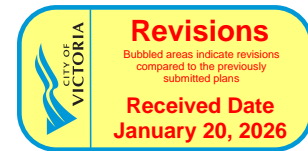


235 RUSSELL STREET MIXED USE



26-01-19 RZ+DP RESUBMISSION 06



BC LAND SURVEYORS SITE PLAN OF:

Civic: 247 Russell Street

Legal Lot A, Section 31,

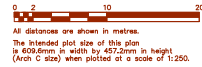
Esquimalt District, Plan 29271

AND

Lot 39, Section 31,

Esquimalt District, Plan 549

Parcel Identifier (Lot A) : 001-422-294 in the City of Victoria
Parcel Identifier (Lot 39): 003-391-426 in the City of Victoria



LEGEND

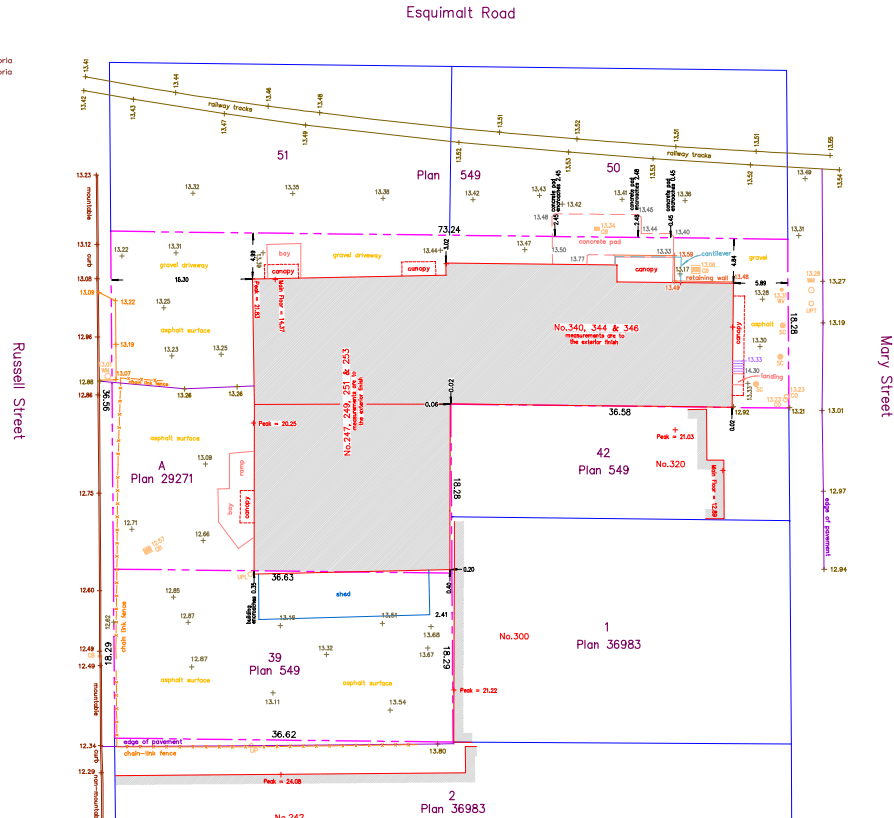
Elevations are to geodetic datum.

- + denotes - existing elevation
- denotes - Catch Basin
- denotes - Clean Out
- denotes - Utility Pole with Transformer
- denotes - Water Valve
- denotes - Water Meter
- denotes - Service Cover

Lot A Area = 2008.0 m²
Lot 39 Area = 669.6 m²

October 03, 2018

File : 12.843 - 18
POMELL & ASSOCIATES
B.C. Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-6855



The following non-financial charges are shown on the current title and may affect the property.
Lot A: M76300 - Exceptions and Reservations
Lot A: M76300 - Exceptions and Reservations
Lot 39: M76301 - Under Surface Rights

Selbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.
This document shows the relative location of the surveyed features and shall not be used to define property boundaries.

ISSUED	25-01-19	RZ+CP RESUB 05
ISSUED	25-10-21	RZ+CP RESUB 06
ISSUED	25-07-21	RZ+CP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-08-11	RZDP RESUB RESUB 04
ISSUED	24-06-05	RZDP RESUB RESUB 04

Rev	Date	Description
1st Issue	26/01/19	Drawing file
2nd Issue	CRK	checked by CRK
3rd Issue	1/10/20	project number 20117

NOTES: 1. All dimensions are shown in metres. Boundaries are shown in blue.

Russell MX
235 Russell Street
Victoria BC
Survey Plan



dHKA
Victoria
277 Fort Street V8V 3K3 T 1-250-658-3387
Nanaimo
100-1180 Duane Way V8T 2K8 T 1-250-658-5510
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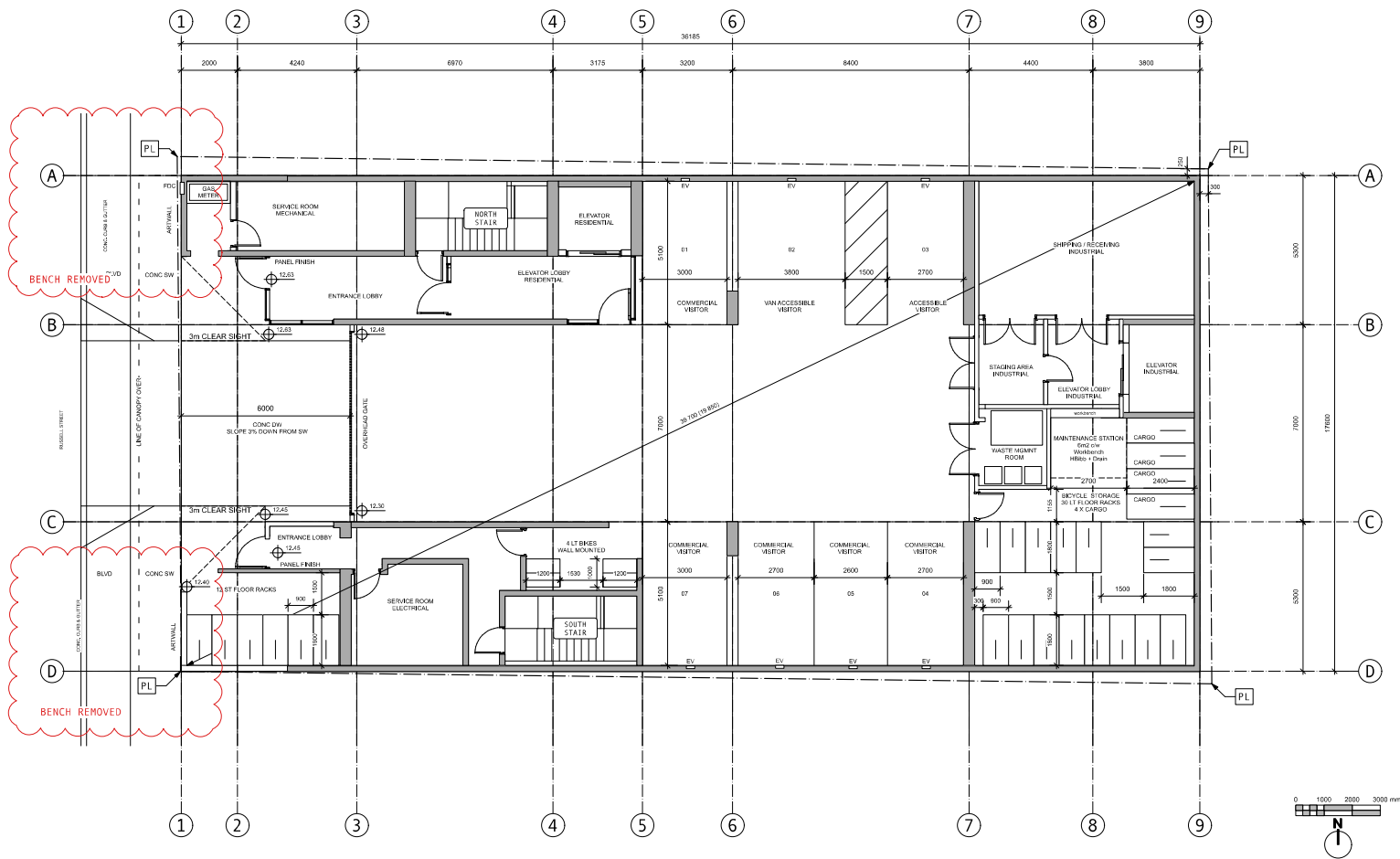


Plan 2 36983

No.242

PROJECT DATA - LEGAL	
LEGAL	LOT 39 SECTION 31 ESQUIMALT DISTRICT PLAN 549
ADDRESS	235 RUSSELL STREET
OWNER	235 RUSSELL HOLDINGS LTD.
ARCHITECT	DIKHAKHITECTS 977 FORT STREET VICTORIA BC V8W 3K3 250-656-3367
CIVIL	WESTBROOK CONSULTING LTD. 115-866 GOLDSTREAM AVENUE VICTORIA BC V9B 0J3 250-391-8592
ISSUED	20-01-19 RZ-CP REHSUB 06
ISSUED	25-10-21 RZ-CP REHSUB 06
ISSUED	25-01-21 RZ-CP REHSUB 06
ISSUED	25-06-21 RZ-CP REHSUB 03
ISSUED	25-10-21 RZ-CP REHSUB 03
ISSUED	24-06-19 RZ-CP SUBMITTALREVISION
ISSUED	24-06-05 RZ-CP SUBMITTALREVISION

Russell MX
235 Russell Street
Victoria BC
Site Plan & Project Data



ISSUED	25-01-19	RZ+CP RESUB 06
ISSUED	25-02-21	RZ+CP RESUB 06
ISSUED	25-07-21	RZ+CP RESUB 04
ISSUED	25-05-13	RZCP RESUB 03
ISSUED	25-03-12	RZCP RESUB 02
ISSUED	24-08-11	RZCP RESUB 01/02/03/04
ISSUED	24-06-05	RZCP SUBMISSION

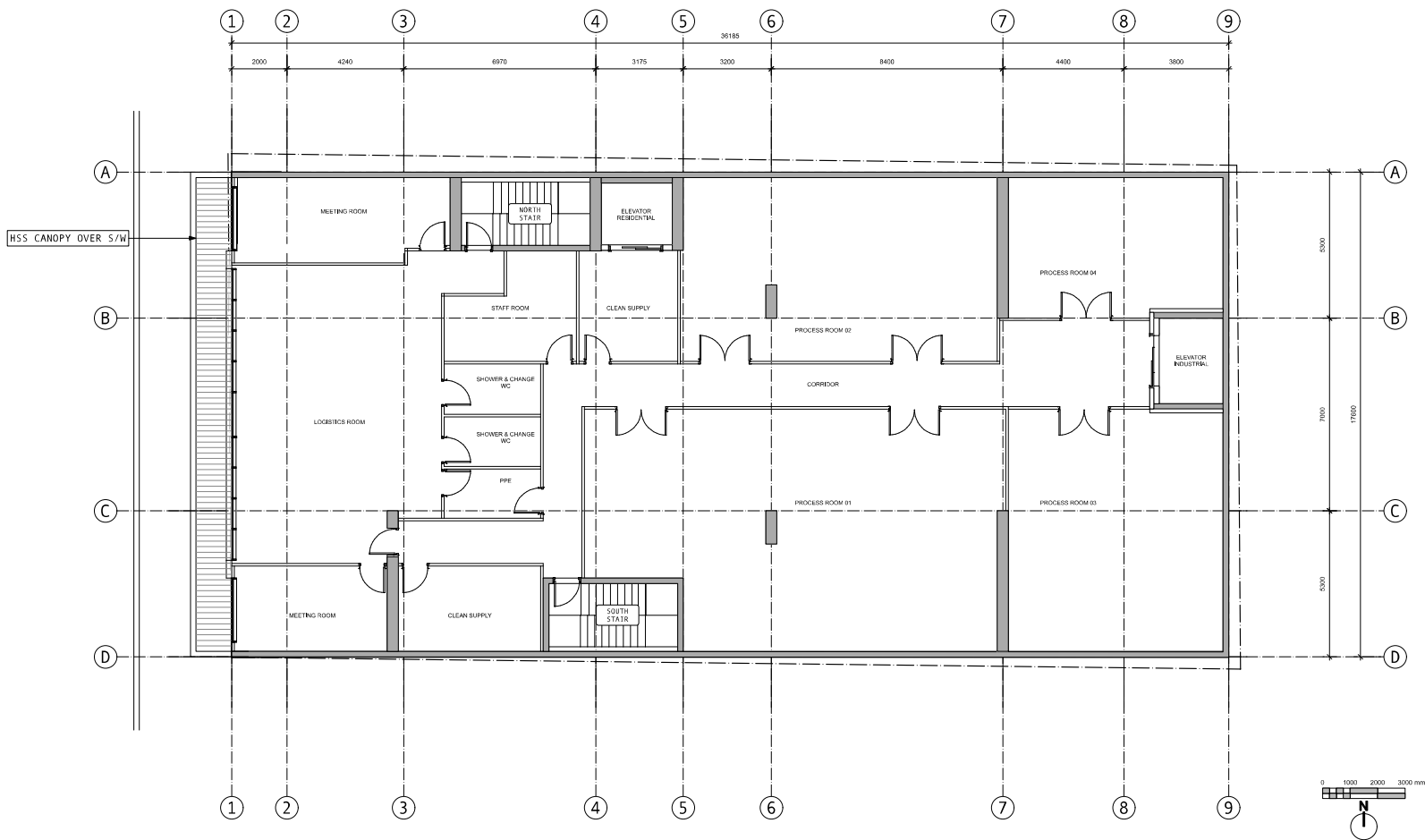
Rev	Date	Description
01	26/01/19	Issued for
02	CRK	Issued by
03	1/100	Project number
04	2017	

NOTES: 1. Dimensions are shown in millimeters. Rooms are shown in blue. Doors are shown in red.

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235 Russell Street
Victoria BC
L1 PLAN



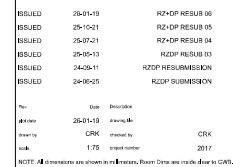
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Nanaimo
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ISSUED	25-02-21	RZ-OP RESUB 05
ISSUED	25-07-21	RZ-OP RESUB 04
ISSUED	25-05-13	RZ-OP RESUB 03
ISSUED	25-03-12	RZ-OP RESUB 02
ISSUED	24-05-11	RZ-OP RESUB 01
ISSUED	24-05-05	RZ-OP RESUB 00

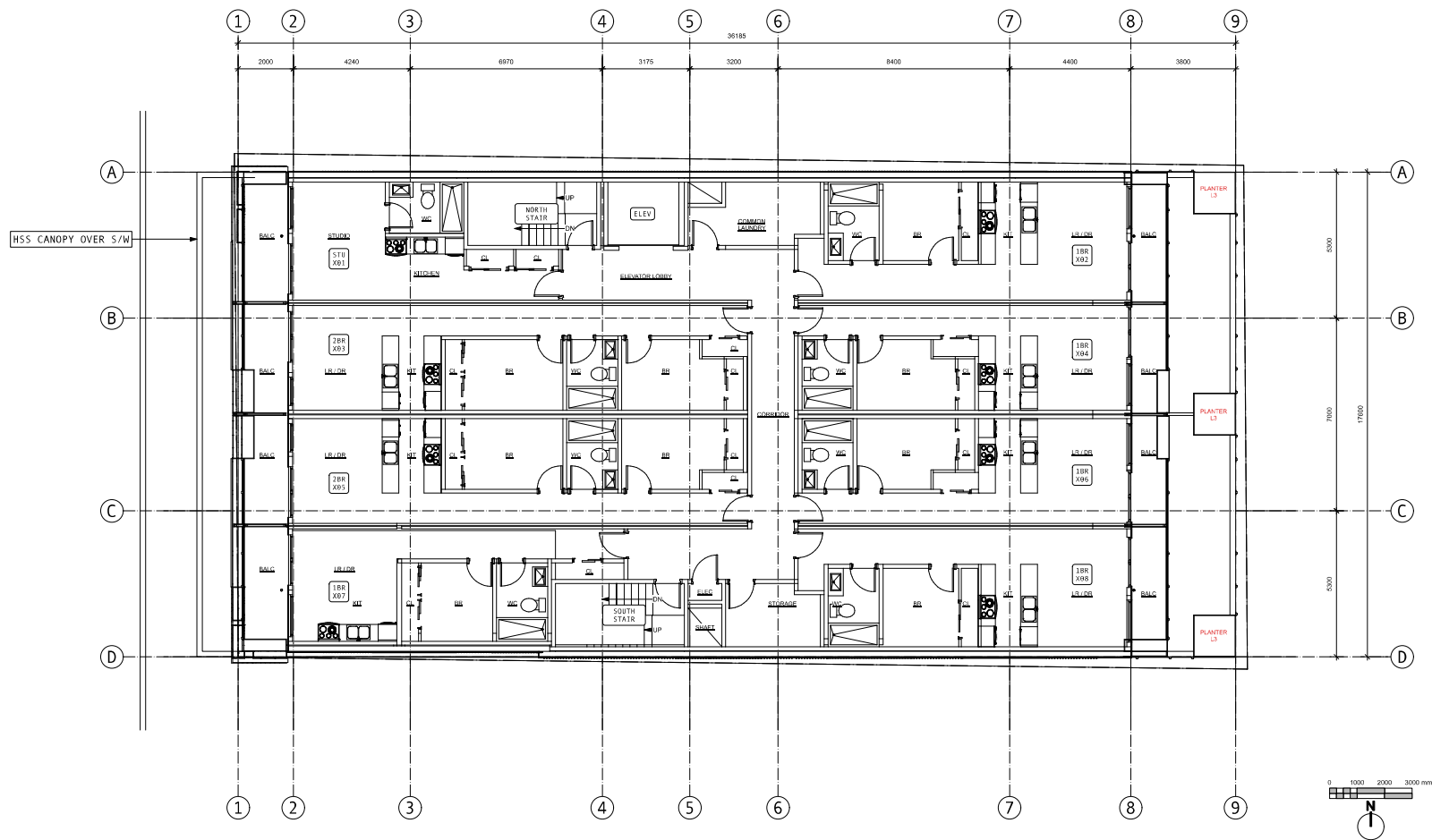
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25-01-19	25-01-19	25-01-19
25-01-19	25-01-19	25-01-19
25-01-19	25-01-19	25-01-19

Russell MX
 235 Russell Street
 Victoria BC
 L2 PLAN



dHKArchitects
Victoria
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Nanaimo
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ISSUED 26-01-19 RZ-OP RESUB 06
 ISSUED 25-10-21 RZ-OP RESUB 05
 ISSUED 25-07-21 RZ-OP RESUB 04
 ISSUED 25-05-13 RZ-OP RESUB 03
 ISSUED 24-05-11 RZ-OP RESUB 02
 ISSUED 24-05-05 RZ-OP RESUB 01

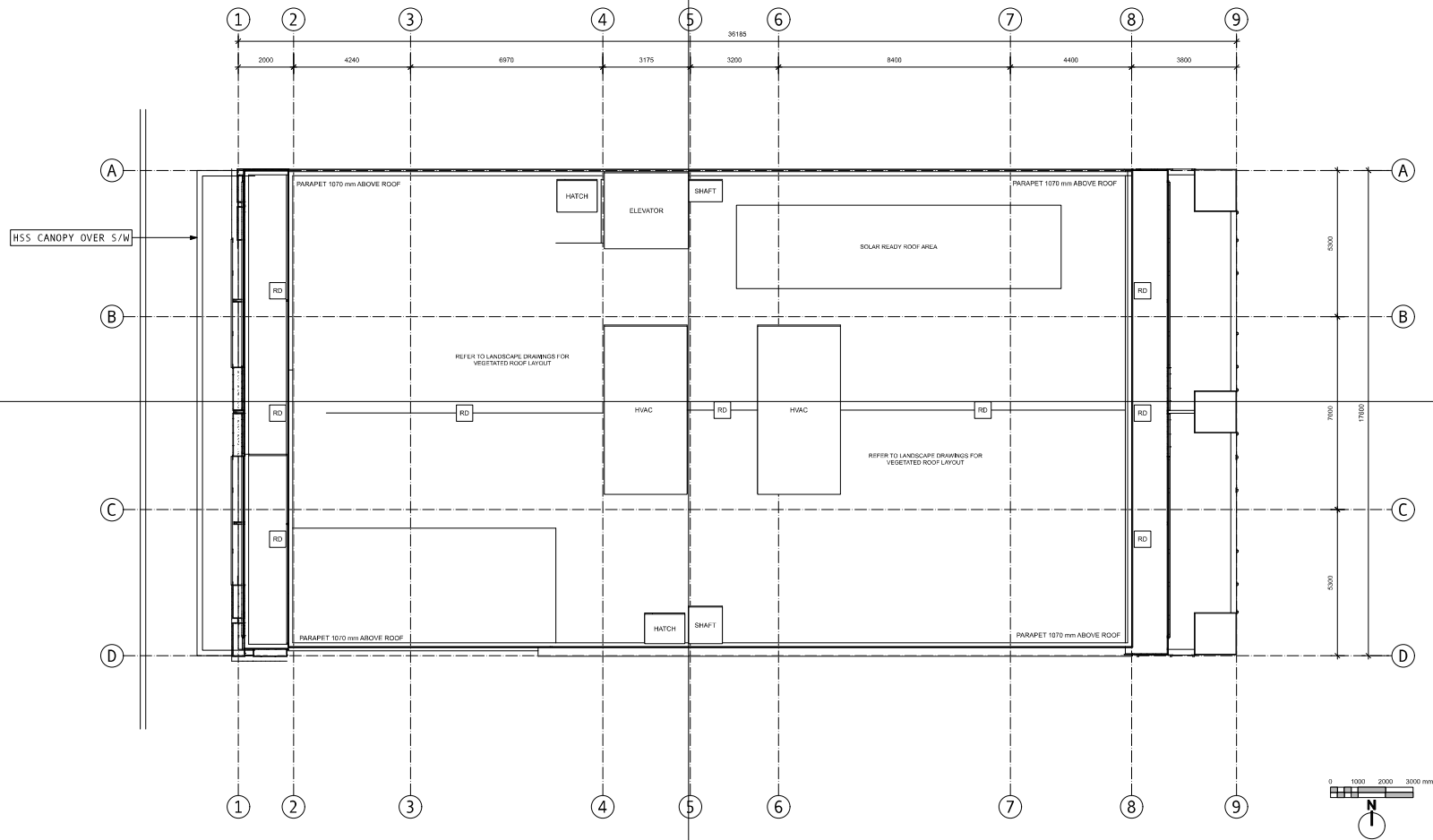
Per: Date: Description:
 #1000 26-01-19 Planning #1:
 #1001 25-10-21 Planning #2:
 #1002 25-07-21 Planning #3:
 #1003 25-05-13 Planning #4:
 #1004 24-05-11 Planning #5:
 #1005 24-05-05 Planning #6:

NOTE: All dimensions are shown in m. Dimensions, Room Names and Trade Allow to GAB.

Russell MX
 235 Russell Street
 Victoria BC
 L4-6 PLAN



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ISSUED	26-01-19	RZ-DP RESUB 05
ISSUED	25-10-21	RZ-DP RESUB 05
ISSUED	25-07-21	RZ-DP RESUB 04
ISSUED	24-05-11	RZ-DP RESUB 03/04
ISSUED	24-05-05	RZ-DP RESUB 02/04

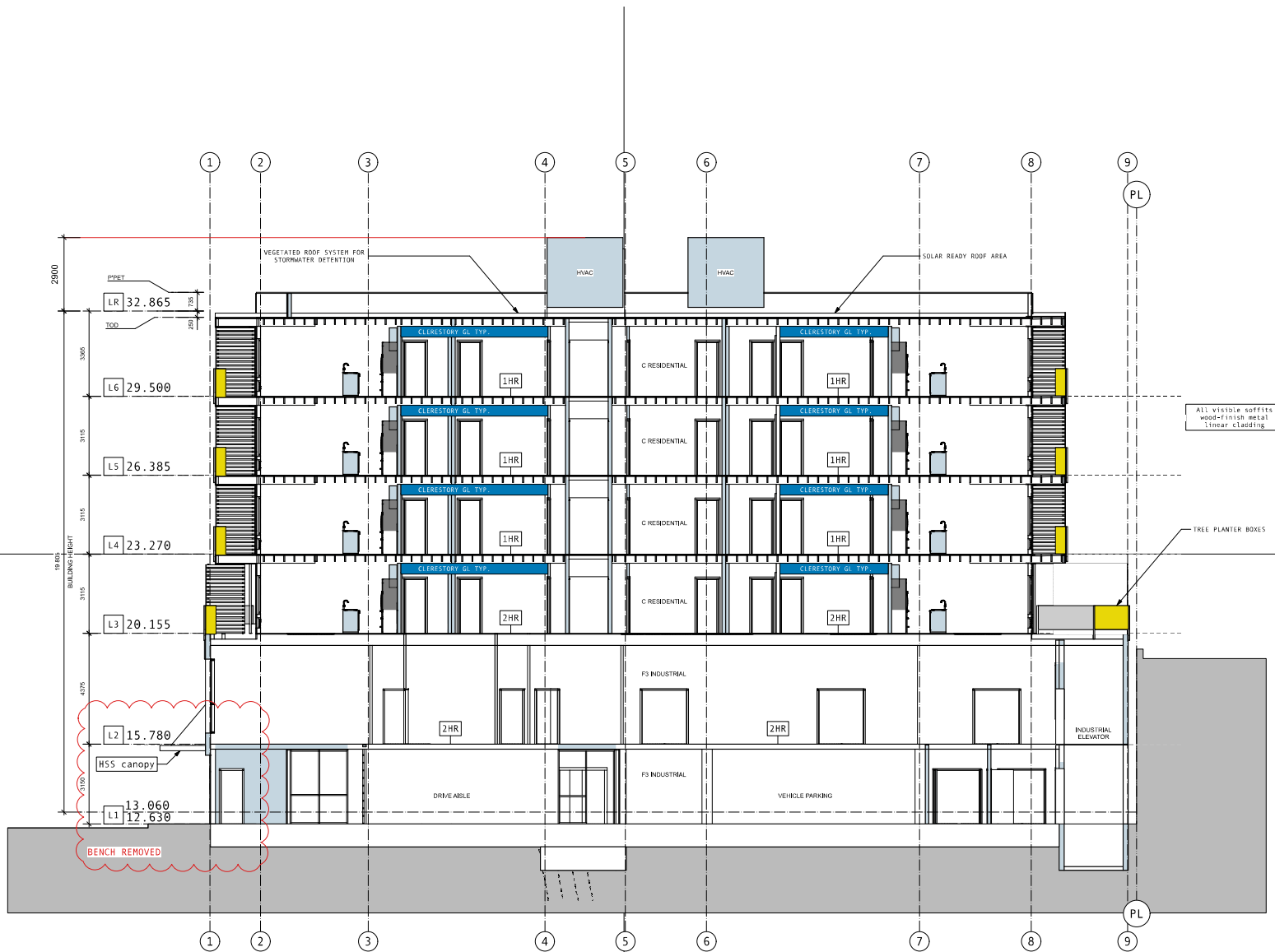
Per:	Date:	Revised:
26-01-19	26-01-19	26-01-19
CRK	CRK	CRK
1:100	1:100	1:100

NOTE: All dimensions are given in m. Dimensions, Room Codes and levels refer to G.A.D.

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LR PLAN



A205
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Nanaimo
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T 1-250-585-5810
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ISSUED	26-01-19	RZ-OP RESUB 06
ISSUED	25-10-20	RZ-OP RESUB 05
ISSUED	25-07-21	RZ-OP RESUB 04
ISSUED	25-09-13	RZ-OP RESUB 03
ISSUED	24-09-11	RZ-OP RESUB 02
ISSUED	24-06-20	RZ-OP SUBMISSION

Russell MX
 235 Russell Street
 Victoria BC
SECTION



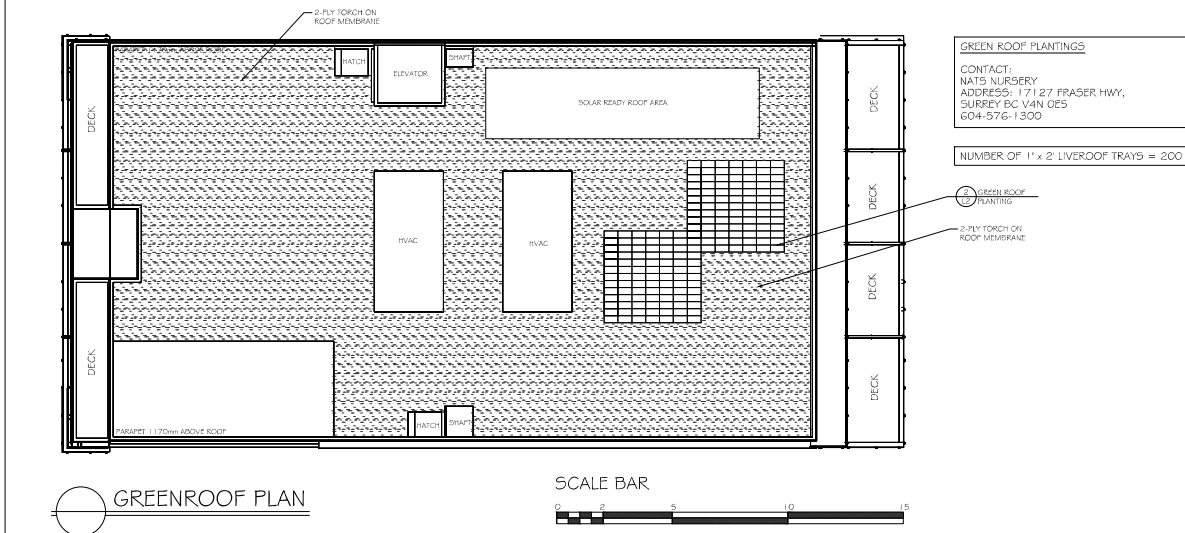
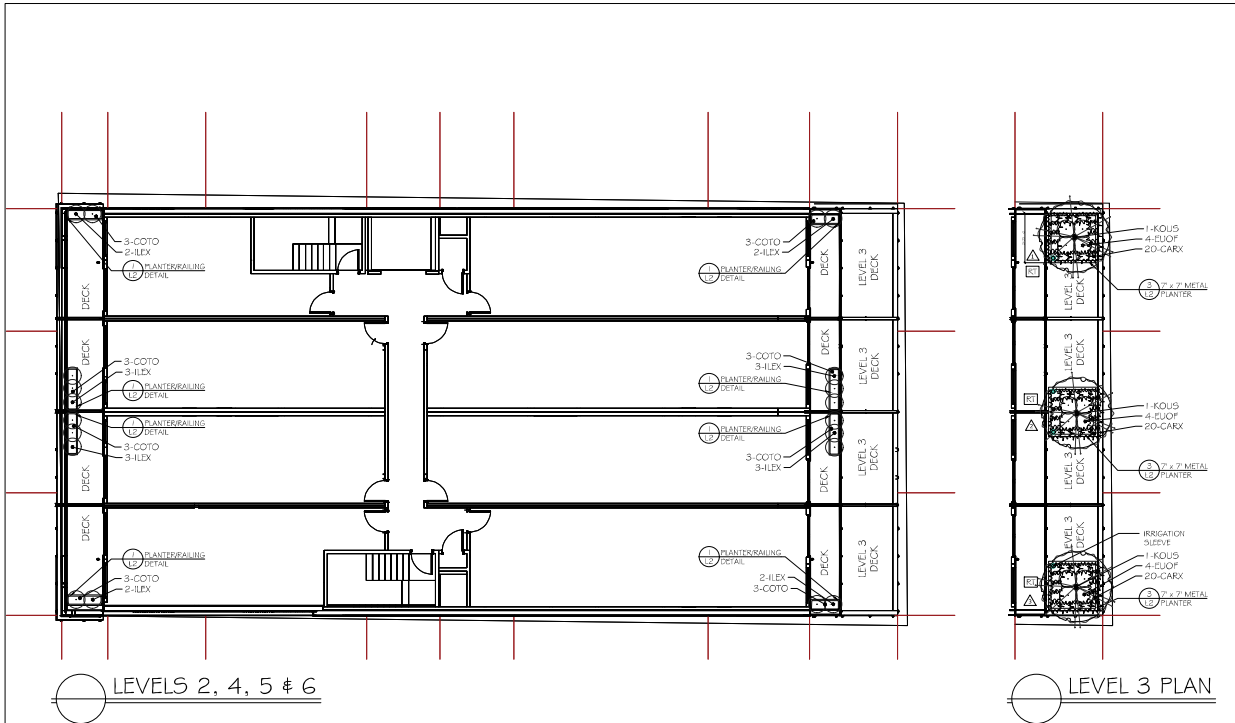
A400

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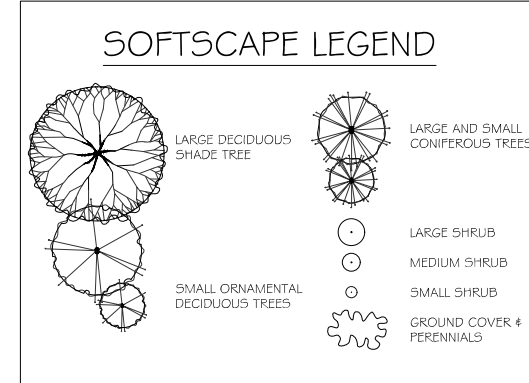
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ISSUED	25-10-21	RZ-CP RESUB 05
ISSUED	25-07-21	RZ-CP RESUB 04
ISSUED	24-09-17	CALUC MTD
Rev.	Date	Description
1	26-01-19	Issued for
2	26-01-19	Issued for
3	26-01-19	Issued for
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98	26-01-19	Issued for
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100	26-01-19	Issued for

Russell MX
235 Russell Street
Victoria BC
Street View



PLANT LIST - LEVELS 2, 4, 5 & 6						
	KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
SMALL SHRUBS	ILEX	20	80	False Holly	<i>Ilex crenata convexa</i>	#1 Pot
GROUND COVERS	COTO	24	96	Trailing Cotoneaster	<i>Cotoneaster dammeri</i>	SP5

PLANT LIST - LEVEL 3 DECK ONLY						
	KEY	QUANTITY	COMMON NAME	BOTANICAL NAME		SIZE
TREES	KOUS	3	Satom Dogwood	<i>Kousa Satomi</i>		6cm Cal.
SMALL SHRUBS	EUOF	30	Creeping Euonymus	<i>Euonymus fortunei var. Emerald & Gold</i>		#1 Pot
GROUND COVERS	CARX	96	Variegated Sedge	<i>Carex morrowii var. Aureovariegata</i>		SP5



SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

RT DENOTES REPLACEMENT TREE		Replacement Trees Proposed			Soil Volume Required (m³)		
Planting Area ID	Area (m²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m³)	B # Small	C # Medium	D # Large	Total**
6.94	1.0M	6.94		1		6	6.0
6.94	1.0M	6.94			1	6	6.0
6.94	1.0M	6.94		1		6	6.0

Notes:

(1) All soil volume calculations are for replacement trees only

(2) All replacement trees are ONSITE

(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table

(4) All replacement trees meet soil volume requirements for this project.

IRRIGATION SLEEVE NOTE: ALL PLANTERS w/ TREES TO BE IRRIGATED

TREE REPLACEMENT PLAN:

- 3 REPLACEMENT TREES REQUIRED ON SITE

- 3 (2:1) REPLACEMENT TREES TOTAL SHOWN IN ROOF TOP PLANTERS. THIS COUNTS AS 1.5 REPLACEMENT TREES PROVIDED. CASH-IN-LIEU REQUIRED FOR 1.5 TREES.

- EACH PLANTER HAS A SOIL VOLUME OF OVER 6m³

- PLANTER SIZE (DECK 3 EAST): 2.13m (L) x 2.13m (W) x 1.52m (D)

- REPLACEMENT TREES FOR EACH PLANTER CHOSEN FROM THE CITY OF VICTORIA TREE REPLACEMENT REQUIREMENTS, SCHEDULE E, SECTION C, PART 2 FOR 2:1 REPLACEMENT TREES.

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NOTES:

1) DO NOT SCALE THE DRAWING. WORK TO REQUIRED DIMENSIONS ONLY.

2) CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING FIELD WORK.

3) THE DRAWING IS THE PROPERTY OF FORTH LANDSCAPE ARCHITECTURE AND MAY NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION.



4★SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING SINCE 1988

project notes:

Issue / revisions:

Issue / revisions	Date
06 REVISED & RE-ISSUED FOR DP	10.23.2025
05 REVISED	07.14.2025
04 REVISED	07.08.2025
03 REVISED	07.07.2025
02 REVISED	03.04.2025
01 ISSUED FOR REVIEW	02.25.2025
No. Issued / Revisions	Date

site:

project title:
235 RUSSELL STREET

drawing title:

LANDSCAPE
CONCEPT & DETAIL
PLANS

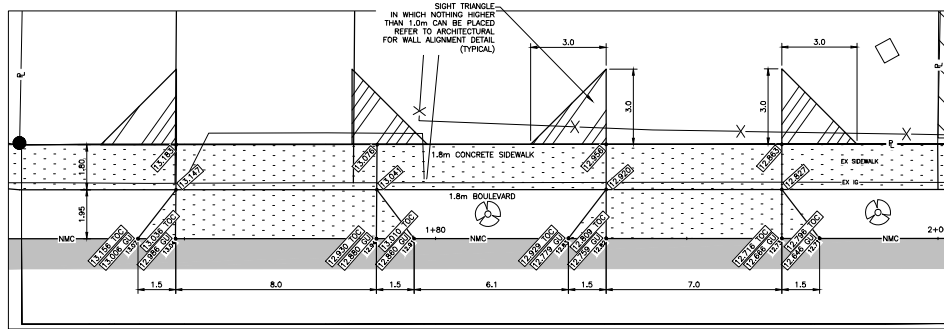
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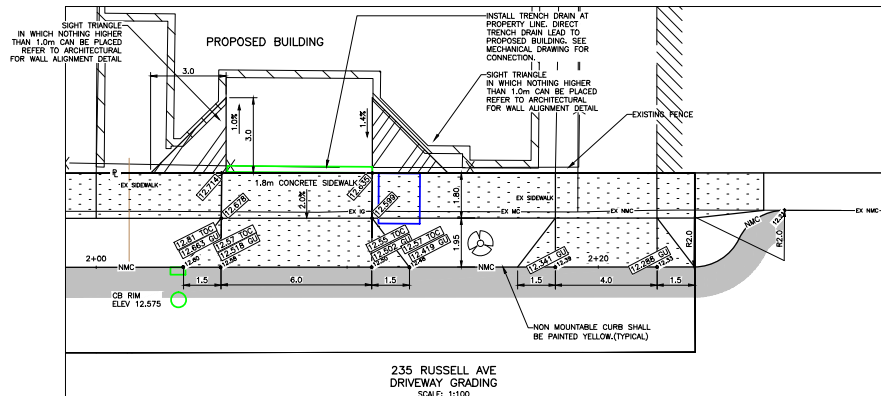
checked by: FORTH drawn by: BF, RF

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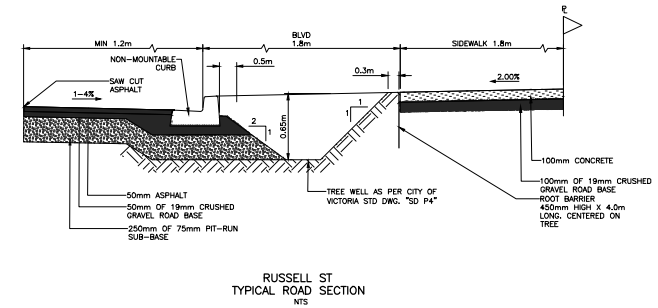
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247 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



235 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



RUSSELL ST
TYPICAL ROAD SECTION
N/S

LEGEND	
	APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
	100mm THICK CONCRETE SIDEWALK
	200mm THICK CONCRETE SIDEWALK
	PROPOSED ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	PROPOSED TREE

1:200 0 4 12m

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND	
WATER	W
SEWER	S
DRAIN	D
DITCH	D
CULVERT	C
HEADWALL	H
GAS	G
CURB	C
SIDEWALK	S
EDGE PAVE.	E
BUSHLINE	B
TREE	T
EXISTING U/G UTIL.	U
PROPOSED U/G UTIL.	P
LIGHT STANDARD	L
POWER POLE	P
ANCHOR	A
MANHOLE	M
CLEANOUT	C
CATCHBASIN	C
ROAD SIGN	R
HYDRANT	H
VALVE	V
METER	M
REDUCER	R
MONUMENT	M
LOT PIN	L
LEAD PLUG	L

SEAL

REVISIONS	
NO.	DESCRIPTION
10	REVISE GUTTER ALIGNMENT AND ELEVATION
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN
8	REVISED FOR BUILDING PERMIT
7	REVISED WATER SERVICE
6	REVISED WATER SERVICE LOCATION
5	REVISED WATER SERVICE LOCATION
4	REVISED WATER SERVICE LOCATION
3	REVISED WATER SERVICE LOCATION
2	REVISED WATER SERVICE LOCATION
1	REVISED WATER SERVICE LOCATION

DESIGNED	BC
DRAWN	PC
CHECKED	PC
DATE	MARCH 2022
B.M.	OCM 18-20
GLEV.	13.392
SCALE	Horz. 1:200
Vert.	1:20

WESTBROOK
Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
247 RUSSELL STREET
SAKURA PROJECT MANAGEMENT
OFFSITE SIDEWALK PLAN

WESTBROOK PROJECT No.
3340
GOVERNING AUTHORITY FILE No.
SHEET 2 OF 2 REV. 10
WESTBROOK DRAWING No.
3340-02