



PROJECT DESCRIPTION

CIVIC ADDRESS:
1921, 1929, 1933 and 1935 ASHGROVE ST, 1900 RICHMOND RD

LEGAL DESCRIPTION:
 • PARCEL A (DD 82534) OF LOTS 39 AND 40 SECTION 76 VICTORIA DISTRICT PLAN 257
 • STRATA LOTS A AND B SECTION 76 VICTORIA DISTRICT STRATA PLAN VIS5007
 • PARCEL A (DD 41125I) LOT 38 SECTION 76 VICTORIA DISTRICT PLAN 257
 • LOT 36 SECTION 76 VICTORIA DISTRICT PLAN 257

REGISTERED OWNER

Amica Oak Bay Inc.
3200-20 Queen Street
Toronto, ON
M5H 3R3
tel: 604-761-5939
email: drmilliken@millikendevelopments.com

ARCHITECT
de Hoog & Kierulf architects
977 Fort Street
Victoria, BC
V8V 3K3
Mr. Charles Kierulf Architect AIBC MRAIC
tel: 250-658-3367
fax: 250-658-3397
email: crk@dhk.ca

CIVIL ENGINEER
McElhanney
Suite 500, 3960 Quadra Street
Victoria BC
V8X 4A3
Mr. Colin Davis
tel: 250-370-9221
email: cdavis@mcelhanney.com

LANDSCAPE ARCHITECT
LADR
3-864 Queens Avenue
Victoria, B.C.
V8T 1M5
Mr. Chris Windjack
tel: 250-598-0105
email: cwindjack@ladra.ca

SITE INFORMATION BASED ON DRAWINGS PREPARED BY

Polaris Land Surveying
1834C Oak Bay Ave #138
Victoria, BC
V8R 0A4
File: 1332-06
Ms. Michelle Blake
tel: 250-412-3513

LIST OF DRAWINGS

Architectural
 A0.0 Cover Sheet
 A1.0 Project Data
 A1.1 ZONING DATA
 A2.0 Parkade Plan
 A2.1 Main Floor Plan
 A2.2 L2 to L4 Plan
 A2.3 L5 Plan
 A2.4 L6 PLAN
 A2.5 Roof Plan
 A3.0 Elevations
 A3.1 Street Context Elevations
 A3.2 Street Context Elevation (Birch)
 A3.3 Elevation Overlay PH1 on PH2
 A4.0 Building Sections
 A5.0 Model Views
 A5.1 Model Views
 A5.2 Model Views
 A5.3 Model Views
 A6.0 Shadow Study - Summer Solstice, Autumnal Equinox, Winter Solstice
 A7.0 Colour & Materials

Civil
22036-DP Conceptual Site Servicing Plan

Landscape
 L1 Landscape Concept Plan
 L2 Tree Management Plan

BUILDING CODE SUMMARY

REFERENCED DOCUMENT :
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

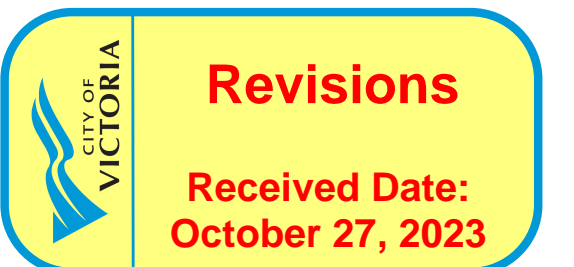
MAJOR OCCUPANCY CLASSIFICATION:
 • RESIDENTIAL - GROUP C
 • PARKADE - GROUP F3
 • EXISTING PH1 - GROUP B3

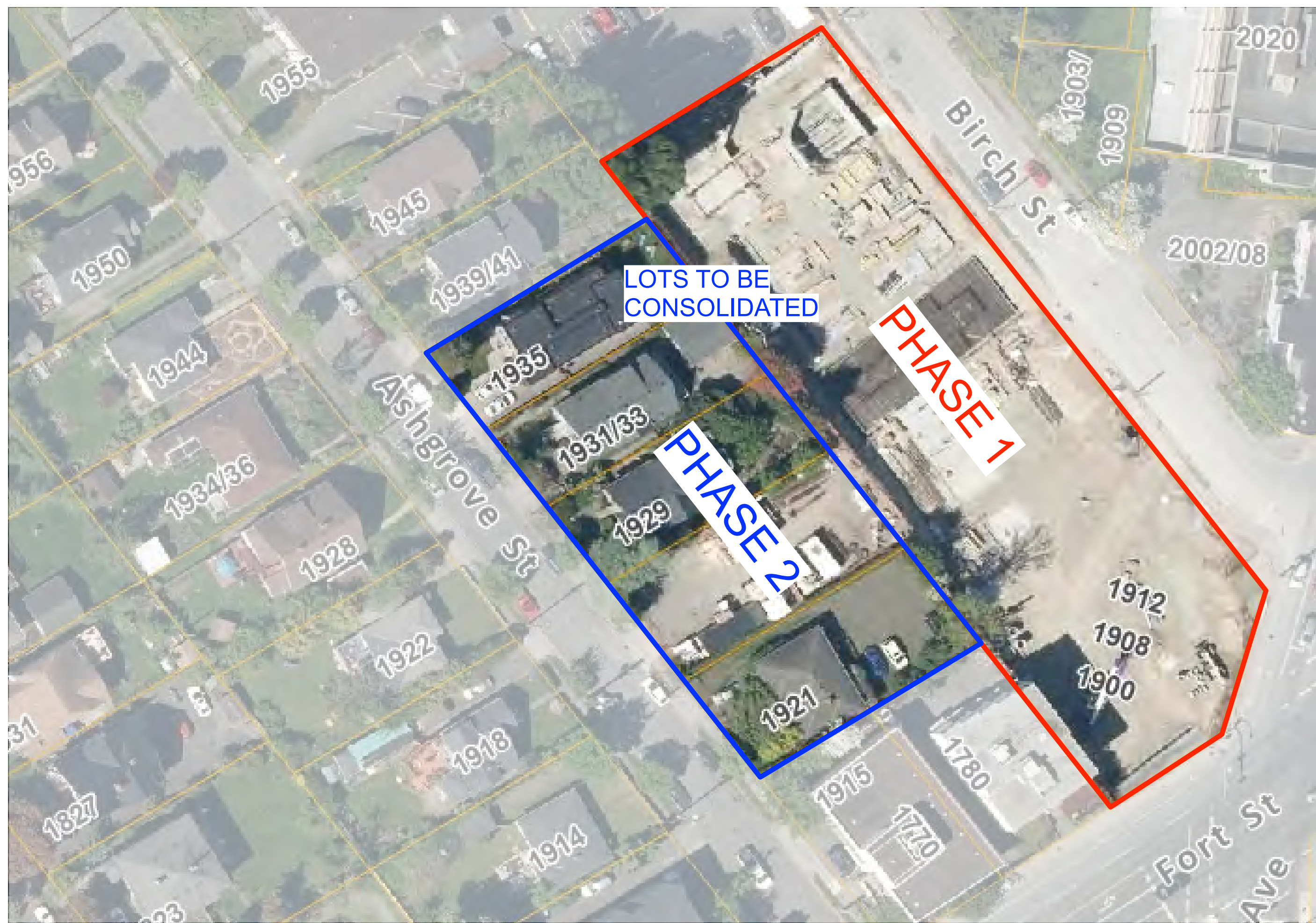
MAJOR OCCUPANCY FIRE SEPARATIONS:
 • C - B3 <-> F3 - 1 hr.

BUILDING AREA:
 • 1 135 m2 (PH2)

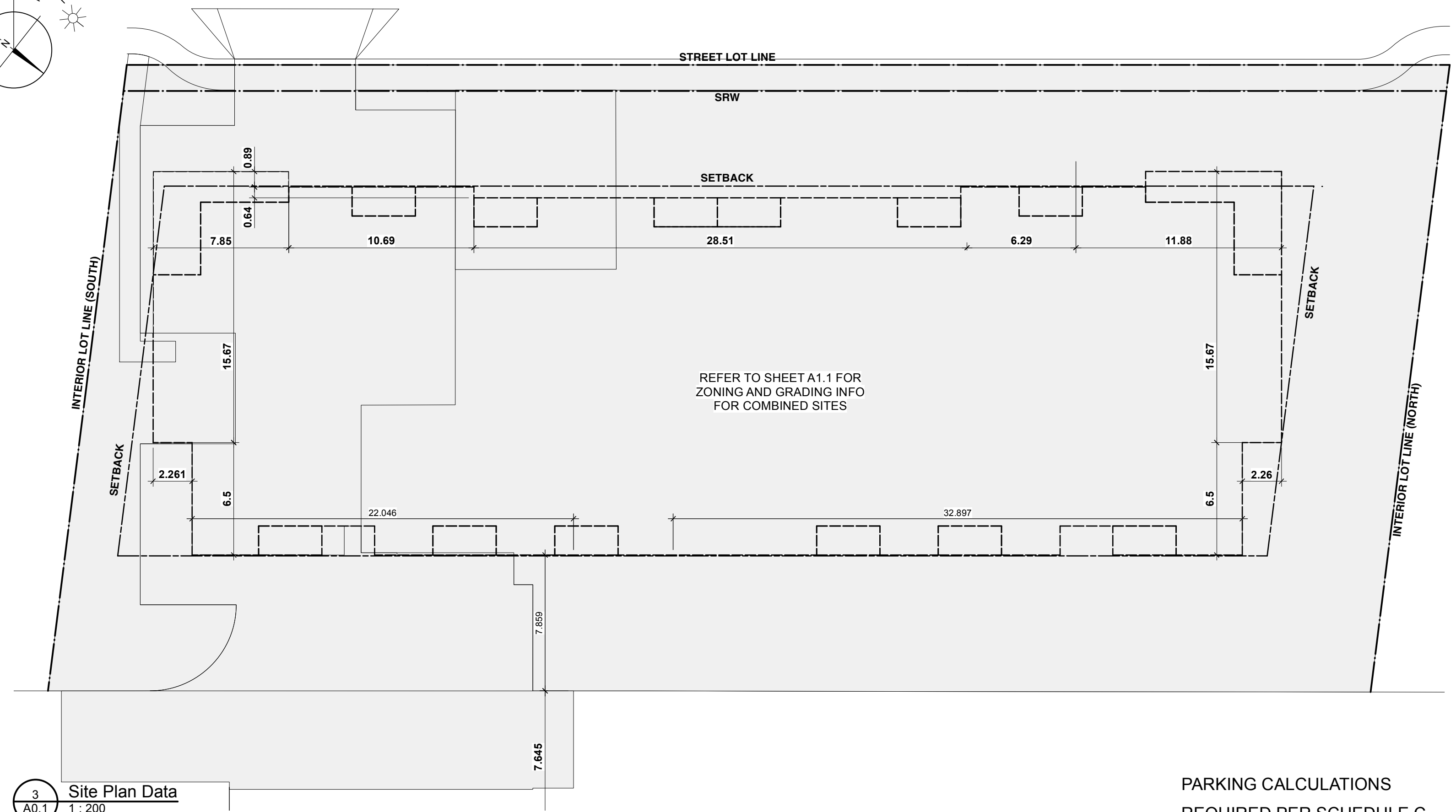
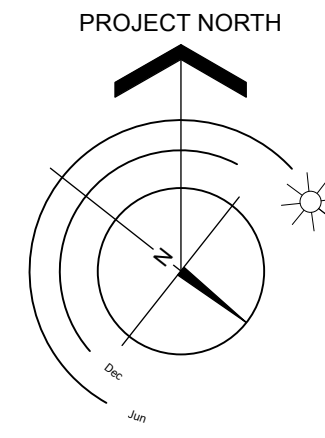
BUILDING HEIGHT:
 • 6 STOREYS

NUMBER OF STREETS FACING:
 • 1



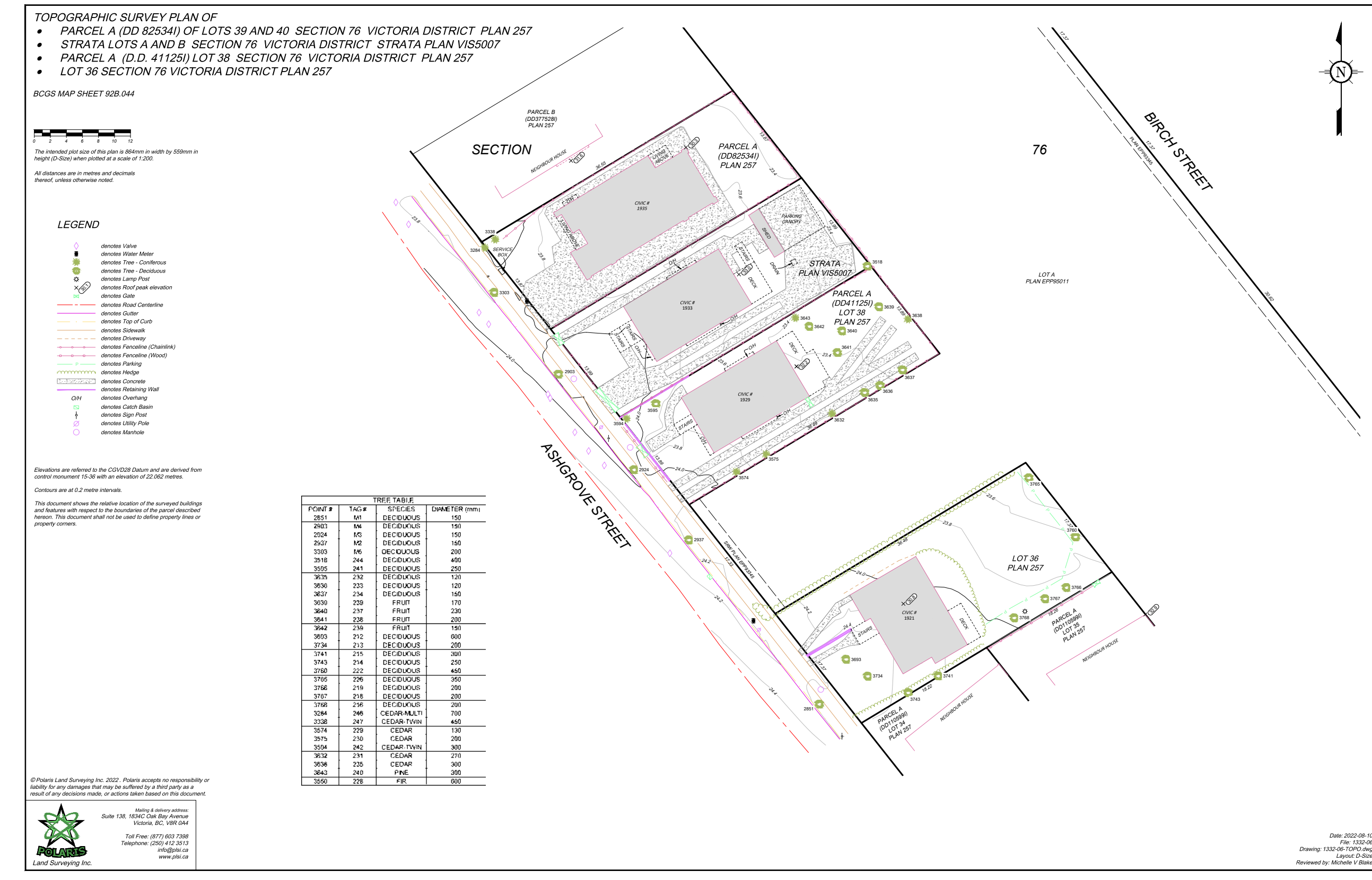


1 Location Plan
A0.1 1:500



3 Site Plan Data
A0.1 1:200

PARKING CALCULATIONS
REQUIRED PER SCHEDULE C



2 Survey Plan
A0.1 1:500

BUILDING AREA SUMMARY
REFER TO A1.1 PLAN

PROJECT INFORMATION TABLE	PHASE 2	PHASE 1 EXISTING	COMBINED SITES
ZONE (EXISTING)	R3-2, R1-B, C1-R	C1-R	
PROPOSED ZONE			NEW ZONE
SITE AREA (M2)	2,769 m2	4,065 m2	6834.0 m2
TOTAL FLOOR AREA INCL COMMERCIAL (M2)	6,585 m2	10,771 m2	17,356 m2
COMMERCIAL FLOOR AREA (M2)		170 m2	170 m2
FLOOR SPACE RATIO	2.38	2.65	2.54
SITE COVERAGE (%)	48.6 %	54.4 %	53.3 %
OPEN SITE SPACE (%)	40.9 %	37.1 %	36.2 %
HEIGHT OF BUILDING (M)	26.58 m	20.6 m	26.58 m
NUMBER OF STOREYS	6	5	6
PARKING STALLS (NUMBER) ON SITE	55	47	102 (6 ACCESSIBLE)
BICYCLE PARKING NUMBER	CLASS 1 5	8	13
	CLASS 2 6	2	8

CLASS : ASSISTED LIVING FACILITY

PHASE 2 - 88 SUITES
PHASE 1 - 125 SUITES
TOTAL - 213 SUITES

VEHICLES - 213 X 0.35 = 74.55
VISITORS - 213 X 0.1 = 21.30
TOTAL = 95.85
ROUNDED UP = 96 STALLS

BICYCLES
LONG-TERM :
213 @ 1 PER 20 = 10.65
= 11

SHORT-TERM
213 @ 1 PER 50 = 4.26
= 4

EV CHARGING:
1 PER VEHICLE SPACE = 43 STALLS
(PHASE 2 NEW CONSTRUCTION)
ACCESSIBLE PARKING:
75 VEHICLES @ 5% = 3.75
= 4

ONE OF THE FOUR TOTAL ACCESSIBLE VANS
TOTAL PROVIDED INCL ONE VAN
AND ONE SHORT-TERM VAN

BUILDING SETBACKS (M)	
STREET LOT LINE	7.05 m Project WEST
INTERIOR LOT LINE	5.63 m Project NORTH
INTERIOR LOT LINE	4.27 m Project SOUTH

RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	88
UNIT TYPE, E.G., 1 BEDROOM	Studio, 1-Bedroom, 1-Bedroom + Den, 2-Bedroom
GROUND-ORIENTATED UNITS	8
MINIMUM UNIT FLOOR AREA (M2)	43.4 m2
TOTAL RESIDENTIAL FLOOR AREA (M2)	5,165.9 m2



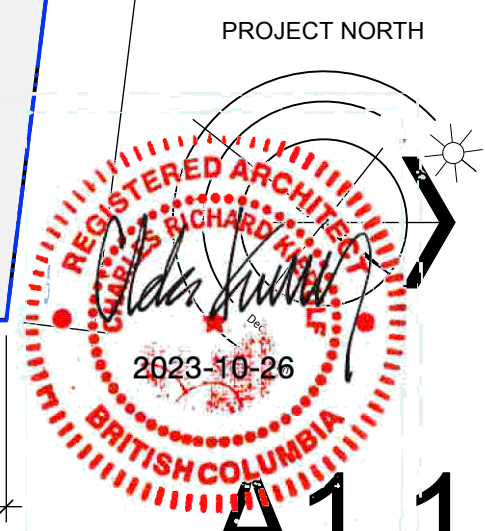
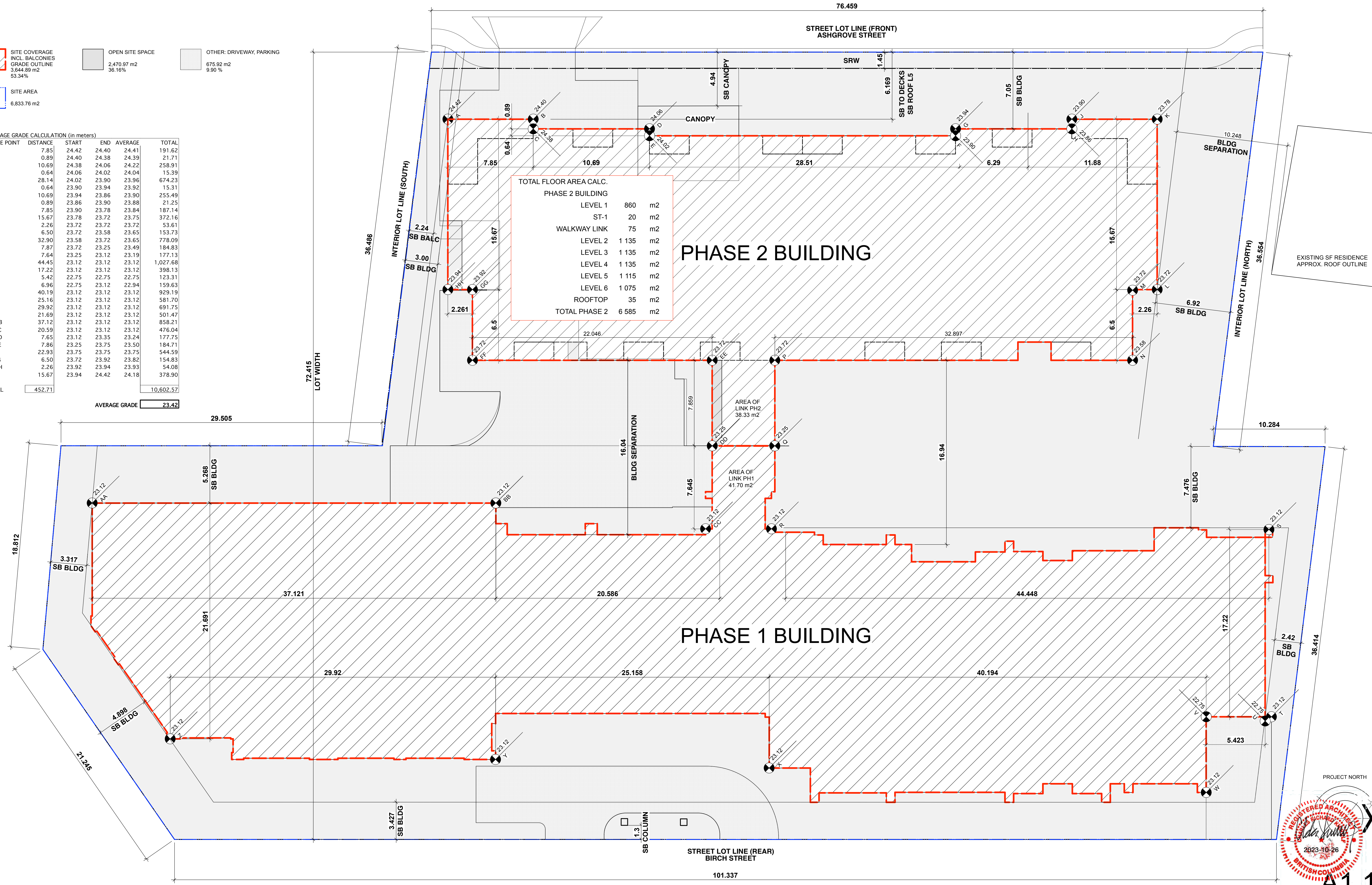
A1.0

	SITE COVERAGE INCL. BALCONIES GRADE OUTLINE 3,644.89 m ² 53.34%		OPEN SITE SPACE 2,470.97 m ² 36.16%		OTHER: DRIVEWAY, PARKING 675.92 m ² 9.90%
	SITE AREA 6,833.76 m ²				

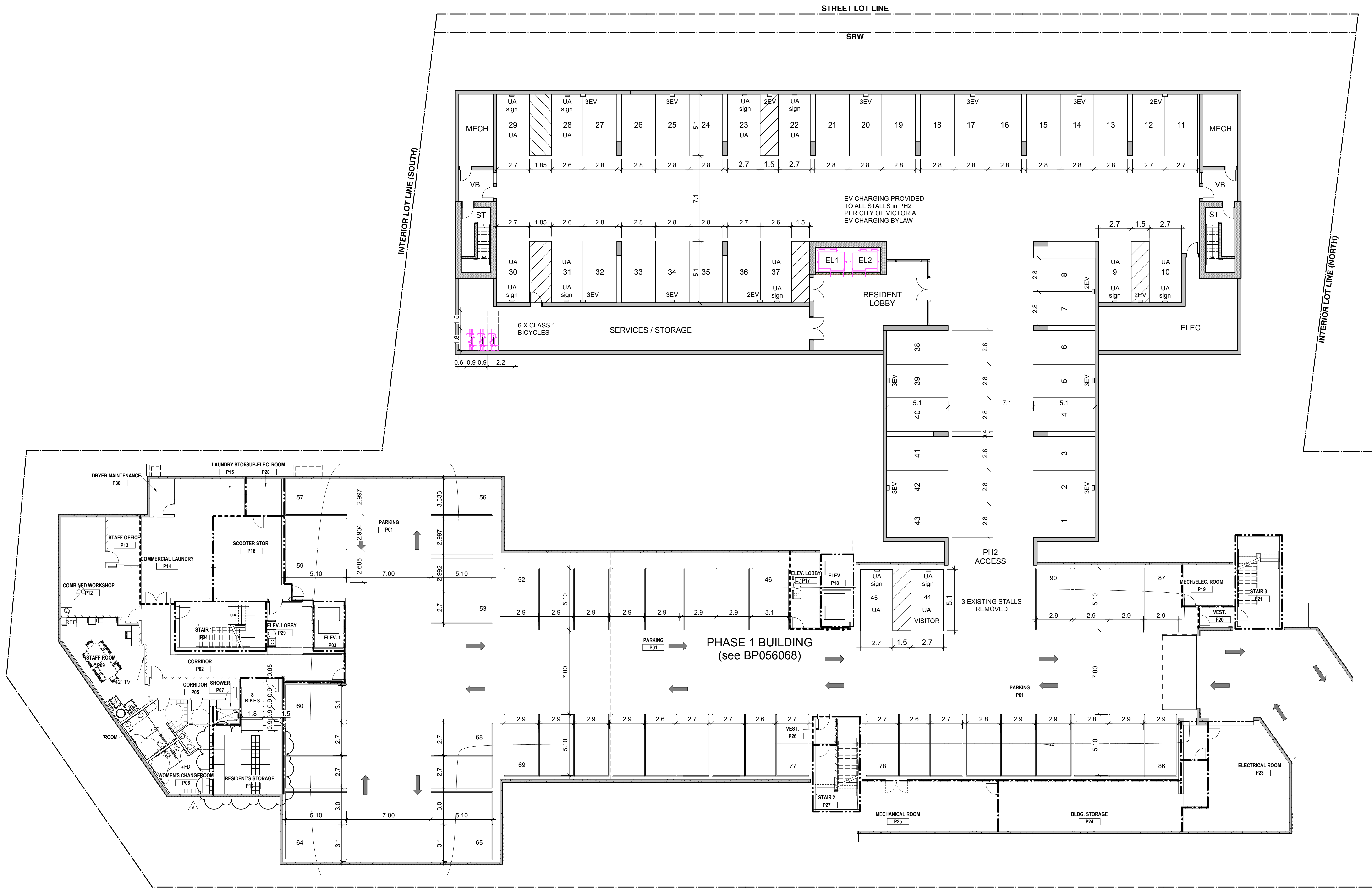
AVERAGE GRADE CALCULATION (in meters)					
GRADE POINT	DISTANCE	START	END	AVERAGE	TOTAL
A-B	7.85	24.42	24.40	24.41	191.62
B-C	0.89	24.40	24.38	24.39	21.71
C-D	10.69	24.38	24.06	24.22	258.91
D-E	0.64	24.06	24.02	24.04	15.39
E-F	28.14	24.02	23.90	23.96	674.23
F-G	0.64	23.90	23.94	23.92	15.31
G-H	10.69	23.94	23.86	23.90	255.49
H-J	0.89	23.86	23.90	23.88	21.25
J-K	7.85	23.90	23.78	23.84	187.14
K-L	15.67	23.78	23.72	23.75	372.16
L-M	2.26	23.72	23.72	23.72	53.61
M-N	6.50	23.72	23.58	23.65	153.73
N-P	32.90	23.58	23.72	23.65	778.09
P-Q	7.87	23.72	23.25	23.49	184.83
Q-R	7.64	23.25	23.12	23.19	177.13
R-S	44.45	23.12	23.12	23.12	1,027.68
S-T	17.22	23.12	23.12	23.12	398.13
U-V	5.42	22.75	22.75	22.75	123.31
V-W	6.96	22.75	23.12	22.94	159.63
W-X	40.19	23.12	23.12	23.12	929.19
X-Y	25.16	23.12	23.12	23.12	581.70
Y-Z	29.92	23.12	23.12	23.12	691.75
Z-AA	21.69	23.12	23.12	23.12	501.47
AA-BB	37.12	23.12	23.12	23.12	858.21
BB-CC	20.59	23.12	23.12	23.12	476.04
CC-DD	7.65	23.12	23.35	23.24	177.75
DD-EE	7.86	23.25	23.75	23.50	184.71
EE-FF	22.93	23.75	23.75	23.75	544.59
FF-GG	6.50	23.72	23.92	23.82	154.83
GG-HH	2.26	23.92	23.94	23.93	54.08
HH-A	15.67	23.94	24.42	24.18	378.90
TOTAL	452.71				10,602.57

AVERAGE GRADE 23.42

TOTAL FLOOR AREA CALC.		
PHASE 2 BUILDING		
LEVEL 1	860	m ²
ST-1	20	m ²
WALKWAY LINK	75	m ²
LEVEL 2	1 135	m ²
LEVEL 3	1 135	m ²
LEVEL 4	1 135	m ²
LEVEL 5	1 115	m ²
LEVEL 6	1 075	m ²
ROOFTOP	35	m ²
TOTAL PHASE 2	6 585	m²

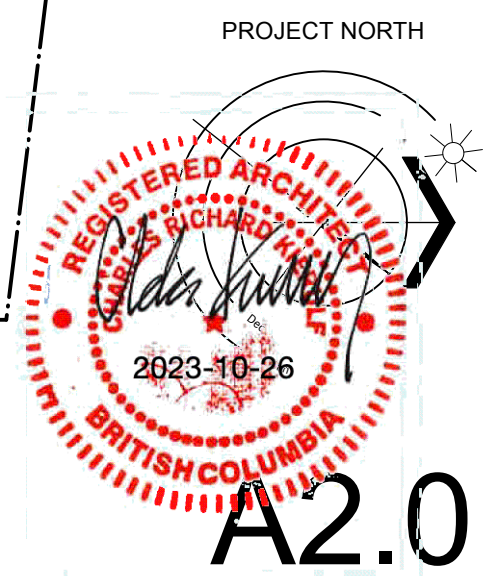


A1.1



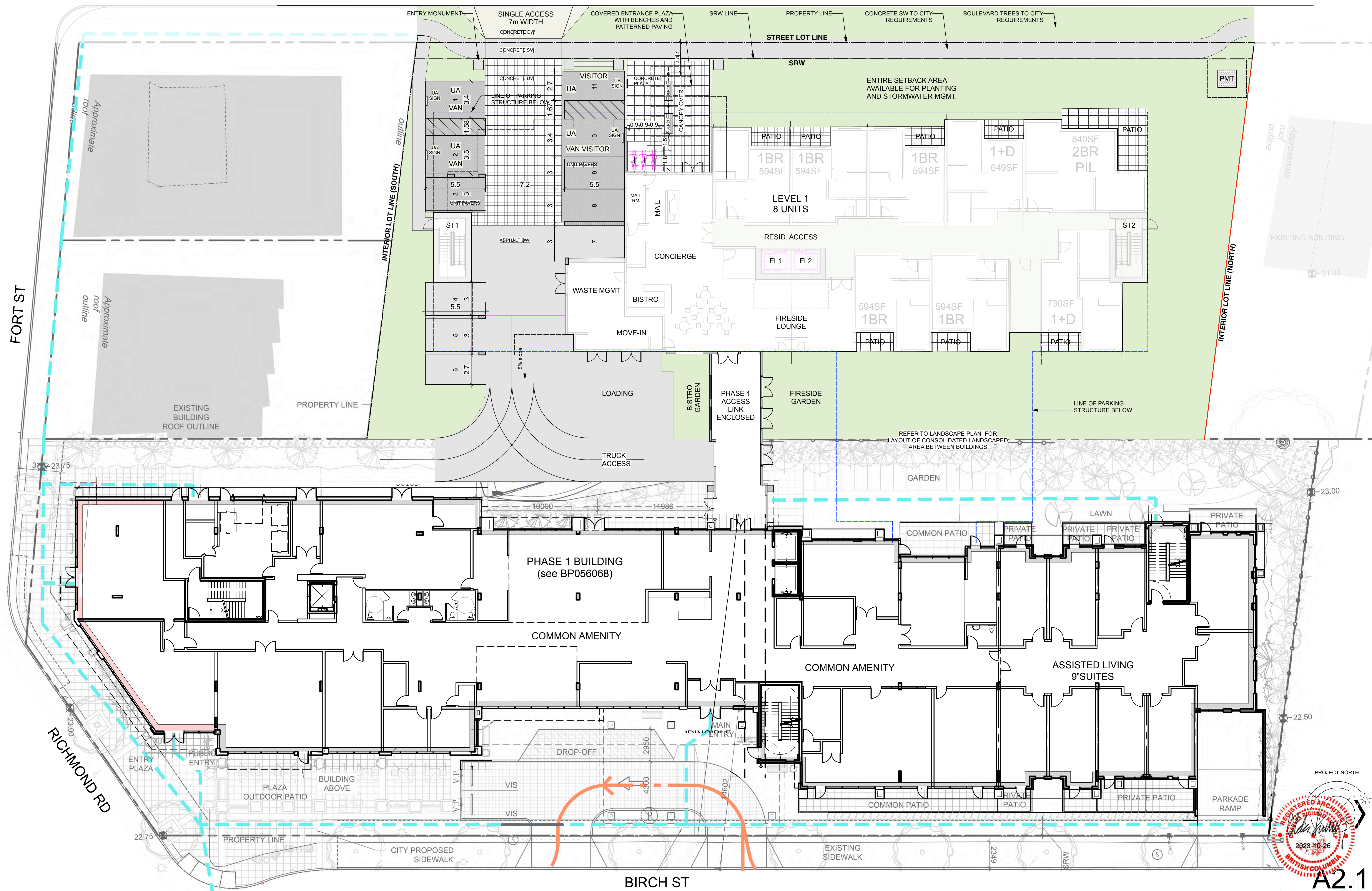
AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
Parkade Plan

RE-ISSUED FOR REZONING & DP : 26 JULY 2023



ASHGROVE ST

FORT ST

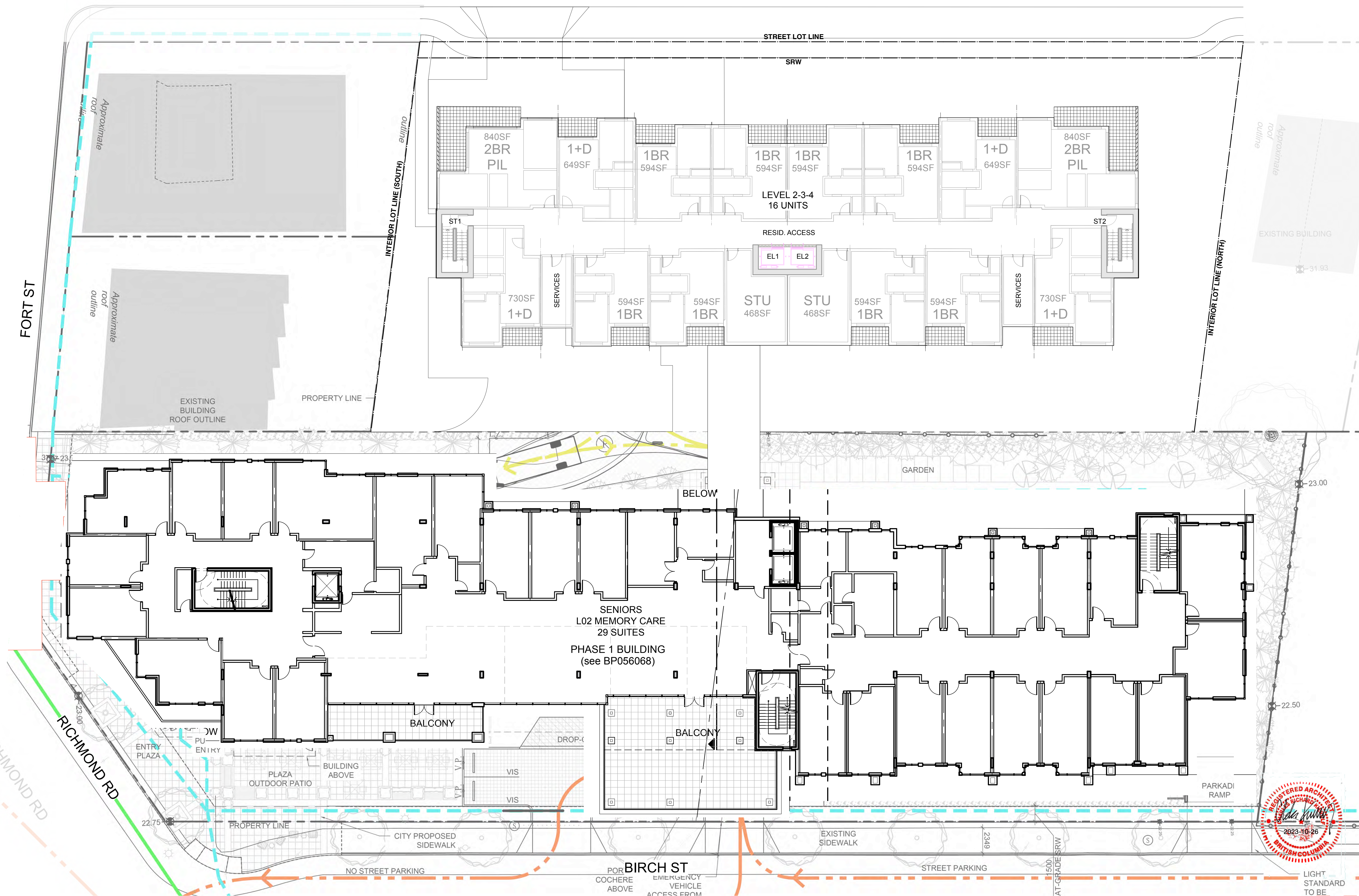


AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
Main Floor Plan

RE-ISSUED FOR REZONING & DP : 11 OCT 2023

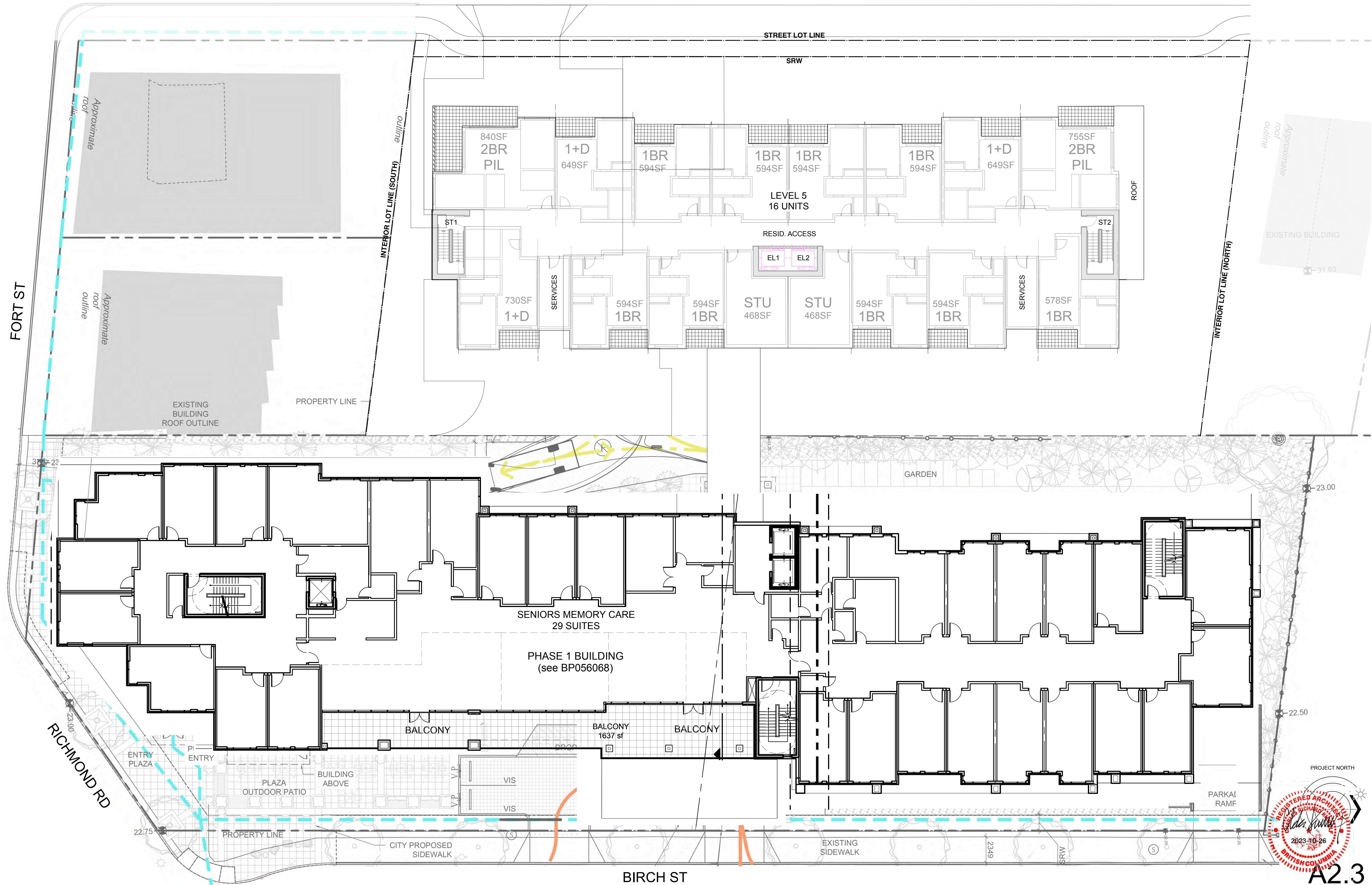


A2.1



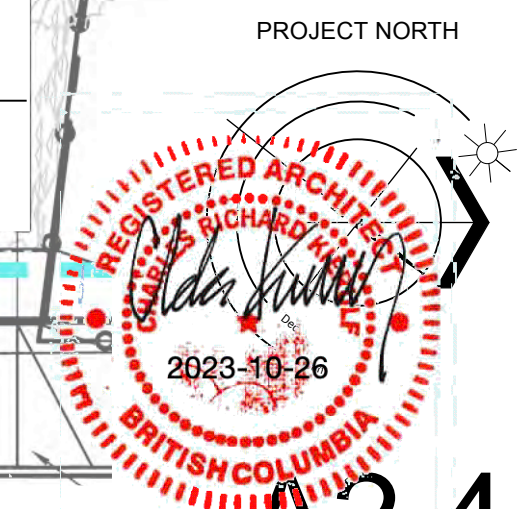
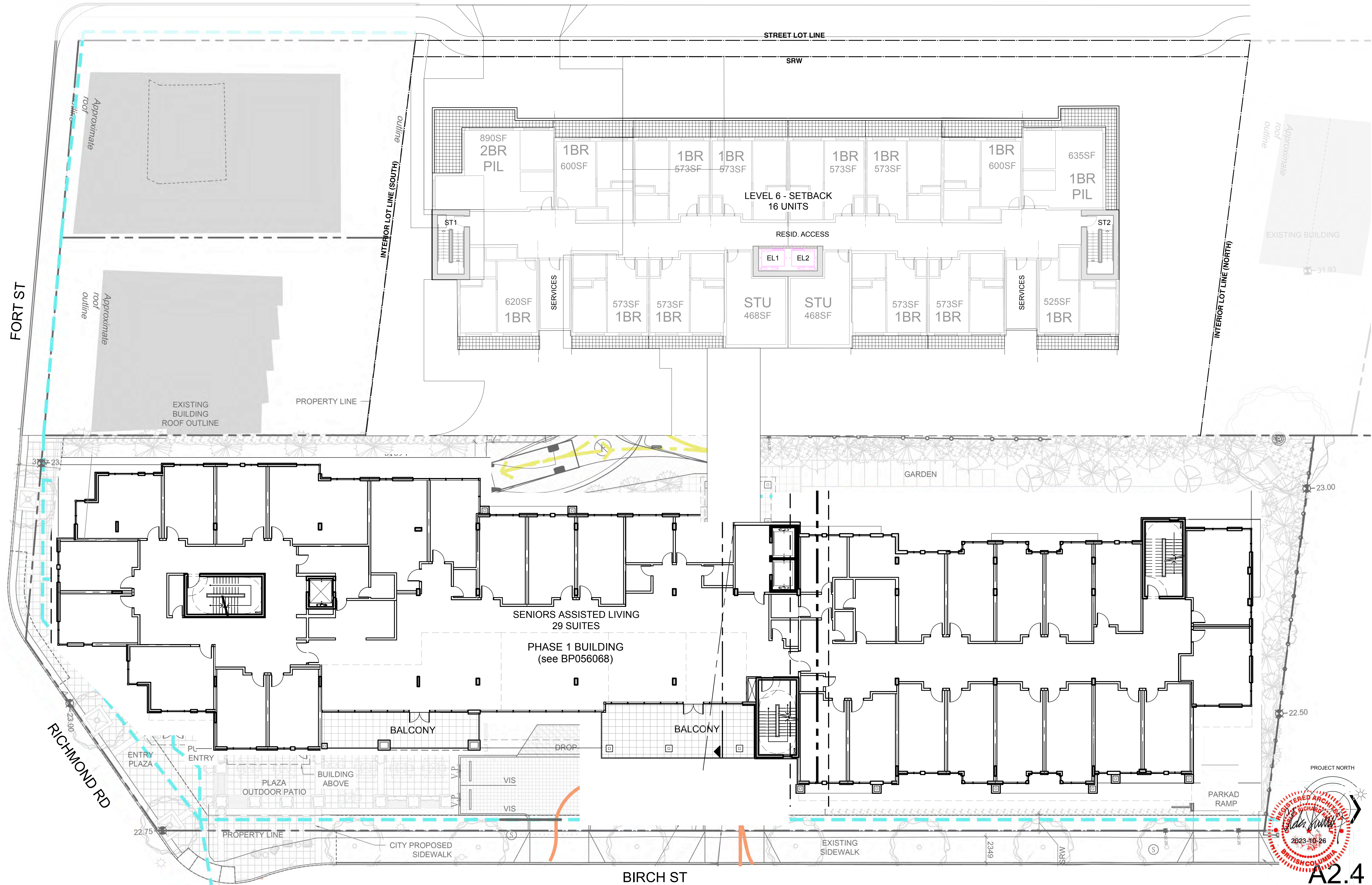
AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L2 to L4 Plan

RE-ISSUED FOR REZONING & DP : 11 JULY 2023



AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L5 Plan

RE-ISSUED FOR REZONING & DP : 11 JULY 2023



AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
L6 Plan

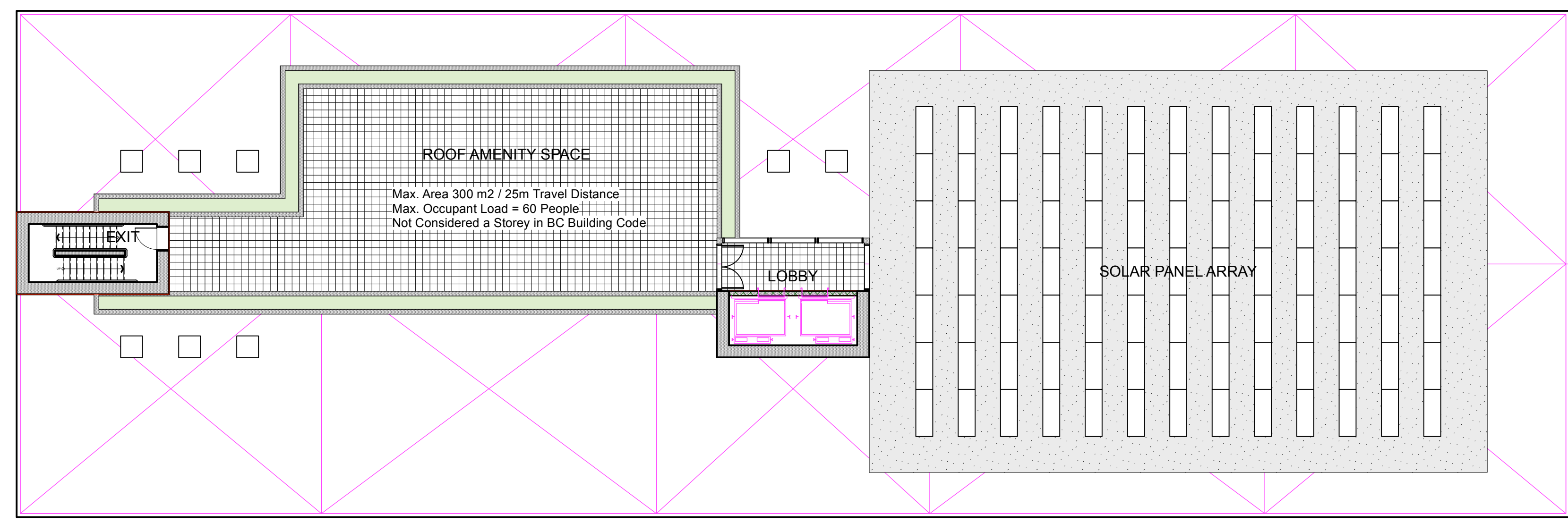
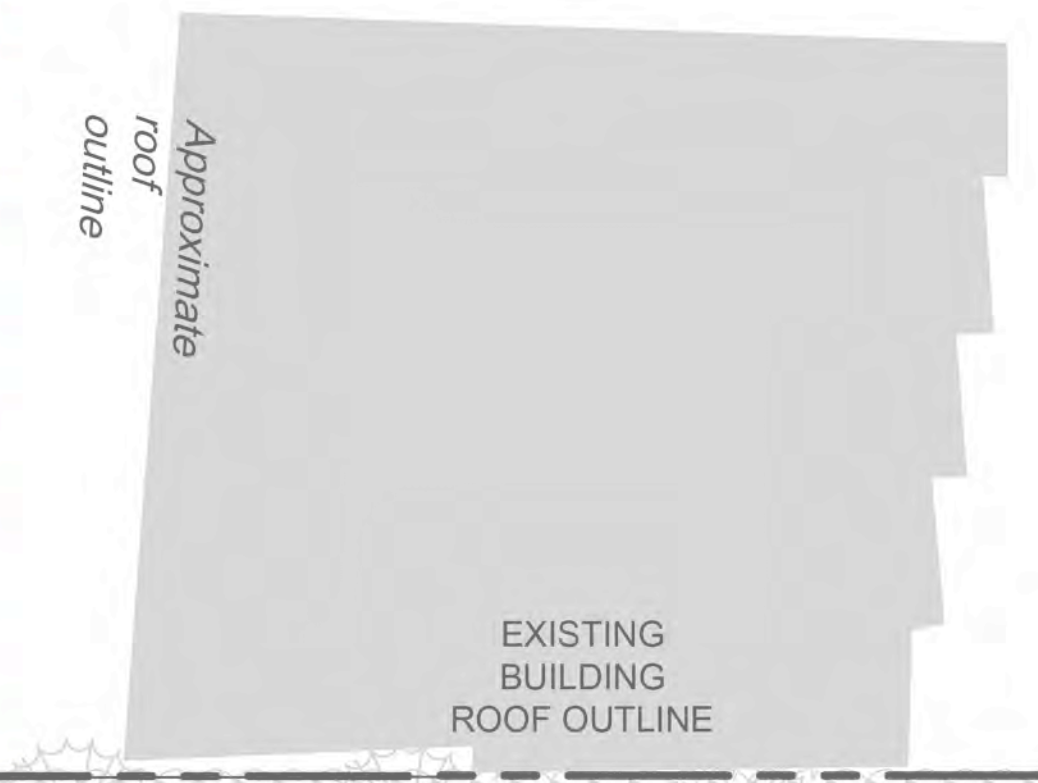
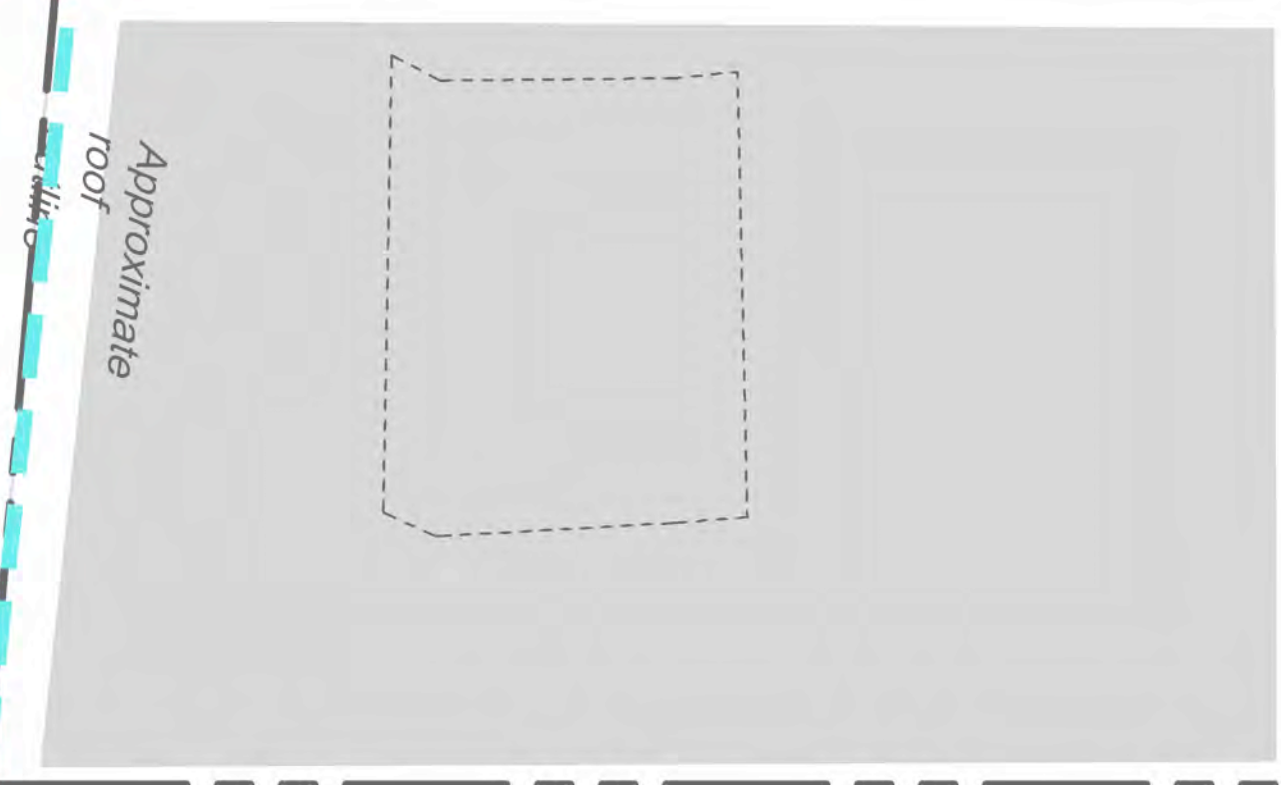
RE-ISSUED FOR REZONING & DP : 11 JULY 2023

STREET LOT LINE

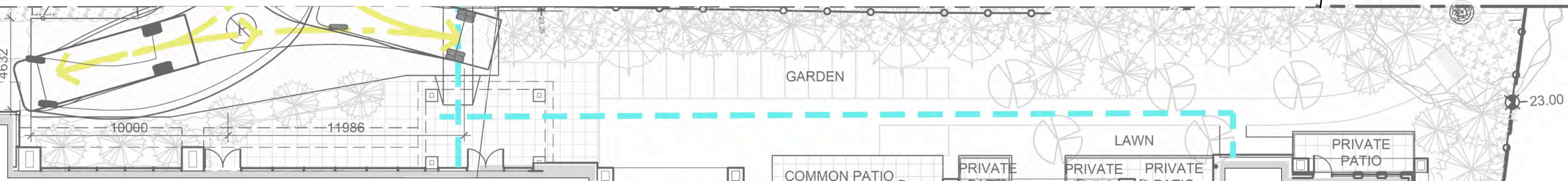
SRW

INTERIOR LOT LINE (SOUTH)

INTERIOR LOT LINE (NORTH)

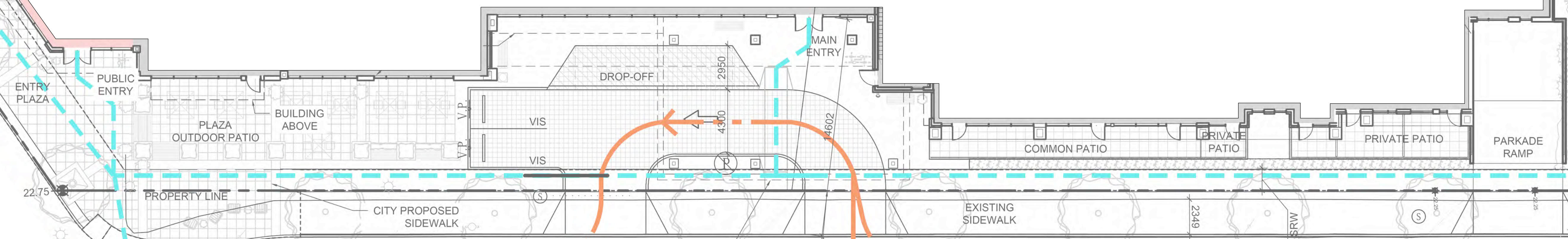


PROPERTY LINE

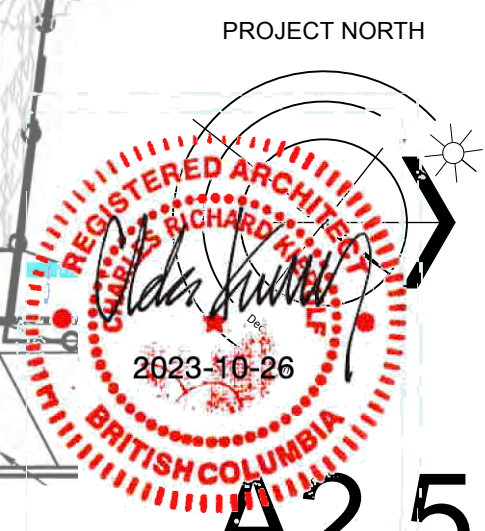


PHASE 1 BUILDING
(see BP056068)

RICHMOND RD



BIRCH ST

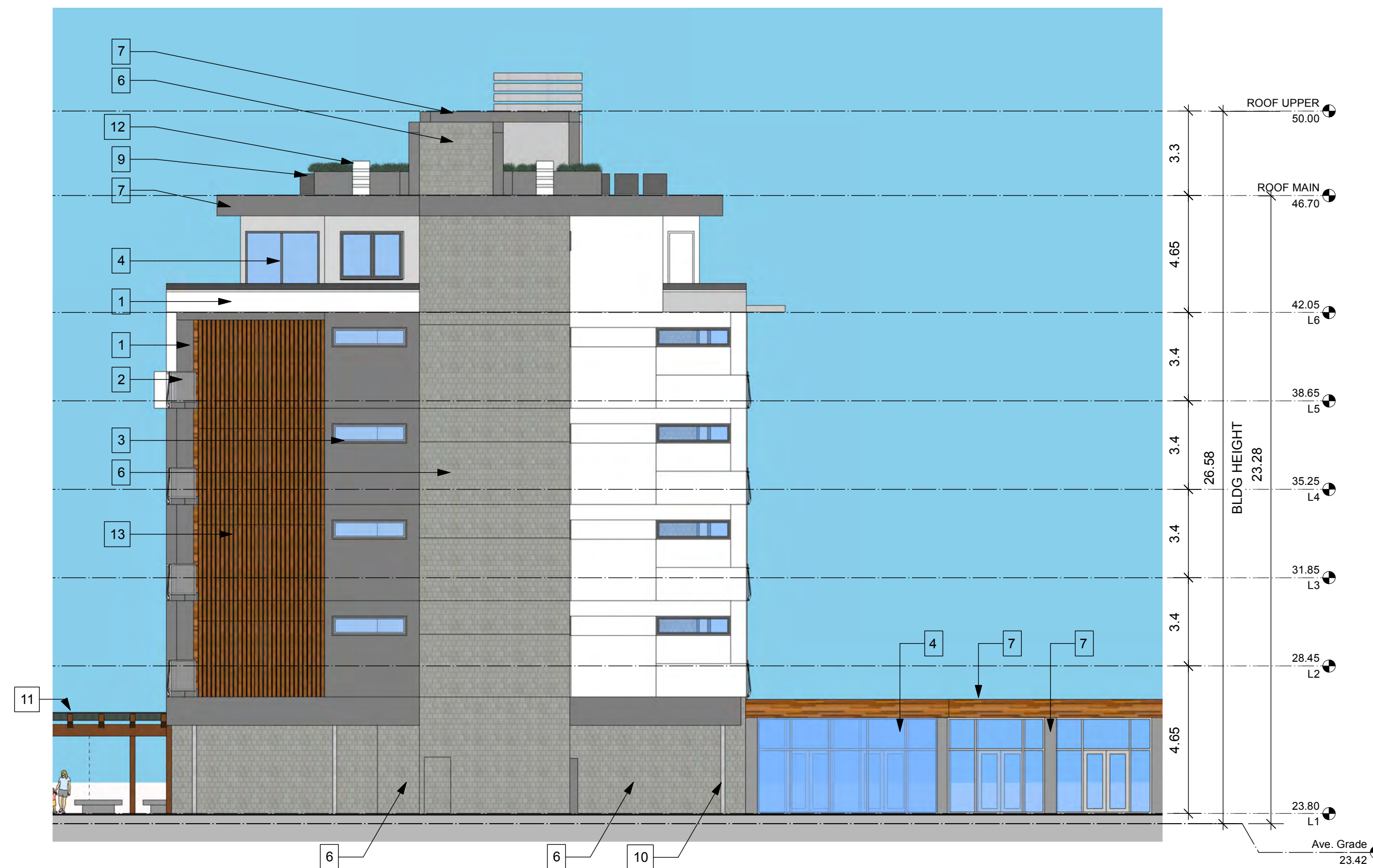


A2.5



WEST ELEVATION

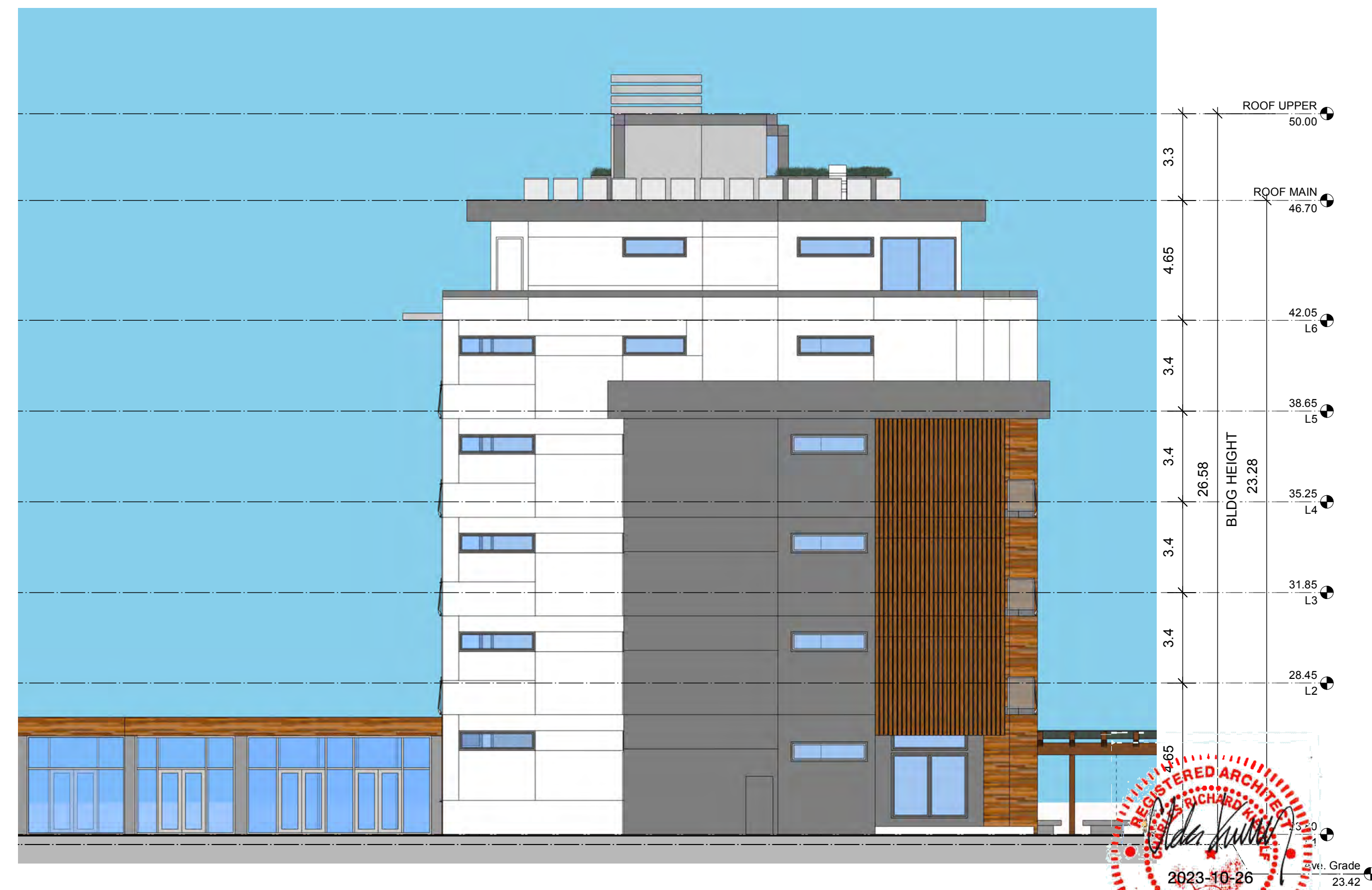
- MATERIALS KEY :
1. Cementitious Panel Siding - various colours - with colour-matched trims.
 2. Aluminum and Glass guard.
 3. High-Performance Vinyl windows with coloured frames.
 4. High-Performance aluminum and glass window-wall system.
 5. Metal siding with printed wood grain pattern.
 6. Smooth face masonry cladding.
 7. Prefinished metal cladding.
 8. Rooftop solar PV array.
 9. Rooftop amenity area with planters.
 10. Concrete column.
 11. Heavy Timber and glass canopy.
 12. Rooftop beekeeping hives.
 13. Louvre Screen Wall prefinished aluminum wood-tone finish



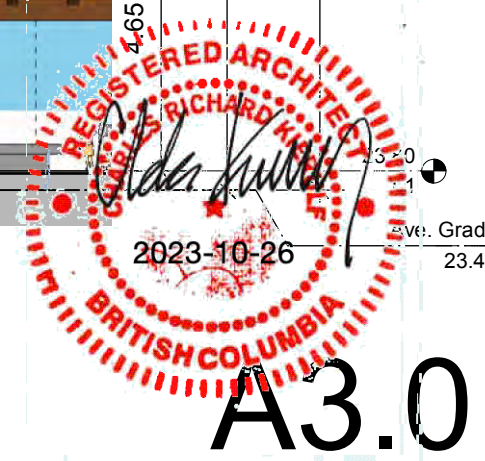
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION





1760 Fort

1914

1918

1922

1928

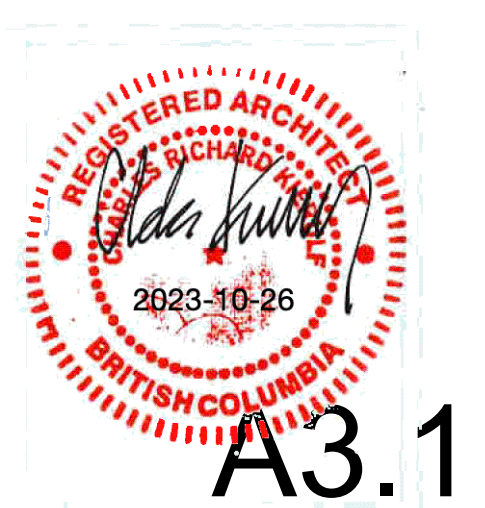
1934-1936

1944

STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING WEST

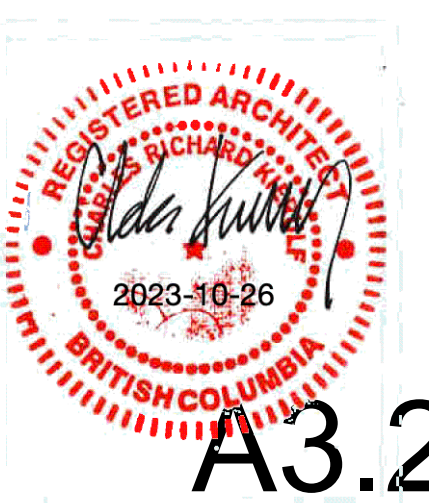


STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING EAST





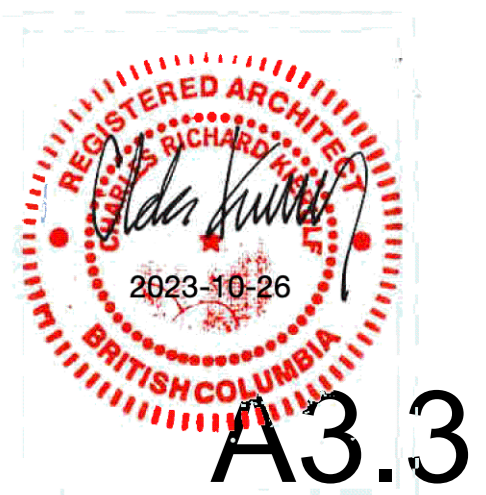
Street Context Elevation - Birch Street - Phase 2 in background
(Phase 1 and context masked 60%)



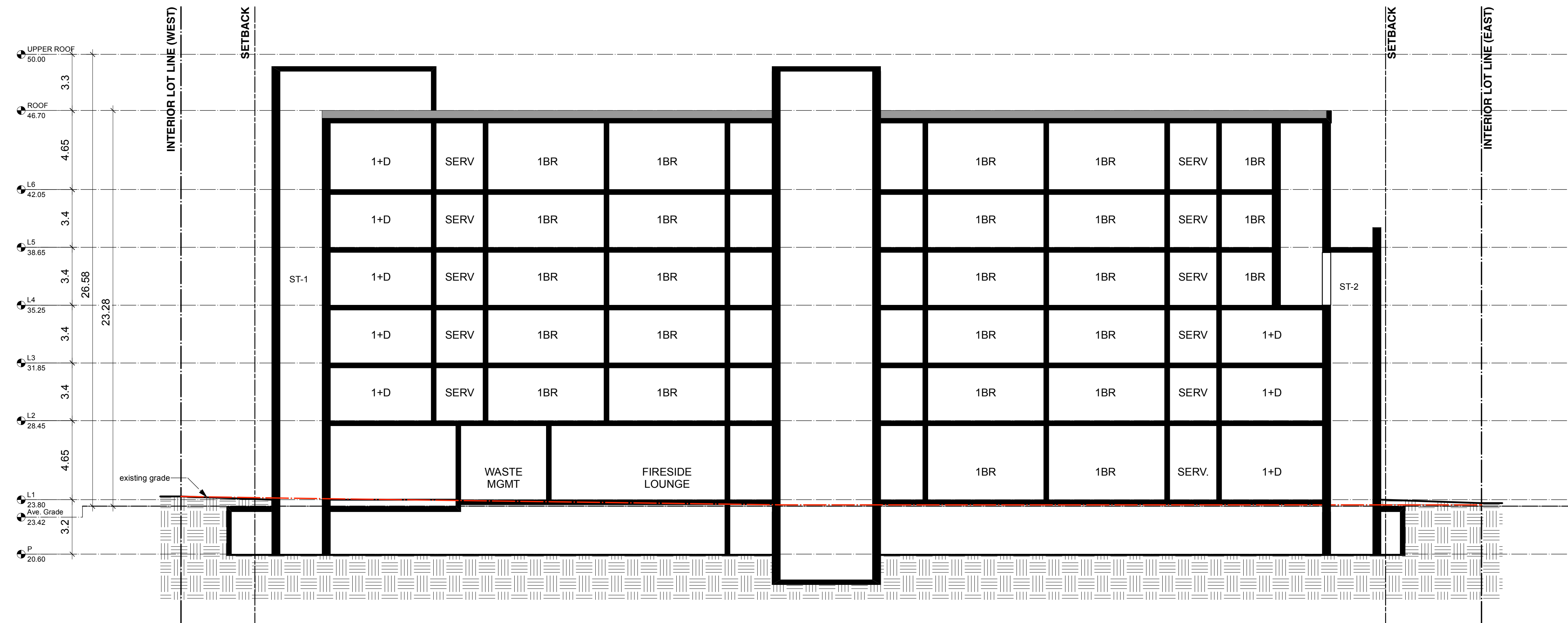
A3.2



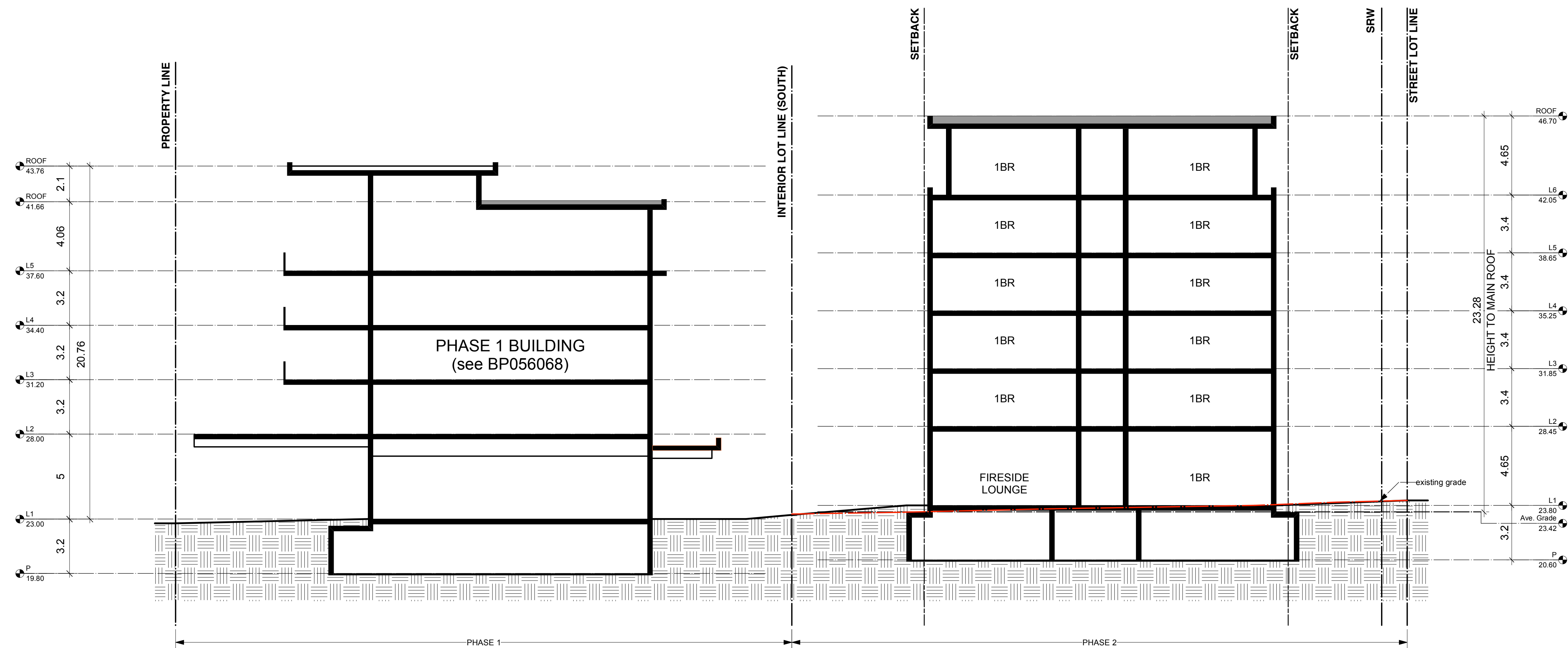
EAST ELEVATION WITH PHASE 1 WINDOW OPENINGS OVERLAID



A3.3



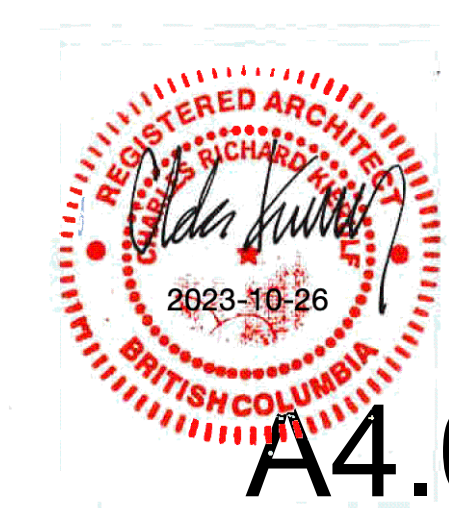
SECTION WEST - EAST



SECTION SOUTH - NORTH

AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2
Building Sections

RE-ISSUED FOR REZONING & DP : 11 JULY 2023



A4.0



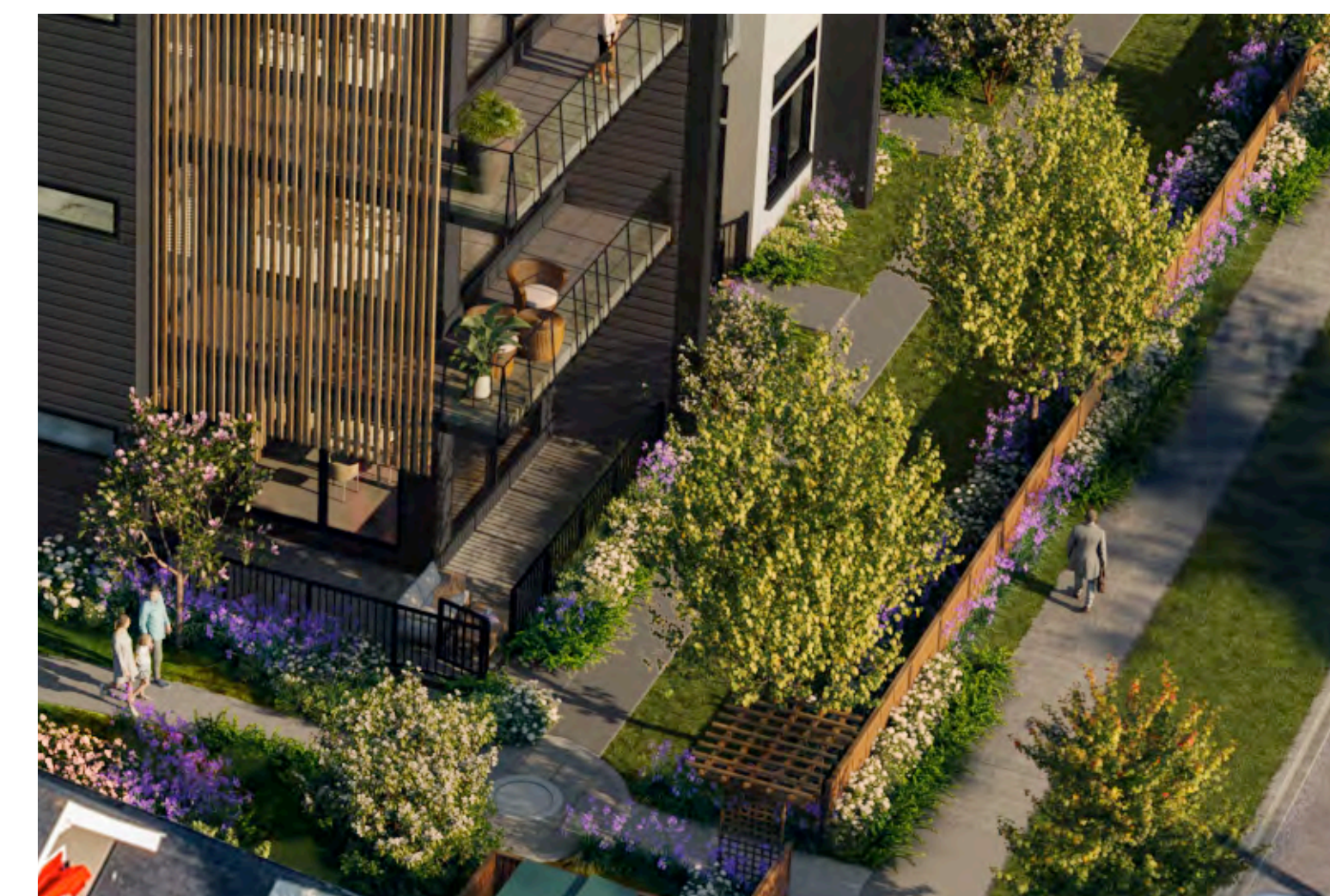
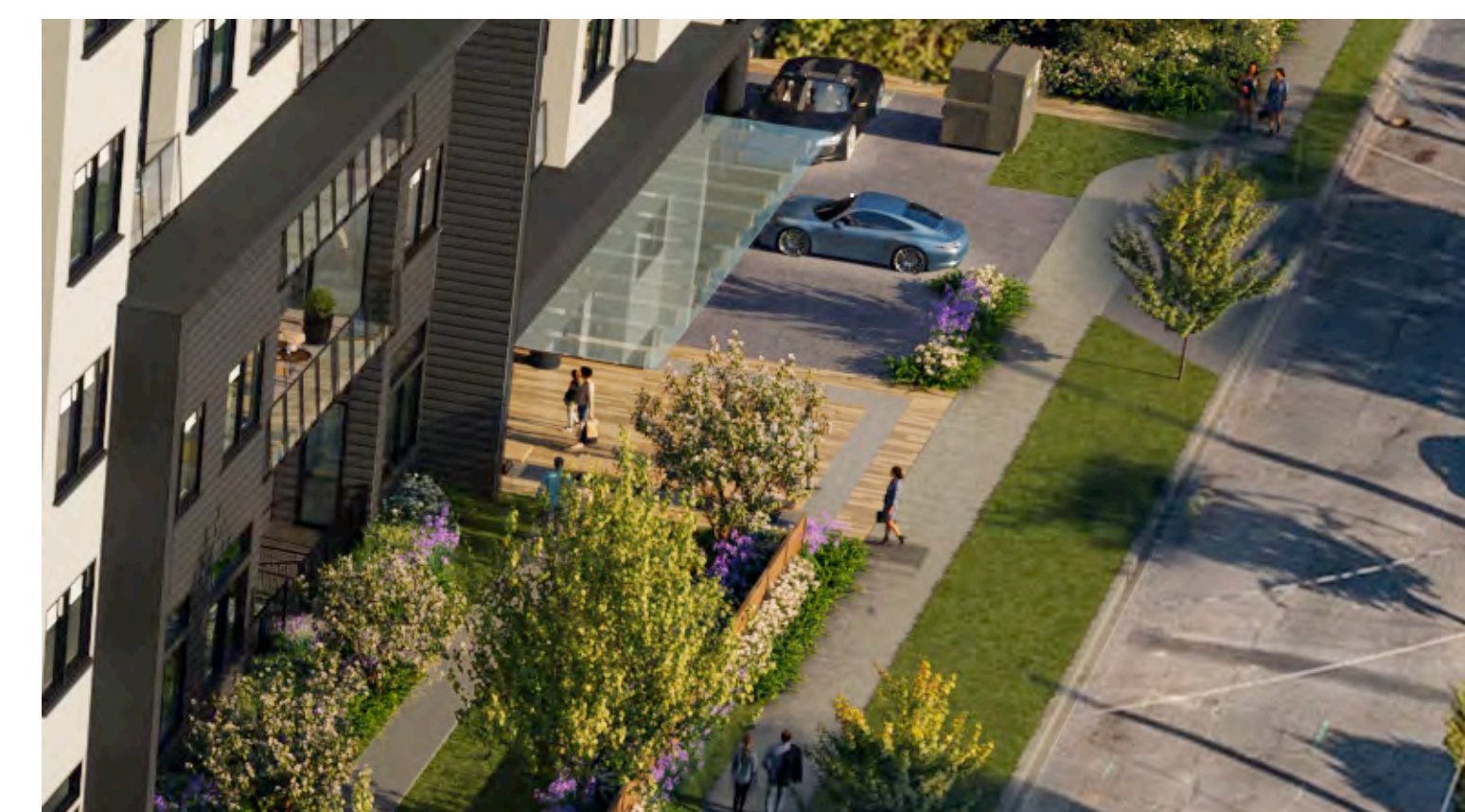
Aerial View - Looking West from Richmond Road
Phase 1 in Foreground



Aerial View - Looking South West from Richmond Road
Phase 1 in Foreground



Aerial View - Looking South East from Ashgrove Street
Phase 1 in Background





Street View - Looking North from Richmond Street
 Phase 1 on the right ; Commercial Buildings in the foreground on Fort Street



A5.1



Street View - Looking South along Ashgrove Street



A5.2



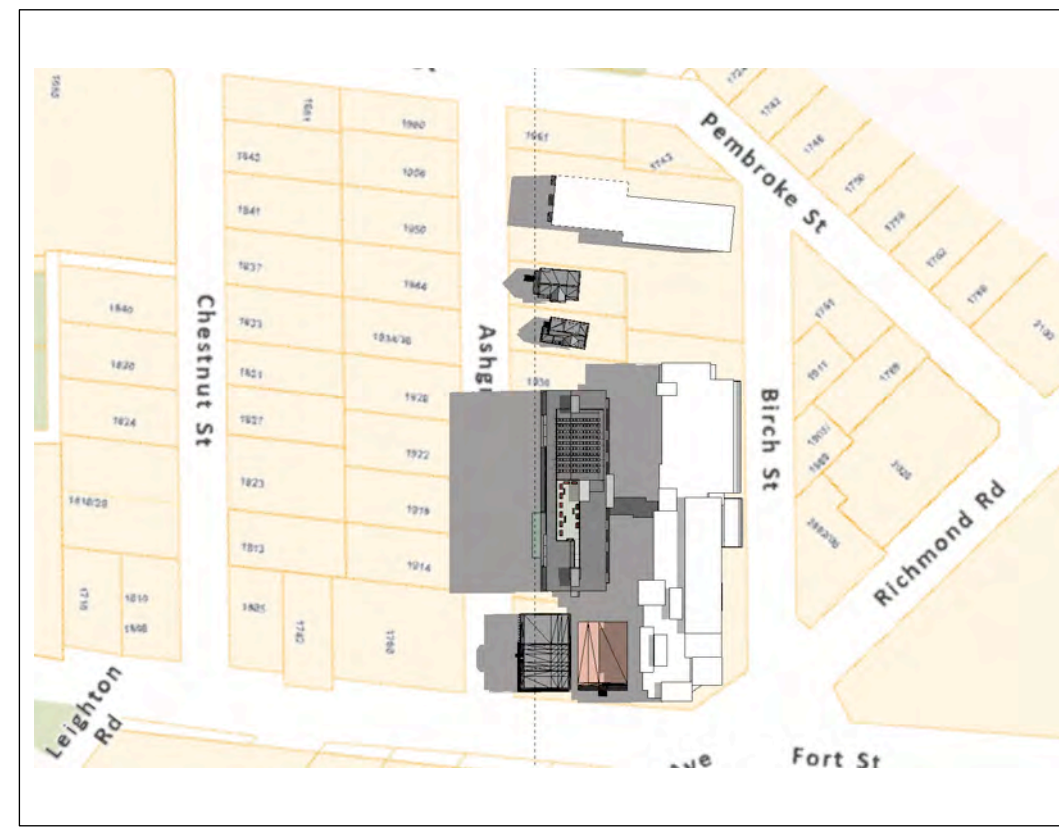


Aerial View - Looking East over Fort Street with RJH Buildings in Background

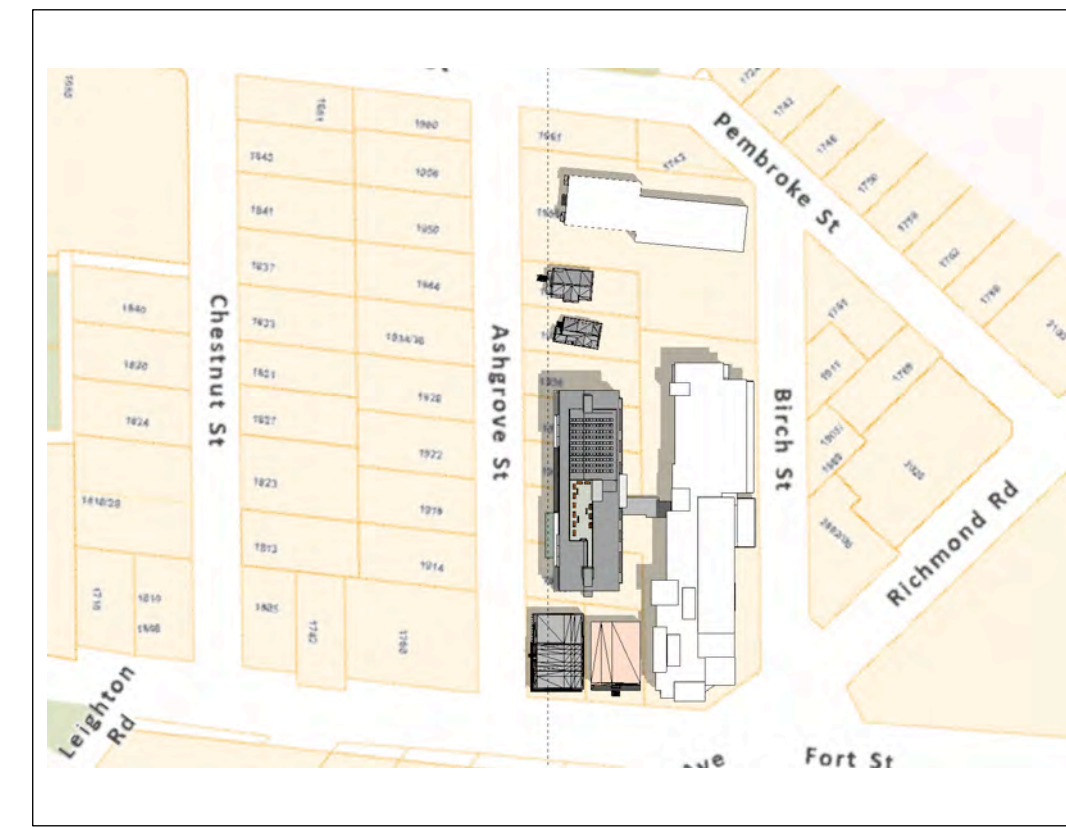


A5.3

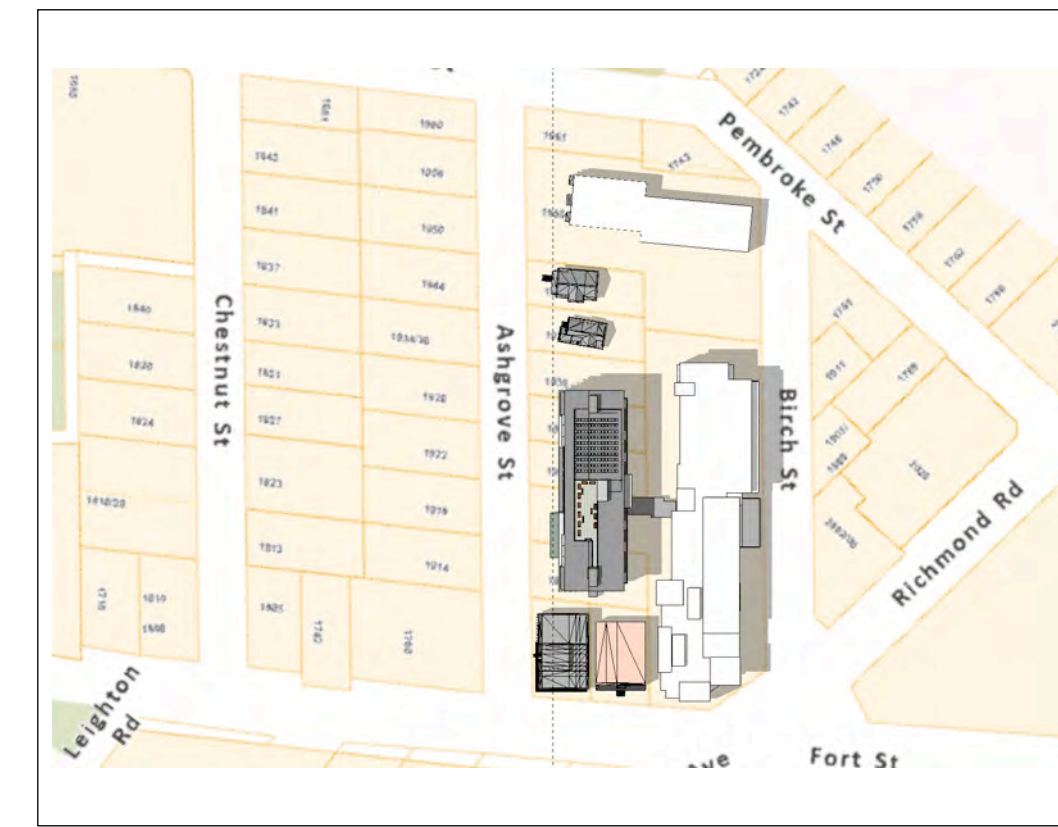




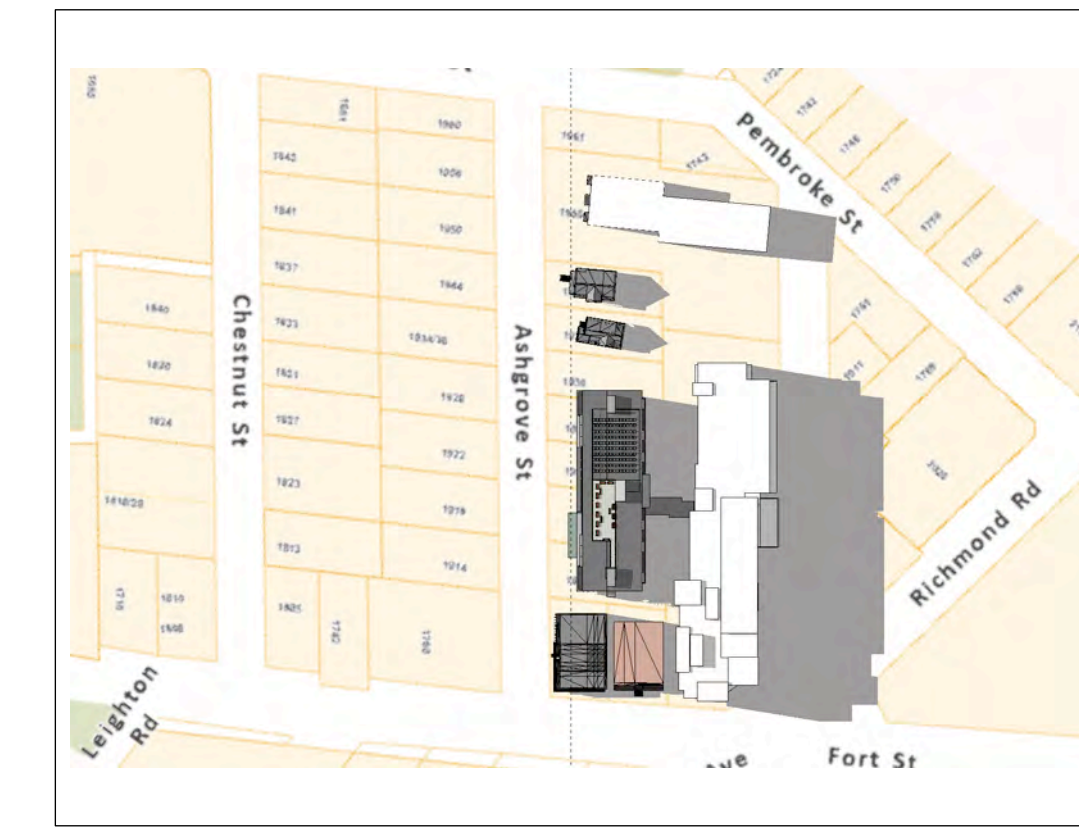
JUNE 21 - 08:00



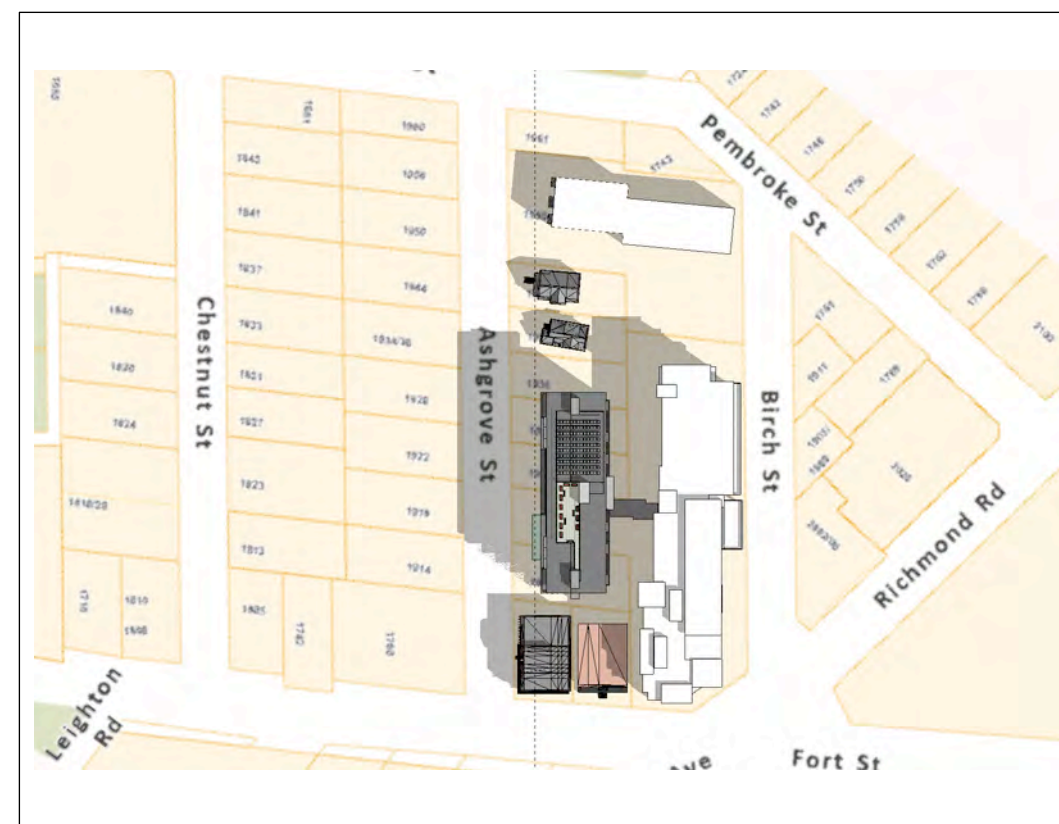
JUNE 21 - 11:00



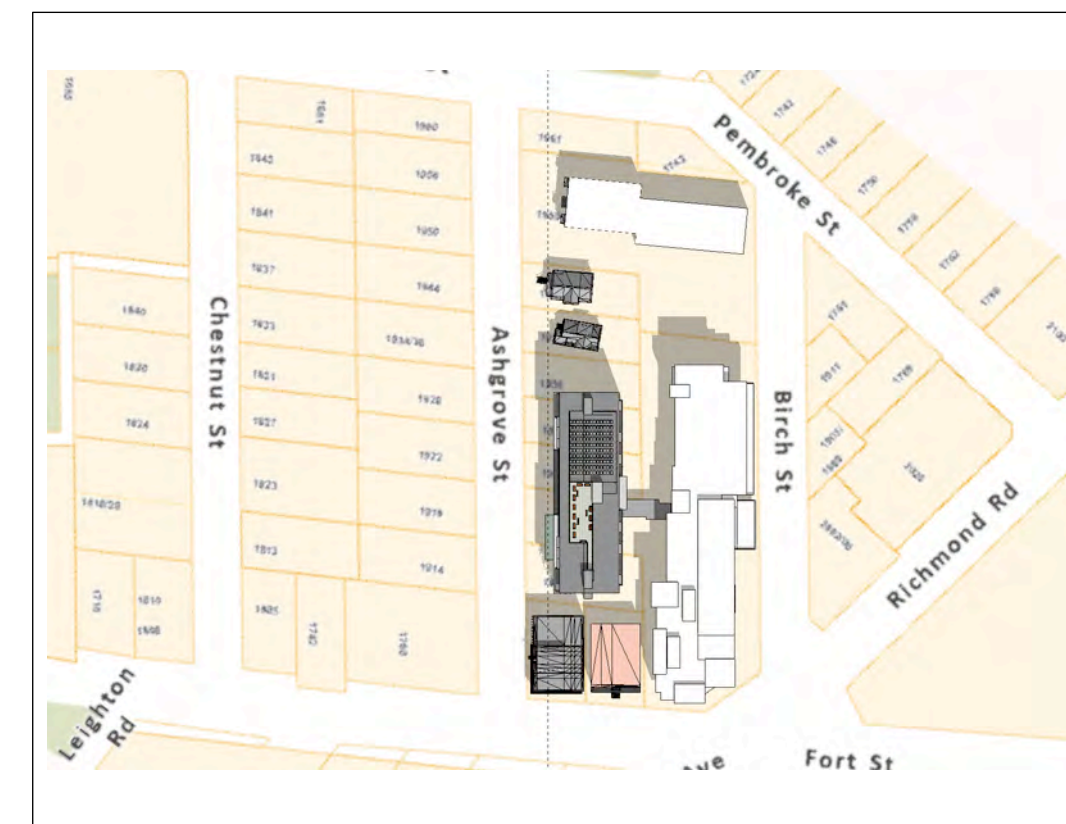
JUNE 21 - 14:00



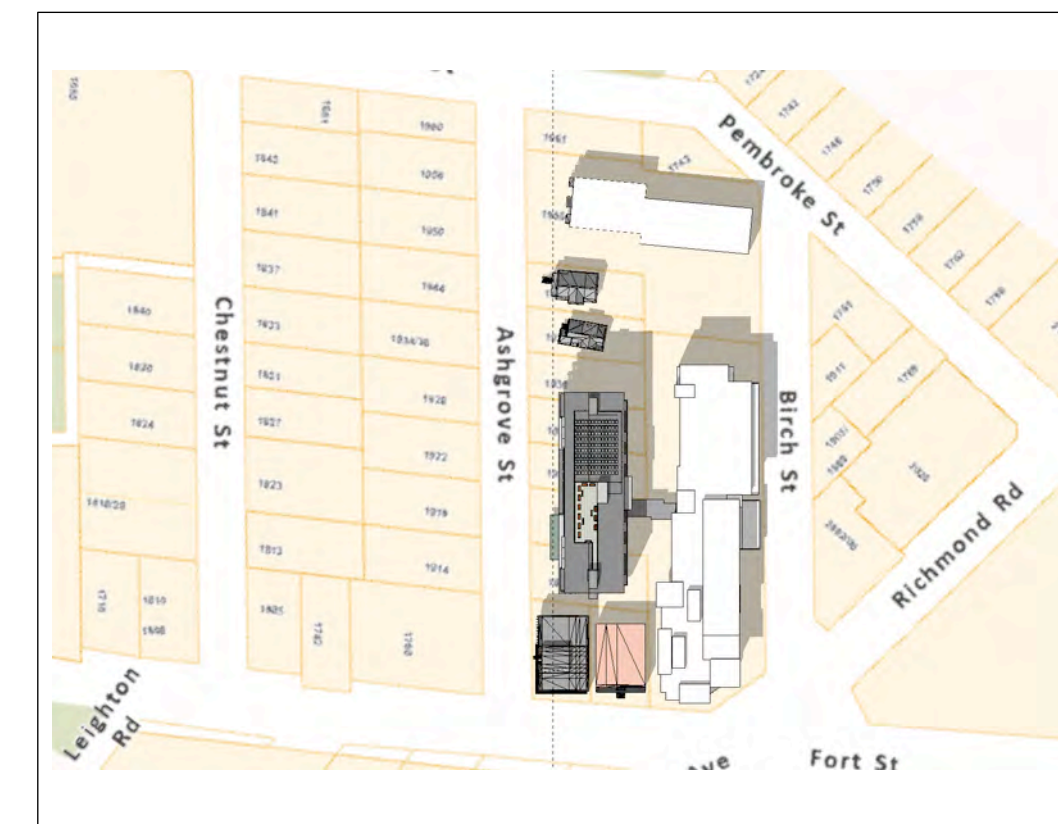
JUNE 21 - 17:00



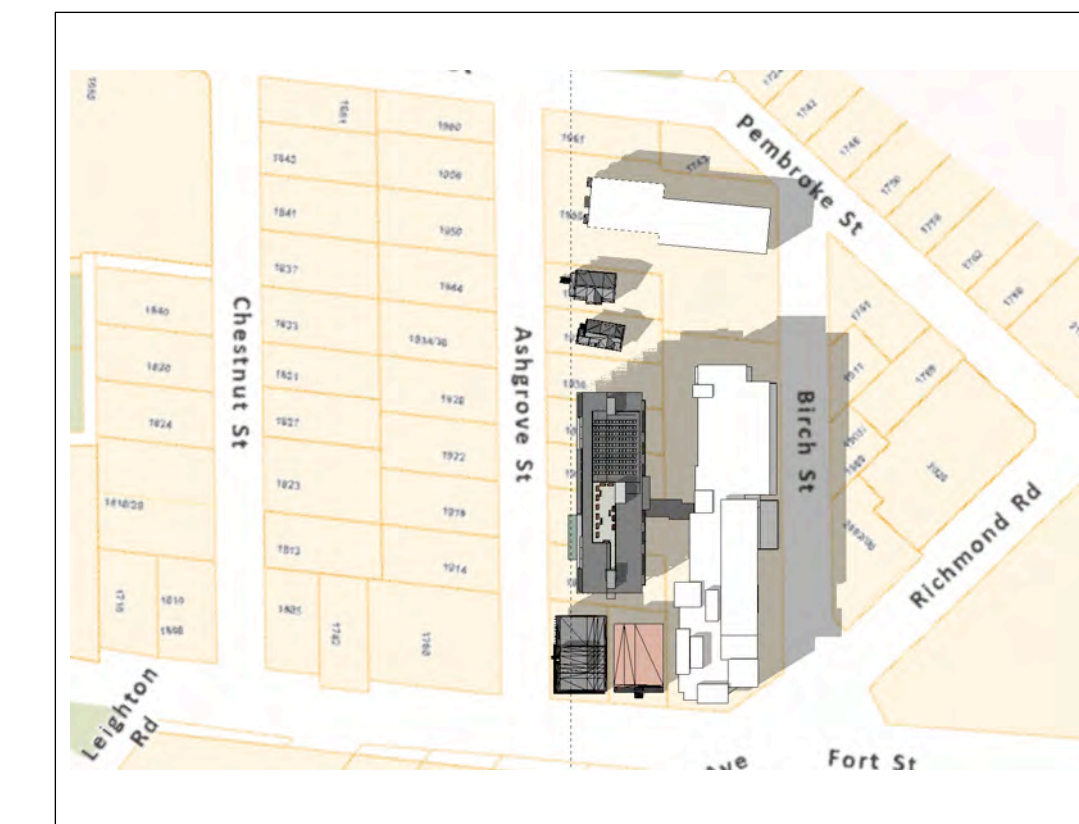
SEPTEMBER 23 - 09:00



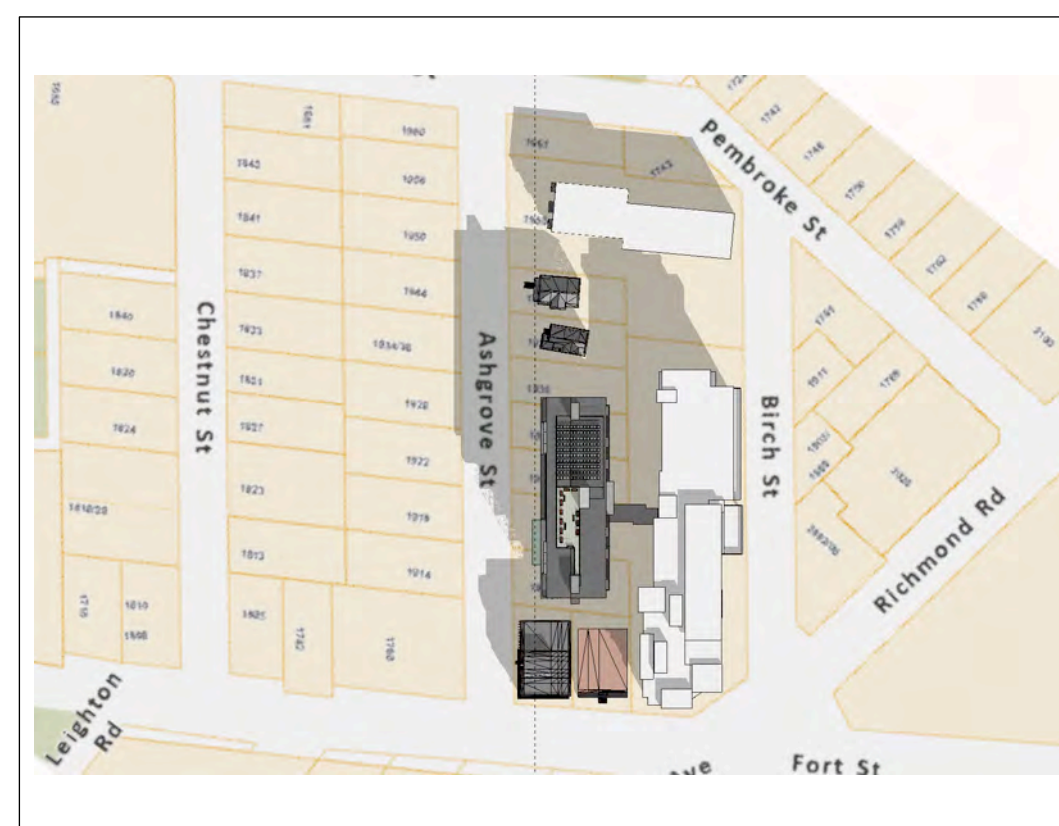
SEPTEMBER 23 - 11:00



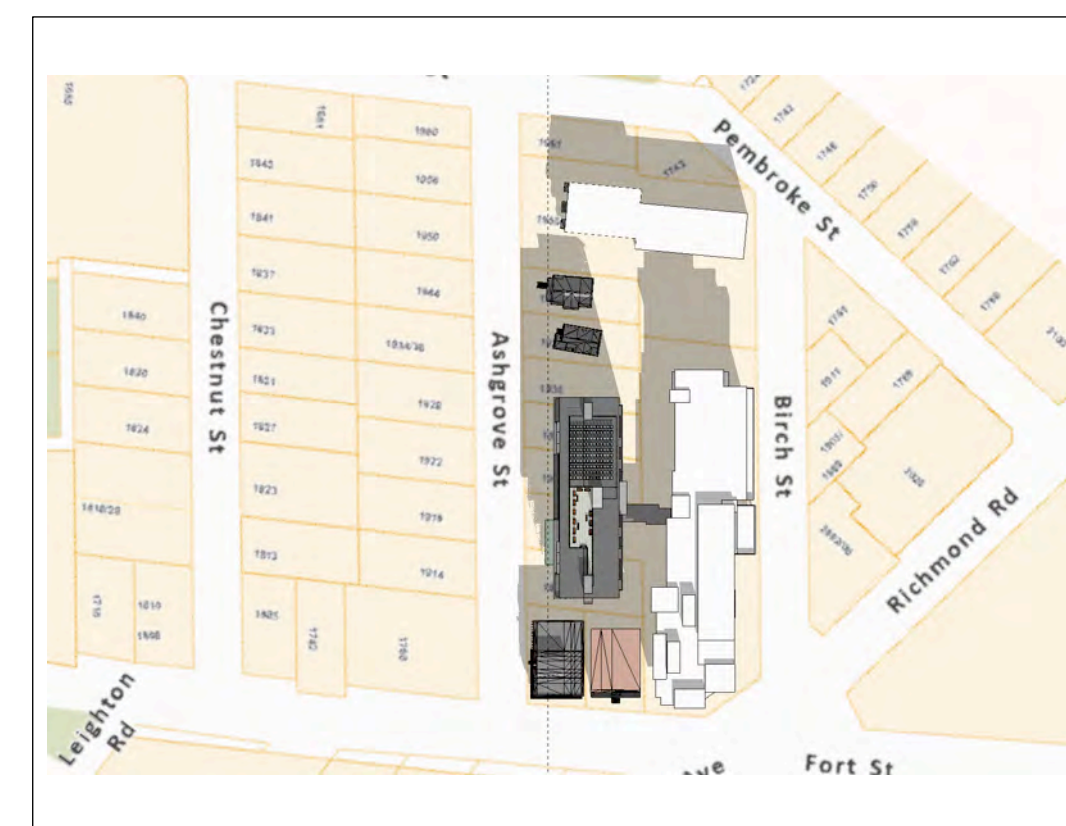
SEPTEMBER 23 - 13:00



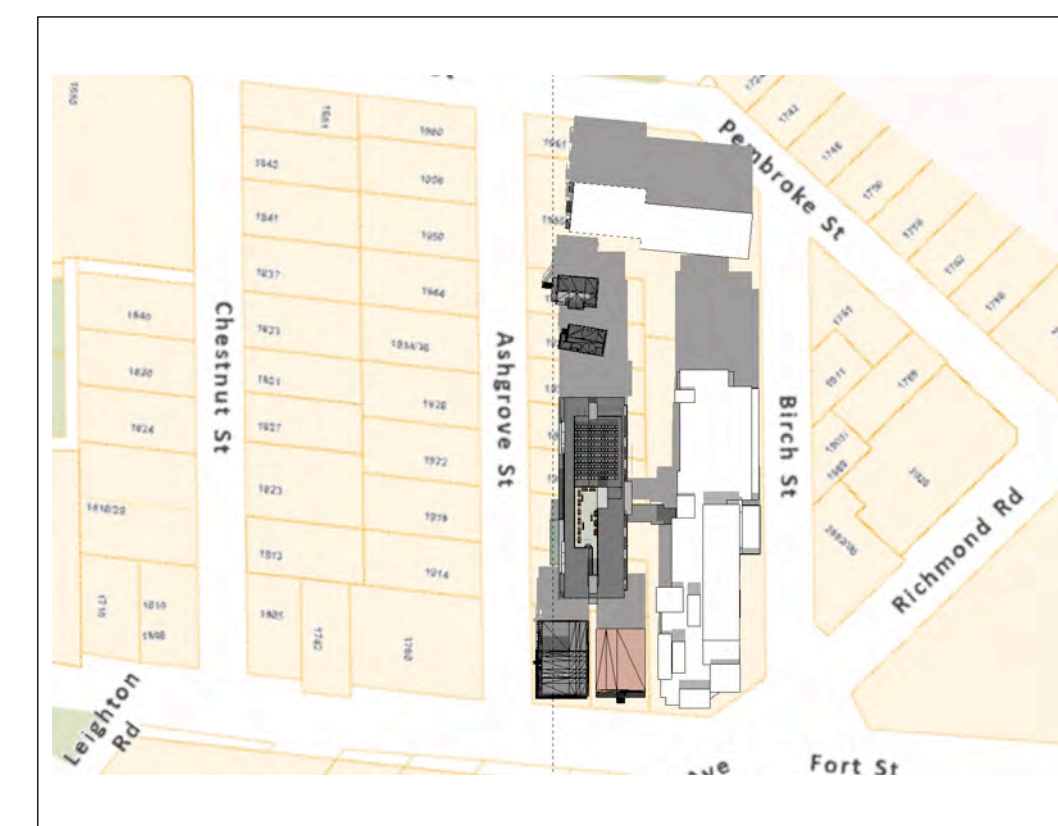
SEPTEMBER 23 - 15:00



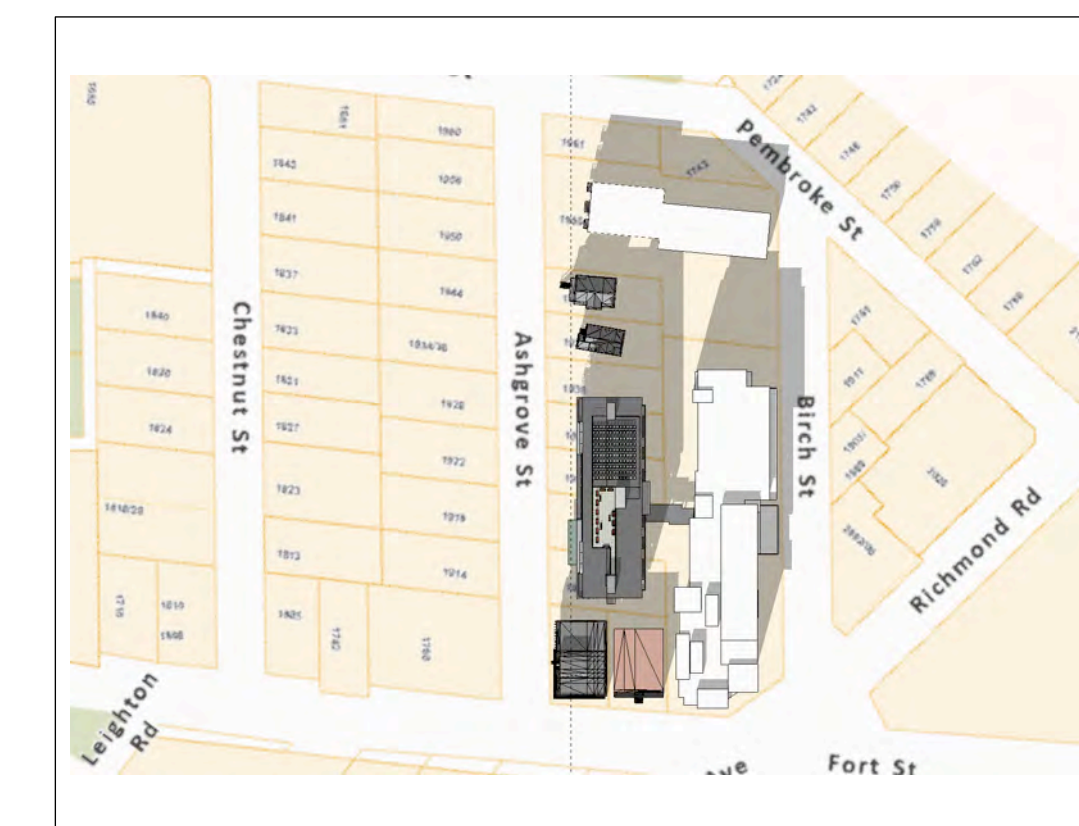
DECEMBER 21 - 10:00



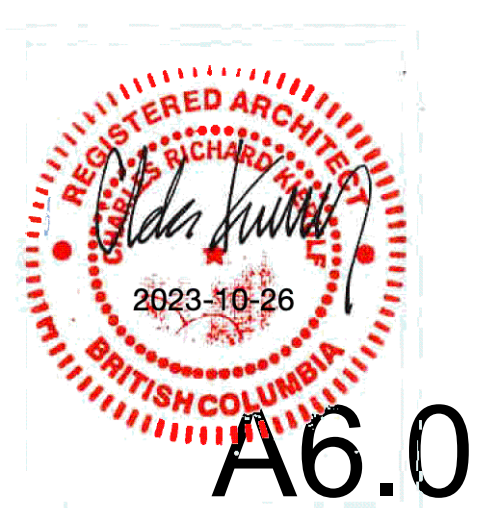
DECEMBER 21 - 11:00



DECEMBER 21 - 12:00



DECEMBER 21 - 13:00



A6.0



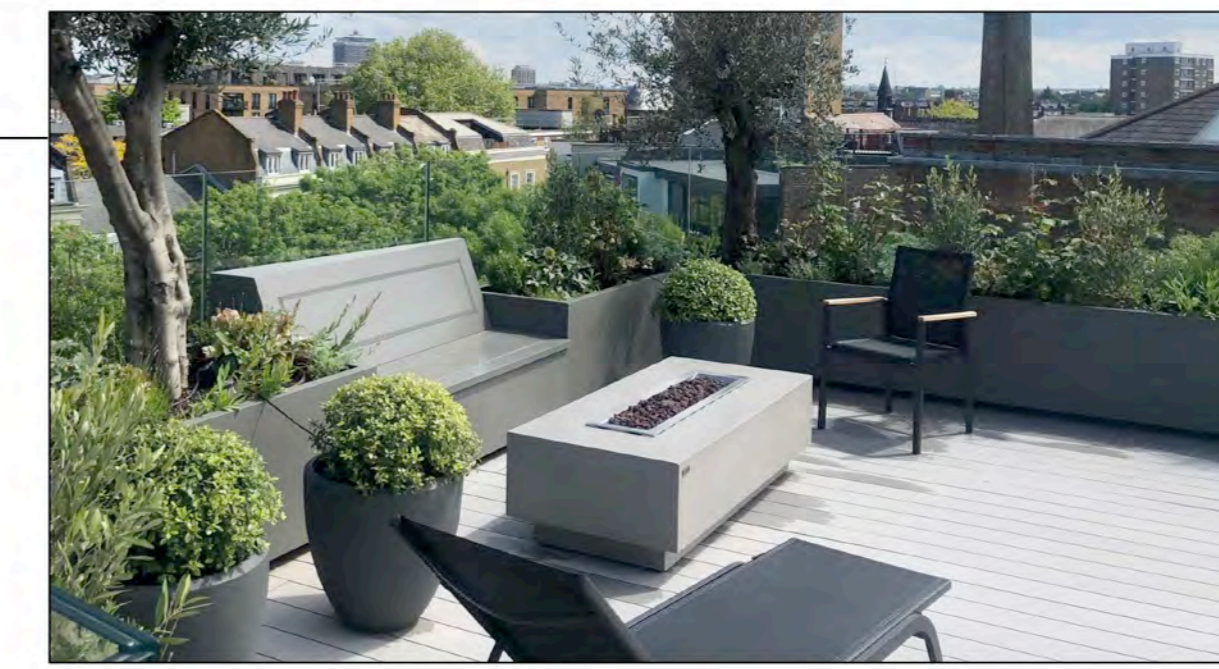
Vertical Louver Screen Wall
North and South Elevations
Prefinished Aluminum louvres
with wood-tone finish



High-Performance aluminium and
glass window-wall system



Rooftop solar PV array

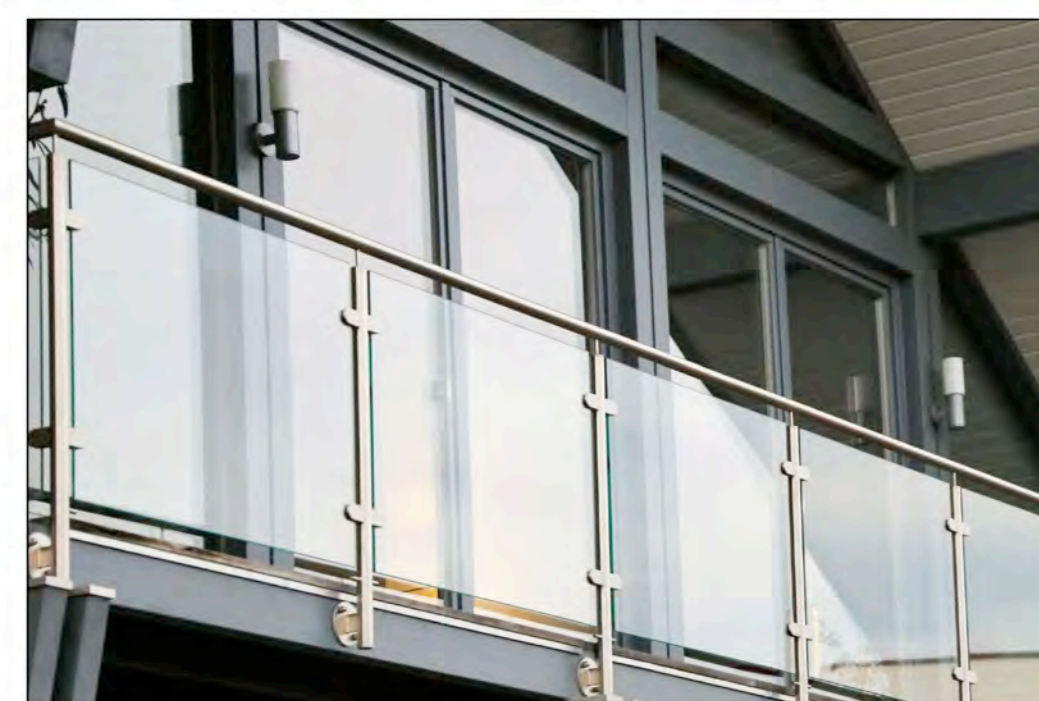


Rooftop amenity area with planters

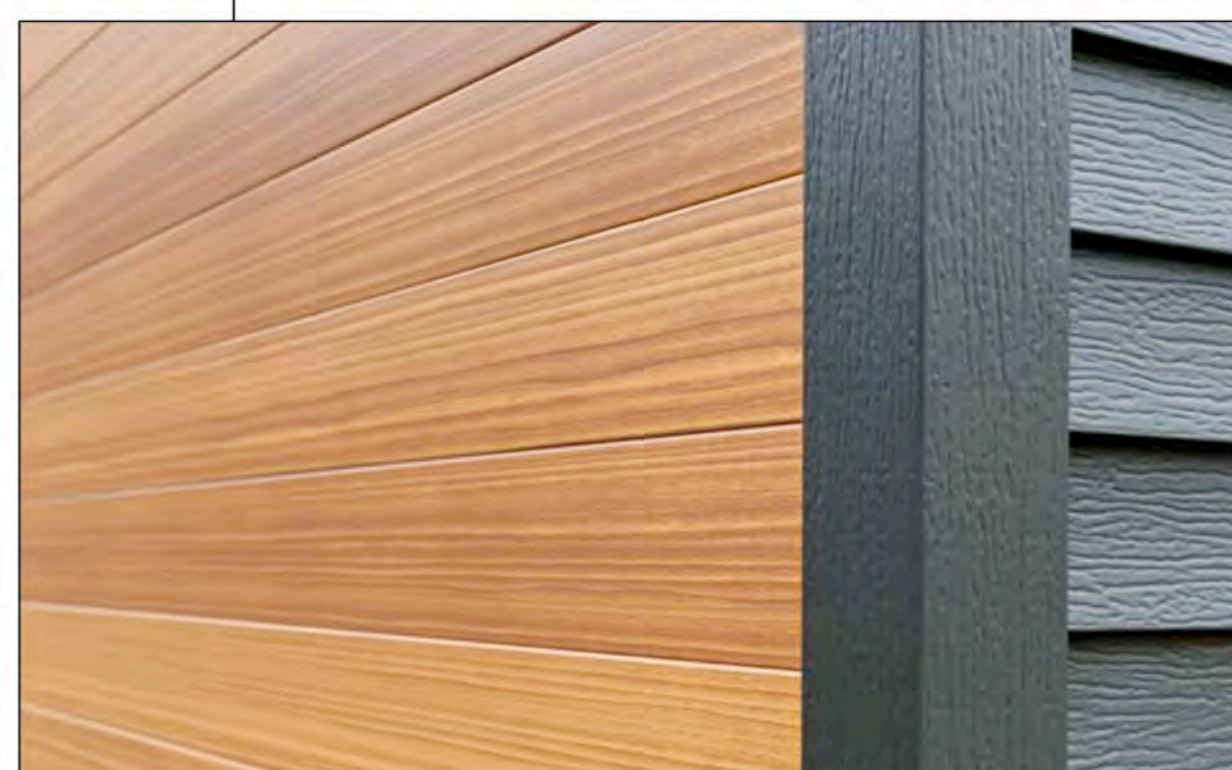
Cementitious Panel Siding- Various colours-
with colour matching trims



High-Performance vinyl windows with coloured
frames



Aluminium and Glass guard

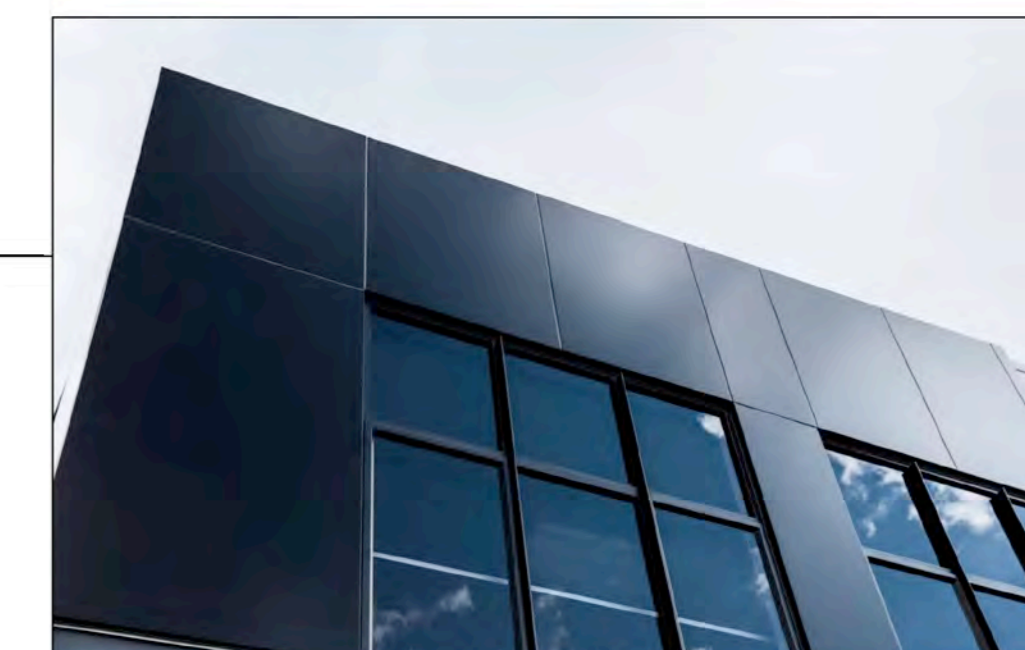


Metal Siding (inside face of vertical fins) and all soffits
with printed wood grain finish

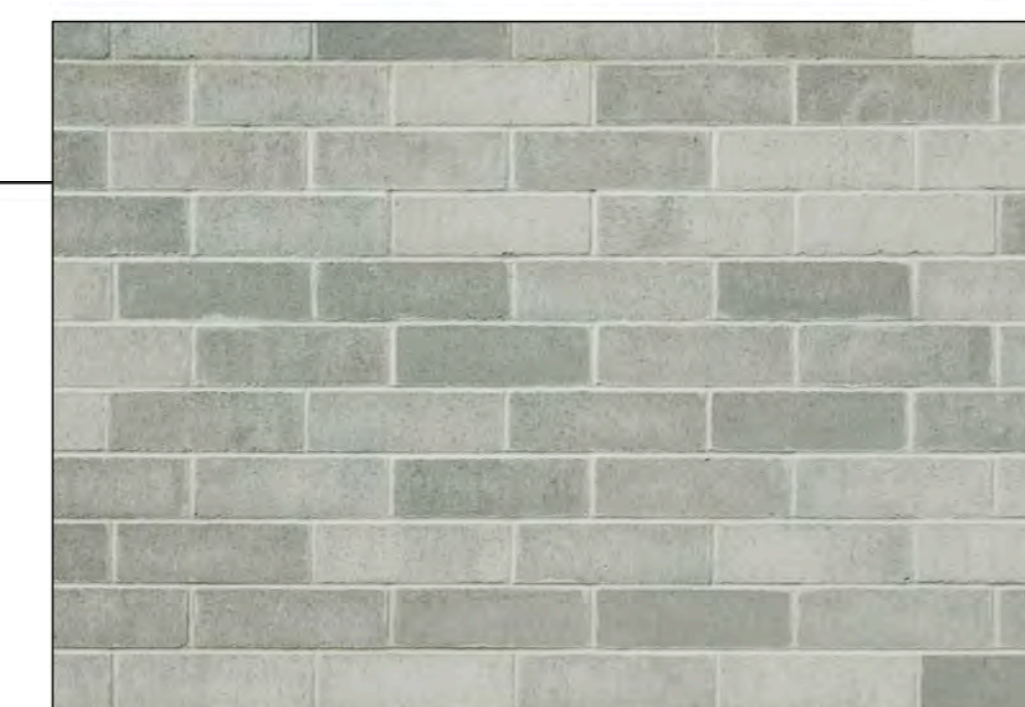
WEST ELEVATION



Rooftop beehiving hives



Prefinished metal cladding



Smooth face masonry cladding



Heavy Timber and Glass Entrance Canopy



A7.0

CONSTRUCTION NOTES

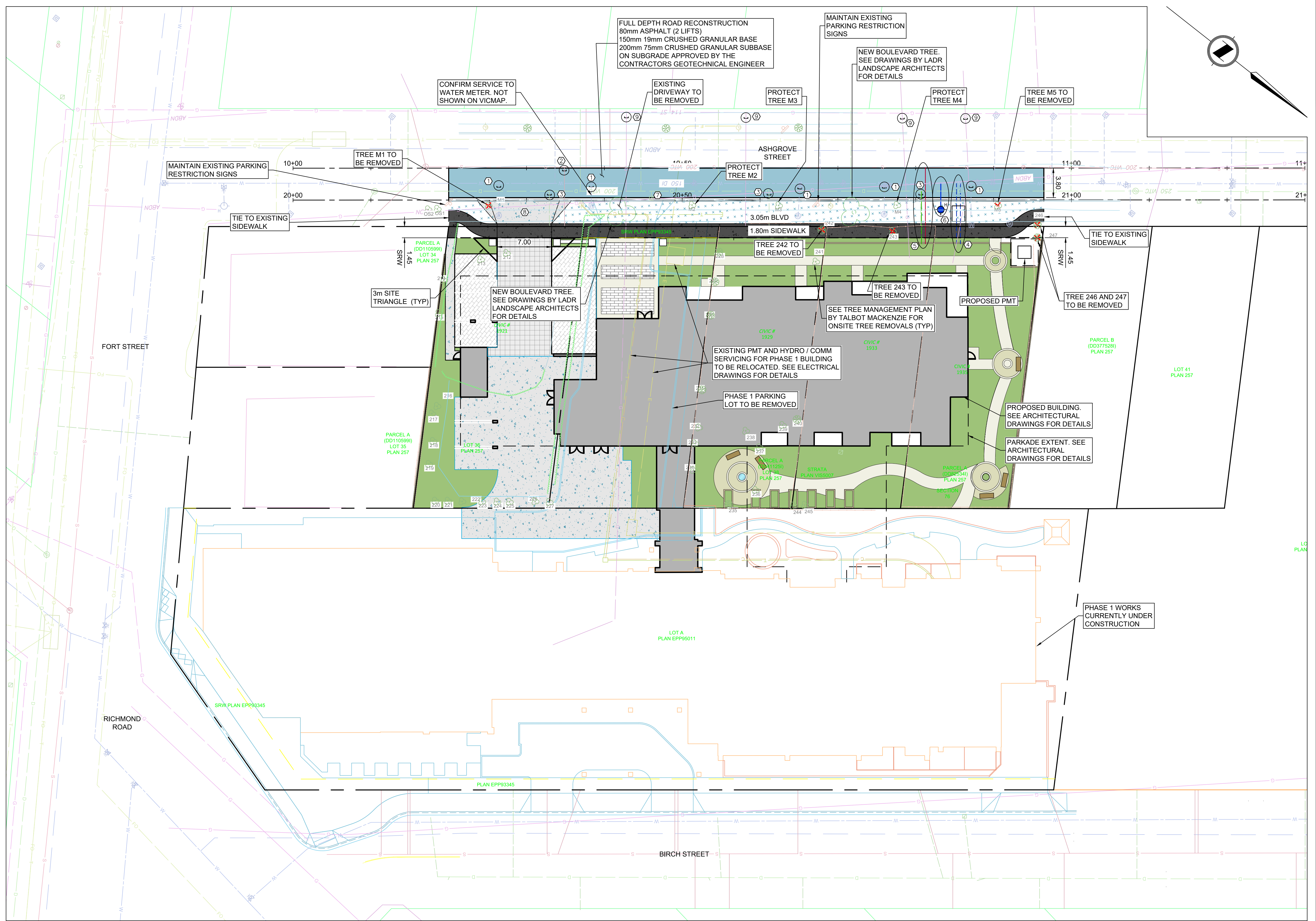
- EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- EXISTING STORM SEWER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE
- NEW xØ DOMESTIC WATER SERVICE CONNECTION c/w xØ WATER METER AND 150Ø FIRE WATER SERVICE CONNECTION c/w CHECK VALVE BY CoV FORCES AT DEVELOPER'S EXPENSE PER CoV STD. DWG. SDW2h.
- NEW xxØ STORM SERVICE AND xxØ NEW SANITARY SERVICE IN COMMON TRENCH BY CoV FORCES AT DEVELOPER'S EXPENSE PER MMCD STD. DWG. S7 c/w INSPECTION CHAMBER AT PROPERTY LINE. INSPECTION CHAMBER PER MMCD STD. DWG. S9 c/w CONCRETE BOX AND CAST IRON LID.
- NEW FIRE HYDRANT BY CoV FORCES AT DEVELOPER'S EXPENSE
- EXISTING CATCHBASIN TO BE ADJUSTED TO SUIT NEW CURB AND GUTTER. MAINTAIN EXISTING LEAD.
- NEW DRIVEWAY PER CoV STD. DWG. SDC7b WITH WIDTHS AS NOTED ON PLAN
- EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY FORTISBC FORCES AT DEVELOPER'S EXPENSE

OFFSITE SHADING LEGEND

- NEW ROAD CONSTRUCTION
 - 80mm ACP (2 LIFTS)
 - 150mm BASE COURSE
 - 200mm SUBBASE COURSE
- NEW CONCRETE SIDEWALK
- NEW SOD BOULEVARD

SHEET NOTES:

- FOR PROPOSED BUILDING AND ONSITE DESIGN INFORMATION, SEE DRAWINGS BY JHK ARCHITECTS AND LADR LANDSCAPE ARCHITECTS.
- SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR ONSITE HARDSCAPE FINISHINGS.
- SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR LOCATIONS AND DETAILS OF ONSITE FURNITURE, BIKE RACKS, ETC.
- EXISTING TOPOGRAPHIC SURVEY SHOWN WAS PROVIDED BY POLARIS LAND SURVEYING INC.
- UTILITY SERVICE SIZES AND LOCATIONS TO BE DETERMINED DURING DETAILED DESIGN.
- EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PAVED AREAS, FENCES ETC. TO BE REMOVED ARE NOT SHOWN FOR CLARITY.
- ALL OFFSITE TREES NOT NOTED FOR REMOVAL TO BE PROTECTED DURING CONSTRUCTION UNLESS OTHERWISE DETERMINED BY PROJECT ARBORIST DURING DETAILED DESIGN.
- SEE TREE MANAGEMENT PLAN BY TALBOT MACKENZIE FOR TREE PROTECTION DETAILS AND FOR ONSITE TREE REMOVALS



Rev	Date	Description	Drawn	Design	App'd
2	2023-10-10	REVISED FOR DP / REZONING	GP	CD	CD
1	2023-02-22	REVISED FOR DP / REZONING	GP	CD	CD
0	2022-12-09	ISSUED FOR DP / REZONING	GP	CD	CD

THIS DRAWING AND DESIGN IS THE PROPERTY OF McELHANNEY AND SHALL NOT BE USED, REUSED OR REPRODUCED WITHOUT THE CONSENT OF McELHANNEY. McELHANNEY WILL NOT BE HELD RESPONSIBLE FOR THE IMPROPER OR UNAUTHORIZED USE OF THIS DRAWING AND DESIGN.

THIS DRAWING AND DESIGN HAS BEEN PREPARED FOR THE CLIENT IDENTIFIED, TO MEET THE STANDARDS AND REQUIREMENTS OF THE APPLICABLE PUBLIC AGENCIES AT THE TIME OF PREPARATION. McELHANNEY, ITS EMPLOYEES, SUBCONSULTANTS AND AGENTS WILL NOT BE LIABLE FOR ANY LOSSES OR OTHER CONSEQUENCES RESULTING FROM THE USE OR RELIANCE UPON, OR ANY CHANGES MADE TO, THIS DRAWING, BY ANY THIRD PARTY, INCLUDING CONTRACTORS, SUPPLIERS, CONSULTANTS AND STAKEHOLDERS, OR THEIR EMPLOYEES OR AGENTS, WITHOUT McELHANNEY'S PRIOR WRITTEN CONSENT.

INFORMATION ON EXISTING UNDERGROUND FACILITIES MAY NOT BE COMPLETE OR ACCURATE. McELHANNEY, ITS EMPLOYEES AND DIRECTORS ARE NOT RESPONSIBLE NOR LIABLE FOR THE LOCATION OF ANY UNDERGROUND CONDUITS, PIPES, CABLES OR OTHER FACILITIES WHETHER SHOWN OR OMITTED FROM THIS PLAN. PRIOR TO CONSTRUCTION CONTRACTOR SHALL EXPOSE LOCATIONS OF ALL EXISTING FACILITIES BY HAND DIGGING OR HYDROVAC AND ADVISE THE ENGINEER OF POTENTIAL CONFLICTS.

0 1:250 10

ORIGINAL DWG SIZE: ANSI D (22" x 34")

McElhanney

Suite 500
3960 Quadra Street
Victoria BC
Canada V8X 4A3
T 250 370 9221

**PRELIMINARY
NOT FOR
CONSTRUCTION**

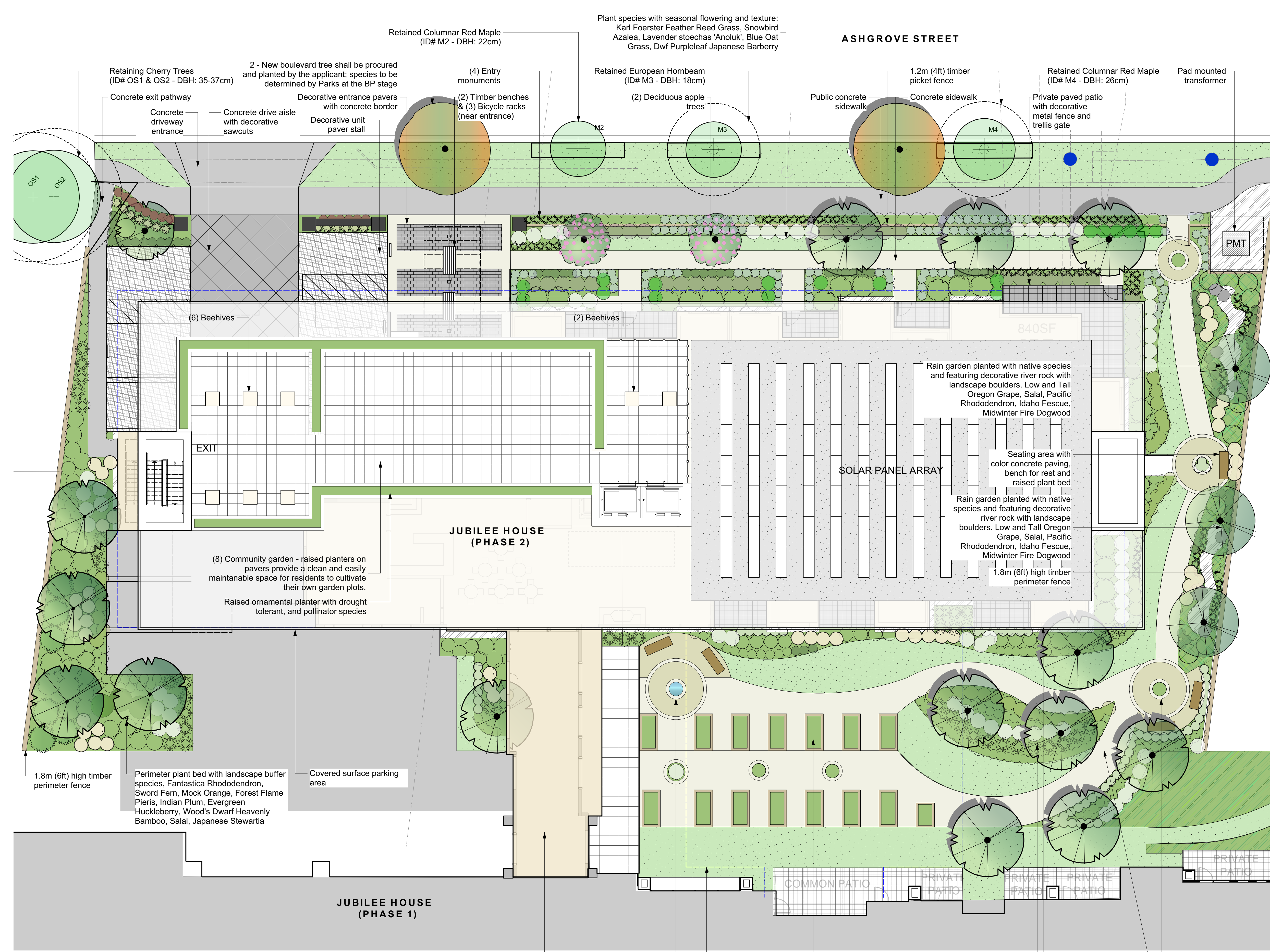
THIS DRAWING HAS NOT BEEN APPROVED AND MAY CONTAIN ERRORS AND OMISSIONS

MILLIKEN DEVELOPMENTS
#100-2489 BELLEVUE AVENUE, WEST VANCOUVER, BC V7V 1E1

**AMICA JUBILEE HOUSE PHASE 2
CONCEPTUAL SITE SERVICING PLAN**

Drawing No. **22036-DP**

Project Number 2241-22036-00 Rev. 2



Recommended Nursery Stock

Trees	Quantity	Botanical Name	Common Name	Size
	3	Alnus rubra (Lrg / 1:1)	Red Alder	6cm cal.
	2	Boulevard Street Tree	Species to be determined	6cm cal.
	9	Cercidiphyllum japonicum (Med. / 1:1)	Katsura Tree	6cm cal.
	5	Cercis canadensis (Med. / 1:1)	Eastern Redbud	6cm cal.
	2	Cornus x 'Venus' (1:1 Structure)	Venus Cornus	4cm cal.
	2	Malus domestica 'Jonagold' (Sm. / 2:1)	Semi-Dwarf Apple	6cm cal.
	1	Stewartia pseudocamellia (Sm. / 2:1)	Japanese Stewartia	6cm cal.
Large Shrubs				
Total:	74			
		Botanical Name	Common Name	Size
		Ceanothus thyrsiflorus 'Victoria'	Victoria Ceanothus (California Lilac)	#5 pot
		Choisya ternata	Mexican Orange Blossom	#5 pot
		Cornus sericea 'Flaviramea'	Midwinter Fire Dogwood	#5 pot
		Oemleria cerasiformis	Indian Plum	#5 pot
		Philadelphus lewisii	Mock Orange	#5 pot
		Pieris 'Forest Flame'	Forest Flame Pieris	#5 pot
		Vaccinium ovatum	Evergreen Huckleberry	#5 pot
Medium Shrubs				
Total:	166			
		Botanical Name	Common Name	Size
		Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 pot
		Mahonia aquifolium	Tall Oregon Grape	#5 pot
		Rhododendron 'Fantastica'	Fantastica Rhododendron	#5 pot
		Rhododendron macrophyllum	Pacific Rhododendron	#5 pot
		Ribes sanguineum	Red Flowering Currant	#5 pot
		Symphoricarpos albus	Snowberry	#5 pot
Small Shrubs				
Total:	564			
		Botanical Name	Common Name	Size
		Azalea japonica 'Herbert'	Herbert Evergreen Azalea	#1 pot
		Azalea 'Snowbird'	Snowbird Azalea	#1 pot
		Berberis thunbergii f. atropurpurea 'Bagatelle'	Dwf Purpleleaf Japanese Barberry	#1 pot
		Ceanothus 'Blue Sapphire'	Blue Sapphire Ceanothus	#1 pot
		Cistus x argenteus 'Silver Pink'	Silver Pink Rock Rose	#1 pot
		Cornus stolonifera 'Kelsey'	Kelsey Dogwood	#1 pot
		Gaultheria shallon	Salal	#1 pot
		Hebe odora 'New Zealand Gold'	New Zealand Hebe	#1 pot
		Hydrangea macrophylla 'Lanarth White'	Lanarth White Hydrangea	#5 pot
		Lavandula angustifolia 'Munstead'	Munstead English Lavender	#1 pot
		Lavender stoechas 'Anoluk'	Anouk Spanish Lavender	#1 pot
		Mahonia nervosa	Low Oregon Grape	#1 pot
		Nandina domestica 'Wood's Dwarf'	Wood's Dwarf Heavenly Bamboo	#1 pot
		Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#1 pot
Perennials, Annuals and Ferns				
Total:	207			
		Botanical Name	Common Name	Size
		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
		Festuca idahoensis	Idaho Fescue	#1 pot
		Helictotrichon sempervirens	Blue Oat Grass	#1 pot
		Perovskia atriplicifolia	Russian Sage	#1 pot
		Phormium tenax 'Tiny Tiger'	Dwarf Variegated New Zealand Flax	#1 pot
		Polystichum munitum	Sword Fern	#1 pot
		Stipa tenuissima	Mexican Feather Grass	#1 pot

- Notes:**
 1. All work to be completed to current CSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

Appendix A - Plant Guideline Compliance

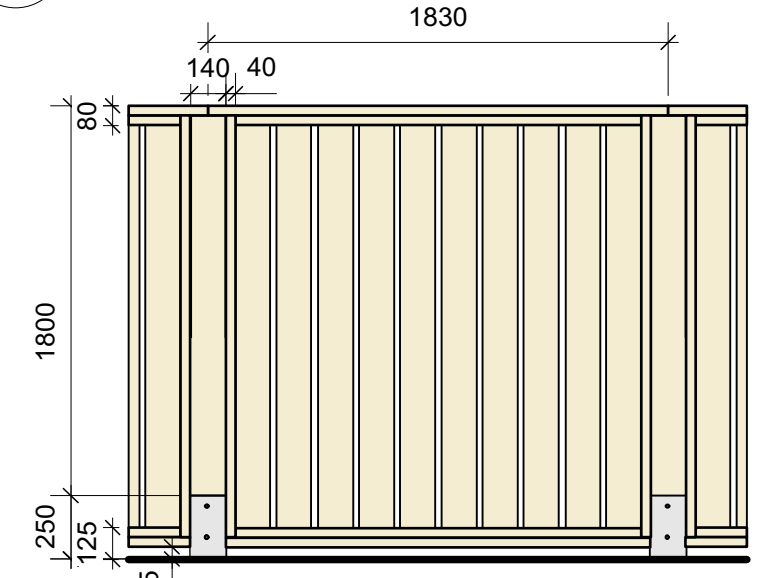
Jubilee House Phase 2

October 6th, 2023

Species	Native	Food-Bearing	Pollinator Habitat	# of plants	Area of plant (m ²)	Compliant	Total area of species (m ²)	Non-Compliant	Total area of species (m ²)
Trees									
Alnus rubra				3	2.0	6.1			
Boulevard Street Tree				2	56.5	113.0			
Cercidiphyllum japonicum				9	77.1	693.7			
Cercis canadensis				5	98.1	490.6			
Cornus x 'Venus'				2	6.3	12.6			
Malus domestica 'Jonagold'				2	19.2	38.5			
Stewartia pseudocamellia				1	12.6	12.6			
Large Shrubs									
Ceanothus thyrsiflorus 'Victoria'				13	13.1	170.3			
Choisya ternata				8	14.1	113.0			
Cornus sericea 'Flaviramea'				12	9.7	116.6			
Oemleria cerasiformis				6	3.2	18.9			
Philadelphus lewisii				3	0.5	1.6			
Pieris 'Forest Flame'				22	4.0	87.6			
Vaccinium ovatum				10	5.4	53.5			
Medium Shrubs									
Hydrangea macrophylla 'Lanarth White'				61	33.2	2025.2			
Mahonia aquifolium				7	1.1	7.6			
Rhododendron 'Fantastica'				13	2.7	34.7			
Rhododendron macrophyllum				32	3.5	110.4			
Ribes sanguineum				37	29.1	1074.9			
Symphoricarpos albus				16	0.3	5.4			
Small Shrubs									
Azalea japonica 'Herbert'				3	1.9	5.7			
Azalea 'Snowbird'				37	5.4	199.8			
Berberis thunbergii f. atropurpurea 'Bagatelle'				40	9.8	391.6			
Ceanothus 'Blue Sapphire'				7	3.2	22.3			
Cistus x argenteus 'Silver Pink'				15	7.6	114.5			
Cornus stolonifera 'Kelsey'				68	31.3	2126.4			
Gaultheria shallon				30	1.0	30.0			
Hebe odora 'New Zealand Gold'				10	5.6	55.5			
Hydrangea macrophylla 'Lanarth White'				1	33.2	33.2			
Lavandula angustifolia 'Munstead'				24	6.8	162.7			
Lavender stoechas 'Anoluk'				140	27.9	3906.0			
Mahonia nervosa				67	13.2	881.1			
Nandina domestica 'Wood's Dwarf'				62	8.0	492.9			
Sarcococca hookeriana var. humilis				60	19.4	1164.6			
Perennials, Annuals and Ferns									
Calamagrostis x acutiflora 'Karl Foerster'				40	15.4	615.6			
Festuca idahoensis				23	1.7	39.6			
Helictotrichon sempervirens				60	15.6	936.0			
Perovskia atriplicifolia				26	13.8	358.5			
Phormium tenax 'Tiny Tiger'				10	2.5	24.5			
Polystichum munitum				40	23.6	942.8			
Stipa tenuissima				8	1.6	12.6			
Total area of non compliant plants						615.6		3.8%	
Total area of compliant plants						15719.8		96.2%	

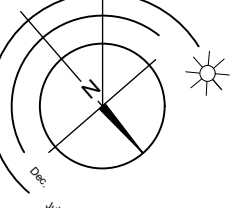


2 1200mm (4ft) high Decorative Metal Fence NTS



3 1.8m (6ft) high perimeter fence Scale: 1:30

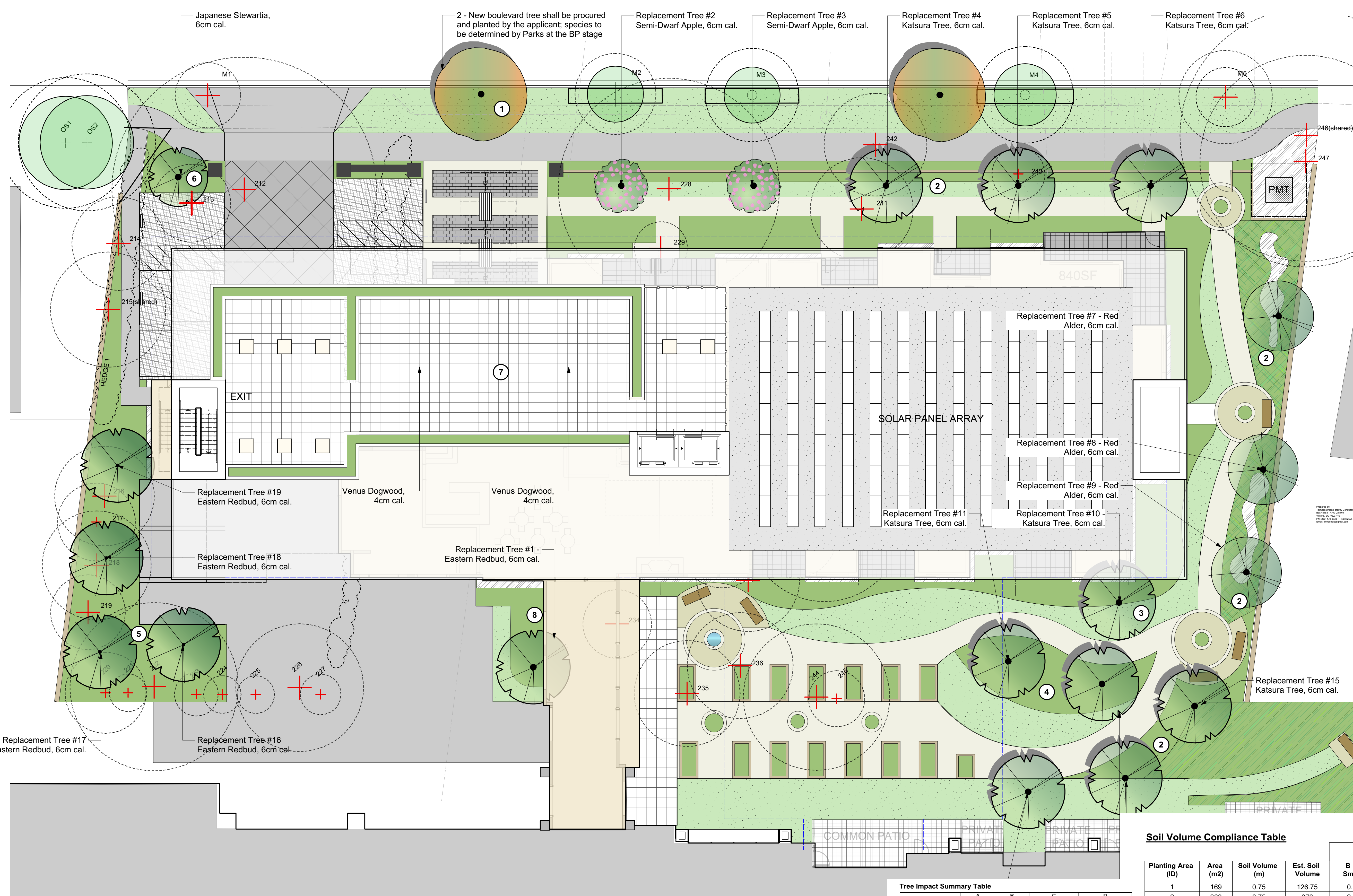
1 Landscape Concept Plan Scale: 1:125



- Revision G I Issued for DP ReSubmission I Oct 10/23
- Revision F I Issued for DP ReSubmission I June 8/23
- Revision E I Issued for DP ReSubmission I Apr. 11/23
- Revision D I Issued for Draft DP ReSubmission I Feb. 24/23
- Revision C I Issued for Draft DP Submission I Dec. 15/22
- Revision B I Issued for Coordination I Dec. 7/22
- Revision A I Issued for Rezoning I Sept. 16/22

Landscape Concept Plan - Jubilee House Phase 2

ASHGROVE STREET



Tree Inventory Table

Tag #	Location	Species	Cal.	DBH	Height	Condition	Remarks	Assessment	Replacement
051	City	Yes	Cherry	21	15	3	Good	Y	Y
052	City	Yes	Cherry	37	4.4	3	Fair	F	F
053	City	Yes	Cherry	37	4.4	3	Fair	F	F
054	City	Yes	Cherry	37	4.4	3	Fair	F	F
055	City	Yes	Cherry	37	4.4	3	Fair	F	F
056	City	Yes	Cherry	37	4.4	3	Fair	F	F
057	City	Yes	Cherry	37	4.4	3	Fair	F	F
058	City	Yes	Cherry	37	4.4	3	Fair	F	F
059	City	Yes	Cherry	37	4.4	3	Fair	F	F
060	City	Yes	Cherry	37	4.4	3	Fair	F	F
061	City	Yes	Cherry	37	4.4	3	Fair	F	F
062	City	Yes	Cherry	37	4.4	3	Fair	F	F
063	City	Yes	Cherry	37	4.4	3	Fair	F	F
064	City	Yes	Cherry	37	4.4	3	Fair	F	F
065	City	Yes	Cherry	37	4.4	3	Fair	F	F
066	City	Yes	Cherry	37	4.4	3	Fair	F	F
067	City	Yes	Cherry	37	4.4	3	Fair	F	F
068	City	Yes	Cherry	37	4.4	3	Fair	F	F
069	City	Yes	Cherry	37	4.4	3	Fair	F	F
070	City	Yes	Cherry	37	4.4	3	Fair	F	F
071	City	Yes	Cherry	37	4.4	3	Fair	F	F
072	City	Yes	Cherry	37	4.4	3	Fair	F	F
073	City	Yes	Cherry	37	4.4	3	Fair	F	F
074	City	Yes	Cherry	37	4.4	3	Fair	F	F
075	City	Yes	Cherry	37	4.4	3	Fair	F	F
076	City	Yes	Cherry	37	4.4	3	Fair	F	F
077	City	Yes	Cherry	37	4.4	3	Fair	F	F
078	City	Yes	Cherry	37	4.4	3	Fair	F	F
079	City	Yes	Cherry	37	4.4	3	Fair	F	F
080	City	Yes	Cherry	37	4.4	3	Fair	F	F
081	City	Yes	Cherry	37	4.4	3	Fair	F	F
082	City	Yes	Cherry	37	4.4	3	Fair	F	F
083	City	Yes	Cherry	37	4.4	3	Fair	F	F
084	City	Yes	Cherry	37	4.4	3	Fair	F	F
085	City	Yes	Cherry	37	4.4	3	Fair	F	F
086	City	Yes	Cherry	37	4.4	3	Fair	F	F
087	City	Yes	Cherry	37	4.4	3	Fair	F	F
088	City	Yes	Cherry	37	4.4	3	Fair	F	F
089	City	Yes	Cherry	37	4.4	3	Fair	F	F
090	City	Yes	Cherry	37	4.4	3	Fair	F	F
091	City	Yes	Cherry	37	4.4	3	Fair	F	F
092	City	Yes	Cherry	37	4.4	3	Fair	F	F
093	City	Yes	Cherry	37	4.4	3	Fair	F	F
094	City	Yes	Cherry	37	4.4	3	Fair	F	F
095	City	Yes	Cherry	37	4.4	3	Fair	F	F
096	City	Yes	Cherry	37	4.4	3	Fair	F	F
097	City	Yes	Cherry	37	4.4	3	Fair	F	F
098	City	Yes	Cherry	37	4.4	3	Fair	F	F
099	City	Yes	Cherry	37	4.4	3	Fair	F	F
100	City	Yes	Cherry	37	4.4	3	Fair	F	F

Tree Preservation Summary

City of Victoria Project No. Minimum
Address: 152/115/29/1933/1935 Ashgrove Street, 1900 Richmond Road
Arborist: Noah Talbot, BA
Certifications/Qualifications: ISA Certified Arborist (PN6822A) Tree Risk Assessment Qualified

Count	Multipplier	Qualified	Total
A. Protected Trees Removed	18	X 1	A. 18
B. Replacement Trees Proposed per Schedule "E", Part 1	19	X 1	B. 19
C. Replacement Trees Proposed per Schedule "E", Part 2	3*	X 0.5	C. 1.5*
D. Replacement Trees Proposed per Schedule "E", Part 3	16*	X 1	D. 16*
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 20*
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 0*
ONSITE Minimum replacement tree requirement (onsite trees)			
G. Tree minimum on lot		X 1	G. 14
H. Protected trees retained (other than specimen trees)		X 3	H. 0
I. Specimen trees retained		X 3	I. 0
J. Trees per lot deficit (G - (H+I)) Record 0 if negative number			J. 0
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees Removed		X 1	K. 0
L. Replacement trees proposed per Schedule "E", Part 1		X 1	L. 0
M. Replacement trees proposed per Schedule "E", Part 2		X 0.5	M. 0
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K - N) Record 0 if negative number			O. 0*
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F, or J, whichever is the greater number			P. 0
Q. Offsite trees proposed for cash-in-lieu Enter O			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$0

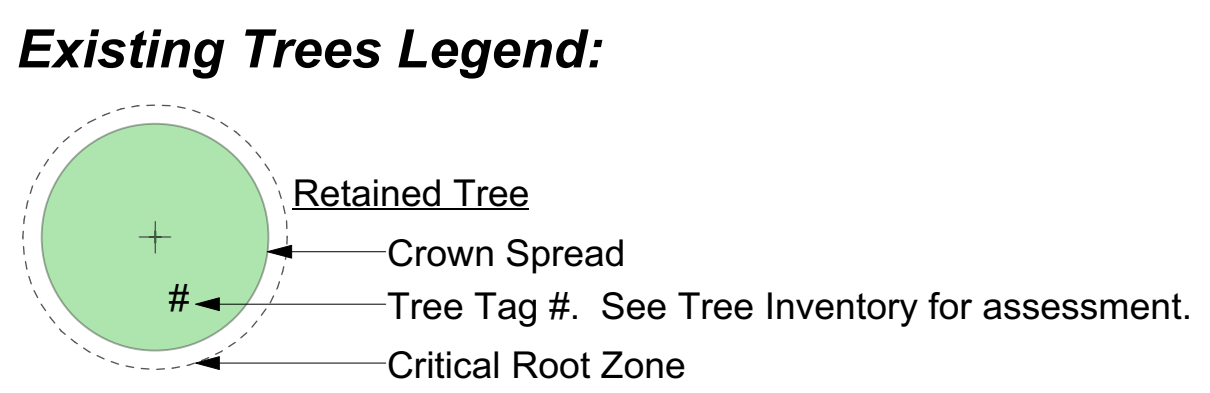
Summary prepared and submitted by: Noah Talbot
Date: April 06, 2023

Soil Volume Compliance Table

Planting Area (ID)	Area (m2)	Soil Volume (m)	Est. Soil Volume	Replacement Trees Proposed				Soil Volume Required (m3)			Compliance (Y/N)
				B Small #	C Medium #	D Large #	E # Small	F # Medium	G # Large	Total	
1	169	0.75	126.75	0.0	2.0	0.0	0.0	40.0	0.0	40.0	Y
2	360	0.75	270	2.0	6.0	2.0	16.0	120.0	70.0	206.0	Y
3	75	0.75	56.25	0.0	1.0	0.0	0.0	20.0	0.0	20.0	Y
4	70	0.75	52.5	0.0	2.0	0.0	0.0	40.0	0.0	40.0	Y
5	129	0.75	96.75	0.0	4.0	0.0	0.0	80.0	0.0	80.0	Y
6	14.2	0.75	10.65	1.0	0.0	0.0	8.0	0.0	0.0	8.0	Y
7	12.5	1	12.5	2.0	0.0	0.0	12.0	0.0	0.0	12.0	Y
8	33	0.75	24.75	0.0	1.0	0.0	0.0	20.0	0.0	20.0	Y
TOTAL										426.0	

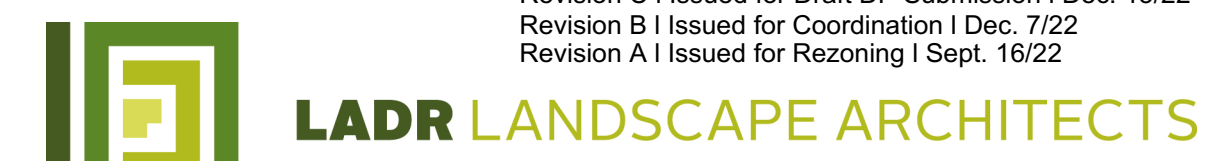
Tree Impact Summary Table

Tree Status	Tree Impact Summary			
	A Total # of Protected Trees	B # of Trees to be REMOVED	C # of NEW or REPLACEMENT Trees to be Planted*	D # of EXISTING non-protected Trees Counted as Replacements
Onsite Trees	18	18	22*	0
Private Offsite Trees	2	0	N/A	N/A
Municipal Trees	5	2	N/A	N/A
Total	25	20	22*	0



1 Landscape Tree Management Plan
Scale: 1:125

Tree Management Plan - Jubilee House Phase 2



Revision G I Issued for DP ReSubmission I Oct 10/23
Revision F I Issued for DP ReSubmission I June 8/23
Revision E I Issued for DP ReSubmission I Apr. 11/23
Revision D I Issued for Draft DP ReSubmission I Feb. 24/22
Revision C I Issued for Draft DP Submission I Dec. 15/22
Revision B I Issued for Coordination I Dec. 7/22
Revision A I Issued for Rezoning I Sept. 16/22