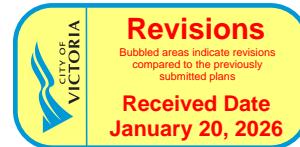


235 RUSSELL STREET MIXED USE



26-01-19 RZ+DP RESUBMISSION 06



BC LAND SURVEYORS SITE PLAN OF:

Civic: 247 Russell Street

Legal: Lot A, Section J1,

Esquimalt District, Plan 29271

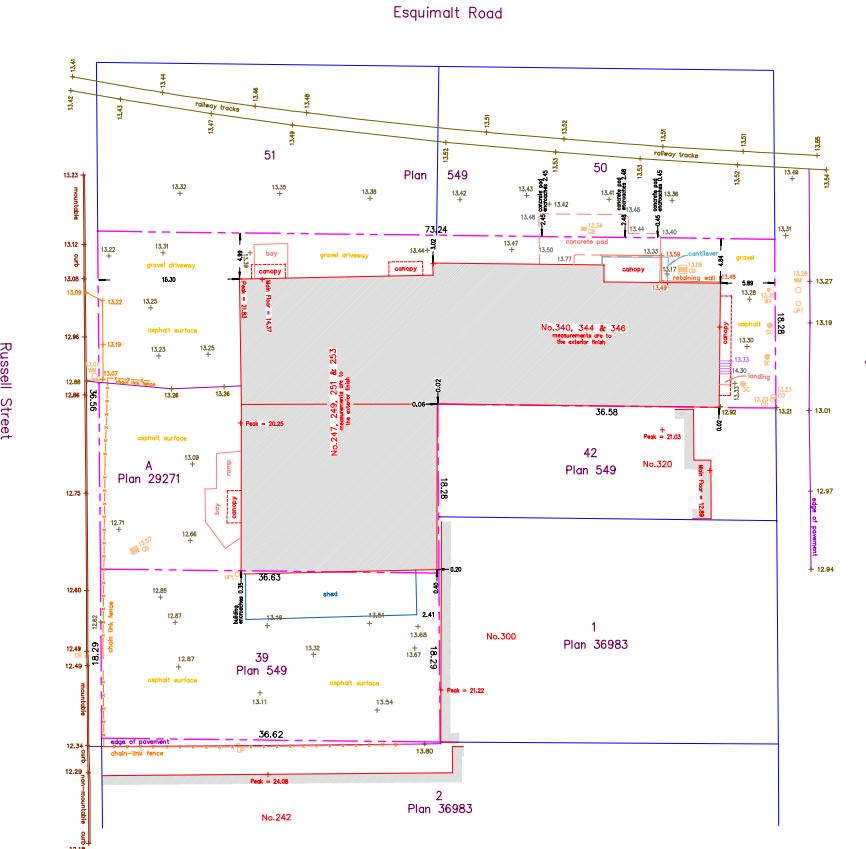
AND

Lot 39, Section J1,

Esquimalt District, Plan 549

Parcel identifier (Lot A) : 001-422-294 in the City of Victoria
Parcel identifier (Lot 39): 003-391-426 in the City of Victoria

0 2 10 20
All distances are shown in metres.
The intended plot size of this plan
is 409.6mm in width by 457.2mm in height.
(Arch C size) when plotted at a scale of 1:250.



The following non-financial charges are shown on the current plan and may affect the property.
Lot A: M76301 - Exceptions and Reservations
Lot 39: 3187902 - Exceptions and Reservations
Lot 39: M76301 - Undersurface Rights

Setbacks are derived from field survey.
Parcel dimensions shown herein are derived from Land Title Office records.
This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

ISSUED 20-01-19 R24OP RESUB 06
ISSUED 25-10-21 R24OP RESUB 05
ISSUED 25-07-21 R24OP RESUB 04
ISSUED 25-06-13 R24OP RESUB 03
ISSUED 25-06-12 R24OP RESUB 02
ISSUED 24-06-11 R24OP RESUBMISSION
ISSUED 24-06-10 R24OP RESUBMISSION

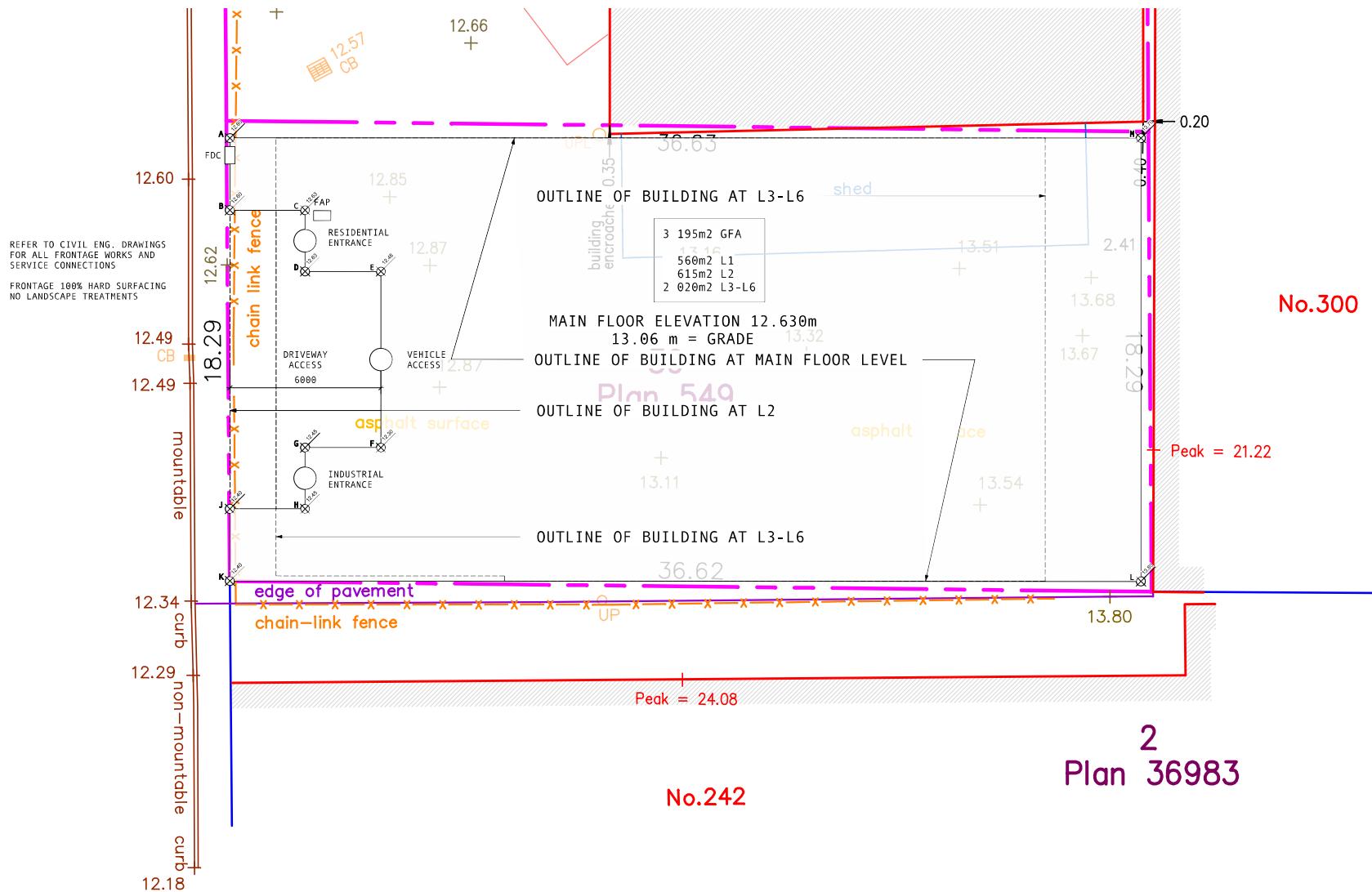
Rev. Date Description
0 Rev. 26-07-19 Drawing #
Issued by ORK Issued by ORK
Scale 1:100 Prepared by 2017
NOTE: All dimensions are shown in metres. Distances are true to GNS.

Russell MX

235 Russell Street
Victoria BC
Survey Plan

dHK A100

dHKArchitects
Victoria
377 Douglas Street V8W 3K3
102-8100 Dallas Way V9T 2K8 T 1-250-855-3367
102-8100 Dallas Way V9T 2K8 F 1-250-855-8810
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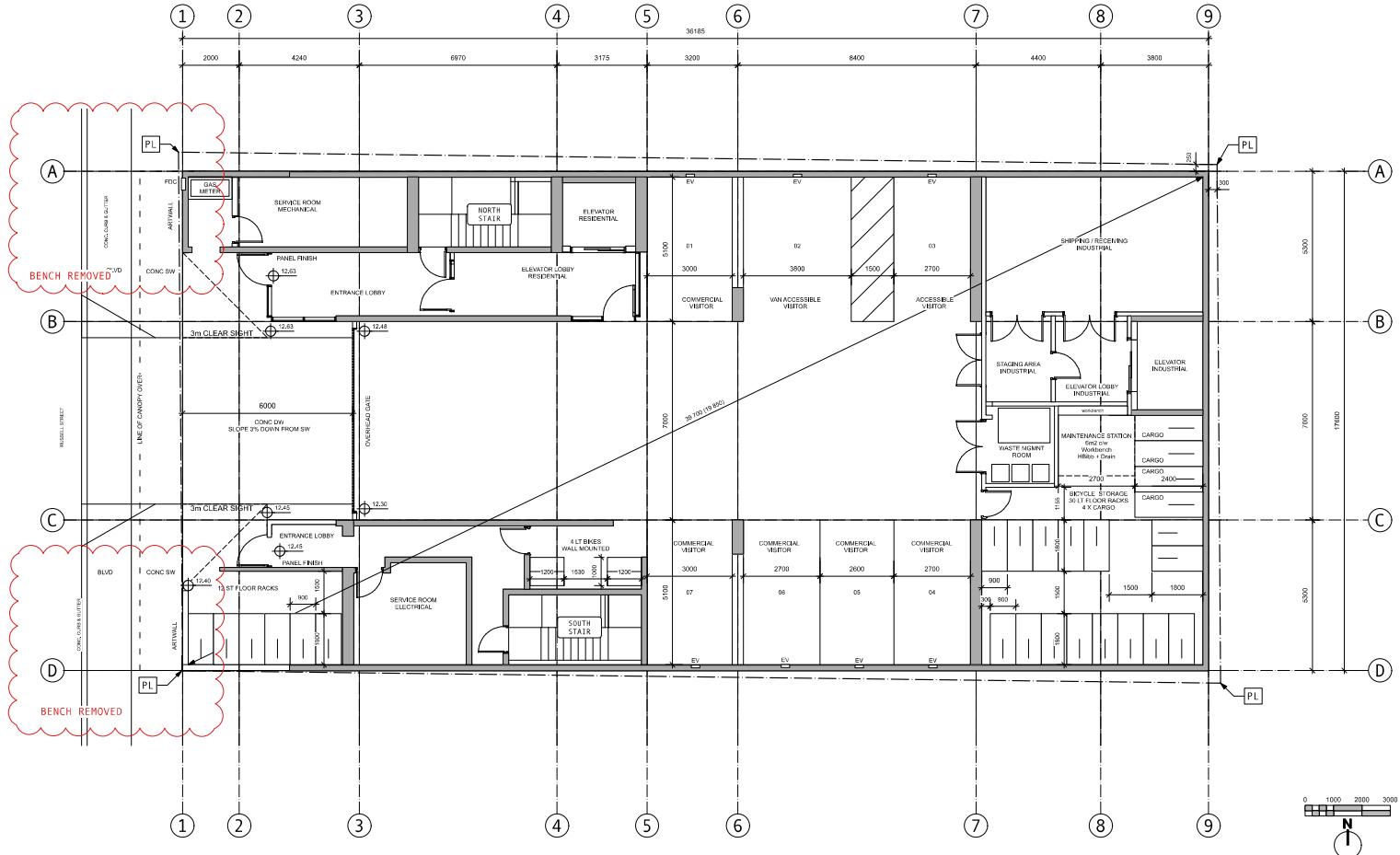


No.242

2
Plan 36983

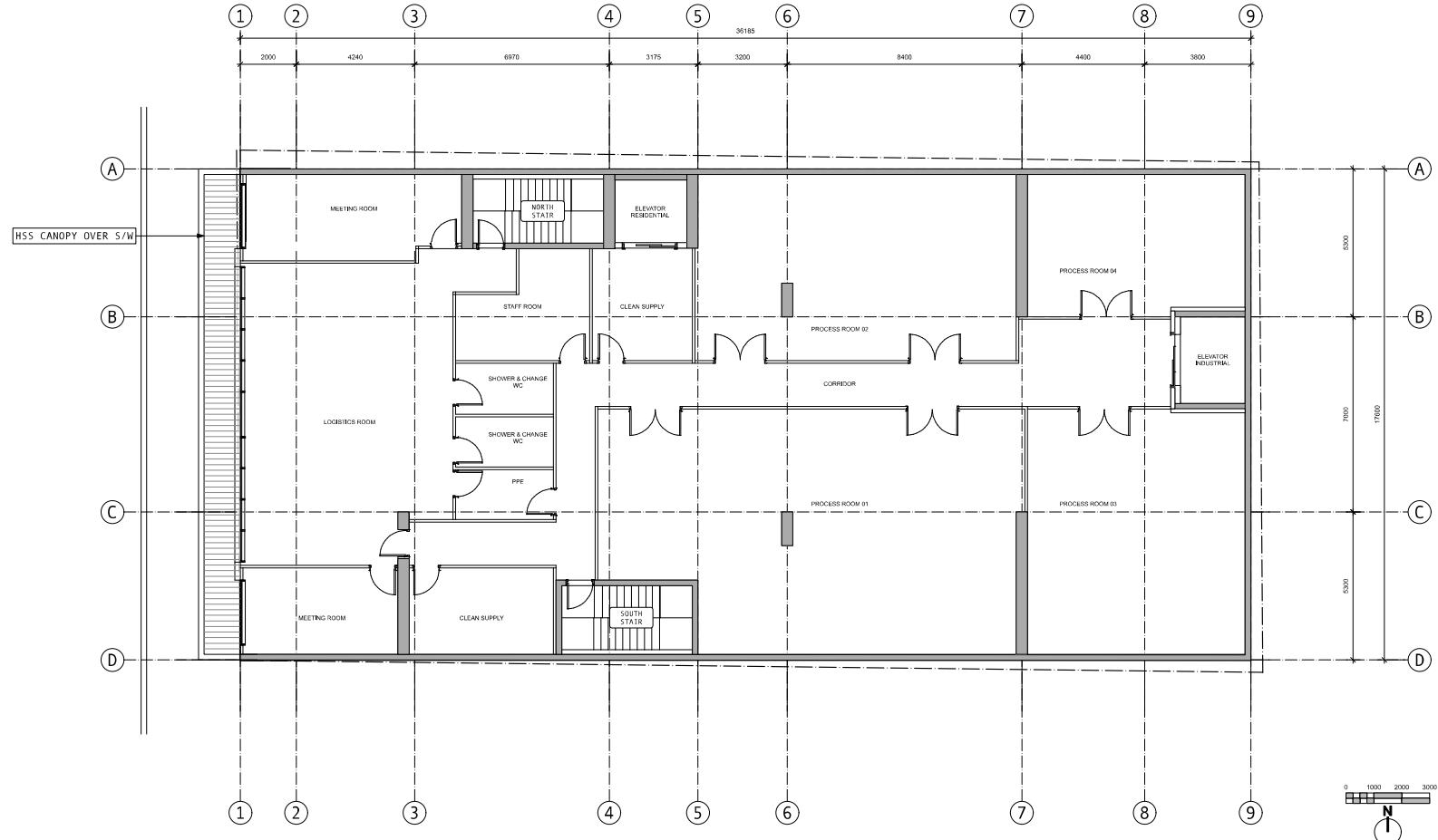
PROJECT DATA -	BCBC	
APPLICABLE BCBC	2024	
MAJOR OCCUPANCY	F3 INDUSTRIAL (L1-L2) C RESIDENTIAL (L3-L6)	
REDUCTION REQUESTS	3.3.3.50 GROUP C 6 STOREYS SPRINKLERED COMBUSTIBLE OR NON-COMBUSTIBLE 1HR FIRE SEP FLOORS 1HR FIRE RESISTANCE ROOF 1HR FIRE RESISTANCE LOADBEARING APPLIED TO L3 AND ABOVE	
3.2.2.80	GROUP F3 ANY HEIGHT ANY AREA SPRINKLERED NON-COMBUSTIBLE 2HR FIRE SEPARATION FLOORS 2HR FIRE RESISTANCE LOADBEARING APPLIED TO L2 AND L1	
EXITS	2 EXITS REQUIRED AND PROVIDED FROM ALL FLOOR AREAS	
PROJECT DATA -	ZONING	
ZONE	M-1	
SITE AREA	669.50	
INDUSTRIAL USE	1175.00	
RESIDENTIAL USE	2072.00	
AL. FLOOR AREA	3194.50	
FSR	4.47	
SITE COVERAGE	92%	
BUILDING HEIGHT	10' - 0"	
STORIES	Six (6)	
VEHICLE PARKING	7 STALLS	
CYCLE PARKING	38 LT SPACES incl 4 cargo 10' LT SPACES	
FRONT SB	0.00	
REAR SB	8.00 (8.38 seismic gap)	
NORTH SIDE SB	8.00 (8.25 seismic gap)	
SOUTH SIDE SB	0.00	
POTENTIAL SUITES	30 total	
STUDIO	4	
1BR	16	
2BR	8	
3BR	2	
SUITE AREAS	m ²	
STUDIO	33.00	
1BR	43.00	
2BR	63.00	
3BR	95.00	
PROJECT DATA -	LEGAL	
LEGAL	LOT 39 SECTION 31 ESQUIMALT DISTRICT PLAN 549	
ADDRESS	235 RUSSELL STREET	
OWNER	235 RUSSELL HOLDINGS LTD.	
ARCHITECT	DIMARARCHITECTS 977 FORT STREET VICTORIA BC V8V 3K3 250-658-3367	
CIVIL	WESTBROOK CONSULTING LTD. 115-866 GOLDSTREAM AVENUE VICTORIA BC V9B 0J3 250-391-8592	
ISSUED	2024-19	RZD-CP RESUB 06
ISSUED	25-04-21	RZD-CP RESUB 05
ISSUED	2024-01	RZD-CP RESUB 04
ISSUED	25-05-13	RZD-CP RESUB 03
ISSUED	25-05-12	RZD-CP RESUB 02
ISSUED	24-04-11	RZD-CP RESUBMISSION
ISSUED	24-04-05	RZD-CP RESUBMISSION
Per:	Date:	Description:
Architect:	2024-01-19	Initials: 
Owner:	CRK	Initials: CRK

Russell MX
235 Russell Street
Victoria BC
Site Plan & Project Data



Russell MX
235 Russell Street
Victoria BC
L1 PLAN

dHKa A201



ISSUED 2011-19 RZ-DP RESUB 06
 ISSUED 2011-21 RZ-DP RESUB 05
 ISSUED 2011-21 RZ-DP RESUB 04
 ISSUED 2010-13 RZ-DP RESUB 03
 ISSUED 2010-12 RZ-DP RESUB 02
 ISSUED 2010-11 RZ-DP RESUBMISSION
 ISSUED 2010-05 RZ-DP SUBMISSION

Per Date Description
 Issued 2011-19 GRK Issued to GRK
 Issuing 1:100 Issuing date 2017

NOTE: All dimensions are shown in mm. Room dimensions are indicated in GRK.

Russell MX

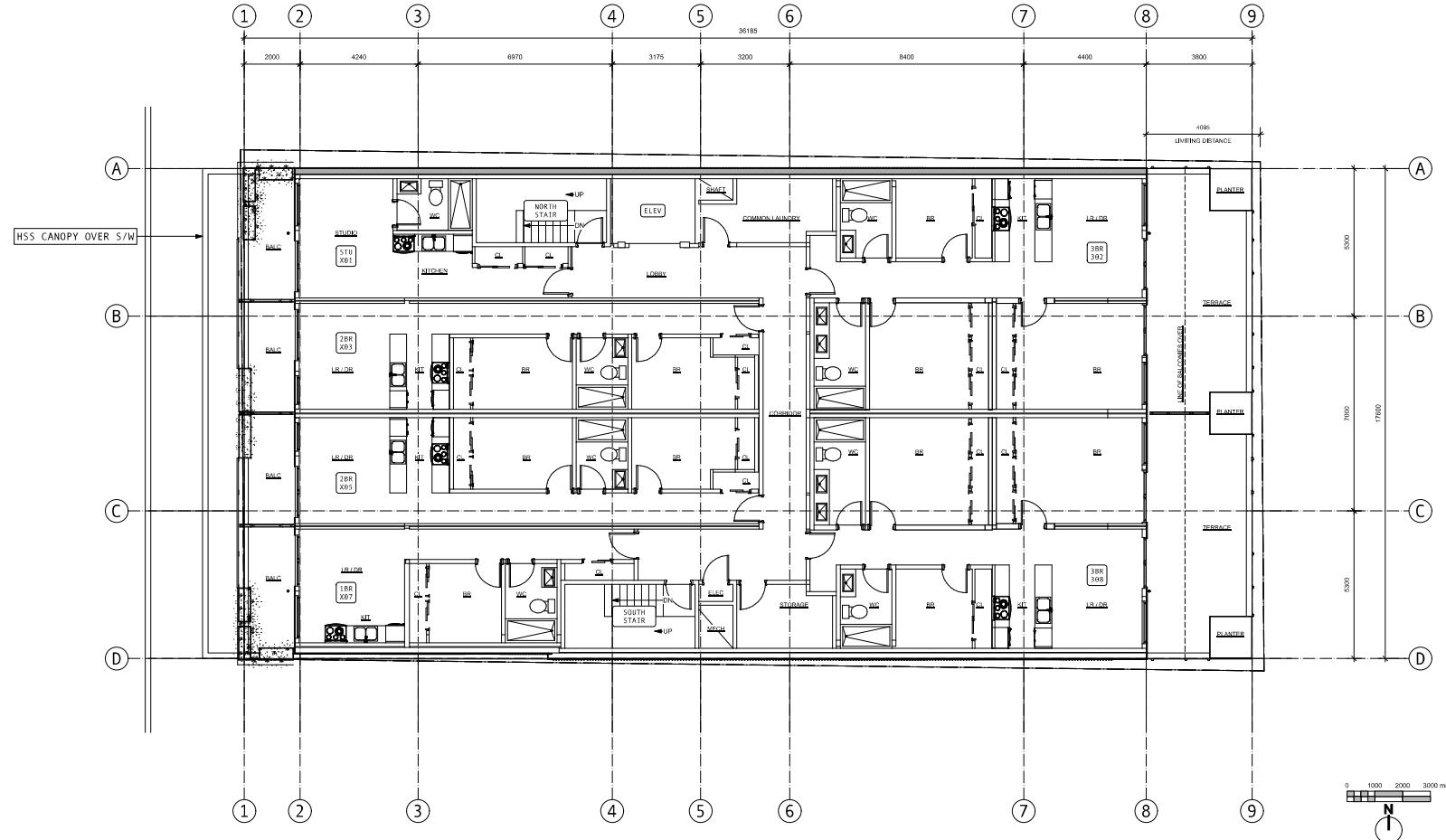
235 Russell Street

Victoria BC

L2 PLAN

dHKa A202

dHKa architects
 Victoria
 8777 Dallas Street VBV 3K3
 Nanaimo
 102-2190 Dublin Hwy V9T 2K8
 T 250-595-6810
 F 250-595-6811
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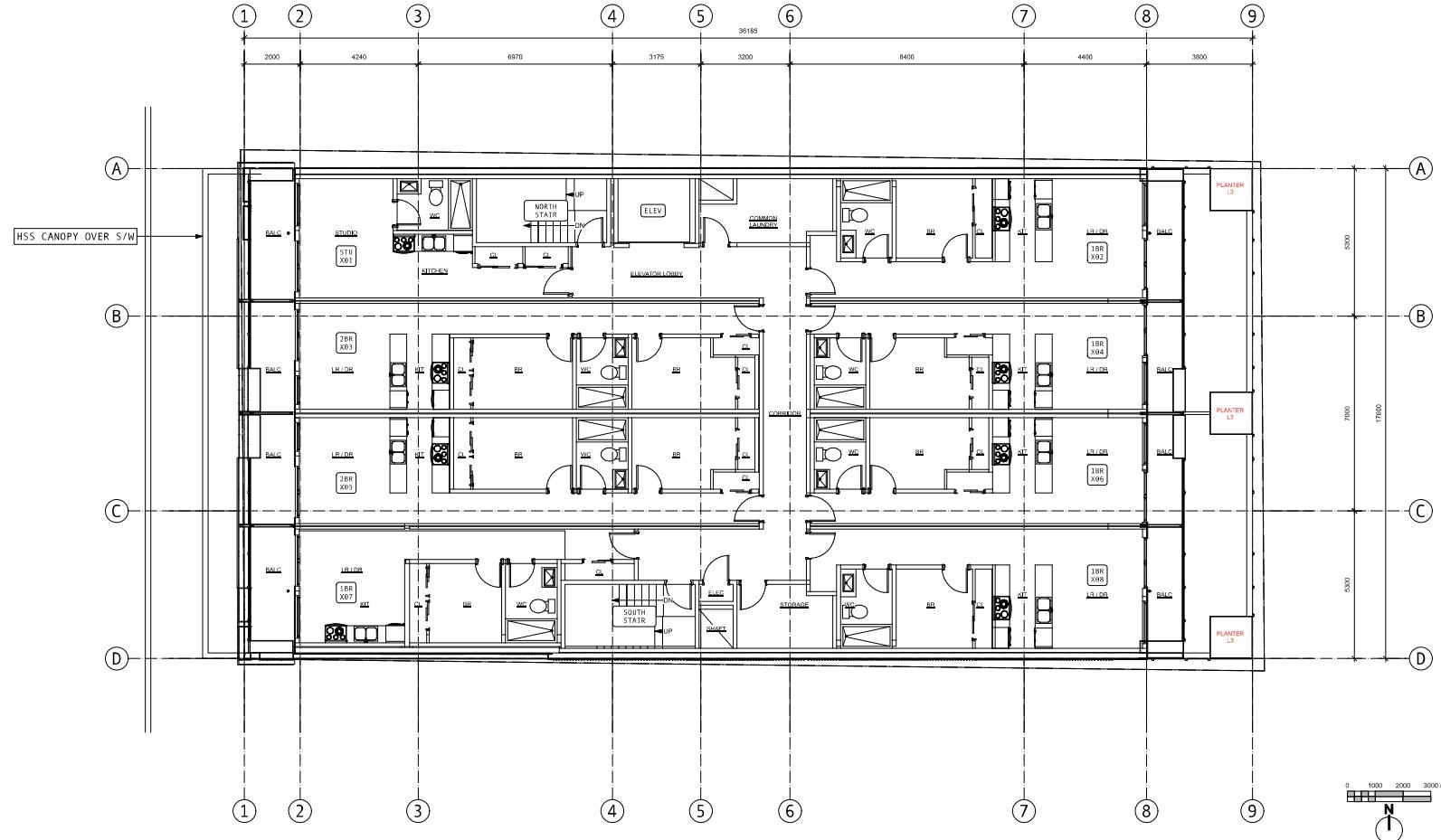
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 ISSUED 28-10-21 RZDP RESUB 04
 ISSUED 28-9-21 RZDP RESUB 03
 ISSUED 28-9-13 RZDP RESUB 02
 ISSUED 24-9-11 RZDP RESUBMISSION
 ISSUED 24-9-25 RZDP SUBMISSION

Per Date Description
 Issued 28-8-19 Drawing M GRK Issued 28-9-21 GRK
 Issuing 173 project number
 NOTE: All dimensions are shown in mm. Room dimensions are inside door in G.W.

Russell MX
 235 Russell Street
 Victoria BC
 L3 PLAN

dHKa A203

dHKa Architects
 Victoria
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ISSUED 28-01-19 RZCDP RESUB 06
 ISSUED 28-01-21 RZCDP RESUB 04
 ISSUED 28-07-21 RZCDP RESUB 03
 ISSUED 28-08-13 RZCDP RESUB 02
 ISSUED 24-09-11 RZCDP RESUBMISSION
 ISSUED 24-09-25 RZCDP SUBMISSION

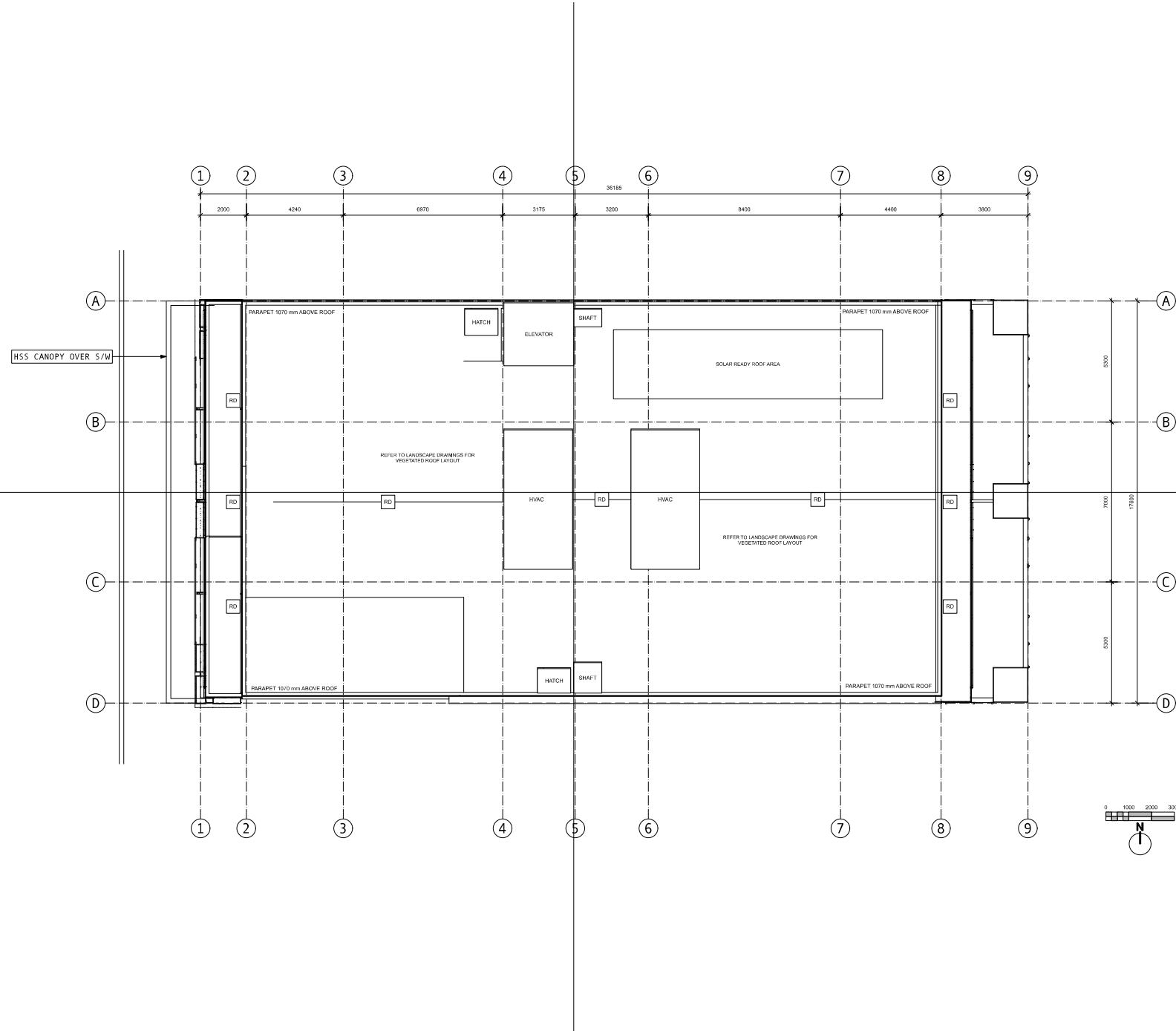
Per Date Description
 Issued 28-01-19 Drawing M GRK Issued 28-01-21 Drawing M GRK
 Issued 28-07-21 Drawing N GRK Issued 28-08-13 Drawing N GRK
 Issued 24-09-11 Drawing O GRK Issued 24-09-25 Drawing O GRK

NOTE: All dimensions are shown in m. Room dimensions are inside the room. Russell MX

Russell MX
 235 Russell Street
 Victoria BC
L4-6 PLAN

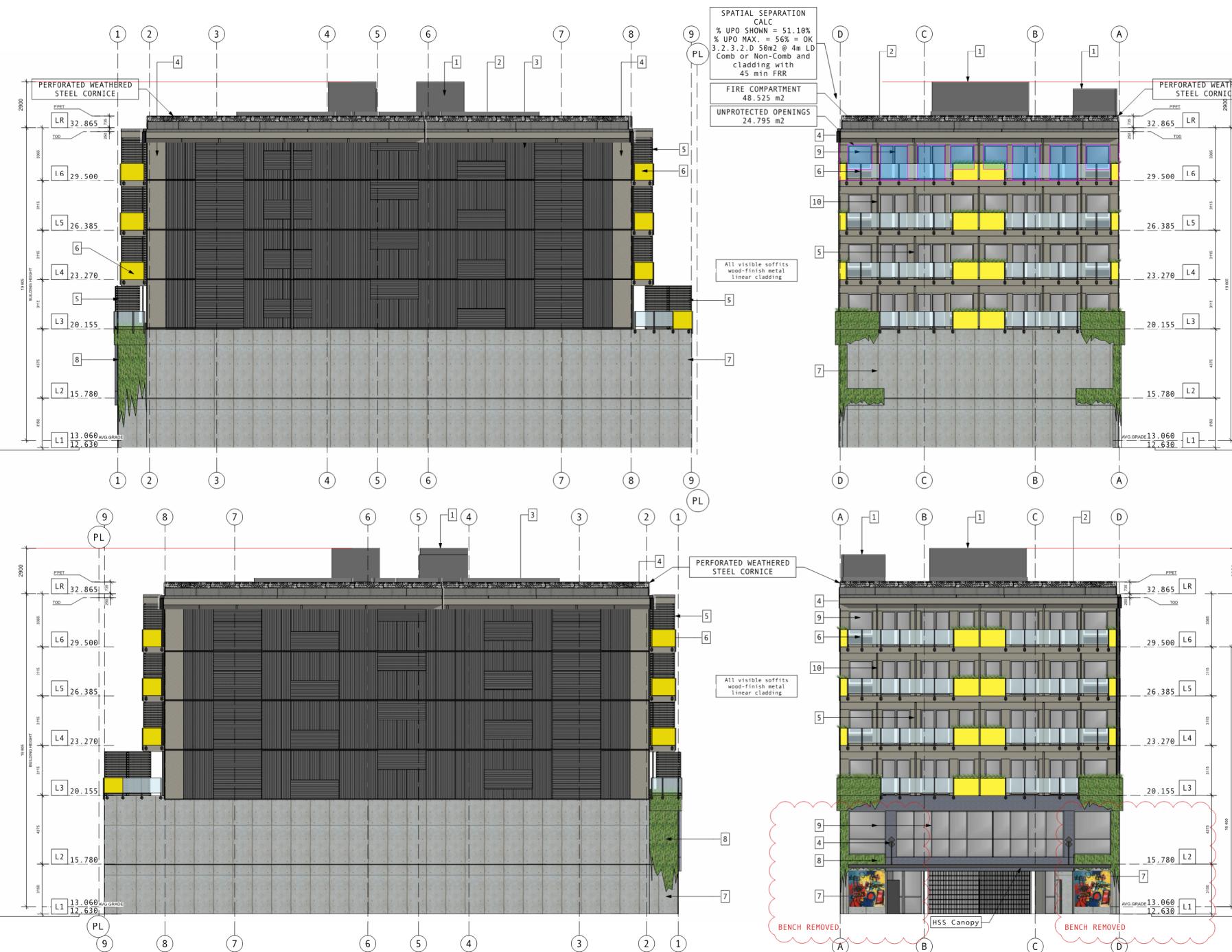
A204

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www.dhka.ca
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ISSUED	26-01-19	RZ+DP RESUB 06
ISSUED	25-10-30	RZ+DP RESUB 05
ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-08-07	CALUC MTG

ISSUED	24-06-25	RZDP SUBMISSION
Rev	Date	Description
plot date	26-01-19	cleaning the
drawn by	CRK	checked by
scale	1:100	page number
		2017

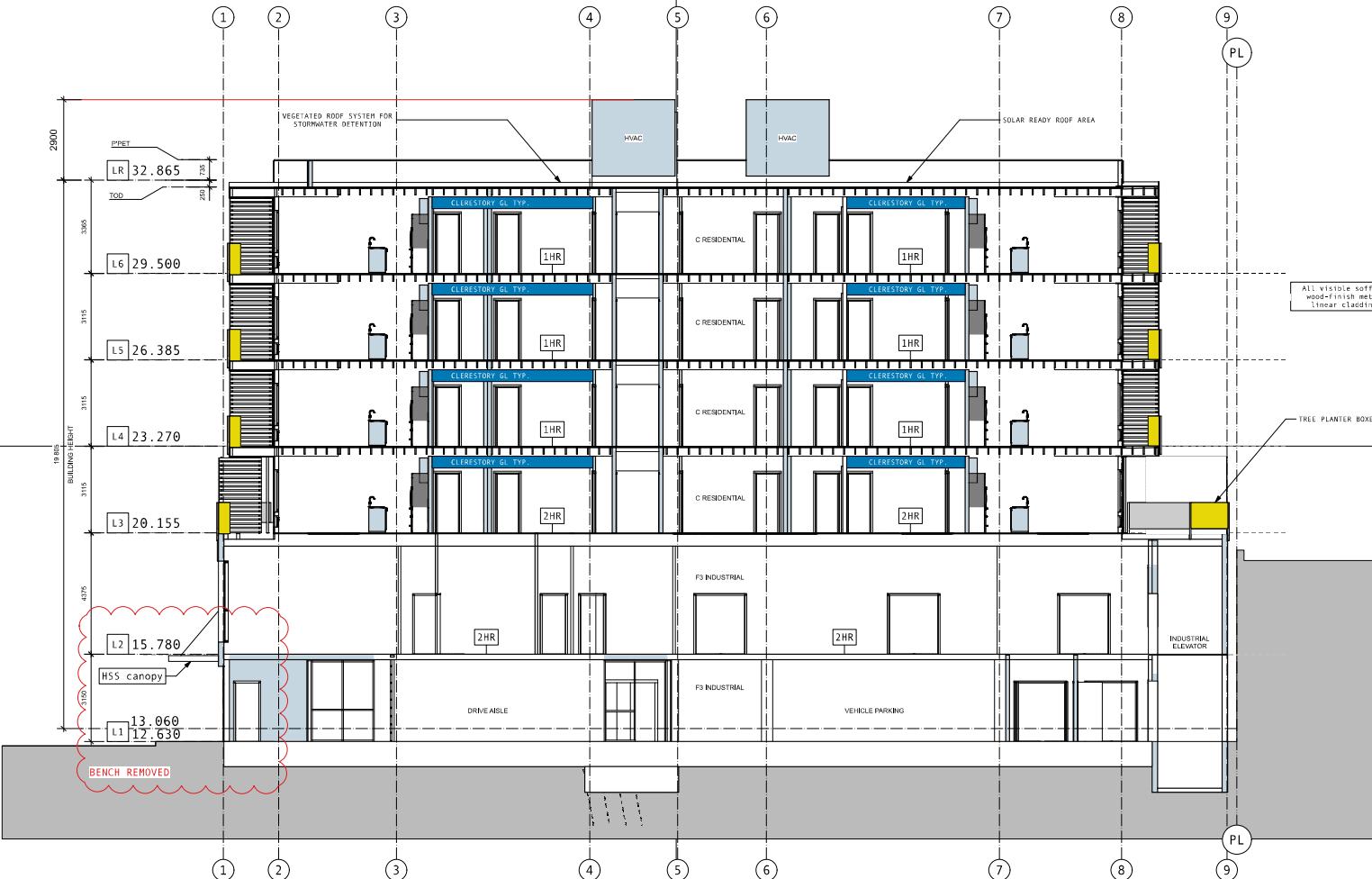
Russell MX

235 Russell Street
Victoria BC

Elevations

A301

dhKarchitects
Victoria
977 Front Street V8V 3K3 **T 1-250-658-3367**
Nanaimo
103-5140 Dublin Way **V9T 2K8** **T 1-250-585-5910**
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 ISSUED 25-10-21 RZ-OP-RESUB 05
 ISSUED 25-07-21 RZ-OP-RESUB 04
 ISSUED 24-09-07 CALUC MTG

Rev. 0 Date 26-01-19 Drawing #

Checklist # 110 Project Number 06

1-100 Project Number 2017

NOTE: All dimensions are shown in feet. Room dimensions are inside dimensions.

Russell MX

235 Russell Street
 Victoria BC

Street View

dHKa A500

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4★ SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING

Project name: _____

Issue / revisions: _____

05	REVISED & RE-ISSUED FOR DP	10/23/2025
05	REVISED	07/14/2025
04	REVISED	07/05/2025
03	REVISED	07/05/2025
02	REVISED	03/04/2025
01	ISSUED FOR REVIEW	02/25/2025
No	Issued / Revisions	Date

Sheet: _____

Project title: 235 RUSSELL STREET

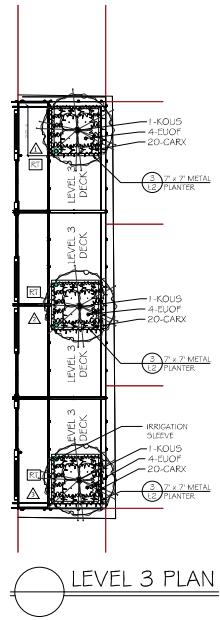
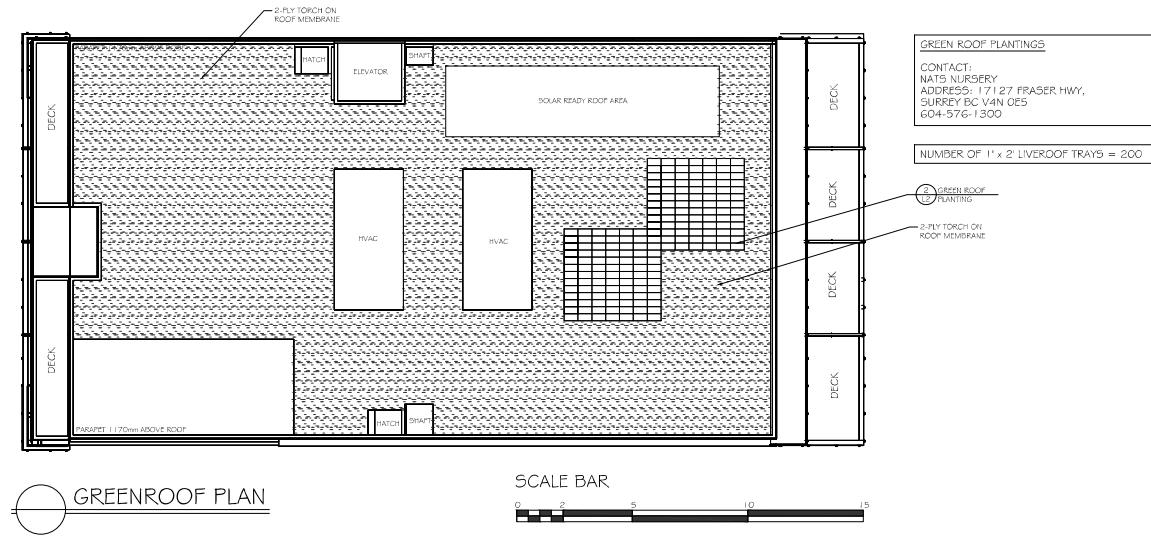
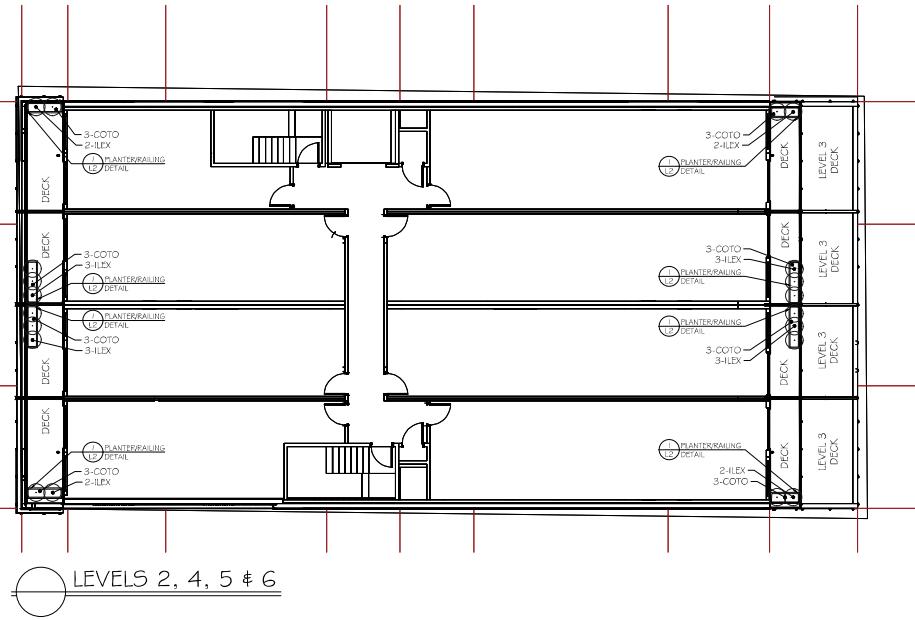
Drawing title: LANDSCAPE CONCEPT & DETAIL PLANS

Project no.: 1

Date: 23 OCT 2025 Scale: 1:100

checked by: FORTH drawn by: BF, RF

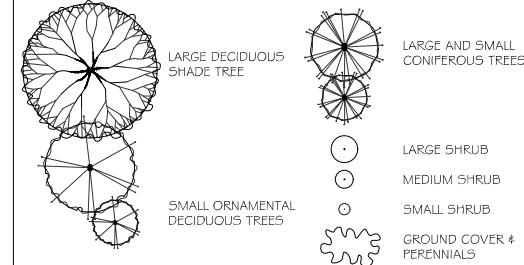
Sheet no.: L1.00



KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
SMALL	ILEX	20	80	False Holly	Ilex crenata convexa
SHRUBS					#1 Pot
GROUND COVERS	COTO	24	96	Trailing Cotoncaster	Cotoncaster dammen

KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
TREES	KOUS	3	Satomi Dogwood	Kousa satomi	6cm Cal.
SMALL	EUOF	30	Creeping Euonymus	Euonymus fortunei var. 'Emerald & Gold'	#1 Pot
SHRUBS					
GROUND COVERS	CARX	96	Variegated Sedge	Carex morrowii var. 'Aureovariegata'	SFS

SOFTSCAPE LEGEND



SOIL VOLUME REQUIREMENTS*

ROW #	TREE SIZE	MIN. SOIL VOLUME (m³)	SHARED OR IRRIGATED SOIL VOLUME (m³)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

Planting Area ID	Area (m²)	Soil Volume Multiplier	A	Denotes Replacement Tree				Replacement Trees Proposed				Soil Volume Required (m³)			
				B	# Small	C	D	B	# Small	C	D	B	# Large	Total**	
ONSITE															
▲	6.94	1.0M	6.94		1		6							6.0	
▲	6.94	1.0M	6.94		1		6							6.0	
▲	6.94	1.0M	6.94		1		6							6.0	

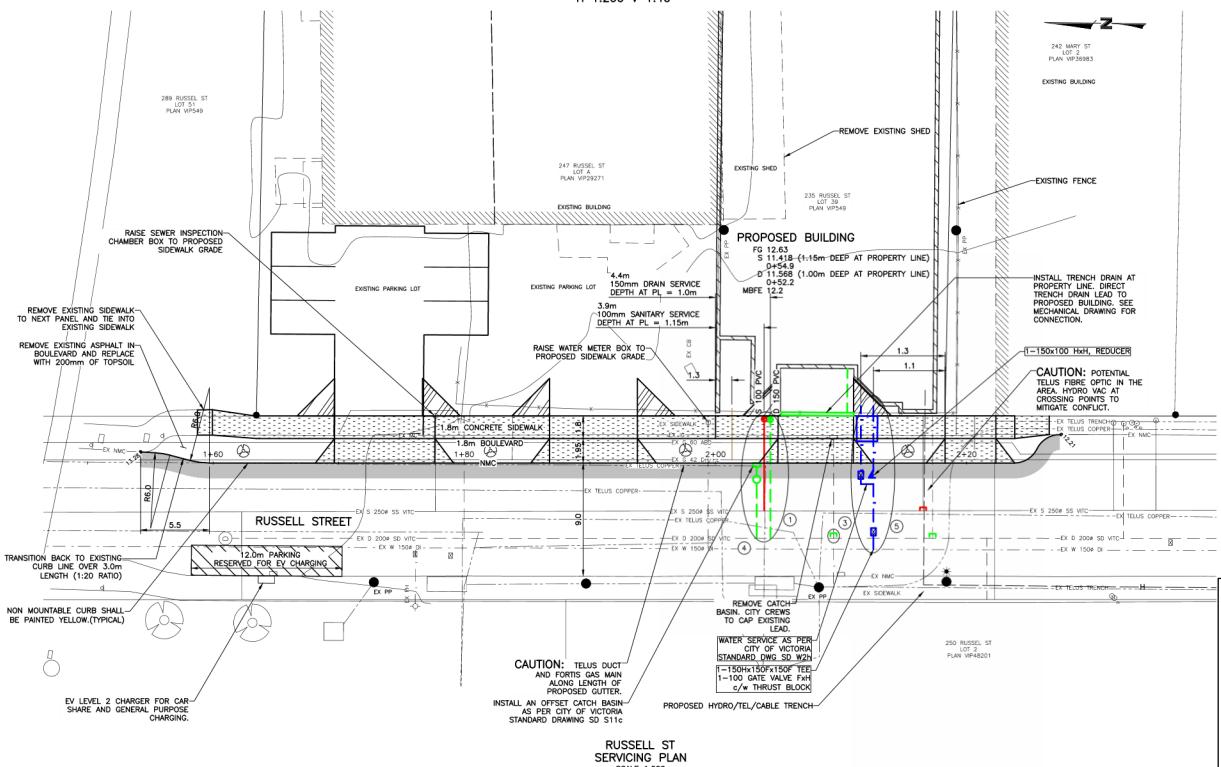
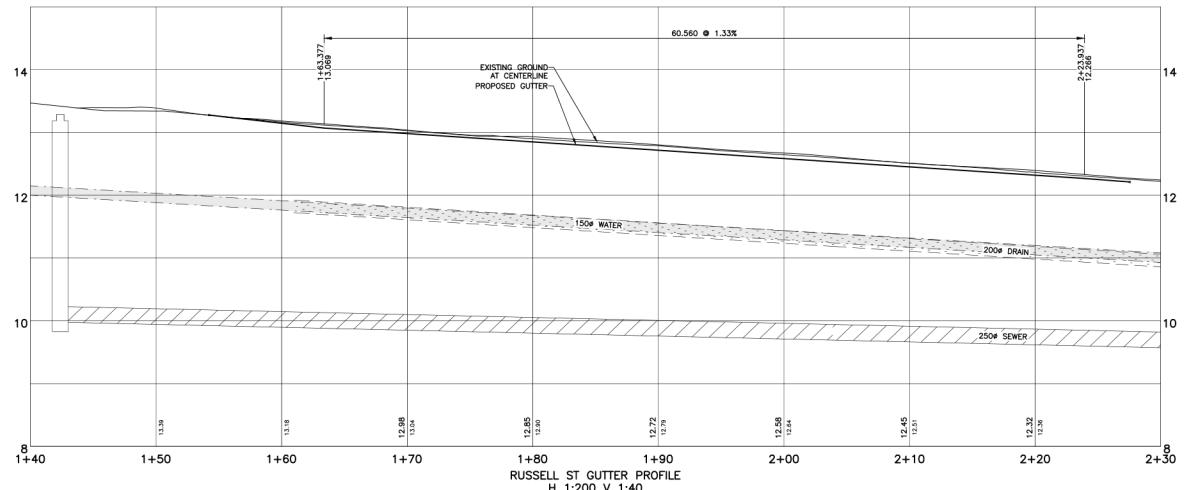
Notes:
 (1) All soil volume calculations are for replacement trees only
 (2) All replacement trees are ON SITE
 (3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
 (4) All replacement trees meet soil volume requirements for this project.

IRRIGATION SLEEVE
NOTE: ALL PLANTERS W/ TREES TO BE IRRIGATED

TREE REPLACEMENT PLAN:

- 3 REPLACEMENT TREES REQUIRED ON SITE
- 3 (2:1) REPLACEMENT TREES TOTAL SHOWN IN ROOF TOP PLANTERS, THIS COUNTS AS 1.5 REPLACEMENT TREES PROVIDED, CASH-IN-LIEU REQUIRED FOR 1.5 TREES.
- EACH PLANTER HAS A SOIL VOLUME OF OVER $6m^3$
- PLANTER SIZE (DECK 3 EAST): 2.13m (L) x 2.13m (W) x 1.52m (D)
- REPLACEMENT TREES FOR EACH PLANTER CHOSEN FROM THE CITY OF VICTORIA TREE REPLACEMENT REQUIREMENTS, SCHEDULE E, SECTION C, PART 2 FOR 2:1 REPLACEMENT TREES.

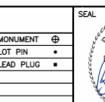
L1.00



THE LOCATION AND ELEVATION OF
EXISTING UNDERGROUND SERVICES ON
THIS DRAWING MAY NOT BE ACCURATE
OR COMPLETE. THE ACTUAL HORIZONTAL
AND VERTICAL LOCATIONS MUST BE
CONFIRMED BY UTILITY COMPANIES AND
THE CONTRACTOR PRIOR TO THE
START OF ANY EXCAVATIONS

LEGEND

WATER	— W —	GAS	— G —	EXISTING U/G UTL.
SEWER	— S —	CURB	— C —	PROPOSED U/G UTL.
DRAIN	— D —	SIDEWALK	— SW —	LIGHT STANDARD \bowtie
DITCH	— D —	EDGE PAVE.	— E —	POWER POLE \circ
CULVERT	— C —	BUSHLINE	— B —	ANCHOR \rightarrow
HEADWALL	— H —	TRIFSE	— T —	



REVIS

The image shows a professional engineering license from the Province of British Columbia. The seal is circular with the text 'PROFESSIONAL ENGINEERS OF BRITISH COLUMBIA' around the perimeter and 'REISTER' at the bottom. Inside the seal, the name 'S. W. CHATSHAW' and the number '31491' are visible. To the right of the seal is a registration card with the following information:

10	REVISE GU
9	REVISE BU
8	REISSUED
7	REVISED V
6	REVISED V

At the bottom of the card, it says 'No'.

2925-97-11

GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, ULTIMATE EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
- CONSTRUCTION AND MATERIALS MUST MEET THE REQUIREMENTS OF THE CODES THAT APPLY.
- OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL HIGHWAY OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
- CONTACT BC HYDRO, THE TELUS, SHAW CABLE AND FORBES GAS TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
- EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION. VERIFY SUCH SERVICES. ENSEUR ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
- BED ALL PIPE USING CLASS "B" BEDDING.
- DO NOT EXCAVATE DEEPER THAN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY. USE PIT RUN GRAVEL BACKFILL ON THE TOP 1.0m OF THE EDGE OF THE ROAD OR DRIVEWAY. USE PIT PARKING OR DRIVEWAY SUBGRADE.
- DO NOT USE ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
- AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER CONDITION.
- MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG RUE STREETER DURING CONSTRUCTION.
- MAINTAIN TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
- ADJUST ALL PROPOSED AND EXISTING SERVICES ACCORDING TO THE FINAL DESIGN GRADES.
- DO NOT CONNECT ANY EXISTING SERVICES TO NEW CONSTRUCTION UNTIL CONSTRUCTION IS COMPLETE AND CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA INSPECTORS.
- CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.

SEWER AND DRA

- SEWER AND DRAIN SERVICES CONNECTIONS TO BE 100% PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO 150MM PVC DR28 UNLESS OTHERWISE SPECIFIED IN THE PLANS. CATCH BASIN LEADS TO 150MM PVC DR28 UNLESS OTHERWISE SPECIFIED IN THE PLANS.
- SEWER AND DRAIN PIPE UP TO AND INCLUDING 150MM DIA MUST BE PVC DR28 AND DR35 FOR 200MM DIA AND OVER. PVC TO BE C.S.A. APPROVED PVC.
- ALL SEWER AND DRAIN CONNECTIONS TO BE 100% PVC DR28 AND DR35. CATCH BASIN CONNECTIONS C/W INSPECTION CHAMBERS TO THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SEWER AND DRAIN SERVICES AT THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SEWER AND DRAIN SERVICES AT THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
- CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECONNECT THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THAT AS CONSTRUCTED DRAINS.
- VIDEO INSPECTION ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
- THE CITY OF VICTORIA FORCES SHALL CAP THE EXISTING CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
- THE CITY OF VICTORIA FORCES SHALL SUPPORT AND INSTALL A 150mm CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.

WATER

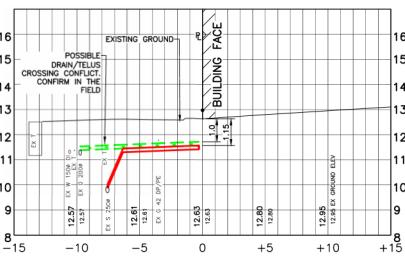
5) THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL 50mm DOMESTIC WATER c/w METER AND 100mm FIRE CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE AS PER CITY STANDARD #SDW2h.
• ENSURE A MINIMUM 300mm HORIZONTAL CLEARANCE AND A 150mm VERTICAL CLEARANCE FROM TELUS DUCTS AND GAS MAIN.

ROAD

- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
- CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
- DRIVEWAY CROSSING AS PER CITY STANDARD SDCT7.

HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS

- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO PROPOSED BUILDING TO BE SERVED UNDERGROUND.
- HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
- CONSISTENT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISON AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
- IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL. FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.



SEWER SERVICE CROSS SECTION
SCALE H 1:200 V 1:100



LOCATION PLAN
N.T.S.

LEGEND

APPROXIMATE EXTENT OF ASPHALT
PAVING FOR CURB REPLACEMENT

100mm THICK CONCRETE SIDEWALK
200mm THICK AT DRIVEWAY CROSSING

PROPOSED ELEVATION

PROPOSED GUTTER ELEVATION

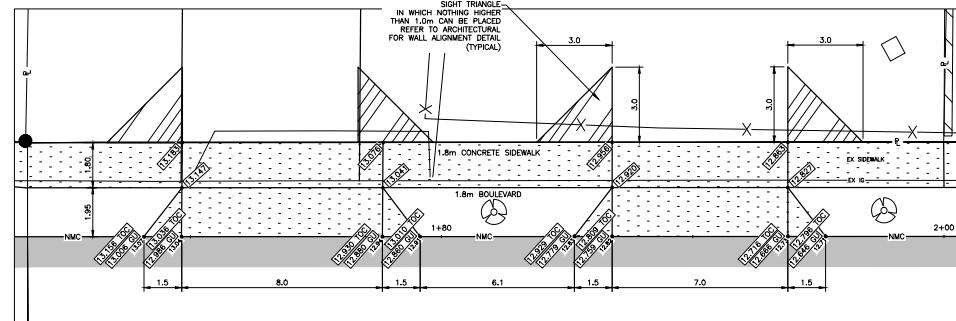
PROPOSED TOP OF CURB
ELEVATION

EXISTING GUTTER ELEVATION

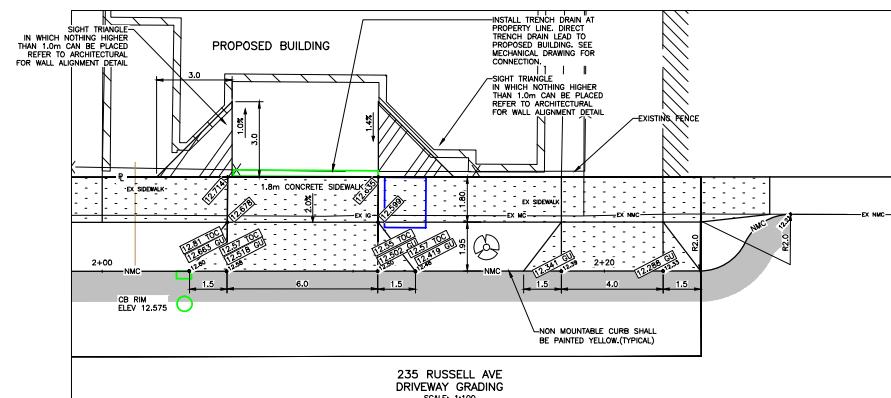
PROPOSED TREE

WORKS AND SERVICES CHECK TABLE			
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
HYDRO ELECTRIC CO.	Mike Dunham - BC Hydro		Oct 19, 2018
TELEPHONE CO.	Wei Feng		Nov 14, 2018
GAS CO.	Patricia		Nov 15, 2018
CABLE CO.	Arnold May		
FIBER OPTIC CO.			
UNDERGROUND UTILITIES			
HAZARDOUS WASTE DESIGN & INFRASTRUCTURE			
LAND DEVELOPMENT			
MANUFACTURAL			

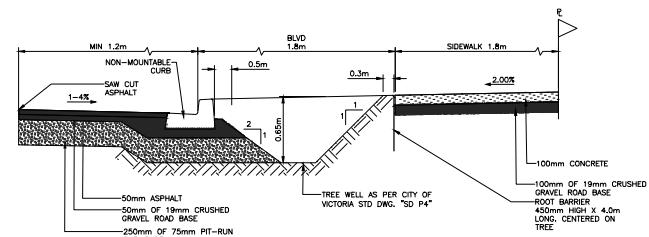
1:200		4	12mm	
WESTBROOK PROJECT No. 3340				
GOVERNING AUTHORITY FILE No.				
SHEET 1 OF 1 REV. 10				
WESTBROOK DRAWING No. 334001				
PROJECT 235 RUSSELL STREET SAKURA PROJECT MANAGEMENT				
SITE SERVICING PLAN				
Victoria, BC V8B 0J3 Fax: 250-391-8693				



247 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



235 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



RUSSELL ST
TYPICAL ROAD SECTION

LEGEND

APPROXIMATE EXTENT OF ASPHALT
PAVING FOR CURB REPLACEMENT

100mm THICK CONCRETE SIDEWALK
200mm THICK AT DRIVEWAY CROSSINGS

•XX:XX PROPOSED ELEVATION

•XX:XX GU PROPOSED GUTTER ELEVATION

•XX:XX TOC PROPOSED TOP OF CURB ELEVATION

•XXXX EXISTING GUTTER ELEVATION

PROPOSED TREE

LOCATION AND ELEVATION OF
UNDERGROUND SERVICES ON
THIS DRAWING MAY NOT BE ACCURATE.
ACTUAL HORIZONTAL
AND VERTICAL LOCATIONS MUST BE
CONFIRMED BY UTILITY COMPANIES AND
CONTRACTOR PRIOR TO THE
START OF ANY EXCAVATIONS.

WATER	— W —	GAS	— G —	EXISTING U/G UTIL.	—	—
SEWER	— S —	CURB	— C —	PROPOSED U/G UTIL.	—	—
DRAIN	— D —	SIDEWALK	— S/H —	LIGHT STANDARD	NO	—
DITCH	→ → →	EDGE PAVE.	—	POWER POLE	○	—
CULVERT	— X —	BUSHLINE	— W —	ANCHOR	—	—
HEADWALL	— C —	TREE	— X —			

NUMBER
PIN
AD PL

REVISIONS				DESIGNED
No.	DESCRIPTION	DATE	SIGN	DRAWN
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25/07/07	PC	CHECKED
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN	24/05/03	PC	DATE
8	REFURBED FOR BUILDING PERMIT	24/02/26	PC	B.M.
7	REVISED WATER SERVICE	23/04/03	PC	ELEV.
6	REVISED WATER SERVICE LOCATION	23/03/25	PC	SCALE Horz.
				Vert.

PROJECT
247 RUSSELL STREET
SAKURA PROJECT MANAGEMENT
OFFSITE SIDEWALK PLAN

WESTBROOK PROJECT No.		
3340		
GOVERNING AUTHORITY FILE N		
SHEET	OF	REV.
2	2	1
WESTBROOK DRAWING No.		
3340-02		