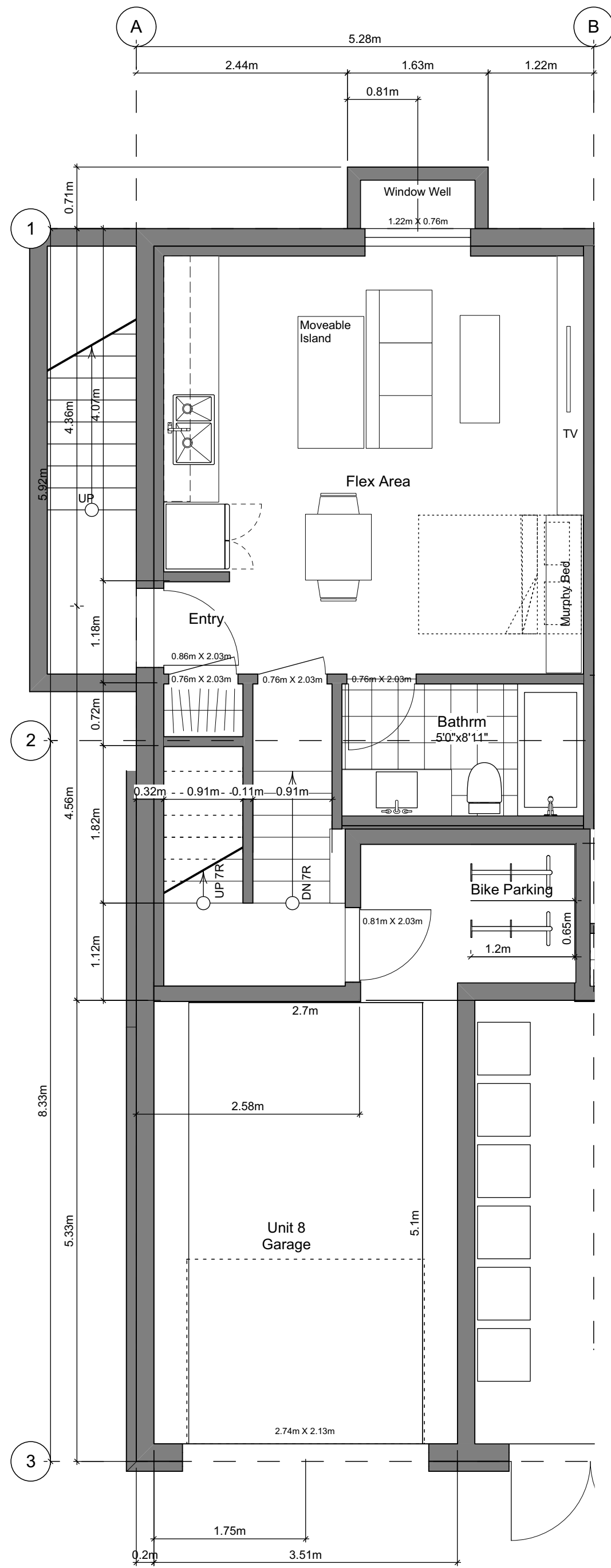
Drawn By: SG/TD

Plot Date: Dec 12, 2019

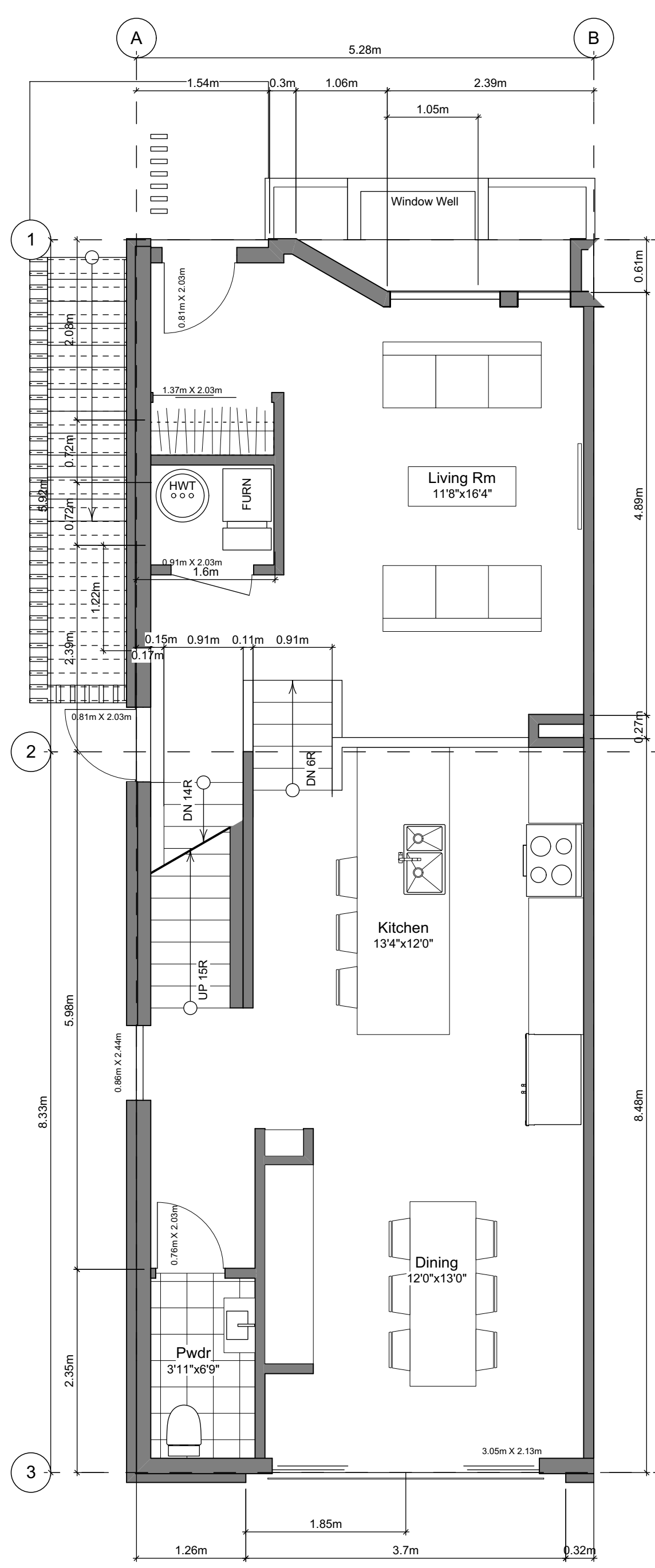
Scale: 1:50

Sheet No:

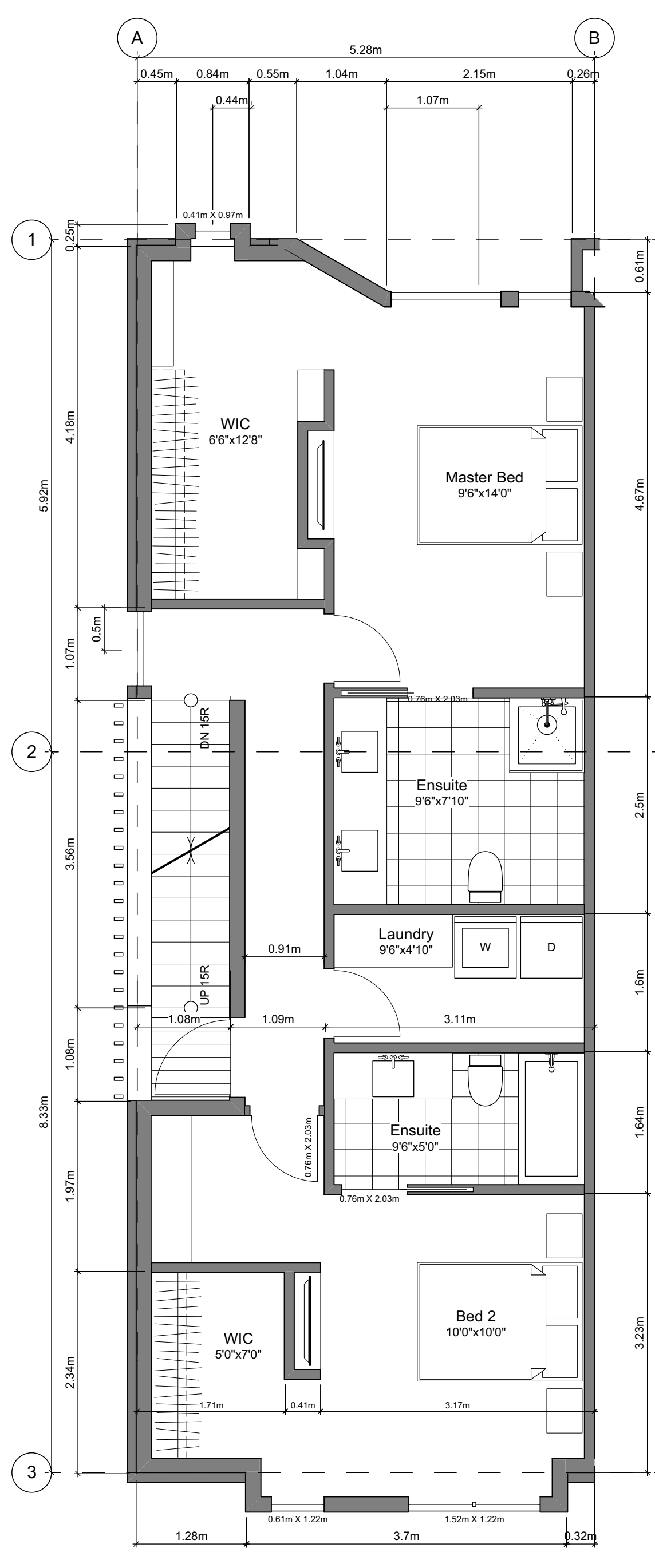
A3.1



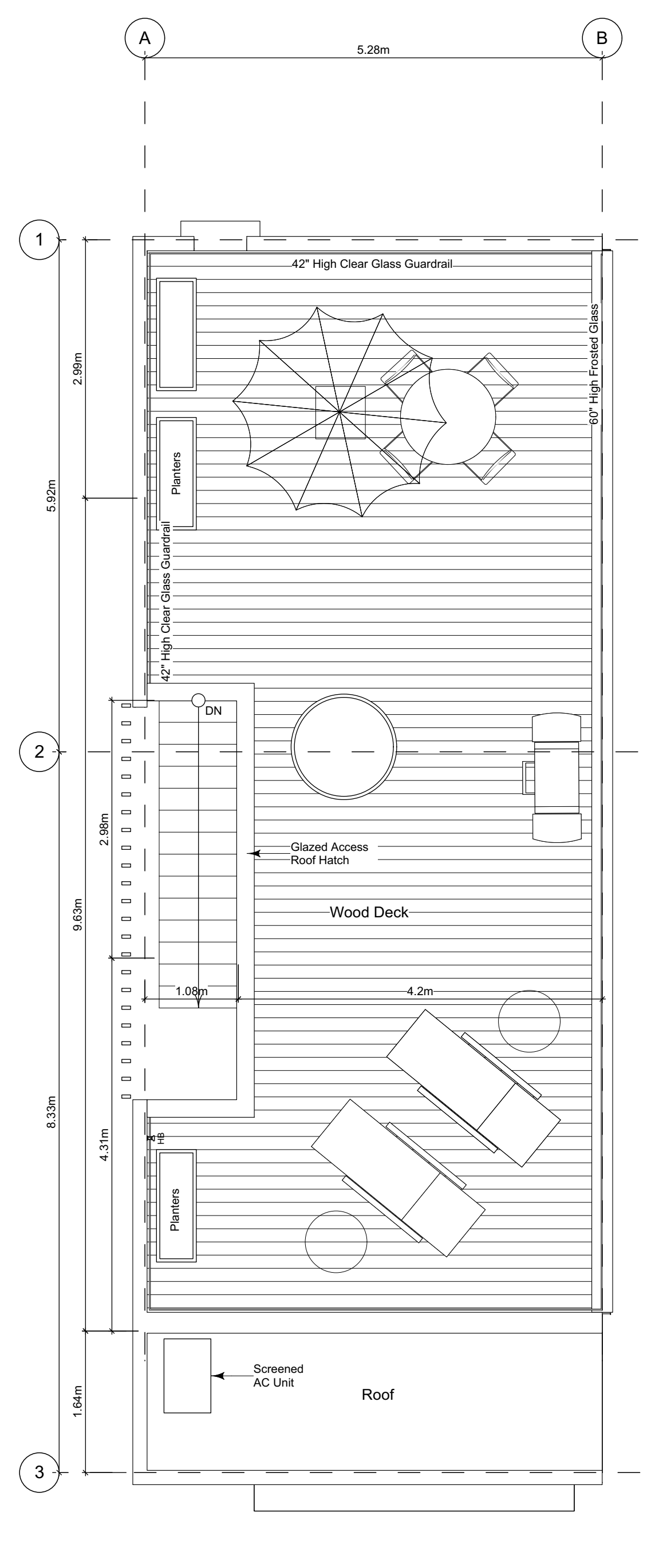
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.

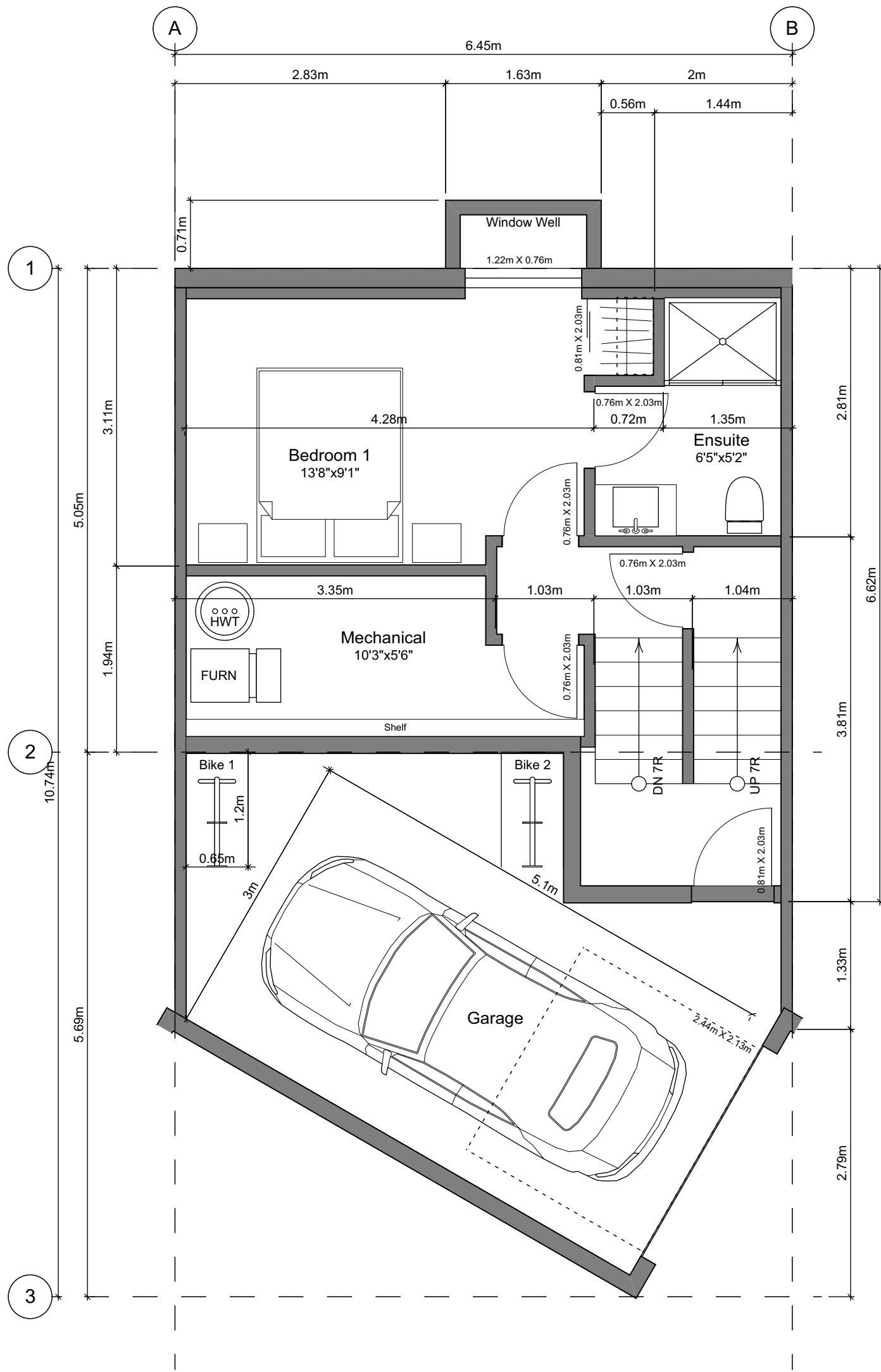
Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

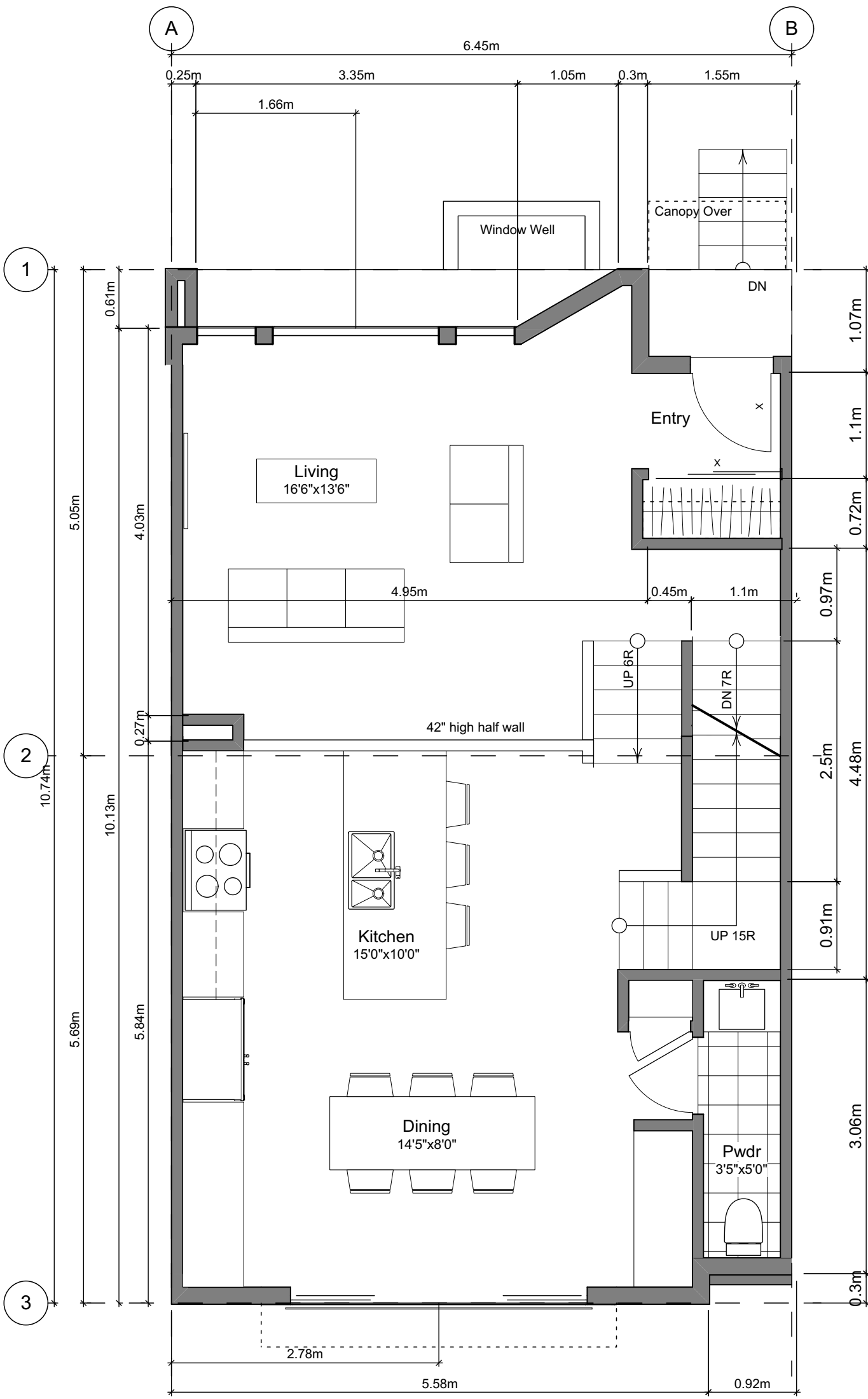
Floor Area Calculations - Unit 8 (A2)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	449 sq ft	41.7 m ²	0 sq ft	0.0 m ²
Main Floor	789 sq ft	73.3 m ²	746 sq ft	69.3 m ²
Second Floor	809 sq ft	75.2 m ²	762 sq ft	70.8 m ²
Roof Deck	0 sq ft	0.0 m ²	0 sq ft	0.0 m ²
Totals:	2,047 sq ft	190.2 m²	1,508 sq ft	140.1 m²
Garage	274 sq ft	25.5 m ²		
Rooftop Open Space	699 sq ft	65.0 m ²		

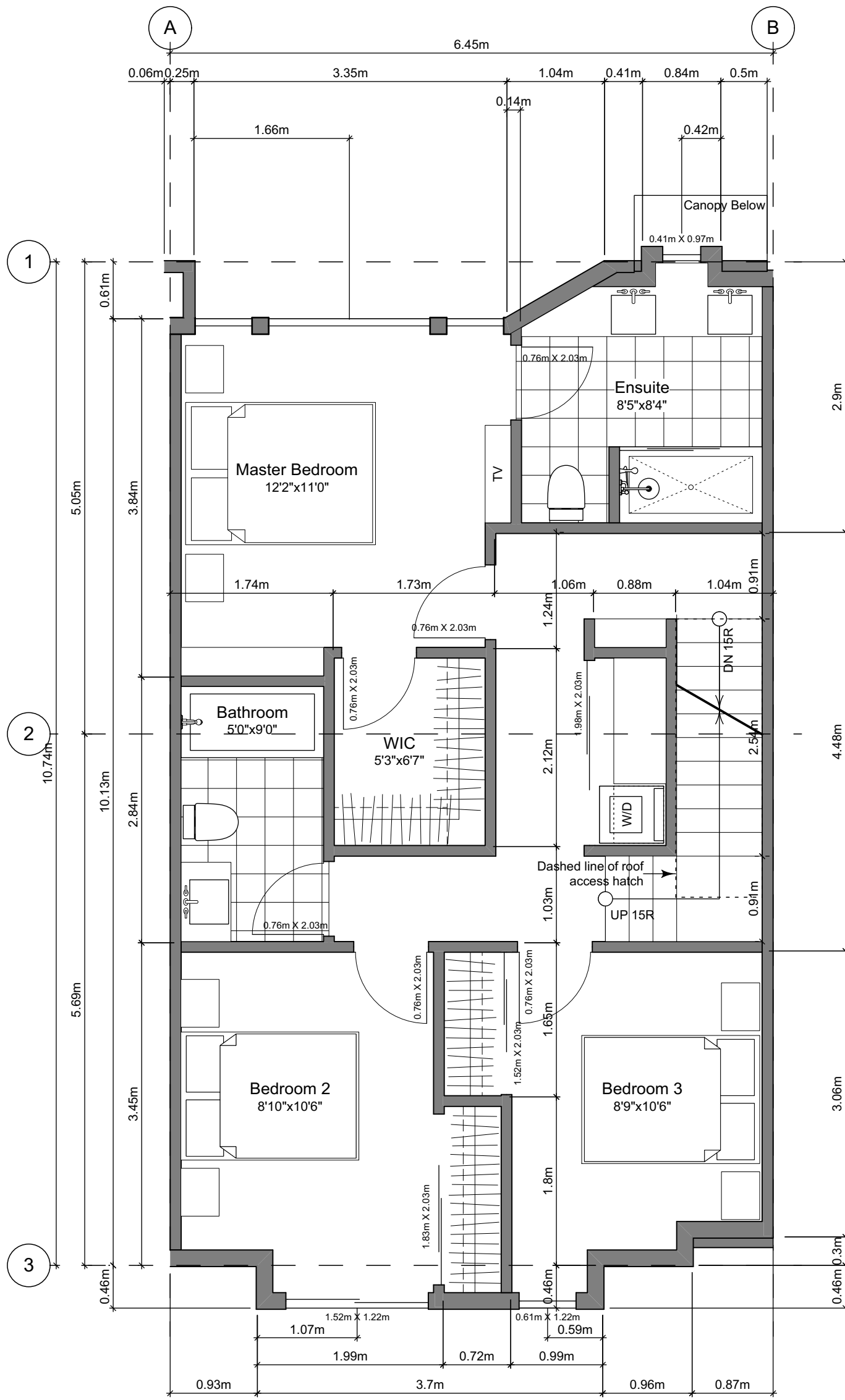
FOR DEVELOPMENT APPLICATION ONLY



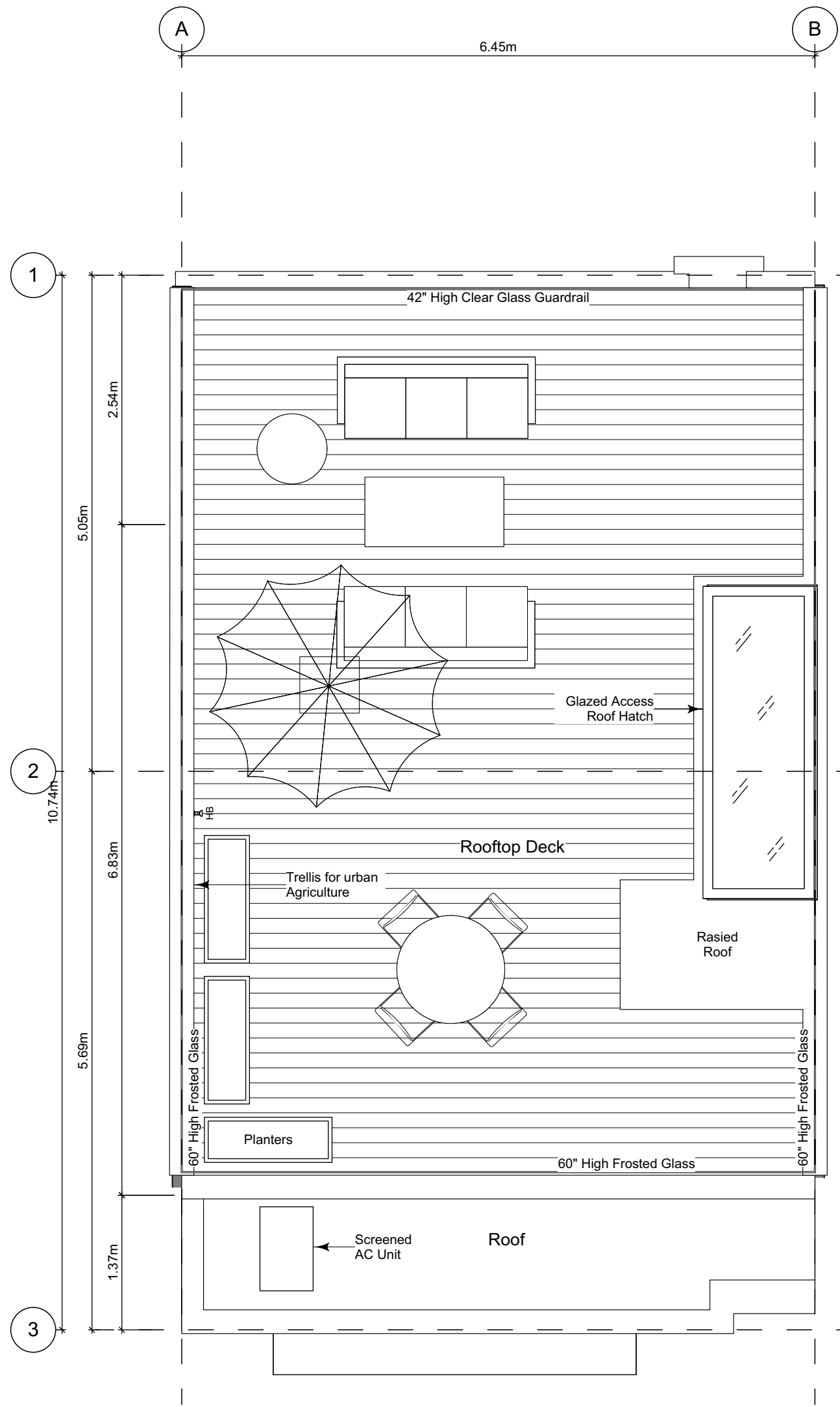
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:
See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit (B1)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	384 sq ft	35.7 m2	93 sq ft	8.6 m2
Main Floor	701 sq ft	65.2 m2	676 sq ft	62.8 m2
Second Floor	732 sq ft	68.0 m2	707 sq ft	65.7 m2
Roof Deck	0 sq ft	0.0 m2	0 sq ft	0.0 m2
Totals:	1,818 sq ft	168.9 m2	1,476 sq ft	137.1 m2
Garage	265 sq ft	24.6 m2		
Rooftop Open Space	620 sq ft	57.6 m2		

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

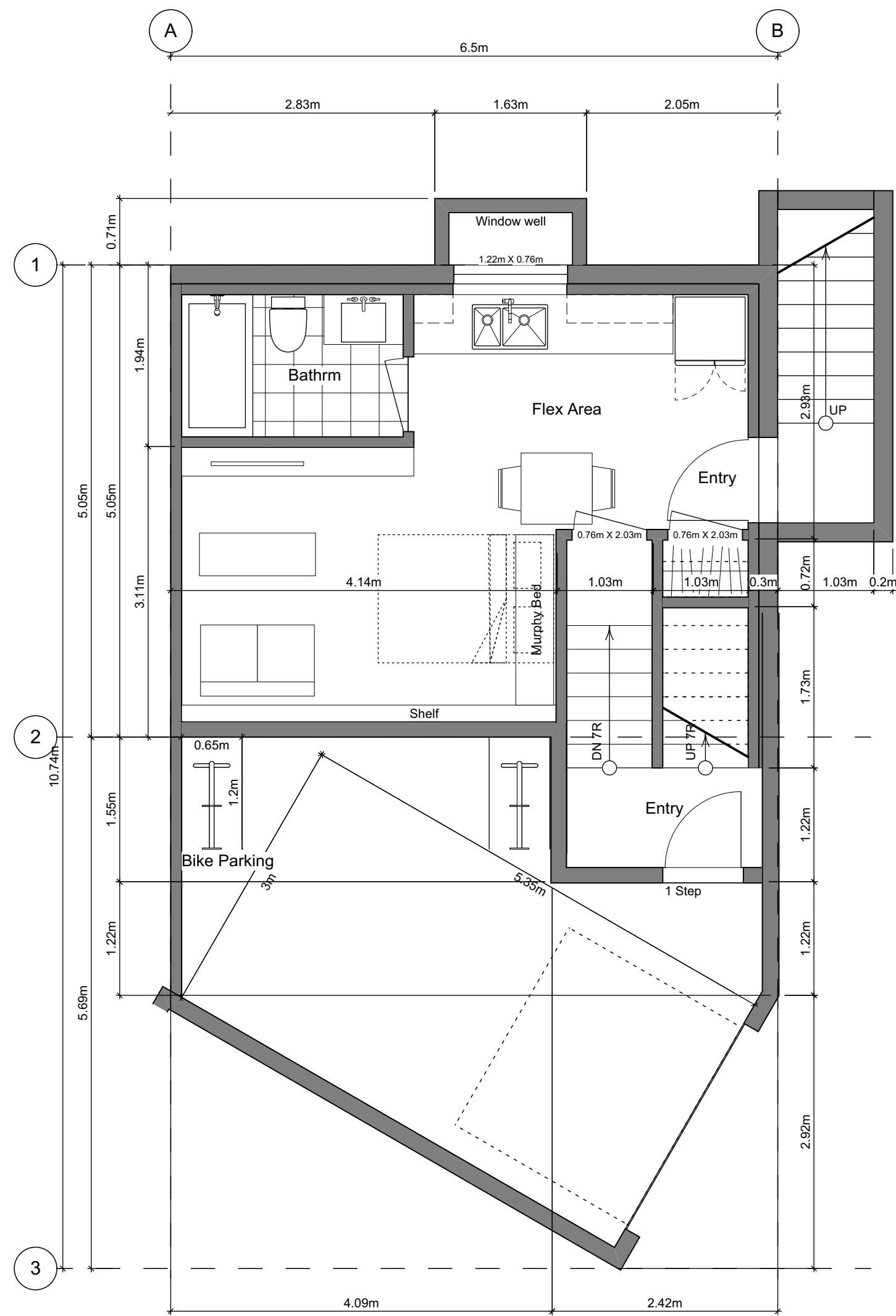
Project No: 19.015

Drawn By: SG/TD

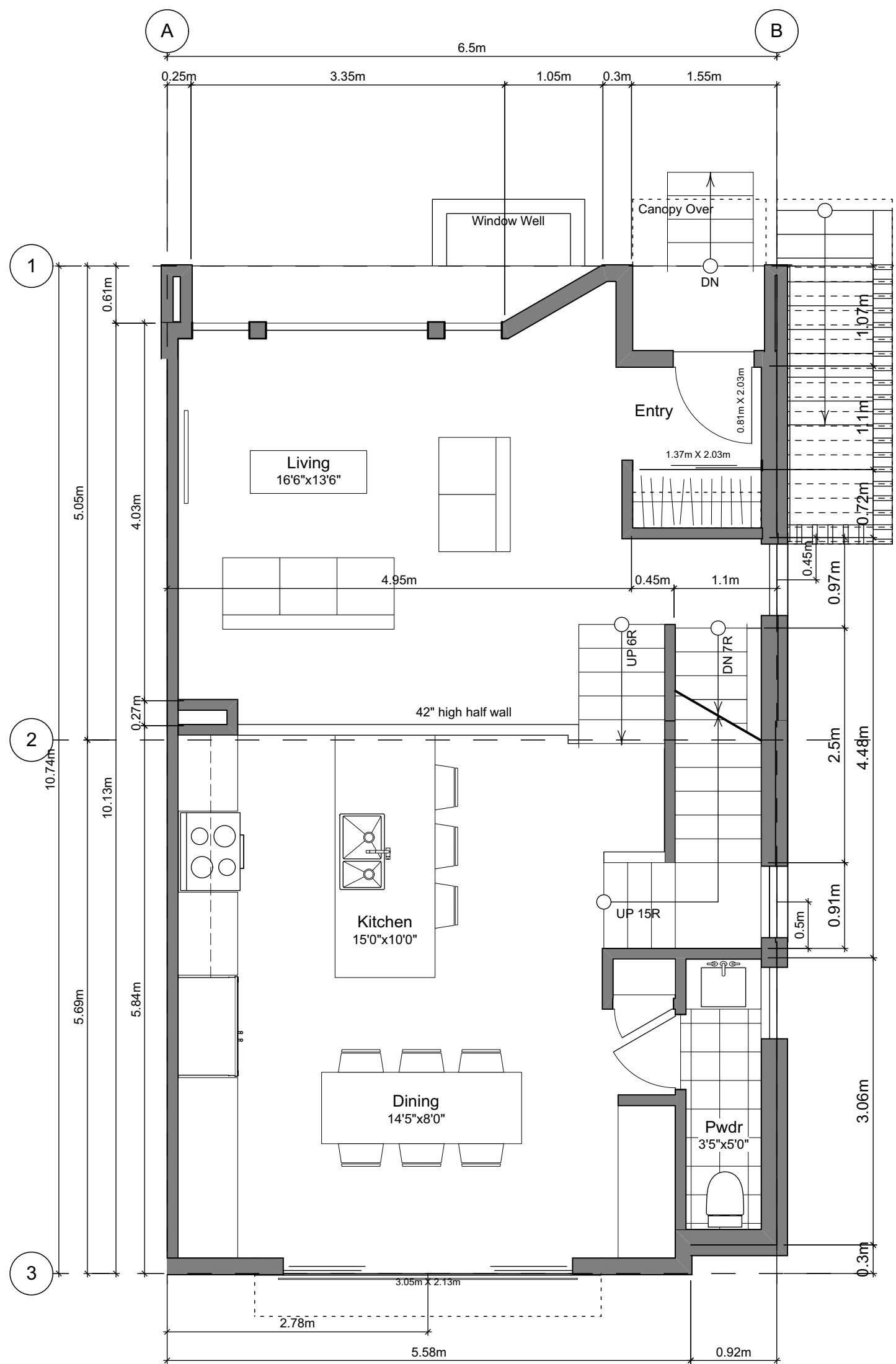
Plot Date: Dec 12, 2019

Scale: 1:50

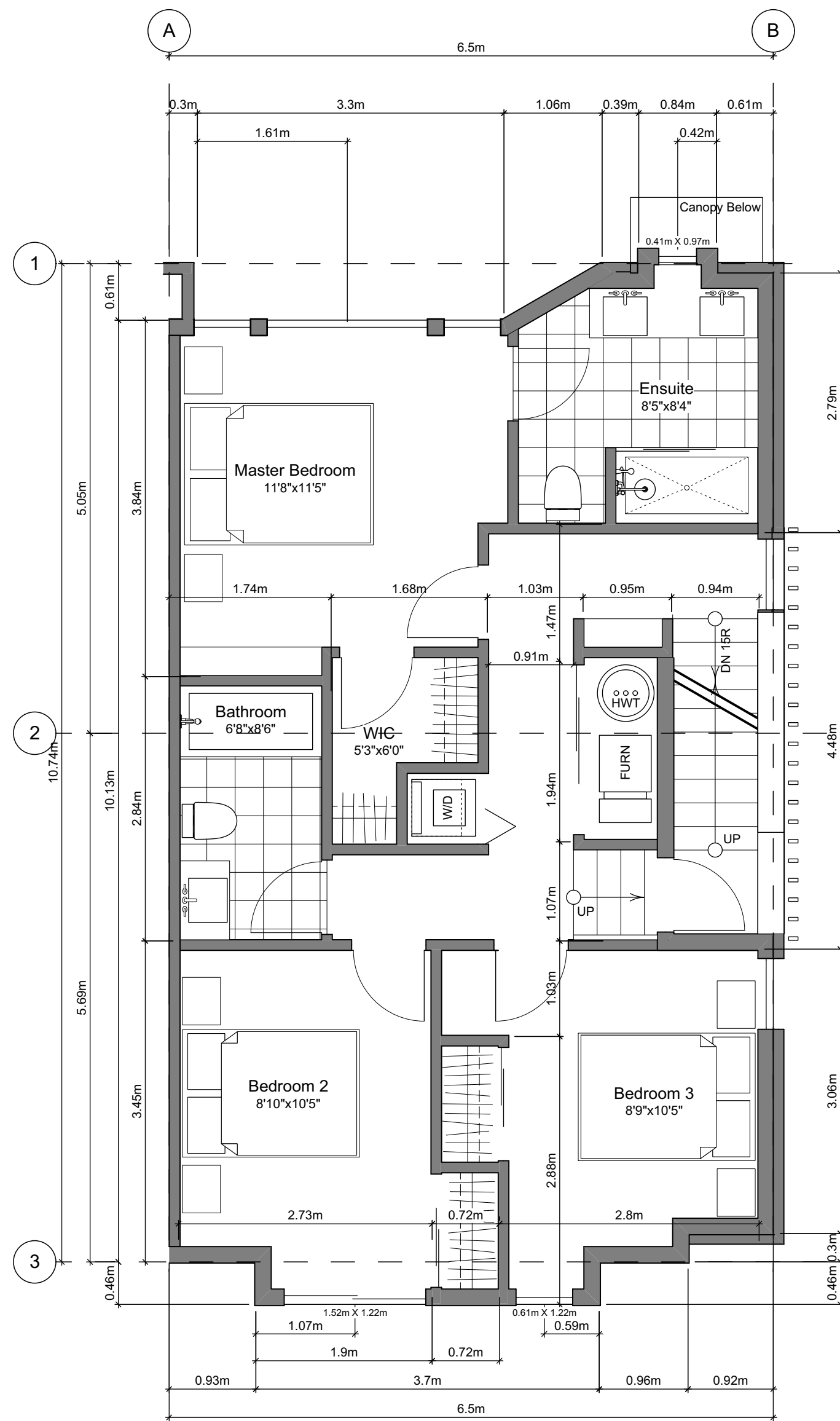
Sheet No:



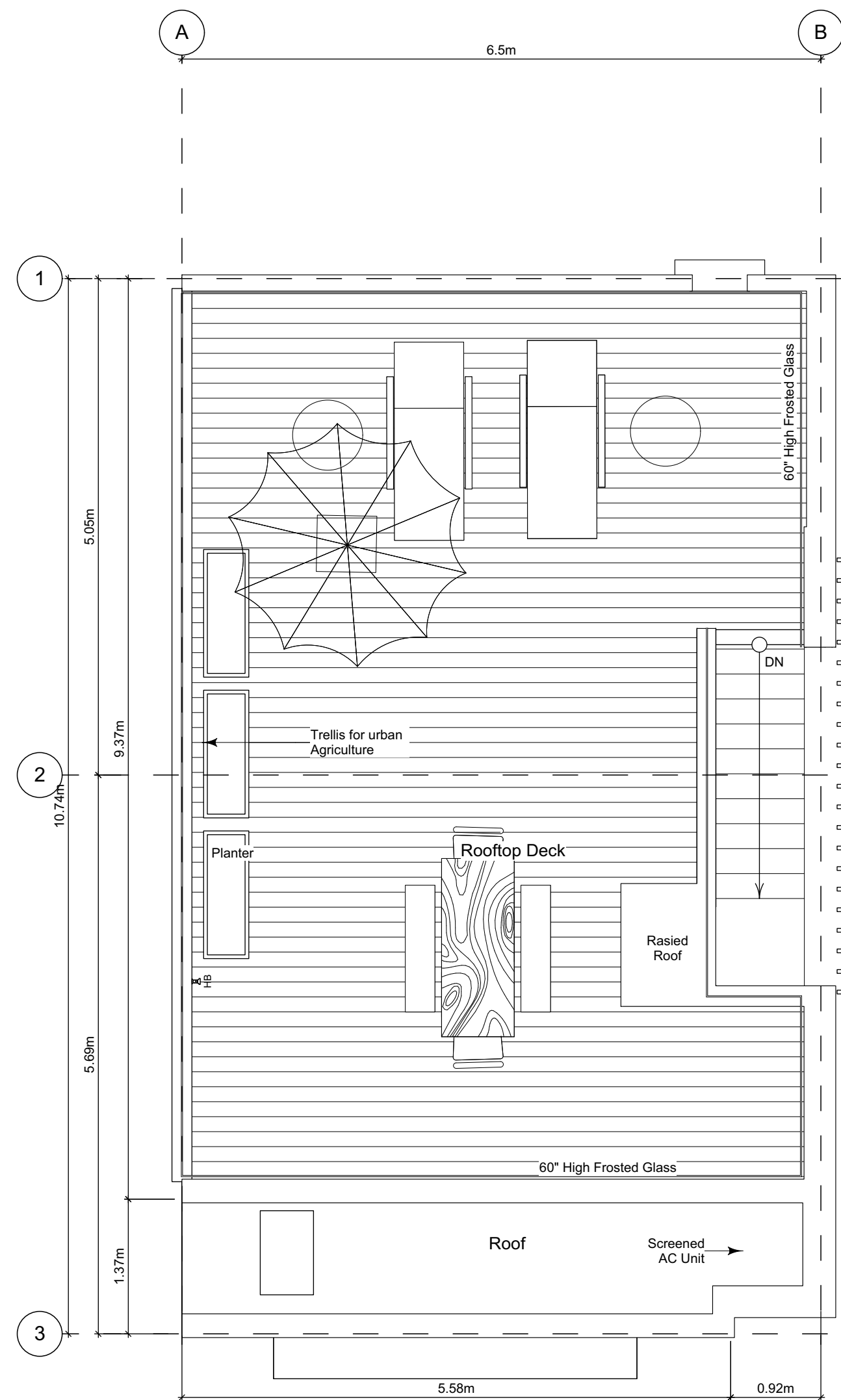
1 **Basement Floor Plan**
Scale: 1:50



2 **Main Floor Plan**
Scale: 1:50



3 **Second Floor Plan**
Scale: 1:50



4 **Roof Deck Plan**
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 1 (B2)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	388 sq ft	36.0 m2	90 sq ft	8.3 m2
Main Floor	707 sq ft	65.7 m2	665 sq ft	61.8 m2
Second Floor	738 sq ft	68.6 m2	694 sq ft	64.5 m2
Roof Deck	0 sq ft	0.0 m2	0 sq ft	0.0 m2
Totals:	1,833 sq ft	170.3 m2	1,449 sq ft	134.6 m2
Garage	266 sq ft	24.7 m2		
Rooftop Open Space	626 sq ft	58.2 m2		

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Unit B2 Floor Plans
Unit 1

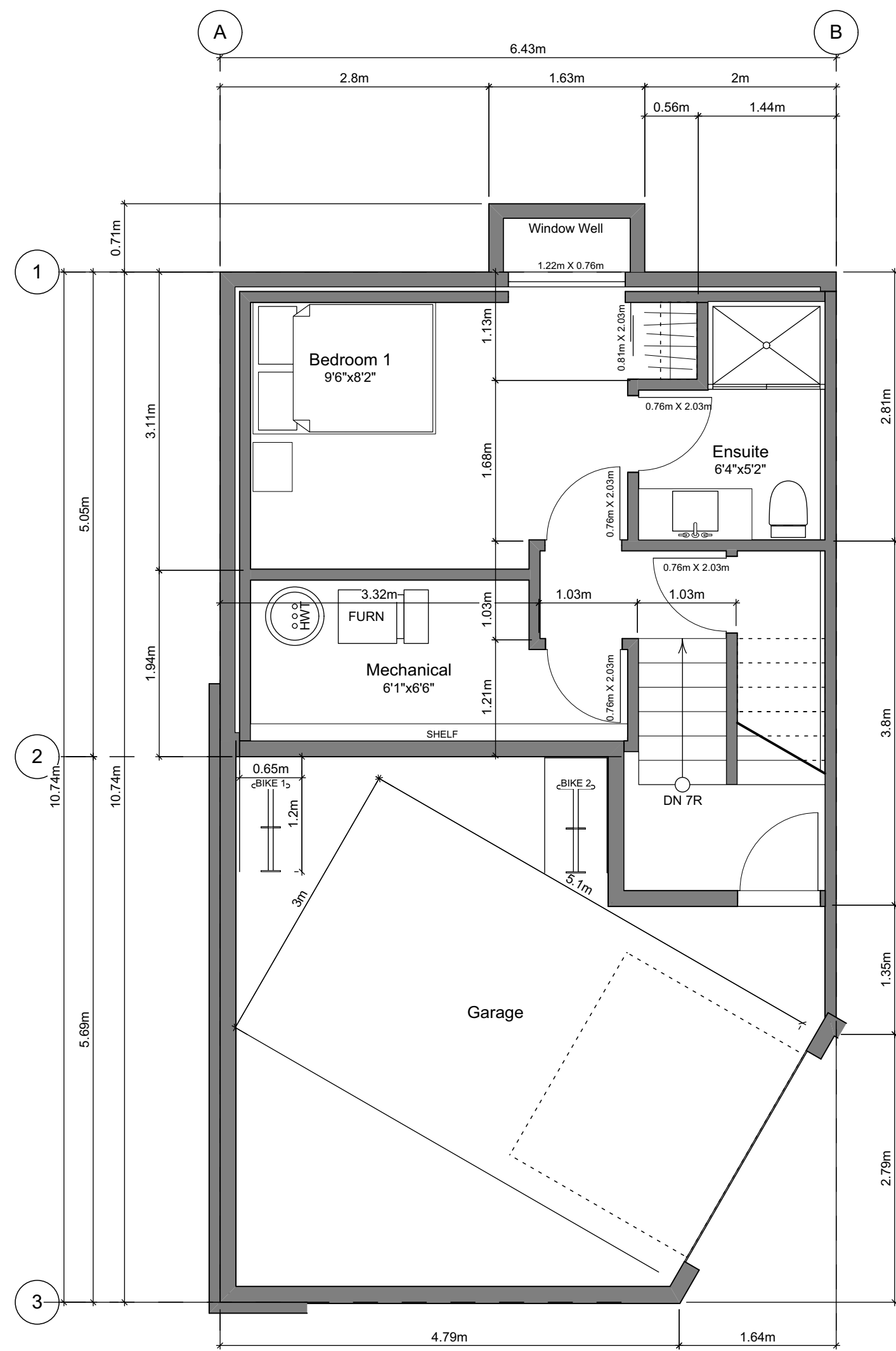
Project Name:

**Fairfield-Kipling
Development**

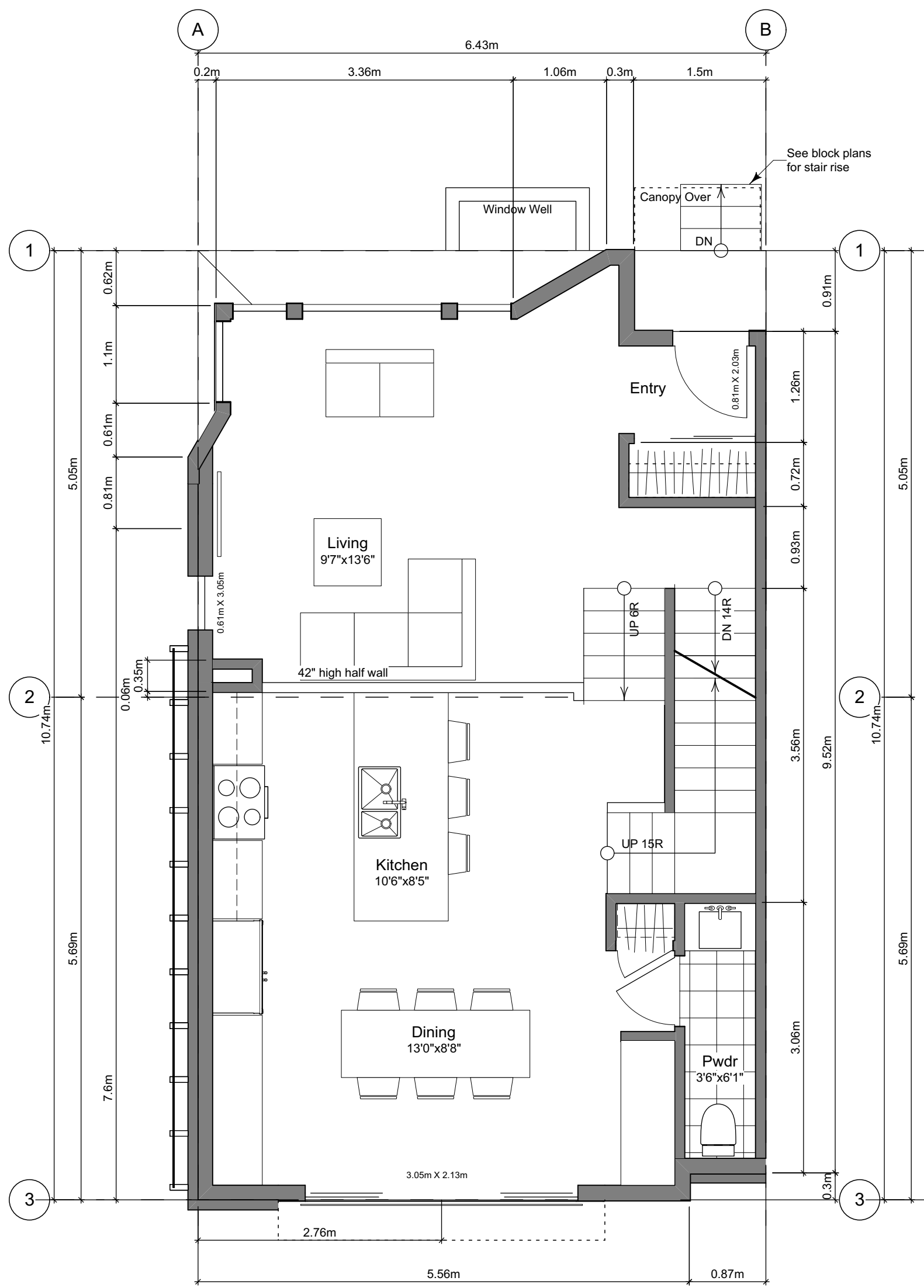
Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

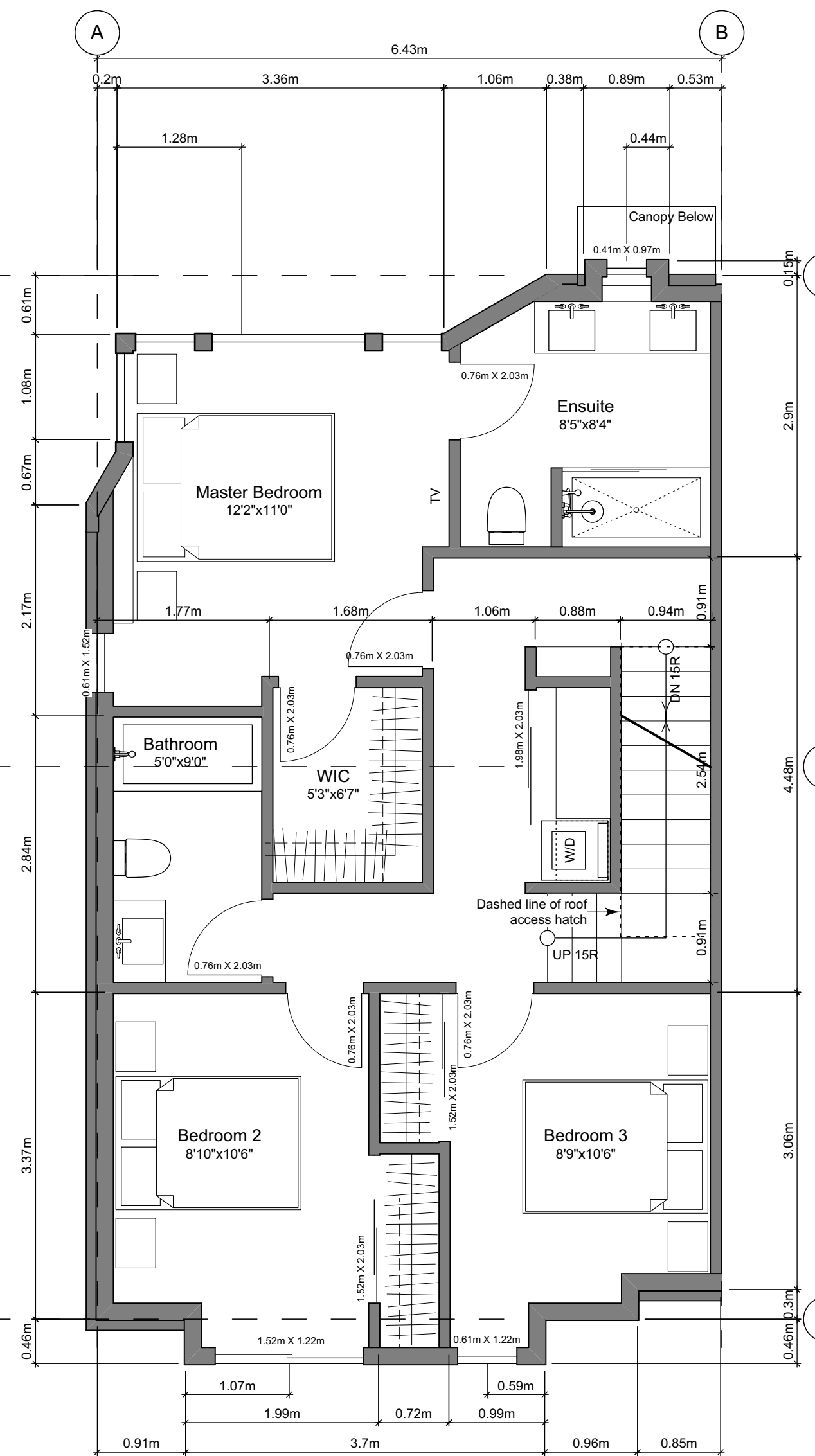
PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:50
Sheet No:



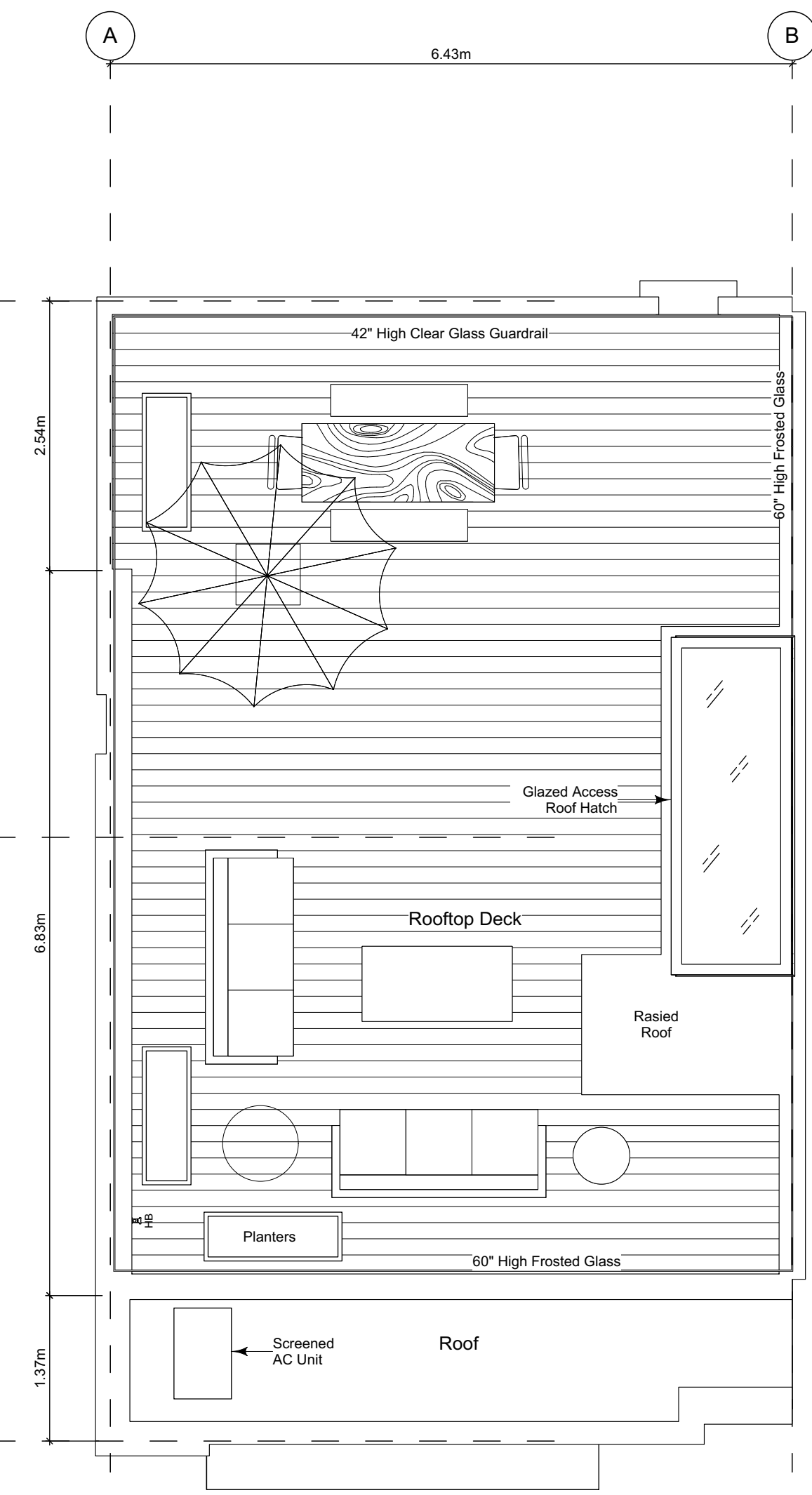
1 Basement Floor Plan
Scale: 1:50



2 Main Floor Plan
Scale: 1:50



3 Second Floor Plan
Scale: 1:50



4 Roof Deck Plan
Scale: 1:50

Unit Plan Notes:

See Block plan for foundation plan.

Grid Lines are to:
1) Outside face of plywood or
2) Centre line of demising wall.

Dimensions are to:
1) One side of interior stud,
2) face of plywood, or face of concrete.

Floor Area Calculations - Unit 6 (B3)

	Gross Floor Area		Zoning Floor Area	
Basement Floor	383 sq ft	35.6 m2	158 sq ft	14.7 m2
Main Floor	694 sq ft	64.4 m2	652 sq ft	60.6 m2
Second Floor	727 sq ft	67.5 m2	684 sq ft	63.6 m2
Roof Deck	0 sq ft	0.0 m2	0 sq ft	0.0 m2
Totals:	1,803 sq ft	167.5 m2	1,494 sq ft	138.8 m2
Garage	274 sq ft	25.5 m2		
Rooftop Open Space	642 sq ft	59.6 m2		

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

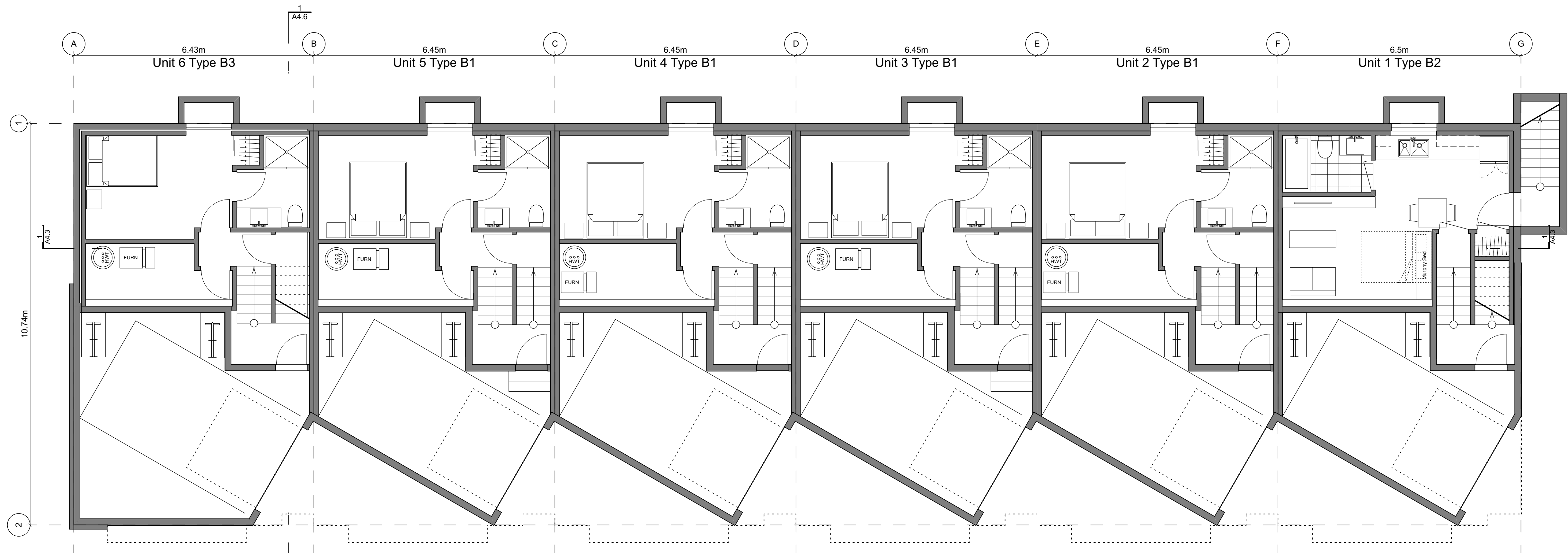
Project Name:

Fairfield-Kipling
Development

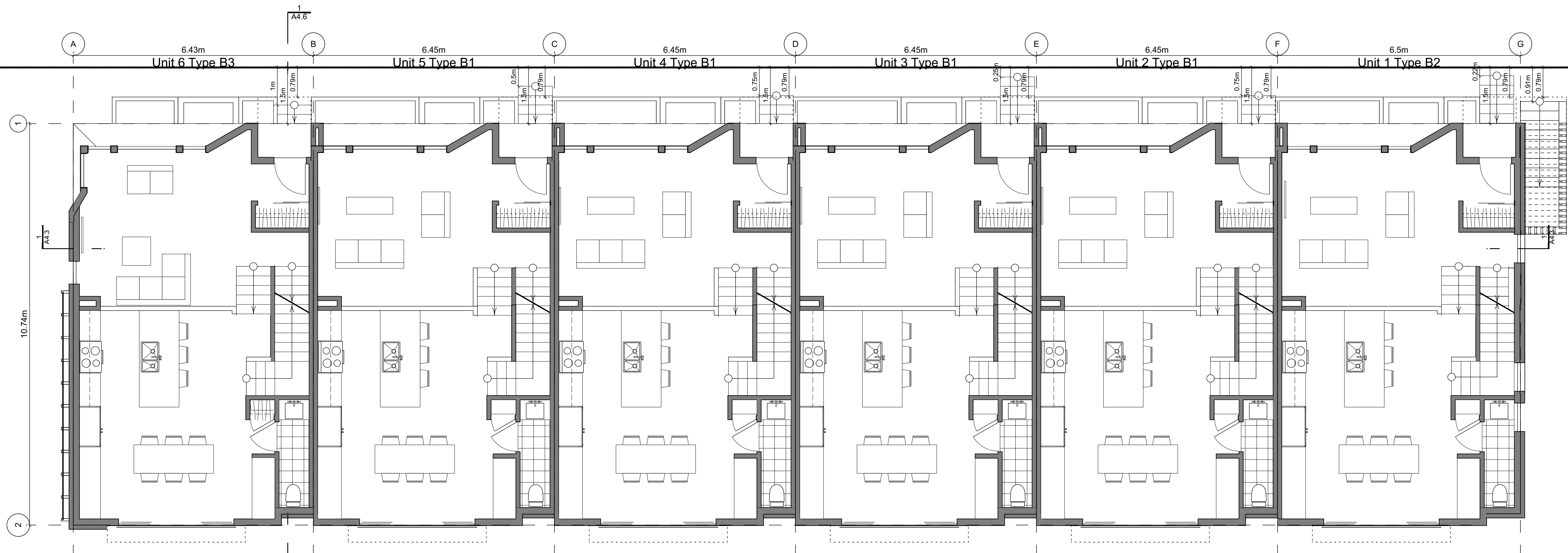
Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:50
Sheet No:



2 Basement Floor Plan
Scale: 1:65



3 Main Floor Plan
Scale: 1:65

Block Plan Notes:

See unit plans for detailed dimensions and notes.

- Grid Lines are to: Dimensions are to:
- 1) Outside face of plywood or 1) One side of interior stud,
 - 2) Centre line of demising wall. 2) face of plywood, or face of concrete.

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Block 01 Floor Plans

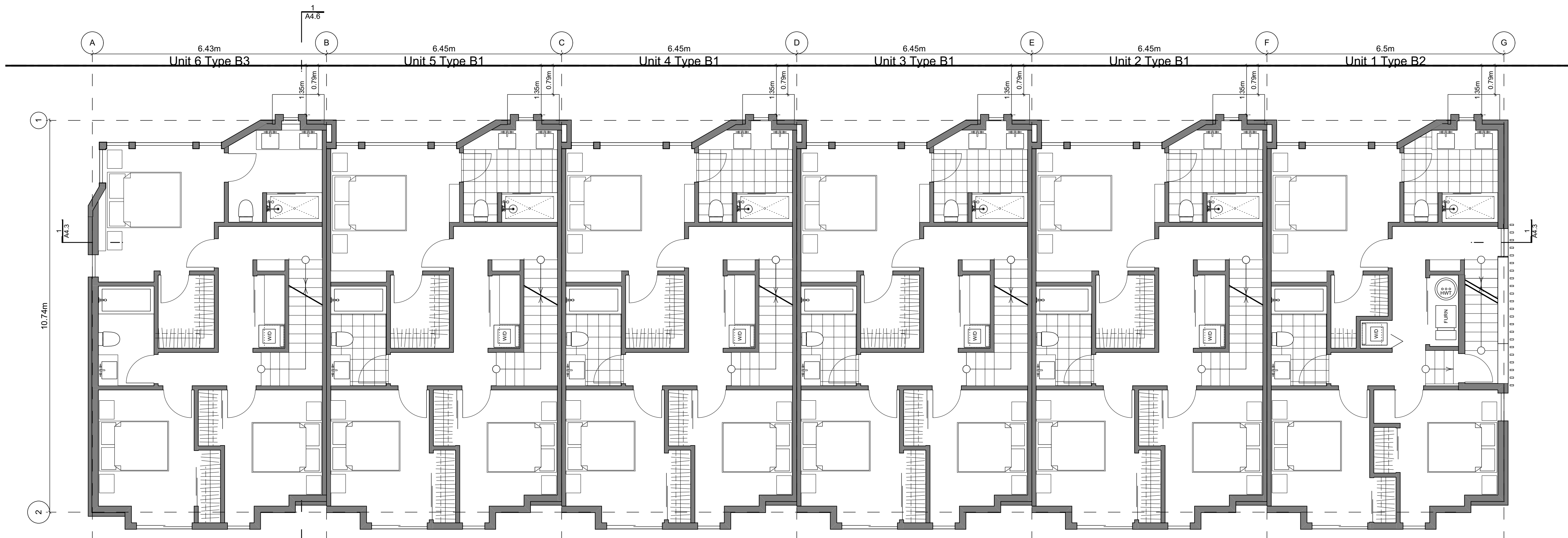
Project Name:

Fairfield-Kipling
Development

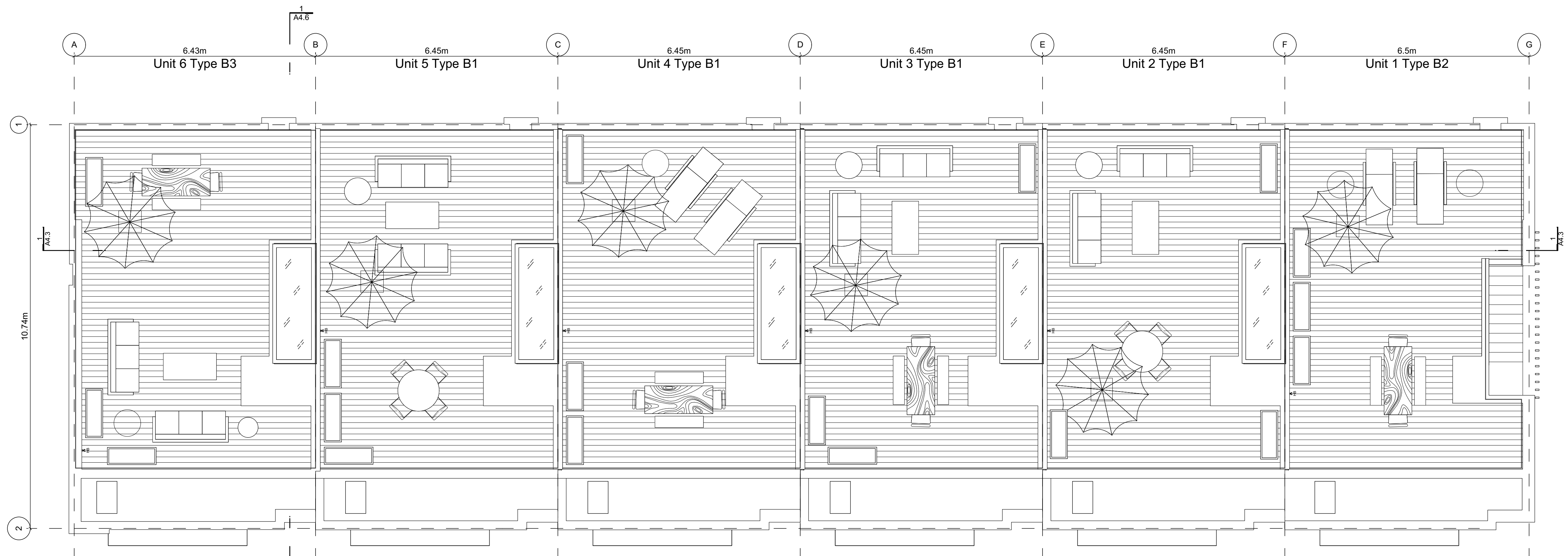
Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:65
Sheet No:



2 Second Floor Plan
Scale: 1:65



1 Roof Deck Plan
Scale: 1:65

Block Plan Notes:

See unit plans for detailed dimensions and notes.

Grid Lines are to: Dimensions are to:
1) Outside face of plywood or 1) One side of interior stud,
2) Centre line of demising wall. 2) face of plywood, or face of concrete.

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Block 01 Floor Plans

Project Name:

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:65
Sheet No:

Building Exposure and Spatial Separation (9.10.15.4.)

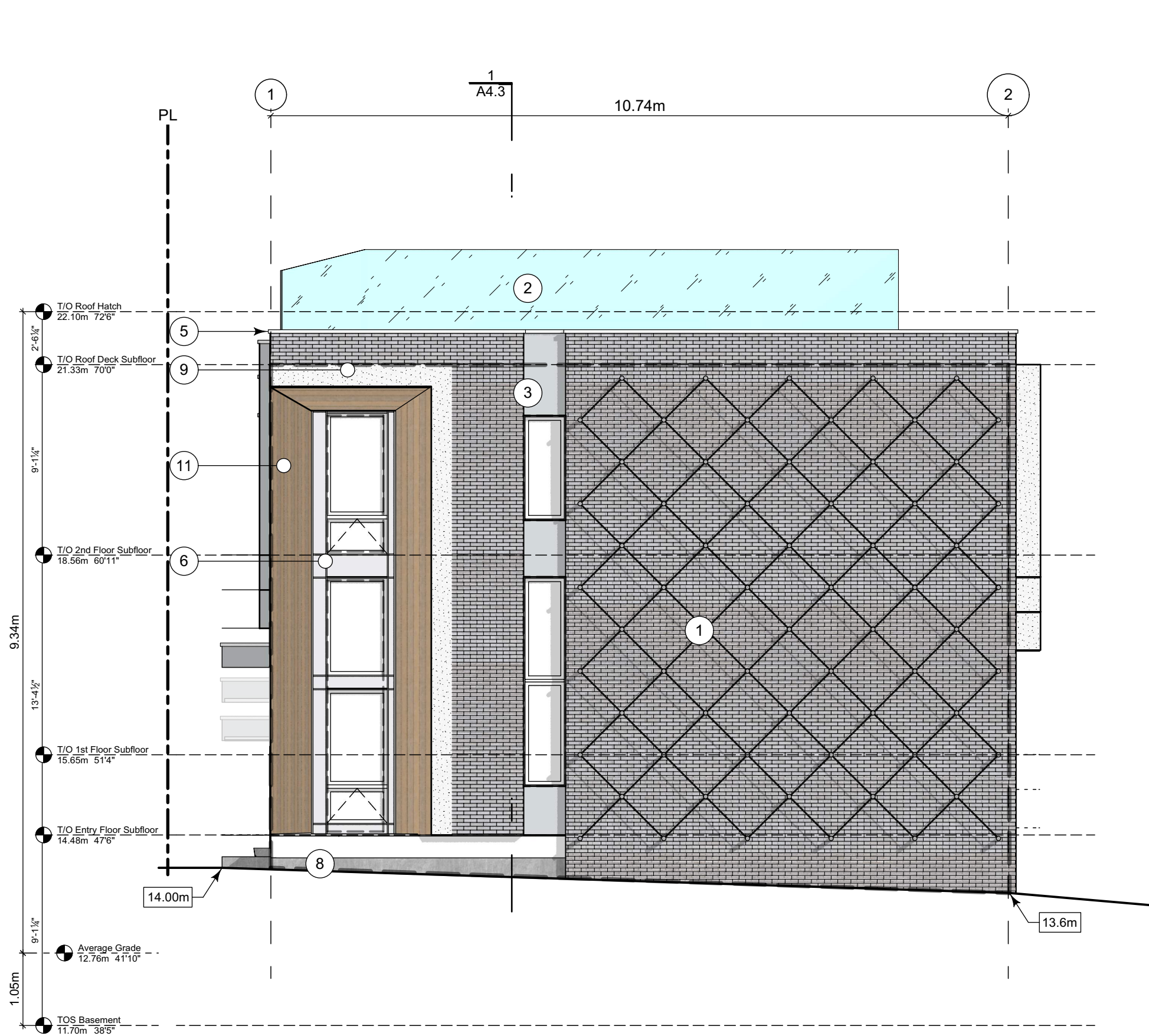
Building Sprinklered to NFPA 13
9.10.14.4.(7) Max. Aggregate Area of unprotected openings doublec

Compartment	Area of Facade	Limiting Distance		Unprotected Openings		Construction of Building Face	Cladding
				Allowed	Actual		
North Facade	48.8 m2	11.23 m	to C/L of Kipling St.	98.5 %	43 %	3/4hr, C	C or NC
East Facade	78.6 m2	18.03 m	to C/L of Thurlow Rd.	100.0 %	8.9 %	3/4hr, C	C or NC
South Facade	52.8 m2	5.00 m	to PL	52.0 %	22.7 %	3/4hr, C	C or NC
West Facade	80.7 m2	3.80 m	to C/L of Driveisle	36.6 %	9.1 %	3/4hr, C	NC

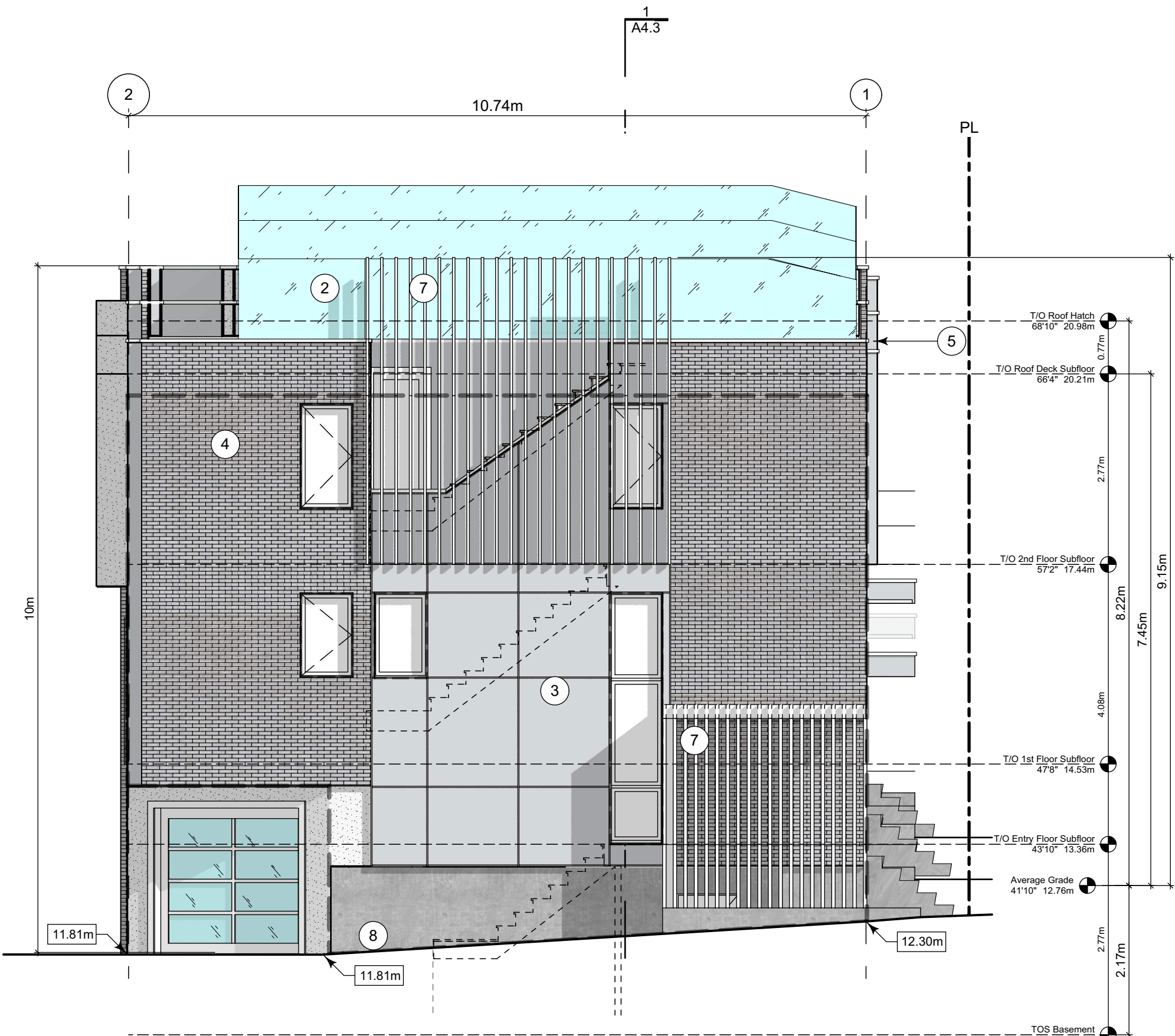
Exterior Materials

No.	Description	Colour / Finishes
1	Cable Trellis c/w Vines	See Landscape Drawings
2	Glass Railing	Glass Guardrail with White Aluminum Frame
3	Hardie Panels	Grey
4	I-XL Brick	Light Grey
5	Metal Cap Flashing	White
6	Metal Flashing	Silver or White
7	Metal Screen	
8	Parged Concrete	-
9	Stucco	White
10	Window Frame	Silver or white
11	Wood Grain Cladding	Wood Grain

All Materials as noted or approved equal



2 West Elevation - Driveway
Scale: 1:65



1 East Elevation - Thurlow Road
Scale: 1:65



3 North Elevation - Kipling Street
Scale: 1:65

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Block 01 Elevations

Project Name:
Fairfield-Kipling Development

Civic: 1400 Fairfield Rd & 349 Kipling St

Legal:

PID:

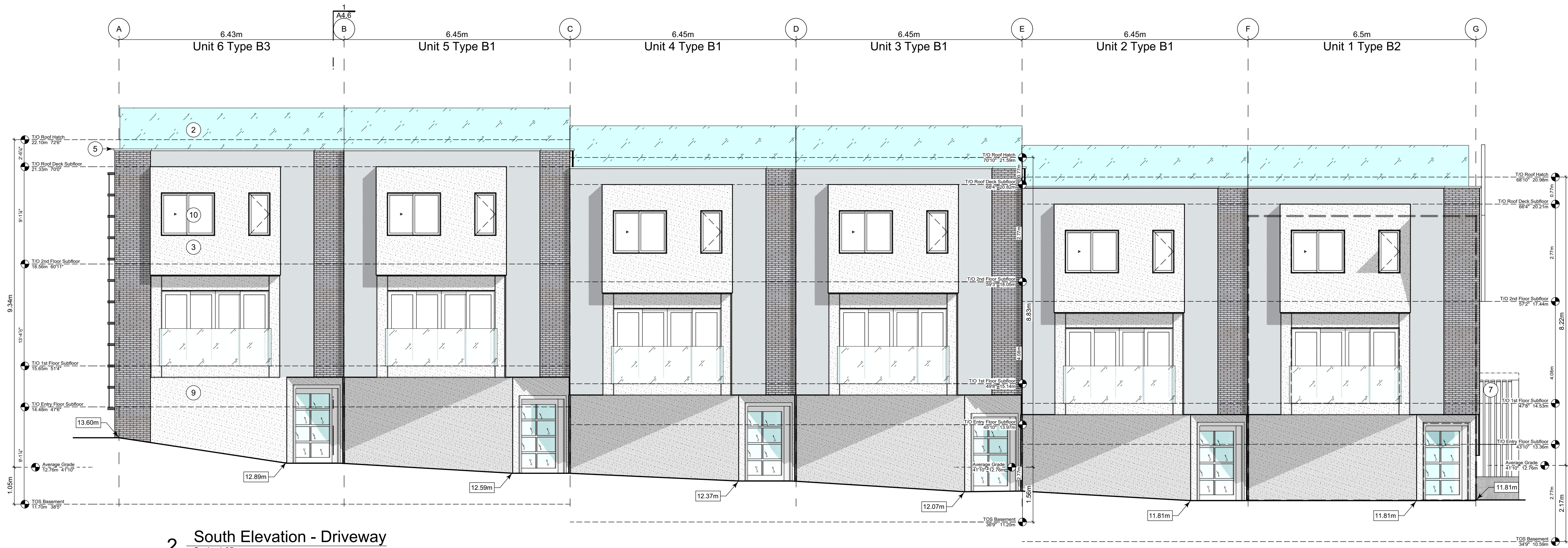
Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: 1:65

Sheet No:



2 South Elevation - Driveway
Scale: 1:65



1 Building Section
Scale: 1:65

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Block 01 Elevations

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

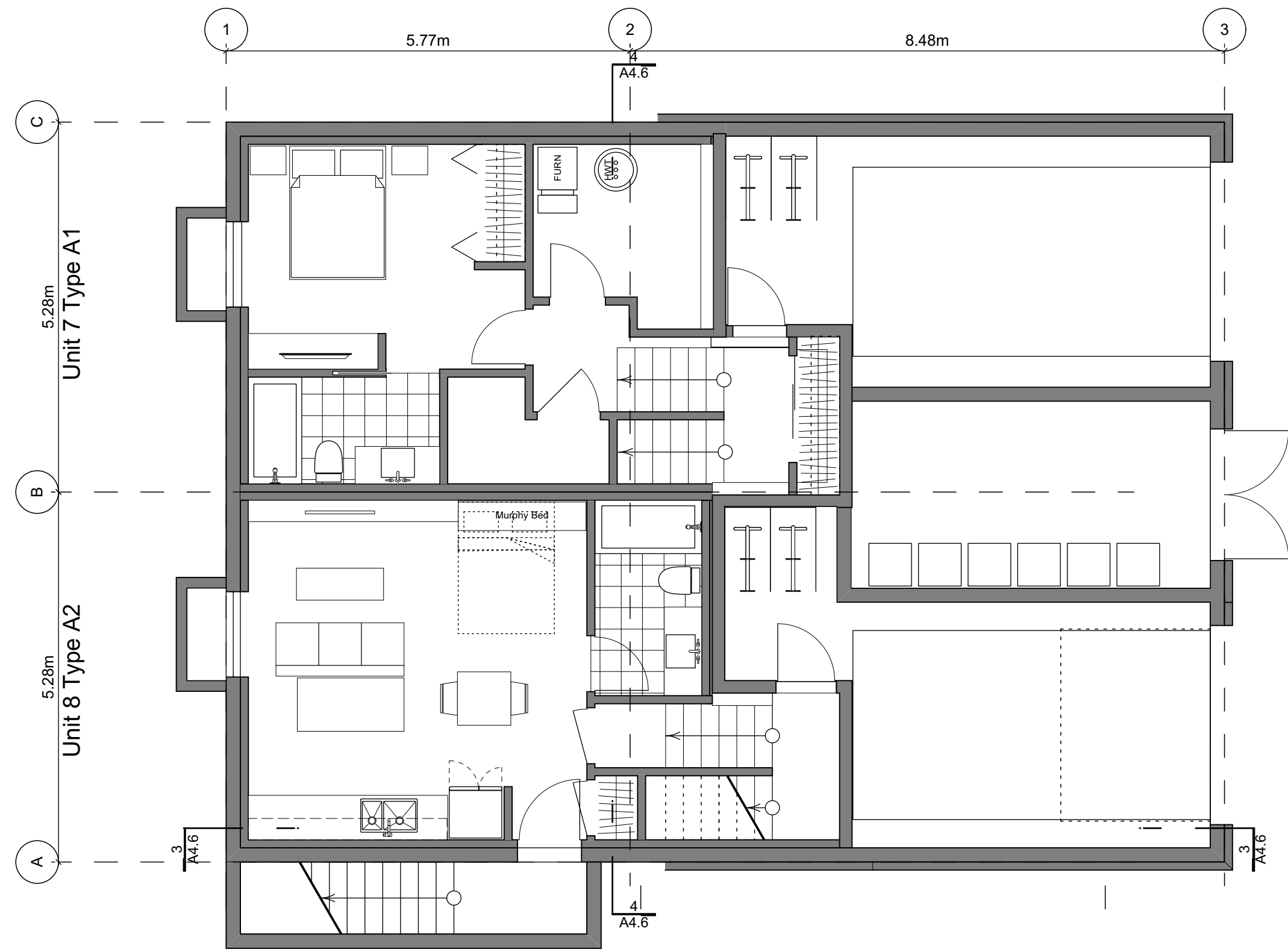
Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: 1:65

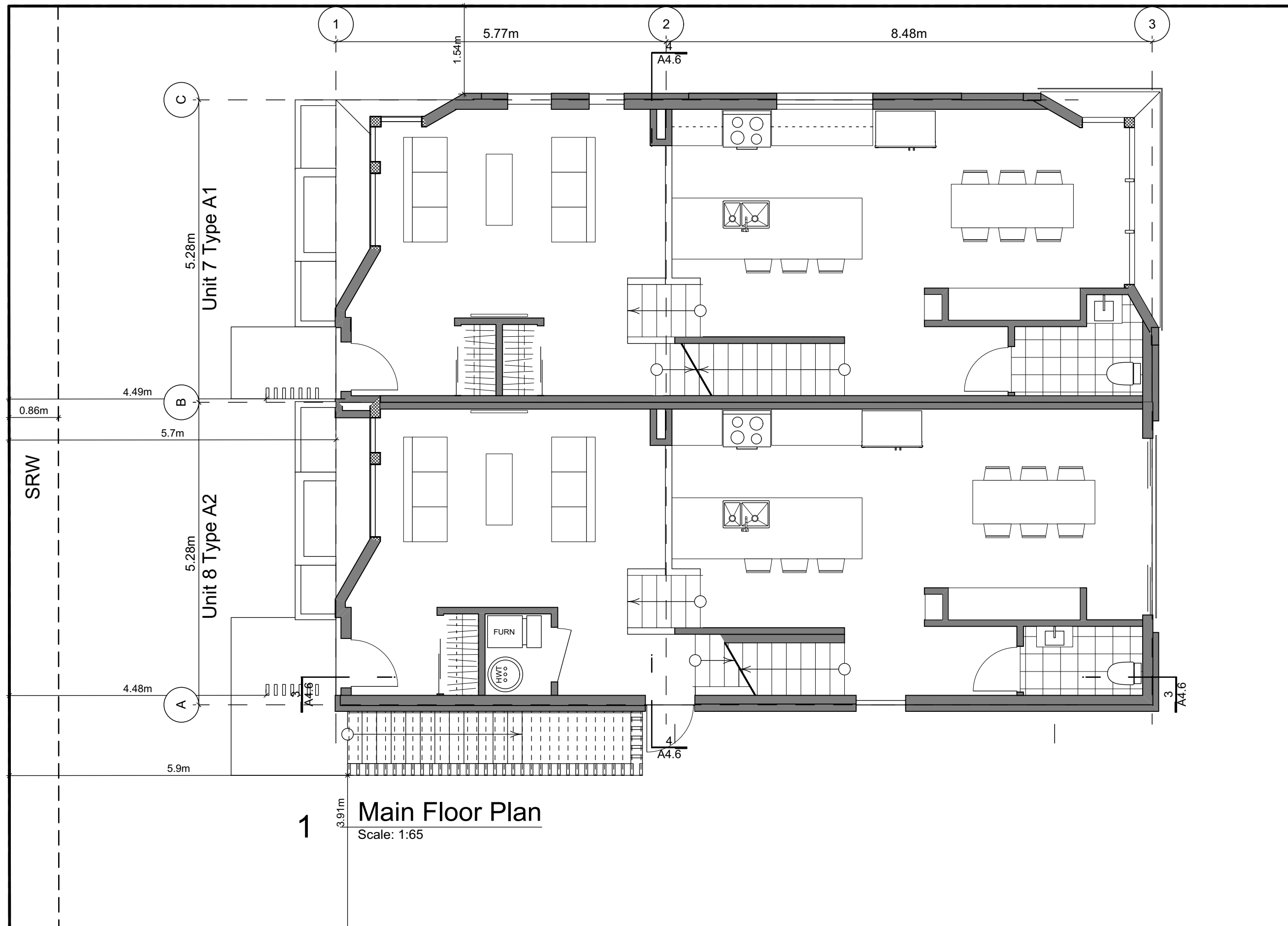
Sheet No:



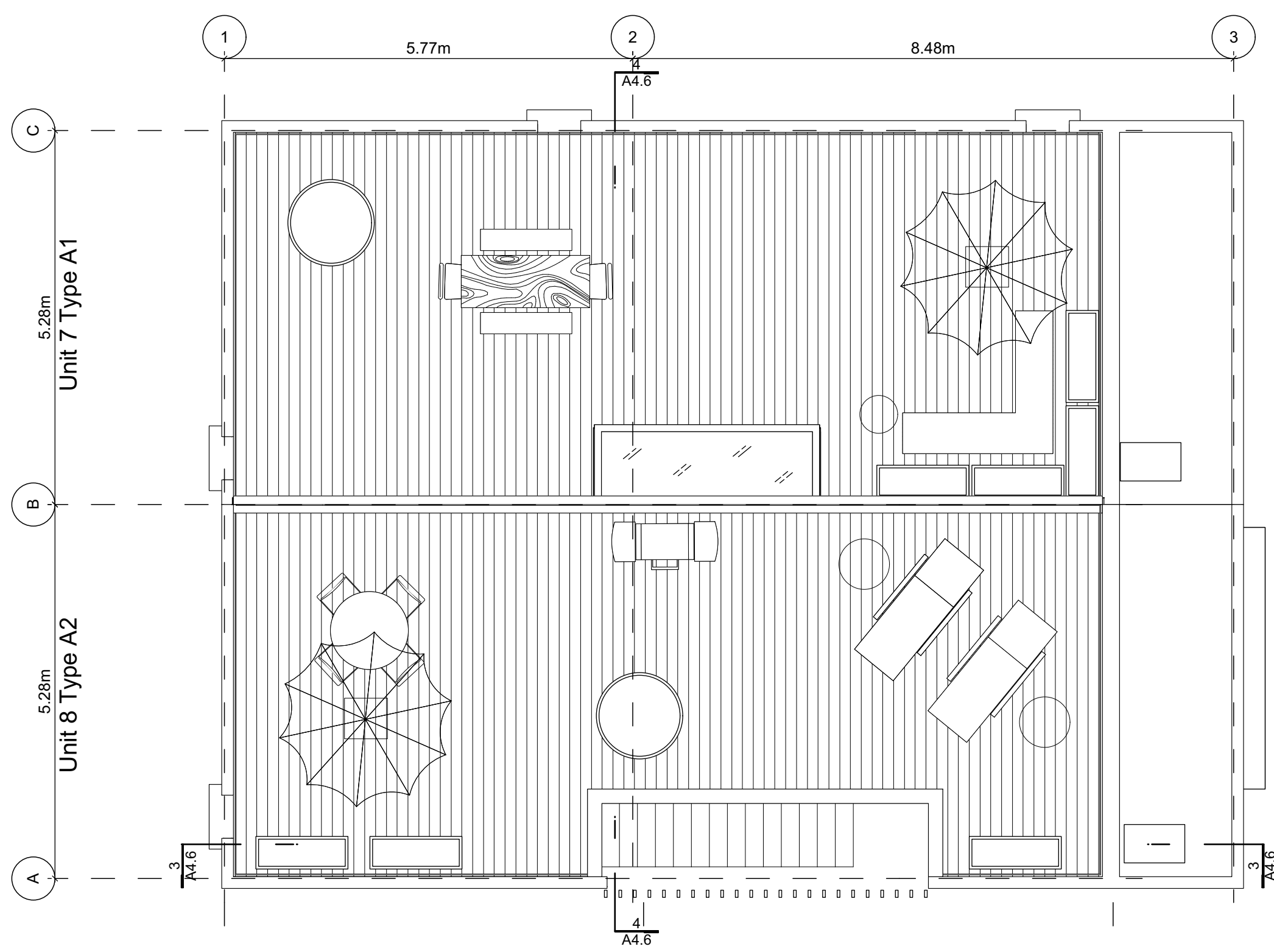
2 Basement Floor Plan
Scale: 1:65



4 Second Floor Plan
Scale: 1:65



1 Main Floor Plan
Scale: 1:65



3 Roof Plan
Scale: 1:65

Block Plan Notes:

See unit plans for detailed dimensions and notes.

- Grid Lines are to: Dimensions are to:
- 1) Outside face of plywood or 1) One side of interior stud,
 - 2) Centre line of demising wall. 2) face of plywood, or face of concrete.

FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Block 02 Floor Plans

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:

Project No: 19.015

Drawn By: SG/TD

Plot Date: Dec 12, 2019

Scale: 1:65

Sheet No:

Building Exposure and Spatial Separation (9.10.15.4.)

Building Sprinklered to NFPA13

Compartment	Area of Facade	Limiting Distance		Unprotected Openings		Construction of Building Face	Cladding
				Allowed	Actual		
North Facade	107.4 m2	11.37 m	to C/L Kipling St.	95.0 %	11.2 %	C	C or NC
East Facade	A	39.1 m2	3.80 m Halfway Block 2	26.2 %	14.0 %	C	C or NC
	B	7.2 m2	3.80 m Halfway Block 2	36.3 %	50.7 %	C	C or NC
South Facade	106.4 m2	5.14 m	to PL	16.0 %	7.8 %	C	C or NC
West Facade	36.8 m2	15.06 m	to C/L Fairfield Rd.	100.0 %	37.4 %	C	C or NC

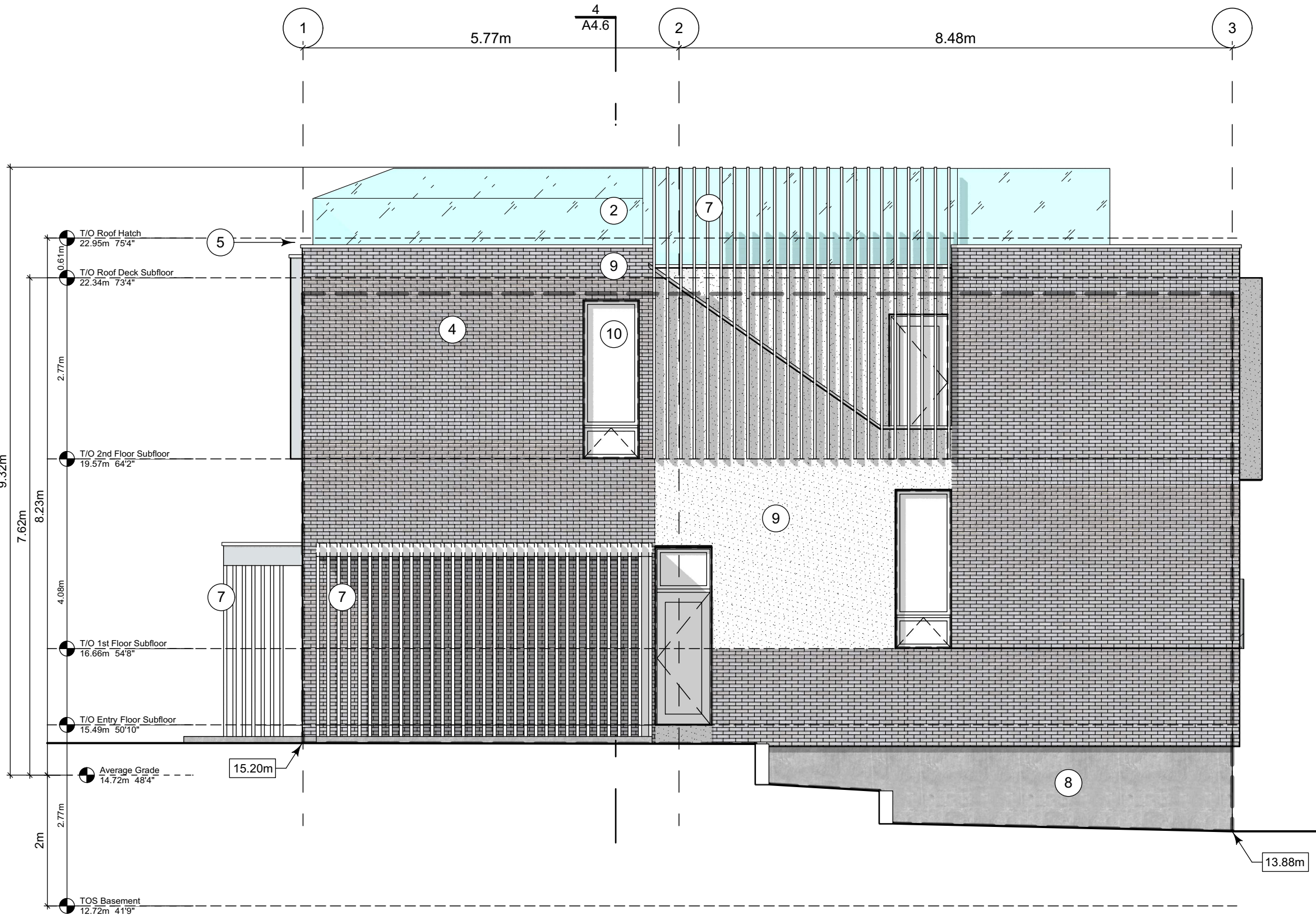
Exterior Materials

No.	Description	Colour / Finishes
1	Cable Trellis c/w Vines	See Landscape Drawings
2	Glass Railing	Glass Guardrail with White Aluminum Frame
3	Hardie Panels	Grey
4	I-XL Brick	Light Grey
5	Metal Cap Flashing	White
6	Metal Flashing	Silver or White
7	Metal Screen	
8	Parged Concrete	-
9	Stucco	White
10	Window Frame	Silver or white
11	Wood Grain Cladding	Wood Grain

All Materials as noted or approved equal



4 West Elevation - Fairfield Road
Scale: 1:65



1 South Elevation
Scale: 1:65

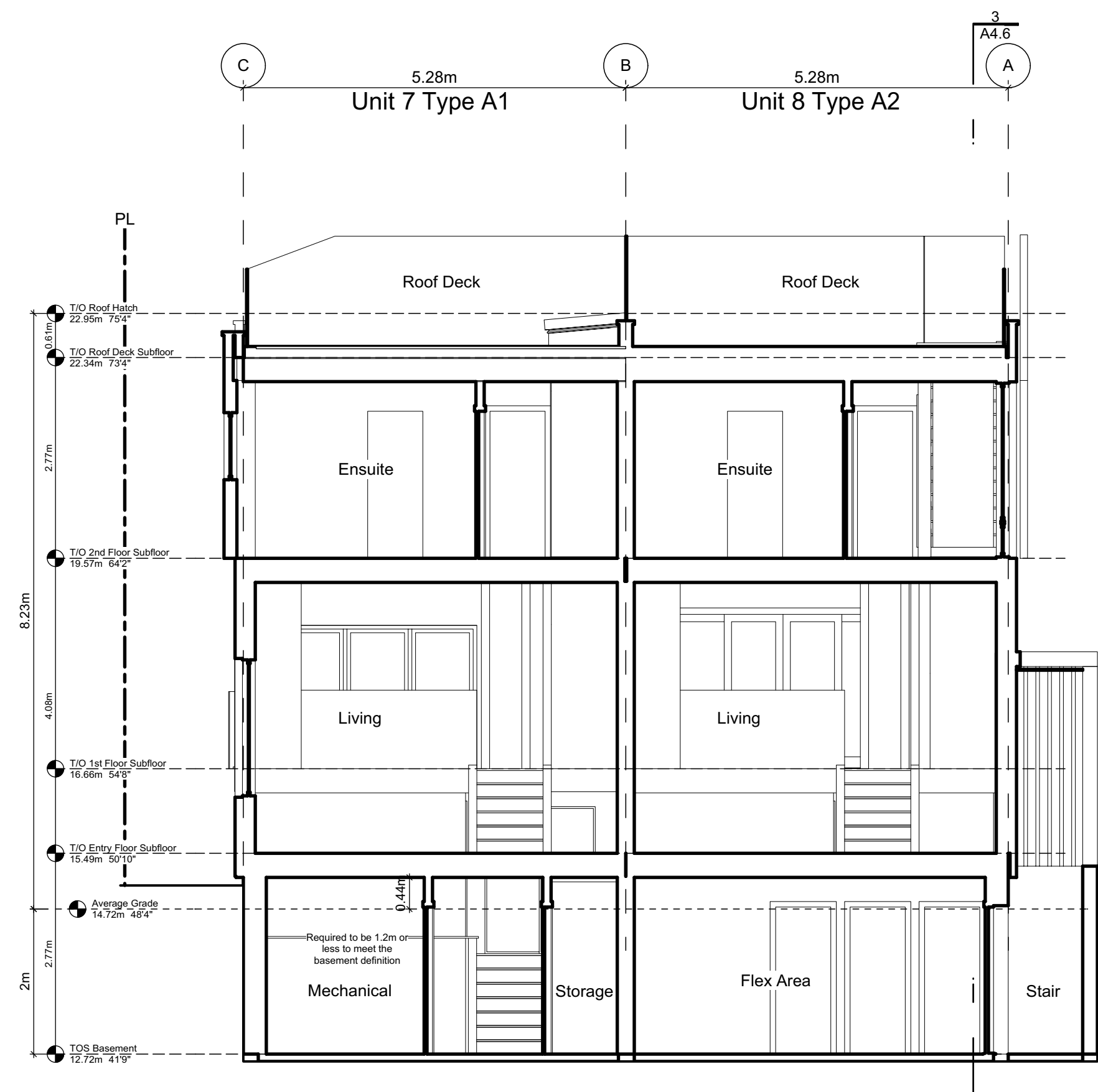


3 East Elevation - Driveway
Scale: 1:65

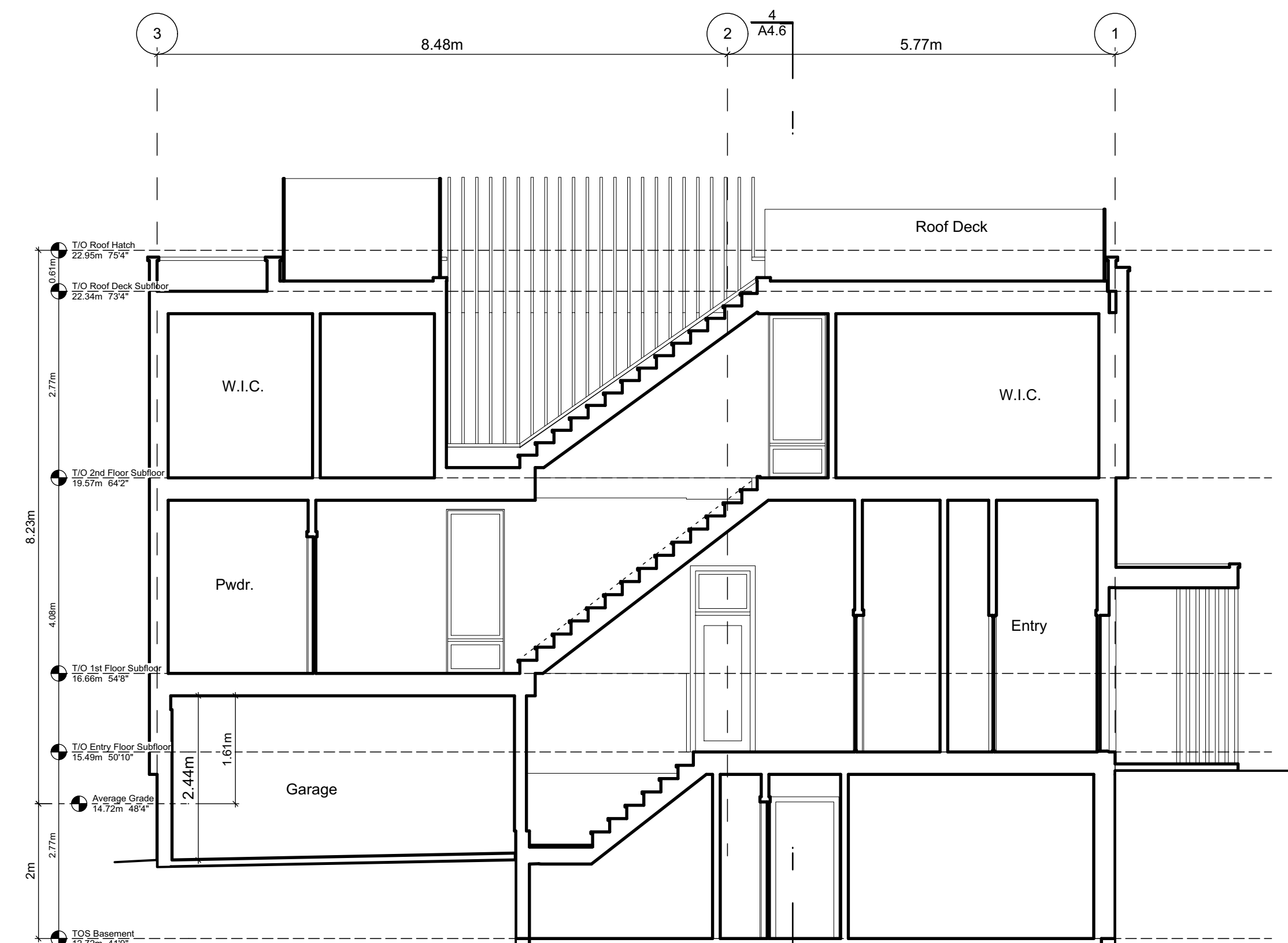


2 North Elevation - Kipling Street
Scale: 1:65

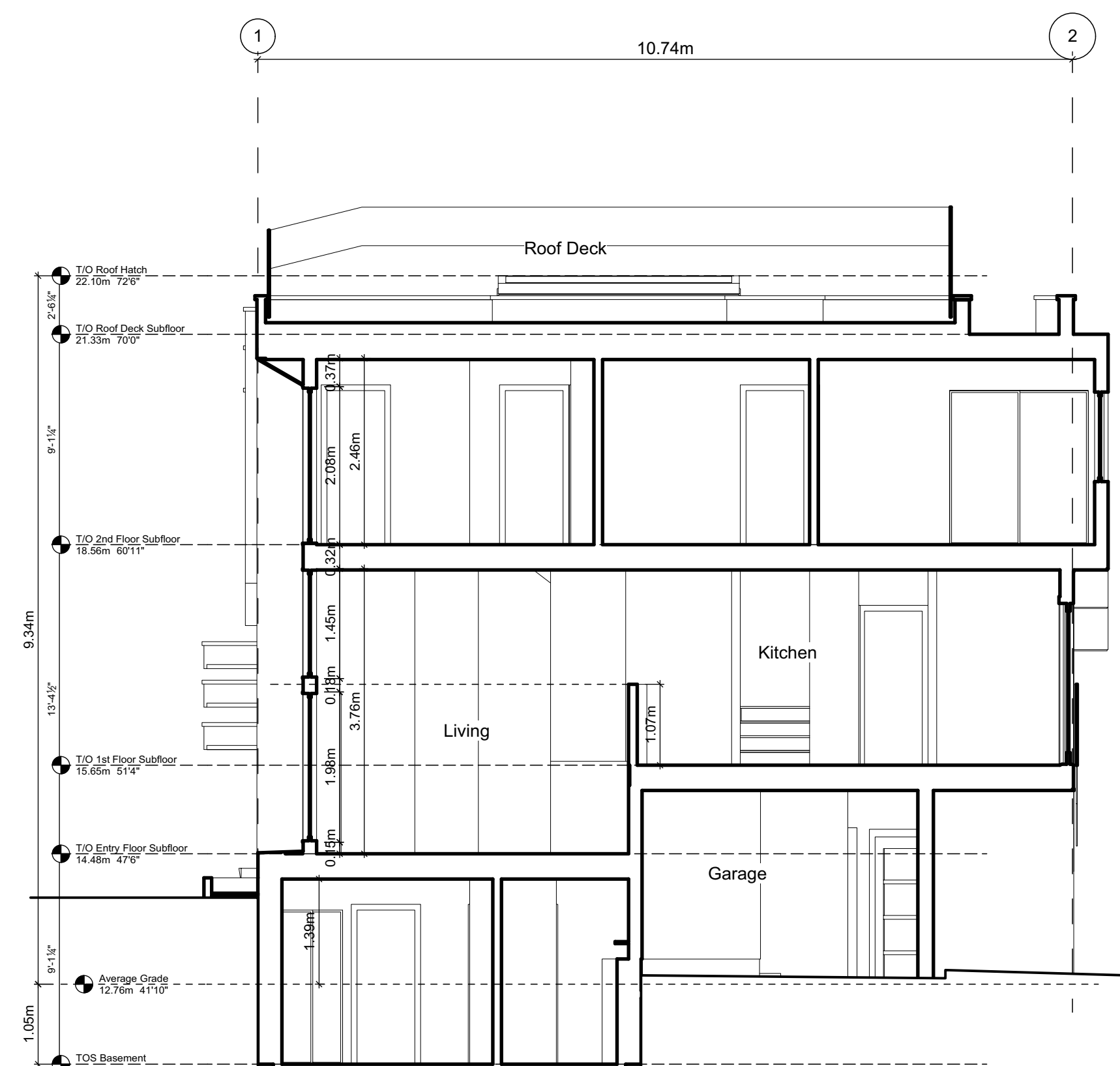
FOR DEVELOPMENT APPLICATION ONLY



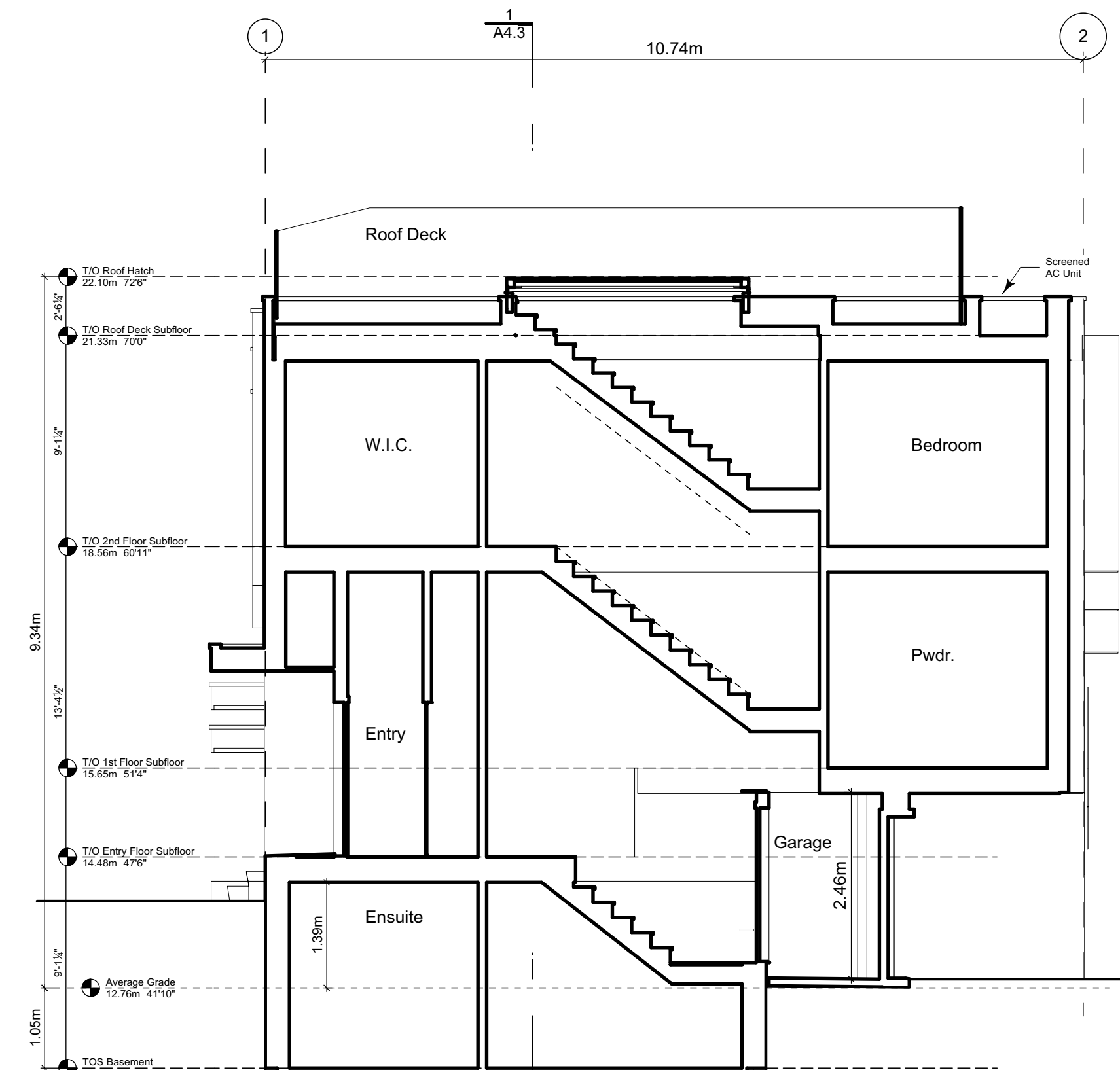
4 Block 2 Section
Scale: 1:65



3 Block 2 Unit 8 Section
Scale: 1:65



2 Block 1 Unit 5 Section
Scale: 1:65



1 Block 1 Unit 6 Section
Scale: 1:65

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.
VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Block 01 & 02 Sections

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: 1:65
Sheet No:

Climatic Data for the City of Victoria							
December 10 2018 (BCBC 2018)							
The following climatic data shall be used within the boundaries of the City of Victoria.							
Design Temperature				Degree Days Below 18°C			
January		July 2.5%					
2.5% °C	1% °C	Dry °C	Wet °C				
-4	-6	24	17	2700			
15 Min. Rain, mm	One Day Rain, 1/50, mm	Ann. Rain, mm	Moist. Index	Ann. Tot. Ppn, mm	Driving Rain Wind Pressure, Pa, 1/5		
9	91	800	0.98	825	220		
Snow Load kPa 1/50		Hourly Wind Pressures, kPa					
S _e	S _r	1/10		1/50			
1.5	0.3	0.44		0.57			
Seismic Data							
S _a (0.2)	S _a (0.5)	S _a (1.0)	S _a (2.0)	S _a (5.0)	S _a (10.0)	PGA	PGV
1.30	1.16	0.676	0.399	0.125	0.044	0.580	0.834
Alternatively site specific climatic data from Environment Canada can be used. Environment Canada can be emailed at climate.services@ec.gc.ca to obtain site specific climatic data. There is a user fee for providing site specific climatic data from Environment Canada.							

Assemblies General Notes:

These assemblies have been selected in accordance with BCBC 2018 and in coordination with the project consultants. The contractor is to be compliant with all these requirements, any deviations will not be accepted without prior approval and coordination.

Abbreviations

FRR = Fire Resistance Rating
VB = Vapour Barrier
FG = Fiber Glass
MB = Moisture Barrier
AB = Air Barrier
OC = On Centre

STC = Sound Transmission Class
GWB = Gypsum Wall Board
XPS = Extruded Polystyrene Rigid Insulation (Roxul CIS or equiv)
RSI = Resistance Système International
IIC = Impact Insulation Class
UV = Ultraviolet
ULC = Underwriters Laboratories of Canada

Roof Assemblies

Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days							
Assembly	RSI	Area %	RSI eff. (m2•K)/W	R-Value	FRR	STC	
R1.0 Insulated Roof (Outboard Insulation)	REQUIRED: PROVIDED:		4.67 4.84	26.52 27.49	- -	- -	
All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Exterior Air Film			0.03	0.17			
MB Torch On Built Up Membrane			-	-			
AB, VB 5" Expanded polystyrene Type 2 Slope To drain	0.035 / mm		4.45	25.24			
5/8" T&G Plywood sheathing (See structural)			-	-			
11 7/8" TJI joists (see structural)			0.16	0.91			
1 layers 5/8" GWB			0.10	0.55			
Interior Air Film			0.11	0.62			
Soffit - See elevations							
R1.1 Roof Cavity Fire Separation	REQUIRED: PROVIDED:		- -	- -	1 HR 1 HR	- -	
11 7/8" TJI Rated Rlm Board (see structural)							
R2.0 Insulated Roof (Spray Foam)	REQUIRED: PROVIDED:		4.67 5.21	26.52 29.60	- -	- -	
All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Exterior Air Film			0.03	0.17			
MB Torch On Built Up Membrane			-	-			
5/8" T&G Plywood sheathing (See structural)			-	-			
Cross Strapping slope to drain							
11 7/8" TJI joists (see structural)	2.56 9.0%		4.98	28.25			
AB, VB 6" 2LB Medium Density/Closed Cell Spray Foam Insulation	5.49 91.0%		0.10	0.55			
1 layers 5/8" GWB			0.11	0.62			
Interior Air Film							
Soffit - See elevations							
R3.0 Un-Insulated Roof	REQUIRED: PROVIDED:		- -	- -	- -	- -	
All roofing work to RCABC five-year guarantee standards. Roof Covering to have a A, B, or C classification as per CAN/ULC-S107 Torch On Built Up Membrane							
MB 5/8" T&G Plywood sheathing (See structural)			-	-			
11 7/8" TJI joists (see structural)							
Soffit - See elevations							
R4.0 Roof Deck	REQUIRED: PROVIDED:		4.67 5.21	26.52 29.60	- -	- -	
Exterior Air Film Floating Wood Deck Boards on 2X4 Sleepers DELTA MS - 5/16" dimpled membrane			0.03	0.17			
MB Torch On Built Up Membrane			-	-			
5/8" T&G plywood sheathing (see structural)			-	-			
Cross Strapping slope to drain							
11 7/8" TJI joists (see structural)	2.56 9.0%		4.98	26.87			
AB, VB 6 " 2LB Medium Density/Closed Cell Spray Foam Insulation	5.49 91.0%		0.10	0.55			
Resilient metal channels @ 24" OC perpendicular to joists			-	-			
1 layers 5/8" type X GWB			0.10	0.55			
Interior Air Film			0.11	0.62			

Floor Assemblies

Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days							
Assembly	RSI	Area %	RSI eff. (m2•K)/W	R-Value	FRR	STC	
F1.0 Wood Floor	REQUIRED: PROVIDED:		- -	- -	- -	- -	
Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11 7/8" TJI joists (see structural) 1 layer 5/8" GWB							
F1.1 Insulated Wood Floor	REQUIRED: PROVIDED:		4.67 5.48	26.52 31.13	- -	- -	
Interior Air Film Finish Flooring to Owners spec 5/8" T&G plywood sheathing (see structural) 11 7/8" TJI joists (see structural)			0.16 - 0.10	0.91 - 0.57			
AB, VB 6.5" Rigid SM Foam Insulation Sealed in place.	framing cavity	2.56 9.0%	5.19	29.48			
Soffit - See elevations		5.78 91.0%	-	-			
Exterior Air Film			0.03	0.17			
F2.0 Concrete Slab On Grade	REQUIRED: PROVIDED:		- -	- -	- -	- -	
4" Reinforced concrete slab (see structural) 10 mil UV VB 6" compacted granular fill (see structural) native soil							

Exterior Wall Assemblies

Calculated with a Heat-Recovery Ventilator Effective RSI values, BCBC Section 9.36. Energy Efficiency, Zone 4 <3000 Degree Days							
Assembly	RSI	Area %	RSI eff. (m2•K)/W	R-Value	FRR	STC	
W1.0 CIP Concrete Below Grade	REQUIRED: PROVIDED:		1.99 2.59	11.30 14.73	- -	- -	
Free drainage back fill (See geotechnical) DELTA MS - 5/16" dimpled membrane			- -	- -			
MB Waterproofing Install as per manufacturers recommendation			-	-			
8" Reinforced Type S or N concrete wall (see structural)	0.0004/mm		0.08	0.46			
AB, VB 2.5" Continuous XPS Insulation	0.0336/mm		2.13	12.12			
2X2 Framing @ 24" OC (Service Cavity)			0.18	1.02			
1 Layer 1/2" GWB			0.08	0.45			
Interior Air Film			0.12	0.68			
W2.0 Wood Stud Wall	REQUIRED: PROVIDED:		2.74 3.04	15.56 17.24	- -	- -	
Exterior Air Film Cladding (See Elevations) 3/8" x 1 1/2" PT Strapping 16" OC			0.03 - 0.15	0.17 - 0.85			
MB 2 layers 30min building paper			-	-			
1/2" Plywood Sheathing			0.10	0.57			
2X6 Framing 16" OC (See structural)	framing	1.19 0.23	2.55	14.46			
R22 FG Batt Insulation	cavity	3.87 0.77	-	-			
AB, VB 6 mil Poly UV			0.09	0.51			
1 Layer 5/8" GWB Taped, Sanded, and ready for paint			0.12	0.68			
Interior Air Film							
W3.0 Curtain Wall 6" Deep	REQUIRED: PROVIDED:		- -	- -	- -	- -	
1" insulating double pane exterior glazed 5" Extruded Aluminum Mullion							

Interior Wall Assemblies

Assembly	RSI	Area %	RSI eff. (m2•K)/W	R-Value	FRR	STC	
W4.0 Suite to Suite (Demising Wall)	REQUIRED: PROVIDED:		- -	- -	1 HR 1 HR	50 54	
BCBC 2018 Table A9.10.3.1.A W13c 1 layer 5/8" type 'X' ULC rated GWB 2X4 stud framing @ max 16" OC (see structural) 3 1/2" FG Batt Insulation (One side Only) 1" air space 2X4 stud framing @ max 16" OC (see structural) 1 layer 5/8" type 'X' ULC rated GWB *Where noted as shear wall, 1 layer 1/2" plywood (see structural)							
W5.0 Non-Load Bearing Partition	REQUIRED: PROVIDED:		- -	- -	- -	- -	
1/2" GWB both sides of 2X4 or 2X6 stud framing ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls							
W5.1 Load Bearing Partition	REQUIRED: PROVIDED:		- -	- -	1 HR 1 HR	- -	
** Refer to structural drawings for location of load bearing & Shera Walls 1 layer 5/8" type 'X' ULC rated GWB both sides of 2x4 or 2x6 stud framing (see structural 16" OC Max) ** see plans for location of 2x6 wall to accommodate services ** 3 1/2" FG Batt Insulation @ bathroom walls							

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued
2019-06-19 Issued for DP
2019-09-16 Revised & Re-Issued for DP
2019-10-21 Revised & Re-Issued for DP
2019-12-12 Revised & Re-Issued for DP

Building Assemblies

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: NTS
Sheet No:



View from Kipling Street at Thurlow Road looking West



View from Kipling Street Looking West



View from Kipling Street Looking South



View from Thurlow Road at Access
FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.
VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.
REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Concept Renderings

Project Name:

**Fairfield-Kipling
Development**

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:	
Project No:	19.015
Drawn By:	SG/TD
Plot Date:	Dec 12, 2019
Scale:	NTS
Sheet No:	



View from Kipling Street Looking South



View from Drive Isle



View from Fairfield Road Looking East



View from Kipling Street South East
FOR DEVELOPMENT APPLICATION ONLY

THIS DRAWING IS COPYRIGHTED
AND MUST NOT BE USED,
REPRODUCED, OR REVISED
WITHOUT WRITTEN PERMISSION.

VERIFY ALL DIMENSIONS.
DO NOT SCALE THIS DRAWING.

REPORT INCONSISTENCIES AND
OMISSIONS TO THE ARCHITECT FOR
CLARIFICATION BEFORE
COMMENCING WITH THE WORK.

Seal

Issued	
2019-06-19	Issued for DP
2019-09-16	Revised & Re-Issued for DP
2019-10-21	Revised & Re-Issued for DP
2019-12-12	Revised & Re-Issued for DP

Concept Renderings

Project Name:

Fairfield-Kipling
Development

Civic: 1400 Fairfield Rd &
349 Kipling St

Legal:

PID:
Project No: 19.015
Drawn By: SG/TD
Plot Date: Dec 12, 2019
Scale: NTS
Sheet No: