

SMARTSTOP SELF - STORAGE DOBNEY FOUNDRY, VICTORIA, B.C

APPLICATION FOR DELEGATED DEVELOPMENT PERMIT



1. UPDATED FOR DELEGATED
DEVELOPMENT PERMIT

2. UPDATED 3D VIEW

LIST OF DRAWINGS

ARCHITECTURAL

A-001	COVER PAGE
A-100X	SITE PLAN EXISTING
A-100	SITE PLAN PROPOSED
A-101	CONSTRUCTION MANAGEMENT PLAN
A-110	BASEMENT 2 FLOOR PLAN
A-111	PARTIAL BASEMENT FLOOR PLAN
A-111A	GROUND & SPLIT GROUND FLOOR PLAN
A-112	SECOND FLOOR PLAN
A-113	THIRD FLOOR PLAN
A-114	FOURTH FLOOR PLAN
A-151	ROOF PLAN
A-200	NORTH AND EAST EXTERIOR ELEVATIONS
A-201	SOUTH AND WEST EXTERIOR ELEVATIONS
A-210	EXTERIOR FINISHES
A-212	EXTERIOR CONTEXT ELEVATIONS
A-300	BUILDING SECTIONS
A-310	PARTIAL SOUTH ELEVATION AND SECTION
A-311	PARTIAL SOUTH ELEVATION AND SECTION
A-312	PARTIAL NORTH ELEVATION AND SECTION

A-400	PERSPECTIVE VIEW
A-401	PERSPECTIVE VIEW
A-402	PERSPECTIVE VIEW
A-410	3D ARIAL VIEW
A-411	3D ARIAL VIEW
A-412	3D PERSPECTIVES

LANDSCAPE

L1	LANDSCAPE PLAN
L2	LANDSCAPE SPECIFICATIONS
L3	LANDSCAPE SOIL SPECIFICATIONS

CIVIL

23-079-CSP	PRELIMINARY CIVIL PLAN
------------	------------------------

ITEM	BRITISH COLUMBIA BUILDING CODE DATA MATRIX- PART 3						BCBC Reference
1	Project Description: NEW CONSTRUCTION OF A 4 STOREY SELF-STORAGE BUILDING WITH 2 BASEMENTS						Part 3
2	Major Occupancy:	F2 (SELF-STORAGE) & E (RETAIL, STORE)		Subsidiary Occupancy: D (OFFICE) & F3 (STORAGE GARAGE)		3.1.2.1.(1)	
3	Building Area	Proposed:	29,492.3 m ²	(2,739.9 m ²)			1.4.1.2
4	Gross Floor Area	Proposed:	153,834.5 m ²	(14,291.7 m ²)			
	Basement 2	Proposed:	29,518.6 m ²	(2,742.4 m ²)			
	Partial Basement	Proposed:	19,629.2 m ²	(1,823.6 m ²)			
	Ground/Split Ground	Proposed:	29,318.7 m ²	(2,723.8 m ²)			
	Second	Proposed:	25,068.4 m ²	(2,328.9 m ²)			
	Third	Proposed:	25,149.7 m ²	(2,336.5 m ²)			
	Fourth	Proposed:	25,149.7 m ²	(2,336.5 m ²)			
5	Number of Storeys Above Grade:	4	Below Grade:	2			3.2.1.1, 3.2.2.15
6	Height of Building (m):	14.9m (AVERAGE TO TOP OF ROOF)					
7	Number of Streets/ Fire Fighting Access	2					3.2.2.10 & 3.2.5.
8	Building Classification:	3.2.2.77 GROUP F, DIVISION 2, UP TO 4 STOREYS, INCREASED AREA, SPRINKLERED 3.2.2.66 GROUP E, ANY HEIGHT, ANY AREA, SPRINKLERED PER 3.2.2.6, THE REQUIREMENTS OF THE MOST RESTRICTED MAJOR OCCUPANCY SHALL APPLY TO THE WHOLE BUILDING.					3.2.2.77, 3.2.2.66 3.2.2.6
9	Sprinkler system proposed:	ENTIRE BUILDING					3.2.2.77, 3.2.2.66
10	Standpipe required:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO			3.2.5.8.	
11	Fire Alarm Required:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO			3.2.4	
12	Water Service/Supply is Adequate:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO			3.2.5.7	
13	High Building:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO			3.2.6	
14	Permitted Construction:	<input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Non-Combustible		<input type="checkbox"/> Both	3.2.2.77	
	Actual Construction:	<input type="checkbox"/> Combustible	<input checked="" type="checkbox"/> Non-Combustible		<input type="checkbox"/> Both		
15	Mezzanine Area:	N/A					3.2.1.1.(3)-(8)
16	Occupant Load Based on:	Self Storage (F2)	<input type="checkbox"/> m ² / person	<input checked="" type="checkbox"/> Design of Building		3.1.17.1	
		Office (D)	<input checked="" type="checkbox"/> m ² / person	<input type="checkbox"/> Design of Building			
		95 m ² / 9.3 = 10					
17	Barrier Free Design:	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO			3.8.	
18	Hazardous Substances:	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO			3.3.1.2	
19	Required Fire Resistance Ratings (FRR)	Horizontal Assemblies FRR (Hours)		Horizontal Assemblies FRR (Hours)			3.2.2.77, 3.2.2.66 3.2.1.4, 3.3.1.1
		Floors (except per below)	2 Hours	Deck & Beams: cUL D798		3.2.2.66	
		Floors (above multiple storeys below ground)	3 Hours	Cast-In-Place Concrete		3.2.2.15.(2)	
		Roof	0 Hours				
		FRR (Hours) of supporting Members					
		Floors	2 Hours	Deck & Beams: cUL D798 Joists: cUL N854		3.2.2.66	
		Floors (above multiple storeys below ground)	3 Hours	Cast-In-Place Concrete		3.2.2.15.(2)	
		Roof	0 Hours				
		Other required Fire Separations FRR (Hrs)					
		Exit Stairs	2 Hours	Floor assemblies and supporting structure as per above			3.4.4.1.
		Elevator Hoistway and Machine Room	2 Hours	Walls: ULC W453 or ULC U411			3.5.3.1(1), 3.5.3.3.
		Service Rooms	1 Hours				3.6.2.1.
		Walls and Ceilings Between Interior Loading and Main Building	1.5 Hours (2 Hours provided)	Walls: ULC W453 or ULC U411			3.3.5.6.
		Garbage Room	1 Hours				3.6.2.5.

20	SPATIAL SEPARATION AND EXPOSURE SEPARATION - Construction of Exterior Walls								3.2.3.1.E		
	Wall	Area of Exposed Building Face (m ²)	Limiting Distance (m)	Length / Height (m)	Permitted Max % of Openings	Proposed Max % of Unprotected Openings	FRR (Hours of CBF)	Listed Design	Type of Construction Required	Type of Cladding Required	Wall % Required Rating
NORTH	Compartment 1	276m ²	10.1m (centerline of street)	43.01m / varies	100% per 3.2.3.10(2)	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	Compartment 2	46.3m ²	10.1m (centerline of street)	3.69m / varies	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	Compartment 3	20.9m ²	10.1m (centerline of street)	5.45m / varies	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	Compartment 4	18.8m ²	10.1m (centerline of street)	5.45m / 3.45m	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	Compartment 5	167.2m ²	10.1m (centerline of street)	48.47m / 3.45m	57%	48%	1 HR	-	Combustible or Noncombustible	Noncombustible	43%
	Compartment 6	167.2m ²	10.1m (centerline of street)	48.47m / 3.45m	57%	38%	1 HR	-	Combustible or Noncombustible	Noncombustible	43%
EAST	BUILDING FACE 1	383m ²	0.49m (to property line)	27.98m / varies	0%	0%	2 HR	-	Noncombustible	Noncombustible	100%
	BUILDING FACE 2	453m ²	0.46m (to property line)	36.12m / varies	0%	0%	2 HR	-	Noncombustible	Noncombustible	100%
	Compartment 1	32.2m ²	11.26m (to property line)	5.64m / varies	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	BUILDING FACE 1	262.9m ²	1m (to property line)	17.5m / varies	0%	0%	2 HR	-	Noncombustible	Noncombustible	100%
SOUTH	Compartment 1	210m ²	9.7m (centerline of street)	34.4m / 6m	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
	Compartment 2	119m ²	9.7m (centerline of street)	34.6m / 3.45m	76%	50%	1 HR	-	Combustible or Noncombustible	Noncombustible	24%
	BUILDING FACE 2	238m ²	22m (to property line)	34.4m / 6.9m	100%	100%	0 HR	-	Combustible or Noncombustible	Combustible or Noncombustible	0%
WEST	BUILDING FACE	972m ²	0.46m (to property line)	68.2m / varies	0%	0%	2 HR	-	Noncombustible	Noncombustible	100%

21 ANSI / ASHRAE / IES STANDARD 90.1- 2022, TABLE 5.5.4 CLIMATE ZONE 4C (ASHRAE STANDARD 189 TABLE A-5)				
Nonresidential				
OPAQUE ELEMENTS	Assembly		Insulation	
	Max. U-Value	Min. R-Value	Provided R-value	
Roofs: Insulation Entirely Above Deck	U-0.032	R-30 g	R-35.4 g	
Walls, Above Grade: Steel Framed (conventional wall construction)	U-0.064	R-13 + R-7.5 g	R-24 + R-8.4 g	
Walls, Above Grade: Wood Framed and Other (Insulated Metal Panel)	U-0.064	R-13 + R-3.8 g or R-20	R-16 g 4" IMP (Kingspan K-ROC) R-24 g 6" IMP (Kingspan K-ROC) R-30 g 4" IMP (Kingspan Quattro)	
Walls, Below Grade	C-0.119	R-7.5 g	UN-INSULATED	
Floors: Steel Joist	U-0.038	R-30		
Slab-On-Grade Floors (Unheated)	F-0.520	R-15 for 24"	R-15 for 24"	
Opaque Doors (Swinging)	U-0.37			
Opaque Doors (Nonswinging)	U-0.31			
FENESTRATION	Assembly			
	Max U-Value	Max. SHGC	Min. VT/SHGC	
Vertical Fenestration, 0% - 40% of Wall				
Non metal framing: all (N/A)	U-0.50	0.40	NR	
Metal framing: fixed	U-0.36	0.36	1.10	
Metal framing: operable	U-0.45	0.33	1.10	
Metal framing: entrance door	U-0.63	0.33	1.10	

22	COMBUSTIBLE INSULATION AND ITS PROTECTION	3.1.5.14 (3)
----	---	--------------

23	PLUMBING FIXTURE REQUIREMENTS	3.9.3.2.
PER 3.9.3.2.		
• TWO WASHROOMS, EACH CONTAINING A WATER CLOSET AND A LAVATORY SHALL BE PROVIDED.		
• 1 UNIVERSAL WASHROOM PROVIDED.		
• 1 MALE/FEMALE WASHROOM PROVIDED.		

NOTE:
THE INFORMATION ON THIS SHEET WILL BE CONFIRMED AT THE BUILDING PERMIT STAGE

FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES - TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

ARCHITECT'S SEAL:

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:	MUNICIPAL #:
2022-0076-01	
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:


COVER PAGE

SCALE:	SHEET #:
N.T.S.	
DRAWN BY:	
PM	

A-001



GRAPHIC SCALE
5 0 10 metres



SITE PLAN BASED ON SURVEY BY
EXPLORER FILE 11874
DATED 2022-11-30.
SERVICES DWG BASED ON CAD FILE PROVIDED
BY CLIENT RECEIVED ON APRIL 12, 2023

DESIGNER:

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:


QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800


STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC
TEL: 250 386 7794

LANDSCAPE:

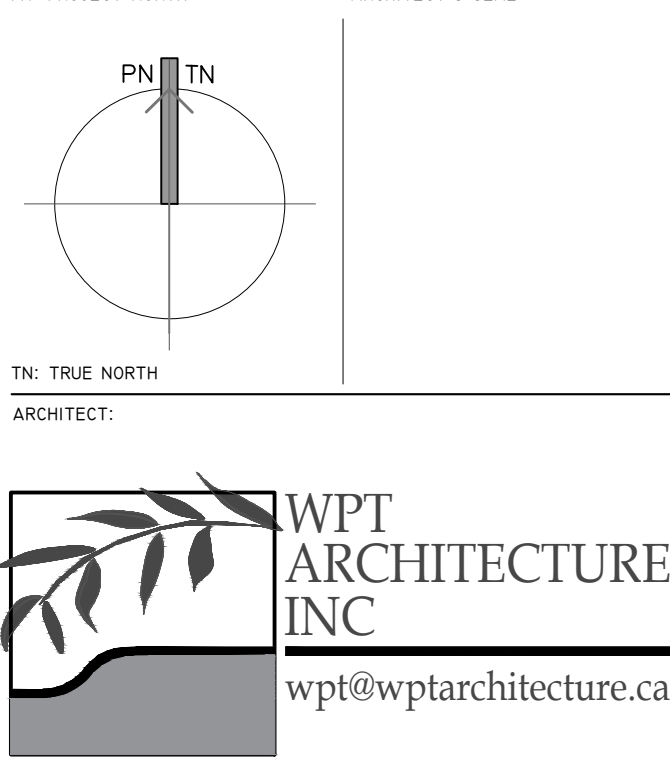
PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5C6G9
TEL: 604.294.0011

 **SMARTCENTRES**
REAL ESTATE INVESTMENT TRUST

 **SmartStop**
Self Storage

CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON. L4K 5Z5
TEL: 905 326 6400



WPT PROJECT #: 2022.0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:
PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC 621, 627, 629 PRINCESS AVENUE AND 616, 624 PEMBROKE STREET VICTORIA, BRITISH COLUMBIA	

SHEET NAME:

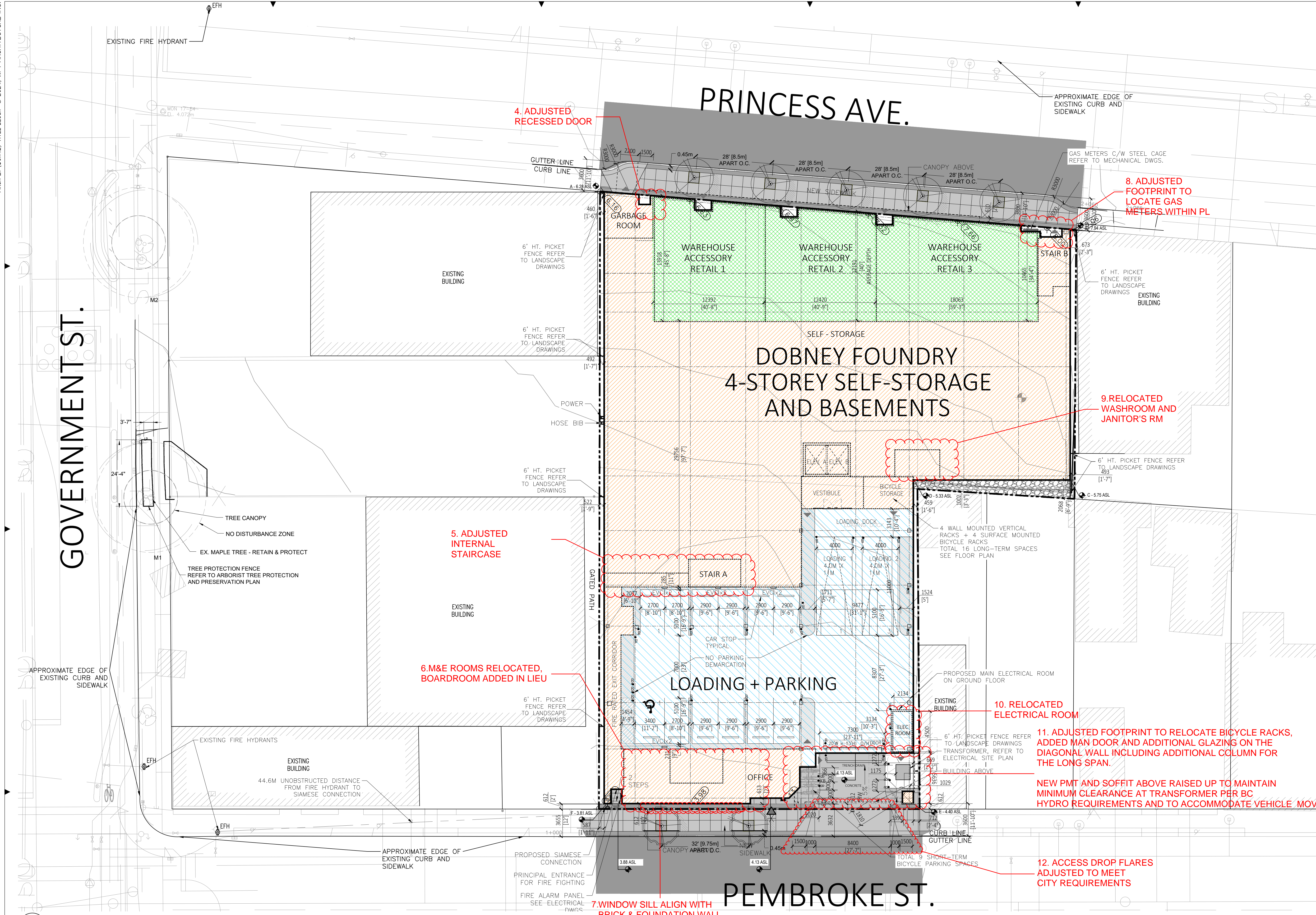
SITE PLAN
EXISTING

SCALE:
1:200

SHEET #:

DRAWN BY:
AF

A100X



1 ARCHITECTURAL SITE PLAN
A100 SCALE: 1:200

PROPERTY ADDRESSES	PARCEL IDENTIFIER	LEGAL DESCRIPTION
621 PRINCESS AVE. VICTORIA, BC	026-220-547	LOT B SECTION 3 VICTORIA DISTRICT PLAN VIP78447
627 PRINCESS AVE. VICTORIA, BC	026-220-555	LOT C SECTION 3 VICTORIA DISTRICT PLAN VIP78447
629 PRINCESS AVE. VICTORIA, BC	026-220-563	LOT D SECTION 3 VICTORIA DISTRICT PLAN VIP78447
616 PEMBROKE ST. VICTORIA, BC	026-220-571	LOT E SECTION 3 VICTORIA DISTRICT PLAN VIP78447
624 PEMBROKE ST. VICTORIA, BC	026-220-580	LOT F SECTION 3 VICTORIA DISTRICT PLAN VIP78447

GRADE POINTS (ASL)	DISTANCE (m)	AVERAGE GRADE POINT x DISTANCE = Z
A-B	6.28 7.94	52.167
B-C	7.94 5.75	27.987
C-D	5.75 5.33	17.498
D-E	5.33 4.4	36.116
E-F	4.4 3.81	34.495
F-A	3.81 6.28	68.29
TOTAL	236.553	1,321.24667
AVERAGE GRADE		5.59

LEGEND

	SELF STORAGE
	INT. LOADING + PARKING
	WAREHOUSE ACCESSORY RETAIL

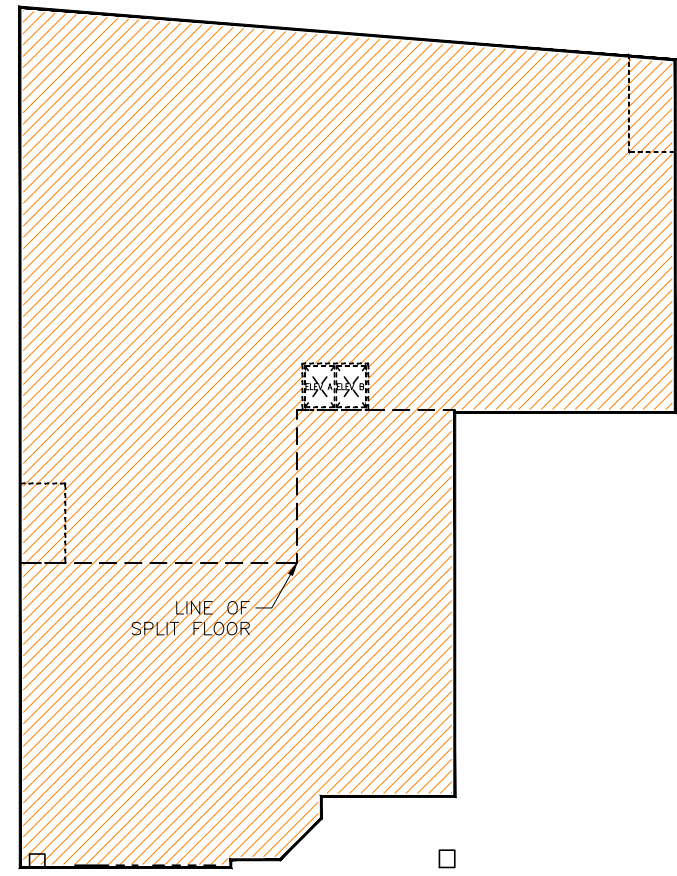


SITE PLAN BASED ON SURVEY BY EXPLORER FILE 11874 DATED 2022-11-30.

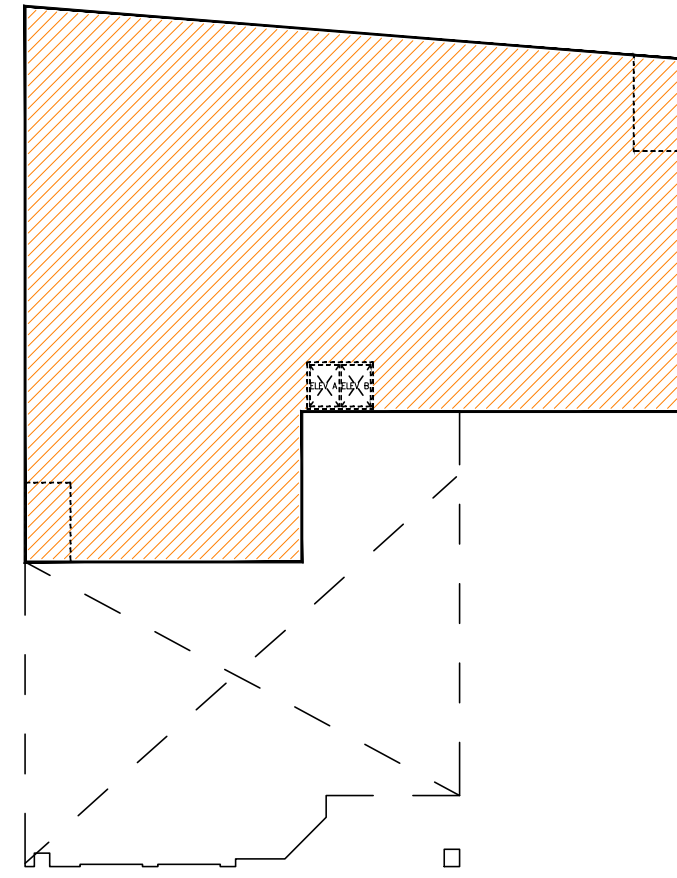
GENERAL NOTES

- REINSTATE SIDEWALKS, ASPHALT & CURBS TO COMPLY WITH CITY STANDARDS.
- FOR DIMENSIONS AND BLOW-UP OF BICYCLE STORAGE, SEE DWG A111A.
- ALL GRADING TO BE CONFIRMED BY CIVIL ENGINEER.

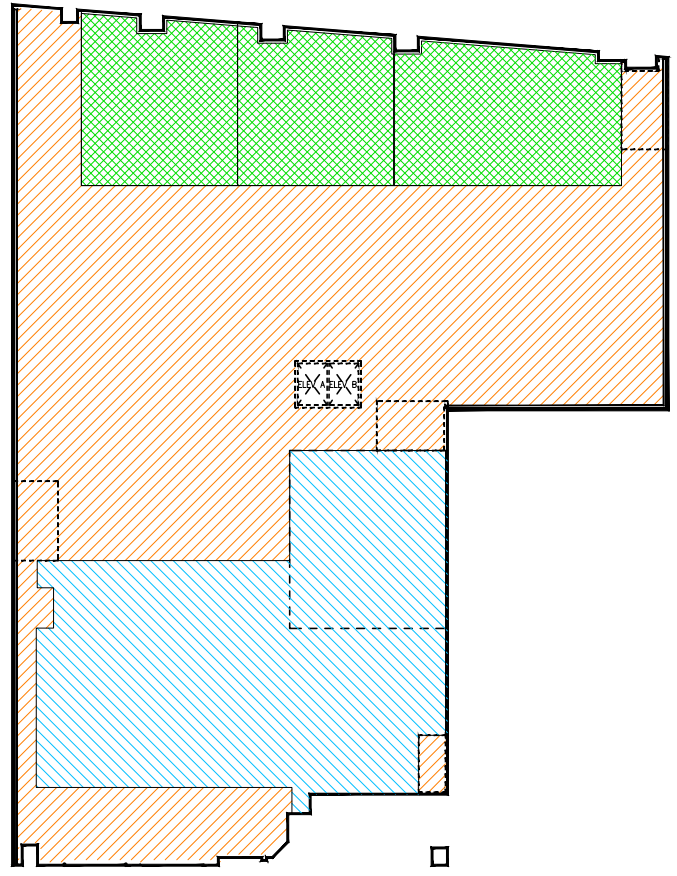
PROJECT INFORMATION TABLE		
ITEM	REQUIRED/ PERMITTED	PROPOSED
ZONE (EXISTING)	M2-1 Zone, DOUGLAS-BLANSHARD INDUSTRIAL DISTRICT	
SITE AREA (m2)		2,932
TOTAL FLOOR AREA (m2)*	N/A	8,682
WAREHOUSE ACCESSORY RETAIL (m2)		516
FLOOR SPACE RATIO	Max 3.0	2.96
SITE COVERAGE %	N/A	93.10%
OPEN SITE SPACE %	N/A	6.9%
HEIGHT OF BUILDING (m)	15m	14.952m
NUMBER OF STOREYS	N/A	4 Floors + 1 Partial Basement + 1 Full Basement
PARKING STALLS (NUMBER) ON SITE		
WAREHOUSE BUILDING AREA (m2)**	N/A	13,083
WAREHOUSE ACCESSORY RETAIL AREA (m2)***	N/A	516
WAREHOUSE **	131	12 INTERIOR PARKING SPACES 2 LOADING BAYS 3 ADDITIONAL PARKING SPACES WHEN LOADING BAYS ARE NOT IN USE FOR A TOTAL OF 15 PARKING SPACES.
WAREHOUSE ACCESSORY RETAIL ***	6	
STREET PARKING		
ACCESSIBLE PARKING SPACES		
STANDARD	0	1 VAN
VAN	1	
ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE (****)		
2 OR 5% OF TOTAL REQUIRED VEHICLE PARKING	8	8
BICYCLE PARKING (STORAGE AND RACK)		
RETAIL ***	SHORT TERM	9 SHORT TERM + 16 LONG TERM
	LONG TERM	
WAREHOUSE	SHORT TERM	
	LONG TERM	
BUILDING SETBACKS (m)		
FRONT YARD (PEMBROKE STREET)	No setback required	0.612m
REAR YARD (PRINCESS AVE)	No setback required	0
SIDE YARD (INTERIOR SIDE)	3.0m or 0m	0.458m
SIDE YARD (GOVERNMENT STREET)	3.0m or 0m	0.452m
COMBINED SIDE YARDS	N/A	N/A
NOTES:		
(*) MEASURED TO INTERIOR FACE OF EXTERIOR WALL, EXCLUDES INTERIOR PARKING + LOADING, PARTIAL BASEMENT 1 & BASEMENT 2, LONG TERM BICYCLE STORAGE AND ELEVATOR SHAFT.		
(**) WAREHOUSE BUILDING AREA FOR PARKING CALCULATION INCLUDES ALL FLOORS, OFFICE, PARTIAL BASEMENT 1 & BASEMENT 2; EXCLUDES INTERIOR PARKING + LOADING AND WAREHOUSE ACCESSORY RETAIL (1 SPACE X 100m2).		
(***) WAREHOUSE ACCESSORY RETAIL USE PARKING CALCULATION BASED ON RETAIL (1 SPACE X 80m2)		
(****) EVCI (ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE) 240V (30 AMP)		



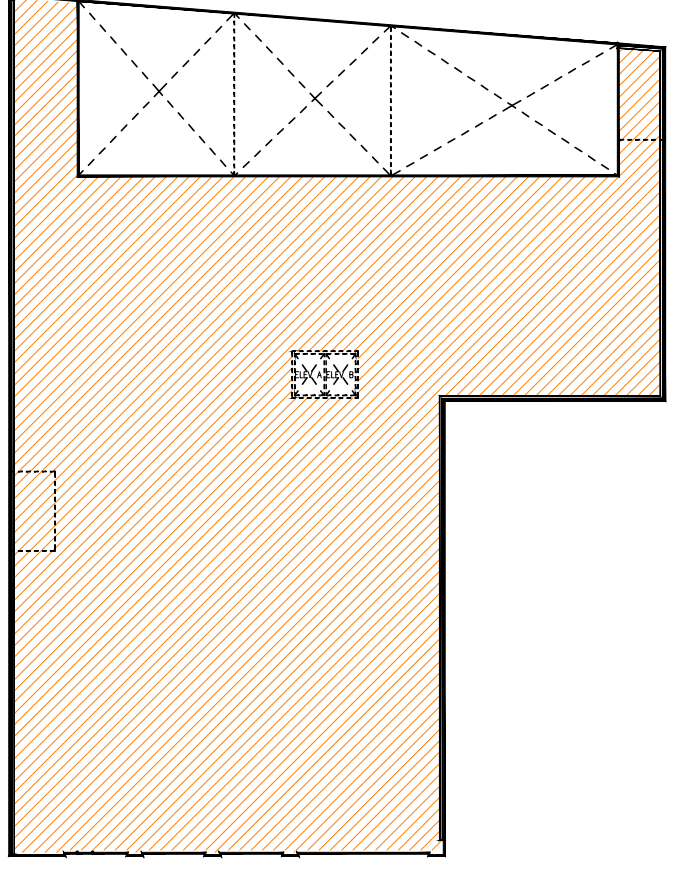
BASEMENT 2



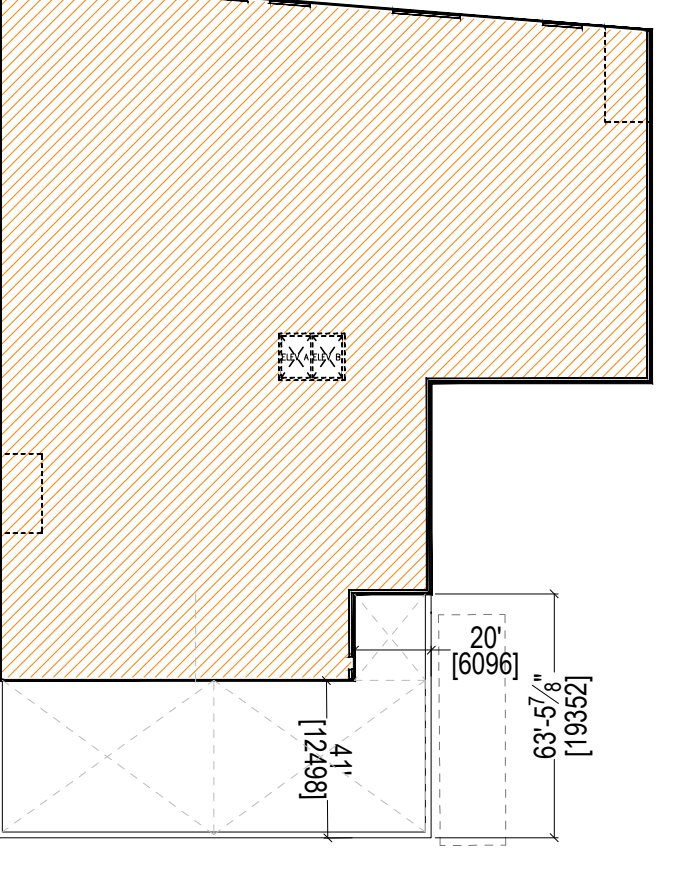
PARTIAL BASEMENT 1



GROUND + SPLIT FLOOR



2ND FLOOR



3RD + 4TH FLOOR

2 FLOOR PLATES

A100 N.T.S.

FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION
48	2024-11-12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
39	2024-10-22	ISSUED FOR ADDENDUM 01
38	2024-10-20	FOR TENDER
37	2024-09-26	FOR CLIENT REVIEW
36	2024-09-03	ISSUED FOR PERMIT
35	2024-08-27	FOR COORDINATION
34	2024-08-08	FOR 70% DRAWING REVIEW
33	2024-06-16	FOR COORDINATION
32	2024-03-05	FOR DEVELOPMENT PERMIT
1	YYYY-MM-DD	REVISIONS

DESIGNER:

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

LANDSCAPE:

CLIENT LOGO:

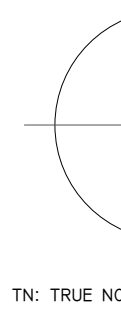


CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

ARCHITECT'S SEAL:



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

2022-0078-01

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

SCALE:

1:200

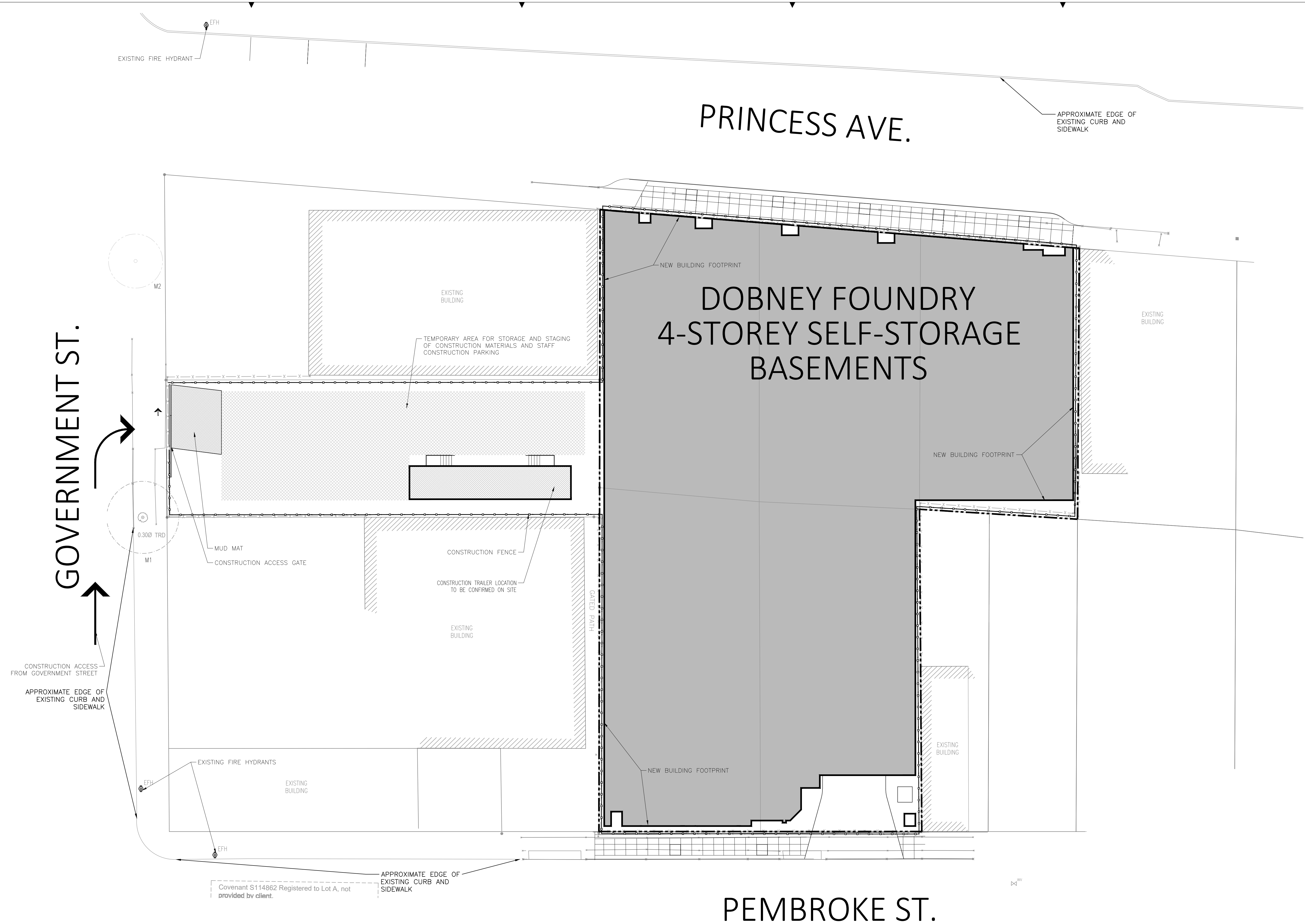
SHEET #:

DRAWN BY:

XGM

ARCHITECTURAL SITE PLAN

A100



1 CONSTRUCTION MANAGEMENT PLAN
A101A SCALE: 1:200

PEMBROKE ST.

GRAPHIC SCALE
5 0 10 metres

SITE PLAN BASED ON SURVEY BY
EXPLORER FILE 11874
DATED 2022-11-30.

TIMEFRAME:
17 MONTHS CONSTRUCTION
PERIOD

© COPYRIGHT PROTECTED 2024, WPT ARCHITECTURE INC.

FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- * CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, SPECIFICATIONS, DETAILS, CONDITIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- * DOCUMENTS ARE TO BE USED IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
- * DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- * ALL CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE CODES, BYLAWS, PROVINCIAL, AND FEDERAL REGULATORY REQUIREMENTS.
- * ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND ARE NOT TO BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

9	2024.11.02	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024.10.27	ISSUED FOR AGENDUM 01
7	2024.10.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.11.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.06.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
#	YYYY-MM-DD	REVISIONS

DESIGNER

CIVIL •

ELECTRICAL:

OLIASAP

250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

OLIASAR

250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL

RIC

1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC
TEL: 250 386 7794

LANDSCAPE:

PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5C6G9
TEL: 604.294.0011

CLIENT LOGO

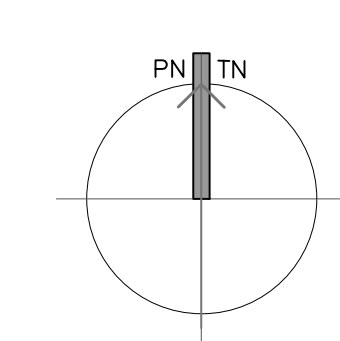


CLIENT

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

ARCHITECT'S SEAL:



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:	
--------------------	--

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

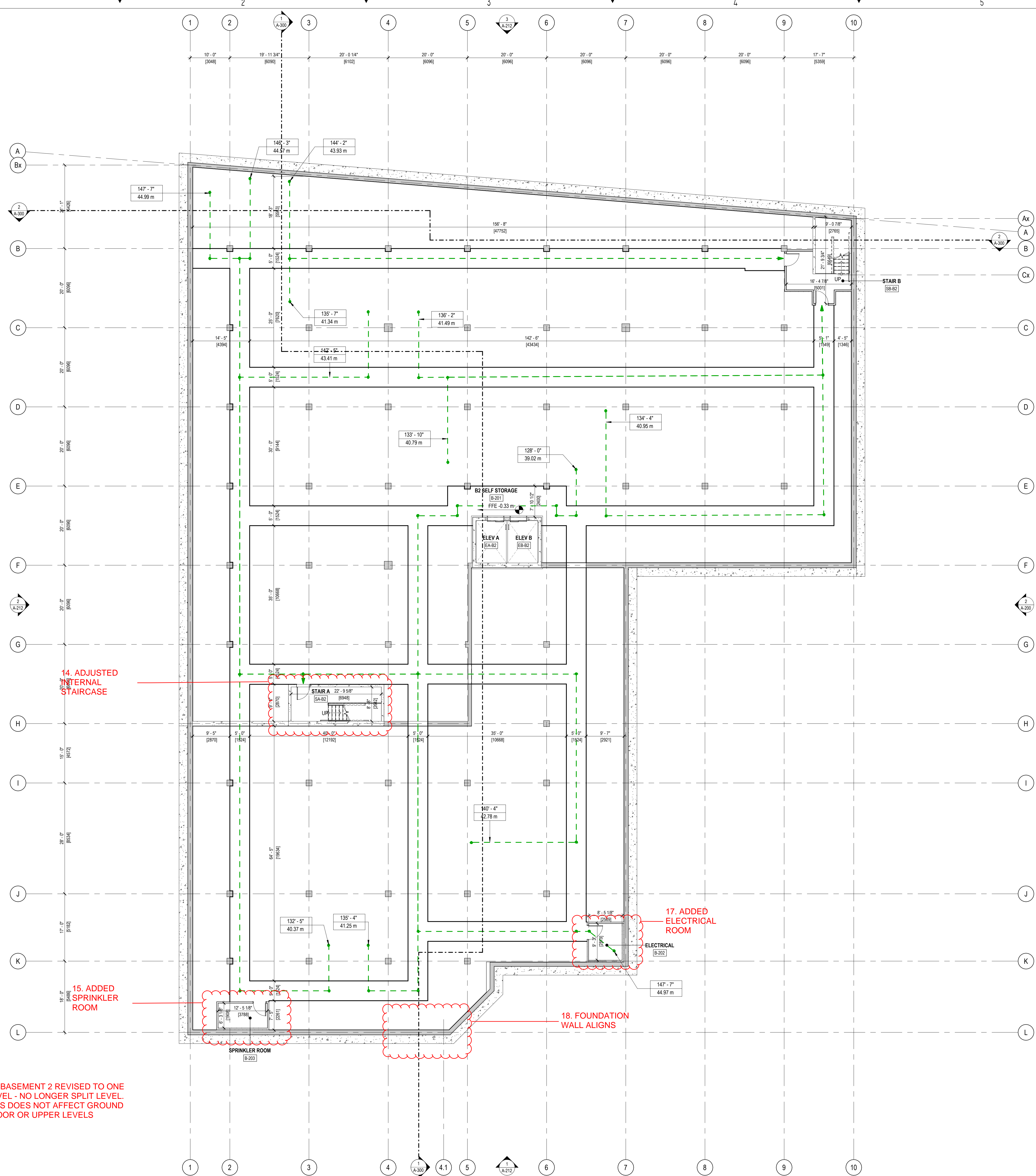
CONSTRUCTION MANAGEMENT PLAN

SCALE:

| SHEET #:

1:200

A101



1 BASEMENT 2 FLOOR PLAN
A-110 3/32" = 1'-0"

LEGEND

--- TRAVEL DISTANCE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

5	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
4	2024.03.05	FOR DEVELOPMENT PERMIT
3	2023.12.20	FOR DEVELOPMENT PERMIT
2	2023.10.31	FOR DEVELOPMENT PERMIT
1	2023.08.15	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

BUILDING ENVELOPE:

LANDSCAPING:

CLIENT LOGO:

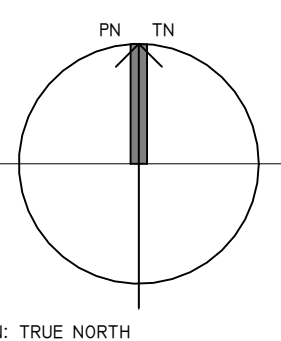


CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PROJECT NORTH

ARCHITECT'S SEAL:



ARCHITECT:



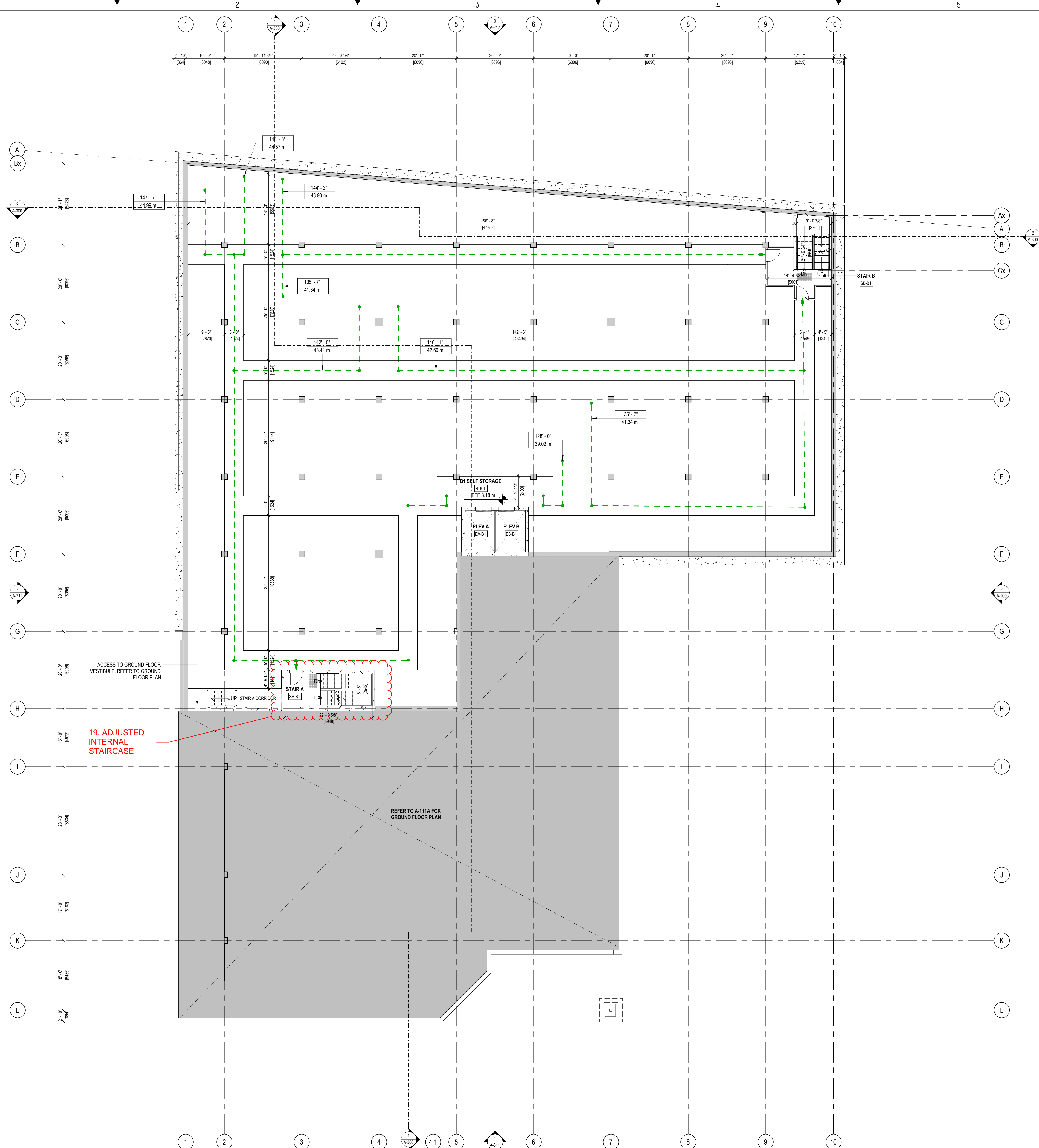
WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

BASEMENT 2 FLOOR PLAN

SCALE: 3/32" = 1'-0"
DRAWN BY: PM
SHEET #: **A-110**



LEGEND

— — — — — TRAVEL DISTANCE

© COPYRIGHT PROTECTED 2024. WPT ARCHITECTURE INC

FOR DELEGATED DEVELOPMENT PERMIT

- ### GENERAL NOTES TYPICAL:
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
#	YYYY-MM-DD	REVISIONS

CIVIL

ELECTRICAL

QUASAR
250 ROWNTREE DAIRY RD
WOODBIDGE, ON
TEL: 905 507 0800

MECHANICAL

QUASAR
250 ROWNTREE DAIRY RD
WOODBIDGE, ON
TEL: 905 507 0800

STRUCTURAL

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC
TEL: 250 386 7794

BUILDING ENVELOPE

WSF
100-20339 96 AVENUE
LANGLEY, BC
TEL: 604 533 2992

LANDSCAPIN

4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOG:

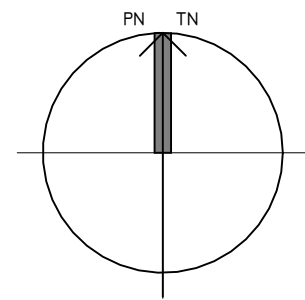



CLIENT

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

BN: 690 150T NORTH

ARCHITECT'S SEAL



TN: TRUE NORTH

ARCHITECT:

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #

CLIENT PROJECT

CLIENT CONTRACT #

PROJECT NAME AND LOCATION

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME

PARTIAL BASEMENT FLOOR
PLAN

SCALE

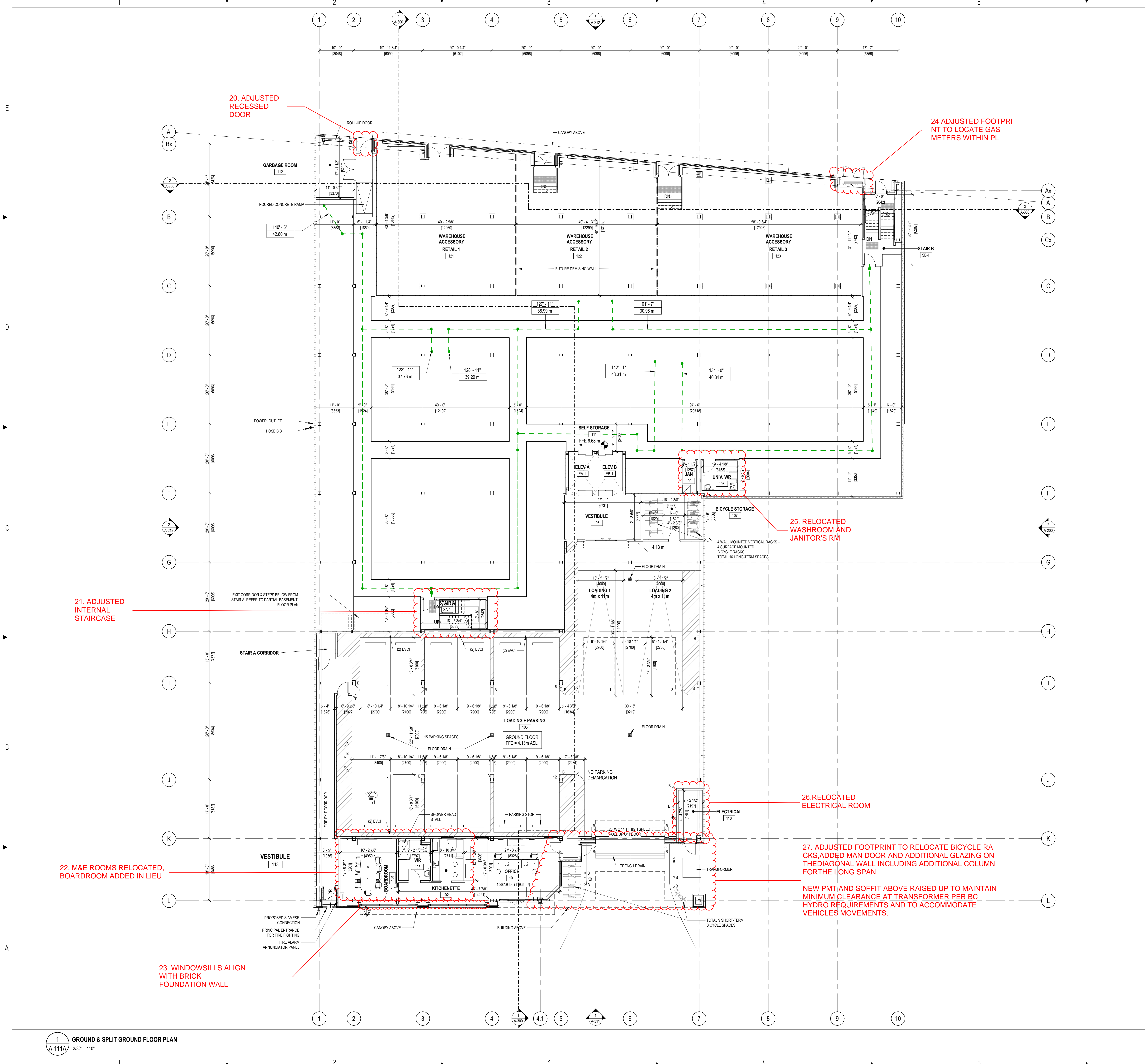
SHEET 8.

SCALE:

$$5/32'' = 1'-$$

DRAW

A-|||



1 GROUND & SPLIT GROUND FLOOR PLAN
A-111A 3/32" = 1'-0"

LEGEND

--- TRAVEL DISTANCE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION
8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.22	FOR DEVELOPMENT PERMIT
6	2024.03.05	FOR DEVELOPMENT PERMIT
5	2023.12.20	FOR DEVELOPMENT PERMIT
4	2023.10.31	FOR DEVELOPMENT PERMIT
3	2023.08.15	FOR DEVELOPMENT PERMIT
2	2023.04.21	FOR DEVELOPMENT PERMIT
1	2023.04.14	FOR DISCUSSION
8 YYYY-MM-DD REVISIONS		

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

BUILDING ENVELOPE:

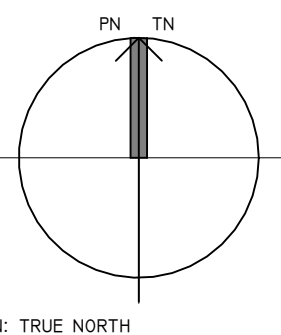
LANDSCAPING:

CLIENT LOGO:

CLIENT:

PN: PROJECT NORTH

ARCHITECT'S SEAL:



ARCHITECT:



WPT PROJECT #: 2022-0076.01
CLIENT PROJECT #: CLIENT CONTRACT #:

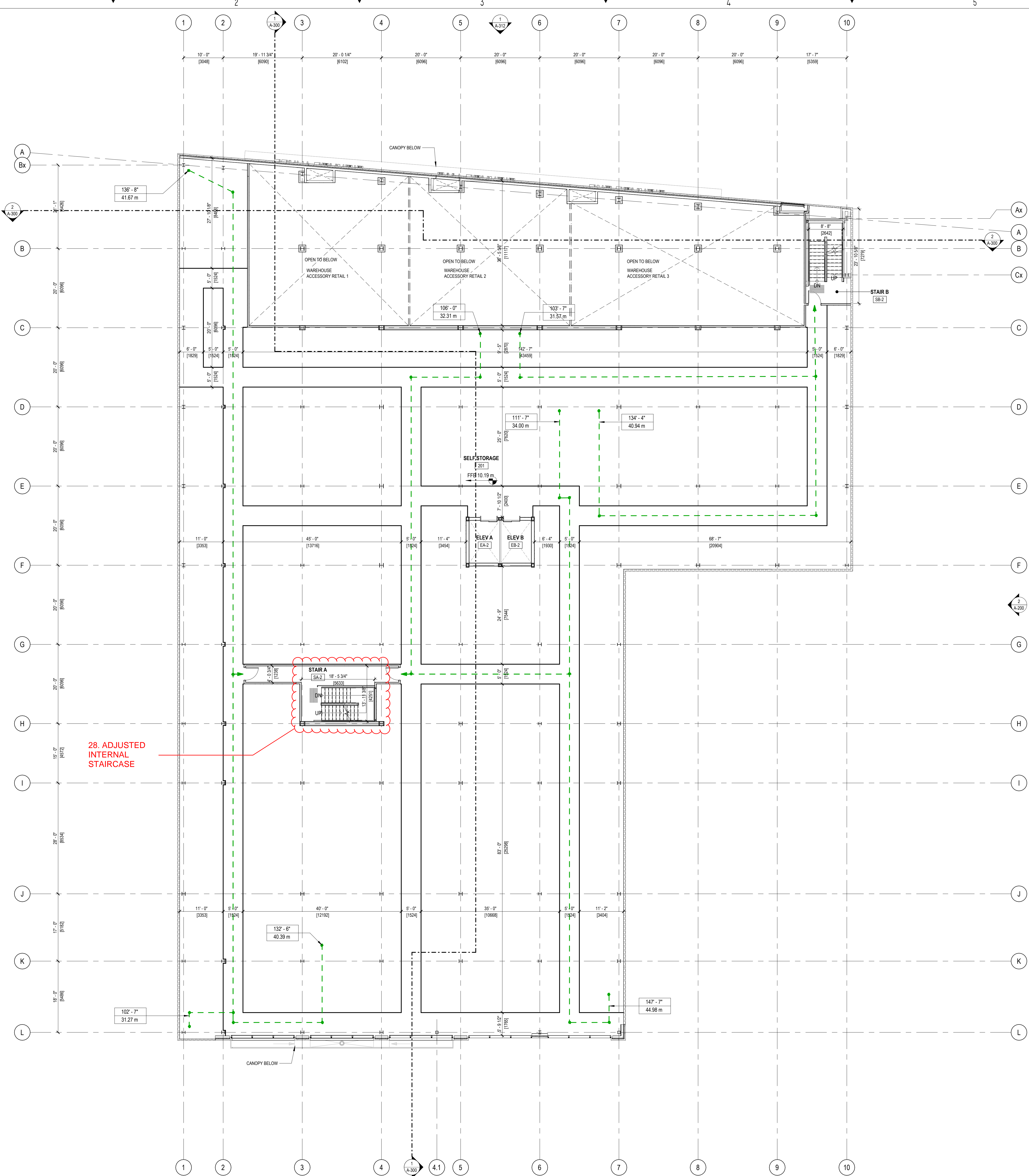
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

GROUND & SPLIT GROUND
FLOOR PLAN

SCALE:
3/32" = 1'-0"
DRAWN BY:
PM

SHEET #:
A-111A



1
A-112 SECOND FLOOR PLAN
3/32" = 1'-0"

LEGEND

--- TRAVEL DISTANCE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	YYYY-MM-DD	REVISIONS
9	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024.03.22	FOR DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

BUILDING ENVELOPE:

LANDSCAPING:

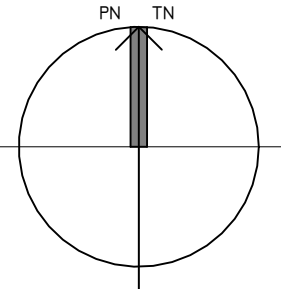
CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

2022.0076.01

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

SECOND FLOOR PLAN

SCALE:

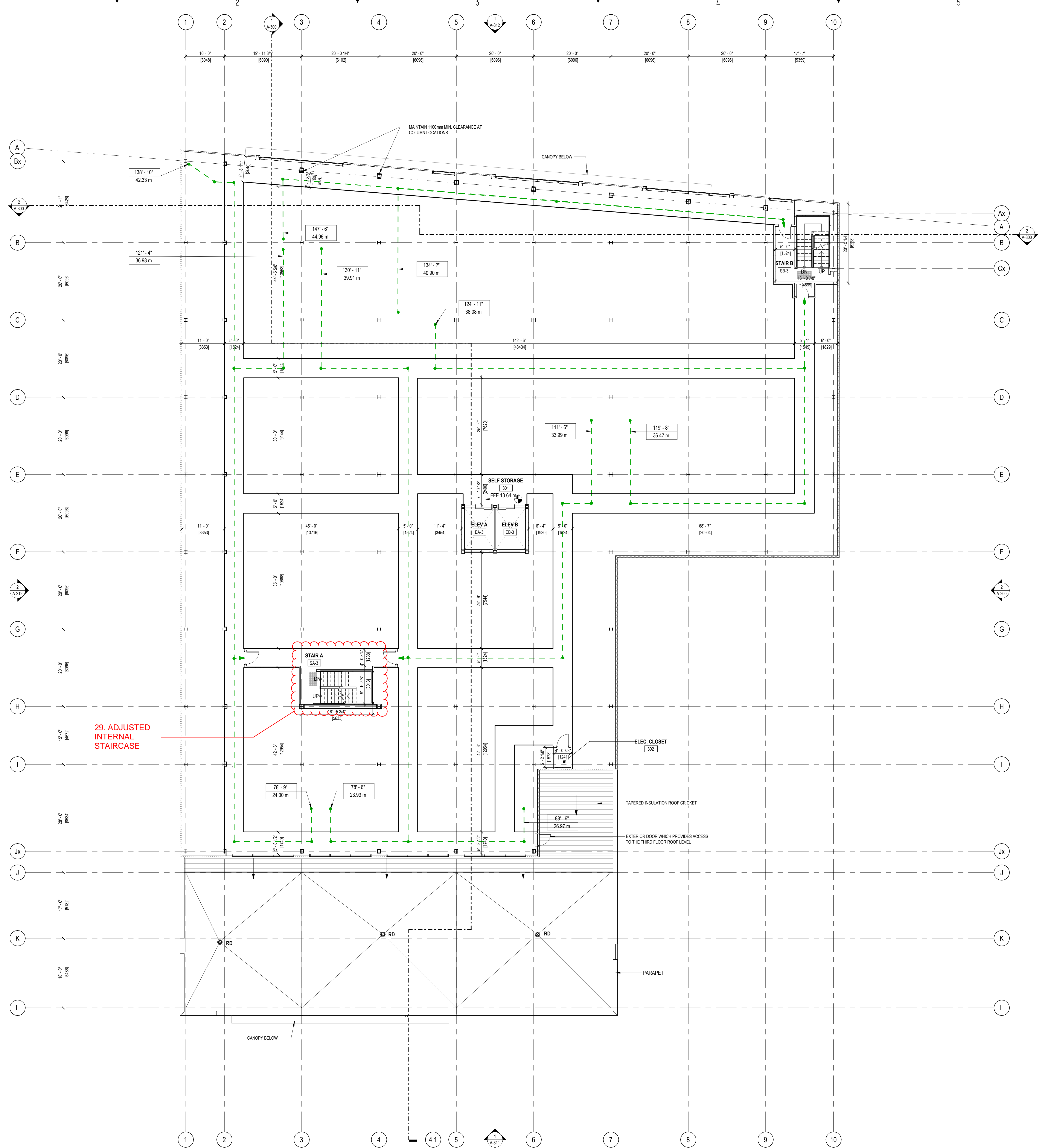
3/32" = 1'-0"

DRAWN BY:

PM

SHEET #:

A-112



1
A-113
THIRD FLOOR PLAN
3/32" = 1'-0"

LEGEND

--- TRAVEL DISTANCE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

9	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024.03.22	FOR DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
8	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

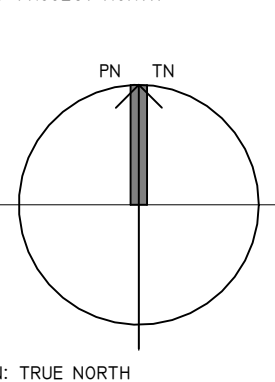
CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

2022.0076.01

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

THIRD FLOOR PLAN

SCALE:

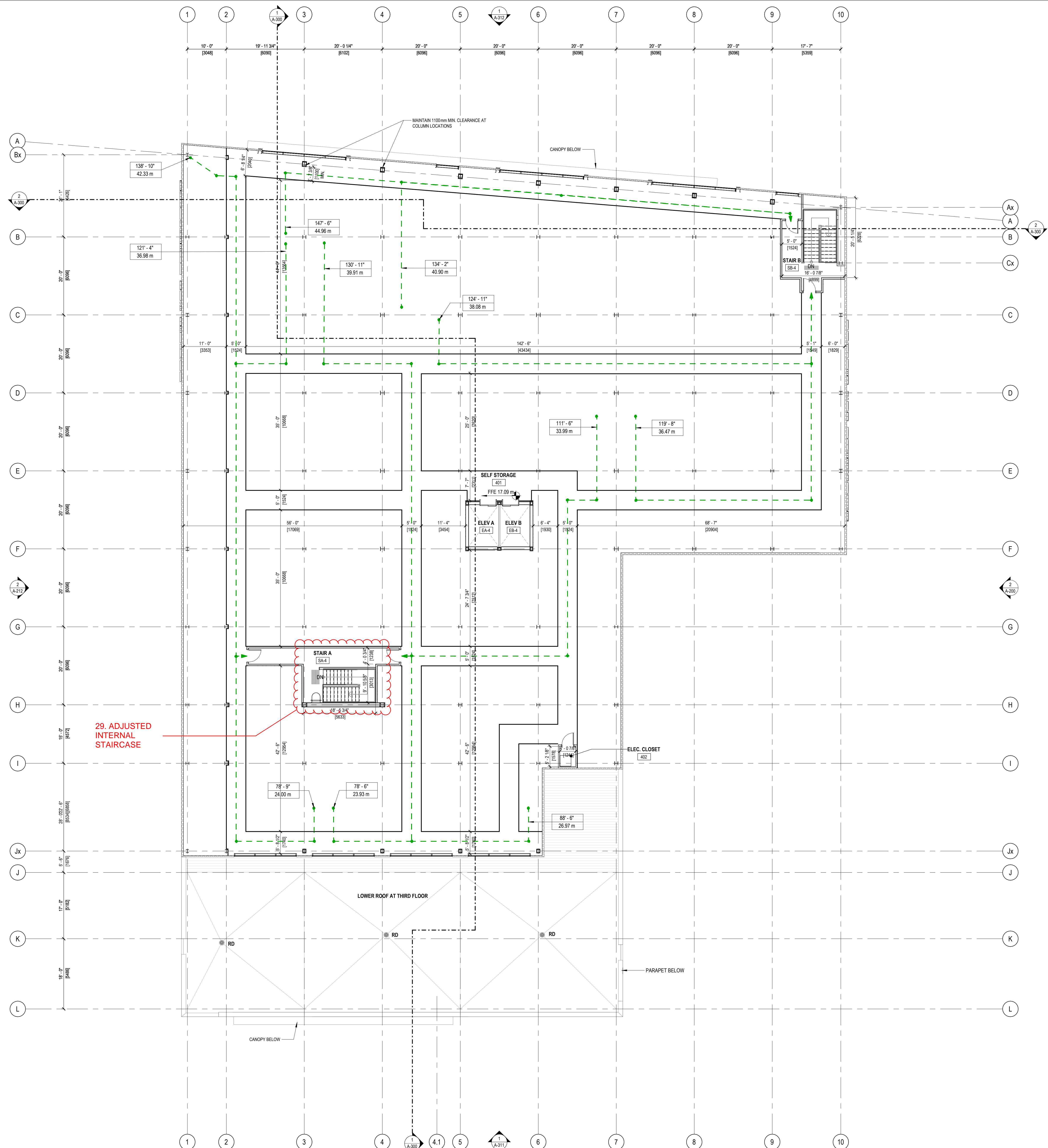
3/32" = 1'-0"

DRAWN BY:

PM

SHEET #:

A-113



1
A-114
FOURTH FLOOR PLAN
3/32" = 1'-0"

LEGEND

--- TRAVEL DISTANCE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

9	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024.03.22	FOR DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
8	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:

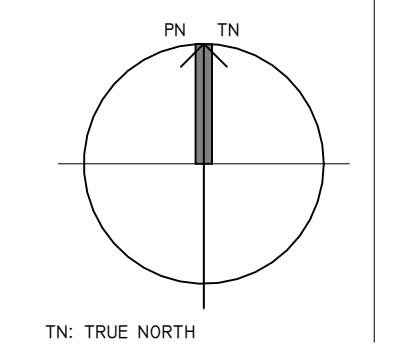


CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

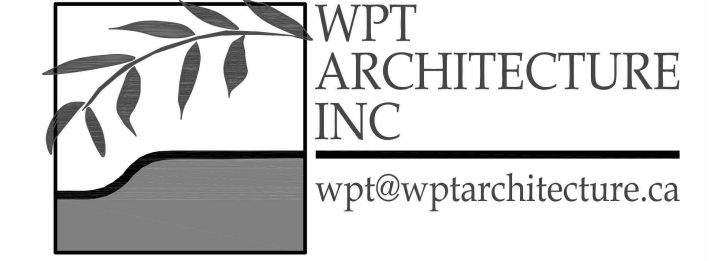
PN: PROJECT NORTH

ARCHITECT'S SEAL:



TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022-0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

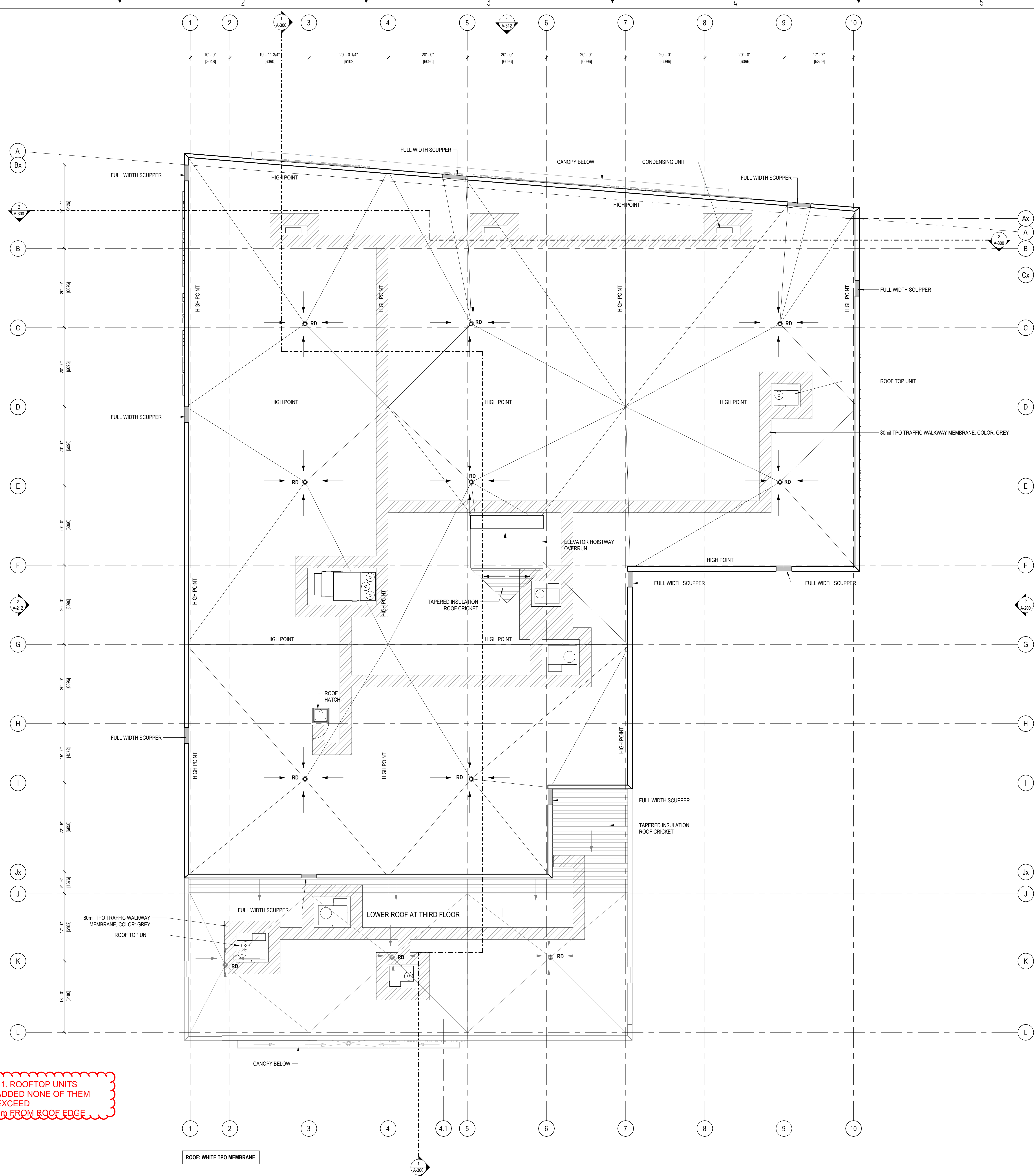
SHEET NAME:

FOURTH FLOOR PLAN

SCALE:
3/32" = 1'-0"
DRAWN BY:
PM

SHEET #:

A-114



1 ROOF PLAN
A-151 3/32" = 1'-0"

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	YYYY-MM-DD	REVISIONS
7	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
6	2024.03.22	FOR DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:

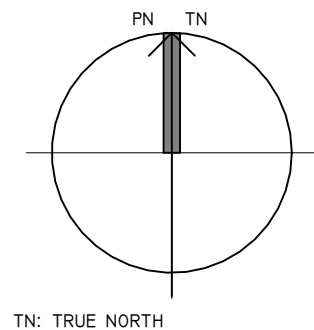


CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

ARCHITECT'S SEAL:



ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

ROOF PLAN

SCALE:

3/32" = 1'-0"

DRAWN BY:

PM

SHEET #:

A-151

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
8	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PROJECT NORTH

ARCHITECT'S SEAL:

FN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01
MUNICIPAL #: CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

NORTH AND EAST EXTERIOR ELEVATIONS

SCALE:

AS INDICATED

DRAWN BY:

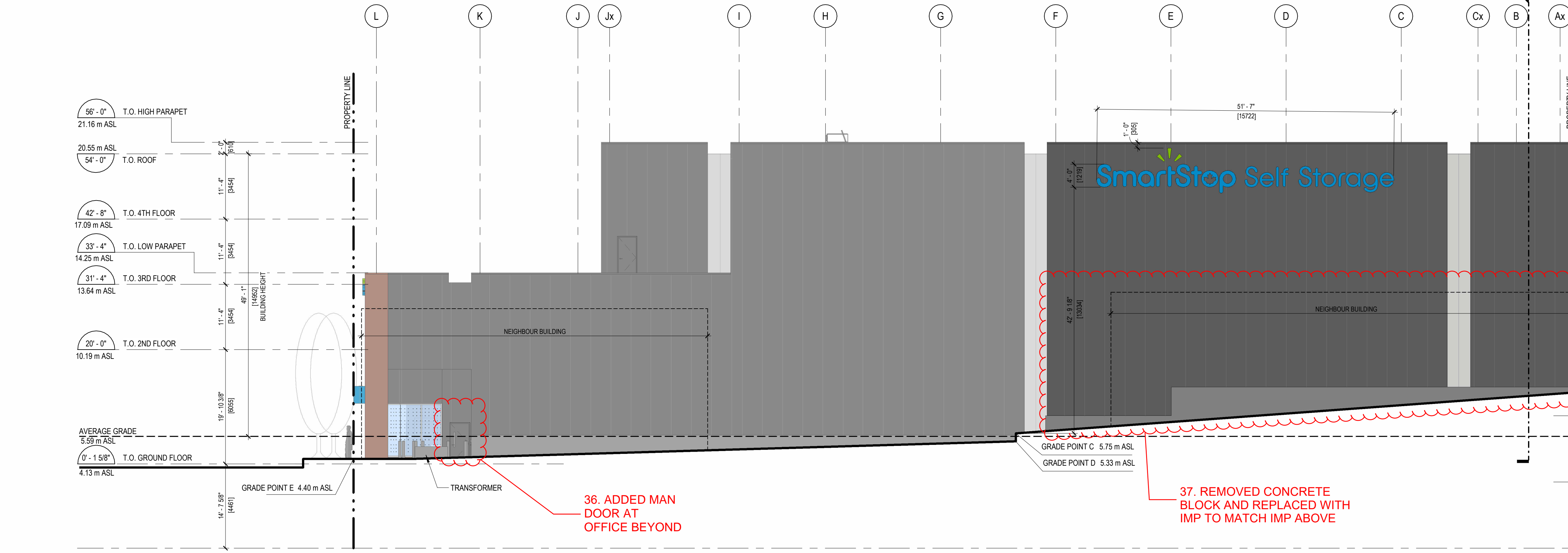
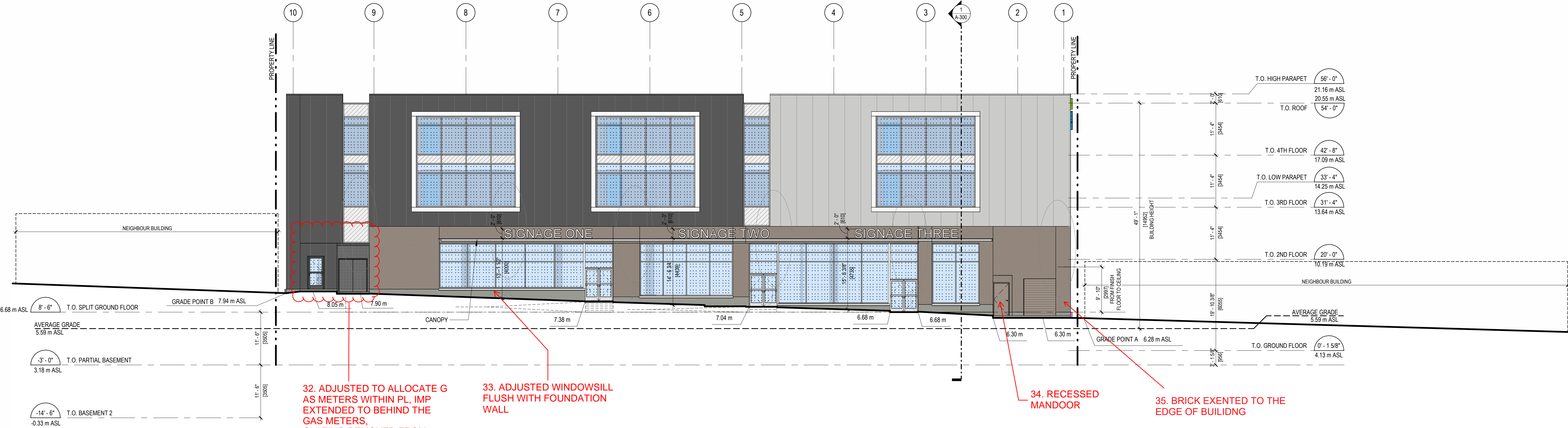
KB

SHEET #:

A-200

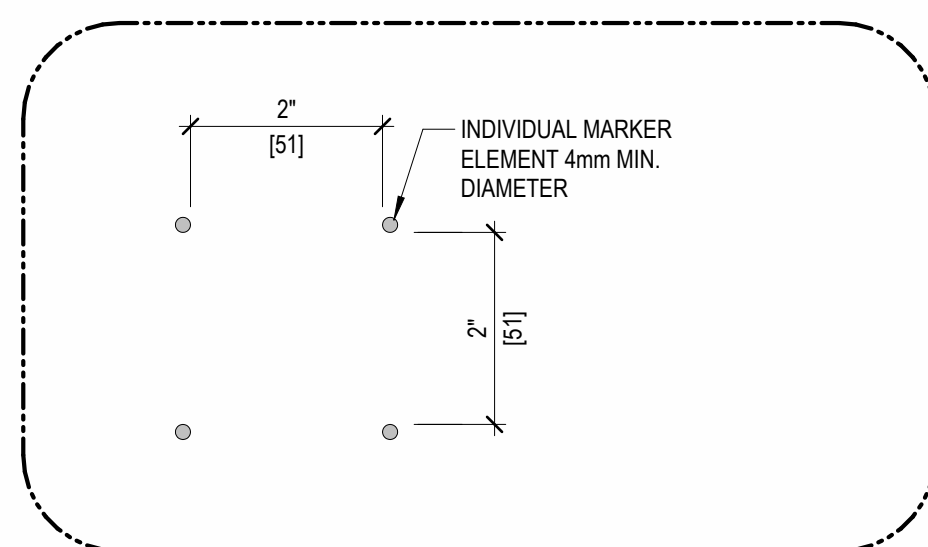
1 NORTH ELEVATION

A-200 3/32" = 1'-0"



2 EAST ELEVATION

A-200 3/32" = 1'-0"



BIRD FRIENDLY DESIGN

BIRD FRIENDLY TREATMENT TO BE APPLIED TO 100% (MINIMUM 85% REQUIRED) OF CONTIGUOUS GLASS PANEL THAT IS GREATER THAN 2m2 (21.902) AND WITHIN 12m FROM FINISHED GRADE.

SPANDREL PANELS WITH OUTSIDE REFLECTANCE OF LESS THAN 15% DO NOT REQUIRE TO BE TREATED.

F

D

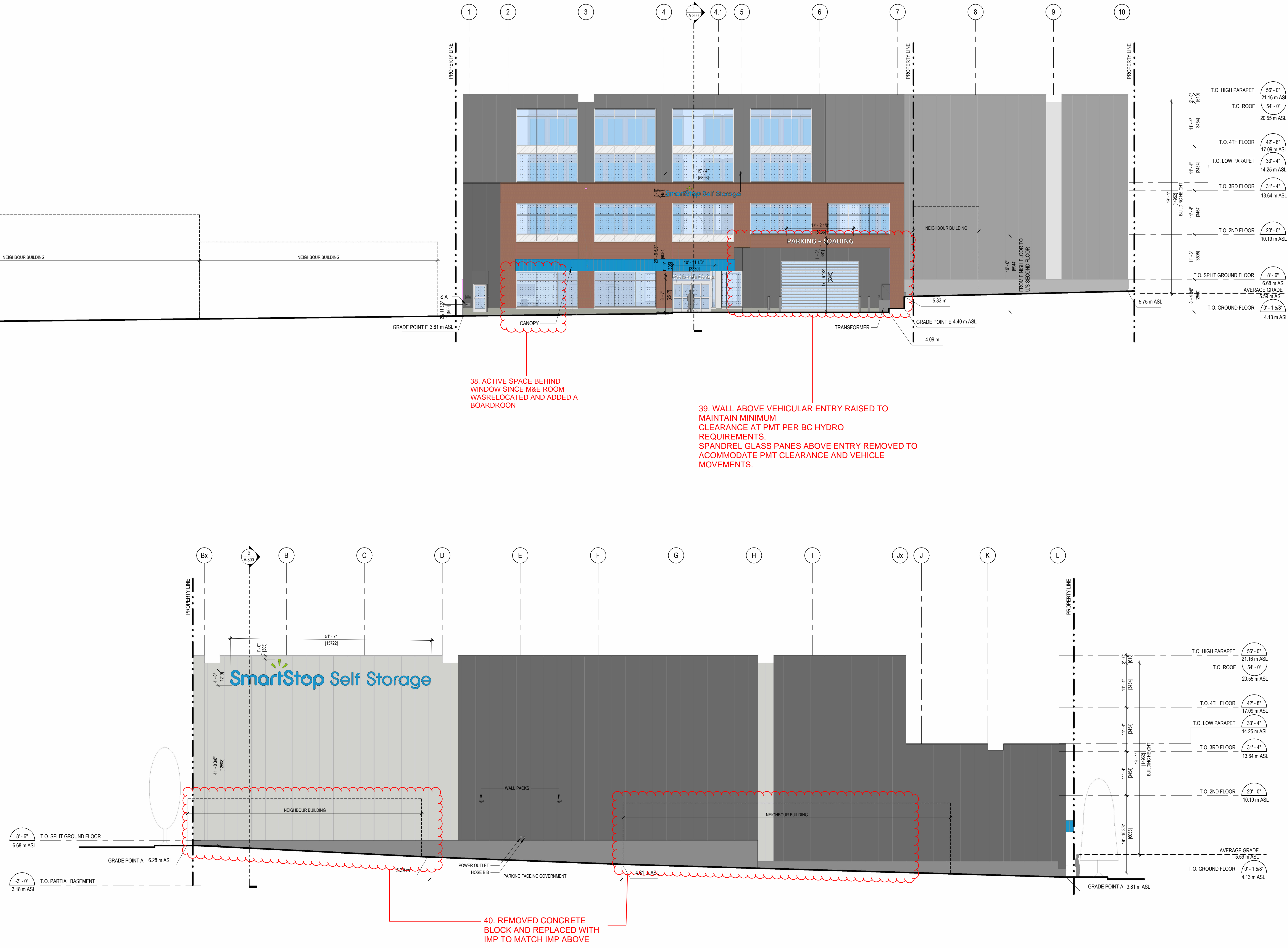
C

B

A

1 SOUTH ELEVATION
3/32" = 1'-0"

2 WEST ELEVATION
3/32" = 1'-0"



FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	DATE	DESCRIPTION
8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-203339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PROJECT NORTH

ARCHITECT'S SEAL:

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

**SOUTH AND WEST EXTERIOR
ELEVATIONS**

SCALE:

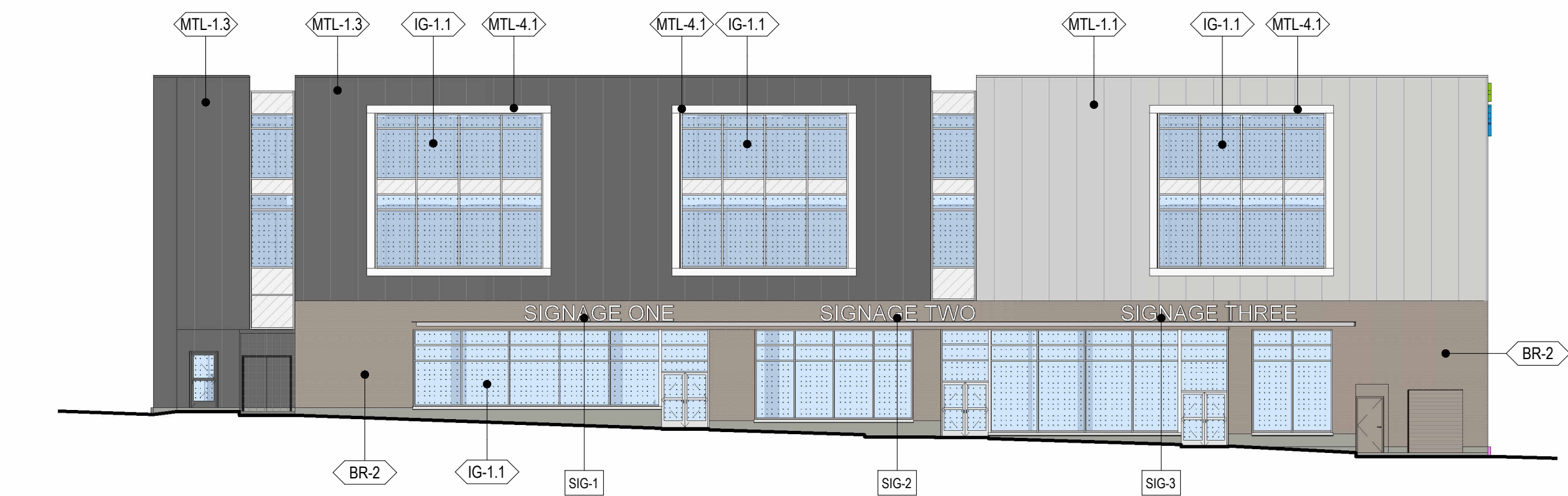
3/32" = 1'-0"

DRAWN BY:

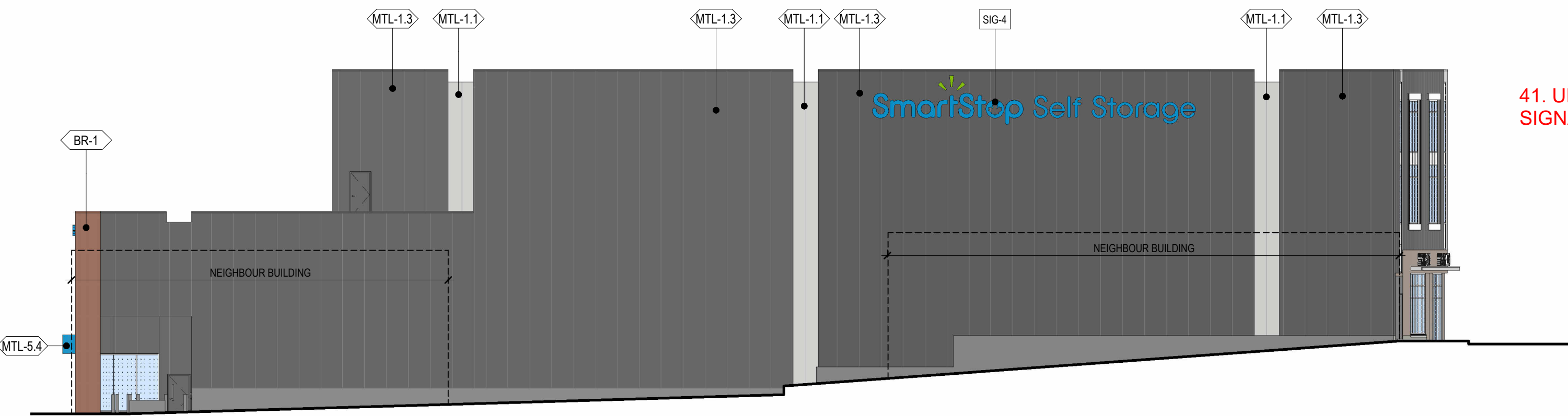
KB

SHEET #:

A-201



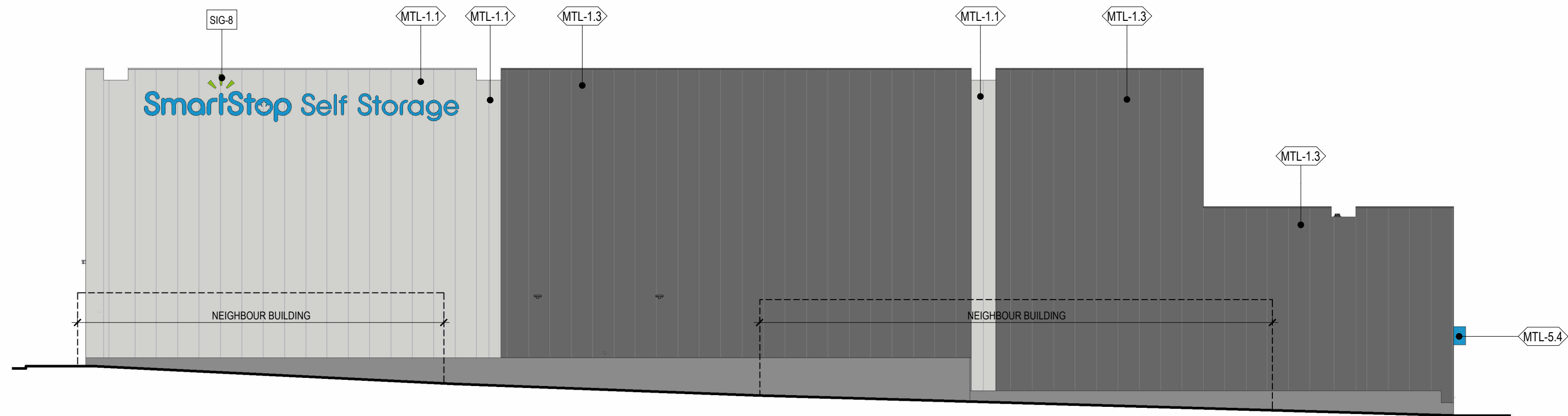
1 NORTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



2 EAST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



3 SOUTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



4 WEST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"

42. REFER TO PAGE A-200 & A-201 FOR NOTES ON NORTH, SOUTH, EAST AND WEST ELEVATIONS

BY LAW NO. 14-097 | ARTERIAL COMMERCIAL SIGN ZONE

A fascia sign shall not have a display surface exceeding 9 m2 (96.88 sq ft).

NORTH ELEVATION

SIGNAGE 1 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 4.0 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m2)

SIGNAGE 2 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 4.4 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m2)

SIGNAGE 3 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 4.7 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 22.6 sq. ft. (2.1 m2)

EAST ELEVATION

SIGNAGE 4 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 13 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m2)

SOUTH ELEVATION

SIGNAGE 5 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 9 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 23.4 sq. ft. (2.17 m2)

SIGNAGE 6 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 2.6 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 4.3 sq. ft. (0.4 m2)

SIGNAGE 7 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 5.3 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 11 sq. ft. (1.02 m2)

WEST ELEVATION

SIGNAGE 8 - FASCIA SIGNAGE, CHANNEL LETTER TYPE
50mm DEEP @ 12.5 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m2)

**MTL-1.1 INSULATED METAL PANEL
ACCENT PANEL**
ORIENTATION - VERTICAL
COLOUR - SW 7064 "PASSIVE"

**MTL-4.1 ALUMINUM COMPOSITE PANEL
DISPLAY FEATURE WALL**
ORIENTATION - HORIZONTAL/VERTICAL
COLOUR - WHITE

**MTL-1.3 INSULATED METAL PANEL
MAIN PANEL**
ORIENTATION - VERTICAL
COLOUR - SW 7674 "PEPPERCORN"

**MTL-5.4 METAL LINEAR PANEL
CANOPY FASCIA & SOFFIT**
ORIENTATION - VERTICAL
COLOUR - PMS 7461 "SMARTSTOP BLUE"

**BR-1 BRICK MASONRY
SELECT AREAS AT BASE OF BUILDING**
COLOUR - COLOUR - 200 FLASHED MATT

**BR-2 BRICK MASONRY
SELECT AREAS AT BASE OF BUILDING**
COLOUR - COLOUR - VIVACE PRP MILANO

**IG-1.1 CLEAR GLAZING
CURTAIN WALL**
COLOUR - LIGHT BLUE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	DATE	DESCRIPTION
7	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
6	2024.10.23	ISSUED FOR BUILDING PERMIT COMMENTS
5	2024.10.15	ISSUED FOR SIGNAGE TENDER
4	2024.10.09	ISSUED FOR TENDER
3	2024.09.03	ISSUED FOR PERMIT
2	2024.08.08	ISSUED FOR 70% SUBMISSION
1	2024.03.05	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

EXTERIOR FINISHES

SCALE:

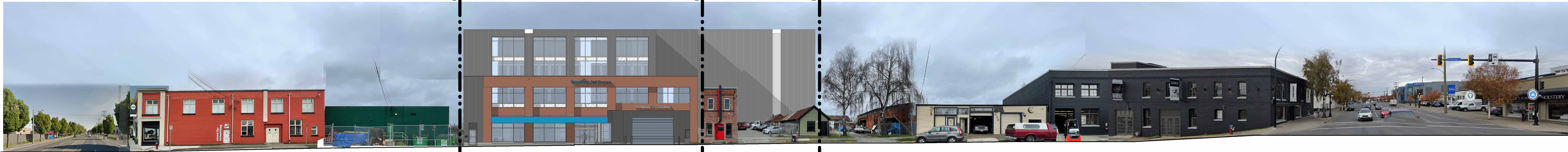
1/16" = 1'-0"

DRAWN BY:

KB

SHEET #:

A-210



1 SOUTH- PEMBROKE STREET
A-212 1: 275



2 WEST - GOVERNMENT STREET
A-212 1: 275



3 NORTH - PRINCESS AVENUE
A-212 1: 275

43. REFER TO PAGE A-200 & A-201 FOR NOTES ON NORTH, SOUTH, EAST AND WEST ELEVATIONS

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.10.31	FOR DEVELOPMENT PERMIT
3	2023.08.15	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
8	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

**EXTERIOR CONTEXT
ELEVATIONS**

SCALE:

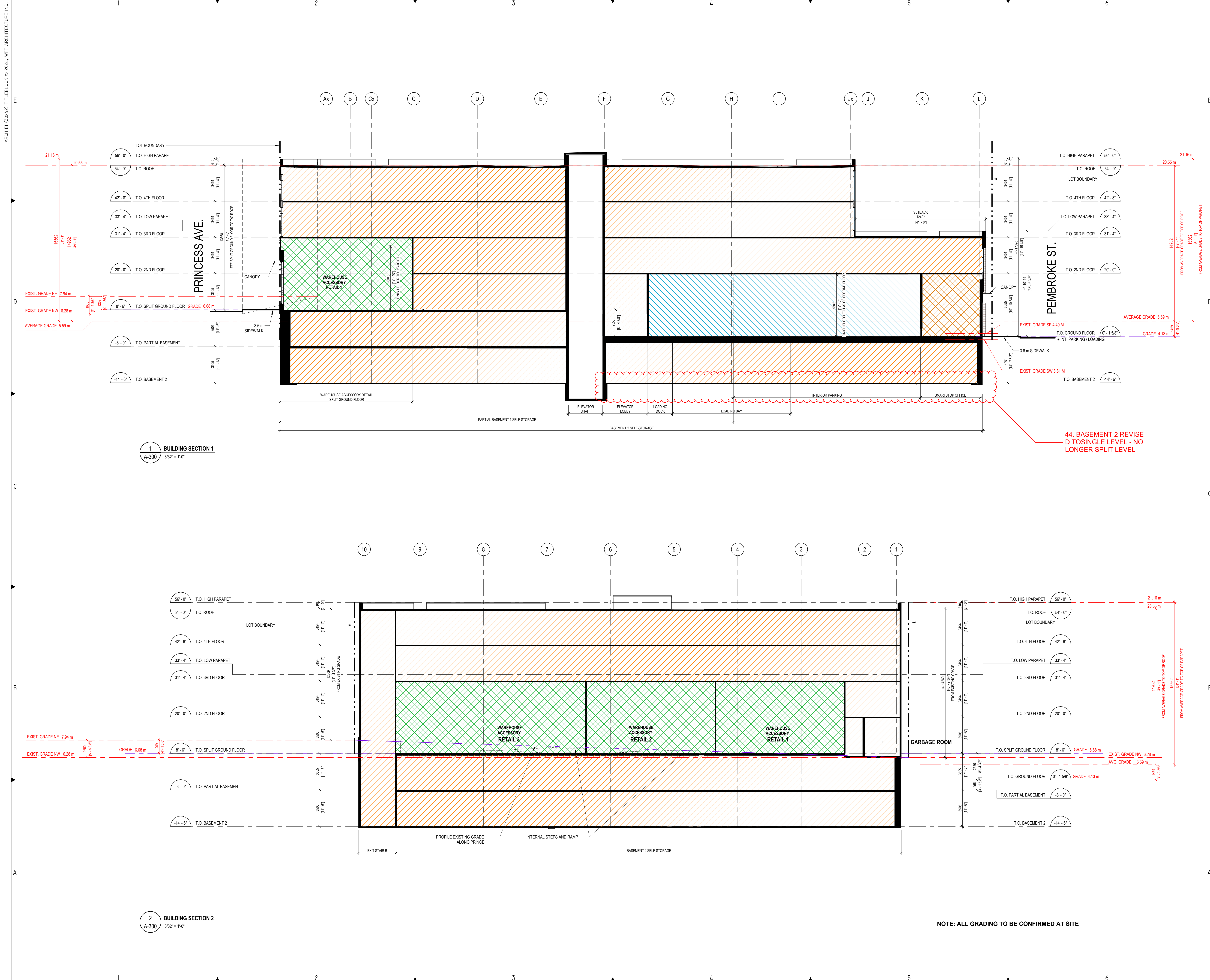
1 : 275

DRAWN BY:

KB

SHEET #:

A-212



FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

NO.	DATE	DESCRIPTION
8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
8	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

BUILDING ENVELOPE:

LANDSCAPING:

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01
CLIENT PROJECT #: CLIENT CONTRACT #:

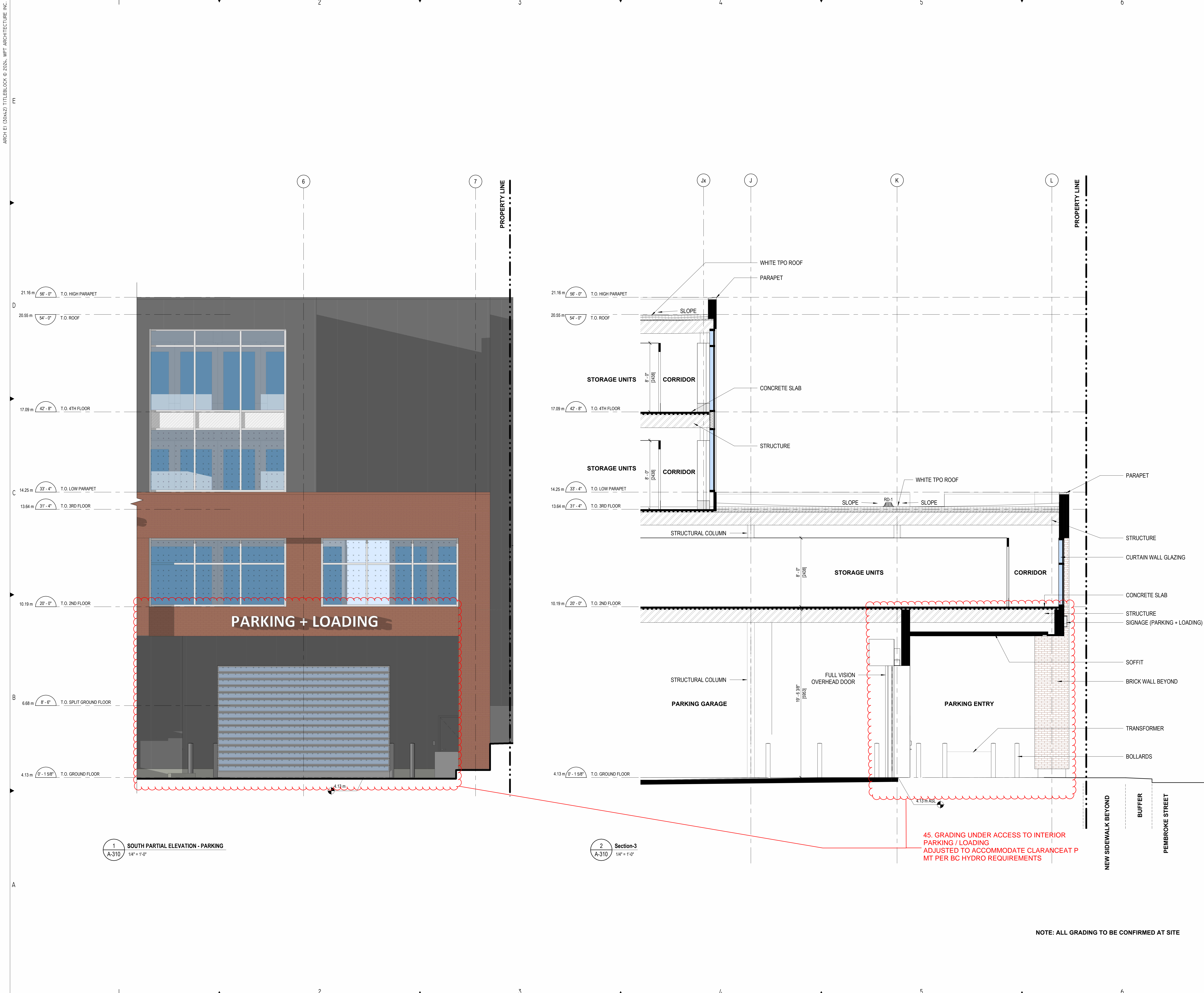
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

BUILDING SECTIONS

SCALE:
3/32" = 1'-0"
DRAWN BY:
PM

SHEET #:
A-300



FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	YYYY-MM-DD	REVISIONS
6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

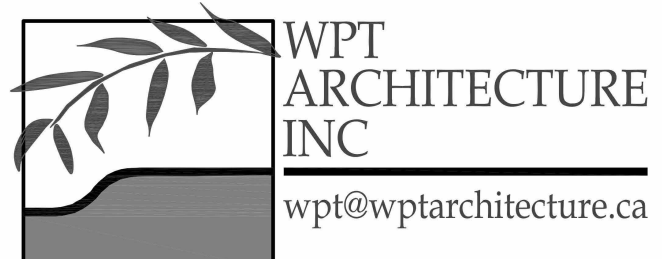
PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022-0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

**PARTIAL SOUTH ELEVATION
AND SECTION**

SCALE:

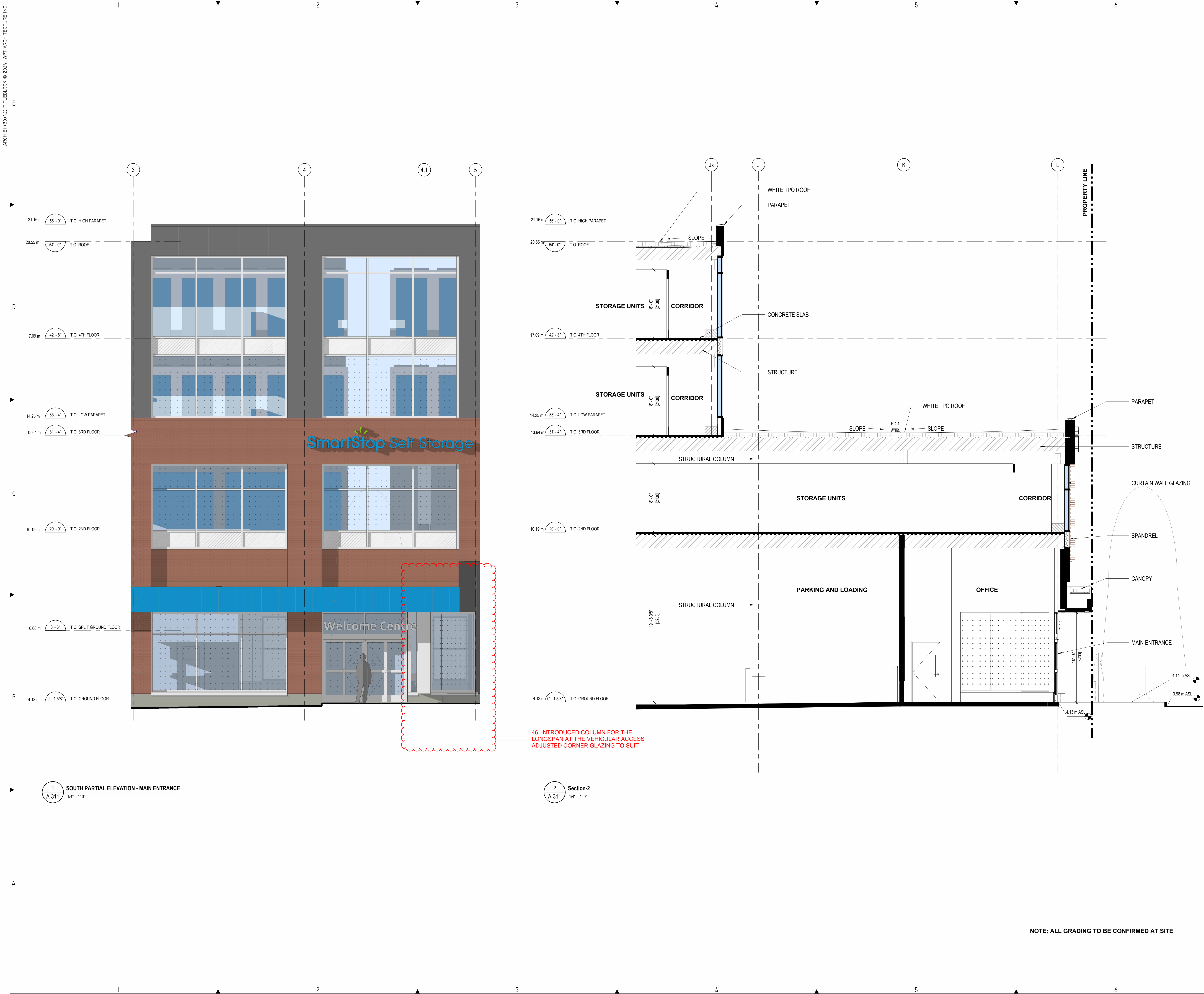
1/4" = 1'-0"

DRAWN BY:

PM

SHEET #:

A-310



FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

STRUCTURAL:

BUILDING ENVELOPE:

LANDSCAPING:

CLIENT LOGO:

CLIENT:

PN: PROJECT NORTH

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:	MUNICIPAL #:
2022.0076.01	
CLIENT PROJECT #:	CLIENT CONTRACT #:

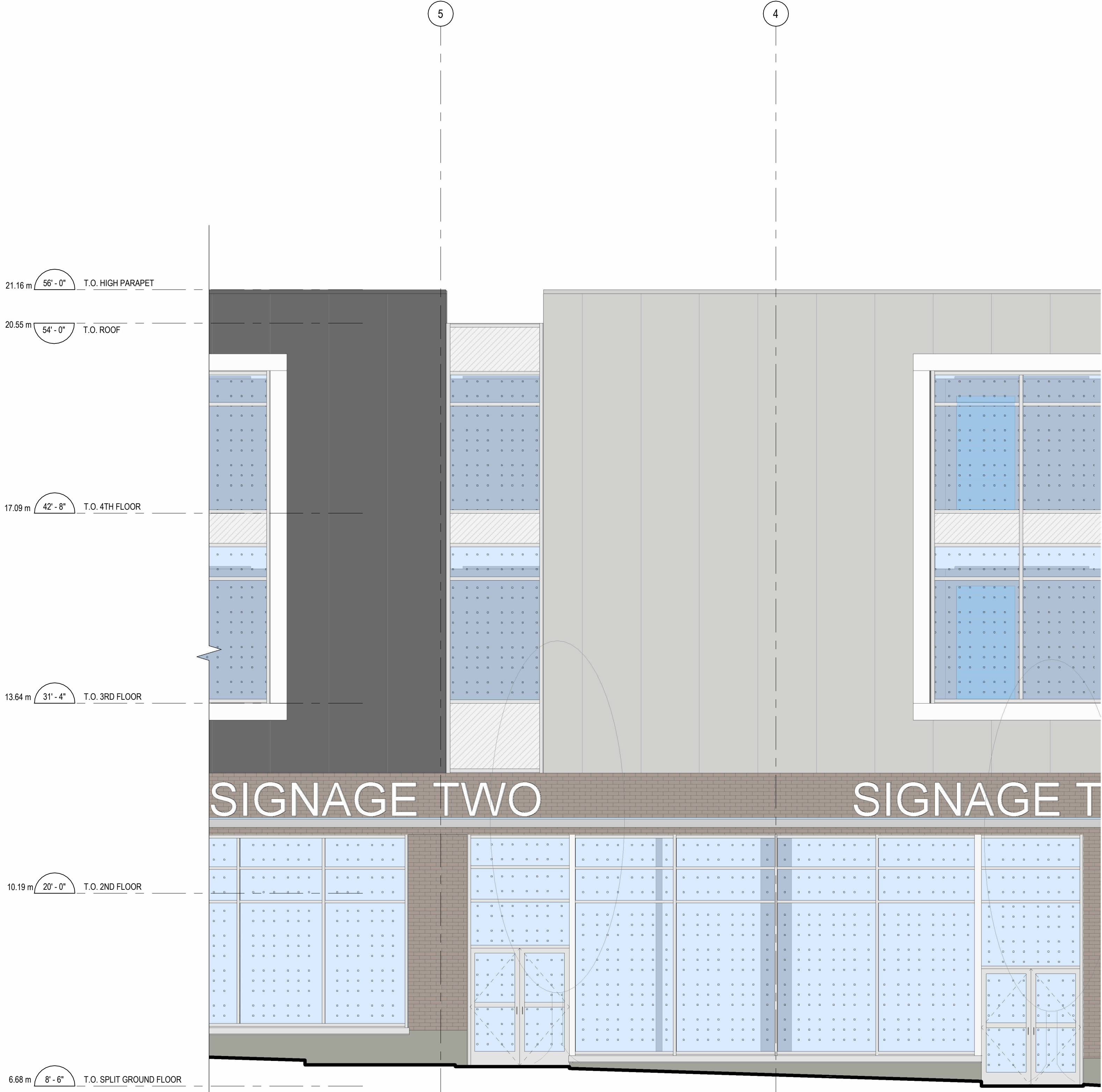
PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

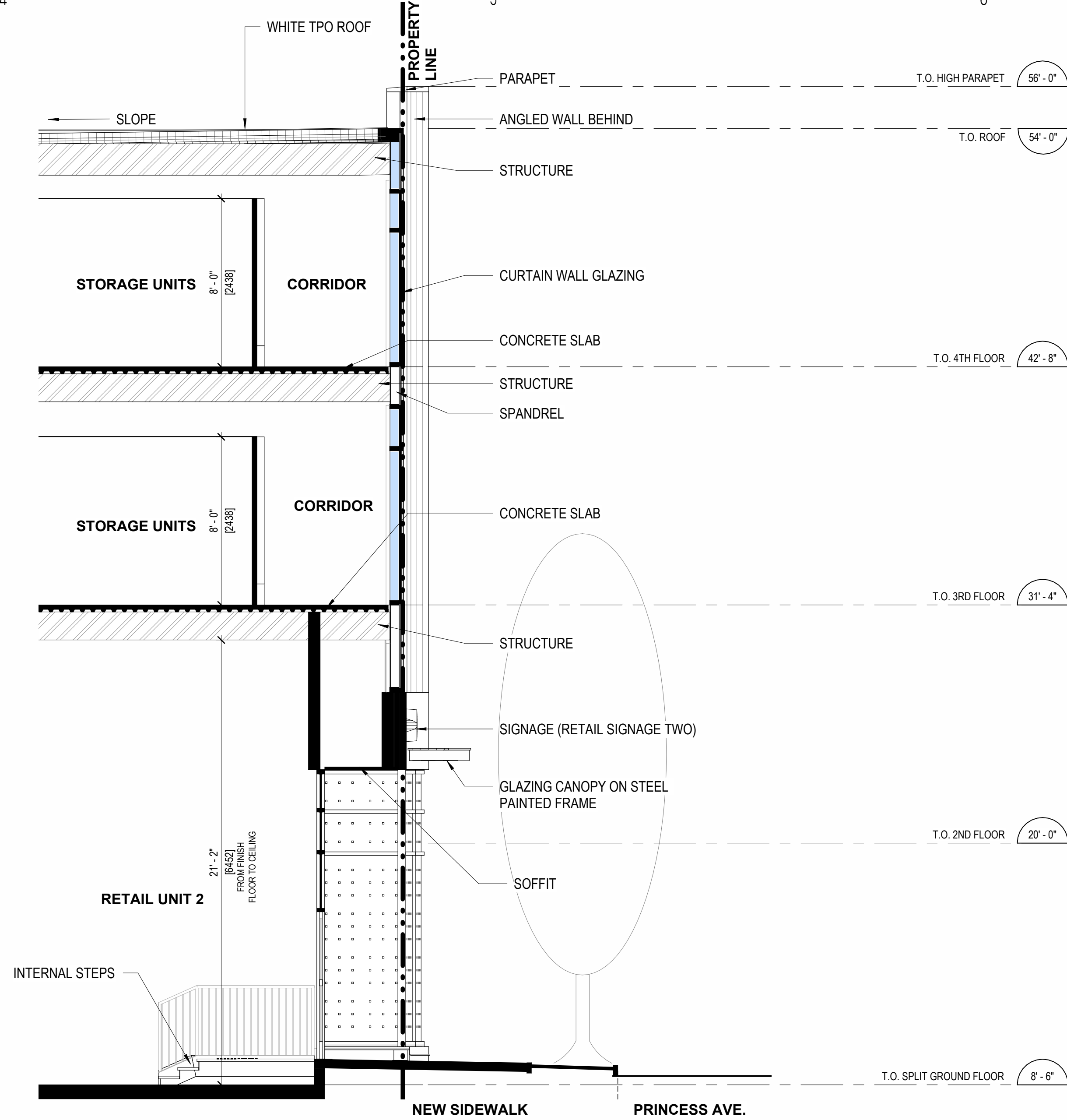
PARTIAL SOUTH ELEVATION
AND SECTION

SCALE:	SHEET #:
1/4" = 1'-0"	
DRAWN BY:	
PM	

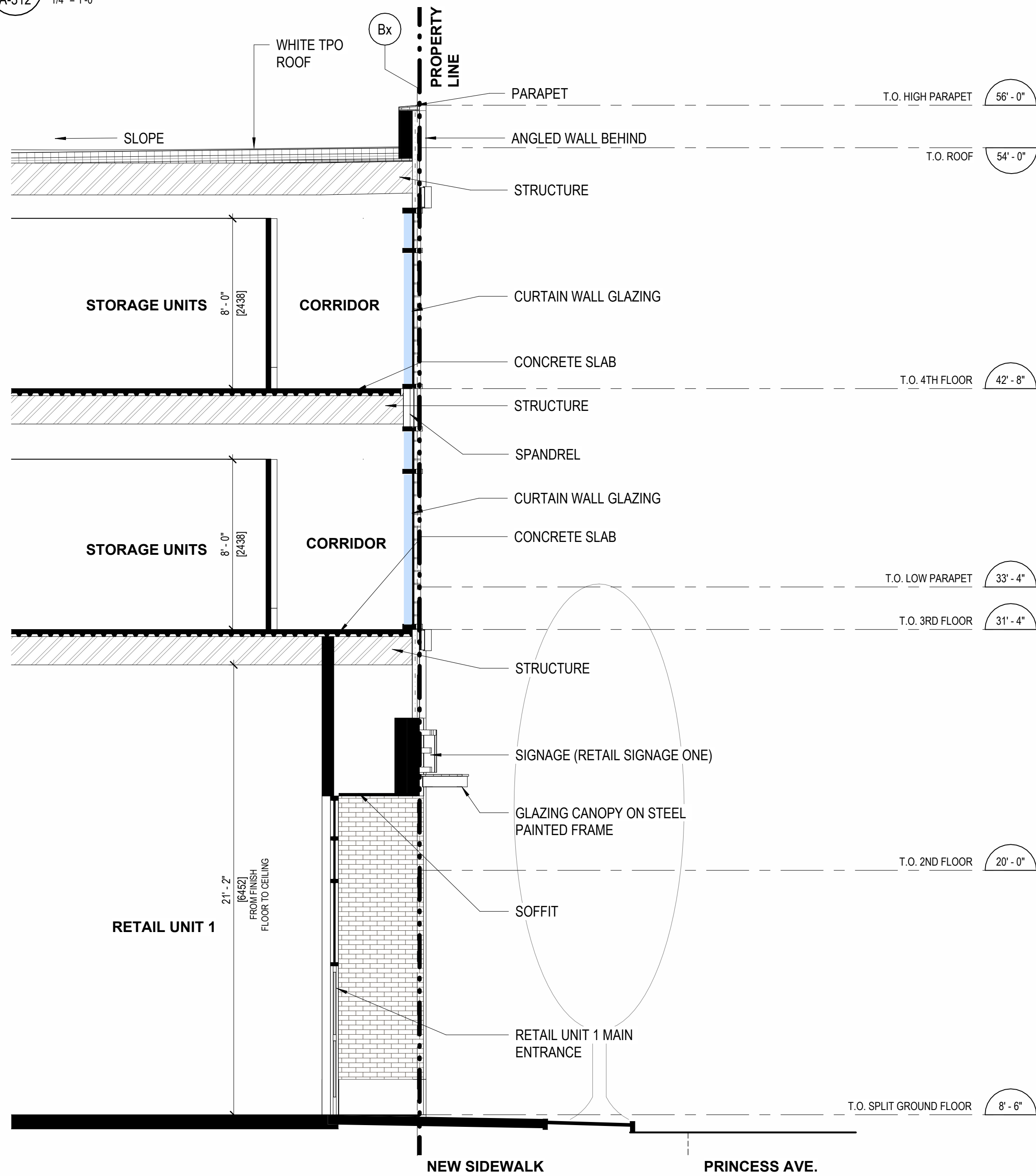
A-311



1 NORTH PARTIAL ELEVATION - COMMERCIAL ENTRANCE
A-312 1/4" = 1'-0"



2 Section-4
A-312 1/4" = 1'-0"



3 Section-5
A-312 1/4" = 1'-0"

NOTE: ALL GRADING TO BE CONFIRMED AT SITE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

#	YYYY-MM-DD	REVISIONS
6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022-0076.01
CLIENT PROJECT #: MUNICIPAL #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

**PARTIAL NORTH ELEVATION
AND SECTION**

SCALE:

1/4" = 1'-0"

DRAWN BY:

PM

SHEET #:

A-312



VIEW FROM PRINCESS AVENUE LOOKING SOUTH-WEST AT THE NORTH FACADE

47. UPDATED 3D VIEW

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE:	SHEET #:
DRAWN BY: PM	A-400



VIEW FROM PEMBROKE STREET LOOKING NORTH-WEST AT THE SOUTH FACADE

48. UPDATED 3D VIEW

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE:

DRAWN BY:

A.F

SHEET #:

A-401

F

D

C

B

A



STREET LEVEL VIEW ON PEMBROKE STREET

49. UPDATED 3D VIEW

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022-0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE:	SHEET #:
DRAWN BY: A.F	

A-402



STREET LEVEL VIEW ON PRINCESS AVENUE

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE:

SHEET #:

DRAWN BY:

PM

A-403



AERIAL VIEW LOOKING NORTH-EAST AT THE PROPOSED BUILDING IN CONTEXT

51. UPDATED 3D-AERIAL VIEW

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #: 2022.0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE:	SHEET #:
DRAWN BY: PM	

A-410

F

D

C

B

A



AERIAL VIEW LOOKING NORTH-WEST AT THE PROPOSED BUILDING IN CONTEXT

52. UPDATED 3D-AERIAL VIEW

FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
- DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
- DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
- CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
- ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

TN: TRUE NORTH

ARCHITECT:



WPT PROJECT #:

2022-0076.01

CLIENT PROJECT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE:

DRAWN BY:

PM

SHEET #:

A-411



PERSPECTIVE VIEW LOOKING NORTH-EAST AT SOUTH WEST CORNER



PERSPECTIVE VIEW LOOKING NORTH-WEST AT SOUTH EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-WEST AT NORTH-EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-EAST AT NORTH-WEST CORNER

53. UPDATED 3D
PERSPECTIVE VIEWS

FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES - TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
#	YYYY-MM-DD	REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.,
WOODBIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROWNTREE DAIRY RD.,
WOODBIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

PN TN

ARCHITECT'S SEAL:

TN: TRUE NORTH

ARCHITECT:



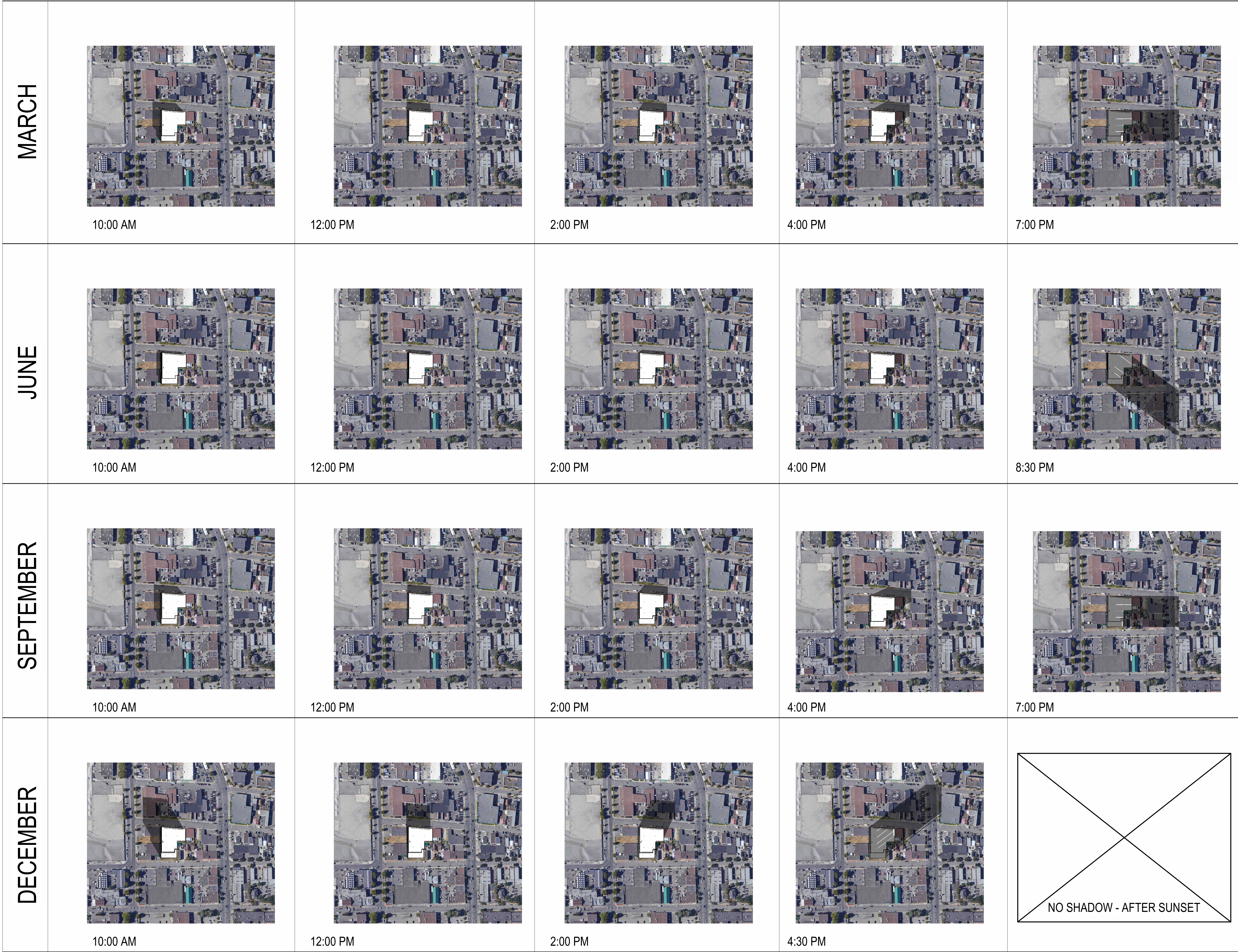
WPT PROJECT #: 2022-0076.01	MUNICIPAL #:
CLIENT PROJECT #:	CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D PERSPECTIVES

SCALE:	SHEET #:
DRAWN BY: PM	A-412



FOR DELEGATED DEVELOPMENT PERMIT

- GENERAL NOTES TYPICAL:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO THE ARCHITECT IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
 - DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS' DOCUMENTATION.
 - DO NOT SCALE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS FOR CONSTRUCTION AND STAMPED AND SIGNED BY THE ARCHITECT AND CONSULTANTS.
 - CONTRACTOR AND CONSTRUCTION MUST COMPLY WITH PERTINENT CODES, BYLAWS, PROVINCIAL AND FEDERAL REGULATORY REQUIREMENTS.
 - ALL DOCUMENTS REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN PERMISSION.

8	2024.11.12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.05 FOR DEVELOPMENT PERMIT
6	2023.12.20 FOR DEVELOPMENT PERMIT
5	2023.10.31 FOR DEVELOPMENT PERMIT
4	2023.08.15 FOR DEVELOPMENT PERMIT
3	2023.04.21 FOR DEVELOPMENT PERMIT
2	2023.04.14 FOR DISCUSSION
1	2023.04.06 FOR DISCUSSION
#	YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

MECHANICAL:

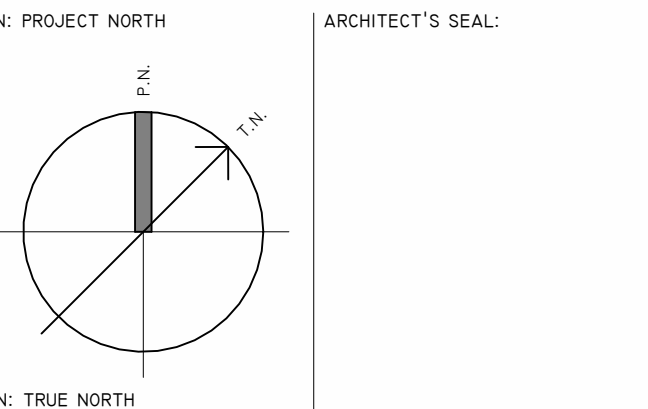
STRUCTURAL:

PLANNING:

LANDSCAPING:
PMG LANDSCAPE ARCHITECTS
C100 4185 STILL CREEK DRIVE
BURNABY BC CANADA V5C6G9
T: 604.294.0011

CLIENT LOGO:
 

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4L 5Z5
TEL: 905 326 6400



TN: TRUE NORTH



WPT PROJECT #:

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

**SMART STOP
DOBNEY FOUNDRY
VICTORIA, BC**

SHEET NAME:

SUN STUDIES

SCALE:

N.T.S.

DRAWN BY:

A.F

SHEET #:

A 901



GINKGO BILOBA 'PRINCETON SENTRY'



QUERCUS FRAINETTO 'SCHMIDT'



WISHBONE INDUSTRIES:
LOOP BIKE RACK - LBRP-1-SS MOUNT TO CONCRETE SIDEWALK PAD

2 PLANT SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	PWG PROJECT NUMBER: 23-064	CITY OF VICTORIA SCHEDULE E SIZE
TREE	2	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR	7CM CAL; 2M STD; B&B		LARGE
	5	QUERCUS FRAINETTO 'SCHMIDT'	HUNGARIAN OAK	6CM CAL; 1.8M STD; B&B, CLIMATE RESILIENT		LARGE

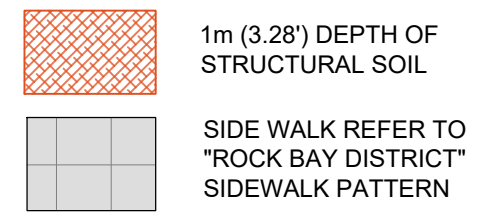
NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER ONLA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRASER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NOTES:
1. CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CITY OF VICTORIA STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO SUBMISSION TO COV NO LESS THAN 30 DAYS PRIOR TO INSTALLATION.
2. TEMPORARY CONSTRUCTION STAGING AREA TO BE LOCATED AT 2121 GOVERNMENT STREET.

Planting Area ID	Area (m²)	Soil Volume Multiplier	A. Estimated Soil Volume	Replacement Trees Proposed			Soil Volume Required (m³)			Total
				B. # Small	C. # Medium	D. # Large	E. Small	F. Medium	G. Large	
ONSITE										
Planting Area x	0	0	0	0	0	0	0	0	0	0
OFFSITE (excluding City property)										
Planting Area OSA 1	82	1	82	0	0	2	0	0	60	60
Planting Area OSA 2	171	1	171	0	0	5	0	0	150	150

REPLACEMENT TREES MUST BE PLANTED DURING THE SUITABLE LOCAL PLANTING SEASONS GENERALLY DEFINED AS FALL (SEPTEMBER - NOVEMBER) AND SPRING (FEBRUARY - APRIL).
WHERE PLANTING MUST OCCUR OUTSIDE OF THE PRESCRIBED TIME PERIODS, THEN A STRATEGY FOR ENSURING THE TREES ARE WATERED (IN THE SUMMER) AND APPROPRIATELY CARED FOR MUST BE INCLUDED AS PART OF THE TREE PERMIT APPLICATION.

TOTAL REPLACEMENT TREES PROPOSED FOR ONSITE	0
ONSITE TREES PROPOSED FOR CIL	15
OFFSITE TREES PROPOSED	7
OFFSITE TREES PROPOSED FOR CIL	0
CIL PROPOSED 15 X \$2,000 = \$30,000	



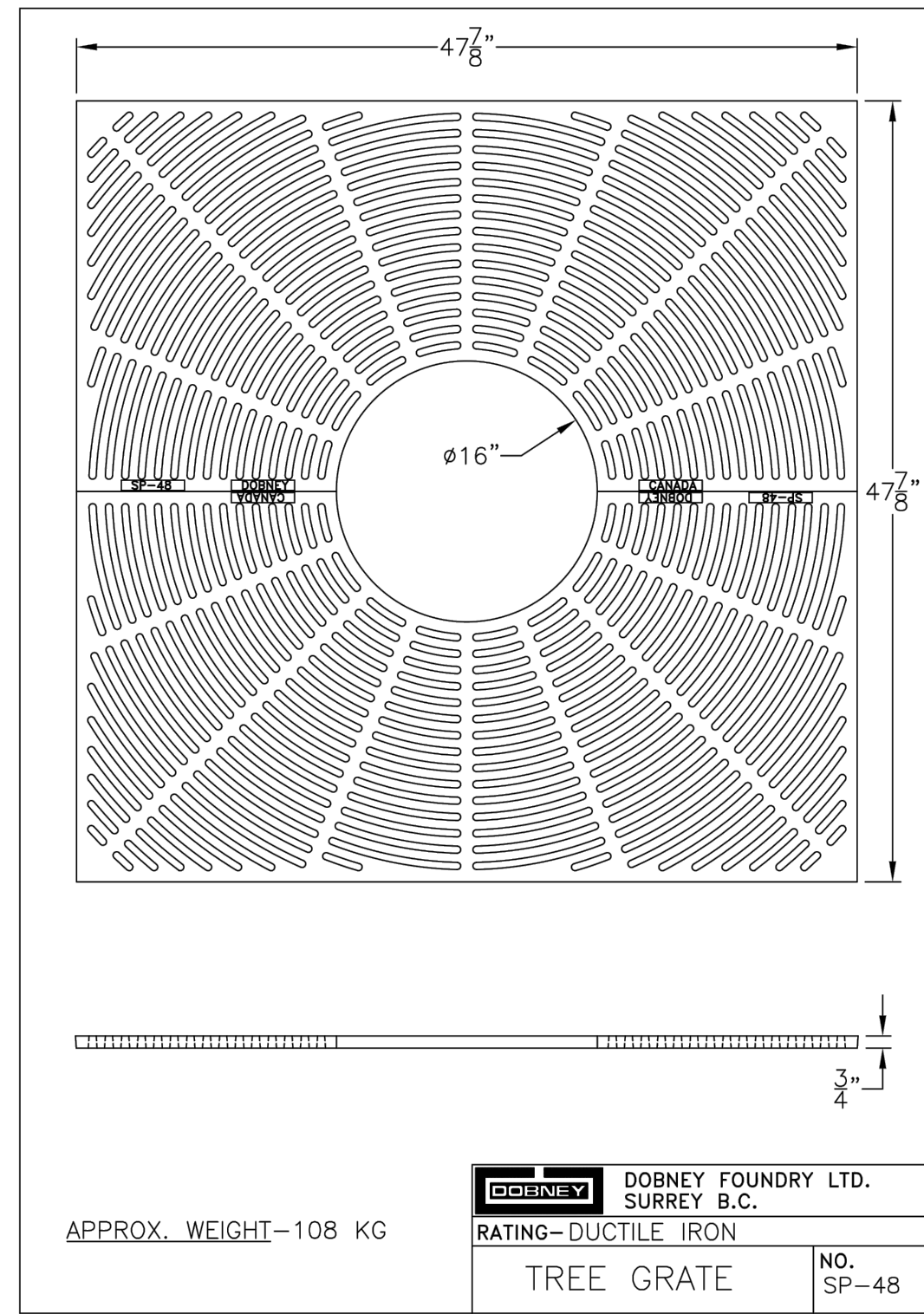
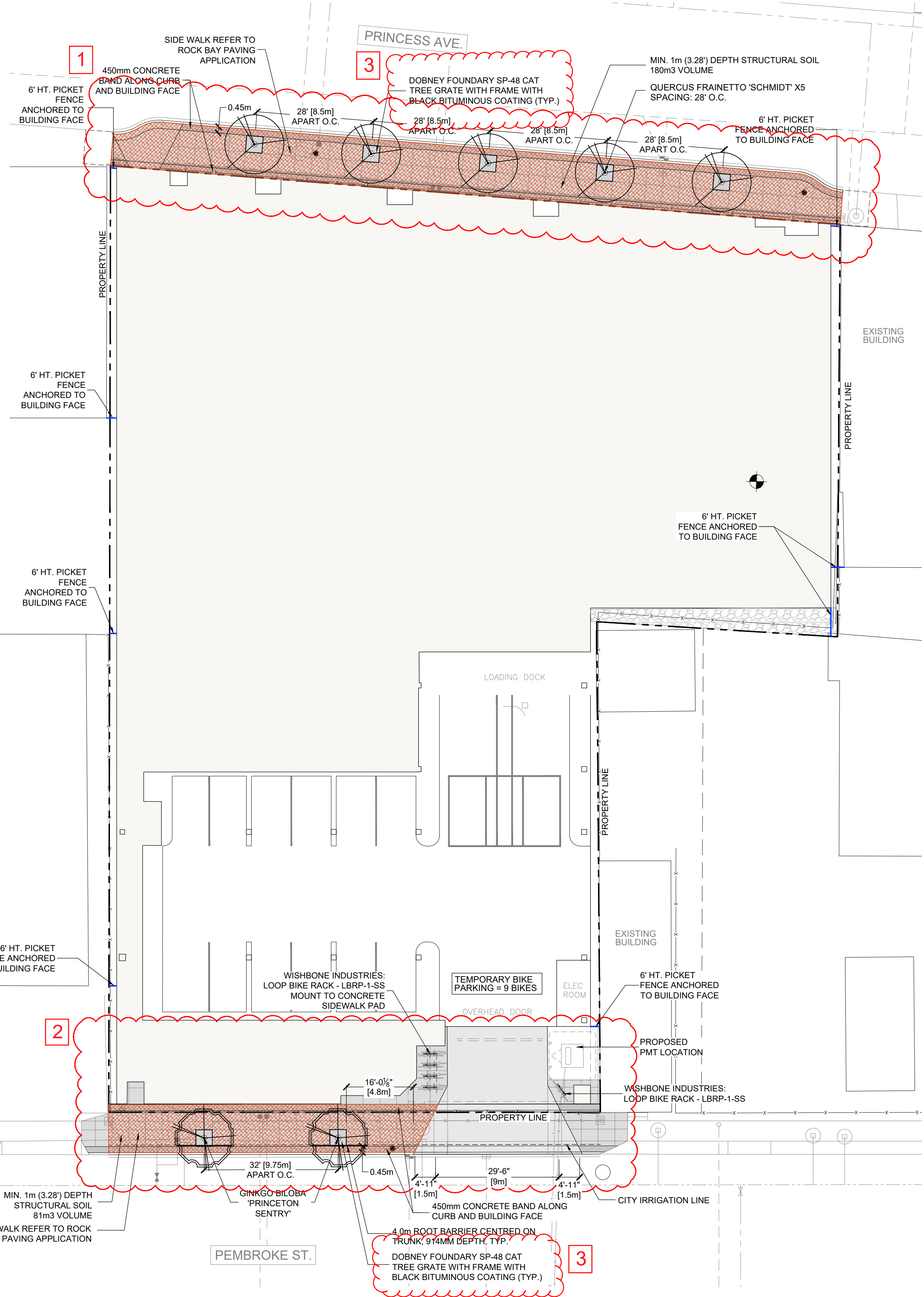
FENCE LEGEND

6' HT. PICKET FENCE ANCHORED TO BUILDING FACE (REF TO ARCH DETAIL)

- NOTES:
CITY OF VICTORIA IRRIGATION:
1. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, MUST FOLLOW CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW.
2. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION. CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48HRS NOTICE FOR IRRIGATION INSPECTIONS.
3. REQUIRED PARKS INSPECTIONS FOR IRRIGATION:
- IRRIGATION SLEEVES PRIOR TO BACKFILLING.
- OPEN TRENCH MAINLINE AND LATERAL LINES.
- PRESSURE TEST.
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).
NOTE: INSTALLATION OF WATER SERVICE TO BE AT THE EXPENSE OF THE APPLICANT. PARKS IS NOW REQUESTING THAT 100MM SDR PIPE BE USED FOR IRRIGATION SLEEVING UNDER HARD SURFACES. INSTALLATION WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.

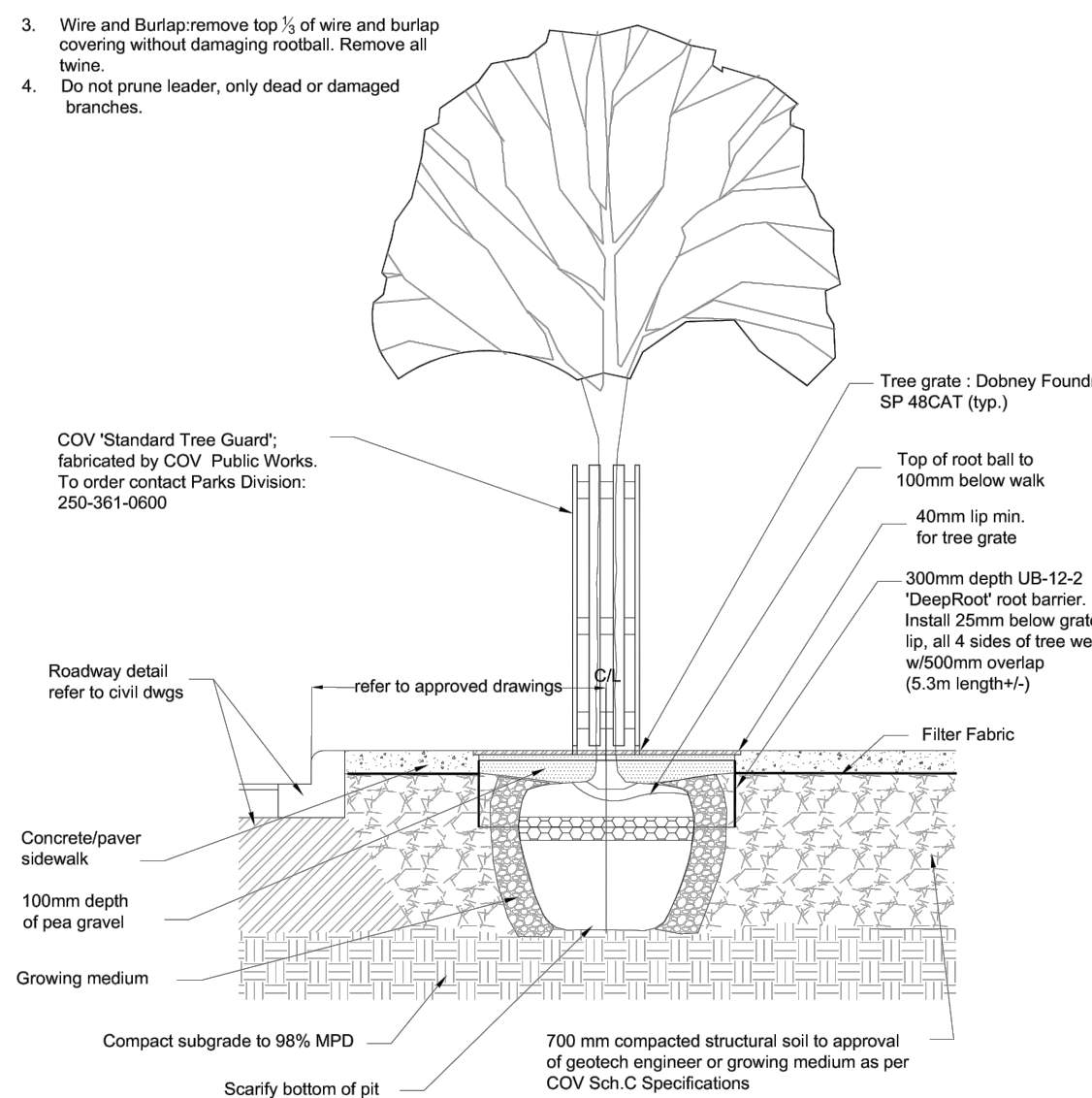
- CITY OF VICTORIA SPECIFICATIONS:
1. STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8CM DIAMETER CALIPER MEASURED 15CM ABOVE GROUND, AND WELL-BALANCE CROWN WITH BRANCHING STARTING AT 1.8-2.5M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
2. SOIL TEST OF GROWING MEDIUM. SOIL TEST FOR THE GROWING MEDIA FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREEPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
3. SCHEDULE B3-4 AND SCHEDULE C: THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO 12-042 AND TH ASSOCIATED SCHEDULE CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBSITE.
4. PROPOSED STREET TREE LOCATIONS AND SPECIES SELECTION REQUIRES PARKS APPROVAL. PROPOSED STREET TREE LOCATIONS MUST BE INDICATED AND SHALL RESPECT THE MINIMUM OFFSETS FROM INFRASTRUCTURE OUTLINED IN VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW. SCHEDULE C. TREES PLANTED 1.0M OR LESS FROM CURBS OR SIDEWALKS ARE TO HAVE ROOT BARRIERS TO PROTECT CIVIL INFRASTRUCTURE. PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREEPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME TO SCHEDULE AN INSPECTION.

- REQUIRED PARKS INSPECTIONS FOR STREET TREE PLANTING:
1. INSPECTION OF EXCAVATED TREE PITS, STRUCTURAL SOIL, ROOT BARRIERS.
2. INSPECTION OF TREE STOCK PRIOR TO PLANTING.
3. INSPECTION OF INSTALLED TREE - TREE PLANTING, GRATE/GUARD, STAKES, ETC. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.



- Preparation notes:
1. Container grown: remove completely from container
2. Burlap and rope remove top 1/3 of covering
3. Wire and Burlap removes top 1/3 of wire and burlap covering without damaging rootball. Remove all twine.
4. Do not prune leader, only dead or damaged branches.

NOTE: ALL TREES SHALL MEET OR EXCEED THE CITY OF VICTORIA (COV) SCHEDULE C SPECIFICATIONS



Parks Division
TITLE: Tree Planting in Sidewalk with Tree Guard
SCALE: Not to Scale
DATE: Feb. 27, 2018
DWN: APP'D:
DRAWING: SD-P5

0 5 10 20m

23064-15-ZIP

PMG PROJECT NUMBER:

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.

pmg
LANDSCAPE
ARCHITECTS

Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
15	24.OCT.25	NEW SITE PLAN	JL
14	24.OCT.21	ISSUED FOR PERMIT COMMENTS	JL
13	24.OCT.07	RE-ISSUED FOR TENDER	JL
12	24.SEP.24	ISSUED FOR TENDER	JL
11	24.SEP.19	UPDATE PER COMMENTS	JL
10	24.AUG.26	UPDATE PER COMMENTS	CLG
9	24.APR.05	REV. PER NEW SITE PLAN	BA
8	24.MAR.22	UPDATE BUILDING PLAN	BA
7	24.FEB.29	REV. PER CITY COMMENTS	BA
6	24.FEB.27	REV. PER CITY COMMENTS	BA
5	24.JAN.24	REV. PER PARKS COMMENTS	BA
4	23.DEC.18	SITE PLAN/CITY COMMENTS	BA
3	23.OCT.30	SITE PLAN/CITY COMMENTS	BA
2	23.JUL.25	SHIFT TREE/ADD SOIL VOLUMES	CW
1	23.JUL.21	REV. PER NEW SITE PLAN/CITY COMMENTS	BA

CLIENT:

PROJECT:

SMARTSTOP
SELF STORAGE
PEMBROKE ST.
VICTORIA, B.C.

DRAWING TITLE:

LANDSCAPE
PLAN

DATE: 23.APR.17

SCALE: 1:125

DRAWN: MM

DESIGN: MM

CHK'D: BA

DRAWING NUMBER:

1:125

MM

MM

BA

23-064

PART ONE - GENERAL

1.1 COPYRIGHT
<div>1 The Structural Soil specification is provided as an instrument of service and remains the property of PMG landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects.</div>
1.2 SCOPE OF WORK
<div>1 The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.</div> <div>2 It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.</div> <div>3 Refer to drawings for location and dimension of structural soil mixture.</div> <div>4 All other related work as described in the drawings and/or this specification.</div>
1.3 RELATED WORK
<div>1 Section 02100, Landscape Requirements</div> <div>2 Section 02710, Landscape Drainage</div> <div>3 Section 02810, Irrigation System</div> <div>4 Section 02933, Sodding [Seeding]</div> <div>5 Section 02906, Planting Trees, Shrubs, and Groundcover</div>
1.4 RELATED MASTER MUNICIPAL SPECIFICATIONS
<div>1 Contractor to report all conflicts with civil engineering to Landscape Architect</div> <div>2 Section 02210, Site Grading</div> <div>3 Section 02223, Excavating, Trenching, and Backfilling</div> <div>4 Section 02226, Aggregates and Granular Materials</div> <div>5 Section 02666, Waterworks</div> <div>6 Section 02721, Storm Sewers</div> <div>7 Section 02725, Manholes and Catch Basins</div>
1.5 STANDARDS
<div>1 BCSLA/BCINA Landscape Standard (most current edition)</div> <div>2 Canadian System of Soil Classification</div>
1.6 QUALITY ASSURANCE
<div>1 All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any material to the site, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.1.1 of this section.</div> <div>2 All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive admixtures supplied to the site shall be of similar nature and from a single source. 14 days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive admixture:</div> <div>2.1 Gravel, sand and fines content each as a % of dry weight mineral</div> <div>2.2 Organic material content as a percentage of dry weight.</div> <div>2.3 Acidity (pH)</div> <div>2.4 Salinity in millimhos/cm at 25 degrees C</div> <div>2.5 Basic fertility (Total nitrogen available K, Ca, Mg, P)</div> <div>2.6 Recommendation for incorporation of necessary amendments.</div> <div>3 Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.</div> <div>4 Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.</div> <div>5 Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.</div> <div>6 Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.</div> <div>7 Aggregate Test:</div> <div>7.1 Provide source and sieve designation of intended aggregate material prior to ordering.</div> <div>7.2 At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does meet specification and for correction of any deficiency.</div> <div>7.3 Submit 2.5kg sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.</div> <div>8 Structural Soil Mix Design:</div> <div>8.1 Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 2 days prior to mixing samples.</div> <div>8.2 Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.</div>
1.7 SCHEDULING
<div>1 Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors.</div> <div>2 Schedule to include:</div> <div>2.1 date for commencement of preparation of structural soil at source</div> <div>2.2 sub grade preparation at site</div> <div>2.3 shipping dates</div> <div>2.4 arrival dates on site</div> <div>2.5 installation dates</div> <div>3 Schedule work to co-ordinate with installation of any drainage, irrigation, tree grate footings, lighting, paving etc.</div> <div>4 Complete work to ensure tree planting will occur under optimum conditions</div> <div>5 Do not handle or place structural soil mix in rain.</div>
1.8 FIELD REVIEW
<div>1 Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.</div> <div>2 Co-ordinate site meeting with Consultant at the following times</div> <div>2.1 drainage installation and connection</div> <div>2.2 irrigation installation</div> <div>2.3 mixing of structural soil mixture</div> <div>2.4 installation of structural soil mixture</div> <div>2.5 sub grade preparation and layout.</div> <div>2.6 installation of trees</div> <div>3 Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 18.2.</div>
1.9 SAMPLES
<div>1 Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 1.3.2. and 1.3.3</div>
1.10 PRODUCT HANDLING
<div>1 All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition.</div> <div>2 Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.</div>
1.11 DELIVERY, STORAGE AND PROTECTION
<div>1 For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.</div> <div>2 On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.</div> <div>3 Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of material approved by the Consultant until such time as materials installed.</div> <div>4 All material to be stockpiled shall be protected in accordance With B. C. Ministry of Environment guidelines.</div>

PART TWO - PRODUCTS

2. GROWING MEDIUM

1. TABLE ONE:

1.1 Provide all growing medium required to complete the work.

1.2 Comply with the requirements of Table 1, below

1.3 Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.

TABLE ONE

PROPERTIES	GROWING MEDIUM FOR GAP-GRADED MIXTURE
TEXTURE: Particle size classes by the Canadian System of Soil Classification	
Gravel: greater than 2mm - less than 75mm	0
Sand: greater than 0.05mm - less than 2mm	maximum 60%
Silt: greater than 0.002 mm - less than 0.05 mm	maximum 35%
Clay: less than 0.002mm	maximum 15%
Clay and Silt Combined	maximum 40%
ACIDITY (pH):	6.0 - 7.0
DRAINAGE: Minimum saturated hydraulic conductivity (cm/hr) in place:	3.0
SALINITY: Saturated extract conductivity shall not exceed:	30 millimhos/cm at 25°C
ORGANIC CONTENT: Percent of Dry Weight (%)	8% - 12%

2.2 AGGREGATE

1 Clean inert stone of high angularity is preferred over washed gravel.

2 Stone dimension aspect ratio should approach 1:1:1 with a maximum of 2:1:1 length: width: depth.

3 Single size stone, 75mm clear sieve designation: Blasted Quarry Rock.

4 Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 1.5 and 1.8

5 Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.

2.3 SOIL STABILIZER

1 A non-toxic organic binder.

Product: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC. 604-607-3002. (Or approved equal)

2.4 GRANULAR BASE

1 To Master Municipal Specification Section 02226, Aggregates and Granular Materials.

2.5 PAVING MATERIALS

1 Refer to architectural drawings.

2.6 FILTER FABRIC

1 Non Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.

2 Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conform to the following ASTM designations:

- Grab Tensile Strength ASTM-D-4632 4.00 kN

- Tensile Elongation ASTM-D-4632 50%

- Static CBR Puncture test ASTM D-6241

- Flow Rate ASTM-D-4491 6100 l/min/m²

3 Fabric shall be Amoco 4545 or approved equivalent.

PART THREE - EXECUTION

3.1 SUBGRADE
<div>1 Excavate sub grade to establish tree pit / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pits, NOT in the planting pits themselves.</div> <div>2 Areas designated as structural soil tree pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Proctor Density and shall be free of stones, debris, root branches, toxic materials, building materials and other deleterious materials to the approval of the civil engineer.</div>
3.2 PREPARATION OF EXISTING GRADE
<div>1 Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed.</div> <div>2 Excavate trench to Master Municipal Specification Section 02223, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix.</div> <div>2.1 Refer to contract drawings for areas to be treated and to details for dimensions</div> <div>2.2 Compact to 95% Modified Proctor Density.</div> <div>2.3 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings.</div> <div>4 Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture.</div> <div>5 Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.</div>
3.3 SUB DRAINS
<div>1 Install to requirements of Master Municipal Specifications. Refer to Section 02666, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins</div> <div>1.1 Install prior to installation of the structural soil mixture.</div> <div>1.2 Co-ordinate all contract drainage work with other drainage on-site</div> <div>1.3 Confirm location of storm sewer connections with civil engineer.</div>
3.4 IRRIGATION
<div>1 Install to requirements of Section 02810, Irrigation System. Refer also to Irrigation Drawings.</div> <div>1.1 Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting.</div> <div>1.2 Co-ordinate all contract irrigation work with other civil engineering and drainage on-site</div> <div>1.3 Confirm location of irrigation connections with civil engineer.</div>
3.5 MIXING STRUCTURAL SOIL MATERIAL
<div>1 Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.</div> <div>2 Base Ratio of Materials:</div> <div>- 4 cu metre of aggregate stone section 2.2</div> <div>- 125 cu metre of Growing Medium section 2.1</div> <div>- 2 kg Stabiliser section 2.3</div> <div>x Water as required</div> <div>x The amount of water required will vary according to moisture present in growing medium.</div> <div>3 Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.</div>
3.6 MIXING
<div>1 Do not OVER MIX, OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.</div> <div>2 All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment.</div> <div>3 Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.</div>

PART THREE - EXECUTION (cont)

3.7 PLACEMENT
<div>1 Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.</div> <div>2 Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.</div> <div>3 Place Stone mixture in 300mm lifts through entire area of structural soil mixture.</div> <div>4 Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.</div> <div>5 Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 1.5</div> <div>6 Provide a uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade.</div> <div>7 Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc. have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2.1) added to surround the root ball.</div>
3.8 INSTALLATION OF FILTER FABRIC
<div>1 After approval of structural soil mixture compaction, install Filter Fabric.</div> <div>2 Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.</div>
3.9 GRANULAR BASE MATERIAL
<div>1 Place minimum 75 mm granular base on top of filter fabric over structural soil layer.</div> <div>2 Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</div> <div>3 All areas shall be graded too the contours and elevations indicated on the contract drawings. Ensure positive drainage.</div>
3.10 PROTECTION
<div>1 Protect existing conditions from damage or staining and make good any damage.</div> <div>2 All damage will be repaired at the expense of the installation contractor.</div>
3.11 TREE PLANTING
<div>1 Remove structural soil or other backfill material (sand, see comments in section 3.7.7) from the full dimensions of the tree grate area (12m x 12m x depth of root ball).</div> <div>2 Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</div> <div>3 Ensure tree is planted in the exact centre of the specified planting station straight and true.</div> <div>4 Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic root ball twine, cut back improperly sized wire baskets, pull back burlap from around trunk etc.</div> <div>5 Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</div> <div>6 Place 50mm depth composted fir/hem bark mulch over the top of the open tree pit area.</div>
3.12 TREE GRATES
<div>1 Site Furniture and to contract drawings for tree grates, frames and footings.</div>
3.13 ACCEPTANCE
<div>1 Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving.</div> <div>2 Finish grade shall be to within 15mm of proposed grades within 3.0m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.</div>
3.14 SURPLUS MATERIAL
<div>1 Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.</div> <div>2 Clean up any soil or dirt spilled on any paved surface at the end of each working day.</div> <div>3 Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.</div>

© Copyright reserved. This drawing and design is the property of PMG Landscape Architects and may not be reproduced or used for other projects without their permission.



Suite C100 - 4185 Still Creek Drive
Burnaby, British Columbia, V5C 6G9
p: 604 294-0011 ; f: 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR.
15	24.OCT.25	NEW SITE PLAN	JL
14	24.OCT.21	ISSUED FOR PERMIT COMMENTS	JL
13	24.OCT.07	RE-ISSUED FOR TENDER	JL
12	24.SEP.24	ISSUED FOR TENDER	JL
11	24.SEP.19	UPDATE PER COMMENTS	JL
10	24.AUG.26	UPDATE PER COMMENTS	CLG
9	24.APR.05	REV. PER NEW SITE PLAN	BA
8	24.MAR.22	UPDATE BUILDING PLAN	BA
7	24.FEB.29	REV. PER CITY COMMENTS	BA
6	24.FEB.27	REV. PER CITY COMMENTS	BA
5	24.JAN.24	REV. PER PARKS COMMENTS	BA
4	23.DEC.18	SITE PLAN/CITY COMMENTS	BA
3	23.OCT.30	SITE PLAN/CITY COMMENTS	BA
2	23.JUL.25	SHIFT TREE/ADD SOIL VOLUMES	CW
1	23.JUL.21	REV. PER NEW SITE PLAN/CITY COMMENTS	BA

NO. DATE REVISION DESCRIPTION DR.

CLIENT:

PROJECT:

SMARTSTOP
SELF STORAGE
PEMBROKE ST.
VICTORIA, B.C.

DRAWING TITLE:

STRUCTURAL SOIL
SPECIFICATIONS

DATE: 23.APR.12 DRAWING NUMBER:

SCALE:

DRAWN: MM

DESIGN: MM

CHK'D: BA

PMG PROJECT NUMBER:

23-064

23064-15.ZIP