

1042/1044 RICHARDSON STREET

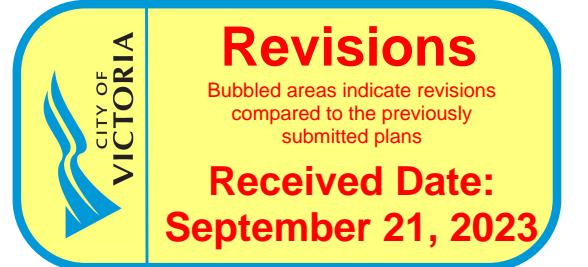
APPLICATION FOR REZONING & DEVELOPMENT PERMIT



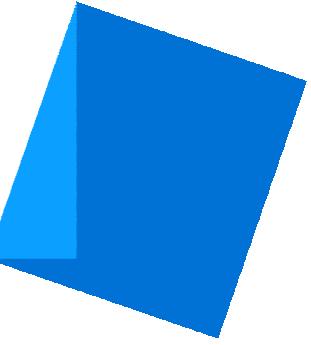
Perspective view from Richardson Street



② Site Context Plan
1 : 1000



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Property Data

GENERAL PROPERTY INFORMATION	
PROJECT DESCRIPTION	NEW 6 STOREY INFILL RESIDENTIAL BUILDING
CIVIC ADDRESS	1042/1044 Richardson Street, Victoria BC
LEGAL DESCRIPTION	LOT 1663 VICTORIA CITY
PROPERTY IDENTIFICATION NUMBER (P.I.D.)	009-396-853
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

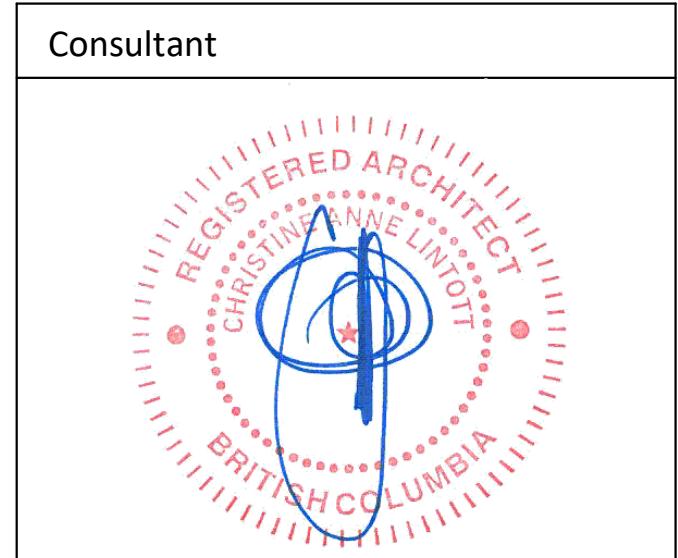
Project Scope Summary

- 20-unit purpose built rental building with a mix of market rental units
- Retaining/replacing the 5 rental units of the existing buildings which are to be removed
- Diverse unit mix including:
 - 3 three-bedroom units
 - 15 one-bedroom units (three adaptable units, one ground level accessible unit)
 - 2 studio units
- Bicycle and mobility oriented design, situated on a dedicated All Ages and Abilities bicycle route, to encourage alternatives modes of transportation by providing:
 - level site access
 - more than required long-term bicycle parking spaces, provided on each floor in close proximity to unit entrances, and sized to accomodate several cargo bikes
 - charging outlets provided for electric bikes
 - bike maintenance station at ground level
- On-street electric MODO car-share is proposed, with memberships registered to each unit for the lifetime of the building

DRAWING LIST

Sheet Number	Sheet Name
A0.00	Cover Sheet
A0.01	Site Plan and Project Data
A0.02	Site Survey
A0.03	Code Analysis and Spatial Separation
A1.01	Solar Shadow Study
A1.02	Axo Shadow Study
A1.03	Context Renders
A2.00	Floor Plans
A2.01	Floor Plans
A3.00	Elevations
A3.01	Context Elevations
A3.02	Exterior Materials
A4.00	Building Sections
A4.01	Exterior Lighting
A4.02	Exterior Lighting
C01	Civil
L01	Landscape
L02	Landscape
L03	Landscape

Issue	Date	
Submission for Rezoning and Development Permit	2020-09-30	
Re - Submission for Rezoning and Development Permit	2021-01-18	
Re - Submission for Rezoning and Development Permit	2021-06-11	
Re - Submission for Rezoning and Development Permit	2021-10-22	
Re - Submission for Rezoning and Development Permit	2022-04-14	
Re - Submission for Rezoning and Development Permit	2023-08-29	
Revision		
No.	Description	Date
1	Revision 2	2021-06-11
3	Zoning Comment #1	2022-04-19
10	Additional On-street EV Parking	2023-08-29
11	Exterior Material Revision	2023-08-29



FLOOR AREA (ZONING)	
Level	Area
LEVEL 1	223 m ²
LEVEL 2	238 m ²
LEVEL 3	237 m ²
LEVEL 4	237 m ²
LEVEL 5	227 m ²
ROOF	12 m ²
	1174 m ²

FSR CALCULATION
SITE AREA (SA) = 668 m²
FLOOR AREA (FA) = 1174 m²
FSR = FA/SA = 1.76

NOTE:
THESE AREAS ARE USED FOR ZONING PURPOSES ONLY & ARE MEASURED TO THE INSIDE FACE OF EXTERIOR WALLS.

Unit Area Schedule		
Occupancy	Name	Area
LEVEL 1		
1 Bedroom	UNIT 1	44 m ²
1 Bedroom	UNIT 2	46 m ²
1 Bedroom	UNIT 3	44 m ²
		1174 m ²
LEVEL 2		
1 Bedroom	UNIT 4	46 m ²
1 Bedroom	UNIT 5	44 m ²
Studio	UNIT 6	25 m ²
3 Bedroom	UNIT 7	88 m ²
LEVEL 3		
1 Bedroom	UNIT 8	46 m ²
1 Bedroom	UNIT 9	44 m ²
Studio	UNIT 10	25 m ²
3 Bedroom	UNIT 11	88 m ²
LEVEL 4		
1 Bedroom	UNIT 12	46 m ²
1 Bedroom	UNIT 13	44 m ²
1 Bedroom	UNIT 14	25 m ²
3 Bedroom	UNIT 15	88 m ²
LEVEL 5		
1 Bedroom	UNIT 16	46 m ²
1 Bedroom	UNIT 17	44 m ²
1 Bedroom	UNIT 18	26 m ²
1 Bedroom	UNIT 19	36 m ²
1 Bedroom	UNIT 20	39 m ²
		936 m ²

TOTAL UNIT COUNT: 20

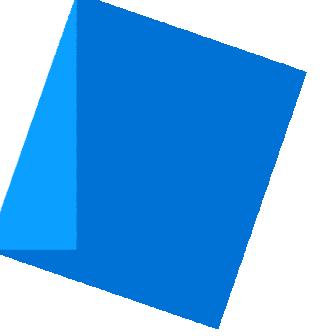
2 STUDIO UNITS
15 ONE BEDROOM
- 3 ADAPTABLE
- 2 GROUND LEVEL
- 1 GROUND LEVEL ACCESSIBLE
3 THREE BEDROOM

Ten42

1042 Richardson Street,
Victoria BC

Cover Sheet

Date 2023-08-29 2:17:42 PM
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Project Information Table		
	Zoning Min/Max	Proposed
Zone (existing)	R-K	SITE SPECIFIC
Site Area		668 m ²
Total Floor Area		1174 m ²
Floor Space Ratio	N/A	1 : 1.76
Site Coverage %	N/A	52.7 %
Open Site Space - Lot %	N/A	39.8 %
Open Site Space - Front Yard %	N/A	7.8%
Height of Buildings	N/A	19.47m
Storeys #	N/A	6 storeys
Vehicle Parking #	$0.2 / \text{unit Affordable} < 45m^2 \times 5 = 1$ $.75 / \text{unit} < 45m^2 \times 7 = 4.5$ $.9 / \text{unit} > 45m^2, < 70m^2 \times 5 = 5.25$ $1.3 / \text{unit} > 70m^2 \times 3 = 3.9$ $0.1 / \text{unit visitor} \times 20 = 2$ $\text{Total} = 16.75 (17)$	7 resident 2 visitor 1 on-street electric car-share 1 on-street electric vehicle parking 10
Bicycle Parking #	<u>Long Term Per Schedule C</u> $1/\text{unit} < 45m^2 \times 12 = 12$ $1.25/\text{unit} > 45m^2 \times 8 = 10$ $\text{Total} = 22$ <u>Short Term Per Schedule C</u> $\text{Total} = 6 (\text{MIN})$	<u>Long Term Per Schedule C</u> $P1 = 22$ <u>Lvl 1-5 Additional</u> = 46 $\text{Total} = 22+56 = 78$ <u>Short Term Per Schedule C</u> $\text{Total} = 6$ 12
Building Setbacks		
Front Yard (South)	N/A	2.4m
Rear Yard (North)	N/A	5.0m
Side Yard (West)	N/A	2.89m
Side Yard (East)	N/A	1.2m
Residential Use Details		
Total Number of Units		20
Unit Type Breakdown		2 Studio Units, 15 One Bedroom Units, 3 Three Bedroom Units
Ground Oriented Units		3
Minimum Unit Floor Area		25 m ²
Total Residential Floor Area		936 m ²

1. Areas shown in this table are for zoning purposes only & are measured to inside face of exterior walls.

This architectural floor plan illustrates the layout and dimensions of a building. The main structure is a large rectangular room with a total width of 12.48 m and a height of 8.88 m. To the left, a smaller room is shown with a height of 1.68 m. The plan includes several labeled points (A, B, C, D, E, F, G, H, I, K) and dimensions:

- Point A: 18.92 m (vertical dimension from the bottom to the top of the structure).
- Point B: 16.40 m (vertical dimension from the bottom to the top of the structure).
- Point C: 16.40 m (vertical dimension from the bottom to the top of the structure).
- Point D: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point E: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point F: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point G: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point H: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point I: 19.20 m (vertical dimension from the bottom to the top of the structure).
- Point K: 19.20 m (vertical dimension from the bottom to the top of the structure).

External dimensions and heights are also indicated:

- Width of the main structure: 12.48 m
- Height of the main structure: 8.88 m
- Height of the left room: 1.68 m
- Width of the left room: 10.70 m
- Height of the building on the right: 16.28 m
- Height of the building on the far right: 8.60 m
- Total height of the building on the far right: 3.11 m

AVERAGE HEIGHT AT GRADE IS 18.78m FOR LEVELED SITE
EXISTING ARTIFICIALLY RAISED GRADING AND

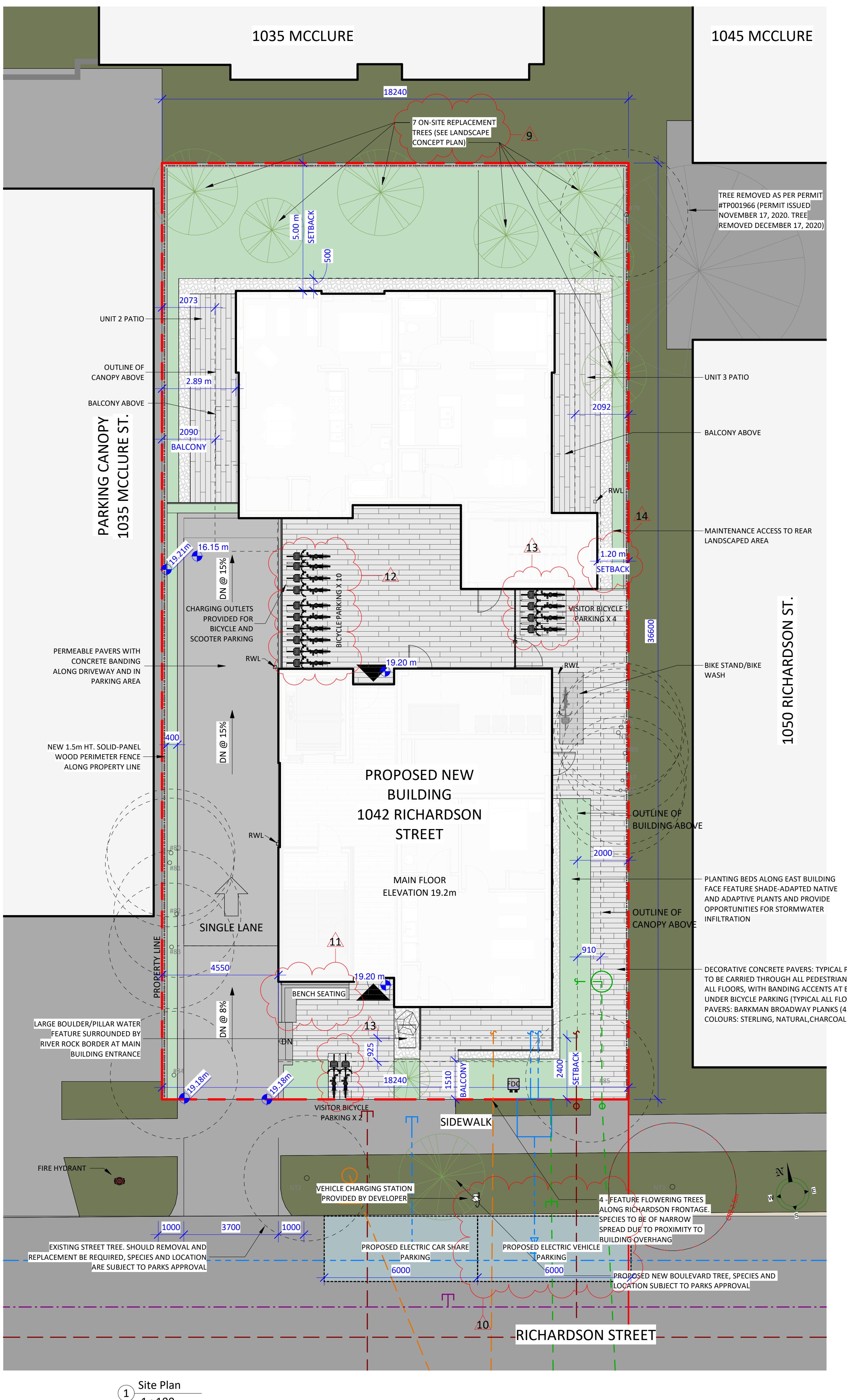
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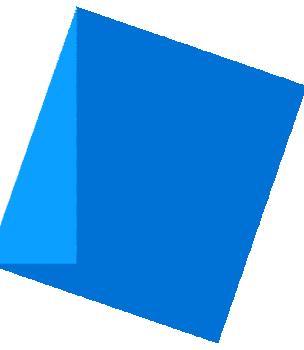
Ten42

1042 Richardson Street,
Victoria BC

Site Plan and Project Data

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Checked by	CL
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Scale	As indicated



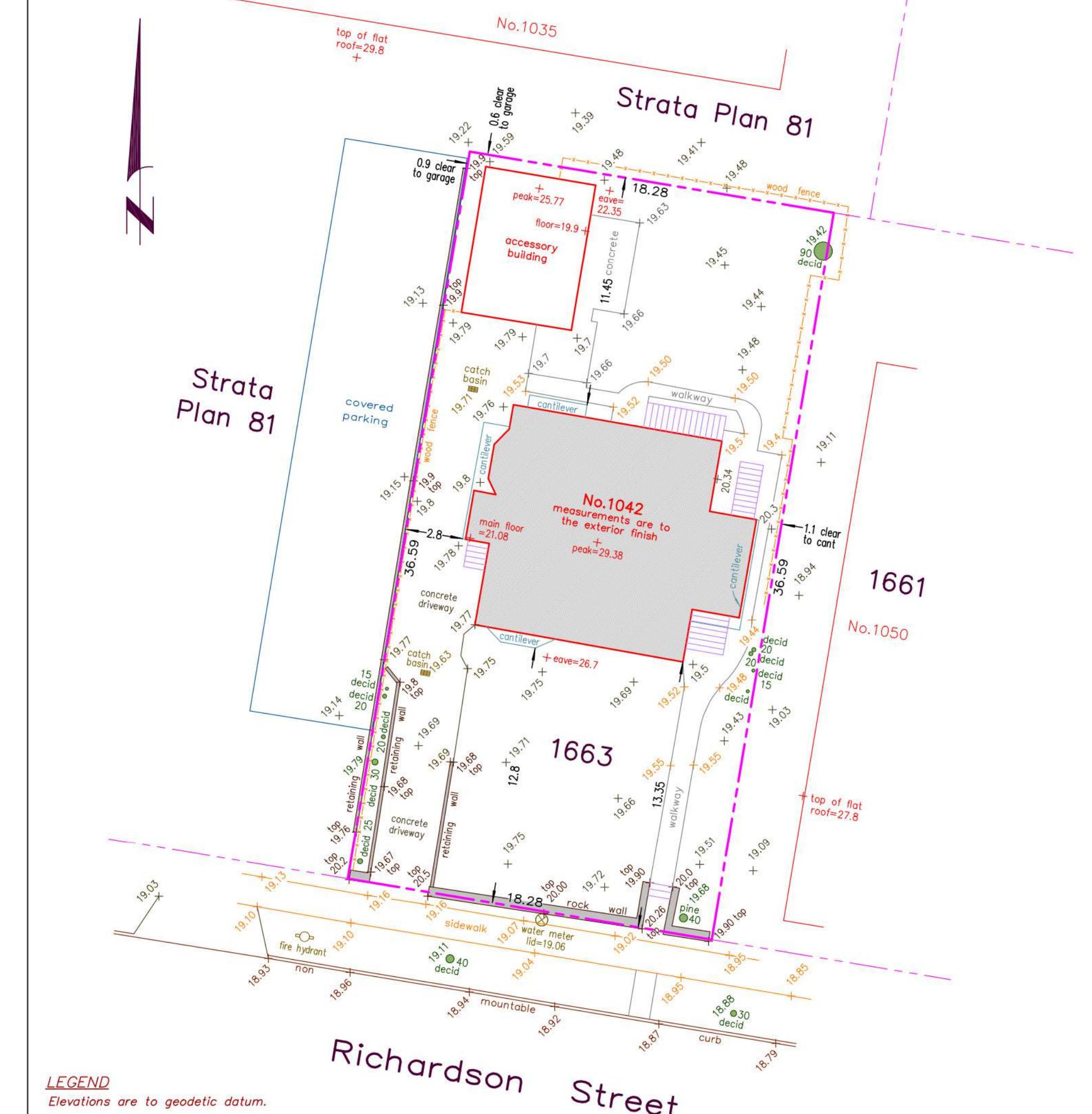


BC LAND SURVEYORS SITE PLAN OF:
Civic: 1042 Richardson Street

Legal - Lot 1663, Victoria City
Parcel Identifier: 009-396-853 in the City of Victoria

Scale 1 : 20.0 Distances are in metres.
0 2 10 20

The intended print size is 11" by 17".



Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

Ten42

1042 Richardson Street,
Victoria BC

Site Survey

Date 2023-08-29 2:17:44 PM

Drawn by BH

Checked by CL

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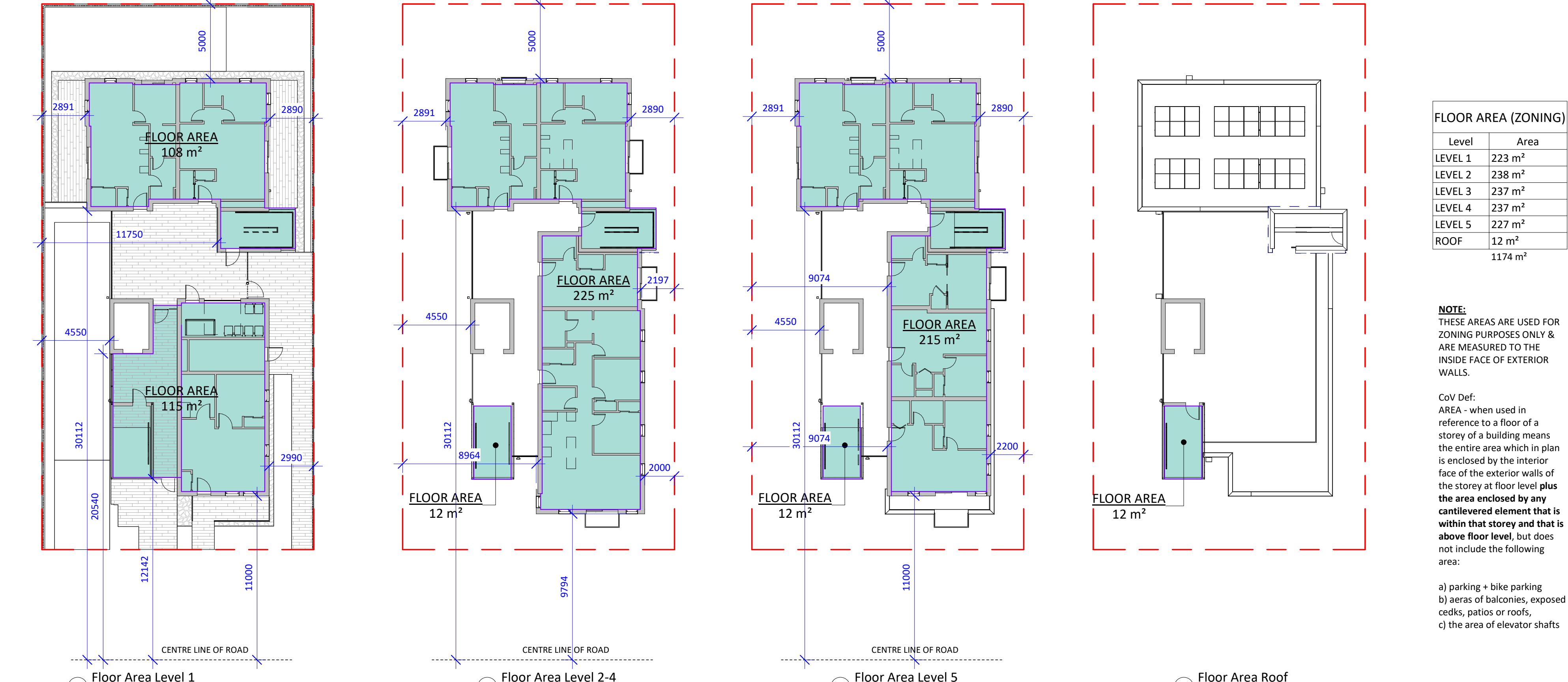
Scale

Building Code Analysis - Overview

GENERAL INFORMATION		DESCRIPTION	REFERENCE(S)
NO.	ITEM		
1	PROJECT TYPE	<input checked="" type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENO. <input type="checkbox"/> ADDITION <input type="checkbox"/> TENANT IMPROVEMENT	-
2	GOVERNING BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018, INCLUDING ALL AMENDMENTS	-
3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIV A - 1.1.2.	
4	MAJOR OCCUPANCY(IES)	A1 A2 A3 A4 B1 B2 C D E F1 F2 F3 3.1.2.	
5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.1.3.	
6	HEAVY TIMBER ALTERNATE	<input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input checked="" type="checkbox"/> N/A 3.1.4.6.	
7	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.1.10.	
8	OCCUPANT LOAD	S2 TOTAL ROOM OCCUPANCY COUNT OCCUPANTS STUDIO 2 2 4 1 BEDROOM 2 15 30 3 BEDROOM 6 3 18 TOTAL 52 ROOM AREA (m ²) m ² / PERSON OCCUPANTS ROOF LOUNGE 130 1.85 70	3.1.17.
9	BUILDING AREA (m ²)	340 BUILDING AREA 1.4.1.2.	
10	GRADE ELEVATION (m, GEODETIC)	+19.20 GRADE 1.4.1.2.	
11	BUILDING HEIGHT (STOREYS)	6 ABOVE GRADE 1 BELOW GRADE 6 TOTAL 3.2.1.1.	
12	FIRE ALARM & DETECTION SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.2.4.1.	
13	AUTOMATIC SPRINKLER SYSTEM	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.2.5.12.	
14	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.8.	
15	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.8.2.	
16	NUMBER OF STREETS FACING	1 STREET FACING 1.4.1.2.	
17	FIRE DEPARTMENT ACCESS ROUTES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.2.5.4.	
18	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.6.	
19	ROOF ACCESS	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.2.5.3.	
20	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.2.5.8.	
21	LIGHTING AND EMERGENCY POWER	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A SEE ELEC. DRAWINGS 3.2.7.	
22	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO 3.2.7.	
23	ACCESS FOR PERSONS W/ DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A 3.8.2.	
24	ALTERNATE SOLUTIONS REQUIRED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO SPRINKLER PROTECTION EXIT EGGS PATH EXPOSED TO OPENINGS DIV A - 1.3.3.1.1(3)(b) & DIV C - 2.3.	
	CONSTRUCTION CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED 3.2.2.50.	
25	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A	
26	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (HOURS): 1 FLOOR ¹ MEZZANINE ¹ 1 ROOF SUPPORTED ASSEMBLY TO HAVE SAME F.R.R. AS	
27	BUILDING HEIGHT (STOREYS)	6 MAXIMUM 6 PROPOSED	
28	BUILDING AREA (m ²)	1500 m ² MAXIMUM 340 m ² PROPOSED	

Building Code Analysis - Spatial Separations

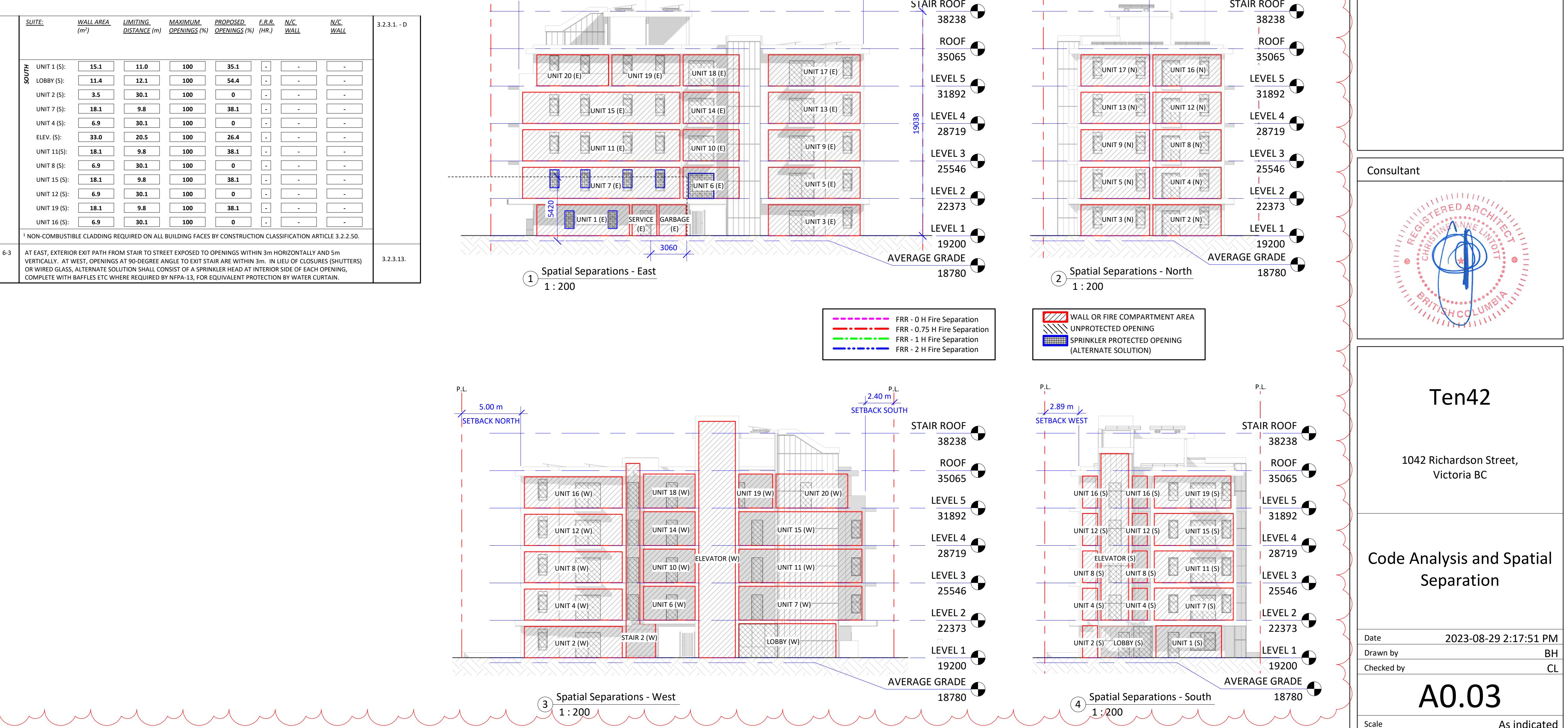
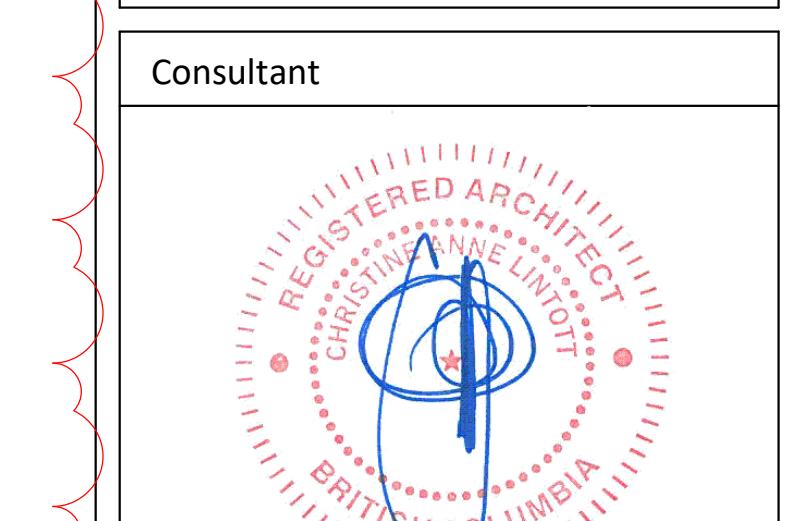
6 - SPATIAL SEPARATIONS								REFERENCE
NO.	DESCRIPTION	WALL AREA (m ²)	LIMITING DISTANCE (m)	MAXIMUM OPENINGS (%)	PROPOSED OPENINGS (%) (F.R.R.)	N/C WALL	N/C WALL	3.2.3.1. - D
6-1	EAST							
	UNIT 1 (E):	20.7	3.0	52.0	11.5	3/4	-	
	SERVICE (E):	5.6	3.0	100	34.8	-	-	
	GARBAGE (E):	6.0	3.0	100	0	-	-	
	UNIT 3 (E):	20.5	2.9	49.2	27.8	3/4	-	REQUIRED
	UNIT 7 (E):	35.1	2.0	22.0	13.6	1	-	REQUIRED
	UNIT 6 (E):	12.5	2.2	40.4	36.4	2/4	-	REQUIRED
	UNIT 5 (E):	20.5	2.9	49.2	27.8	3/4	-	REQUIRED
	UNIT 11 (E):	35.1	2.0	22.0	13.6	1	-	REQUIRED
	UNIT 10 (E):	12.5	2.2	40.4	36.4	3/4	-	REQUIRED
	UNIT 9 (E):	20.5	2.9	49.2	27.8	3/4	-	REQUIRED
	UNIT 15 (E):	35.1	2.0	22.0	13.6	1	-	REQUIRED
	UNIT 14 (E):	12.5	2.2	40.4	36.4	3/4	-	REQUIRED
	UNIT 13 (E):	20.5	2.9	49.2	27.8	3/4	-	REQUIRED
	UNIT 20 (E):	16.0	2.2	34.8	14.8	3/4	-	REQUIRED
	UNIT 19 (E):	15.2	2.2	34.8	15.7	3/4	-	REQUIRED
	UNIT 18 (E):	12.5	2.2	40.4	36.4	3/4	-	REQUIRED
	UNIT 17 (E):	20.5	2.9	49.2	27.8	3/4	-	REQUIRED
	NORTH							
	UNIT 3 (N):	15.3	5	100	15.6	-	-	
	UNIT 2 (N):	15.3	5	100	29.0	-	-	
	UNIT 5 (N):	15.3	5	100	29.0	-	-	
	UNIT 4 (N):	15.3	5	100	15.6	-	-	
	UNIT 9 (N):	15.3	5	100	15.6	-	-	
	UNIT 8 (N):	15.3	5	100	29.0	-	-	
	UNIT 13 (N):	15.3	5	100	15.6	-	-	
	UNIT 12 (N):	15.3	5	100	29.0	-	-	
	UNIT 17 (N):	15.3	5	100	15.6	-	-	
	UNIT 16 (N):	15.3	5	100	29.0	-	-	
	LOBBY (W):	23.7	4.6	96.0	40.0	3/4	-	
	ELEV. (W):	62.1	4.6	51.6	0	3/4	-	
	STAIR 2 (W):	23.3	11.8	100	34.3	-	-	
	UNIT 2 (W):	21.9	2.9	49.2	26.0	3/4	-	REQUIRED
	UNIT 7 (W):	30.0	9.0	100	10.7	-	-	
	UNIT 6 (W):	12.6	9.0	100	15.9	-	-	
	UNIT 4 (W):	21.9	2.9	49.2	26.0	3/4	-	REQUIRED
	UNIT 11 (W):	30.0	9.0	100	10.7	-	-	
	UNIT 10 (W):	12.6	9.0	100	15.9	-	-	
	UNIT 8 (W):	21.9	2.9	49.2	26.0	3/4	-	REQUIRED
	UNIT 15 (W):	30.0	9.0	100	10.7	-	-	
	UNIT 14 (W):	12.6	9.0	100	15.9	-	-	
	UNIT 12 (W):	21.9	2.9	49.2	26.0	3/4	-	REQUIRED
	UNIT 20 (W):	17.5	9.0	100	11.4	-	-	
	UNIT 19 (W):	8.2	9.0	100	13.4	-	-	
	UNIT 18 (W):	12.6	9.0	100	15.9	-	-	
	UNIT 16 (W):	21.9	2.9	49.2	26.0	3/4	-	REQUIRED



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Re - Submission for Rezoning and Development Permit	2023-08-29

Revision	Date
2 Glazing & Stair Core Updated	2021-10-22
3 Zoning Comment #1	2022-04-19
11 Exterior Material Revision	2023-08-29



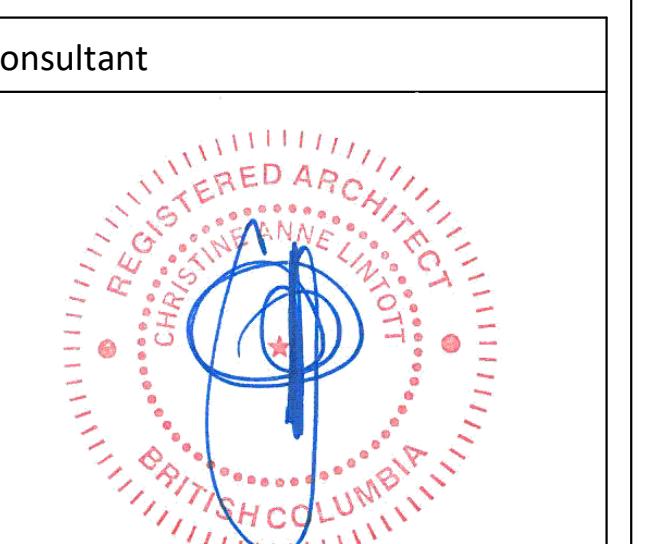
Ten42
1042 Richardson Street,
Victoria BC

Code Analysis and Spatial Separation
Date 2023-08-29 2:17:51 PM
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Issue	Date
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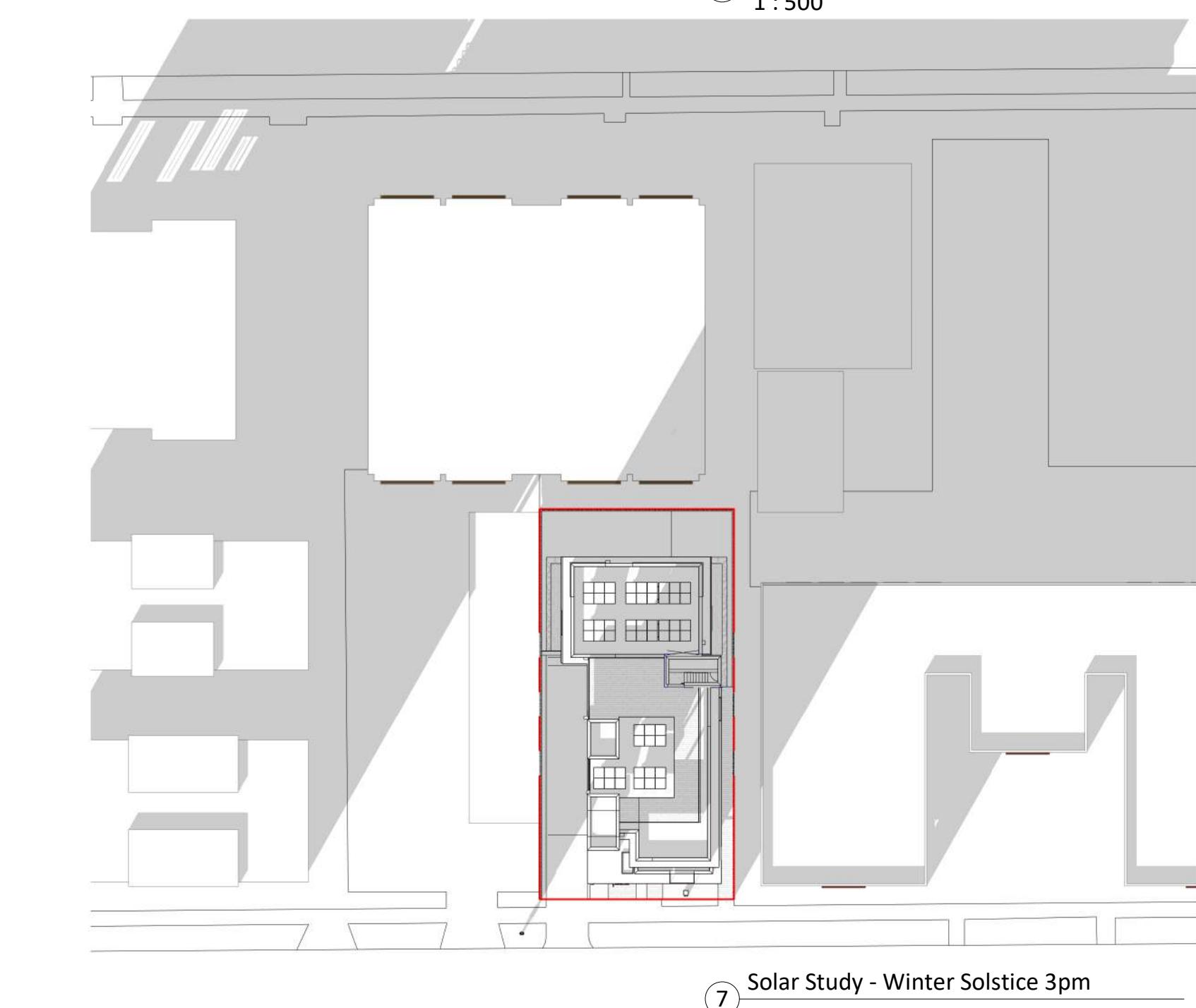
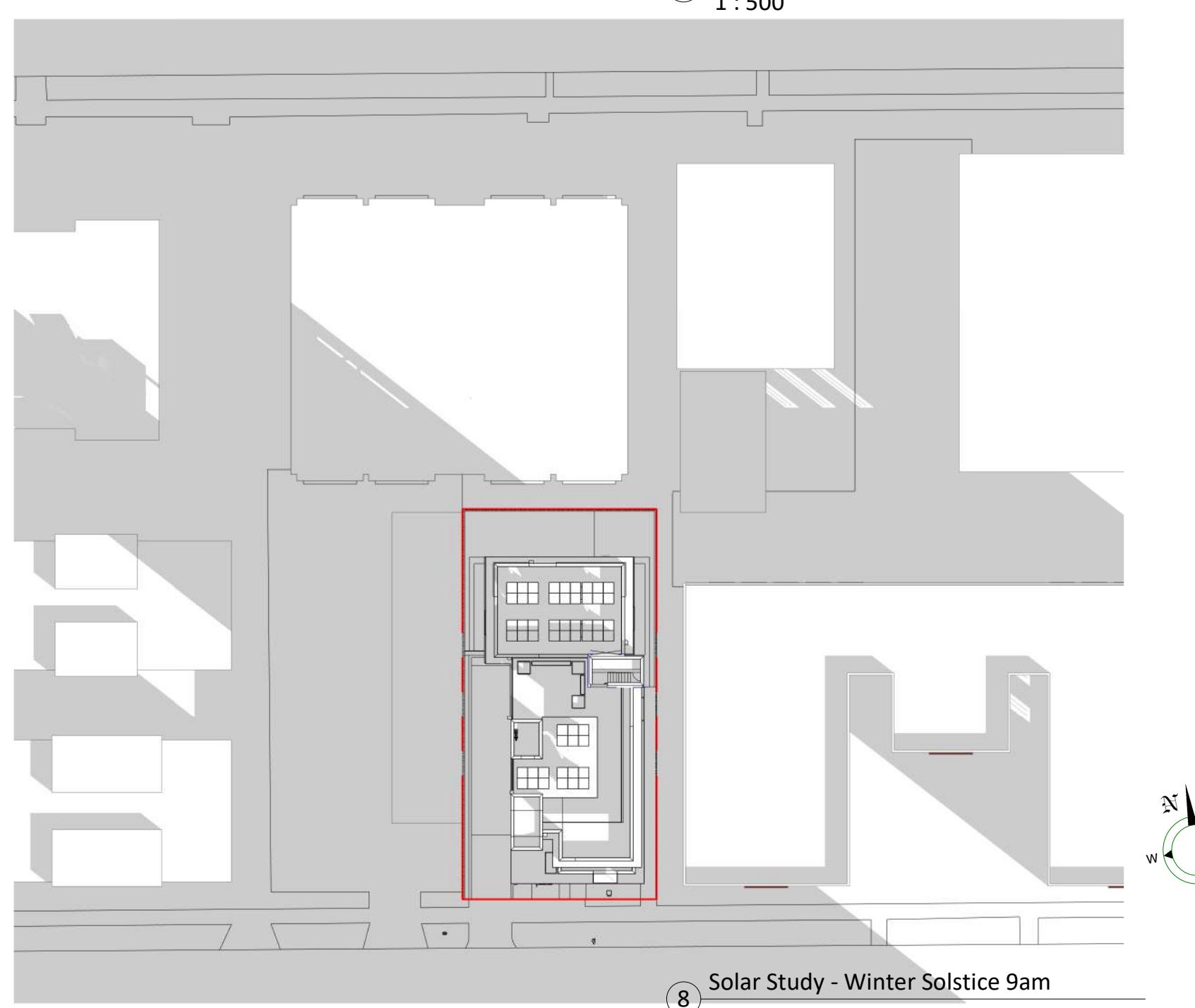
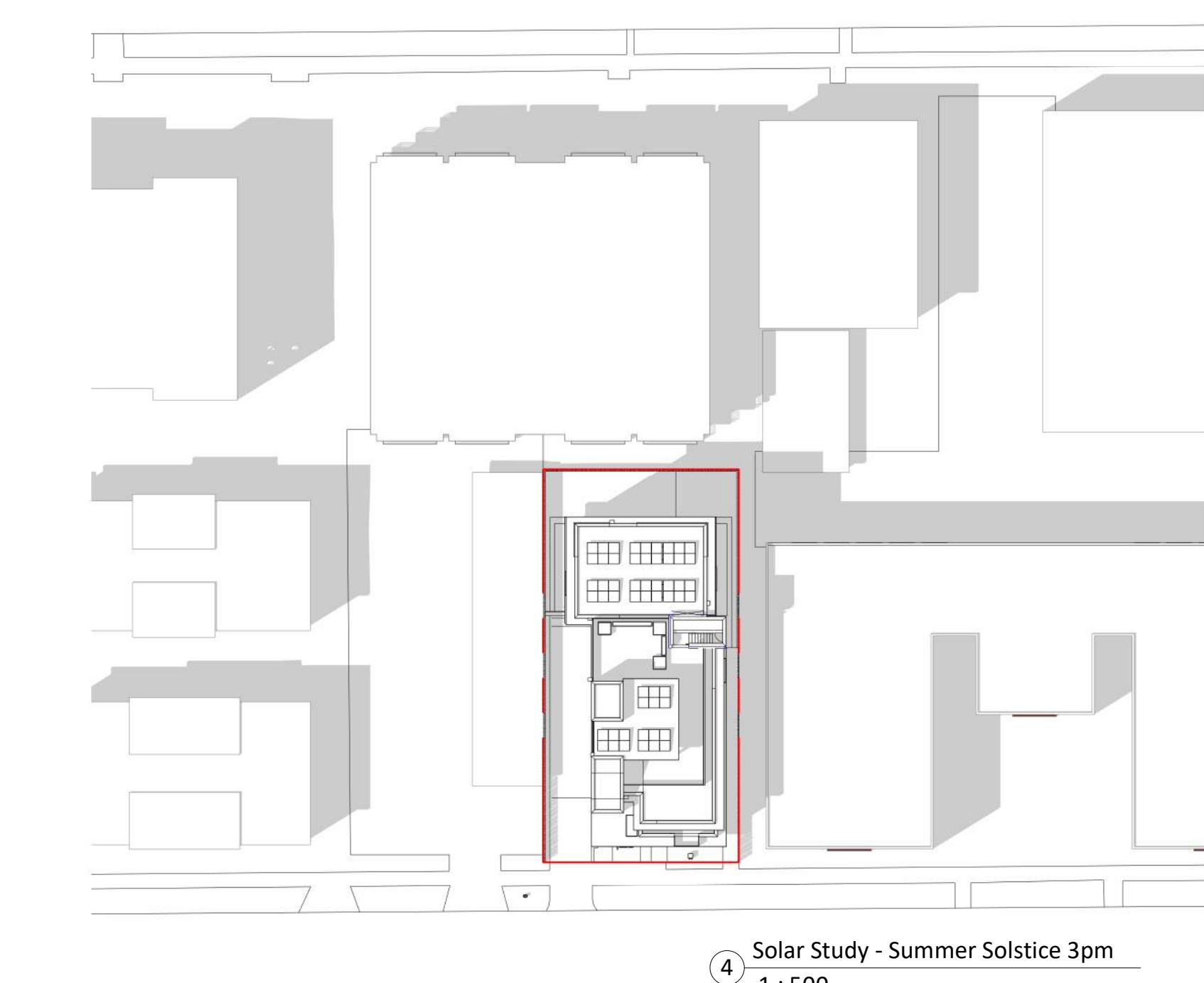
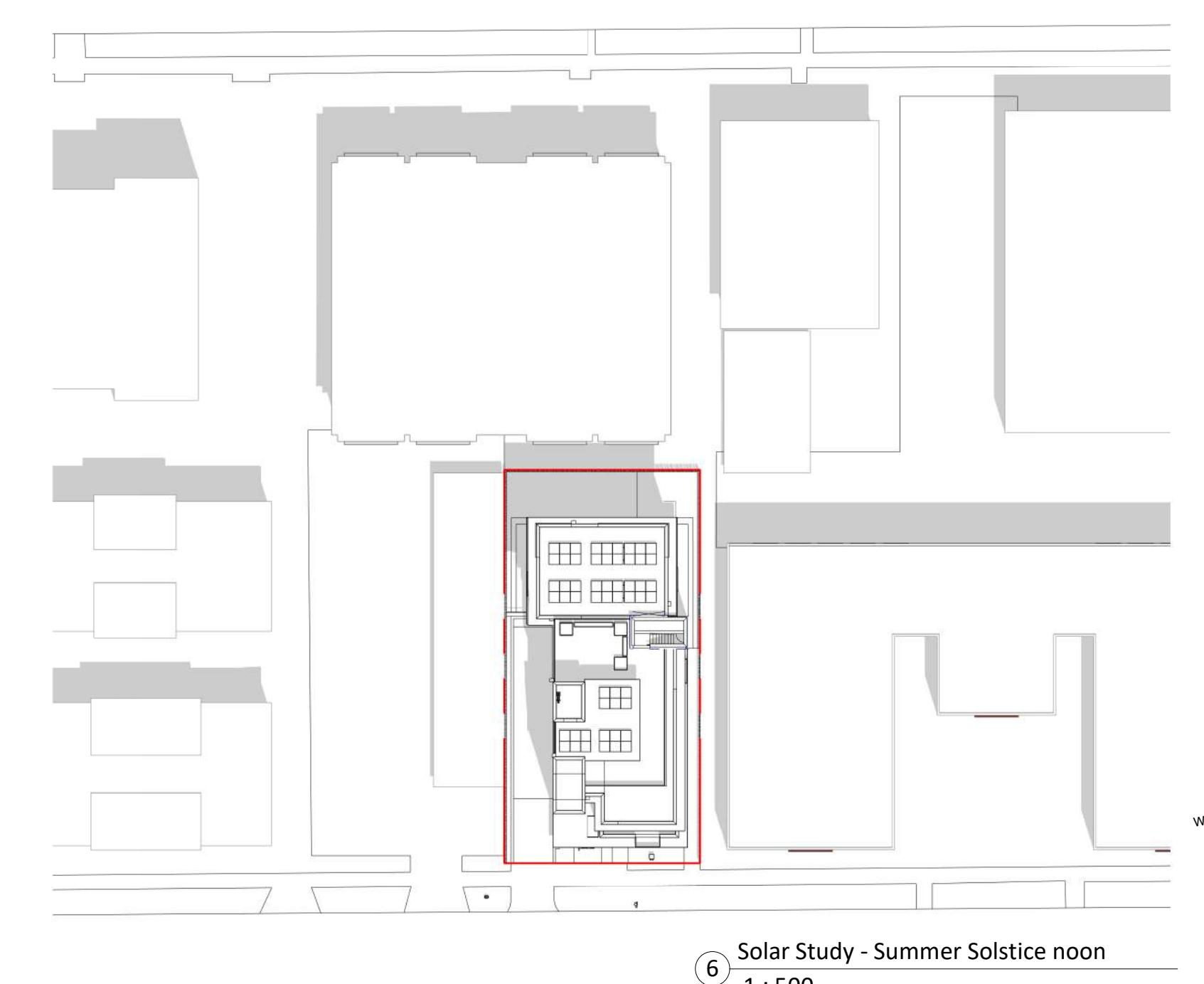
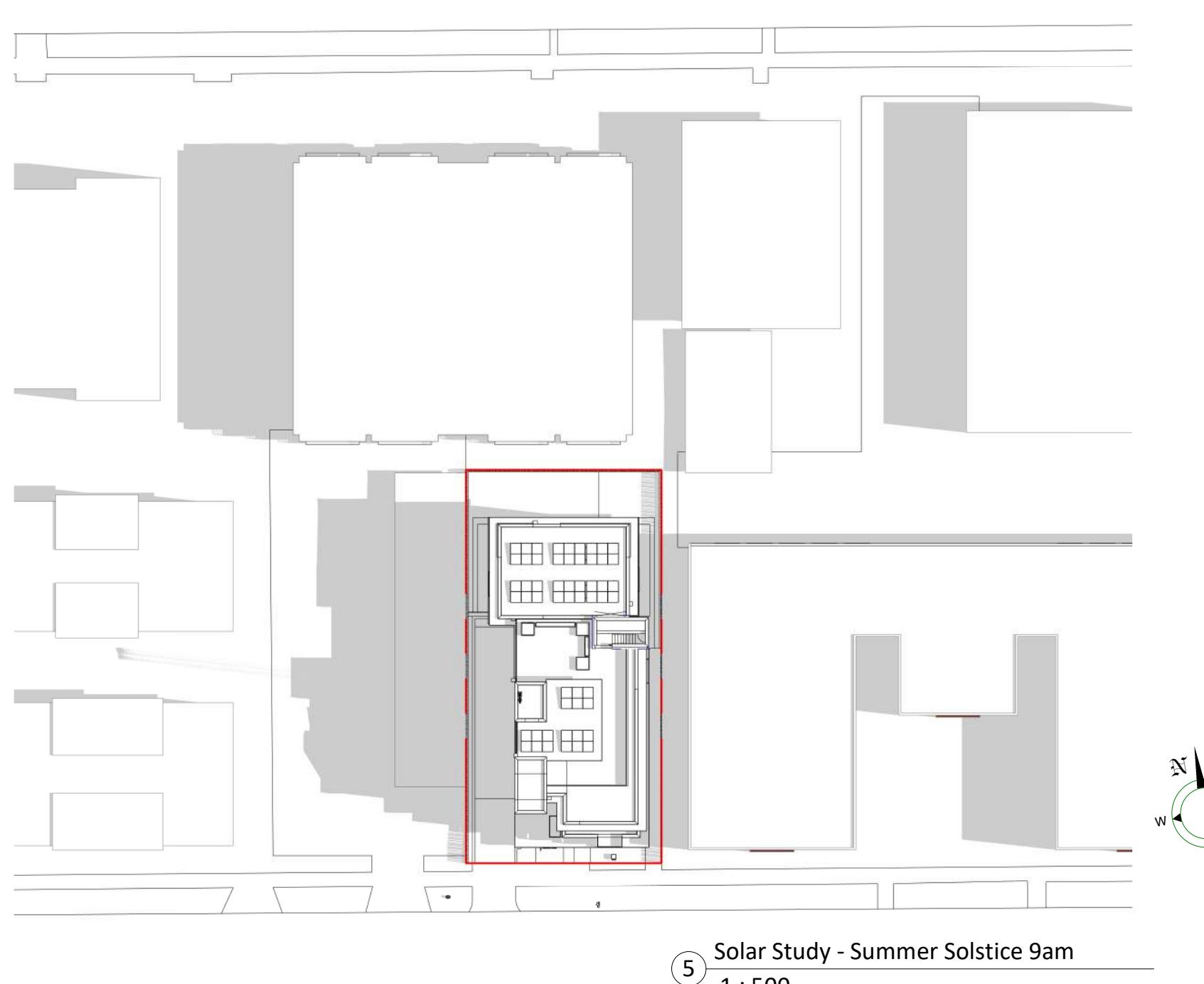
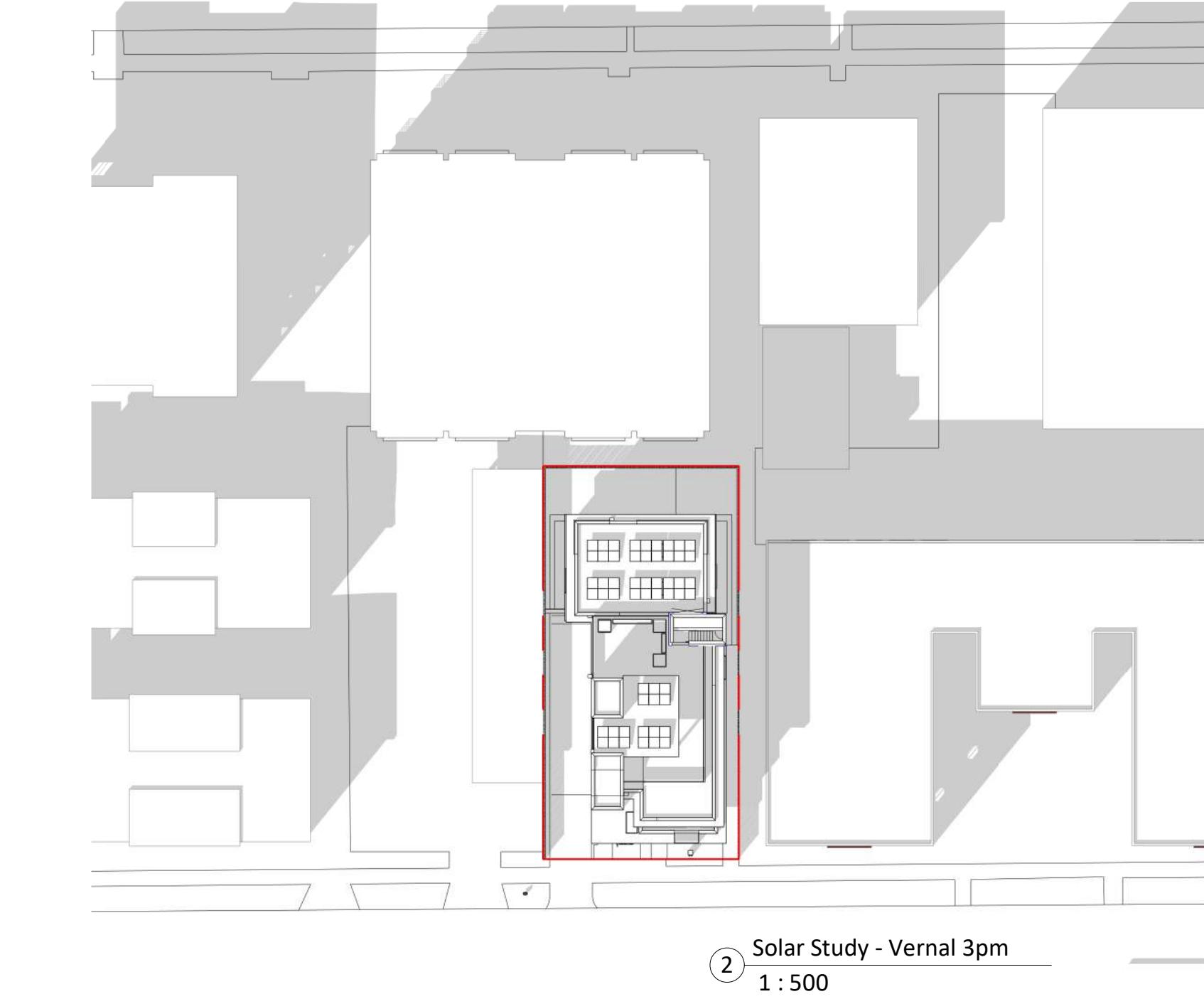
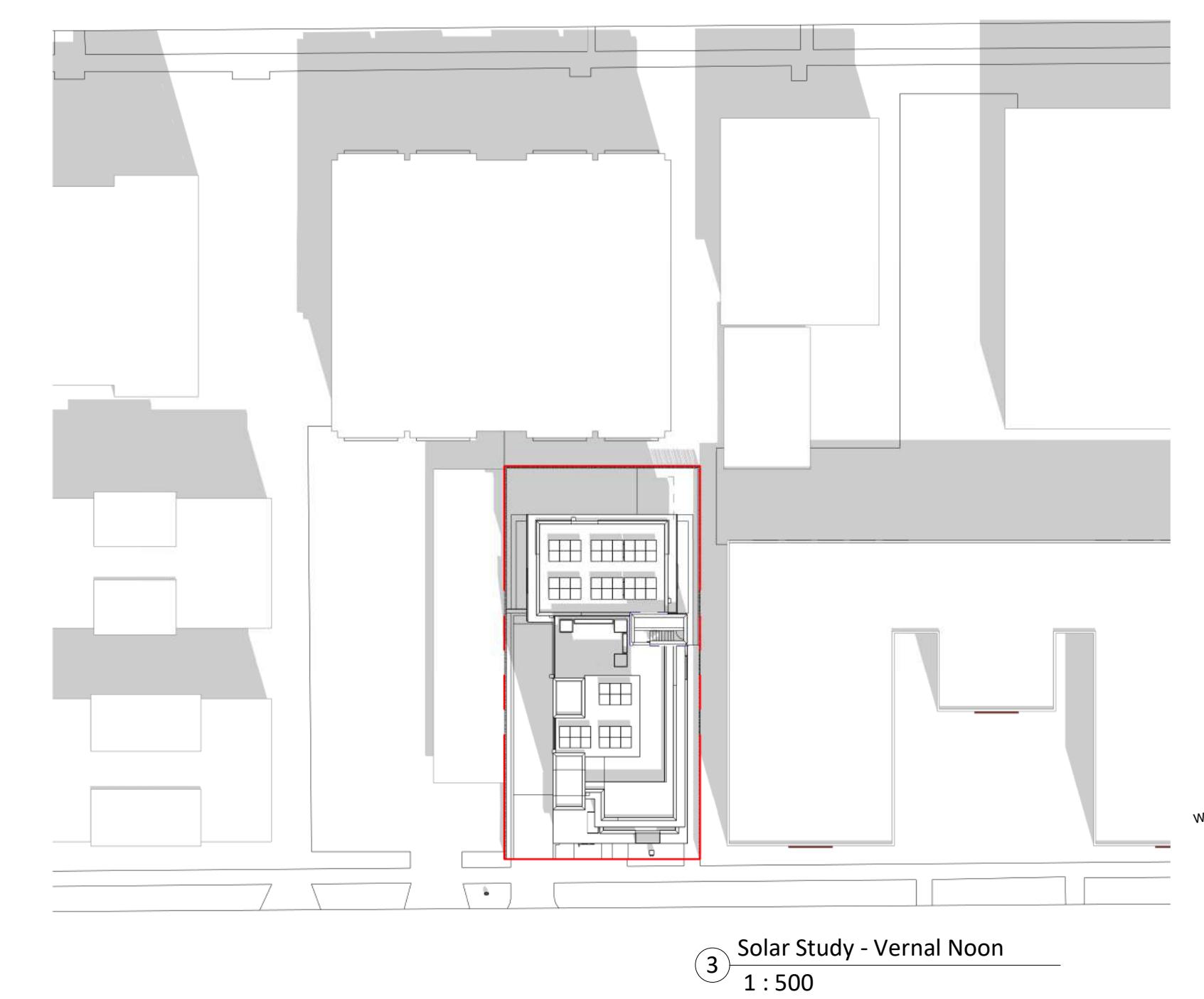
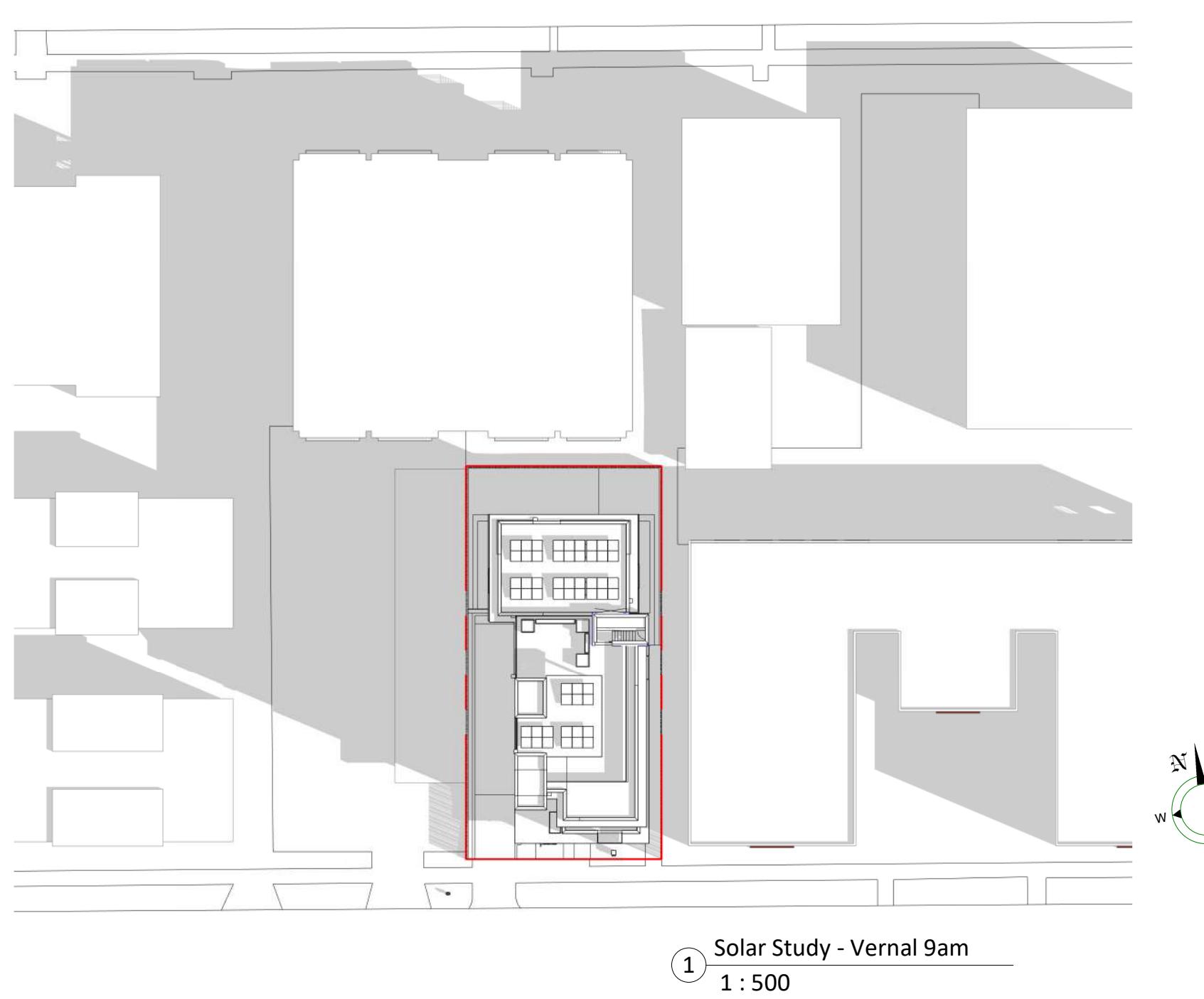
Revision	No.	Description	Date



Ten42

1042 Richardson Street,
Victoria BC

Solar Shadow Study		
Date	2023-08-29 2:18:01 PM	
Drawn by	BH	
Checked by	CL	
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Scale	1 : 500	





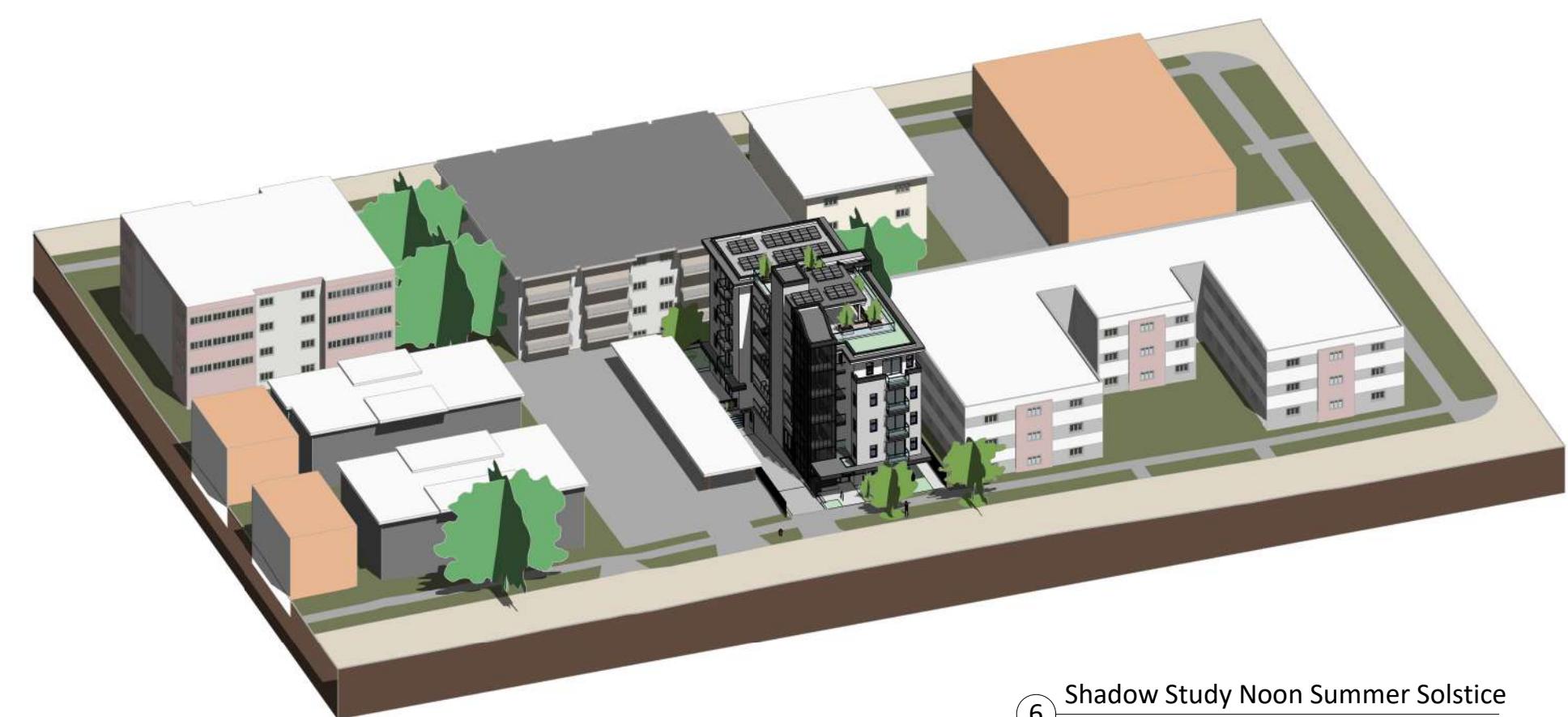
⑤ Shadow Study 9am Summer Solstice



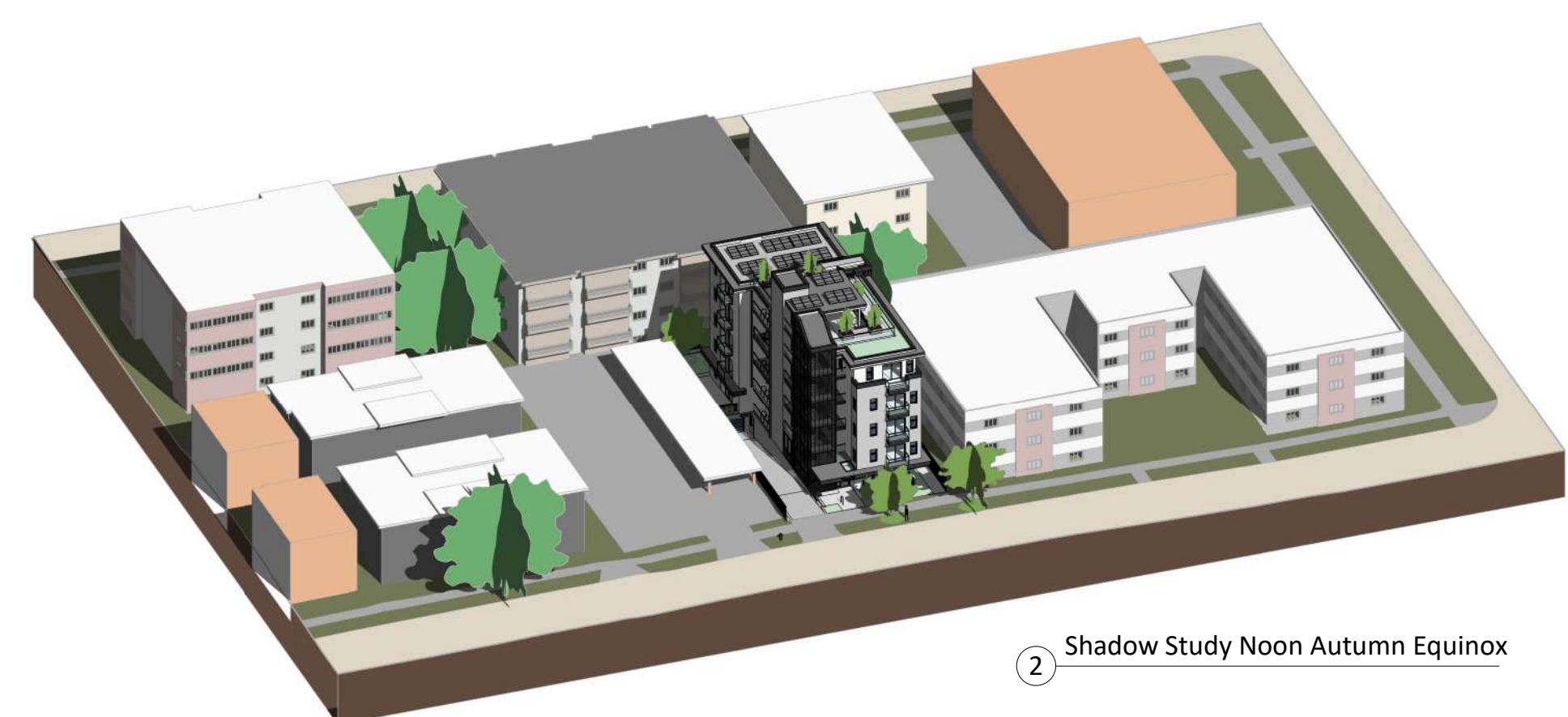
⑦ Shadow Study 9am Autumn Equinox



⑩ Shadow Study 9am Winter Solstice



⑥ Shadow Study Noon Summer Solstice



② Shadow Study Noon Autumn Equinox



⑪ Shadow Study Noon Winter Solstice



④ Shadow Study 3pm Summer Solstice

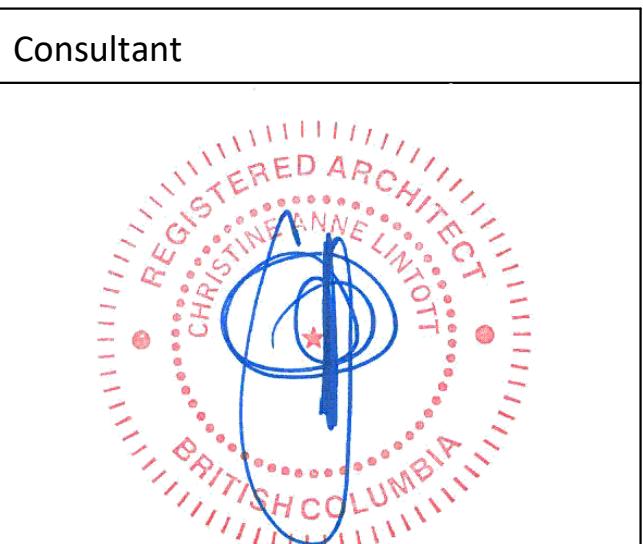


⑨ Shadow Study 3pm Autumn Equinox



⑫ Shadow Study 3pm Winter Solstice

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Re - Submission for Rezoning and Development Permit	2022-04-14	
Re - Submission for Rezoning and Development Permit	2023-08-29	
Revision		
No.	Description	Date



Ten42

1042 Richardson Street,
Victoria BC

Axo Shadow Study

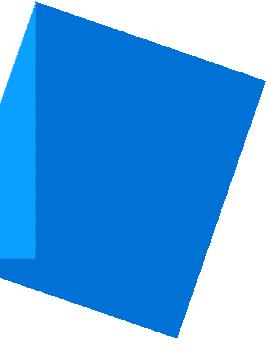
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Drawn by BH

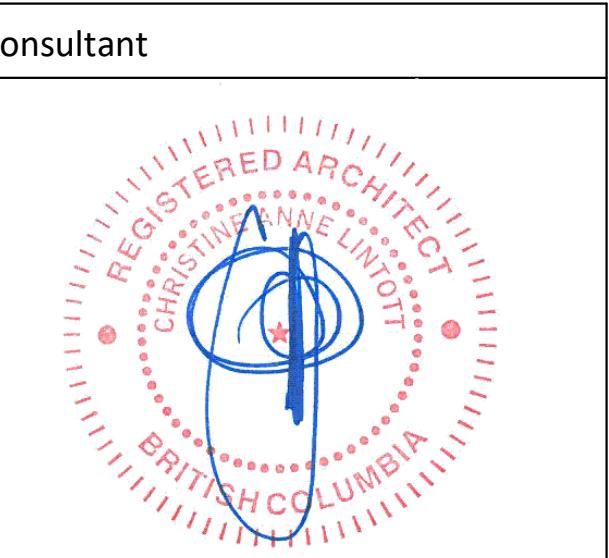
Checked by CL

A1.02

Scale



Issue	Date
Submission for Rezoning and Development Permit	2020-09-30
Re - Submission for Rezoning and Development Permit	2021-01-18
Re - Submission for Rezoning and Development Permit	2021-06-11
Re - Submission for Rezoning and Development Permit	2021-10-22
Re - Submission for Rezoning and Development Permit	2022-04-14
Re - Submission for Rezoning and Development Permit	2023-08-29
Revision	
No. Description	Date
11 Exterior Material Revision	2023-08-29



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1042 Richardson Street,
Victoria BC

Context Renders

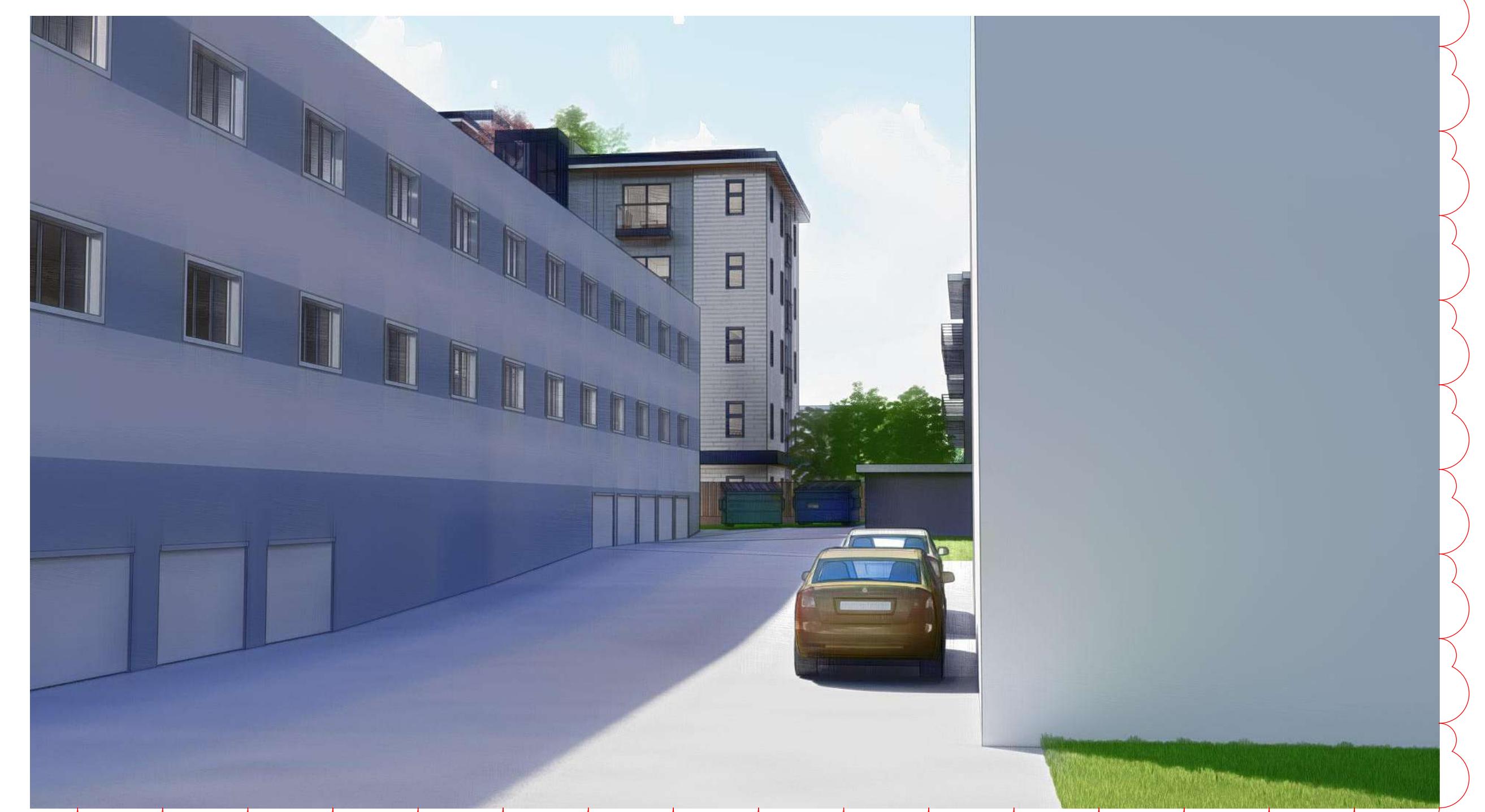
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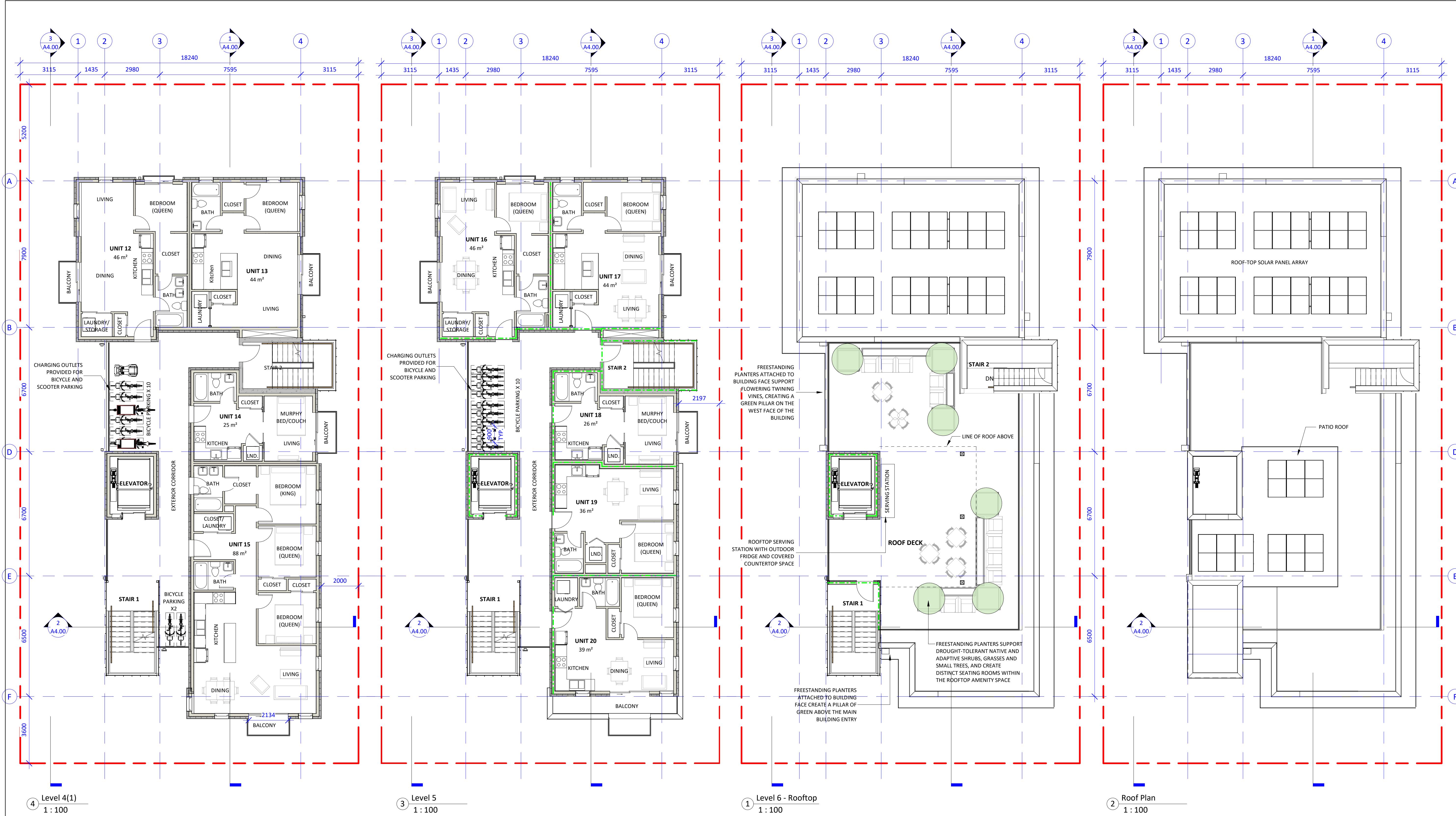
Drawn by BH

Checked by CL

A1.03

Scale





Unit Schedule

Occupancy	Name	Area
LEVEL 1		
1 Bedroom	UNIT 1	44 m ²
1 Bedroom	UNIT 2	46 m ²
1 Bedroom	UNIT 3	44 m ²
LEVEL 2		
1 Bedroom	UNIT 4	46 m ²
1 Bedroom	UNIT 5	44 m ²
Studio	UNIT 6	25 m ²
3 Bedroom	UNIT 7	88 m ²
LEVEL 3		
1 Bedroom	UNIT 8	46 m ²
1 Bedroom	UNIT 9	44 m ²
Studio	UNIT 10	25 m ²
3 Bedroom	UNIT 11	88 m ²
LEVEL 4		
1 Bedroom	UNIT 12	46 m ²
1 Bedroom	UNIT 13	44 m ²
1 Bedroom	UNIT 14	25 m ²
3 Bedroom	UNIT 15	88 m ²
LEVEL 5		
1 Bedroom	UNIT 16	46 m ²
1 Bedroom	UNIT 17	44 m ²
1 Bedroom	UNIT 18	26 m ²
1 Bedroom	UNIT 19	36 m ²
1 Bedroom	UNIT 20	39 m ²
LEVEL 6		
936 m ²		

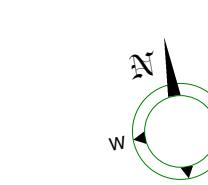
Unit Schedule

Occupancy	Name	Area
LEVEL 4		
1 Bedroom	UNIT 12	46 m ²
1 Bedroom	UNIT 13	44 m ²
1 Bedroom	UNIT 14	25 m ²
3 Bedroom	UNIT 15	88 m ²
LEVEL 5		
1 Bedroom	UNIT 16	46 m ²
1 Bedroom	UNIT 17	44 m ²
1 Bedroom	UNIT 18	26 m ²
1 Bedroom	UNIT 19	36 m ²
1 Bedroom	UNIT 20	39 m ²

Bicycle Parking

Long Term Per Schedule C Required:	Short Term Per Schedule C (within 15m of entry)	Total
1/unit < 45m ² x 12 = 12		
1.25/unit > 45m ² x 8 = 10		
Total = 22		
Provided: P1 = 22		
Proposed Additional: Long Term Parking = 56 Total = 22+56 = 78		

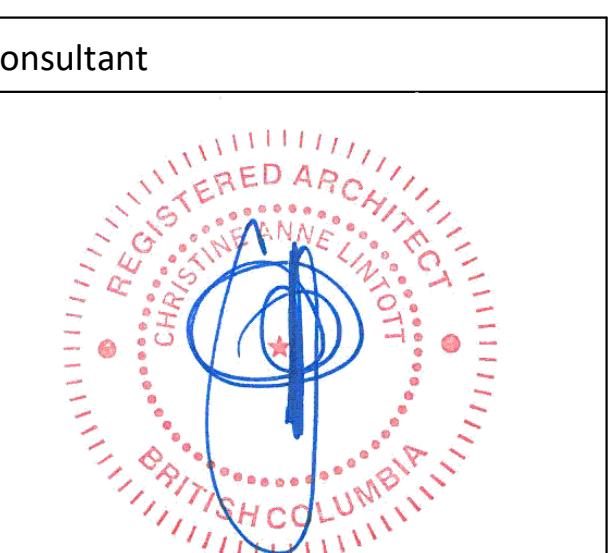
----- FRR - 0 H Fire Separation
----- FRR - 0.75 H Fire Separation
----- FRR - 1 H Fire Separation
----- FRR - 2 H Fire Separation



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Issue	Date
Submission for Rezoning and Development Permit	2020-09-30
Re - Submission for Rezoning and Development Permit	2021-01-18
Re - Submission for Rezoning and Development Permit	2021-06-11
Re - Submission for Rezoning and Development Permit	2021-10-22
Re - Submission for Rezoning and Development Permit	2022-04-14
Re - Submission for Rezoning and Development Permit	2023-08-29
Revision	
No. Description Date	
1 Revision 2 2021-06-11	



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1042 Richardson Street,
Victoria BC

Floor Plans

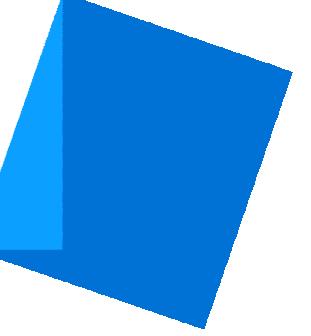
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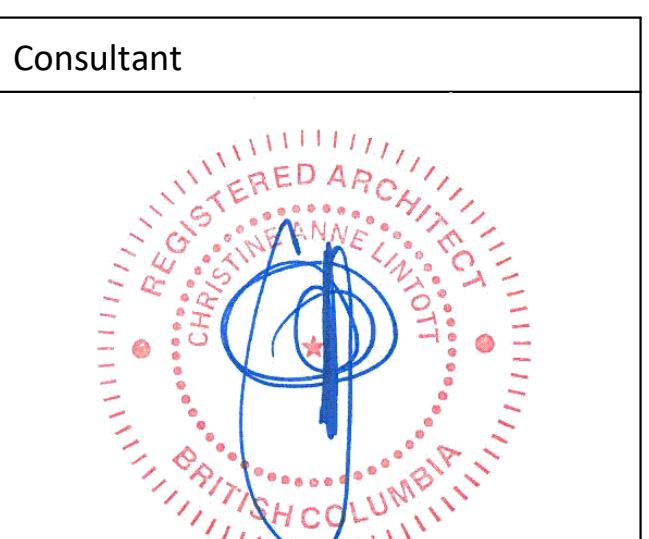
Checked by CL

Scale As indicated

A2.01



Issue	Date	
Submission for Rezoning and Development Permit	2020-09-30	
Re - Submission for Rezoning and Development Permit	2021-01-18	
Re - Submission for Rezoning and Development Permit	2021-06-11	
Re - Submission for Rezoning and Development Permit	2021-10-22	
Re - Submission for Rezoning and Development Permit	2022-04-14	
Re - Submission for Rezoning and Development Permit	2023-08-29	
Revision		
No.	Description	Date
1	Revision 2	2021-06-11
2	Glazing & Stair Core Updated	2021-10-22
4	Zoning Comment #2	2022-04-19
11	Exterior Material Revision	2023-08-29



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1042 Richardson Street,
Victoria BC

Elevations

Date 2023-08-29 2:18:46 PM

Drawn by BH

Checked by CL

A3.00

As indicated

Scale

As indicated

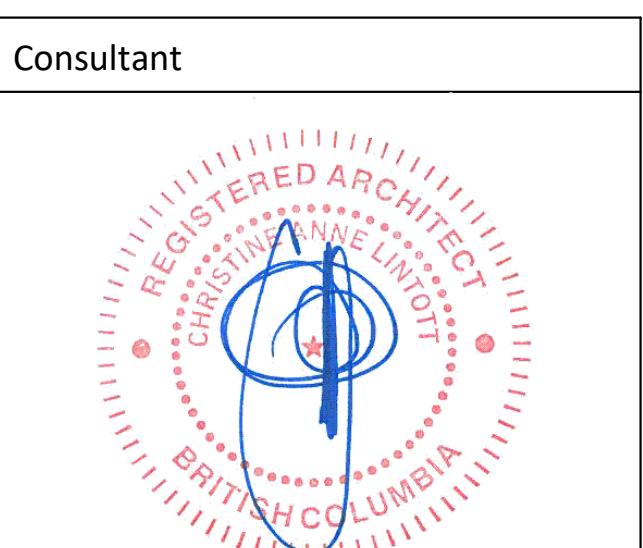
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Issue	Date	
Submission for Rezoning and Development Permit	2020-09-30	
Re - Submission for Rezoning and Development Permit	2021-01-18	
Re - Submission for Rezoning and Development Permit	2021-06-11	
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Re - Submission for Rezoning and Development Permit	2022-04-14	
Re - Submission for Rezoning and Development Permit	2023-08-29	
Revision		
No.	Description	Date
1	Revision 2	2021-06-11
2	Glazing & Stair Core Updated	2021-10-22
11	Exterior Material Revision	2023-08-29



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1042 Richardson Street,
Victoria BC

Context Elevations

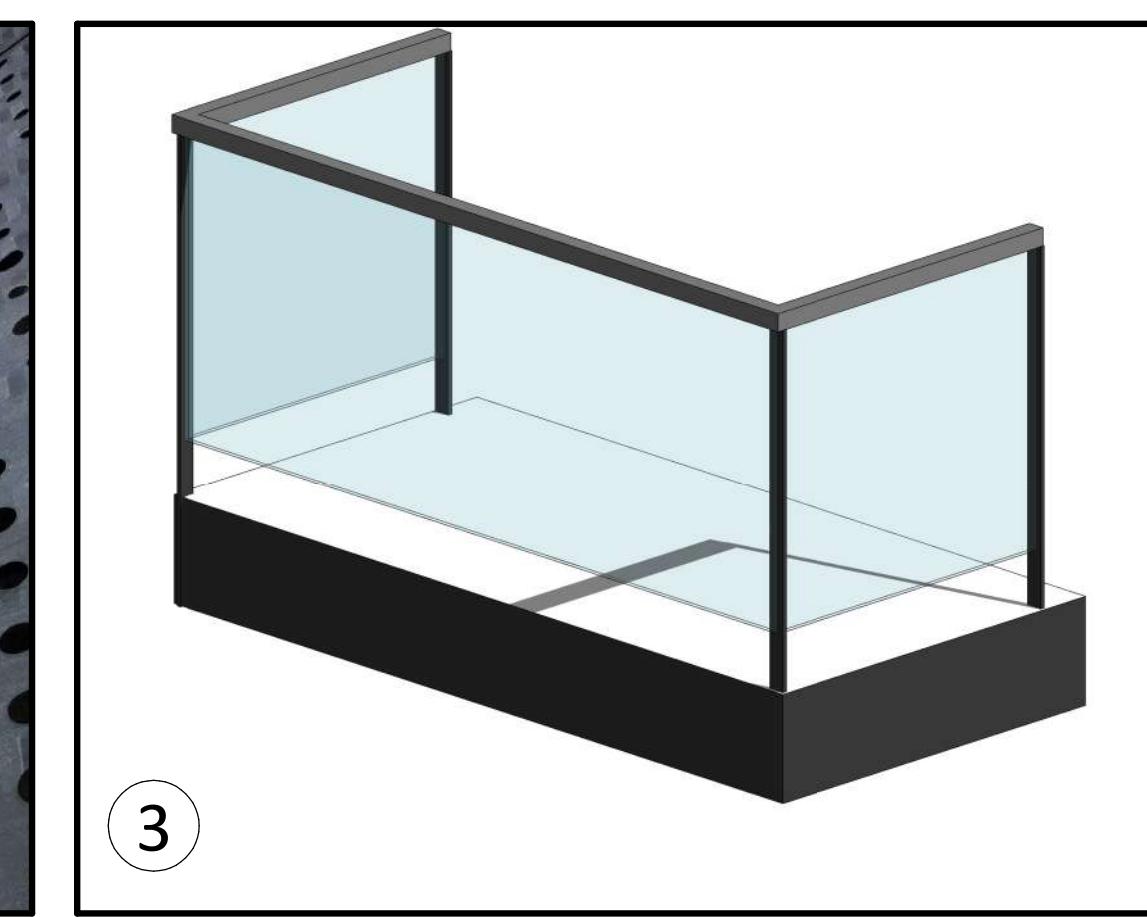
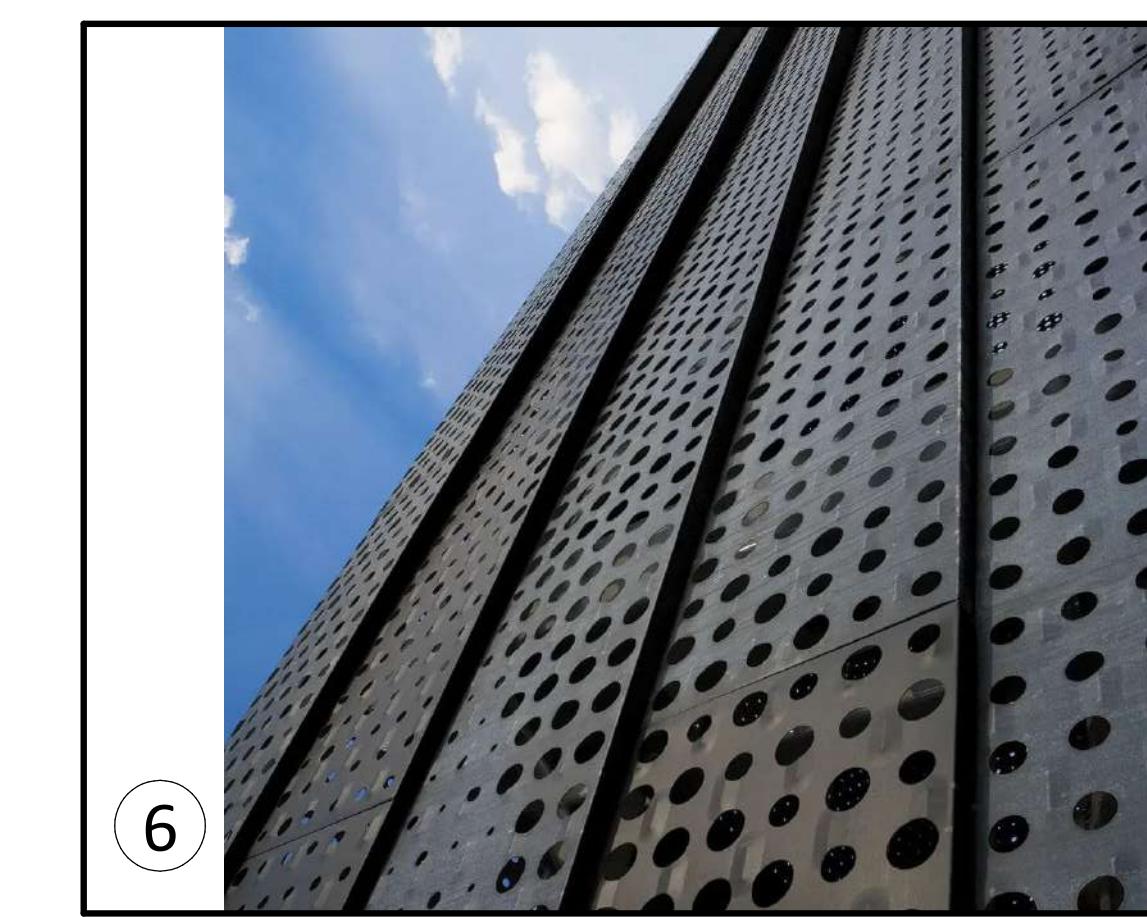
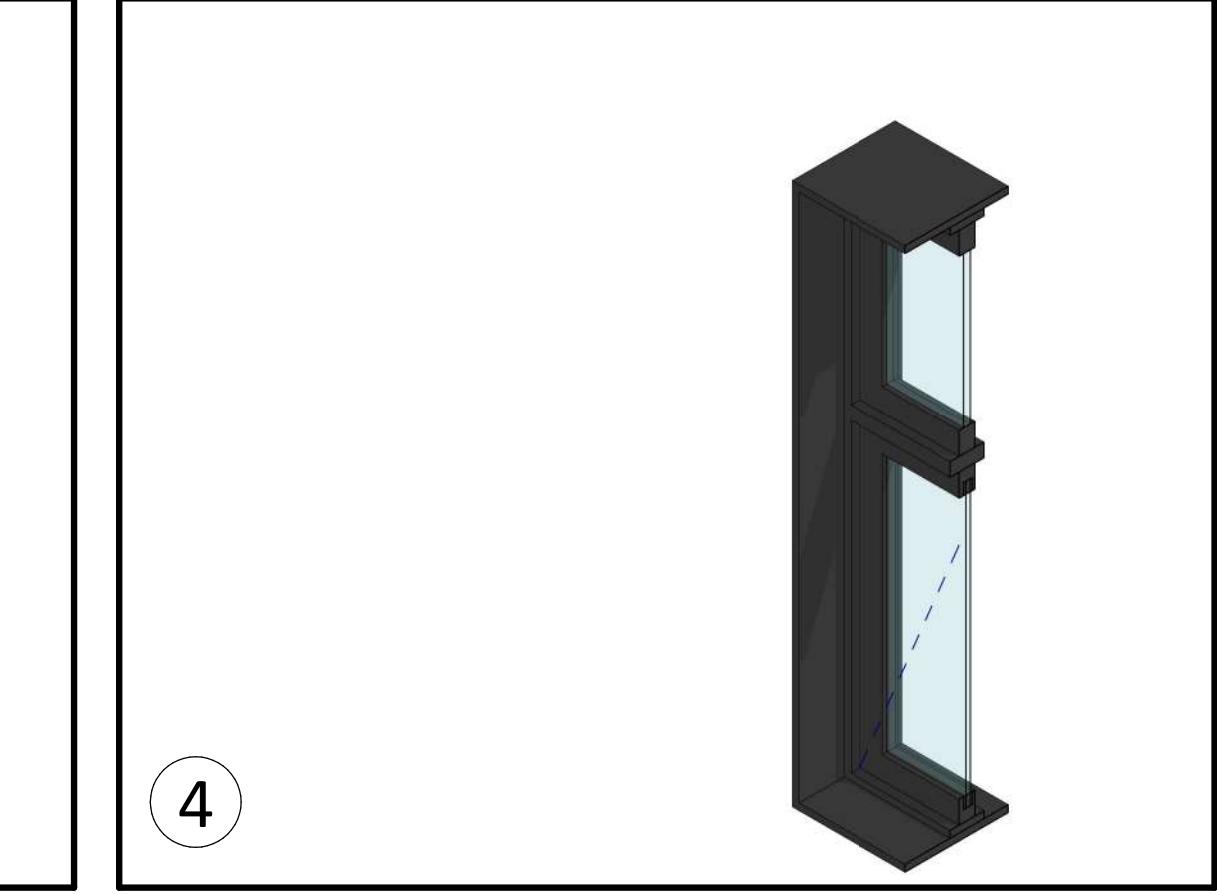
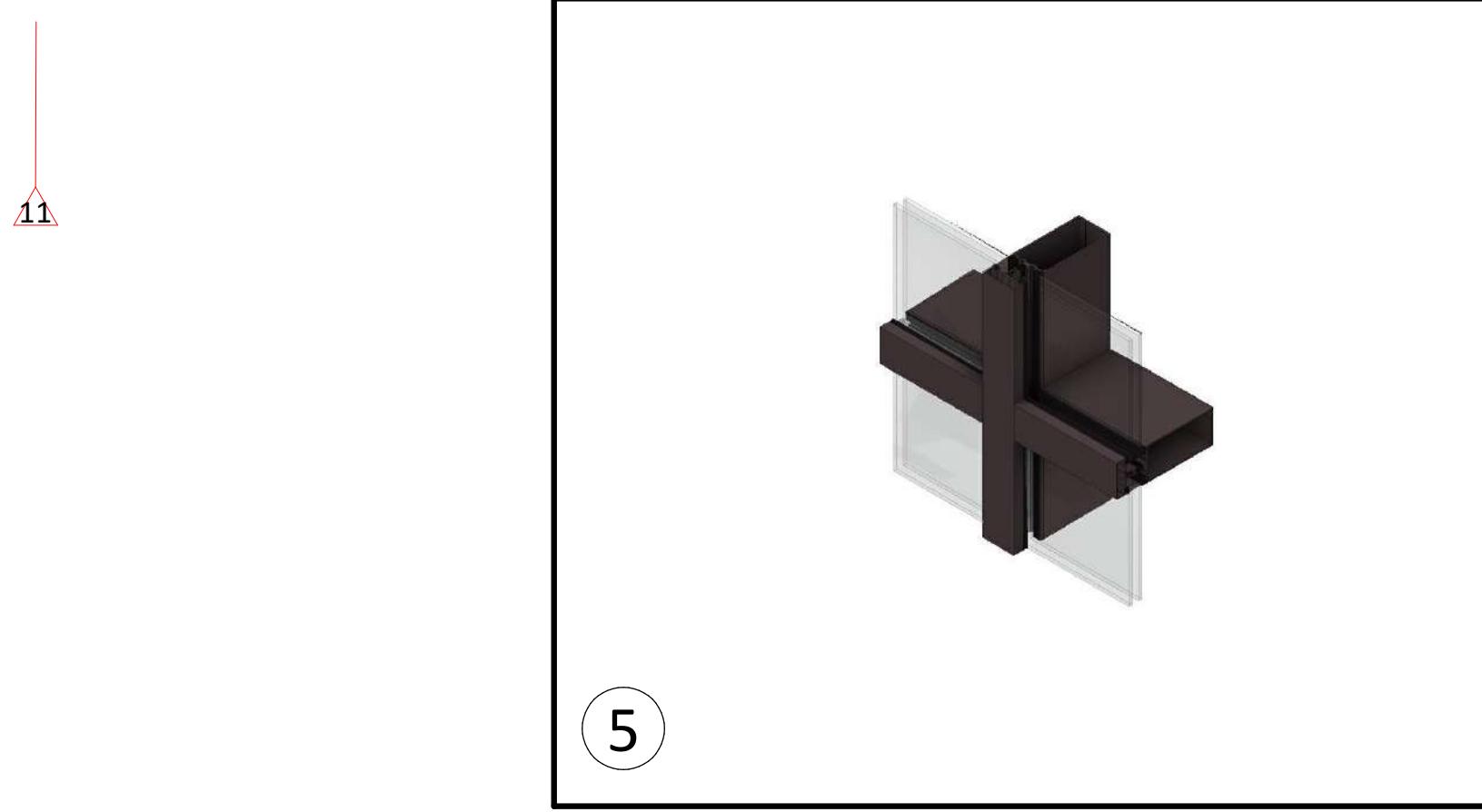
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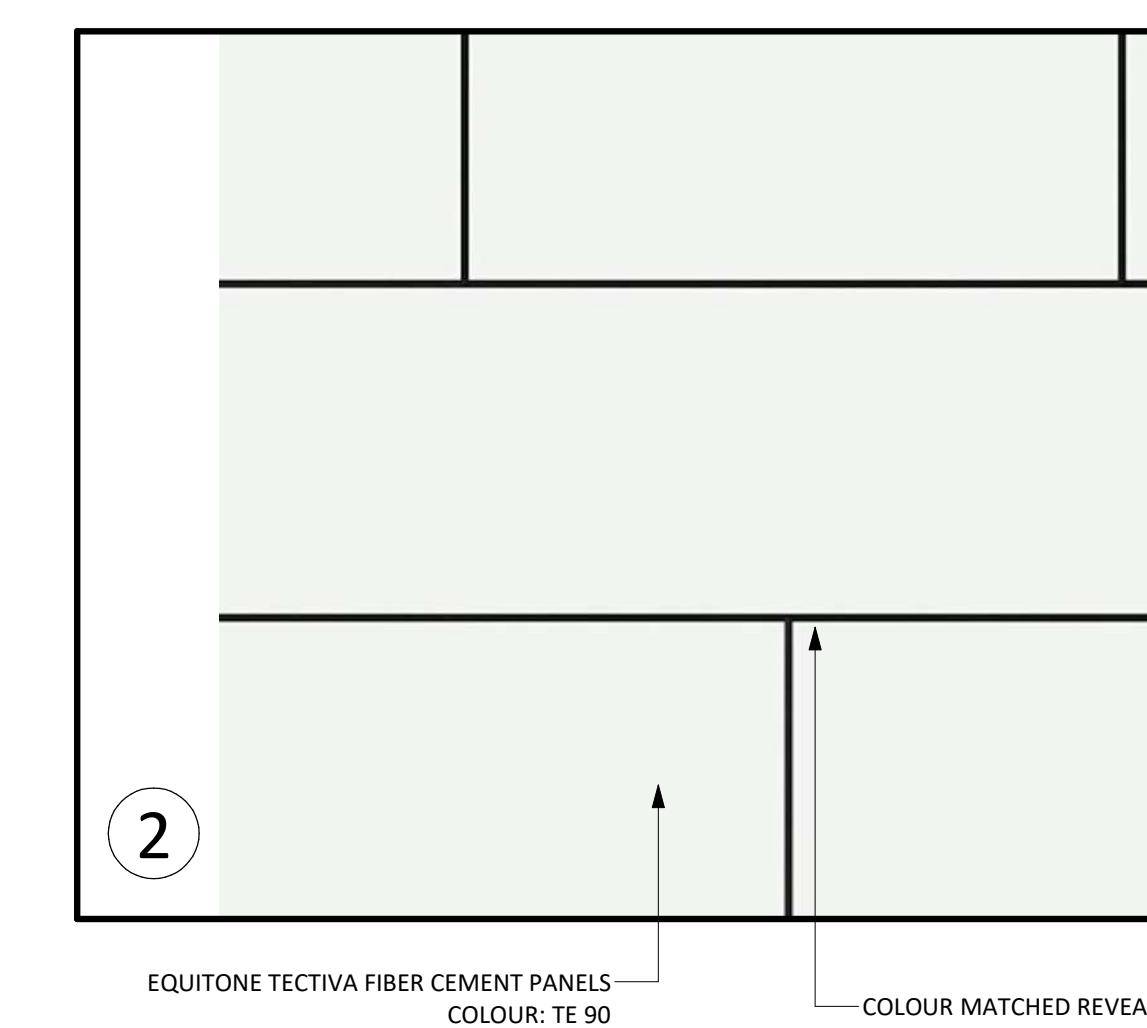
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A3.01

Scale 1 : 100



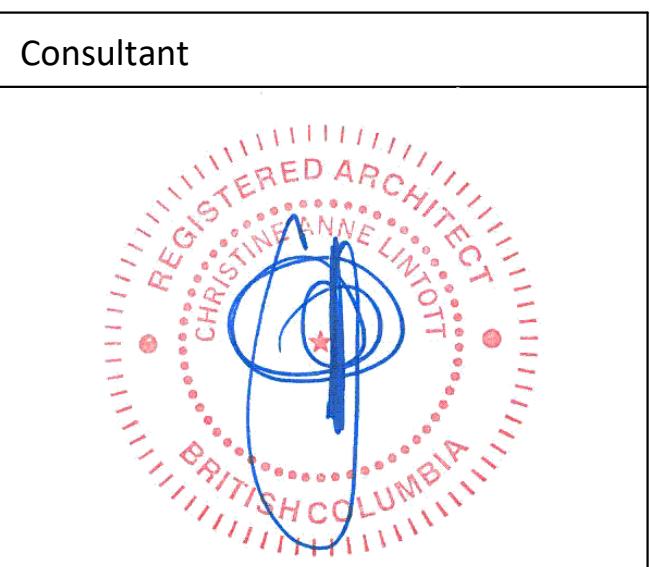
1 FIBRE-CEMENT PANELS - LIGHT GREY
2 FIBRE-CEMENT PANELS - OFF WHITE
3 GLASS GUARD WITH METAL RAILING
4 VINYL WINDOWS - BLACK
5 GLAZING WALL - ALUMINUM, BLACK POWDER COAT
6 PERFORATED METAL STANDING SEAM SCREEN - BLACK
7 PREFINISHED METAL FLASHING - BLACK
8 RAIN WATER LEADER - COLOUR MATCH CLADDING



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Issue	Date	
Submission for Rezoning and Development Permit	2020-09-30	
Re - Submission for Rezoning and Development Permit	2021-01-18	
Re - Submission for Rezoning and Development Permit	2021-06-11	
Re - Submission for Rezoning and Development Permit	2021-10-22	
Re - Submission for Rezoning and Development Permit	2022-04-14	
Re - Submission for Rezoning and Development Permit	2023-08-29	
Revision		
No.	Description	Date
8	Vertical Screen Material	2022-04-19
11	Exterior Material Revision	2023-08-29



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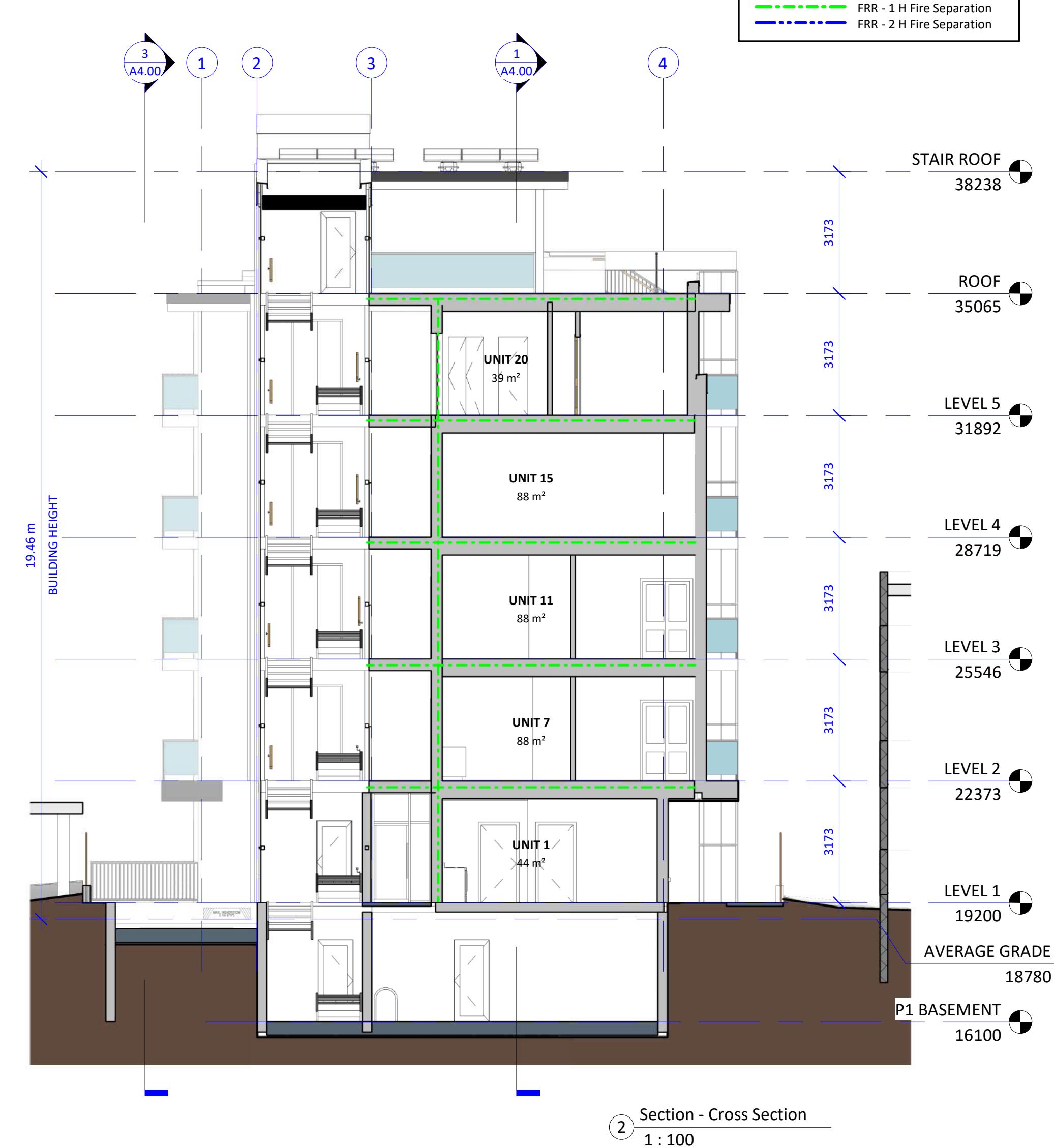
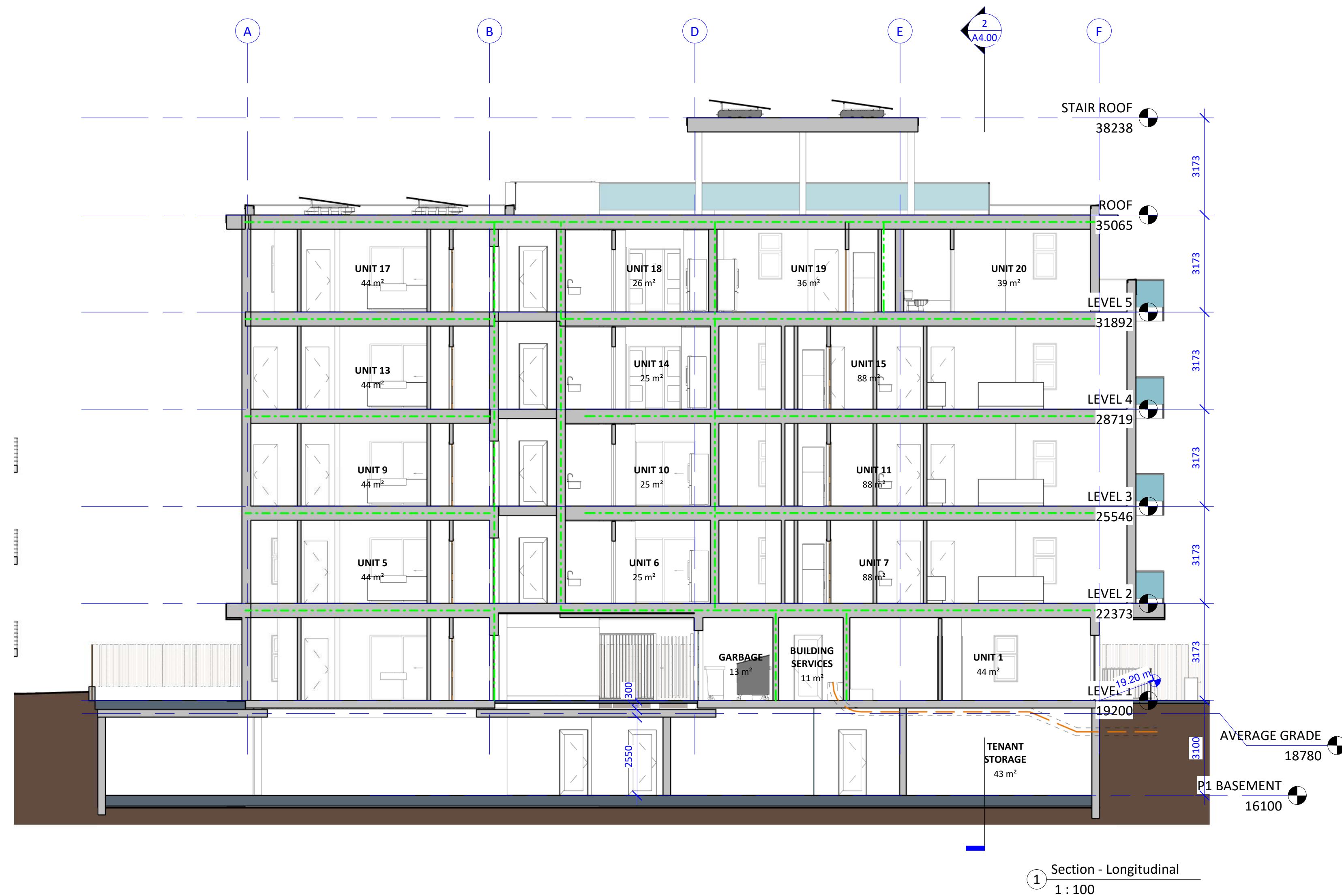
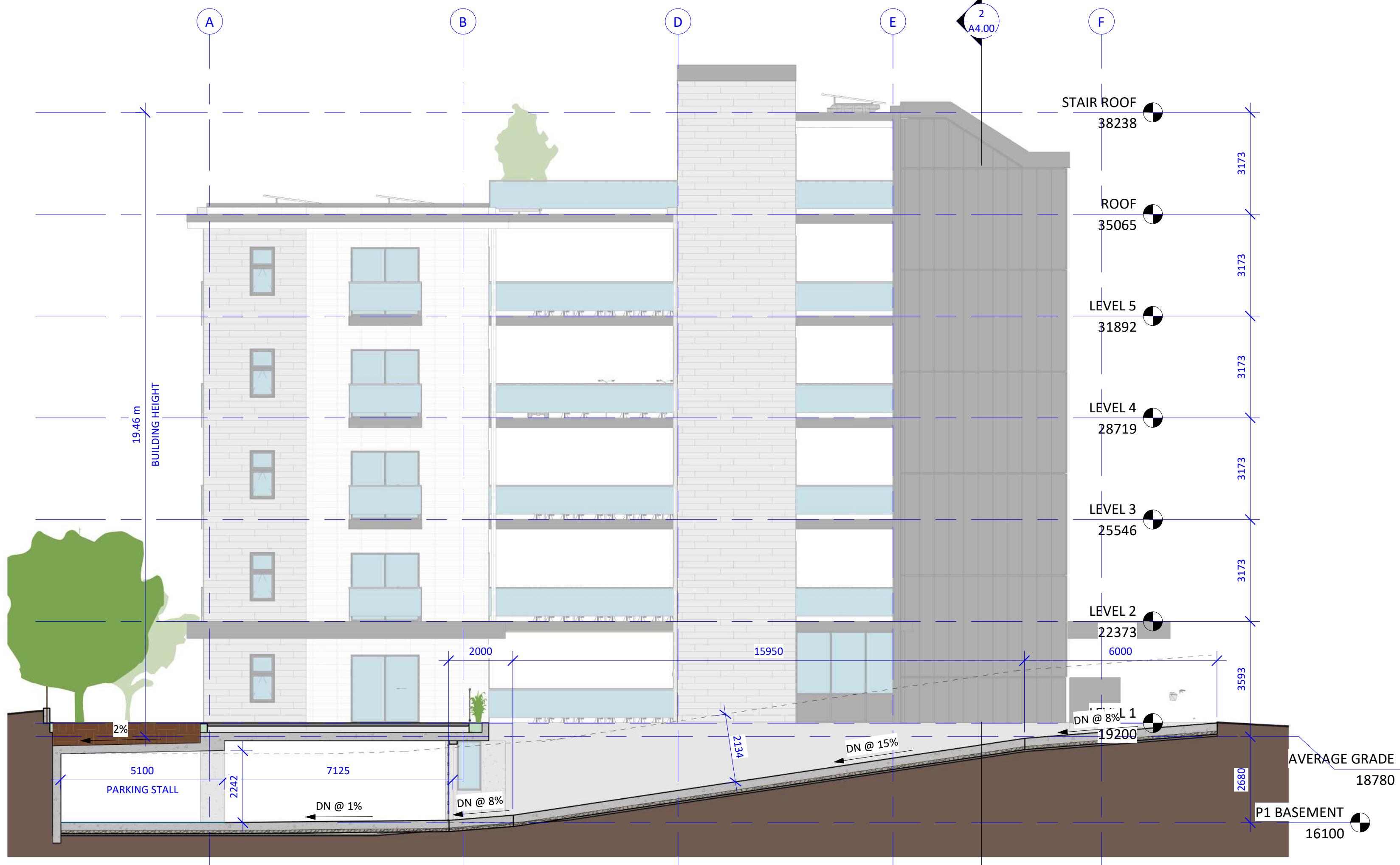
1042 Richardson Street,
Victoria BC

Exterior Materials

Date 2023-08-29 2:19:16 PM
Drawn by BH
Checked by CL

A3.02

As indicated



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Issue	Date
Submission for Rezoning and Development Permit	2020-09-30
Re - Submission for Rezoning and Development Permit	2021-01-18
Re - Submission for Rezoning and Development Permit	2021-06-11
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Re - Submission for Rezoning and Development Permit	2023-08-29

Revision	No.	Description	Date
1	Revision 2	2021-06-11	
7	Zoning Comment #5	2022-04-19	

REGISTERED ARCHITECT
CHRISTINE LINTOTT
BRITISH COLUMBIA

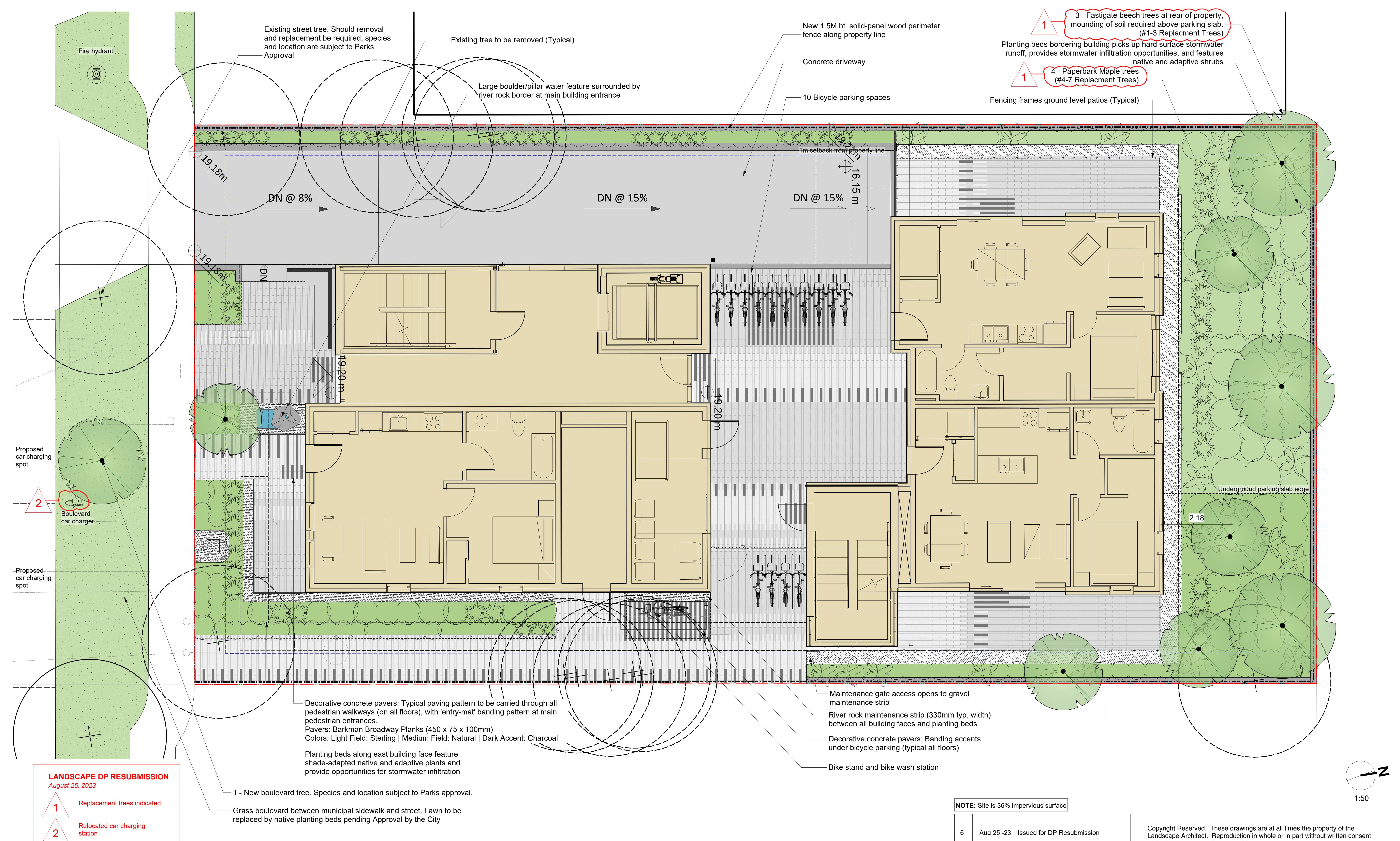
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1042 Richardson Street,
Victoria BC

Building Sections	Date	2023-08-29 2:19:20 PM
Drawn by	Checked by	BH CL

A4.00

As indicated



1042 Richardson Street | Landscape Concept Plan

NOTE: Site is 36% impervious surface

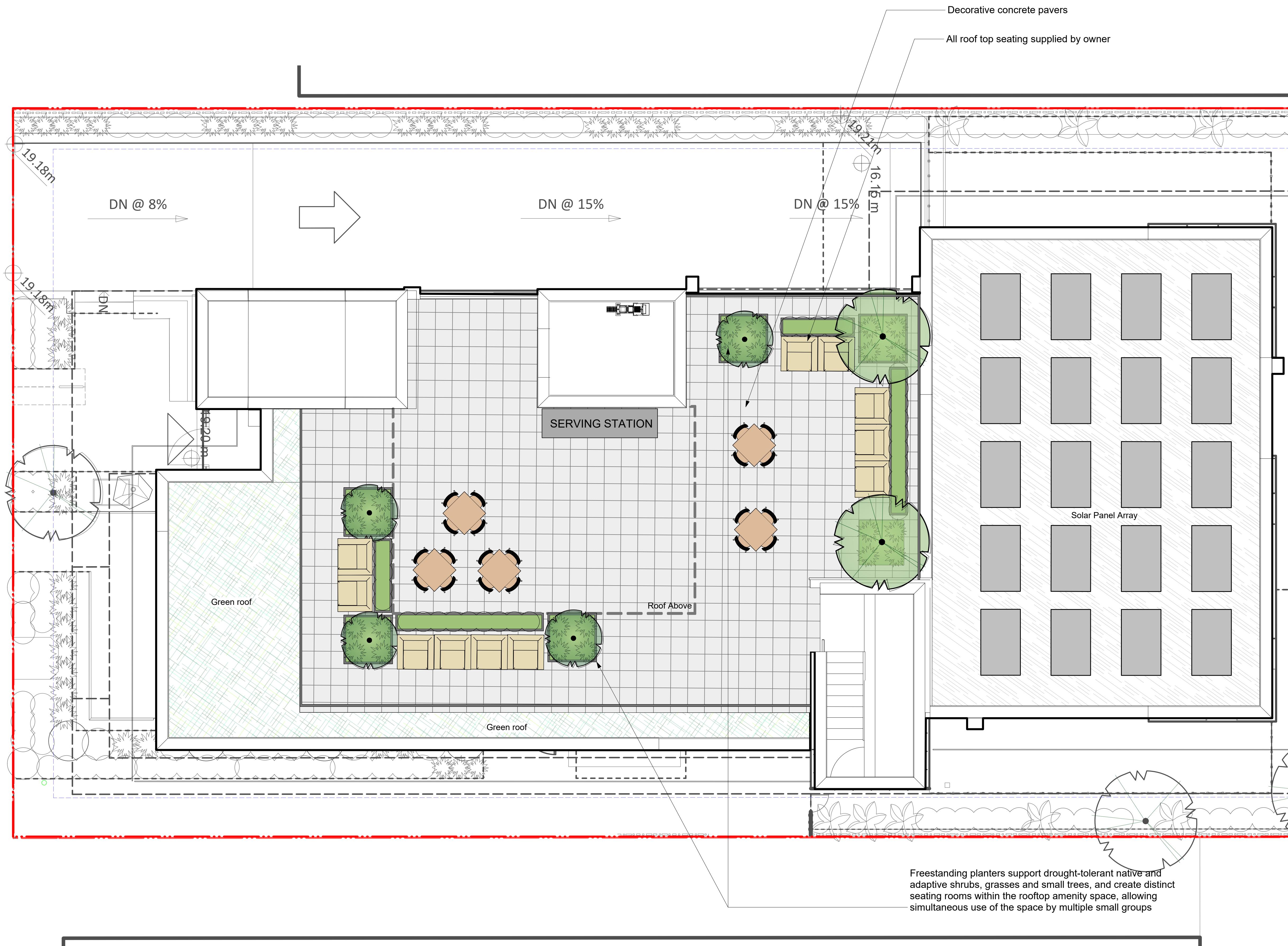
NOTICE OF 30% IMPROVED SURFACE		
6	Aug 25 -23	Issued for DP Resubmission
5	June 9 -21	DP Revisions
4	Jan 11-21	DP Revisions
3	Nov 26-20	DP Revisions
2	Sept 30-20	Issued for Development Permit
1	Aug 6-20	Issued for Preliminary Submission for OCP Amendment, Rezoning and Development Permit

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Phone: (250) 598-0105 Fax: (250) 412-0696



1042 Richardson Street | L6 Rooftop Concept Plan

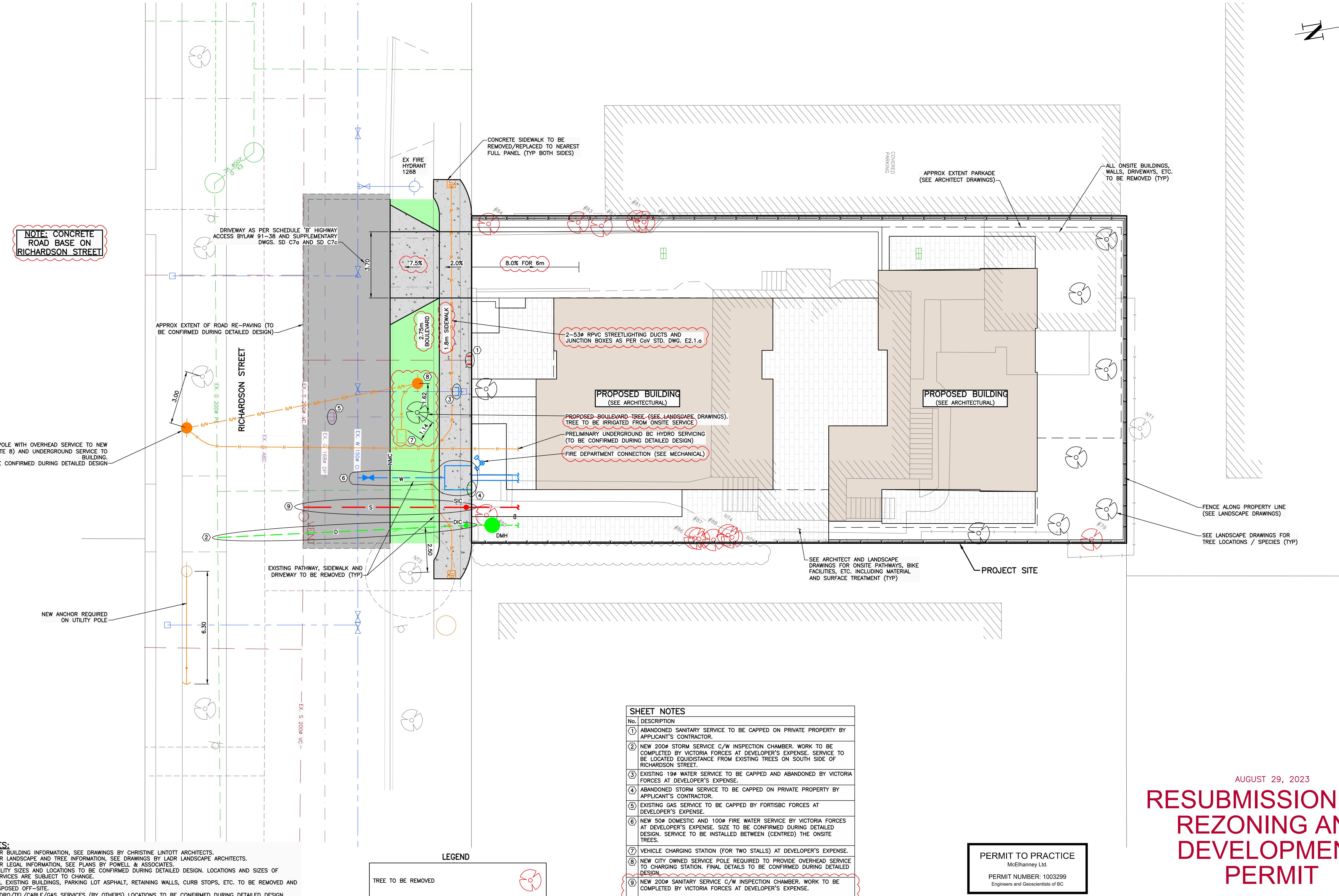
6	Aug 25 -23	Issued for DP Resubmission
5	June 9 -21	DP Revisions
4	Jan 11-21	DP Revisions
3	Nov 26-20	DP Revisions
2	Sept 30-20	Issued for Development Permit
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Phone: (250) 598-0105 Fax: (250) 412-0696

**NOTES:**

- FOR BUILDING INFORMATION SEE DRAWINGS BY CHRISTINE LINTOTT ARCHITECTS.
- FOR LANDSCAPE AND TREE INFORMATION SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
- FOR BIKE FACILITIES SEE DRAWINGS BY POWELL & ASSOCIATES.
- UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN. LOCATIONS AND SIZES OF SERVICES ARE SUBJECT TO CHANGE.
- ALL EXISTING BUILDINGS, PARKING LOT, ASPHALT, RETAINING WALLS, CURB STOPS, ETC. TO BE REMOVED AND DISPOSED OF BY DEVELOPER.
- HYDRO, TELE/CABLE/GAS SERVICES (BY OTHERS) LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN. BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).

AUGUST 29, 2023

RESUBMISSION FOR REZONING AND DEVELOPMENT PERMIT

SEE ARCHITECTURAL AND LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION.

LEGAL PLAN AND TOPOGRAPHIC SURVEY PROVIDED BY POWELL & ASSOCIATES.

SCALE: HORIZ: 1:100 VERT: N/A
PROJECT NO. 20-083 ISSUED/REVISION 5
APPROVING AUTHORITY FILE NO.
DRAWING NO. 20-083-REZONING



McElhanney
500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-9221

SEAL

PROJECT: 1042 RICHARDSON STREET, VICTORIA, BC

TITLE: PRELIMINARY CIVIL PLAN
DRAWING NO. 20-083-REZONING

NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
5							
4	2023-08-29	NCD	RESUBMISSION FOR REZONING AND DEVELOPMENT PERMIT				
3	2021-06-09	NCD	ISSUED FOR REZONING				
2	2021-01-14	NCD	ISSUED FOR REZONING				
1	2020-09-29	NCD	ISSUED FOR REZONING				