

SMARTSTOP SELF - STORAGE DOBNEY FOUNDRY, VICTORIA, B.C.

APPLICATION FOR DELEGATED DEVELOPMENT PERMIT



1. UPDATED FOR DELEGATED
DEVELOPMENT PERMIT

2. UPDATED 3D VIEW

LIST OF DRAWINGS

ARCHITECTURAL

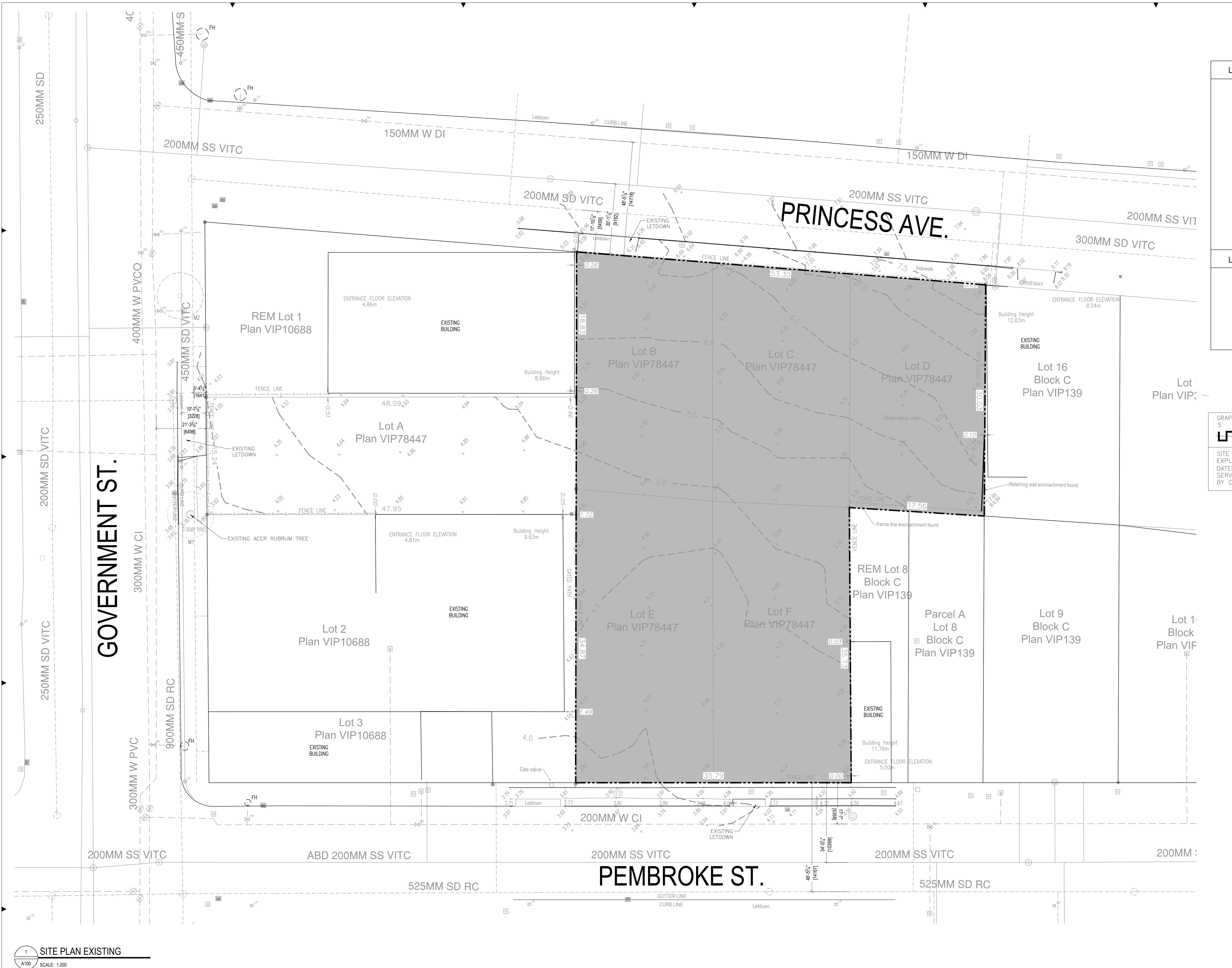
| | | | |
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| 23-079-CSP | PRELIMINARY CIVIL PLAN |
|------------|------------------------|

CIVIL

3. UPDATED PER
ONGOING BUILDING
PERMIT DRAWINGS

| ITEM | BRITISH COLUMBIA BUILDING CODE DATA MATRIX - PART 3 | BCBC Reference | | |
|------|--|-----------------------------------|-----------------------------------|--------------------|
| 1 | Project Description: NEW CONSTRUCTION OF A 4 STOREY SELF-STORAGE BUILDING WITH 2 BASEMENTS | Part 3 | | |
| 2 | Major Occupancy: F2 (SELF-STORAGE) & F (RETAIL STORE) | | | |
| 3 | Building Area Proposed: 29,492.3 m ² (2,739.9 m ²) GREATEST HORIZONTAL AREA MEASURED FROM EXTERIOR FACES OF EXTERIOR WALLS | 3.1.2.1(1) 14.1.2 | | |
| 4 | Gross Floor Area Proposed: 15,834.5 m ² (14,291.7 m ²) | | | |
| 5 | Basement 2 Proposed: 29,516.6 m ² (2,742.4 m ²) | | | |
| 6 | Partial Basement Proposed: 19,629.2 m ² (1,823.6 m ²) | | | |
| 7 | Ground/Split Ground Proposed: 29,318.7 m ² (2,723.8 m ²) Office Floor Area: 1,287.9 m ² (119.6 m ²) | | | |
| 8 | Second Proposed: 25,068.4 m ² (2,328.9 m ²) Mercantile Floor Area: 5,541.4 m ² (514.8 m ²) | | | |
| 9 | Third Proposed: 25,149.7 m ² (2,336.5 m ²) Int. Parking Floor Area: 7,464.2 m ² (693.4 m ²) | | | |
| 10 | Fourth Proposed: 25,149.7 m ² (2,336.5 m ²) | | | |
| 11 | Number of Storeys Above Grade: 4 Below Grade: 2 | 3.2.1.1, 3.2.2.15 | | |
| 12 | Height of Building (m): 14.9m (AVERAGE TO TOP OF ROOF) | | | |
| 13 | Number of Streets/ Fire Fighting Access: 2 | 3.2.2.10 & 3.2.5 | | |
| 14 | Building Classification: 3.2.2.7 GROUP F, DIVISION 2, UP TO 4 STOREYS, INCREASED AREA, SPRINKLERED 3.2.2.6 GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED PER 3.2.2.6, THE REQUIREMENTS OF THE MOST RESTRICTED MAJOR OCCUPANCY SHALL APPLY TO THE WHOLE BUILDING | 3.2.2.7, 3.2.2.6 | | |
| 15 | Sprinkler system proposed: ENTIRE BUILDING | 3.2.2.7, 3.2.2.6 | | |
| 16 | Standpipe required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.5.8 | | |
| 17 | Fire Alarm Required: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.4 | | |
| 18 | Water Service/Supply is Adequate: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.5.7 | | |
| 19 | High Building: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.2.6 | | |
| 20 | Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both | 3.2.2.77 | | |
| 21 | Actual Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both | | | |
| 22 | Mezzanine Area: N/A | 3.2.1.1(3)-(8) | | |
| 23 | Occupant Load Based on: Self Storage (F2) <input type="checkbox"/> m ² / person <input checked="" type="checkbox"/> Design of Building Office (D) <input type="checkbox"/> m ² / person <input type="checkbox"/> Design of Building | 3.1.17.1 | | |
| 24 | | 95 m ² / 9.3 = 10 | | |
| 25 | Barrier Free Design: <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO | 3.8 | | |
| 26 | Hazardous Substances: <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | 3.3.12 | | |
| 27 | Required Fire Resistance Ratings (FRR) | Horizontal Assemblies FRR (Hours) | Horizontal Assemblies FRR (Hours) | 3.2.2.77, 3.2.2.66 |
| 28 | | | | 3.2.1.4, 3.3.1.1 |
| 29 | | | | 3.2.2.66 |
| 30 | | | | 3.2.2.15(2) |
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SITE PLAN EXISTING

A100 SCALE: 1:200

A100 SCALE: 1:200

RIGHT PROTECTED 2024, WPT ARCHITECTURE INC.

DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

TRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WITH THE WORK.

MENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.

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TRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.

DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

| YYYY-MM-DD | REVISIONS |
|------------|---|
| 2024-II-12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 2024-I0-09 | FOR TENDER |
| 2024-03-05 | FOR DEVELOPMENT PERMIT |
| 2023-I2-20 | FOR DEVELOPMENT PERMIT |
| 2023-I0-31 | FOR DEVELOPMENT PERMIT |
| 2023-08-15 | FOR DEVELOPMENT PERMIT |
| 2023-04-21 | FOR DEVELOPMENT PERMIT |
| 2023-04-14 | FOR DISCUSSION |
| 2023-04-06 | FOR DISCUSSION |

LEGEND - SYMBOLS

- (S) MANHOLE
- (CO) SANITARY CLEAN OUT
- (W) STORM DRAIN CLEAN OUT OR
WATER METER
- (FH) FIRE HYDRANT
- (WV) WATER VALVE
- (X) WATER SYSTEM GATE VALVE
- (LP) LIGHT POST
- (E) ELECTRIC MANHOLE
- (JB) JUNCTION BOX

LEGEND - LINE TYPES

WATER MAIN LINES

NER:

RICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905-667-2222

ANICAL: **QUASAR**
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TEL: 905 507 0800

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TEL: 250 386 7794

CAPE:

PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5E 6C0

TEL: 604.294.0011

T: **SMARTCENTRES**
3200 HIGHWAY 7, SUITE 230
VAUGHAN ON L4K 5Z5

TEL. 905 320 0400

A diagram showing a circle with a vertical line segment passing through its center. The segment is shaded grey and has two small arrows pointing towards the center of the circle, labeled 'IN' on both sides. A horizontal line segment also passes through the center, perpendicular to the vertical one.

The logo for WPT Architecture Inc. is positioned in the top right corner. It features a graphic of a leafy branch on the left, rendered in a dark grey or black color. To the right of the graphic, the company name is written in a large, serif, all-caps font. The name is divided into three lines: 'WPT' on the top line, 'ARCHITECTURE' on the middle line, and 'INC' on the bottom line. A solid horizontal line runs across the page below the company name.

| | |
|----------------------------|--------------------|
| PROJECT #: 022.0076.01 | MUNICIPAL #: |
| PROJECT #: | CLIENT CONTRACT #: |
| PROJECT NAME AND LOCATION: | |

VICTORIA SELF STORAGE INC
21, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

NAME: _____

SITE PLAN EXISTING

200
N BY:
AF

SHEET #: A100X

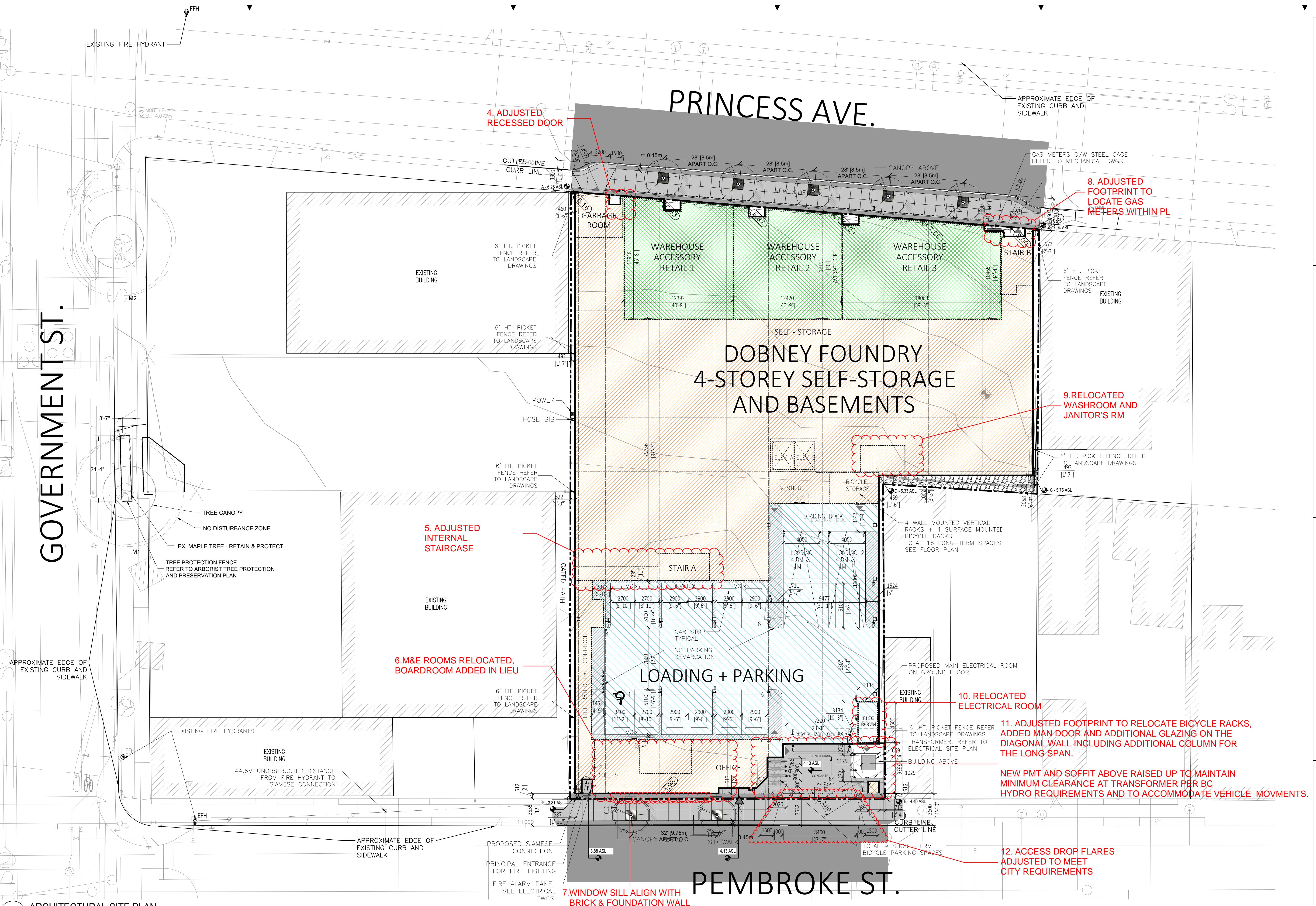
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GOVERNMENT ST.

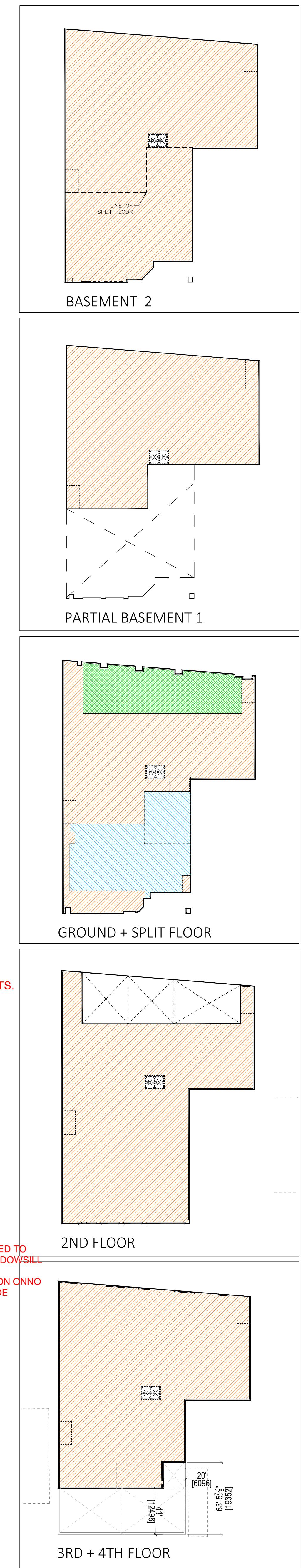
PRINCESS AVE.

DOBNEY FOUNDRY
4-STOREY SELF-STORAGE
AND BASEMENTS

PEMBROKE ST.



| PROJECT INFORMATION TABLE | | ITEM | REQUIRED/PERMITTED | PROPOSED | |
|--|---------------------|------|-----------------------------|--|--|
| | | | | M2-1 Zone, DOUGLAS-BLASHARD INDUSTRIAL DISTRICT | |
| SITE AREA (m ²) | | | N/A | 2,932 | |
| TOTAL FLOOR AREA (m ²)* | | | | 8,682 | |
| WAREHOUSE ACCESSORY RETAIL (m ²) | | | | 516 | |
| FLOOR SPACE RATIO | | | Max 3.0 | 2.96 | |
| SITE COVERAGE % | | | N/A | 93.10% | |
| OPEN SITE SPACE % | | | N/A | 6.9% | |
| HEIGHT OF BUILDING (m) | | | 15m | 14.952m | |
| NUMBER OF STOREYS | | | N/A | 4 Floors + 1 Partial Basement + 1 Full Basement | |
| PARKING STALLS (NUMBER) ON SITE | | | N/A | 13,083 | |
| WAREHOUSE BUILDING AREA (m ²)** | | | N/A | 13,083 | |
| WAREHOUSE ACCESSORY RETAIL AREA (m ²)*** | | | N/A | 516 | |
| WAREHOUSE ** | | | 131 | 12 INTERIOR PARKING SPACES 2 LOADING BAYS | |
| WAREHOUSE ACCESSORY RETAIL *** | | | 6 | 3 ADDITIONAL PARKING SPACES WHEN LOADING BAYS ARE NOT IN USE FOR A TOTAL OF 15 PARKING SPACES. | |
| STREET PARKING | | | | | |
| ACCESSIBLE PARKING SPACES | | | | | |
| STANDARD | 0 | | 1 VAN | | |
| VAN | 1 | | | | |
| ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE (****) | | | | | |
| 2 OR 5% OF TOTAL REQUIRED VEHICLE PARKING | 8 | | 8 | | |
| BICYCLE PARKING (STORAGE AND RACK) | | | | | |
| RETAIL *** | SHORT TERM | | 9 SHORT TERM + 16 LONG TERM | | |
| WAREHOUSE | LONG TERM | | | | |
| WAREHOUSE | SHORT TERM | | 9 | | |
| | LONG TERM | | | | |
| BUILDING SETBACKS (m) | | | | | |
| FRONT YARD (PEMBROKE STREET) | No setback required | | 0.612m | | |
| REAR YARD (PRINCESS AVE) | No setback required | | 0 | | |
| SIDE YARD (INTERIOR SIDE) | 3.0m or 0m | | 0.458m | | |
| SIDE YARD (GOVERNMENT STREET) | 3.0m or 0m | | 0.452m | | |
| COMBINED SIDE YARDS | N/A | | N/A | | |
| NOTES: | | | | | |
| (*) MEASURED TO INTERIOR FACE OF EXTERIOR WALL, EXCLUDES INTERIOR PARKING + LOADING, PARTIAL BASEMENT 1 & BASEMENT 2, LONG TERM BICYCLE STORAGE AND ELEVATOR SHAFT. | | | | | |
| (***) WAREHOUSE BUILDING AREA FOR PARKING CALCULATION INCLUDES ALL FLOORS, OFFICE, PARTIAL BASEMENT 1 & BASEMENT 2; EXCLUDES INTERIOR PARKING + LOADING AND WAREHOUSE ACCESSORY RETAIL (1 SPACE X 100m ²). | | | | | |
| (***) WAREHOUSE ACCESSORY RETAIL USE PARKING CALCULATION BASED ON RETAIL (1 SPACE X 80m ²). | | | | | |
| ****) EVCI (ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE) 240V (30 AMP). | | | | | |



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| | | |
|----|------------|---|
| 40 | 2024-01-02 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 39 | 2024-01-02 | ISSUED FOR ADDENDUM 0 |
| 38 | 2024-01-09 | FOR TENDER |
| 37 | 2024-01-26 | FOR CLIENT REVIEW |
| 36 | 2024-01-09 | ISSUED FOR PERMIT |
| 35 | 2024-01-27 | FOR COORDINATION |
| 34 | 2024-01-08 | FOR 70% DRAWING REVIEW |
| 33 | 2024-01-26 | FOR COORDINATION |
| 32 | 2024-01-05 | FOR DEVELOPMENT PERMIT |
| * | YYYY-MM-DD | REVISIONS |

DESIGNER:
CIVIL:
ELECTRICAL:
MECHANICAL:
STRUCTURAL:
LANDSCAPE:

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250 ROWNTREE DAIRY RD,
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SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

SmartStop
Self Storage

SMARTCENTRES
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VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT'S SEAL:

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2024-01-02
MUNICIPAL #: 2024-01-02

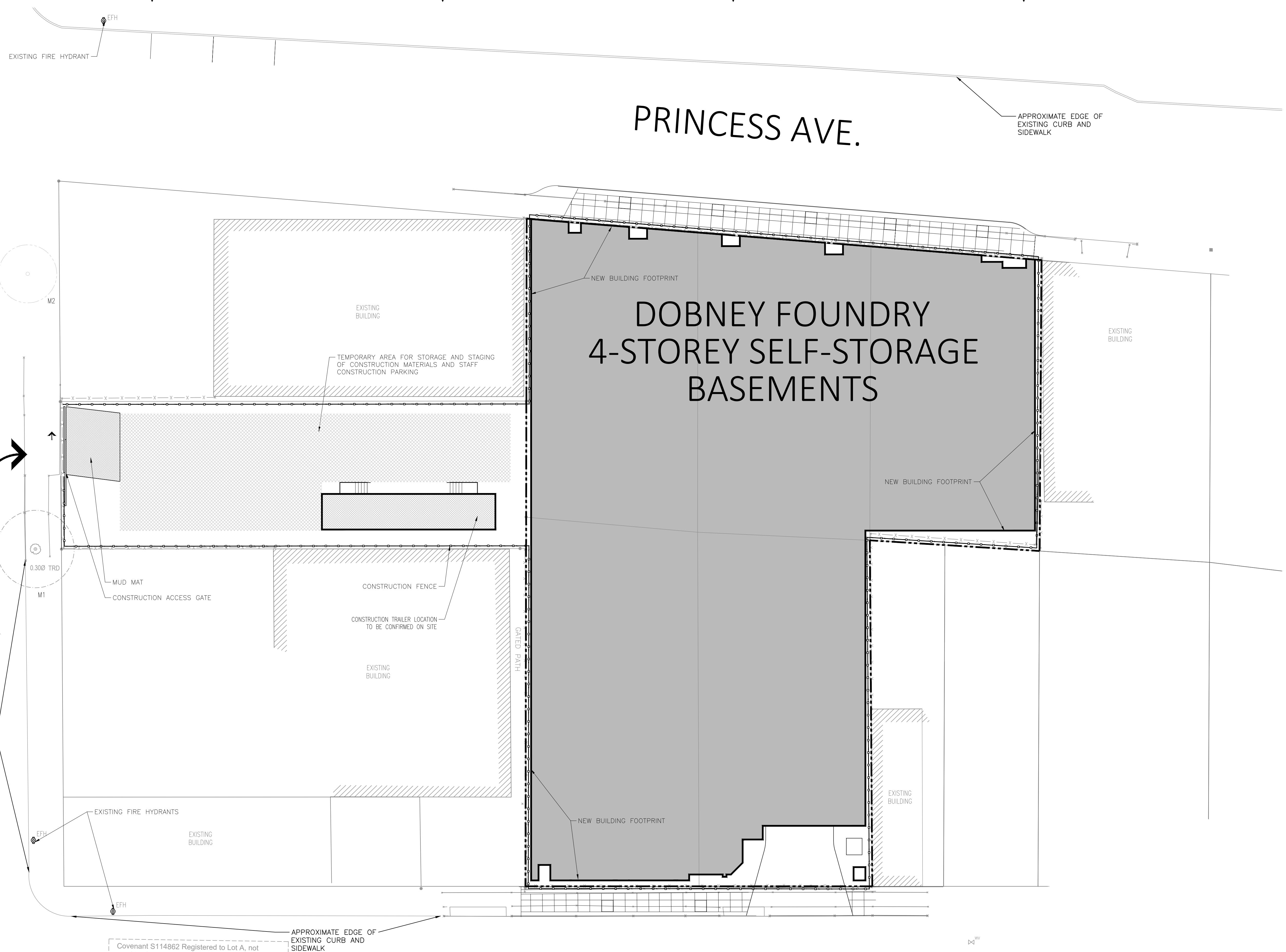
CLIENT PROJECT #: 2024-01-02
CLIENT CONTRACT #: 2024-01-02

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
ARCHITECTURAL SITE PLAN

SCALE: 1:200 SHEET #:
DRAWN BY: XGM
A100

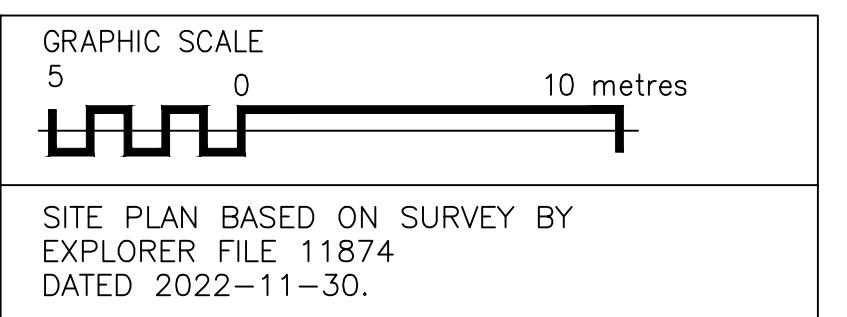
GOVERNMENT ST.



1 CONSTRUCTION MANAGEMENT PLAN
A101A SCALE: 1:200

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 • DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONTRACT DOCUMENTS.
 • DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STATED AND SIGNED BY THE ARCHITECT AND CONTRACTOR.
 • CONTRACTOR TO CONSTRUCT IN ACCORDANCE WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
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SITE PLAN BASED ON SURVEY BY EXPLORER FILE 11874 DATED 2022-11-30.

TIMEFRAME:
17 MONTHS CONSTRUCTION PERIOD

| | | |
|---|------------|---|
| 9 | 2024-01-02 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 8 | 2024-01-22 | ISSUED FOR ADDENDUM 0 |
| 7 | 2023-03-05 | FOR DEVELOPMENT PERMIT |
| 6 | 2023-02-20 | FOR DEVELOPMENT PERMIT |
| 5 | 2023-03-05 | FOR DEVELOPMENT PERMIT |
| 4 | 2023-08-05 | FOR DEVELOPMENT PERMIT |
| 3 | 2023-08-21 | FOR DEVELOPMENT PERMIT |
| 2 | 2023-04-14 | FOR DEVELOPMENT PERMIT |
| 1 | 2023-04-06 | FOR DISCUSSION |
| * | YYYY-MM-DD | REVISIONS |

DESIGNER:

CIVIL:

ELECTRICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

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TEL: 905 507 0800

STRUCTURAL:

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VICTORIA, BC.
TEL: 250 386 7794

LANDSCAPE:

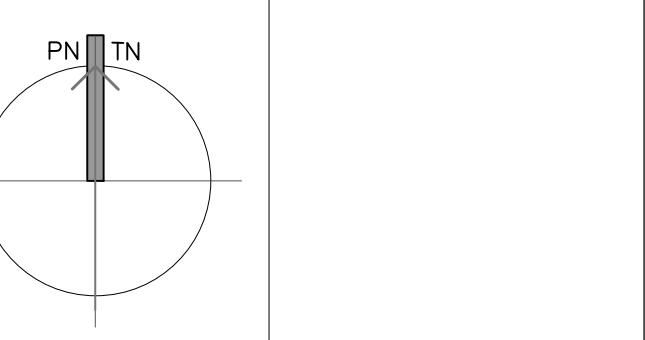
PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5C6G9
TEL: 604.294.0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
ARCHITECT'S SEAL:WPT PROJECT #: 2024-0076-01
MUNICIPAL #: 621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET

CLIENT CONTRACT #: VICTORIA, BRITISH COLUMBIA


PROJECT NAME AND LOCATION:

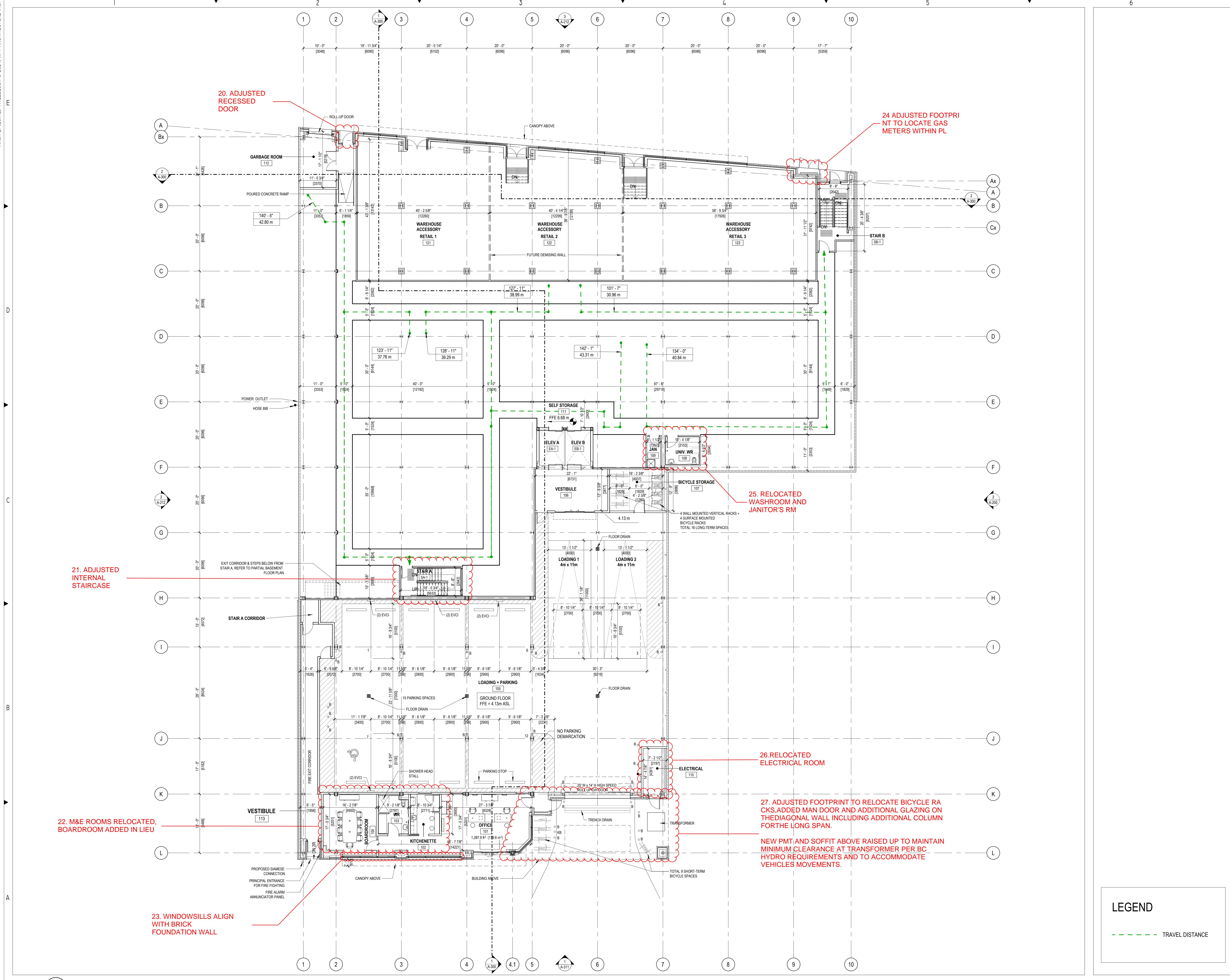
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

CONSTRUCTION
MANAGEMENT PLAN

SCALE: 1:200
DRAWN BY: AF
SHEET #: A101





DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

TRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, ENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, ANDIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TOCEEDING WITH THE WORK.

UMENTS ARE TO BE READ IN CONJUNCTION WITH ALL SULTANTS' DOCUMENTATION.

NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR STRCTION UNLESS INDICATED AS "FOR CONSTRUCTION" ANDMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.

TRACTOR AND CONSTRUCTION MUST COMPLY WITH TINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL ULATORY REQUIREMENTS.

OCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS. MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN MISSION.

| | |
|------------|---|
| | |
| 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 2024.03.22 | FOR DEVELOPMENT PERMIT |
| 2024.03.05 | FOR DEVELOPMENT PERMIT |
| 2023.12.20 | FOR DEVELOPMENT PERMIT |
| 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 2023.04.21 | FOR DEVELOPMENT PERMIT |
| 2023.04.14 | FOR DISCUSSION |
| YYYY-MM-DD | REVISIONS |

TRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

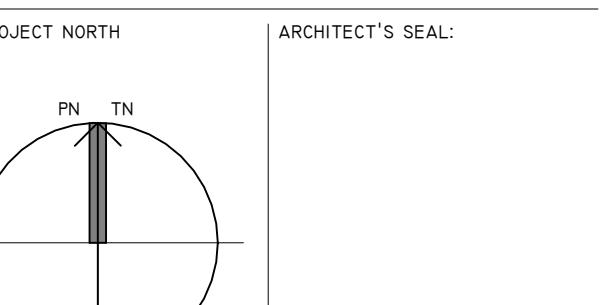
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL : 604 533 2992

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604/221-2211

The image contains two logos. On the left is the SmartStop Self Storage logo, which features the word "SmartStop" in a blue, lowercase, sans-serif font with a registered trademark symbol. Above "SmartStop" is a stylized yellow sunburst graphic. Below "SmartStop" is the words "Self Storage" in a smaller, blue, lowercase, sans-serif font. On the right is the SmartCentres Real Estate Investment Trust logo, which features a circular graphic of a penguin's head in black and orange. Below the graphic, the word "SMARTCENTRES" is written in a large, bold, orange, uppercase, sans-serif font, with a registered trademark symbol. Underneath "SMARTCENTRES" is the words "REAL ESTATE INVESTMENT TRUST" in a smaller, black, uppercase, sans-serif font.



| | |
|-------------|--------------------|
| PROJECT #: | MUNICIPAL #: |
| 022.0076.01 | |
| PROJECT #: | CLIENT CONTRACT #: |

JECT NAME AND LOCATION:
TORIA SELF STORAGE INC
627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET

VICTORIA, BRITISH COLUMBIA

ROUND & SPLIT GROUND

FLOOR PLAN

1: SHEET #:
" = 1'-0"
N BY: A-|||A

" = 1'-0"
N BY:


A-|||A

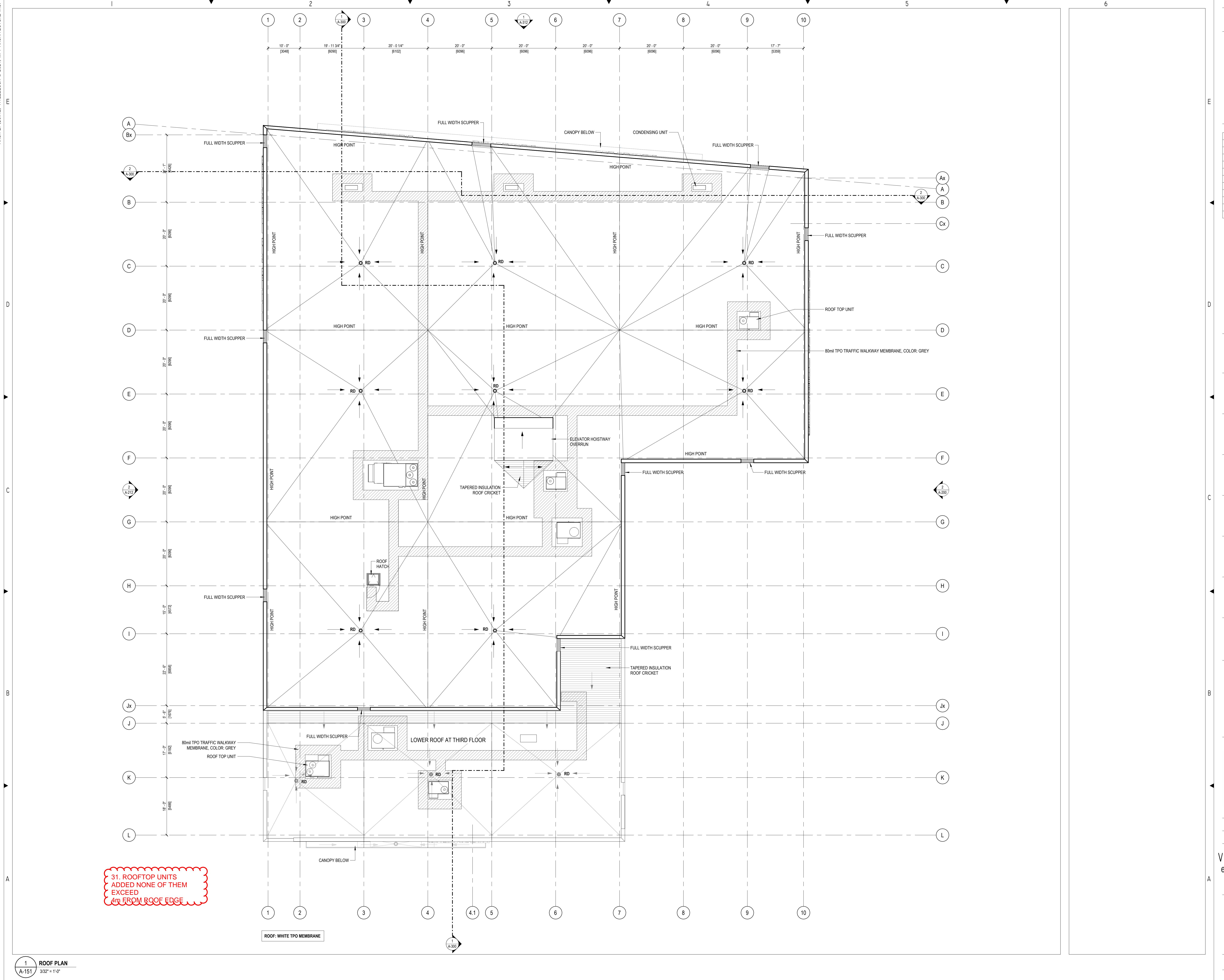
LEGEND

TRAVEL DISTANCE

FLOOR PLAN

1 GROUND & SPLIT GROUND FLOOR PLAN
A-111A 3/32" = 1'-0"





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FOR DELEGATED DEVELOPMENT PERMIT
GENERAL NOTES TYPICAL:
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| DATE | DESCRIPTION |
|------|------------------------|
| 7 | 2024.11.12 |
| 6 | 2024.03.22 |
| 5 | 2024.03.20 |
| 4 | 2023.12.20 |
| 3 | 2023.10.31 |
| 2 | 2023.08.15 |
| 1 | 2023.04.21 |
| | FOR DEVELOPMENT PERMIT |

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

RJC:

1515 DOUGLAS STREET, SUITE 350

VICTORIA, BC.

TEL: 250 386 7794

WSP:

100-20339 96 AVENUE

LANGLEY, BC.

TEL: 604 533 2992

PMG:

4185 STILL CREEK DRIVE, SUITE C100

BURNABY, BC.

TEL: 604 294 001

CLIENT LOGO:

SmartStop Self Storage

SMARTCENTRES

REAL ESTATE INVESTMENT TRUST

CLIENT:

SMARTCENTRES

3200 HIGHWAY 7, SUITE 230

VAUGHAN, ON, L4K 5Z5

TEL: 905 326 6400

PN: PROJECT NORTH

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:

WPT ARCHITECTURE INC

wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC

621, 627, 629 PRINCESS AVENUE AND

616, 624 PEMBROKE STREET

VICTORIA, BRITISH COLUMBIA

SHEET NAME:

ROOF PLAN

SCALE: 3/32" = 1'-0"

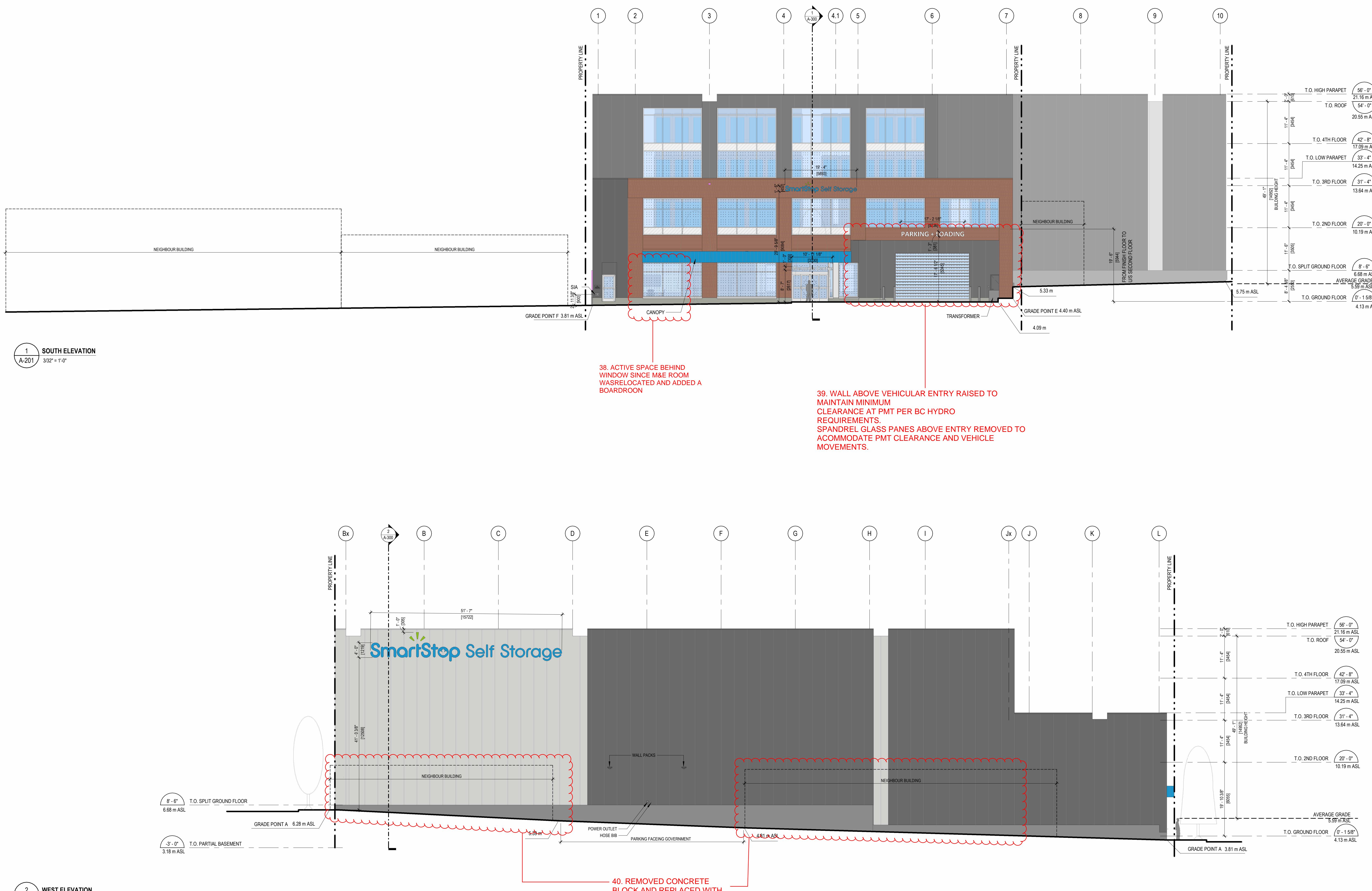
DRAWN BY: PM

SHEET #: A-151

GENERAL NOTES TYPICAL:

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| | | |
|---|------------|---|
| 8 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 7 | 2024.03.20 | FOR DEVELOPMENT PERMIT |
| 6 | 2023.12.20 | FOR DEVELOPMENT PERMIT |
| 5 | 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 4 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 3 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| 2 | 2023.04.14 | FOR DEVELOPMENT PERMIT |
| 1 | 2023.04.06 | FOR DISCUSSION |
| | | ## YYYY-MM-DD REVISIONS |



PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
SOUTH AND WEST EXTERIOR ELEVATIONS

SCALE:
3/32" = 1'-0"
DRAWN BY:
KB

A-201

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

SmartStop Self Storage **SMARTCENTRES**
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: ARCHITECT'S SEAL:
PN TN

TN: TRUE NORTH
ARCHITECT:
WPT ARCHITECTURE INC

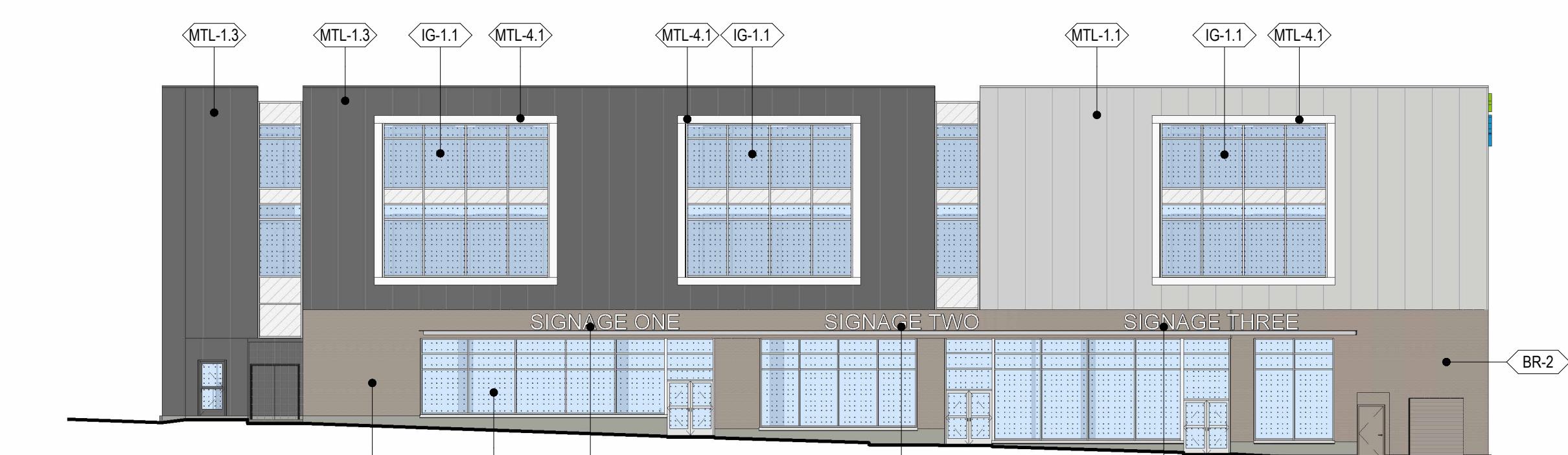
WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:
wpt@wptarchitecture.ca

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

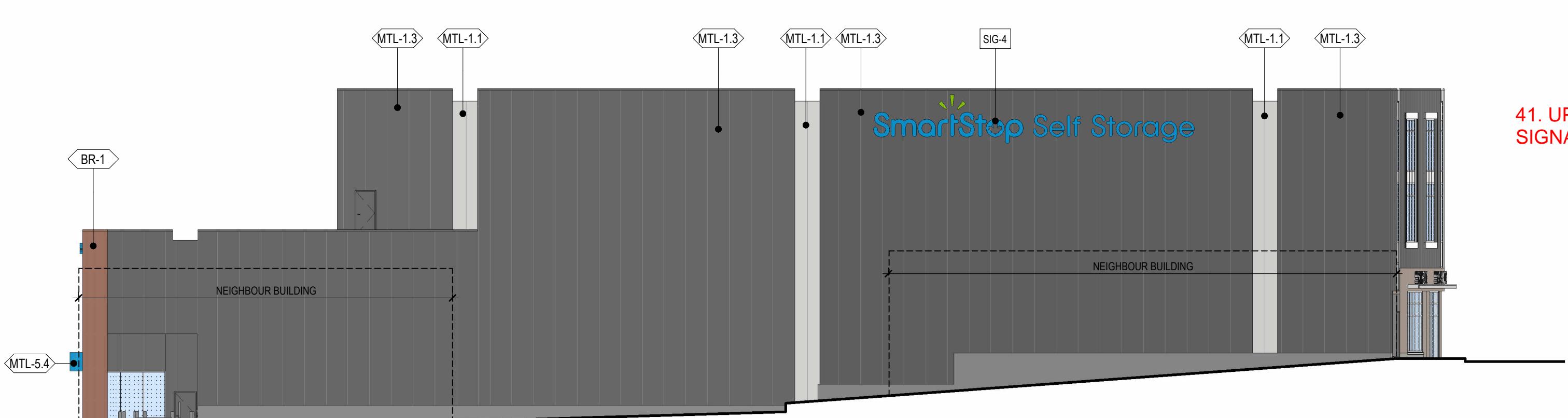
SHEET NAME:
SOUTH AND WEST EXTERIOR ELEVATIONS

SCALE:
3/32" = 1'-0"
DRAWN BY:
KB

A-201



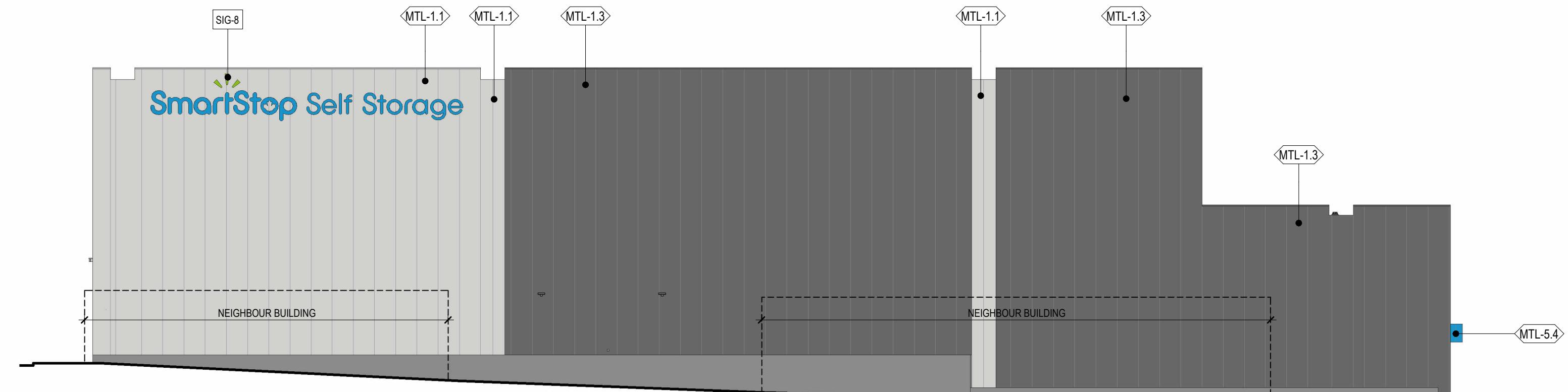
1 NORTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



2 EAST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



3 SOUTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



4 WEST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"

BY LAW NO. 14-097 | ARTERIAL COMMERCIAL SIGN ZONE

A fascia sign shall not have a display surface exceeding 9 m² (96.88 sq ft).

NORTH ELEVATION

SIGNAGE 1 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.0 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 2 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.4 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 3 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.7 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 22.6 sq. ft. (2.1 m²)

EAST ELEVATION

SIGNAGE 4 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 13 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)

SOUTH ELEVATION

SIGNAGE 5 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 9 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 23.4 sq. ft. (2.17 m²)

SIGNAGE 6 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 2.6 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 4.3 sq. ft. (0.4 m²)

SIGNAGE 7 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 5.3 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 11 sq. ft. (1.02 m²)

WEST ELEVATION

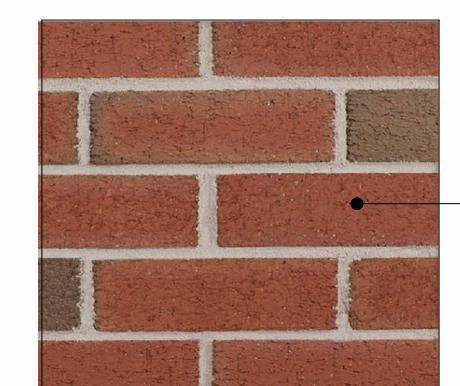
SIGNAGE 8 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 12.5 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)

5 MTL-1.1
INSULATED METAL PANEL
ACCENT PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7064 "PASSIVE"

6 MTL-4.1
ALUMINUM COMPOSITE PANEL
DISPLAY FEATURE WALL
ORIENTATION - HORIZONTAL/VERTICAL
COLOUR - WHITE

7 MTL-1.3
INSULATED METAL PANEL
MAIN PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7674 "PEPPERCORN"

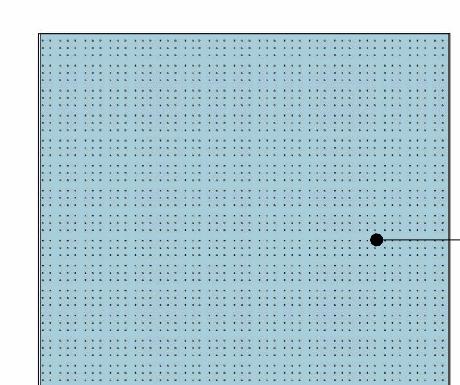
8 MTL-5.4
METAL LINEAR PANEL
CANOPY FASCIA & SOFFIT
ORIENTATION - VERTICAL
COLOUR - PMS 7461 "SMARTSTOP BLUE"



9 BR-1
BRICK MASONRY
SELECT AREAS AT BASE OF BUILDING
COLOUR - COLOUR - 200 FLASHED MATT



10 BR-2
BRICK MASONRY
SELECT AREAS AT BASE OF BUILDING
COLOUR - COLOUR - VIVACE PRP MILANO



11 IG-1.1
CLEAR GLAZING
CURTAIN WALL
COLOUR - LIGHT BLUE

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| | | |
|---|------------|---|
| 7 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 6 | 2024.10.23 | ISSUED FOR BUILDING PERMIT COMMENTS |
| 5 | 2024.10.15 | ISSUED FOR SIGNAGE TENDER |
| 4 | 2024.10.10 | ISSUED FOR TENDER |
| 3 | 2024.09.03 | ISSUED FOR PERMIT |
| 2 | 2024.08.08 | ISSUED FOR 70% SUBMISSION |
| 1 | 2024.05.05 | FOR DEVELOPMENT PERMIT |
| | YYYY-MM-DD | REVISIONS |

CIVIL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

RJC
1515 DOUGLAS STREET, SUITE 330
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TEL: 250 386 7794

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100-20339 96 AVENUE
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TEL: 604 533 2992

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4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA
SHEET NAME:
EXTERIOR FINISHES

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

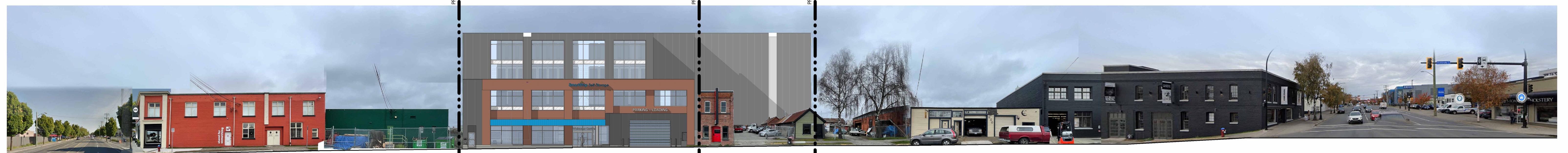
SHEET NAME:

EXTERIOR FINISHES

SCALE: 1/16" = 1'-0"

DRAWN BY: KB

SHEET #: A-210



1 SOUTH- PEMBROKE STREET
A-212 1:275



2 WEST - GOVERNMENT STREET
A-212 1:275



3 NORTH - PRINCESS AVENUE
A-212 1:275

43. REFER TO PAGE A-200 & A-201 FOR NOTES ON NORTH, SOUTH, EAST AND WEST ELEVATIONS

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| | | |
|---|------------|---|
| 6 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
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| 4 | 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 3 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 2 | 2023.04.14 | FOR DISCUSSION |
| 1 | 2023.04.06 | FOR DISCUSSION |
| # | YYYY-MM-DD | REVISIONS |

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage **SMARTCENTRES**
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH | ARCHITECT'S SEAL:
PN TN

TN: TRUE NORTH
ARCHITECT:

WPT PROJECT #: 2022.0076.01 | MUNICIPAL #:
CLIENT PROJECT #: | CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
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VICTORIA, BRITISH COLUMBIA

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VICTORIA, BRITISH COLUMBIA

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VICTORIA, BRITISH COLUMBIA

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616, 624 PEMBROKE STREET
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PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

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621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 6

NOTES TYPICAL:

ER IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS OR DEFICIENCIES TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WITH THE WORK.

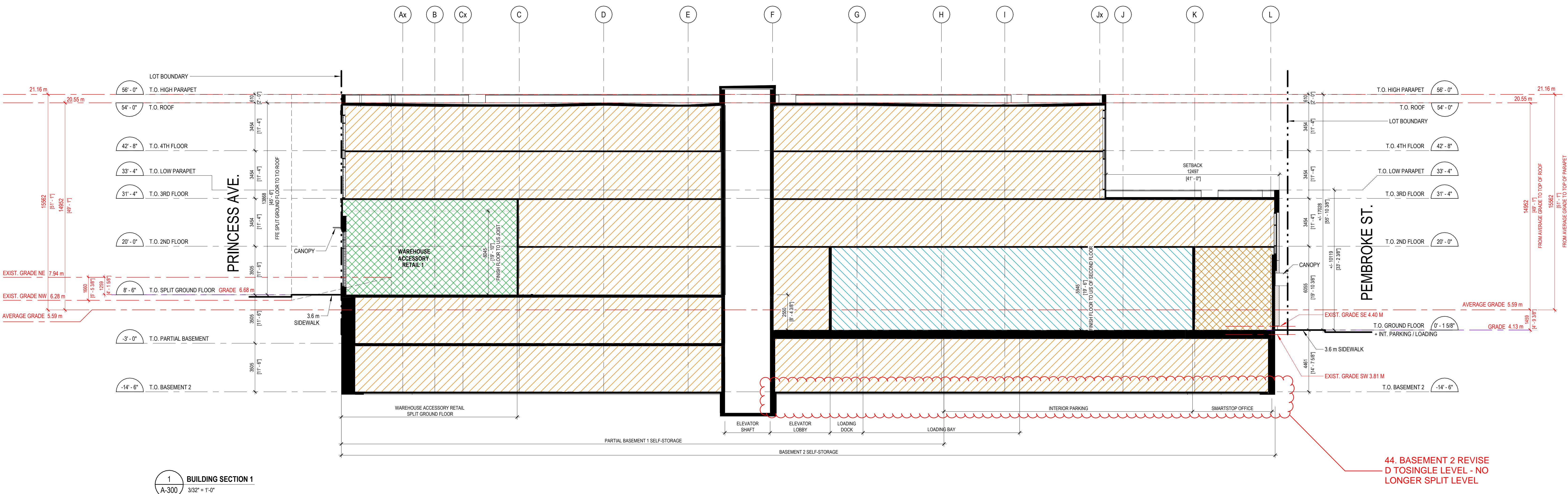
NOTES ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION.

DO NOT USE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND SIGNED BY THE ARCHITECT AND CONSULTANTS.

CONSTRUCTION AND CONSTRUCTION MUST COMPLY WITH APPROPRIATE LOCAL, STATE, PROVINCIAL AND FEDERAL BUILDING CODES, BYLAWS, PROVINCIAL AND FEDERAL ENVIRONMENTAL REQUIREMENTS.

NOTES REMAIN THE PROPERTY OF THE CONSULTANTS AND CANNOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

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| 1.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 3.05 | FOR DEVELOPMENT PERMIT |
| 2.20 | FOR DEVELOPMENT PERMIT |
| 0.31 | FOR DEVELOPMENT PERMIT |
| 3.15 | FOR DEVELOPMENT PERMIT |
| 4.21 | FOR DEVELOPMENT PERMIT |
| 4.14 | FOR DISCUSSION |
| 4.06 | FOR DISCUSSION |
| | |
| M-DD | REVISIONS |



BUILDING SECTION 1
1
A-300 $3/32'' = 1'-0''$

BASEMENT 2 REVISE SINGLE LEVEL - NO GER SPLIT LEVEL

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.

TEL. 905-667-3333

TEL: 905 507 0800

W
ELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

35 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

TEL: 905 526 6400

The logo for WPT Architecture Inc. is positioned in the bottom right corner. It features a stylized graphic of three leaves on the left, rendered in black and white. To the right of the graphic, the letters "WPT" are stacked vertically in a large, serif font. Below "WPT", the words "ARCHITECTURE" and "INC." are stacked in a smaller, all-caps serif font. A thin horizontal line is located below the word "INC.".

| | |
|----------|--------------|
| TRACT #: | MUNICIPAL #: |
| 76.01 | |

ME AND LOCATION:

IA SELF STORAGE INC

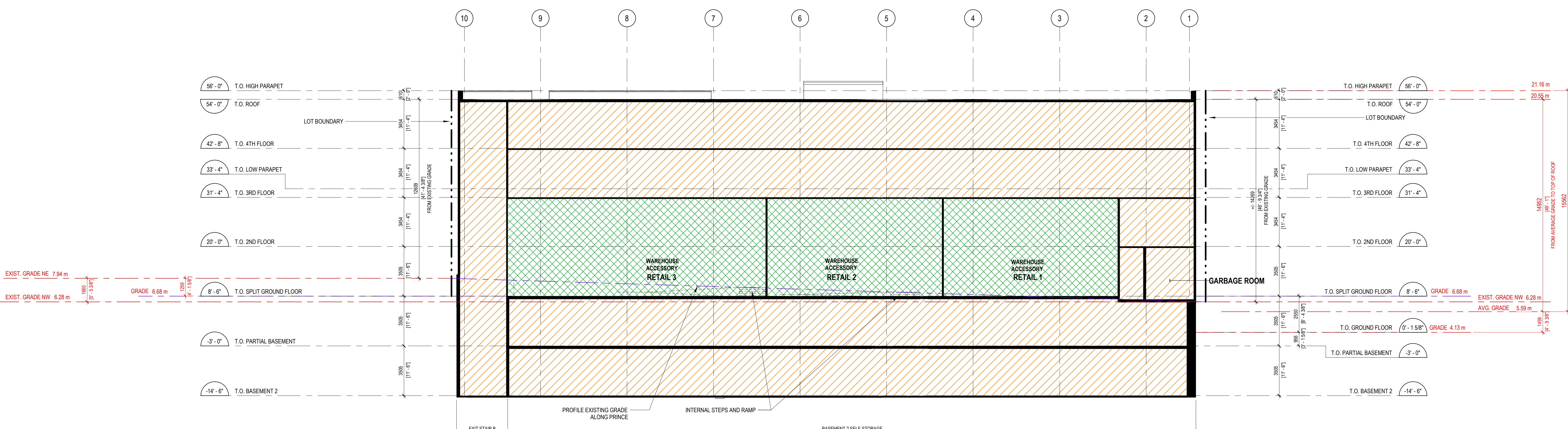
629 PRINCESS AVENUE AND
616-624 PEMBROKE STREET

Victoria, British Columbia

BUILDING SECTIONS

SHEET #:

A-300



2 **BUILDING SECTION 2**
A-300 3/32" = 1'-0"

NOTE: ALL GRADING TO BE CONFIRMED AT SITE

SHEET #:



VIEW FROM PRINCESS AVENUE LOOKING SOUTH-WEST AT THE NORTH FAÇADE

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FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTS.
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- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

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| 6 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 5 | 2024.03.05 | FOR DEVELOPMENT PERMIT |
| 4 | 2023.12.20 | FOR DEVELOPMENT PERMIT |
| 3 | 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| | ## YYYY-MM-DD | REVISIONS |

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
 
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH | ARCHITECT'S SEAL:
PN TN

TN: TRUE NORTH
ARCHITECT:

 **WPT
ARCHITECTURE
INC**
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 | MUNICIPAL #:
CLIENT PROJECT #: | CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE: | SHEET #:
DRAWN BY: | PM
A-400



VIEW FROM PEMBROKE STREET LOOKING NORTH-WEST AT THE SOUTH FAÇADE

48. UPDATED 3D VIEW

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FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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| 3 | 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| | | ## YYYY-MM-DD REVISIONS |

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage 
SMARTCENTRES 
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH | ARCHITECT'S SEAL:
PN TN

TN: TRUE NORTH
ARCHITECT:


WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 | MUNICIPAL #:
CLIENT PROJECT #: | CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE: | SHEET #:
DRAWN BY: | A.F. | A-401

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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| 6 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT | |
| 5 | 2024.03.05 | FOR DEVELOPMENT PERMIT | |
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| 3 | 2023.10.31 | FOR DEVELOPMENT PERMIT | |
| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT | |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT | |
| | ## | YYYY-MM-DD | REVISIONS |



STREET LEVEL VIEW ON PEMBROKE STREET

| | |
|----------------|--------------|
| WPT PROJECT #: | MUNICIPAL #: |
| 2022.0076.01 | |

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

| | |
|-------------------|----------|
| SCALE: | SHEET #: |
| DRAWN BY: A.F. | |

A-402



STREET LEVEL VIEW ON PRINCESS AVENUE

50 UPDATED 3D VIEW

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GENERAL NOTES TYPICAL:

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| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| | | ## YYYY-MM-DD REVISIONS |

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop Self Storage **SMARTCENTRES**
REAL ESTATE INVESTMENT TRUST
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH | ARCHITECT'S SEAL:
PN TN
TN: TRUE NORTH
ARCHITECT:

WPT PROJECT #: 2022.0076.01 | MUNICIPAL #:
CLIENT PROJECT #: | CLIENT CONTRACT #:
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

PERSPECTIVE VIEW

SCALE: SHEET #:

DRAWN BY: SHEET #:

PM A-403



AERIAL VIEW LOOKING NORTH-EAST AT THE PROPOSED BUILDING IN CONTEXT

51. UPDATED 3D-AERIALVIEW

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GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| | ## YYYY-MM-DD | REVISIONS |

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001CLIENT LOGO:
SmartStop Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH | ARCHITECT'S SEAL:

PN TN

TN: TRUE NORTH
ARCHITECT:


WPT
ARCHITECTURE
INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 | MUNICIPAL #:
CLIENT PROJECT #: | CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA
SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:
DRAWN BY: PM
A-410

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT | | |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT | | |
| | ## YYYY-MM-DD | REVISIONS | | |

52. UPDATED 3D-AERIAL VIEW



AERIAL VIEW LOOKING NORTH-WEST AT THE PROPOSED BUILDING IN CONTEXT

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:

CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:

DRAWN BY: PM

A-411

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B

B

A

CIVIL:

ELECTRICAL: QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL: QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL: RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE: WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING: PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO: SmartStop Self Storage SMARTCENTRES
REAL ESTATE INVESTMENT TRUST
CLIENT: SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
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PN TN

TN: TRUE NORTH
ARCHITECT:

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:
CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:

DRAWN BY: PM

A-411

1 2 3 4 5 6

PERSPECTIVE VIEW LOOKING NORTH-EAST AT SOUTH WEST CORNER



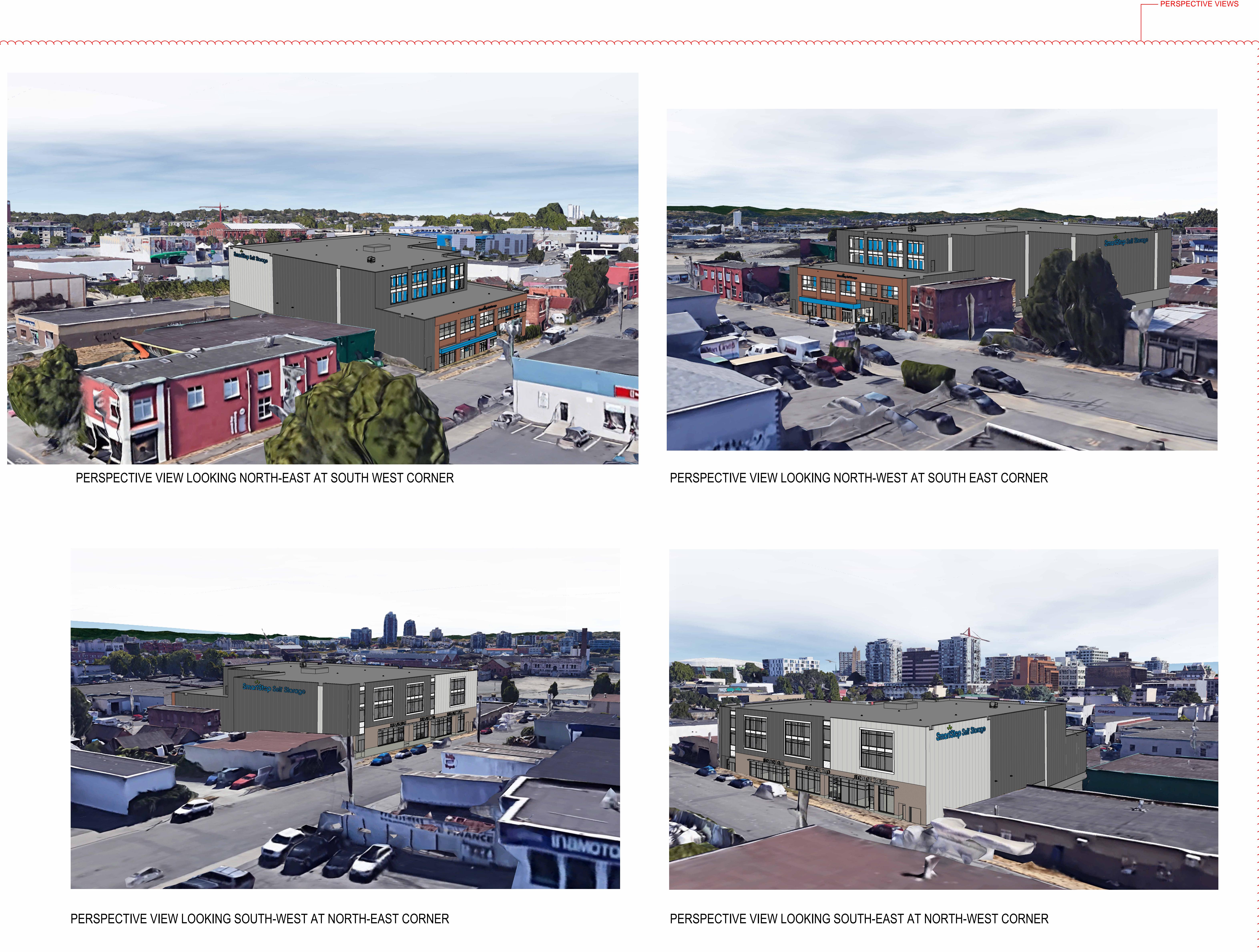
PERSPECTIVE VIEW LOOKING SOUTH-WEST AT NORTH-EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-EAST AT NORTH-WEST CORNER



PERSPECTIVE VIEW LOOKING NORTH-WEST AT SOUTH EAST CORNER



GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANTS IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTS.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

| | | |
|---|------------|---|
| 6 | 2024.11.12 | ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 5 | 2024.03.05 | FOR DEVELOPMENT PERMIT |
| 4 | 2023.12.20 | FOR DEVELOPMENT PERMIT |
| 3 | 2023.10.31 | FOR DEVELOPMENT PERMIT |
| 2 | 2023.08.15 | FOR DEVELOPMENT PERMIT |
| 1 | 2023.04.21 | FOR DEVELOPMENT PERMIT |
| | | ## YYYY-MM-DD REVISIONS |

CIVIL:

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WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
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TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

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4185 STILL CREEK DRIVE, SUITE C100
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PROJECT NORTH

ARCHITECT'S SEAL:

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
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PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D PERSPECTIVES

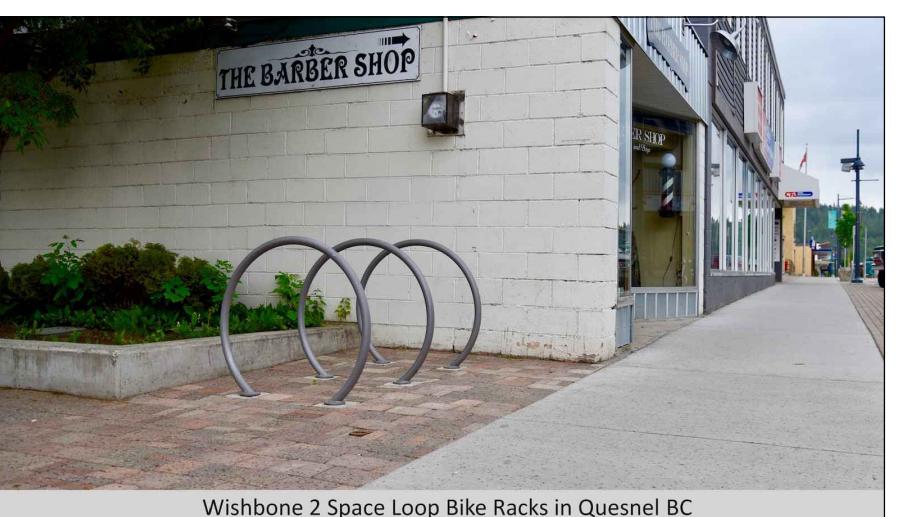
SCALE: SHEET #:
DRAWN BY: PM
A-412

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- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION.
- NO DOCUMENTS ARE TO BE USED FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

| | |
|---|--|
| | |
| 8 | 2024.11.11 ISSUED FOR DELEGATED DEVELOPMENT PERMIT |
| 7 | 2024.03.05 FOR DEVELOPMENT PERMIT |
| 6 | 2023.12.20 FOR DEVELOPMENT PERMIT |
| 5 | 2023.10.31 FOR DEVELOPMENT PERMIT |
| 4 | 2023.08.15 FOR DEVELOPMENT PERMIT |
| 3 | 2023.04.21 FOR DEVELOPMENT PERMIT |
| 2 | 2023.04.14 FOR DISCUSSION |
| 1 | 2023.04.06 FOR DISCUSSION |
| # | YYYY-MM-DD REVISIONS |



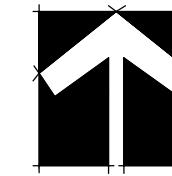


GINKGO BILOBA 'PRINCETON SENTRY'

QUERCUS FRAINETTO 'SCHMIDT'

WISBONE INDUSTRIES:
1. LOG BIKE RACK - LBBP-1 SS MOUNT TO CONCRETE SIDEWALK PAD

OTES:
ITY OF VICTORIA IRRIGATION:
 ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, MUST FOLLOW CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 2-042, SUBDIVISION BYLAW.
 IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION. CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48HRS NOTICE FOR IRRIGATION INSPECTIONS.
 REQUIRED PARKS INSPECTIONS FOR IRRIGATION:
- IRRIGATION SLEEVES PRIOR TO BACKFILLING.
- OPEN TRENCH MAINLINE AND LATERAL LINES.
- PRESSURE TEST.
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).
 NOTE: INSTALLATION OF WATER SERVICE TO BE AT THE EXPENSE OF THE APPLICANT. PARKS IS NOW REQUESTING THAT 100MM SDR PIPE BE USED FOR IRRIGATION SLEEVING UNDER HARD SURFACES. INSTALLATION WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.



2 PLANT SCHEDULE

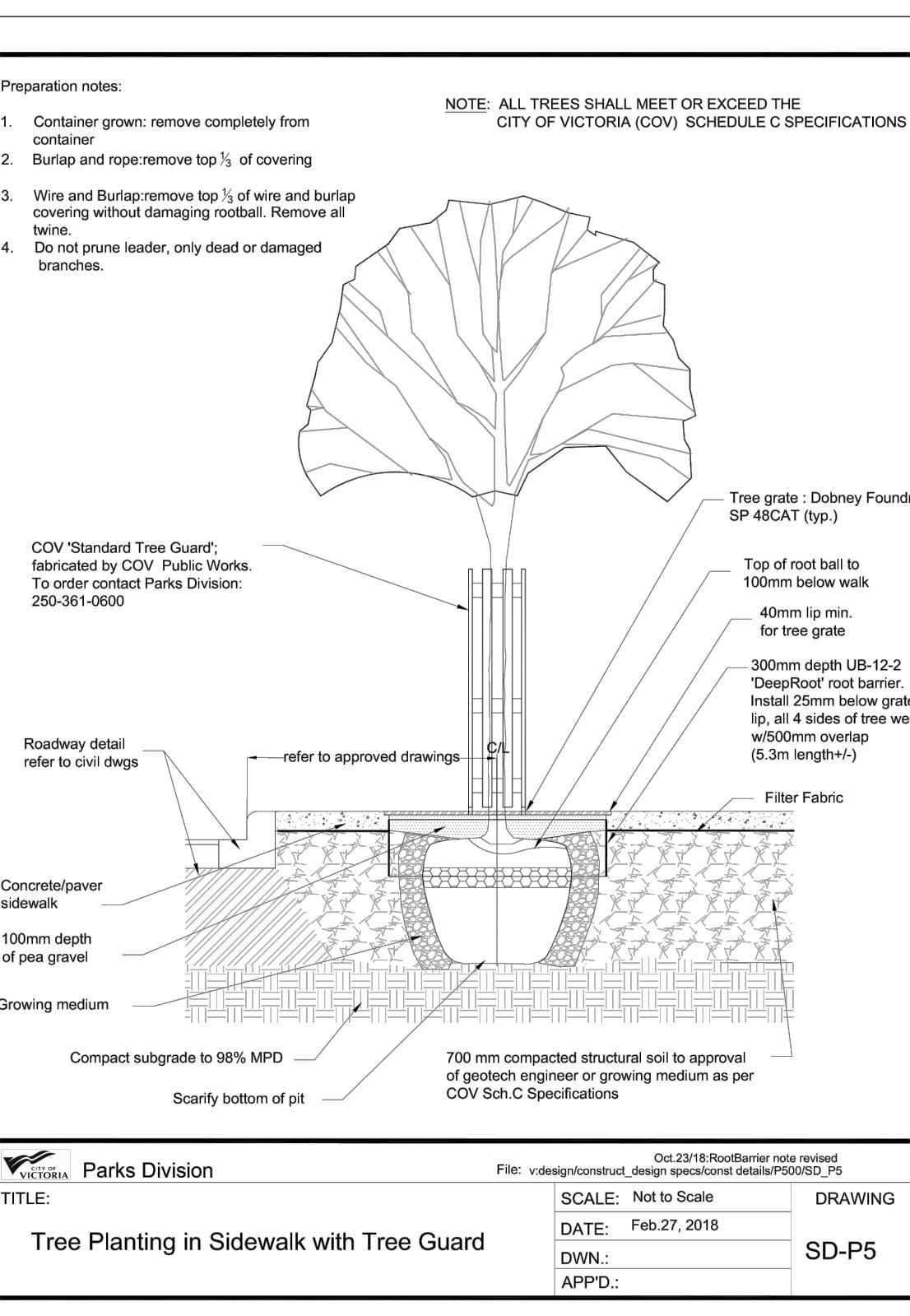
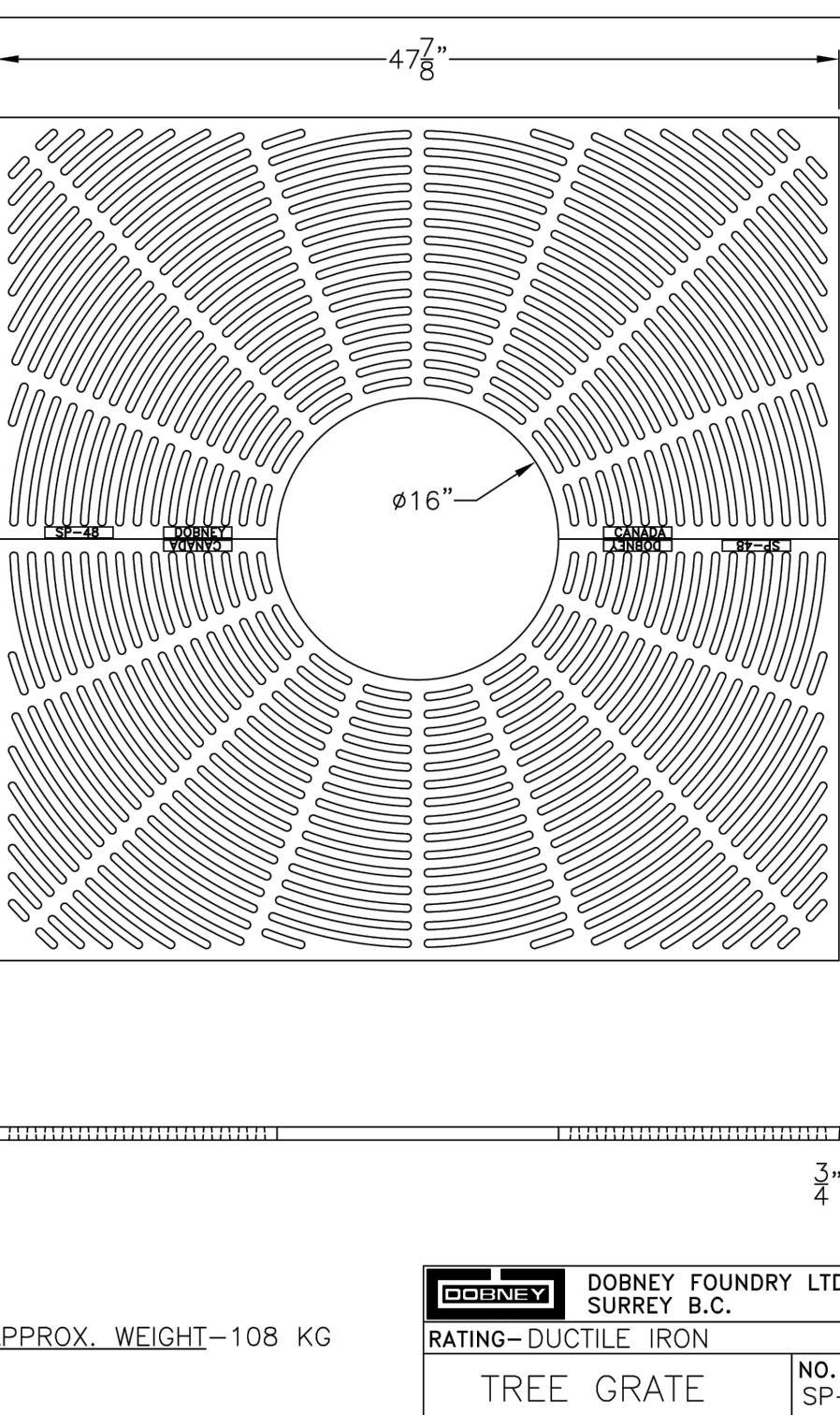
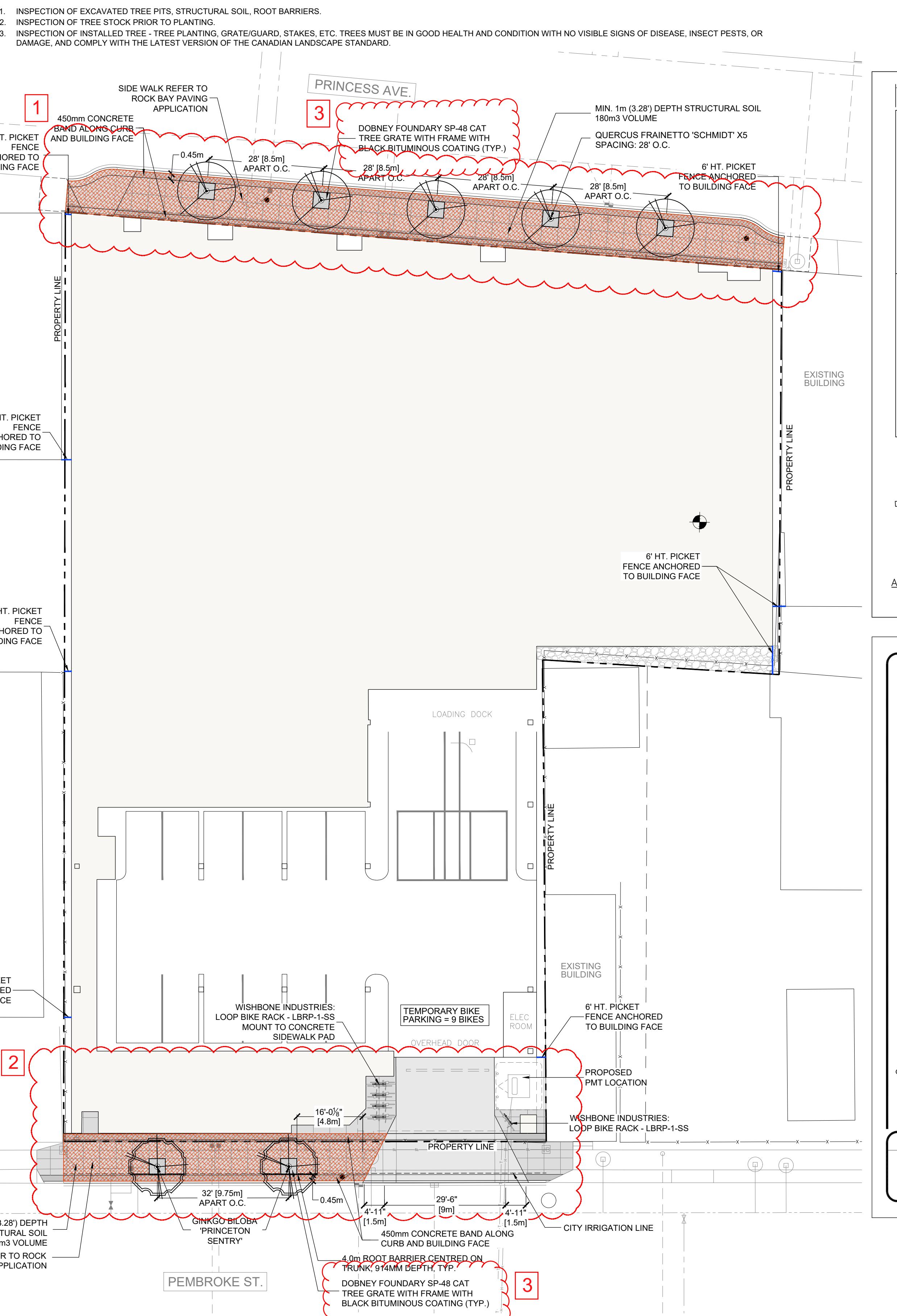
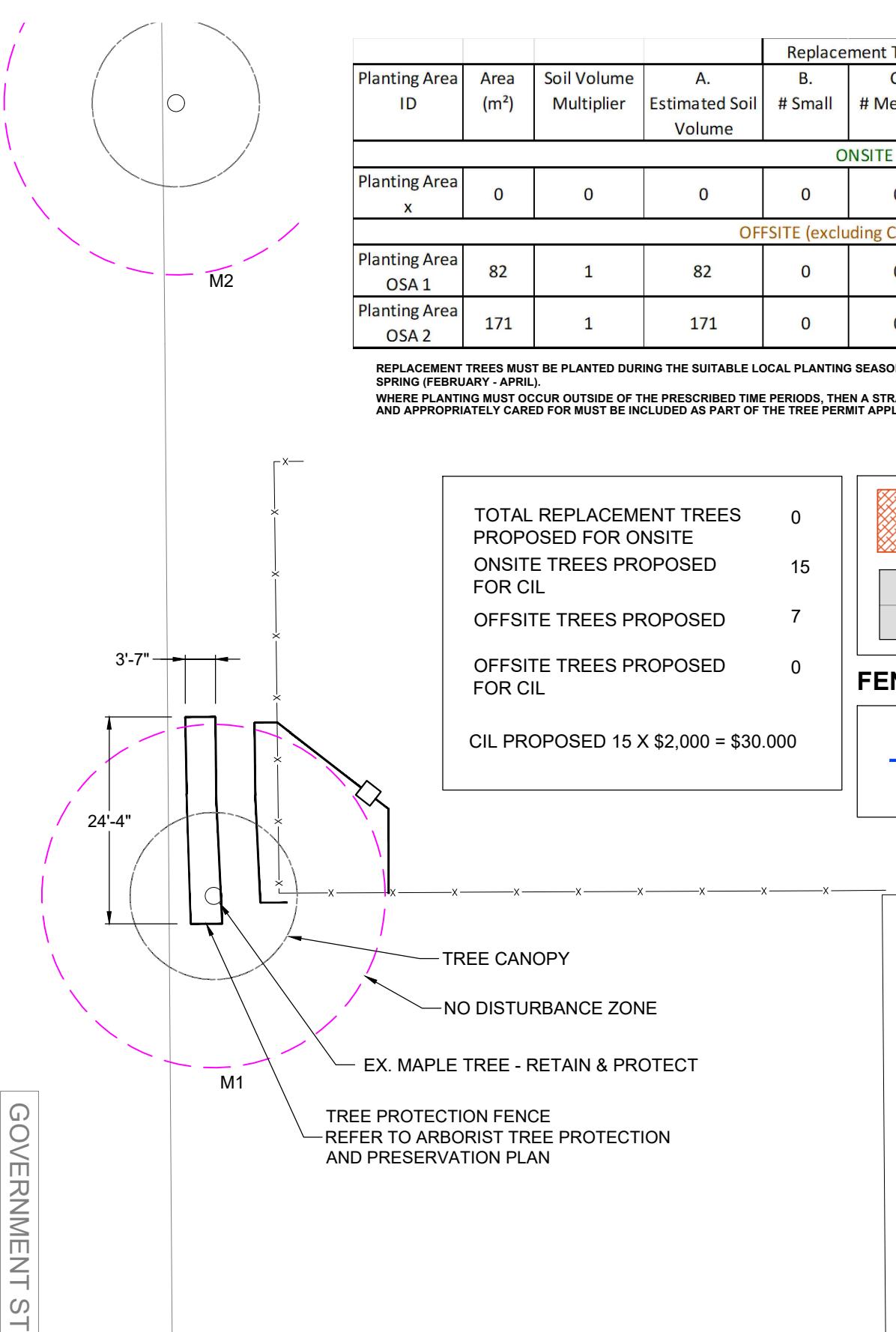
| PLANT SCHEDULE | | | | | PMG PROJECT NUMBER: 23-064 |
|----------------|-----|----------------------------------|-----------------------------|--|----------------------------------|
| KEY | QTY | BOTANICAL NAME | COMMON NAME | PLANTED SIZE / REMARKS | CITY OF VICTORIA SCHEDULE E SIZE |
| TREE | 2 | GINKGO BILOBA 'PRINCETON SENTRY' | PRINCETON SENTRY MAIDENHAIR | 7CM CAL; 2M STD; B&B | LARGE |
| | 5 | QUERCUS FRAINETTO 'SCHMIDT' | HUNGARIAN OAK | 6CM CAL; 1.8M STD; B&B; CLIMATE RESILIENT | LARGE |

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AS SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NOTES:
1. CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CITY OF VICTORIA STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO SUBMISSION TO COV NO LESS THAN 30 DAYS PRIOR TO INSTALLATION.
2. TEMPORARY CONSTRUCTION STAGING AREA TO BE LOCATED AT 2121 GOVERNMENT STREET.

| | | | | Replacement Trees Proposed | | | Soil Volume Required (m ³) | | | |
|--|------------------------|------------------------|--------------------------|----------------------------|-------------|------------|--|-----------|----------|-------|
| Planting Area ID | Area (m ²) | Soil Volume Multiplier | A. Estimated Soil Volume | B. # Small | C. # Medium | D. # Large | E. Small | F. Medium | G. Large | Total |
| ONSITE | | | | | | | | | | |
| Planting Area x | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| OFFSITE (excluding City property) | | | | | | | | | | |
| Planting Area OSA 1 | 82 | 1 | 82 | 0 | 0 | 2 | 0 | 0 | 60 | 60 |
| Planting Area OSA 2 | 171 | 1 | 171 | 0 | 0 | 5 | 0 | 0 | 150 | 150 |

REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL). WHERE PLANTING MUST OCCUR OUTSIDE OF THE PRESCRIBED TIME PERIODS, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED (IN THE SUMMER) AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.



| NO. | DATE | REVISION DESCRIPTION | PR. |
|-----|------------|--------------------------------------|-----|
| 15 | 24.OCT. 25 | NEW SITE PLAN | JL |
| 14 | 24.OCT.21 | ISSUED FOR PERMIT COMMENTS | JL |
| 13 | 24.OCT.07 | RE-ISSUED FOR TENDER | JL |
| 12 | 24.SEP. 24 | ISSUED FOR TENDER | JL |
| 11 | 24.SEP.19 | UPDATE PER COMMENTS | JL |
| 10 | 24.AUG.26 | UPDATE PER COMMENTS | CLG |
| 9 | 24.APR.05 | REV. PER NEW SITE PLAN | BA |
| 8 | 24.MAR.22 | UPDATE BUILDING PLAN | BA |
| 7 | 24.FEB.29 | REV. PER CITY COMMENTS | BA |
| 6 | 24.FEB.27 | REV. PER CITY COMMENTS | BA |
| 5 | 24.JAN.24 | REV. PER PARKS COMMENTS | BA |
| 4 | 23.DEC.18 | SITE PLAN/CITY COMMENTS | BA |
| 3 | 23.OCT.30 | SITE PLAN/CITY COMMENTS | BA |
| 2 | 23.JUL.25 | SHIFT TREE/ ADD SOIL VOLUMES | CW |
| 1 | 23.JUL.21 | REV. PER NEW SITE PLAN/CITY COMMENTS | BA |

CLIENT

PROJECT: **SMARTSTOP SELF STORAGE PEMBROKE ST.**

DRAWING TITLE:
**LANDSCAPE
PLAN**

| | | |
|---------|-----------|------|
| DATE: | 23.APR.17 | DRAW |
| SCALE: | 1:125 | |
| DRAWN: | MM | |
| DESIGN: | MM | |
| CHK'D: | BA | |

L1

| PART ONE - GENERAL | |
|--|--|
| 1.1 COPYRIGHT | |
| 1. The Structural Soil specification is provided as an instrument of service and remains the property of PMG Landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects. | |
| 1.2 SCOPE OF WORK | |
| <p>1. The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.</p> <p>2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals is the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.</p> <p>3. Refer to drawings for location and dimension of structural soil mixture.</p> <p>4. All other related work as described in the drawings and/or this specification.</p> | |
| 1.3 RELATED WORK | |
| <p>1. Section 02100, Landscape Requirements</p> <p>2. Section 02110, Landscape Drainage</p> <p>3. Section 02810, Irrigation System</p> <p>4. Section 02933, Sodding (Seeding)</p> <p>5. Section 02906, Planting Trees, Shrubs, and Groundcover</p> | |
| 1.4 RELATED MASTER MUNICIPAL SPECIFICATION | |
| <p>1. Contractor to report all conflicts with civil engineering to Landscape Architect</p> <p>2. Section 02210, Site Grading</p> <p>3. Section 02223, Excavating, Trenching, and Backfilling</p> <p>4. Section 02226, Aggregates and Granular Materials</p> <p>5. Section 02664, Waterworks</p> <p>6. Section 02721, Storm Sewers</p> <p>7. Section 02725, Manholes and Catch Basins</p> | |
| 1.5 STANDARDS | |
| <p>1. BCSLA/BCLNA Landscape Standard (most current edition)</p> <p>2. Canadian System of Soil Classification</p> | |
| 1.6 QUALITY ASSURANCE | |
| <p>1. All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source 14 days prior to supplying any material to the site, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.1 of this section.</p> <p>2. All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive admixtures supplied to the site shall be of similar nature and from a single source 14 days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive admixture:</p> <p>2.1 Gravel, sand and fines content each as a % of dry weight mineral</p> <p>2.2 Organic material content as a percentage of dry weight.</p> <p>2.3 Acidity (pH)</p> <p>2.4 Salinity in millimhos/cm at 25 degrees C.</p> <p>2.5 Basic fertility (total nitrogen available K, Ca, Mg, P)</p> <p>2.6 Recommendation for incorporation of necessary amendments.</p> <p>3. Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.</p> <p>4. Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.</p> <p>5. Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.</p> <p>6. Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.</p> <p>7. Aggregate Test:</p> <p>7.1 Provide source and sieve designation of intended aggregate material prior to ordering</p> <p>7.2 At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does not meet specification and for correction of any deficiency.</p> <p>7.3 Submit 2.5kk sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.</p> <p>8. Structural Soil Mix Design:</p> <p>8.1 Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 2 days prior to mixing samples.</p> <p>8.2 Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.</p> | |
| 1.7 SCHEDULING | |
| <p>1. Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors.</p> <p>2. Schedule to include:</p> <p>2.1 date for commencement of preparation of structural soil at source</p> <p>2.2 sub grade preparation at site</p> <p>2.3 shipping dates</p> <p>2.4 arrival dates on site</p> <p>2.5 installation dates</p> <p>3. Schedule work to co-ordinate with installation of any drainage, irrigation, tree grate footings, lighting, paving etc.</p> <p>4. Complete work to ensure tree planting will occur under optimum conditions</p> <p>5. Do not handle or place structural soil mix in rain.</p> | |
| 1.8 FIELD REVIEW | |
| <p>1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.</p> <p>2. Co-ordinate site meeting with Consultant at the following times:</p> <p>2.1 drainage installation and connection</p> <p>2.2 irrigation installation</p> <p>2.3 mixing of structural soil mixture</p> <p>2.4 installation of structural soil mixture</p> <p>2.5 sub grade preparation and layout.</p> <p>2.6 installation of trees</p> <p>3. Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 1.8.2</p> | |
| 1.9 SAMPLES | |
| <p>1. Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 1.3.2 and 1.3.3</p> | |
| 1.10 PRODUCT HANDLING | |
| <p>1. All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition.</p> <p>2. Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.</p> | |
| 1.11 DELIVERY, STORAGE AND PROTECTION | |
| <p>1. For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.</p> <p>2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.</p> <p>3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of material approved by the Consultant until such time as materials installed.</p> <p>4. All material to be stockpiled shall be protected in accordance with B.C. Ministry of Environment guidelines.</p> | |

| PART TWO - PRODUCTS | | | | | | | | | | | | | | | | | | | | | | | |
|---|---------------------------------------|------------|---------------------------------------|--|--|--|---|---|-------------|---|-------------|-------------------------|-------------|------------------------|-------------|---------------|-----------|--|-----|--|-------------------------|--|----------|
| 2.1 GROWING MEDIUM | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. TABLE ONE:</p> <p>1.1 Provide all growing medium required to complete the work.</p> <p>1.2 Comply with the requirements of Table 1, below</p> <p>1.3 Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| <p>TABLE ONE</p> <table border="1"> <thead> <tr> <th>PROPERTIES</th><th>GROWING MEDIUM FOR GAP-GRADED MIXTURE</th></tr> </thead> <tbody> <tr> <td>TEXTURE: Particle size classes by the Canadian System of Soil Classification</td><td></td></tr> <tr> <td>Gravel: greater than 2mm - less than 5mm</td><td>0</td></tr> <tr> <td>Sand: greater than 0.05mm - less than 2mm</td><td>maximum 60%</td></tr> <tr> <td>Silt: greater than 0.002 mm - less than 0.05 mm</td><td>maximum 35%</td></tr> <tr> <td>Clay: less than 0.002mm</td><td>maximum 15%</td></tr> <tr> <td>Clay and Silt Combined</td><td>maximum 40%</td></tr> <tr> <td>ACIDITY (pH):</td><td>6.0 - 7.0</td></tr> <tr> <td>DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place:</td><td>3.0</td></tr> <tr> <td>SALINITY: Saturated extract conductivity shall not exceed:</td><td>30 millimhos/cm at 25°C</td></tr> <tr> <td>ORGANIC CONTENT: Percent of Dry Weight (%)</td><td>8% - 12%</td></tr> </tbody> </table> | | PROPERTIES | GROWING MEDIUM FOR GAP-GRADED MIXTURE | TEXTURE: Particle size classes by the Canadian System of Soil Classification | | Gravel: greater than 2mm - less than 5mm | 0 | Sand: greater than 0.05mm - less than 2mm | maximum 60% | Silt: greater than 0.002 mm - less than 0.05 mm | maximum 35% | Clay: less than 0.002mm | maximum 15% | Clay and Silt Combined | maximum 40% | ACIDITY (pH): | 6.0 - 7.0 | DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place: | 3.0 | SALINITY: Saturated extract conductivity shall not exceed: | 30 millimhos/cm at 25°C | ORGANIC CONTENT: Percent of Dry Weight (%) | 8% - 12% |
| PROPERTIES | GROWING MEDIUM FOR GAP-GRADED MIXTURE | | | | | | | | | | | | | | | | | | | | | | |
| TEXTURE: Particle size classes by the Canadian System of Soil Classification | | | | | | | | | | | | | | | | | | | | | | | |
| Gravel: greater than 2mm - less than 5mm | 0 | | | | | | | | | | | | | | | | | | | | | | |
| Sand: greater than 0.05mm - less than 2mm | maximum 60% | | | | | | | | | | | | | | | | | | | | | | |
| Silt: greater than 0.002 mm - less than 0.05 mm | maximum 35% | | | | | | | | | | | | | | | | | | | | | | |
| Clay: less than 0.002mm | maximum 15% | | | | | | | | | | | | | | | | | | | | | | |
| Clay and Silt Combined | maximum 40% | | | | | | | | | | | | | | | | | | | | | | |
| ACIDITY (pH): | 6.0 - 7.0 | | | | | | | | | | | | | | | | | | | | | | |
| DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place: | 3.0 | | | | | | | | | | | | | | | | | | | | | | |
| SALINITY: Saturated extract conductivity shall not exceed: | 30 millimhos/cm at 25°C | | | | | | | | | | | | | | | | | | | | | | |
| ORGANIC CONTENT: Percent of Dry Weight (%) | 8% - 12% | | | | | | | | | | | | | | | | | | | | | | |
| 2.2 AGGREGATE | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Clean inert stone of high angularity is preferred over washed gravel.</p> <p>2. Stone dimension aspect ratio should approach 1:1 with a maximum of 2:1 length: width: depth.</p> <p>3. Single size stone, 75mm clear sieve designation Blasted Quarry Rock.</p> <p>4. Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 1.5 and 1.8</p> <p>5. Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 2.3 SOIL STABILIZER | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. A non-toxic organic binder.</p> <p>Product: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC. 604-607-3002 (Or approved equal)</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 2.4 GRANULAR BASE | | | | | | | | | | | | | | | | | | | | | | | |
| 1. To Master Municipal Specification Section 02226, Aggregates and Granular Materials. | | | | | | | | | | | | | | | | | | | | | | | |
| 2.5 PAVING MATERIALS | | | | | | | | | | | | | | | | | | | | | | | |
| 1. Refer to architectural drawings. | | | | | | | | | | | | | | | | | | | | | | | |
| 2.6 FILTER FABRIC | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Non Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.</p> <p>2. Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conform to the following ASTM designations:</p> <p>- Grab Tensile Strength ASTM-D-4632 400 kN</p> <p>- Tensile Elongation ASTM-D-4632 50%</p> <p>- Static CBR Puncture Test ASTM-D-6241</p> <p>- Flow Rate ASTM-D-4491 610 l/min/m²</p> <p>3. Fabric shall be Amoco 4545 or approved equivalent.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.1 SUBGRADE | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Excavate sub grade to establish tree pit / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pits, NOT in the planting pits themselves.</p> <p>2. Areas designated as structural soil tree pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Proctor Density and shall be free of stones, debris, root branches, toxic materials, building materials and other deleterious materials to the approval of the civil engineer.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.2 PREPARATION OF EXISTING GRADE | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed.</p> <p>2. Excavate trench to Master Municipal Specification Section 02223, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix.</p> <p>2.1 Refer to contract drawings for areas to be treated and to details for dimensions</p> <p>2.2 Compact to 95% Modified Proctor Density</p> <p>2.3 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings.</p> <p>4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture.</p> <p>5. Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.3 SUB DRAINS | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Install to requirements of Master Municipal Specifications. Refer to Section 02666, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins</p> <p>1.1 Install prior to installation of the structural soil mixture.</p> <p>1.2 Co-ordinate all contract drainage work with other drainage on-site</p> <p>1.3 Confirm location of storm sewer connections with civil engineer.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.4 IRRIGATION | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Install to requirements of Section 02810, Irrigation System. Refer also to Irrigation Drawings.</p> <p>1.1 Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting</p> <p>1.2 Co-ordinate all contract irrigation work with other civil engineering and drainage on-site</p> <p>1.3 Confirm location of irrigation connections with civil engineer.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.5 MIXING STRUCTURAL SOIL MATERIAL | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.</p> <p>2. Base Ratio of Materials:</p> <p>- 4 cu metre of aggregate stone section 2.2</p> <p>- 1.75 cu metre of Growing Medium section 2.1</p> <p>× Water as required</p> <p>× The amount of water required will vary according to moisture present in growing medium.</p> <p>3. Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.</p> | | | | | | | | | | | | | | | | | | | | | | | |
| 3.6 MIXING | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. Do not OVER MIX, OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.</p> <p>2. All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment.</p> <p>3. Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.</p> | | | | | | | | | | | | | | | | | | | | | | | |

| PART THREE - EXECUTION (cont) | |
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| 3.7 PLACEMENT | |
| <p>1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.</p> <p>2. Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.</p> <p>3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture.</p> <p>4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.</p> <p>5. Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 15</p> <p>6. Provide a uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade.</p> <p>7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc. have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2.1) added to surround the root ball.</p> | |
| 3.8 INSTALLATION OF FILTER FABRIC | |
| <p>1. After approval of structural soil mixture compaction, install Filter Fabric.</p> <p>2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.</p> | |
| 3.9 GRANULAR BASE MATERIAL | |
| <p>1. Place minimum 75 mm granular base on top of filter fabric over structural soil layer.</p> <p>2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</p> <p>3. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.</p> | |
| 3.10 PROTECTION | |
| <p>1. Protect existing conditions from damage or staining and make good any damage.</p> <p>2. All damage will be repaired at the expense of the installation contractor.</p> | |
| 3.11 TREE PLANTING | |
| <p>1. Remove structural soil or other backfill material (sand, see comments in section 3.7.7) from the full dimensions of the tree grate area (1.2m x 1.2m x depth of root ball).</p> <p>2. Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</p> <p>3. Ensure tree is planted in the exact centre of the specified planting station straight and true.</p> <p>4. Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic root ball twine, cut back improperly sized wire baskets, pull back burlap from around trunk etc.</p> <p>5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</p> <p>6. Place 50mm depth composted fir/hem bark mulch over the top of the open tree pit area.</p> | |
| 3.12 TREE GRATES | |
| 1. Site Furniture and to contract drawings for tree grates, frames and footings. | |
| 3.13 ACCEPTANCE | |
| <p>1. Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving.</p> <p>2. Finish grade shall be to within 15mm of proposed grades within 3.0m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.</p> | |
| 3.14 SURPLUS MATERIAL | |
| <p>1. Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.</p> <p>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</p> <p>3. Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.</p> | |
| 3.15 SITE PLAN/CITY COMMENTS | |
| <p>1. 24.OCT.25 NEW SITE PLAN</p> <p>14. 24.OCT.21 ISSUED FOR PERMIT COMMENTS</p> <p>13. 24.OCT.07 RE-ISSUED FOR TENDER</p> <p>12. 24.SEP.24 ISSUED FOR TENDER</p> <p>11. 24.SEP.19 UPDATE FOR COMMENTS</p> <p>10. 24.AUG.26 UPDATE PER COMMENTS</p> <p>9. 24.APR.05 REV. PER NEW SITE PLAN</p> <p>8. 24.MAR.22 UPDATE BUILDING PLAN</p> <p>7. 24.FEB.29 REV. PER CITY COMMENTS</p> <p>6. 24.FEB.27 REV. PER CITY COMMENTS</p> <p>5. 24.JAN.24 REV. PER PARKS COMMENTS</p> <p>4. 23.DEC.18 SITE PLAN/CITY COMMENTS</p> <p>3. 23.OCT.30 SITE PLAN/CITY COMMENTS</p> <p>2. 23.JUL.21 SHIFT TREE/ ADD SOIL VOLUMES</p> <p>1. 23.JUL.21 REV. PER NEW SITE PLAN/CITY COMMENTS</p> | |
| NO. DATE REVISION DESCRIPTION DR. | |
| CLIENT: | |
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