

Commercial and Self-Storage Development

2300 Douglas Street, Victoria, BC

BG DOUGLAS VENTURES INC.

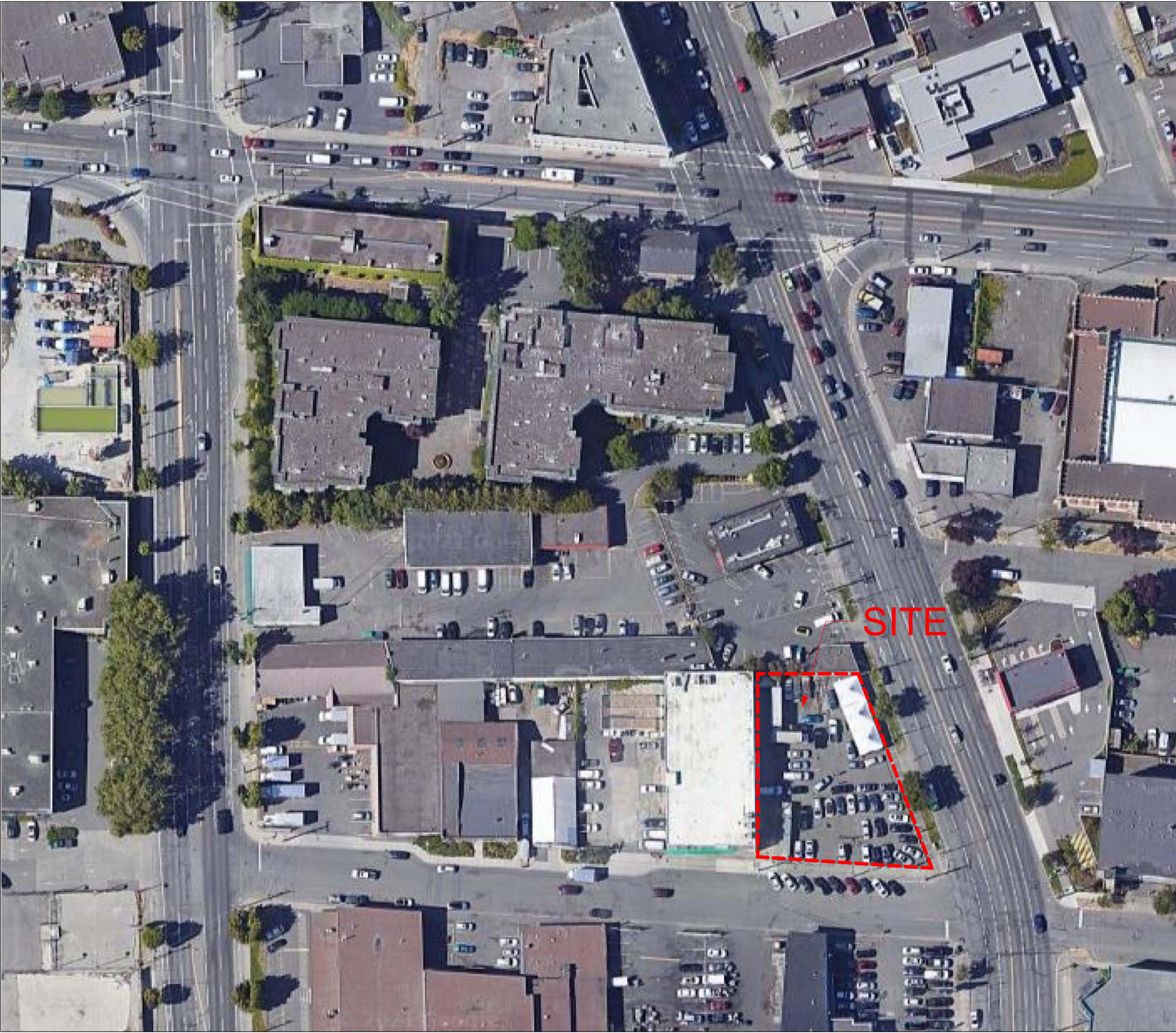


bfa studio architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN

(formerly Besharat Friars Architects)

600 - 355 Burrard Street
Vancouver, BC V6C 2G8



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ISSUED FOR DDP REVIEW
23 JUNE 2025

| ABBREVIATIONS LEGEND | | | | | |
|----------------------|----------------------|---------|-------------------|--------|------------------------|
| A.F.F. | ABOVE FINISHED FLOOR | MTL. | METAL | ENCL. | ENCLOSURE |
| A.B. | AIR BARRIER | NA | NOT APPLICABLE | EQ. | EQUAL |
| ALUM. | ALUMINIUM | N.I.C. | NOT IN CONTRACT | EXT. | EXTERIOR |
| B/S | BASEMENT | N.T.S. | NOT TO SCALE | F.D. | FLOOR DRAIN |
| BD. | BOARD | O.C. | ON CENTRE | FDN | FOUNDATION |
| B.O.S. | BOTTOM OF SLAB | OPG. | OPENING | FIN. | FINISH |
| B.O.W. | BOTTOM OF WALL | P-4-S | PEEL # STICK | FLR. | FLOOR |
| BLDG. | BUILDING | PLYWD. | PLYWOOD | FTG. | FOOTING |
| C.B. | CATCH BASIN | PREFIN. | PRE-FINISHED | GA. | GAUGE |
| C.I.P. | CAST-IN-PLACE | P.T. | PRESSURE TREATED | GL. | GLASS |
| CLKG. | CAULKING | PL | PROPERTY LINE | GR. | GRADE |
| CLG. | CEILING | R. | RADIUS | GWB | GYPSUM WALLBOARD |
| CL | CENTRE LINE | R. | RISER | HC | HANDICAPPED |
| CW | COMPLETE WITH | R.W.L. | RAIN WATER LEADER | HT. | HEIGHT |
| CONC. | CONCRETE | REQD | REQUIRED | HORIZ. | HORIZONTAL |
| CONT. | CONTINUOUS | REV | REVISION | H.B. | HOSE BIB |
| CJ | CONTROL JOINT | R # S | ROD # SHELF | HR. | HOUR |
| CORR. | CORRIDOR | RM. | ROOM | HWM | HOT WATER HEATER |
| DIA. | DIAMETER | R.D. | ROOF DRAIN | LIN. | LINEN |
| DN | DOWN | R.O. | ROUGH OPENING | MAX. | MAXIMUM |
| DWGS | DRAWINGS | STL. | STEEL | MECH. | MECHANICAL |
| DW | DISHWASHER | STRUCT. | STRUCTURAL | MEZZ. | MEZZANINE |
| ELECT. | ELECTRICAL | SPEC | SPECIFICATION | MIN. | MINIMUM |
| ELEV | ELEVATION | SF | SQUARE FEET | MISC. | MISCELLANEOUS |
| | | | | SM | SQUARE METERS |
| | | | | S.S. | STAINLESS STEEL |
| | | | | STR. | STAIR |
| | | | | STD. | STANDARD |
| | | | | T.O. | TOP OF |
| | | | | T.O.C. | TOP OF CURB |
| | | | | T.O.F. | TOP OF FLOOR |
| | | | | T.O.P. | TOP OF PARAPET |
| | | | | T.O.W. | TOP OF WALL |
| | | | | T | TREAD |
| | | | | TYP. | TYPICAL |
| | | | | UG | UNDERGROUND |
| | | | | US | UNDERSIDE |
| | | | | UNO | UNLESS NOTED OTHERWISE |
| | | | | UF | UPPER FLOOR |
| | | | | V.B. | VAPOUR BARRIER |
| | | | | VERT. | VERTICAL |
| | | | | W.C. | WATER CLOSET [TOILET] |
| | | | | WD | WASHER DRYER |
| | | | | WD. | WOOD |
| | | | | W.I.C. | WALK-IN CLOSET |
| | | | | W. | WITH |
| | | | | W.P. | WATERPROOF |
| | | | | WR | WASHROOM |

| PROJECT / CONSULTANT TEAM | | | | | | | | |
|--|--|--|---|--|--|---|--|--|
| OWNER BG DOUGLAS VENTURES INC. 270 - 21320 GORDON WAY RICHMOND, BC V8W 1P6 TEL: 604.319.4350 | ARCHITECT / INTERIOR DESIGNER BFA STUDIO ARCHITECTS #600 - 355 BURRARD STREET VANCOUVER, BC V6C 2G8 TEL: 604.662.8544 | STRUCTURAL ENGINEERING GLOTMAN SIMPSON CONSULTING ENGINEERS 1661 WEST 5TH AVENUE VANCOUVER, BC V6J 1N5 TEL: 604.734.8822 | MECHANICAL, PLUMBING & FIRE SUPPRESSION ENGINEERING m3 MECHANICAL CONSULTANTS 101 - 1803 DOUGLAS STREET VICTORIA, BC V8T 5C3 TEL: 250.940.2260 | ELECTRICAL ENGINEERING e2 ENGINEERING INC. 530 HERALD STREET VICTORIA, BC V8W 1S6 TEL: 778.433.9391 | ENVIRONMENTAL CONSULTANT ACTIVE EARTH ENGINEERING 201-13201 VICTORIA RD. NORTH SUMMERLAND, BC V0H 1Z0 TEL: 778.737.3488 | LANDSCAPE ARCHITECT LADR LANDSCAPE ARCHITECTS 3 - 864 QUEENS AVENUE, VICTORIA BC V8T 1M5 TEL: 250.598.0105 | CIVIL ENGINEERING BIG FISH ENDEAVORS LTD. 824 LESLIE DRIVE, VICTORIA BC V8X 2Y4 TEL: 250.888.0385 | GEOTECHNICAL ENGINEER GEOPACIFIC CONSULTANTS 2ND FLOOR 3351 DOUGLAS STREET VICTORIA BC V8Z 3L4 TEL: 250.381.2134 |
| TRANSPORTATION CONSULTANT BUNT & ASSOCIATES Suite 530, 645 FORT STREET VICTORIA, BC V8W 1G2 TEL: 250.592.6122 | LAND SURVEYOR UNDERHILL GEOMATICS 554 BEZANTON WAY VICTORIA, BC TEL: 250.813.2609 | CODE COLSULTANT CELERITY ENGINEERING LTD. 100 - 535 WEST 10TH AVE VANCOUVER, BC V5Z 1K9 TEL: 604.375.0437 | BUILDING ENVELOPE & ENERGY MODELING RJC ENGINEERING LTD. 1515 DOUGLAS STREET VICTORIA, BC V8W 2G4 TEL: 250.386.7794 | | | | | |



OCP PLAN

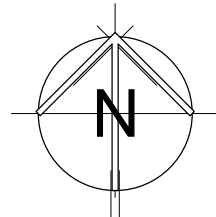
| ZONING STATISTICS | | | | | | | | | |
|---|--|---|----------|---------|-------|--|------|----------------------|--|
| PROJECT DESCRIPTION | | TO DEVELOP THE SITE FOR A FOUR STOREY INDUSTRIAL BUILDING COMPRISING OF TWO LEVELS OF BASEMENT, STREET / LEVEL ONE LIGHT MANUFACTURING, PARKING & SELF-STORAGE CUSTOMER LOUNGE / RETAIL AND 3 STOREYS OF SELF-STORAGE BUILDING ABOVE. | | | | | | | |
| LEGAL DESCRIPTION | | LOT A SECTION 3, VICTORIA DISTRICT PLAN EPP118635 | | | | | | | |
| PID | | 032-184-301 | | | | | | | |
| CIVIC ADDRESS PRESENT | | 2300 DOUGLAS STREET | | | | | | | |
| CIVIC ADDRESS FUTURE | | TBD | | | | | | | |
| BUILDING CODE | | BCBC 2018 - GROUP F2 , F3 , F AND POTENTIAL A2 - BCBC 2018 | | | | | | | |
| HERITAGE BUILDINGS | | NA | | | | | | | |
| LOT AREA | | 16,150 | SF | 1,500.3 | SM | PROVIDED BY SURVEYOR | | | |
| LOT SIZE | | | | | | | | | |
| | | NORTH | | 82.77 | 25.23 | | | | |
| | | EAST / DOUGLAS ST | | 147.07 | 44.83 | | | | |
| | | SOUTH EAST | | 20.51 | 6.25 | ARC LENGTH OF 6.25m WITH RADIUS OF 3.10m, PER UPDATED SURVEY PLAN DATED OCT-30, 2023 | | | |
| | | SOUTH / QUEENS AVE | | 121.52 | 37.04 | | | | |
| | | WEST | | 141.96 | 43.27 | | | | |
| OCP AND NEIGHBOURHOOD DESIGNATION | | CORE EMPLOYMENT AND BURNSIDE GORGE NEIGHBOURHOOD PLAN | | | | | | | |
| ZONING PRESENT | | M-1 ZONE, LIMITED LIGHT INDUSTRIAL DISTRICT | | | | | | | |
| REZONING | | NOT APPLICABLE | | | | | | | |
| | | REQUIRED / PERMITTED | | | | PROPOSED | | NOTES | |
| SITE AREA | | 16,150 | SF | 1,500.3 | SM | | | PROVIDED BY SURVEYOR | |
| DEDICATION AREA | | 56 | SF | 5.2 | SM | | | PROVIDED BY SURVEYOR | |
| NET SITE AREA | | 16,094 | SF | 1,495.1 | SM | | | PROVIDED BY SURVEYOR | |
| DENSITY / FLOOR SPACE RATIO / FSR - 3.0 | | 48,279 | SF | 4,485.1 | SM | 46,169 | SF | 4,289 | SM |
| SITE COVERAGE | | NA | SF | NA | SM | 14,415 | SF | 1,339 | SM |
| OPEN SITE COVERAGE | | NA | SF | NA | SM | 1,679 | SF | 156 | SM |
| MAXIMUM HEIGHT (OUTRIGHT) | | 49.2 | FT | 15.00 | M | 49.2 | FT | 15.00 | M |
| NUMBER OF STOREY | | 4 | | | | 4 | | | |
| SITING / SETBACK | | REQUIRED / PERMITTED | | | | PROPOSED | | | |
| | | | FT | M | | | FT | M | |
| | | CORNER LOT DIAGONAL | | 3 | | 9.84 | 3.00 | | |
| | | NORTH | 0.00 | 0.0 | | 0.33 | 0.10 | | |
| | | EAST/DOUGLAS STREET | 3.28 | 1.0 | | 3.28 | 1.00 | | |
| | | SOUTH/QUEENS AVENUE | 9.84 | 3.0 | | 7.22 | 2.20 | | |
| | | WEST | 0.00 | 0.0 | | 0.98 | 0.30 | | |
| VEHICLE OFF STREET PARKING SPACES | | REQUIRED / PERMITTED | | | | PROPOSED | | | |
| | | INDUSTRIAL AND LIGHT MANUFACTURING | 140 | SM | 2 | | 2 | | |
| | | WAREHOUSE | 100 | SM | 71 | | 16 | | |
| | | TOTAL | | | 73 | | 18 | | |
| LOADING SPACES | | REQUIRED / PERMITTED | | | | PROPOSED | | | |
| | | | | | | | 3 | | |
| | | | | | | | | | 1 LOADING AND 2 VAN SPACES ARE INCLUDED IN VEHICLE RATIO |
| BICYCLE PARKING SPACES | | REQUIRED / PERMITTED | | | | PROPOSED | | | |
| | | LONG TERM | 1,200 | SM | 6 | | 6 | | |
| | | SHORT TERM | 6 SPACES | | 6 | | 6 | | |
| ELECTRIC VEHICLE CHARGING | | | | | 2 | | 2 | | |
| | | GREATER OF 2 ENERGIZED STALLS OR 5% OF TOTAL NUMBER | | | | | | | |
| NOTES: | | | | | | | | | |
| | | 1. ALL AREAS AND CALCULATIONS ARE APPROXIMATE. & WILL BE ADJUSTED DURING LATER PHASES OF PROJECT | | | | | | | |
| | | 2. VALUES LISTED IN ABOVE AREA CALCULATIONS ARE DETERMINED IN GENERAL ACCORDANCE WITH THE METHODOLOGY REQUIRED IN CITY OF VICTORIA BYLAWS | | | | | | | |
| | | 3. VALUES LISTED IN BUILDING CODE DATA SHEET ARE DETERMINED IN ACCORDANCE WITH THE METHODOLOGY REQUIRED IN BCBC 2018 | | | | | | | |
| | | 4. WALL THICKNESS EXCLUSION AREAS ARE APPROXIMATE AND WILL BE ADJUSTED BASED ON FINAL WALL ASSEMBLIES & REQUIRED ENERGY ANALYSIS | | | | | | | |



ZONING MAP

| REVISIONS | | |
|-----------|-----------------------|-------------|
| NO | DESCRIPTION | DATE |
| | ISSUED FOR DP | MAR-25-2022 |
| | REISSUED FOR DP | JUN-16-2022 |
| | REISSUED FOR DP | MAR-10-2023 |
| | REISSUED FOR DP | JUN-21-2023 |
| | ISSUED FOR BP | MAR-01-2024 |
| 1 | REISSUED FOR BP | JUL-05-2024 |
| | ISSUED FOR TENDER | JUL-19-2024 |
| | REISSUED FOR BP | OCT-17-2024 |
| 2 | ISSUED FOR DDP REVIEW | JUN-23-2025 |

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE
CONTEXT PLAN & ZONING DATA

SEAL

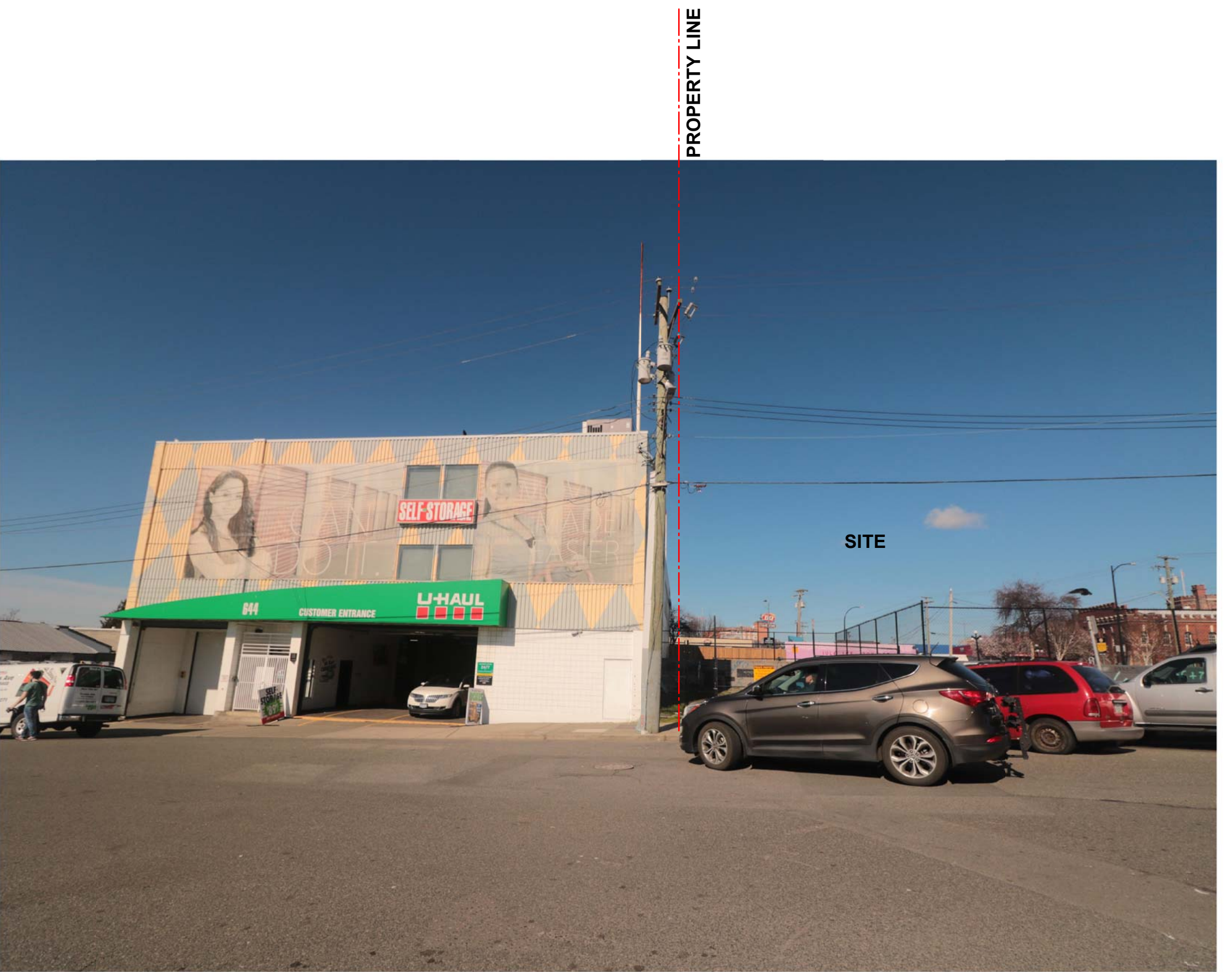
DRAWING NO. REVISION

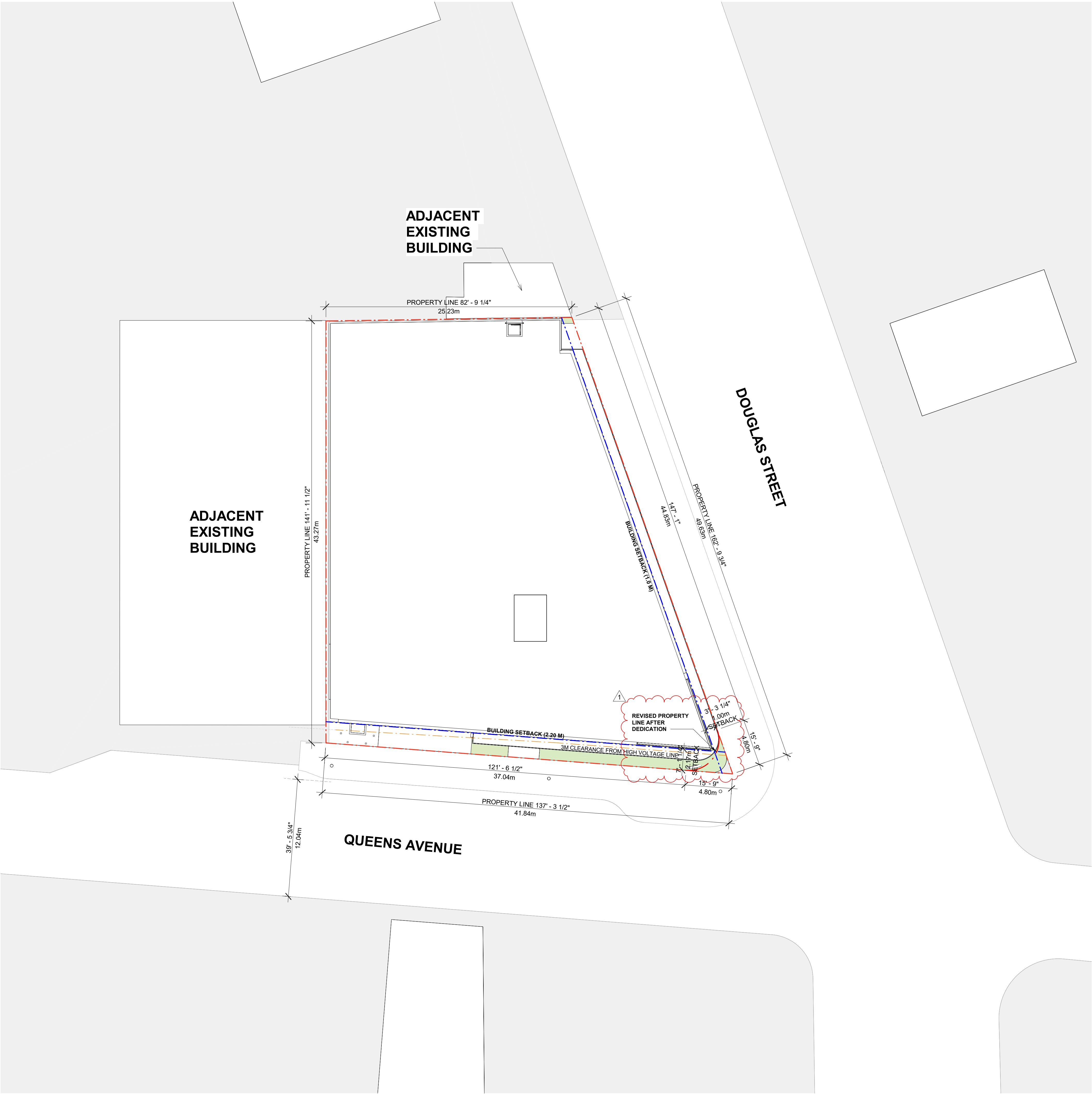
2

A001

DATE 23/03/10 DRAWN IT

SCALE N/A CHECKED HB

[illegible]



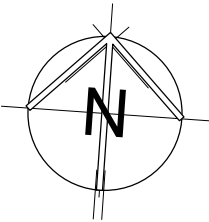
| LEGEND | | |
|------------------------|-------------------------------------|--|
| <div><div></div></div> | PROPERTY LINE | |
| <div><div></div></div> | BUILDING SETBACK LINE | |
| <div><div></div></div> | 3M CLEARANCE FROM HIGH VOLTAGE LINE | |

| | | |
|--------------------|-----------|------------|
| ORIGINAL SITE AREA | 16,150 SF | 15,00 SM |
| DEDICATION AREA | 56 SF | 5.2 SM |
| NET SITE AREA | 16,094 SF | 1,494.8 SM |

BASE SITE PLAN

| REVISIONS | | DATE |
|-----------|-----------------------|-------------|
| NO. | DESCRIPTION | |
| - | ISSUED FOR DP | MAR-25-2022 |
| - | REISSUED FOR DP | JUN-16-2022 |
| - | REISSUED FOR DP | MAR-10-2023 |
| - | REISSUED FOR DP | JUN-21-2023 |
| - | ISSUED FOR BP | MAR-01-2024 |
| 1 | ISSUED FOR DDP REVIEW | JUN-23-2025 |

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

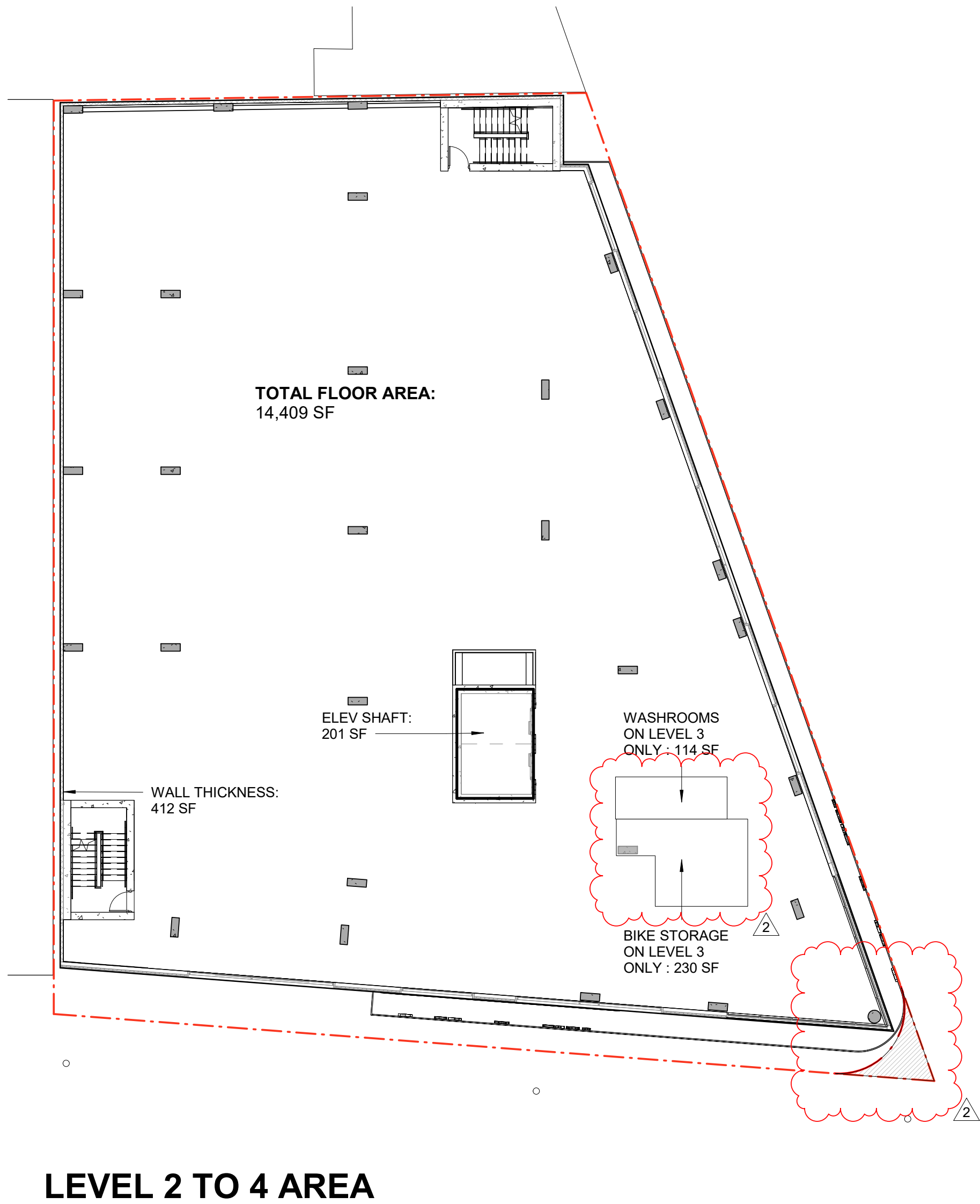
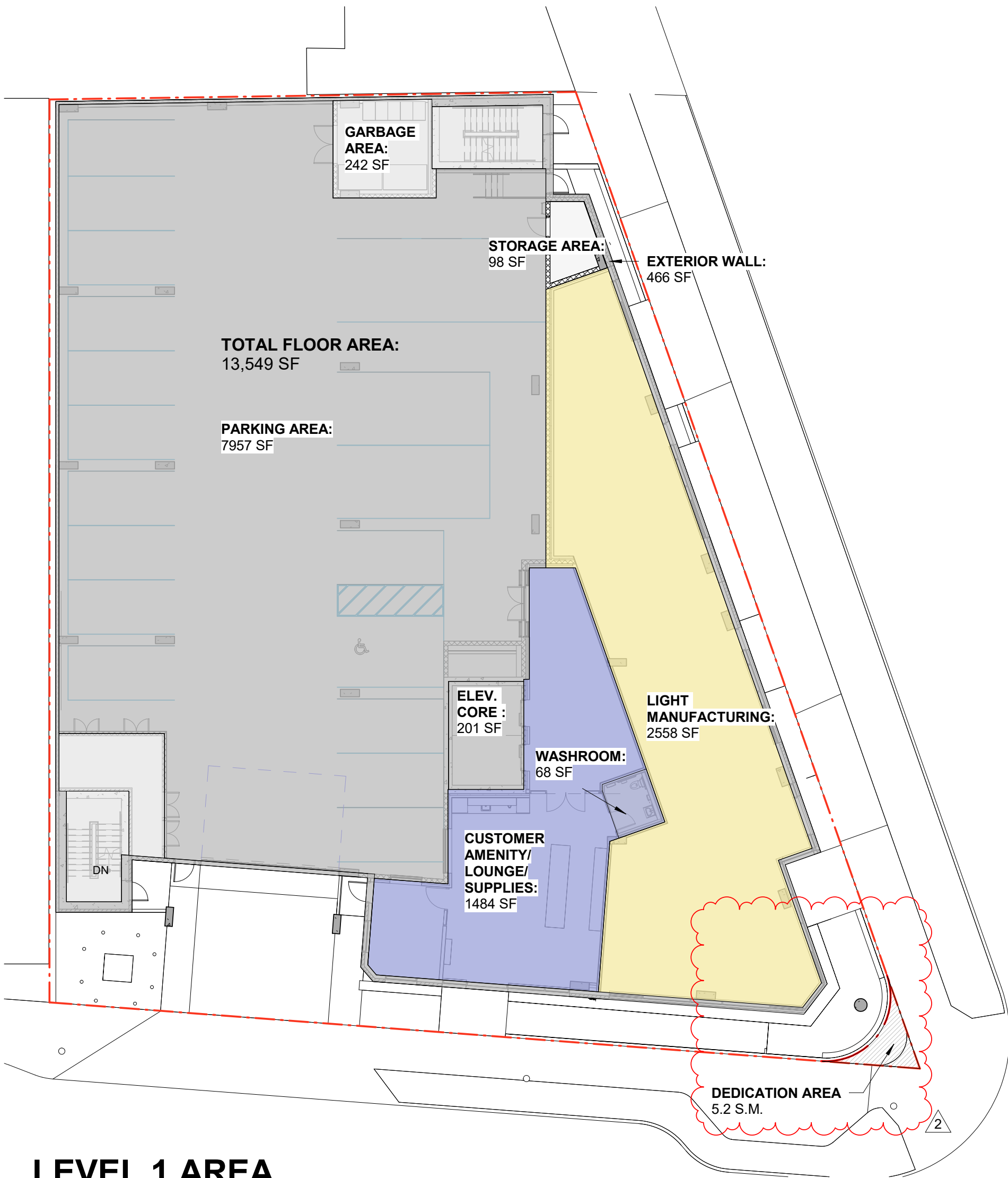
BASE SITE PLAN

SEAL

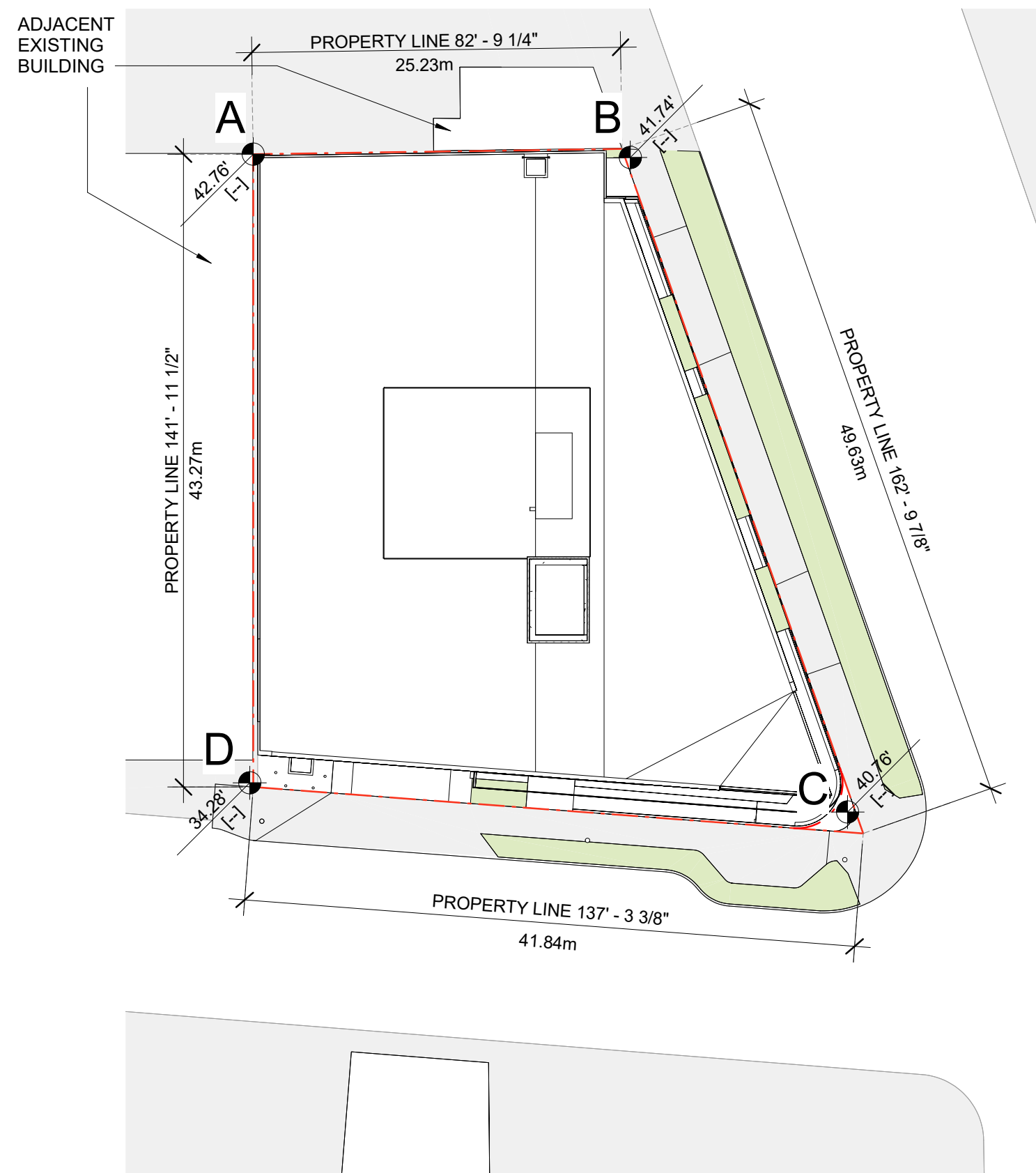
DRAWING NO. REVISION

A002

DATE 23/03/10
SCALE 1 : 200
DRAWN IT
CHECKED HB



AVERAGE GRADE CALCULATION:



AVERAGE GRADE CALCULATIONS

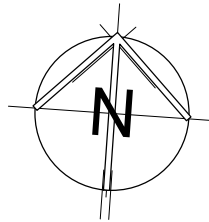
| Point | Elev. (ft) | Point | Elev. (ft) | Segment | Average Elevation (ft) | Length (ft) | Elevation x Length = Z |
|-------|------------|-------|------------|---------|------------------------------------|--------------|------------------------|
| A | 42.76 | B | 41.74 | AB | 42.25 | 82.77 | 3497.03 |
| B | 41.74 | C | 40.76 | BC | 41.25 | 162.82 | 6716.33 |
| C | 40.76 | D | 34.28 | CD | 37.52 | 137.28 | 5150.75 |
| D | 34.28 | A | 42.76 | DA | 38.52 | 141.96 | 5468.30 |
| | | | | | TOTAL | TOTAL LENGTH | Total 'Z' |
| | | | | | 159.5 | 524.83 | 20832.40 |
| | | | | | AVERAGE GRADE | | 39.69 |
| | | | | | MAXIMUM HEIGHT = A.N.E.G. + 49.21' | | 88.90 |

| AREA CALCULATIONS SUMMARY | | | | | | | | | | | | | | | | |
|----------------------------------|--------------------------|--------------------|-----------------|--------------------------|------------------------------------|--------------------|-----------------------------|------------------|------------------|------------------------|---------------------|----------------------|----------------------|-----------------------|----------------|----------------|
| A | B | C | D | E | F | G | H | I | J | K | L | M | N | O | P-I-O | Q |
| LEVEL | NUMBER OF FLOORS | CIRCULATION (SF) | LOCKERS (SF) | LIGHT MANUFACTURING (SF) | CUSTOMER AMENITY/ LOUNGE/ SUPPLIES | WASHROOM AREA (SF) | GARBAGE & RECYCLING RM (SF) | TOTAL GROSS (SF) | TOTAL GROSS (SM) | PARKING / LOADING (SF) | WALL THICKNESS (SF) | ELEVATOR SHAFTS (SF) | BICYCLE STORAGE (SF) | TOTAL EXCLUSIONS (SF) | TOTAL FSR (SF) | TOTAL FSR (SM) |
| LEVEL 1/ STREET | 1 | 0 | 0 | 2,558 | 1,484 | 68 | 242 | 13,549 | 1,259 | 7,957 | 466 | 201 | 0 | 8,624 | 4,925 | 458 |
| MECHANICAL MEZZANINE | - | 0 | 0 | 0 | 0 | 0 | 0 | 98 | 9 | 0 | 0 | 0 | 0 | 0 | 98 | 9 |
| LEVEL 2 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 14,405 | 1,338 | 0 | 412 | 201 | 0 | 613 | 13,792 | 1,281 |
| LEVEL 3 | 1 | 0 | 0 | 0 | 0 | 114 | 0 | 14,405 | 1,338 | 0 | 412 | 201 | 230 | 843 | 13,562 | 1,260 |
| LEVEL 4 | 1 | 0 | 0 | 0 | 0 | 0 | 0 | 14,405 | 1,338 | 0 | 412 | 201 | 0 | 613 | 13,792 | 1,281 |
| SUBTOTAL | 4 | 0 | 0 | 2,558 | 1,484 | 182 | 242 | 56,862 | 5,282 | 7,957 | 1702 | 804 | 230 | 10,693 | 46,169 | 4,289 |
| BASEMENT LEVEL 1 (EXCLUDED) | | 0 | 0 | 0 | 0 | 0 | 0 | 15,376 | 1,428 | | | | | | | |
| BASEMENT LEVEL 2 (EXCLUDED) | | 0 | 0 | 0 | 0 | 0 | 0 | 15,376 | 1,428 | | | | | | | |
| TOTAL: | | | | | | | | 87,614 | 8,138 | | | | | | | |
| SITE AREA (AFTER DEDICATION): | | 16,093 | SF | | | | | | | | | | | | | |
| TOTAL FSR: | | 46,169 | SF | | 2.87 | | | | | | | | | | | |
| MAX ALLOWED FSR: | | 48,279 | SF | | 3.00 | | | | | | | | | | | |
| ADDITIONAL FSR ALLOWED: | | 2,110 | SF | | | | | | | | | | | | | |
| PARKING | RATIO (SM/SPACE) | | FLOOR AREA (SM) | REQUIRED | PROVIDED | | | | | | | | | | | |
| INDUSTRIAL / LIGHT MANUFACTURING | 140 (1) | 1 | 238 | 2 | 2 | | | | | | | | | | | |
| WAREHOUSE | 100 (B1, B2, 1, 2, 3, 4) | B1, B2, 1, 2, 3, 4 | 7,010 | 71 | 16 | | | | | | | | | | | |
| SUB-TOTAL | | | | 73 | 18 | | | | | | | | | | | |

| REVISIONS | | |
|-----------|-----------------------|-------------|
| NO. | DESCRIPTION | DATE |
| - | ISSUED FOR DP | MAR-25-2022 |
| - | REISSUED FOR DP | JUN-16-2022 |
| - | REISSUED FOR DP | MAR-10-2023 |
| - | REISSUED FOR DP | JUN-21-2023 |
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| - | REISSUED FOR BP | OCT-17-2024 |
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

AREA CALCULATIONS

SEAL

DRAWING NO.

REVISION

2

A003

DATE

23/03/10

SCALE

N/A

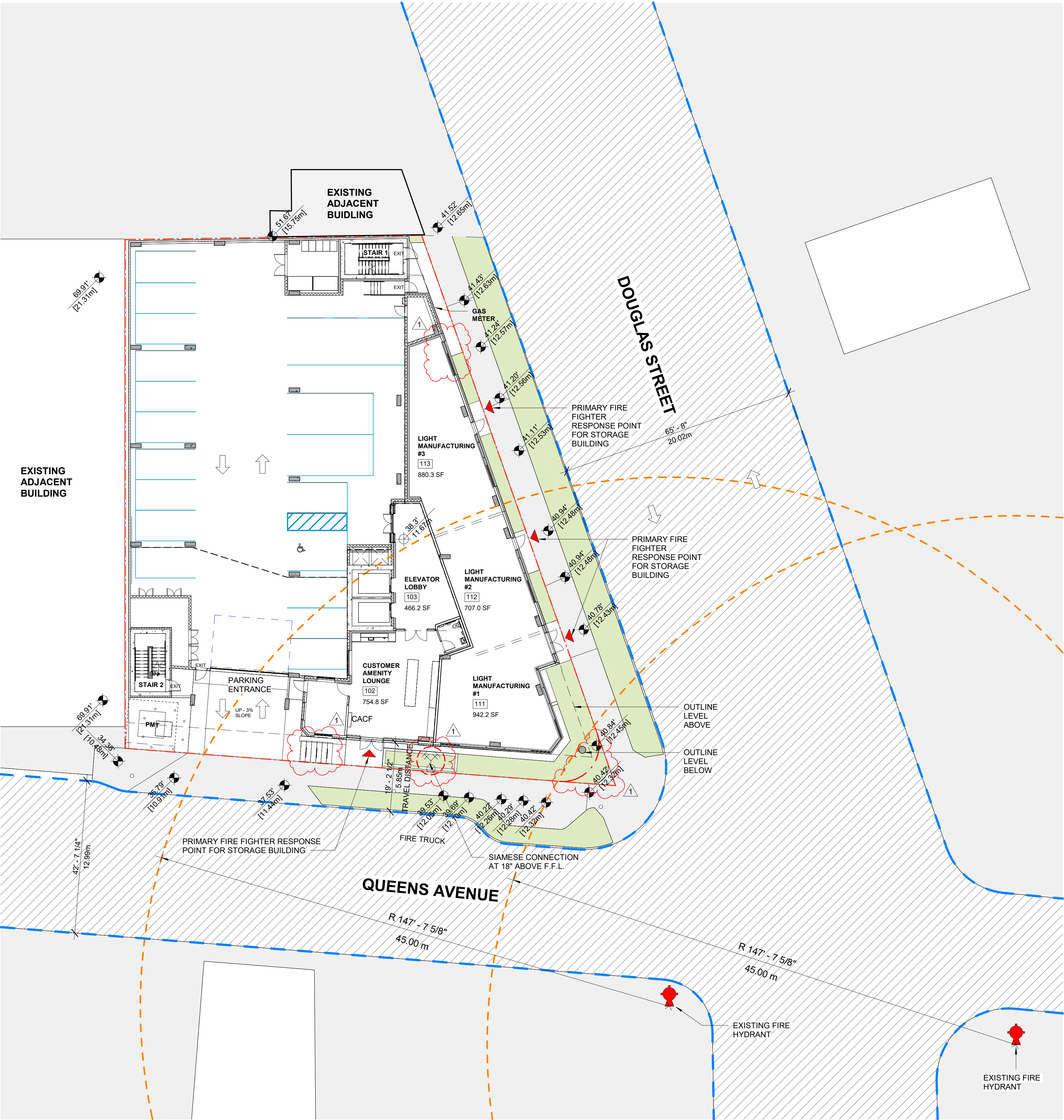
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| 2018 BRITISH COLUMBIA BUILDING CODE SUMMARY | | | | NOTES |
|--|--|--------------------|----------------------------------|---|
| Self Storage Development, 2300 Douglas Street, Victoria, BC | | | | |
| Construction Article | 3.2.2.77. Group F, Division 2, up to 4 Storeys, Sprinklered ⁽¹⁾ 3.2.2.59. Group D, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.65. Group E, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.84. Group F, Division 3, up to 4 Storeys, Sprinklered ⁽²⁾ 3.2.2.24. Group A, Division 2, up to 6 Storeys, Any Area, Sprinklered ⁽³⁾ | | | (1): Group F2 Major Occupancy : Basement 1-2, Levels 2-4 (2): Groups D, E, F2, F3: Level 1, Light Manufacturing Areas #1-4 must be considered major occupancies if they are intended to be occupied by tenants. (3): If entire undivided Light Manufacturing Areas is used as A2 & OCC load > 30, then 2 hr suite separation is required, Note: Any of the Light Manufacturing Areas with low OCC load (max. 30 persons) with Group A2 major occupancy would be considered a Group D major occupancy (Article 3.1.2.6.). |
| Subsidiary/Minor Occupancy | <div>⚠ Group A, D, E, F2, F3</div> | | | Level 1 Light Manufacturing Areas #1-4 may be considered subsidiary occupancies if they will not be occupied by tenants |
| Building Construction | Combustible construction or noncombustible construction used singly or in combination (Noncombustible proposed) (1) | | | (1) Non-combustible construction required on Level 1 (based on Article 3.2.2.24.) |
| Maximum Building Height | Max. 4 storeys | | | |
| Maximum Building Area | Max. 2,400 m ² for 4 storeys (Provided = 1,326.2 m ²) | | | The restrictive area requirement must be applied if Article 3.2.2.65. is used (1,800 m ²). |
| Floor Assemblies above Ground | 45 min fire-resistance rating 1 h fire-resistance rating ⁽¹⁾ | | | (1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under. |
| Floor Assemblies at Ground Level | 45 min fire-resistance rating | | | |
| Floors below Ground | 3 h fire-resistance rating | | | |
| Loadbearing Supports above Ground | 45 Min. Fire-resistance rating or Non-combustible construction Same rating as the assembly it supports ⁽¹⁾ 1 hr. rating required for L2 floor assembly to accommodate A2, D or E occupancies on L1 | | | (1): Fire-resistance rating must comply with any additional construction article requirements (Articles 3.2.2.59. and/or 3.2.2.65.). Only the floor assembly located above the ground level Unit(s) and its loadbearing supports need to comply with the rating outlined in the construction article which the Unit(s) belong under. |
| Loadbearing Support below Ground | Same rating as the assembly it supports | | | |
| Roof Assemblies | No fire-resistance rating requirement | | | |
| Roof Covering | Class A, B or C roof covering classification | | | |
| Exterior Walls | North & West building face: 2 h fire-resistance rating, noncombustible construction, noncombustible cladding | | | Spatial separation requirements per Article 3.2.3.1. |
| Sprinkler System | Required and will be provided – system is to comply with NFPA 13 – 2013 | | | |
| Standpipe System | Required and will be provided – system is to comply with NFPA 14 – 2013 | | | |
| Fire Alarm System | Required and will be provided – system is to comply with CANULC-S524-14 and monitored by a monitoring station in conformance with CANULC-S561-13 (1) | | | (1) Single stage system will be used. |
| Emergency Power | 30 min duration as per 3.2.7.4. and 3.2.7.8. | | | |
| Street Facing | 2 Streets | | | |
| Emergency Crossover Floors | Doors providing access to floor areas from exit stairs shall not have locking devices to prevent entry into any floor area from which the travel distance up or down to an unlocked door is more than 2 storeys (3rd storey proposed as cross-over floor). | | | |
| Water Closet Summary (BCBC Section 3.7 Health Requirement) | | | | |
| Self-Storage | | | | |
| Occupancy Type | Occupant Load | Number of Each Sex | Number of Water Closets Required | |
| | | | M | F |
| Light Manufacturing/Retail (per CRU on Level 1): Table 3.7.2.2.B | max. 30 | 10 ^(a) | T.B.C. at TI phase | |
| Self-Storage (per floor, Basement 1-2, Levels 2-4): Table 3.7.2.2.C | 20* | 10 | 1 | 1 |
| * Refer to Code report and owner's operations letter. Total of 2 universal & 1 unisex washrooms are provided. | | | | |
| (a) The number of water closets required in a suite of mercantile occupancy whose area is not more than 500 m ² is permitted to be determined in accordance with Table 3.7.2.2-B based solely on the total number of staff. The number of staff in each retail unit is not expected to be more than 10, based on the area of the retail units [Sentence 3.7.2.2.(16)]. Both sexes are permitted to be served by a single water closet with an occupant load of not more than 10 [Sentence 3.7.2.2.(4)]. | | | | |



FIRE DEPARTMENT SITE PLAN

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800 - 355 Burrard Street
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F 604 662 4060
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CLIENT

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

BCBC SUMMARY & FIRE DEPARTMENT SITE PLAN

SCALE

1/16" = 1'-0"

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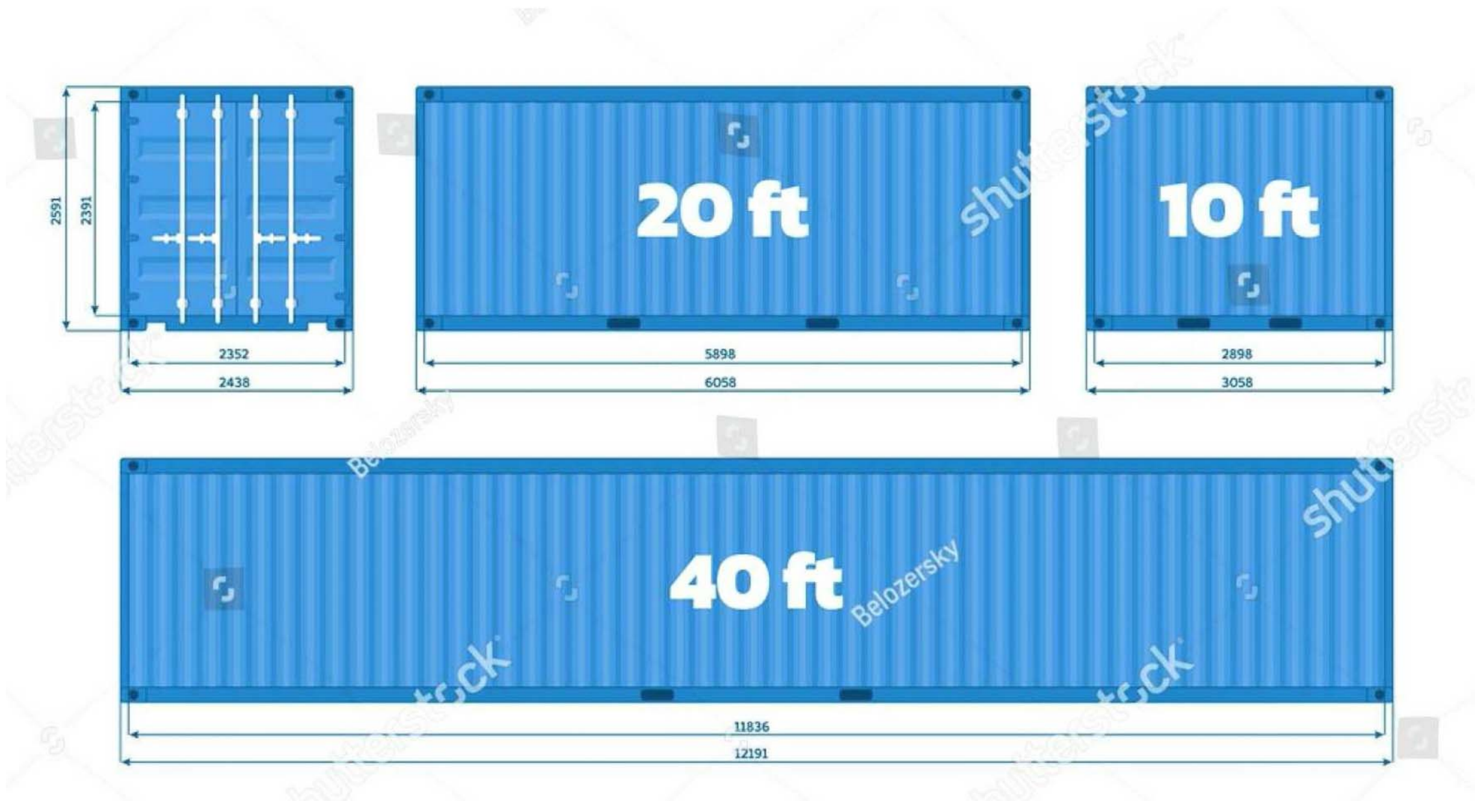
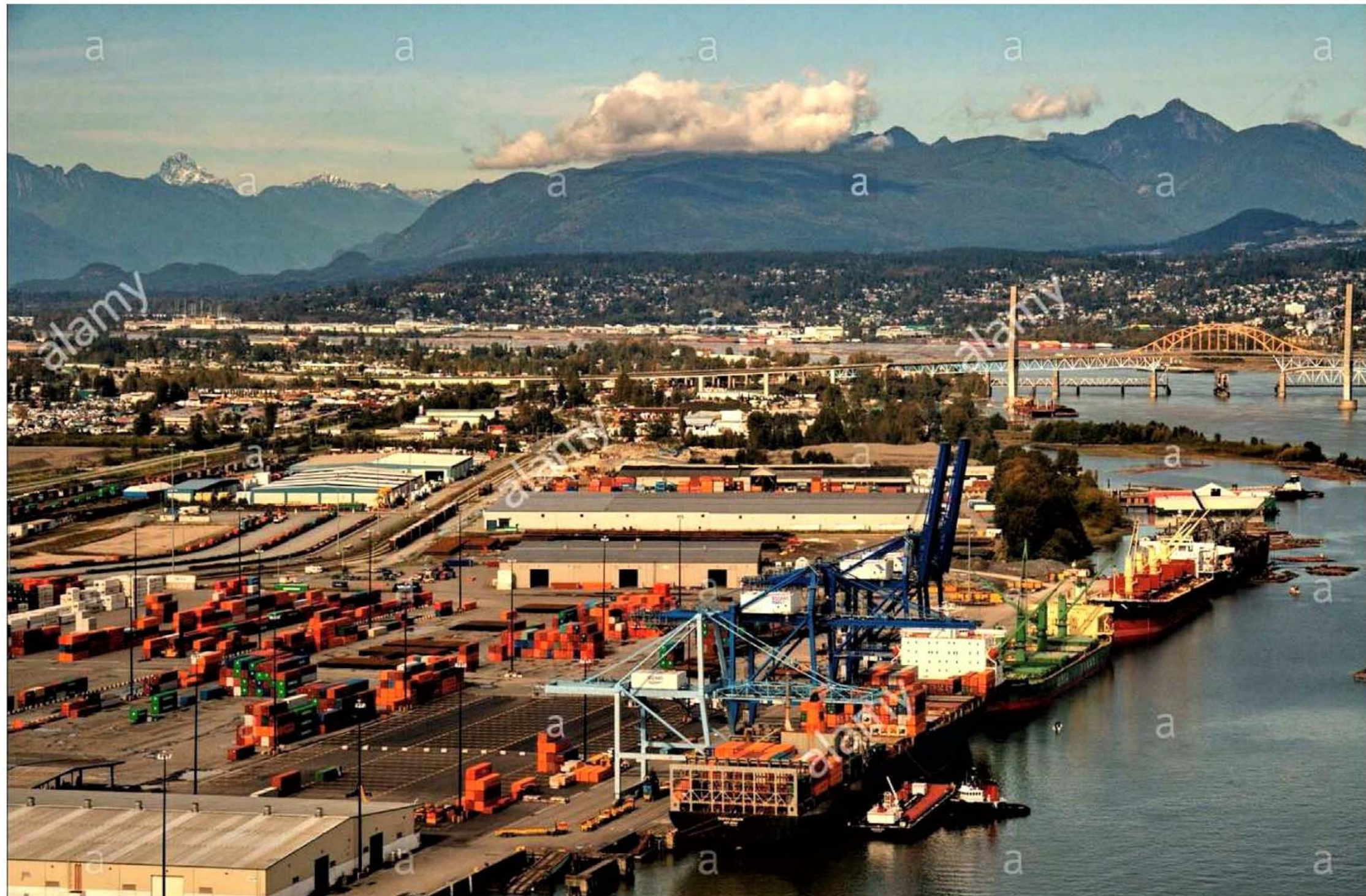
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PROJECT NO.

21500

PROJECT

Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

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| BG DOUGLAS VENTURES INC. |

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
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DRAWING TITLE

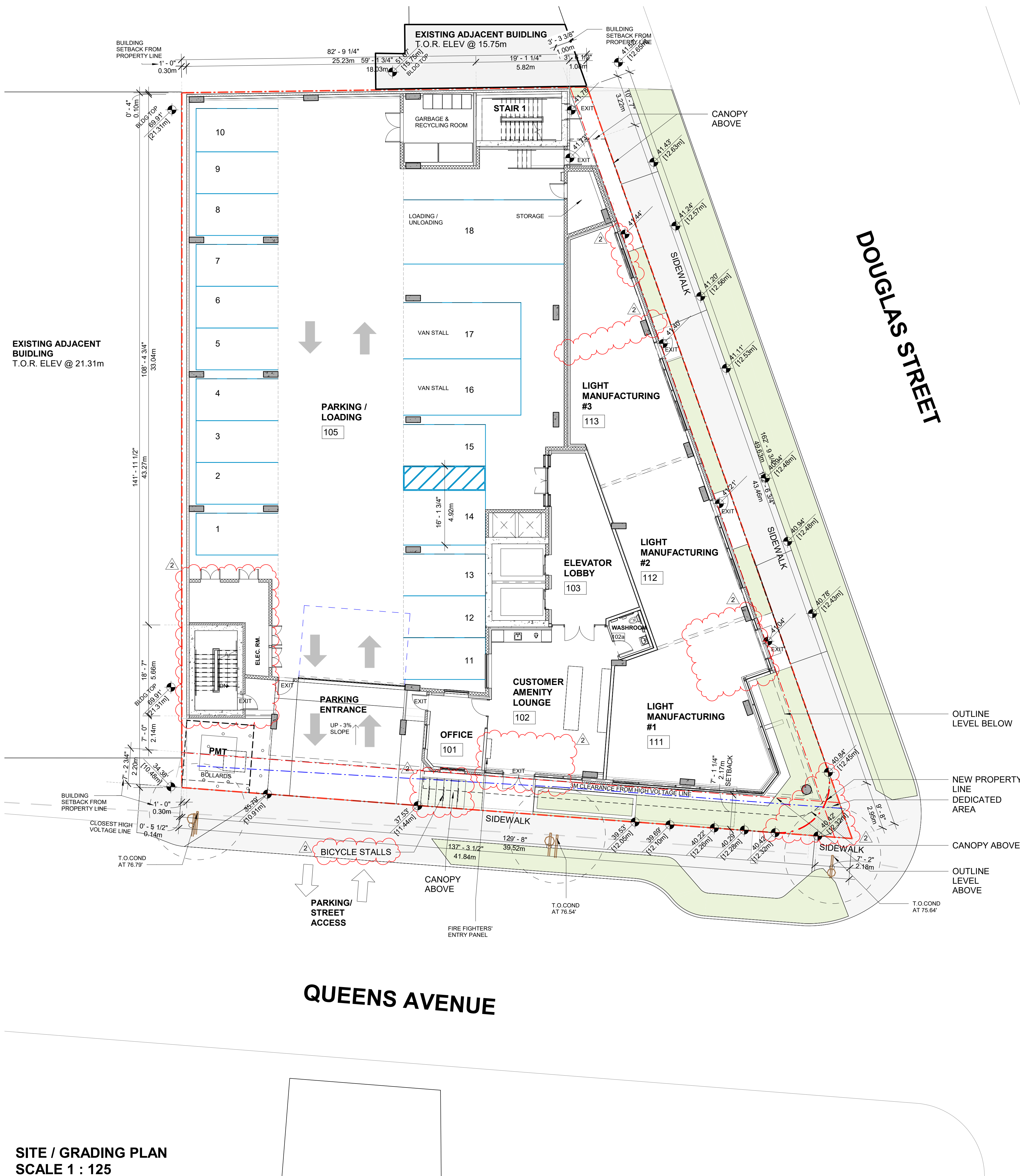
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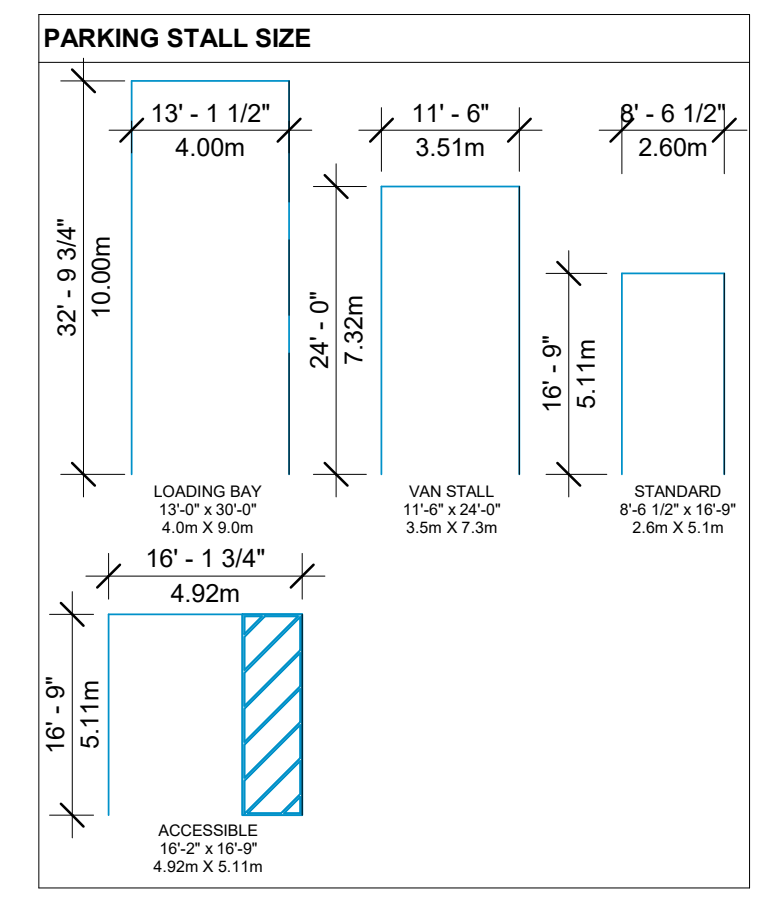
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SITE / GRADING PLAN
SCALE 1 : 125

- GENERAL NOTES**
- REFER TO OWNER SUPPLIED SITE SURVEY.
 - REFER TO GEOTECHNICAL REPORT.
 - NEIGHBORING BUILDING FOOTPRINT & PROPERTY LINES ARE APPROXIMATE. TO BE CONFIRMED BY SURVEYOR.
 - REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR ALL HARD AND SOFT LANDSCAPE DESIGN
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- PARKADE NOTES**
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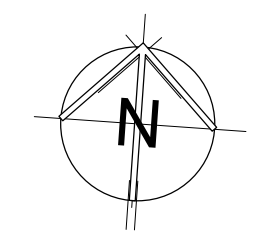
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| | DESIGN ELEVATION (interpolated) |
| | T.O. SLAB GRADE |
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| | T.O. FINISH SLAB GRADE |
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PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

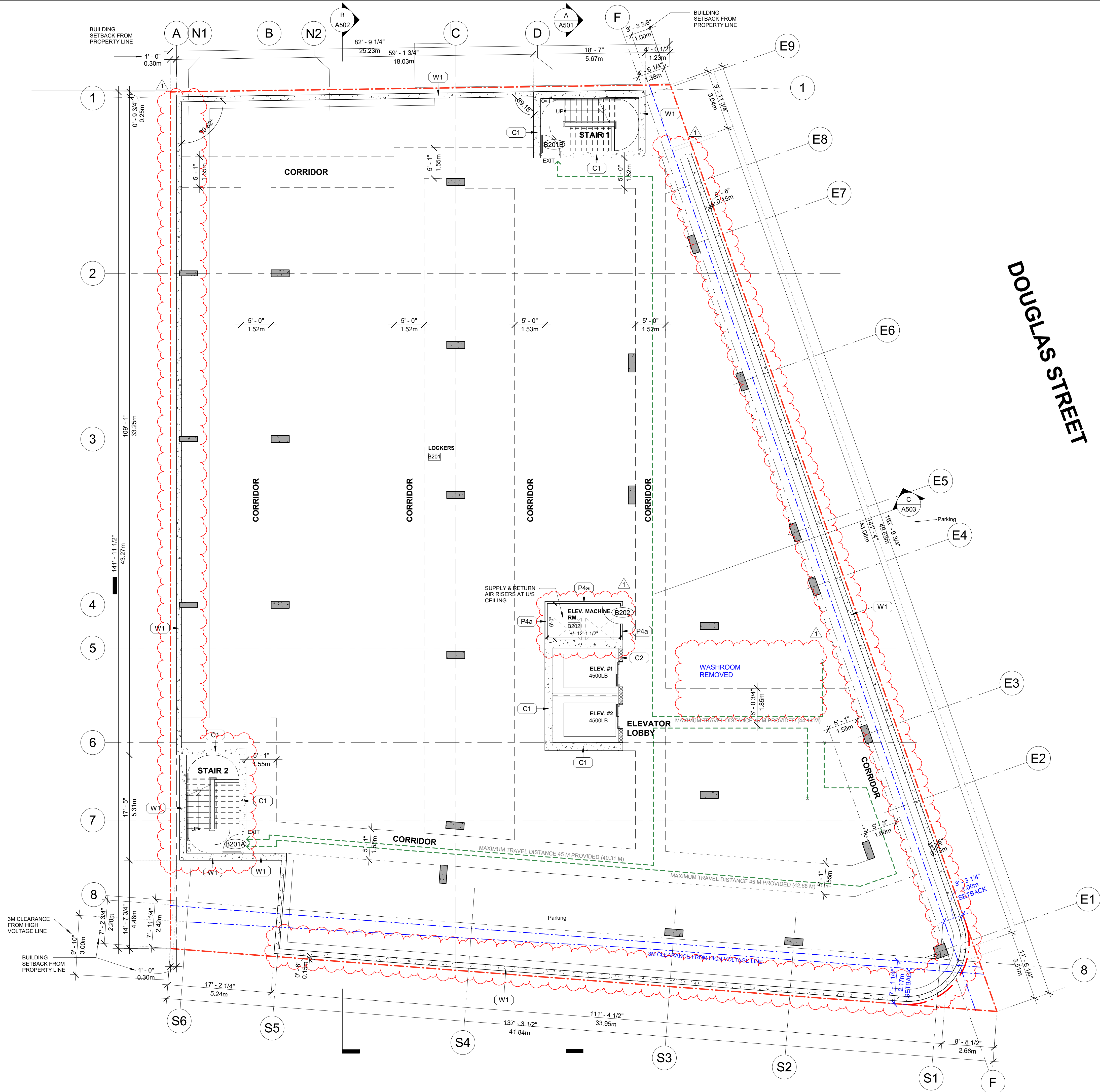
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BASEMENT 2

QUEENS AVENUE

DOUGLAS STREET

N.B. LOCKER LAYOUT FOR REFERENCE ONLY

GENERAL NOTES

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BG DOUGLAS VENTURES INC.

PROJECT NO.

21500

PROJECT

Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

BASEMENT 2

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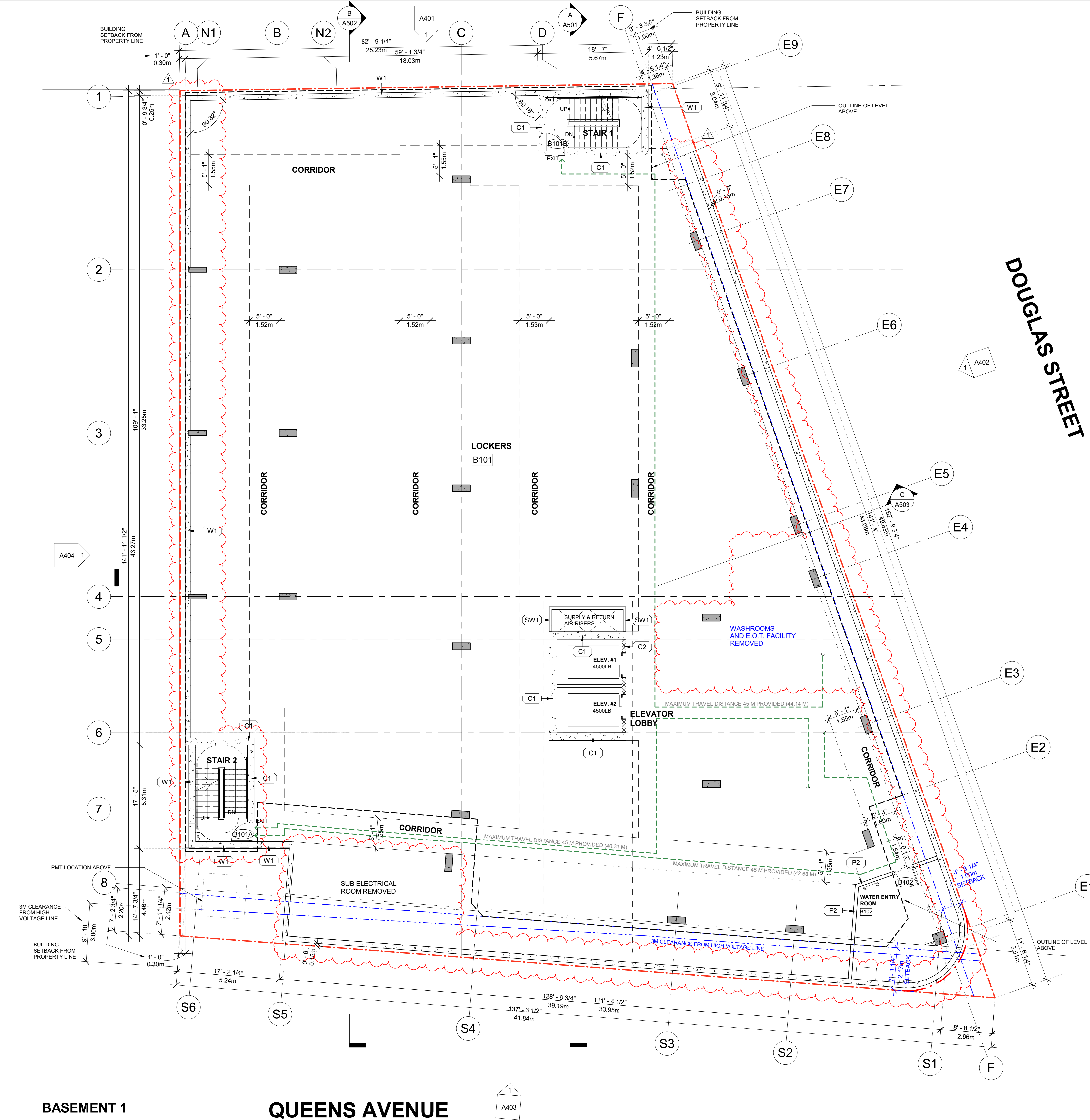
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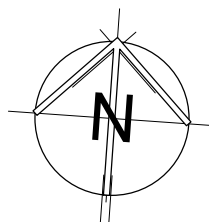
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
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Development
2300 Douglas Street, Victoria,
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DRAWING TITLE

BASEMENT 1

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N.B. LOCKER LAYOUT FOR REFERENCE ONLY

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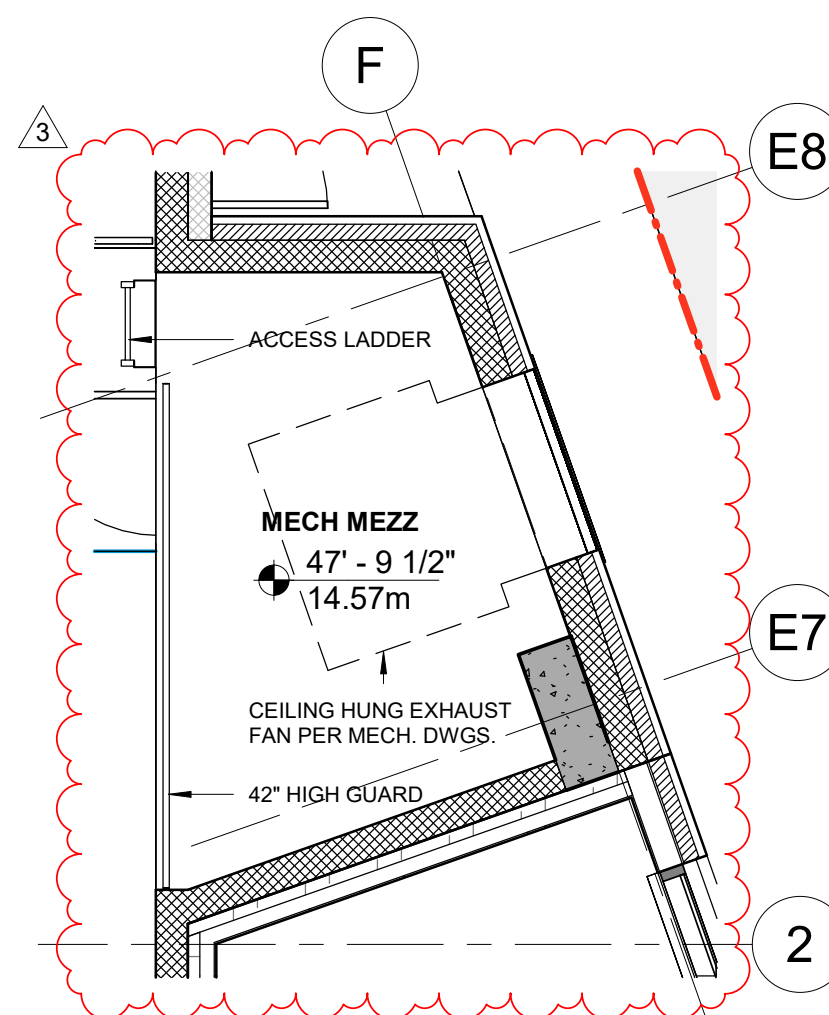
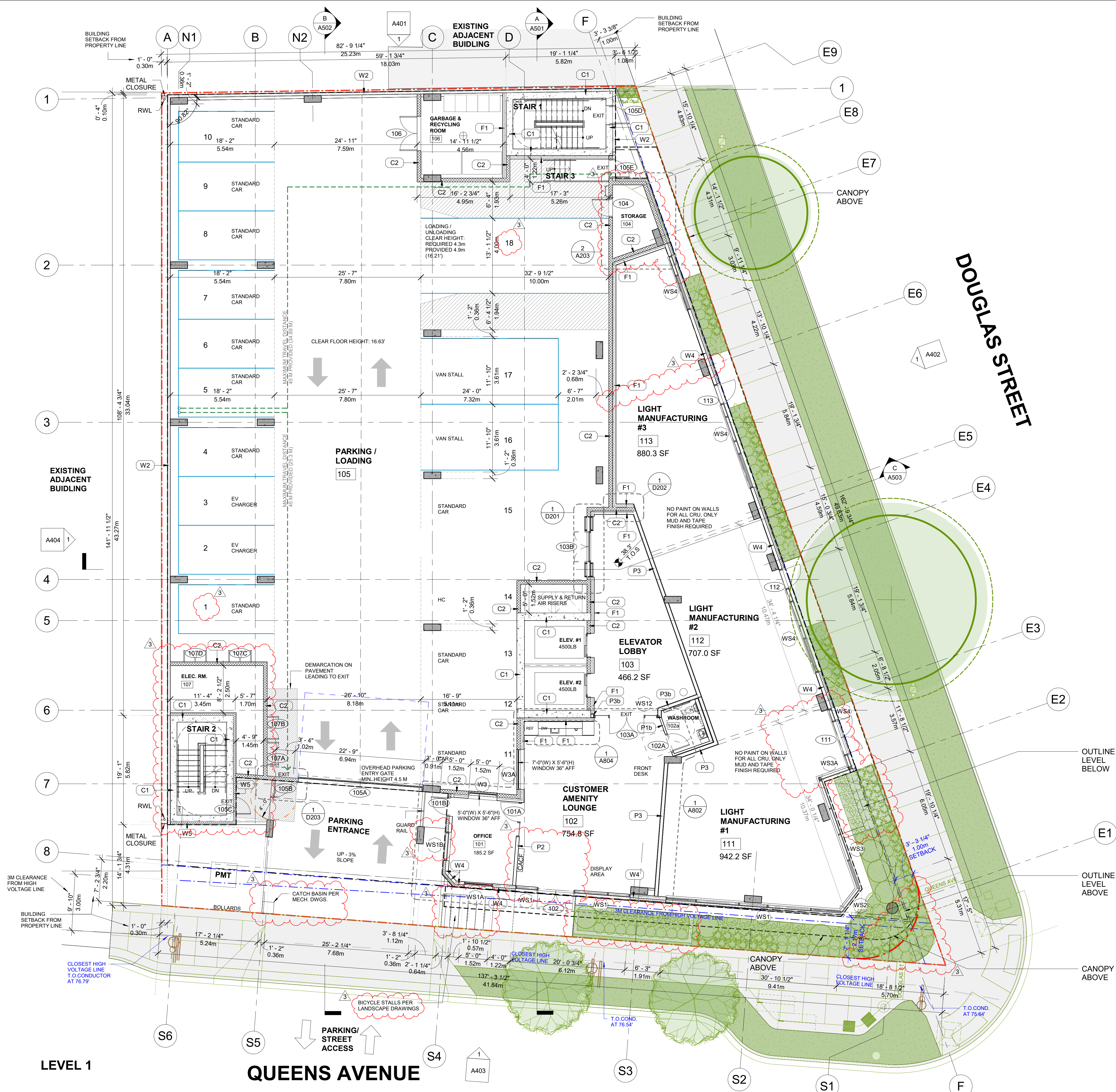
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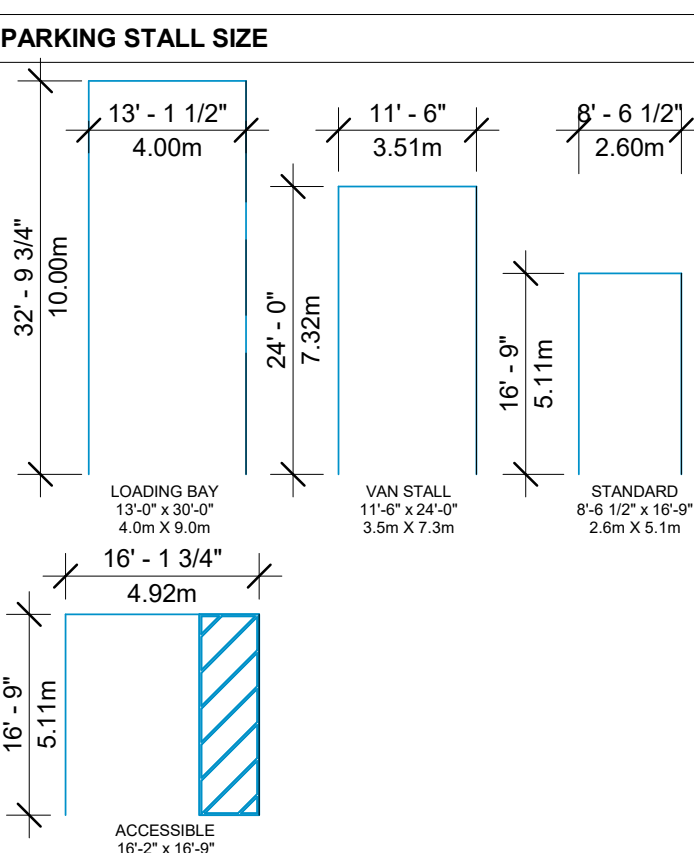
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MECHANICAL MEZZANINE
SCALE 1/4"=1'-0"

- GENERAL NOTES**
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 - REFER TO CIVIL DRAWINGS FOR SITE DRAINAGE AND GRADING INFORMATION.
 - REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR MECHANICAL & ELECTRICAL RELATED ITEMS.
 - CRU LAYOUTS ARE SCHEMATIC ONLY. DASHED LINES INDICATE POTENTIAL FUTURE TENANT IMPROVEMENTS REQUIRING FUTURE SEPARATE PERMITS.



- PARKADE NOTES**
- ALL PARKING, LOADING & BICYCLE STG AS PER CITY OF VICTORIA BY-LAW.
 - SECTION 2.2 SCHEDULE C ZONING BY-LAW (80-159). MINIMUM WIDTHS OF 2.7M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON THE SIDE; MINIMUM WIDTHS OF 3.0M WHERE THE PARKING SPACE ABUTS AN OBSTRUCTION ON BOTH SIDES; AND

- LEGEND - GRADING**
- XXX.XX' - EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
 - XXX.XXm - VALUE IN METERS
 - XXX.XX' - DESIGN ELEVATION (interpolated)
 - XXX.XX' - T.O. SLAB GRADE
 - XXX.XX' - TOP OF SLAB (or as noted in tag)
 - XXX.XX' - T.O. CURB GRADE
 - XXX.XX' - TOP OF CURB (or as noted in tag)
 - XXX.XX' - T.O. FINISH SLAB GRADE
 - XXX.XX' - TOP OF FINISH SLAB (or as noted in tag)

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| 6 | REISSUED FOR BP | JUL-05-2024 |
| 7 | ISSUED FOR TENDER | JUL-19-2024 |
| 8 | REISSUED FOR BP | OCT-17-2024 |
| 9 | BCH COORDINATION | OCT-22-2024 |
| 10 | ISSUED FOR DDP REVIEW | JUN-23-2025 |

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

LEVEL 1 PLAN

SEAL

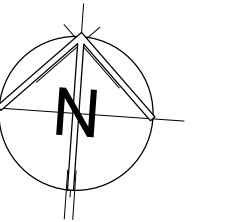
DRAWING NO. REVISION
3

A203

DATE 23/03/10
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| NO. | DESCRIPTION | DATE |
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| 1 | REISSUED FOR BP | JUL-05-2024 |
| - | ISSUED FOR TENDER | JUL-19-2024 |
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

LEVEL 2 PLAN

SEAL

N.B. LOCKER LAYOUT FOR REFERENCE ONLY

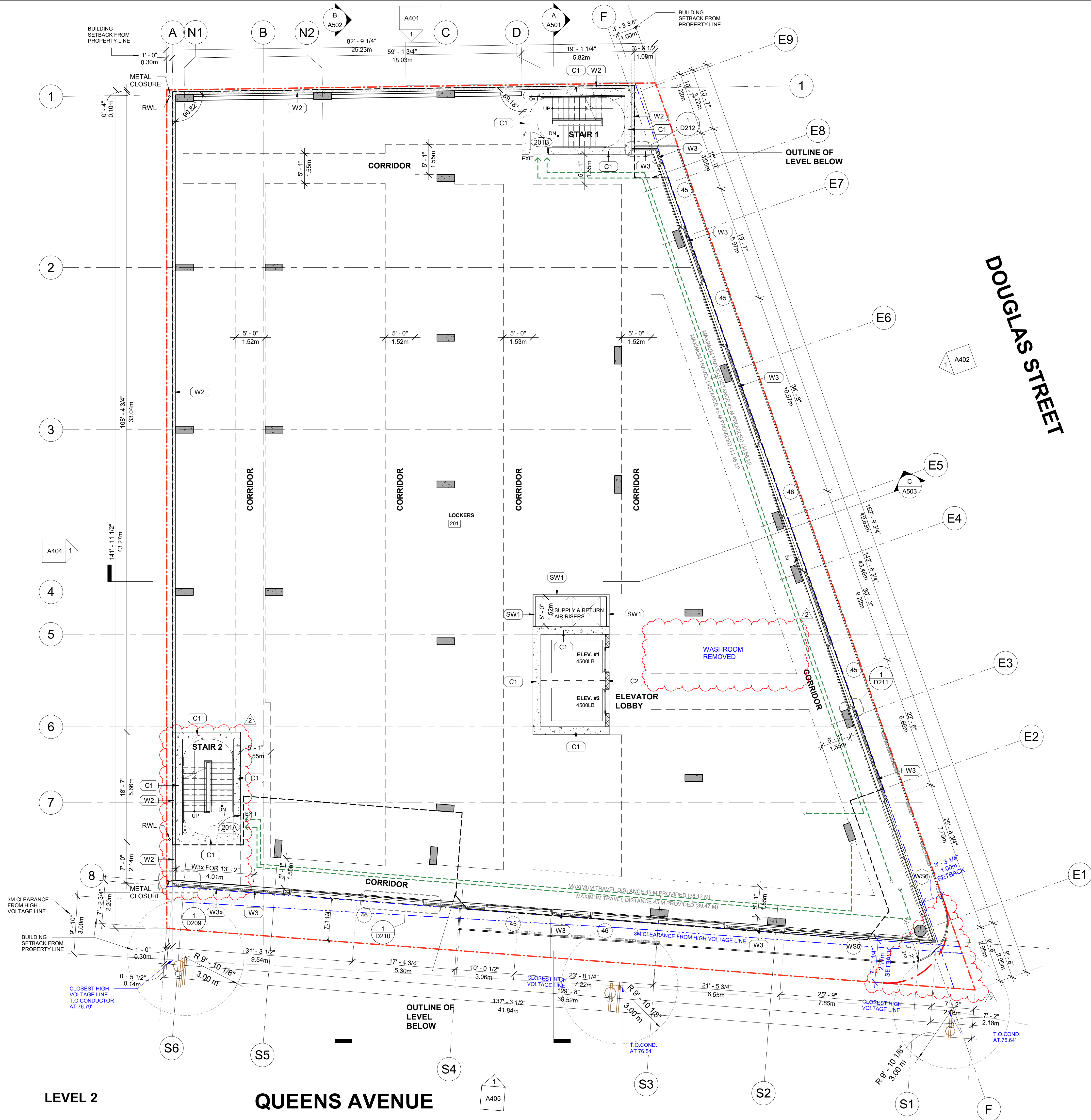
GENERAL NOTES

- REFER TO OWNER SUPPLIED SITE SURVEY.
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2

A204

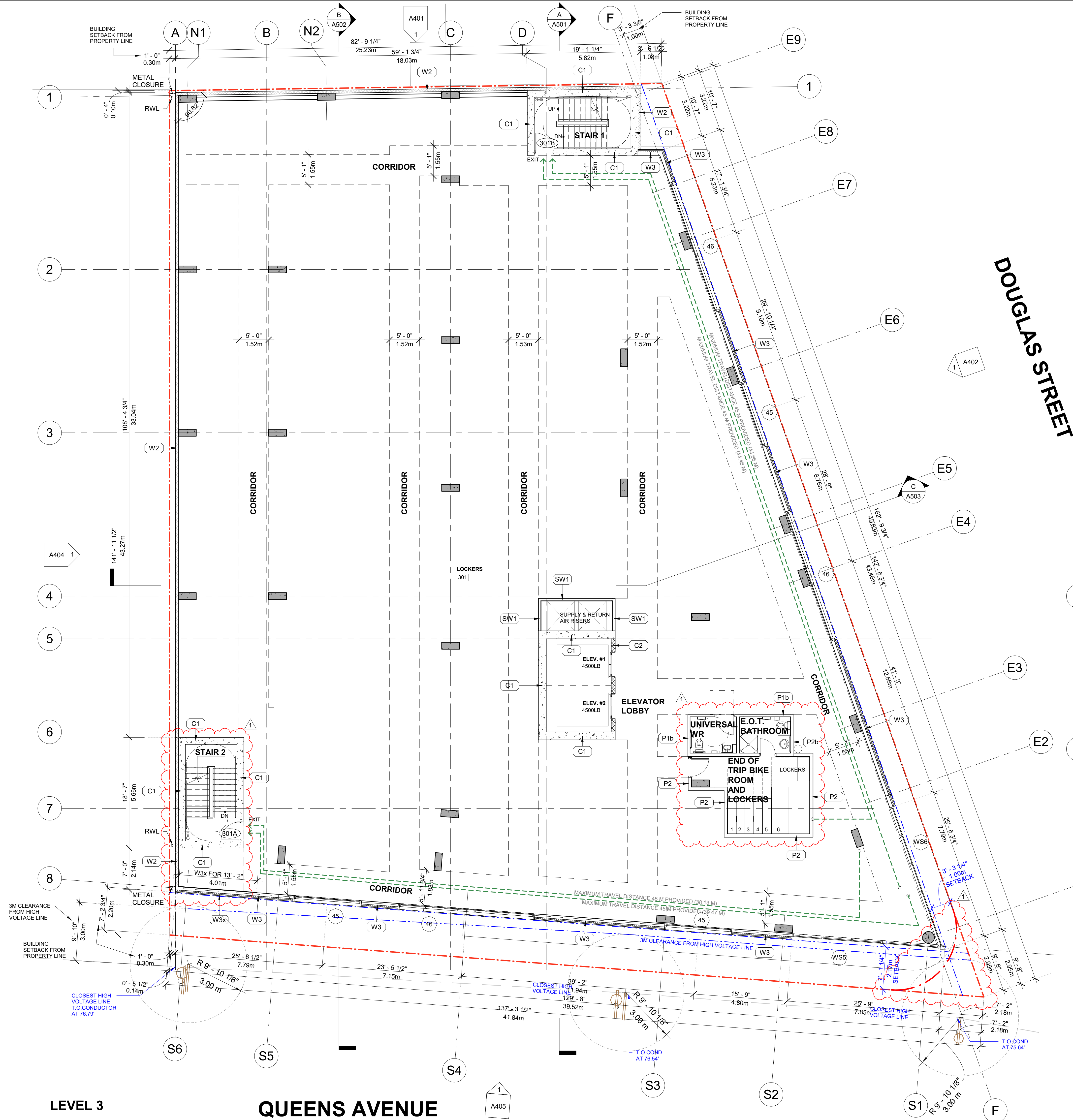
DATE 23/03/10
SCALE 1/8" = 1'-0"
DRAWN IT
CHECKED HB



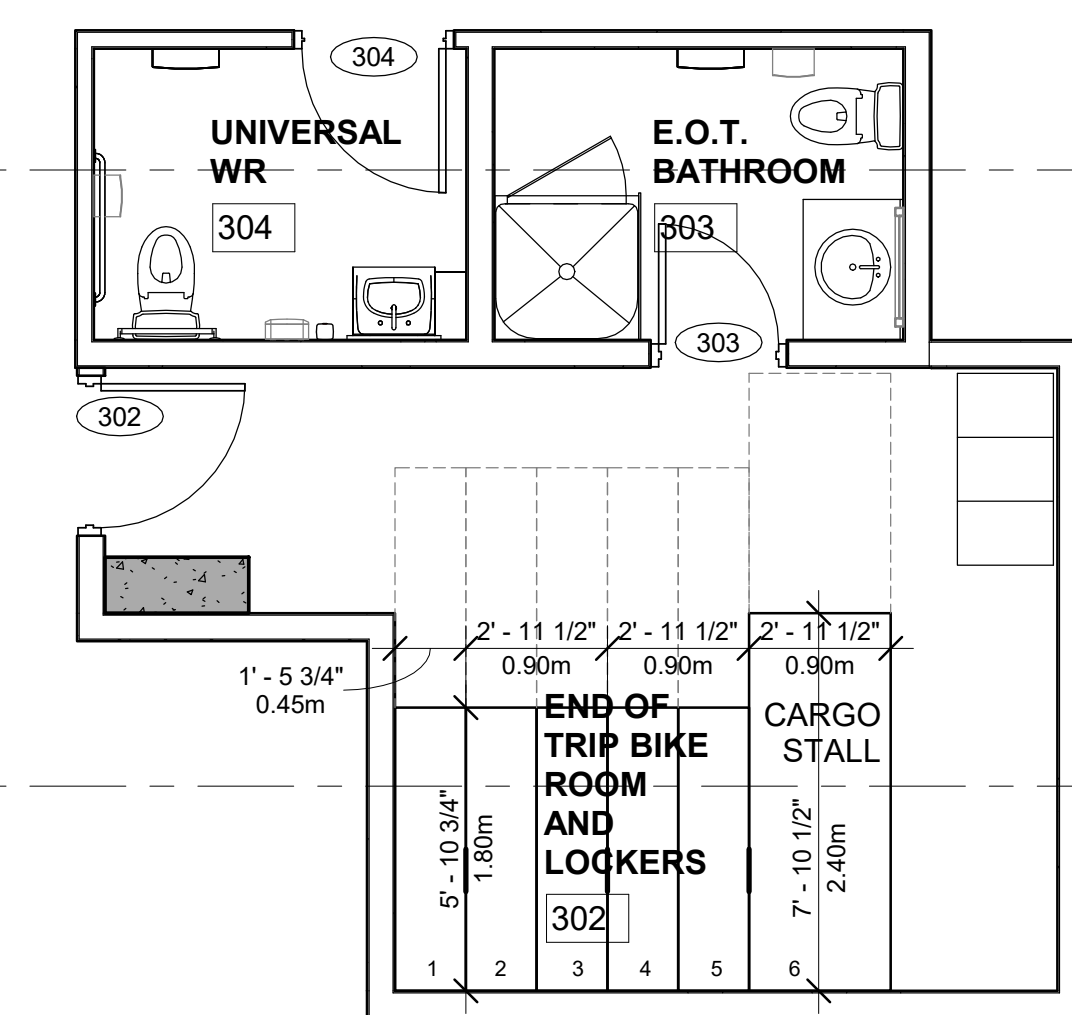
LEVEL 2

QUEENS AVENUE

DOUGLAS STREET



DOUGLAS STREET



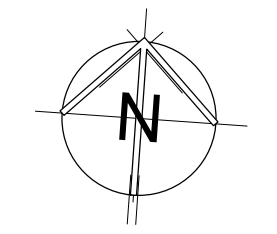
BIKE STORAGE ENLARGEMENT PLAN

SCALE 1/4"=1'-0"

- N.B. LOCKER LAYOUT FOR REFERENCE ONLY
- GENERAL NOTES**
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

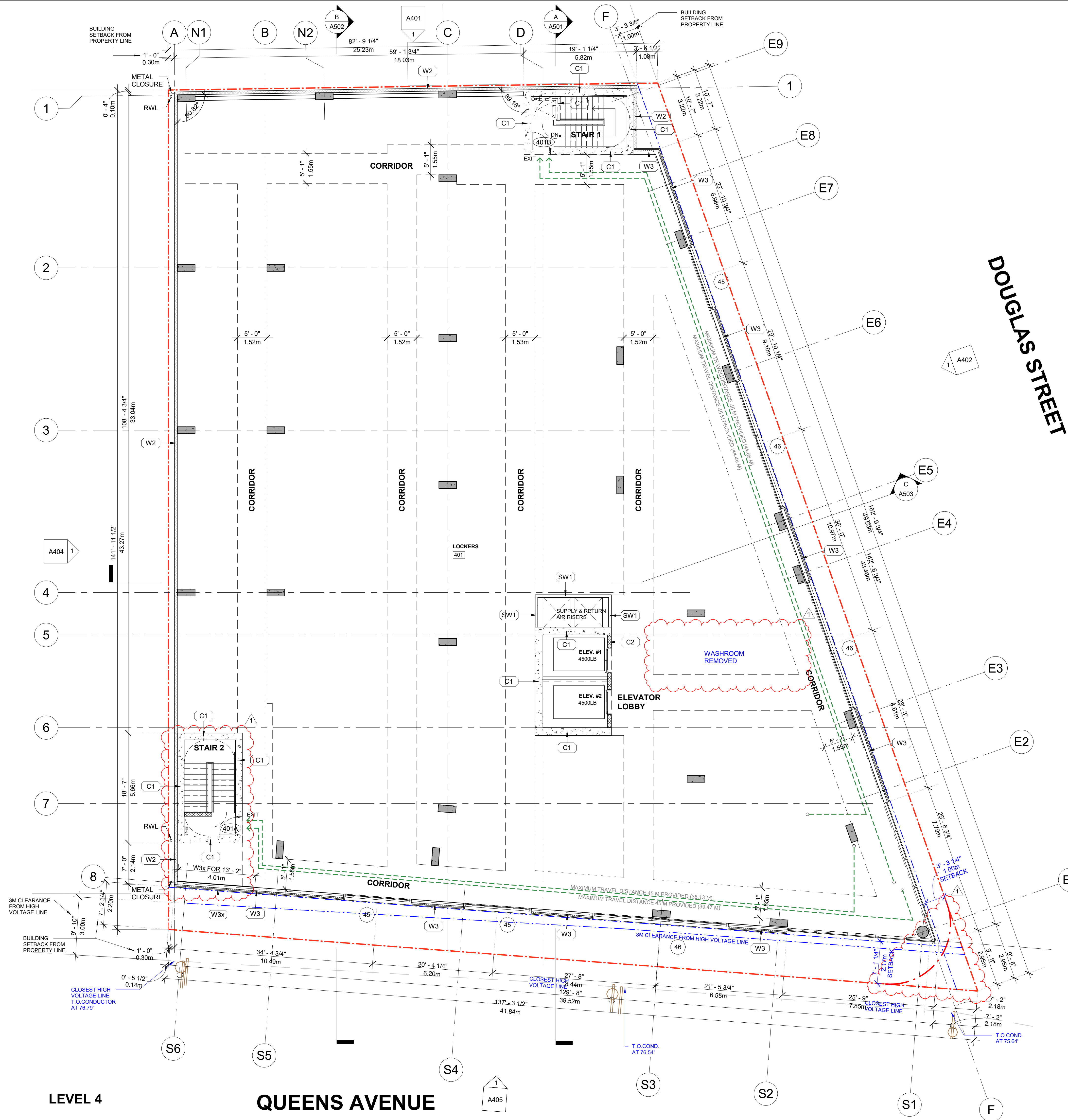
DRAWING TITLE LEVEL 3 PLAN

SEAL

DRAWING NO. REVISION 1

A205

DATE 23/03/10
SCALE 1/8" = 1'-0"
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

LEVEL 4 PLAN

SEAL

N.B. LOCKER LAYOUT FOR REFERENCE ONLY

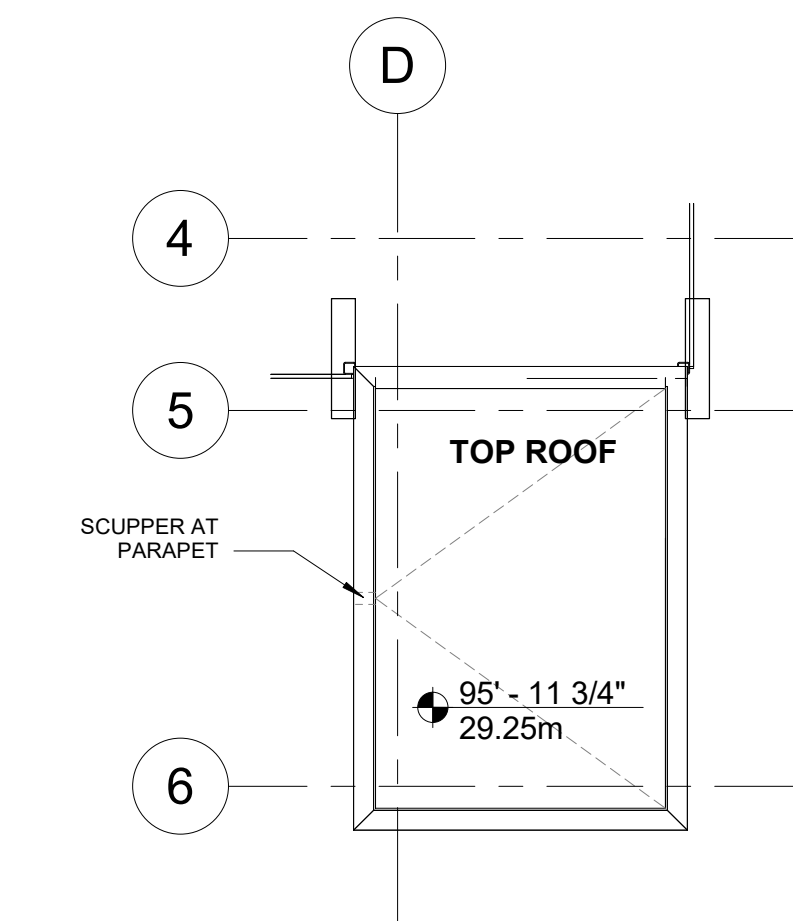
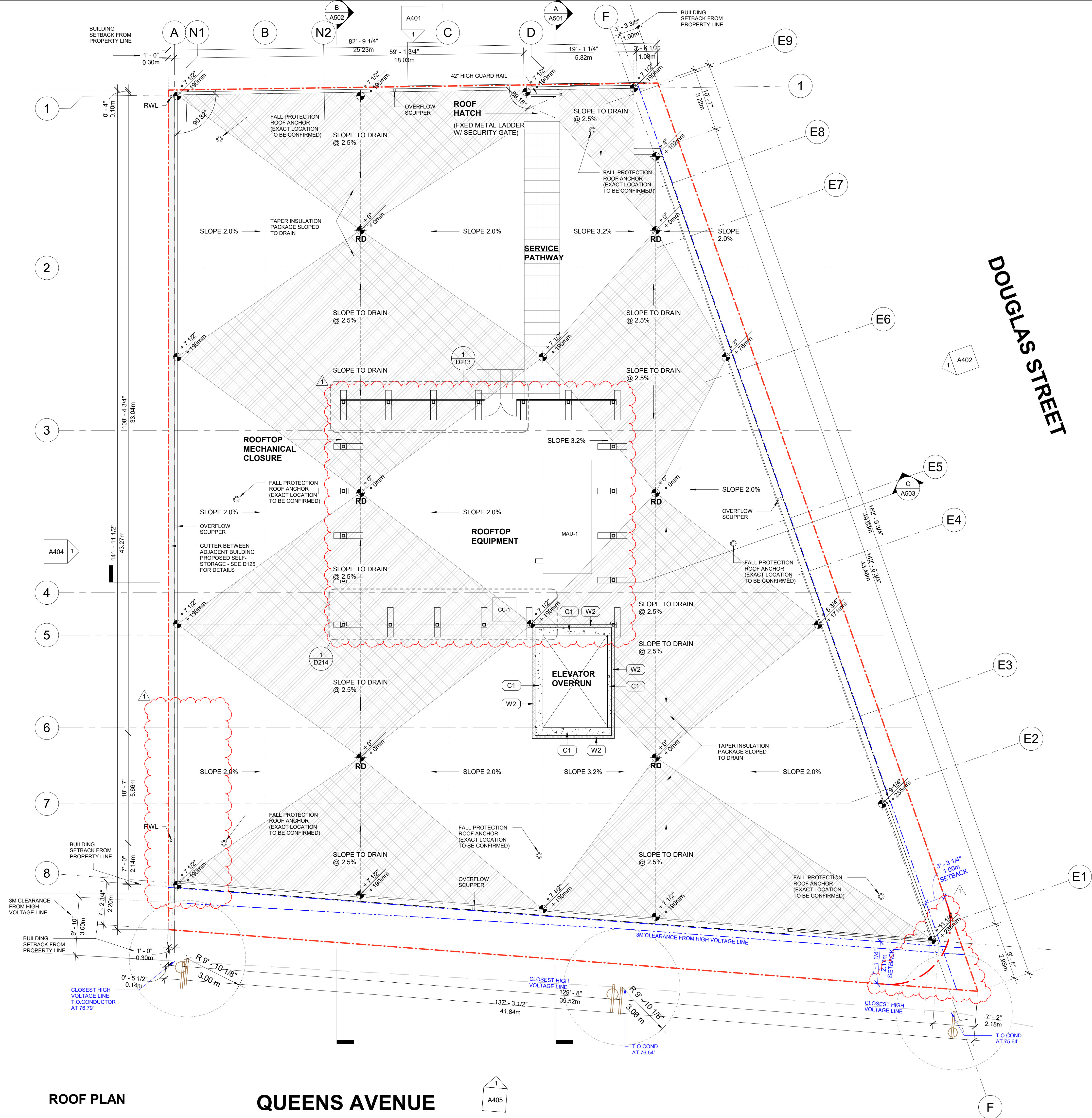
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A206

DATE 23/03/10
SCALE 1/8" = 1'-0"

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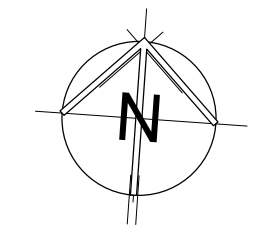
2 T.O. ROOF - Top Roof
1/8" = 1'-0"

- GENERAL NOTES**
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- LEGEND - GRADING**
- XXX.XX' - EXISTING ELEVATIONS PROVIDED BY LAND SURVEYOR
 - XXX.XXm - VALUE IN METERS
 - XXX.XX' - DESIGN ELEVATION (interpolated)
 - XXX.XX' - T.O. SLAB GRADE
 - XXX.XX' - TOP OF SLAB (or as noted in tag)
 - XXX.XX' - T.O. CURB GRADE
 - XXX.XX' - TOP OF CURB (or as noted in tag)
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 - XXX.XX' - TOP OF FINISH SLAB (or as noted in tag)

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE
ROOF PLAN

SEAL

DRAWING NO. REVISION
1

A207

DATE 23/03/10
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

ELEVATION

SEAL

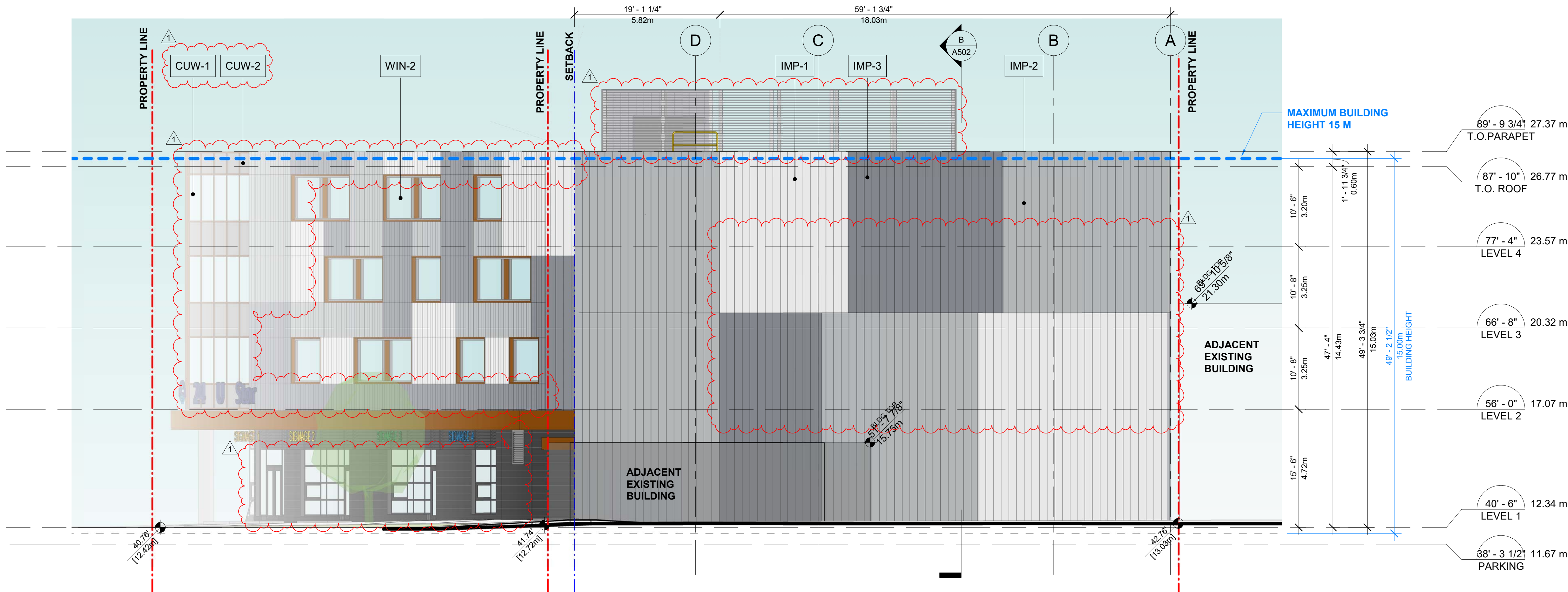
DRAWING NO. REVISION

1

A401

DATE 23/03/10 DRAWN IT

SCALE 1/8" = 1'-0" CHECKED HB



NORTH ELEVATION

ELEVATION KEYNOTE LEGEND

| ITEM | | COLOUR/FINISH | ITEM | | COLOUR/FINISH |
|-------|---|---|-------|---|--|
| CON-1 | CONCRETE | LIGHT GRAY | LOU-1 | LOUVER | COLOR TO MATCH ADJACENT MATERIAL |
| CUW-1 | CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | TO MATCH KAWNEER DARK BRONE - FINISH #40 | MCL-1 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN REGAL WHITE |
| CUW-2 | SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40 | MCL-2 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN DOVE GRAY |
| DOR-1 | INSULATED EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-3 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN WHEATHERED ZINC |
| DOR-2 | EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-4 | METAL CLADDING - VICWEST - CL 400 | COLOR TO MATCH VICWEST BLACK - 56068 |
| DOR-3 | INSULATED DOOR WITH CLEAR GLAZING | CLEAR ANODIZED ALUMINUM | SOF-1 | SOFFIT - PERFORATED METAL | COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST |
| IMP-1 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN REGAL WHITE | CAN-1 | METAL CANOPY CLADDING | COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST |
| IMP-2 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN DOVE GRAY | OHS-1 | OVERHEAD SECURITY GATE | POWDER COATED KINGSPAN DOVE GRAY |
| IMP-3 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN WHEATHERED ZINC | SCR-1 | PERFORATED METAL MESH SYSTEM - ROOFTOP | COLOR - ANODIZED ALIUMINUM |
| WIN-1 | ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT | COLOUR TO MATCH VICWEST BLACK - 56068 | SGN-1 | SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW | DETAL DESIGN BY SIGNAGE CONSULTANT |
| WIN-2 | ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION | FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST | | | |
| WIN-3 | ALUMINUM WINDOW WITH INSULATED SPANDREL PANELS IN PREFINISHED ALUMINUM FRAME EXTENSION | FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST | | | |

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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

ELEVATION

SEAL

DRAWING NO. REVISION

A402

DATE 23/03/10 DRAWN IT

SCALE 1/8" = 1'-0" CHECKED HB



| ELEVATION KEYNOTE LEGEND | | | | | |
|--------------------------|---|---|-------|---|--|
| ITEM | | COLOUR/FINISH | ITEM | | COLOUR/FINISH |
| CON-1 | CONCRETE | LIGHT GRAY | LOU-1 | LOUVER | COLOR TO MATCH ADJACENT MATERIAL |
| CUW-1 | CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | TO MATCH KAWNEER DARK BRONE - FINISH #40 | MCL-1 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN REGAL WHITE |
| CUW-2 | SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40 | MCL-2 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN DOVE GRAY |
| DOR-1 | INSULATED EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-3 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN WHEATHERED ZINC |
| DOR-2 | EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-4 | METAL CLADDING - VICWEST - CL 400 | COLOR TO MATCH VICWEST BLACK - 56068 |
| DOR-3 | INSULATED DOOR WITH CLEAR GLAZING | CLEAR ANODIZED ALUMINUM | SOF-1 | SOFFIT - PERFORATED METAL | COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST |
| IMP-1 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN REGAL WHITE | CAN-1 | METAL CANOPY CLADDING | COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST |
| IMP-2 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN DOVE GRAY | OHS-1 | OVERHEAD SECURITY GATE | POWDER COATED KINGSPAN DOVE GRAY |
| IMP-3 | INSULATED METAL PANEL, MF SERIES, SHADOW LINE (WALL FIRE RESISTIVE RATING: 2 HOURS) | COLOUR TO MATCH KINGSPAN WHEATHERED ZINC | SCR-1 | PERFORATED METAL MESH SYSTEM - ROOFTOP | COLOR - ANODIZED ALIUMINUM |
| WIN-1 | ALUMINUM STOREFRONT WINDOW WITH INSULATED CLEAR GLAZING UNIT | COLOUR TO MATCH VICWEST BLACK - 56068 | SGN-1 | SIGNS BY SIGNAGE COMPANY IN COMPLIANCE WITH VICTORIA SIGN BYLAW | DETAL DESIGN BY SIGNAGE CONSULTANT |
| WIN-2 | ALUMINUM WINDOW WITH INSULATED CLEAR GLAZING UNIT IN PREFINISHED ALUMINUM FRAME EXTENSION | FRAME: COLOUR TO MATCH KINGSPAN DOVE GRAY FRAME EXTENTION: SHERWIN WILLIAMS - SW 9100 - UMBER RUST | | | |
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PROJECT NO. 21500

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Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

ELEVATION

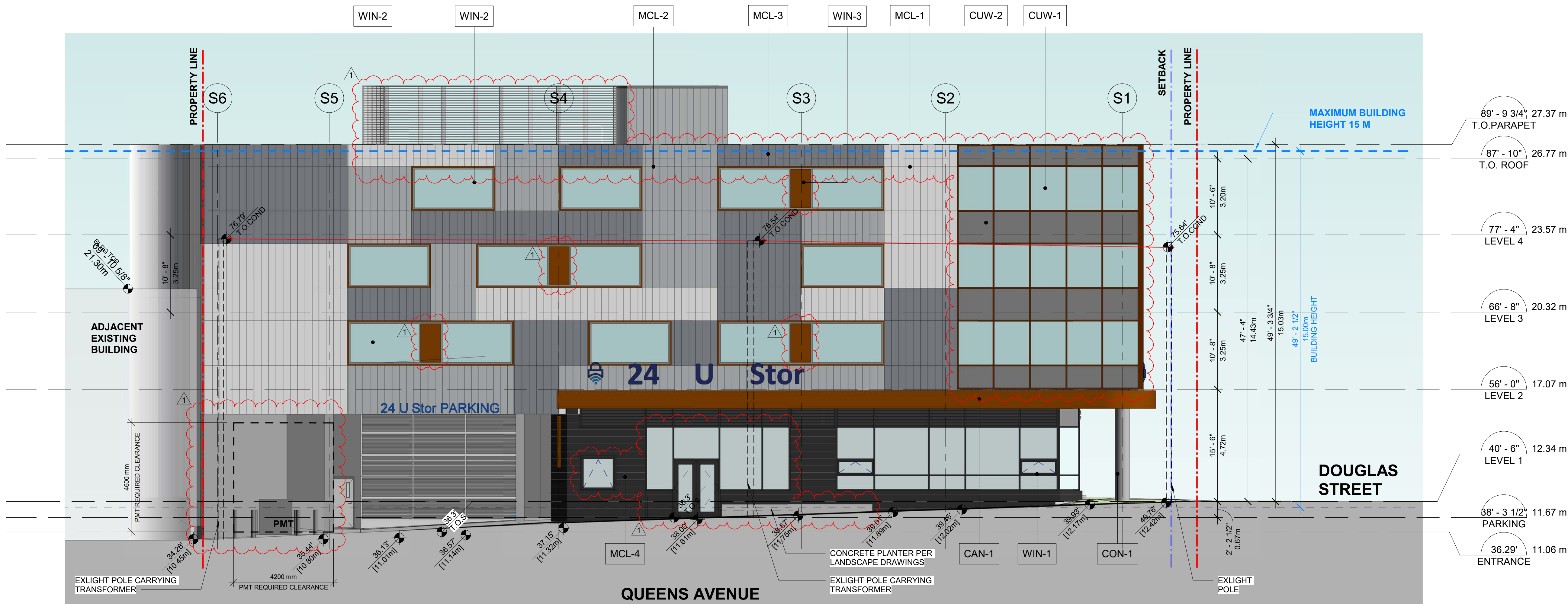
SEAL

DRAWING NO. REVISION

A403

DATE 23/03/10 DRAWN IT

SCALE 1/8" = 1'-0" CHECKED HB



SOUTH ELEVATION

ELEVATION KEYNOTE LEGEND

| ITEM | | COLOUR/FINISH | ITEM | | COLOUR/FINISH |
|-------|---|---|-------|---|--|
| CON-1 | CONCRETE | LIGHT GRAY | LOU-1 | LOUVER | COLOR TO MATCH ADJACENT MATERIAL |
| CUW-1 | CLEAR SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | TO MATCH KAWNEER DARK BRONE - FINISH #40 | MCL-1 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN REGAL WHITE |
| CUW-2 | SPANDREL SEALED GLAZING UNITS IN THERMALLY BROKEN CURTAIN WALL FRAMES | GLASS: LIGHT GRAY / FRAME: KAWNEER DARK BRONE - FINISH #40 | MCL-2 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN DOVE GRAY |
| DOR-1 | INSULATED EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-3 | METAL CLADDING - VICWEST - CL 400 | COLOUR TO MATCH KINGSPAN WHEATHERED ZINC |
| DOR-2 | EXTERIOR METAL DOOR | COLOR TO MATCH ADJACENT DOOR | MCL-4 | METAL CLADDING - VICWEST - CL 400 | COLOR TO MATCH VICWEST BLACK - 56068 |
| DOR-3 | INSULATED DOOR WITH CLEAR GLAZING | CLEAR ANODIZED ALUMINUM | SOF-1 | SOFFIT - PERFORATED METAL | COLOR TO MATCH SHERWIN WILLIAMS - SW 9100 - UMBER RUST |
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2300 Douglas Street, Victoria,
BC

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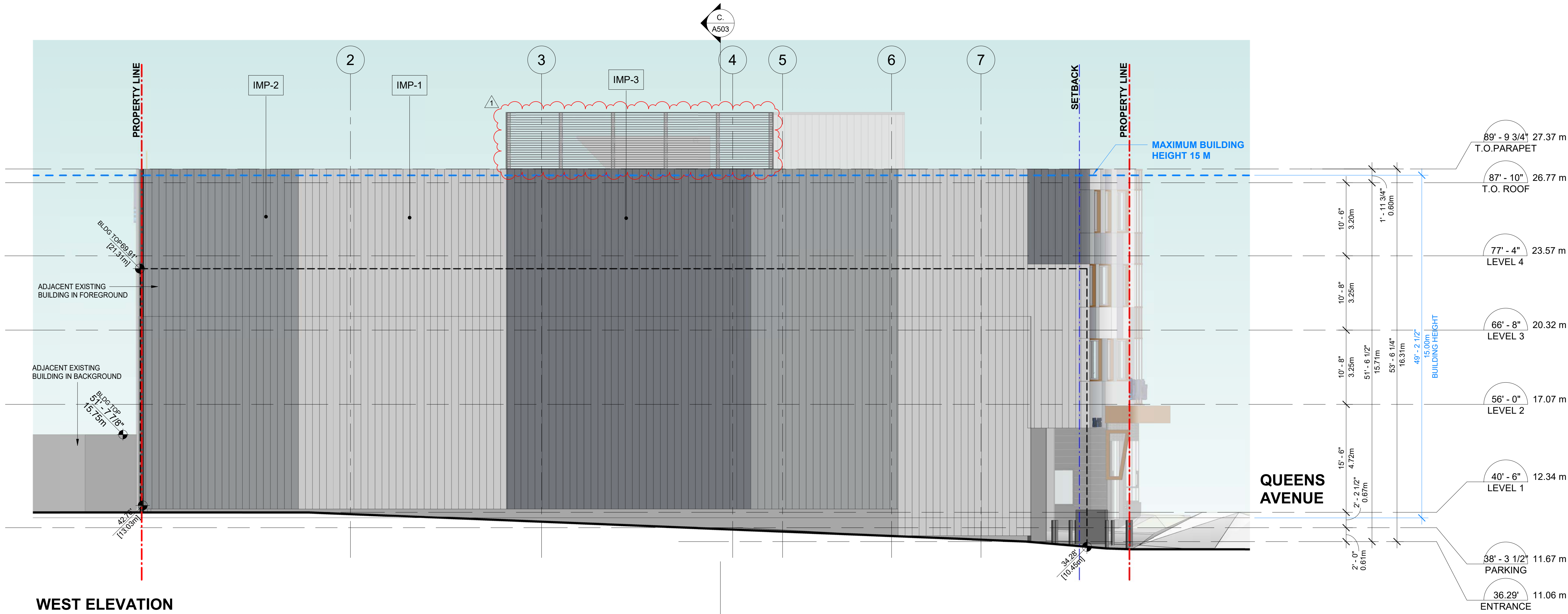
ELEVATION

SEAL

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A404

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DRAWN IT
CHECKED HB



| ELEVATION KEYNOTE LEGEND | | | | | |
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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

PARTIAL ELEVATIONS

SEAL

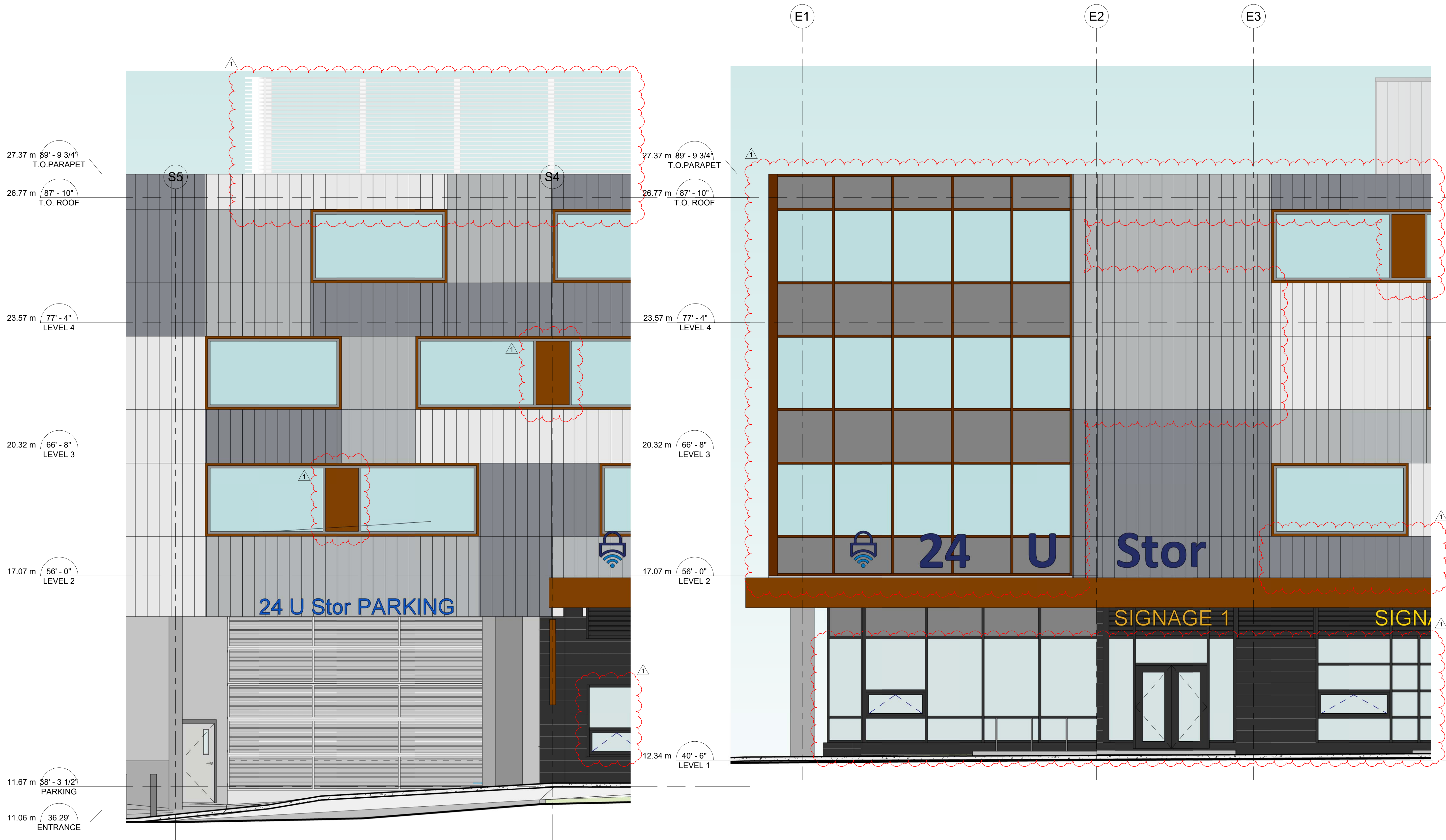
DRAWING NO. REVISION

1

A405

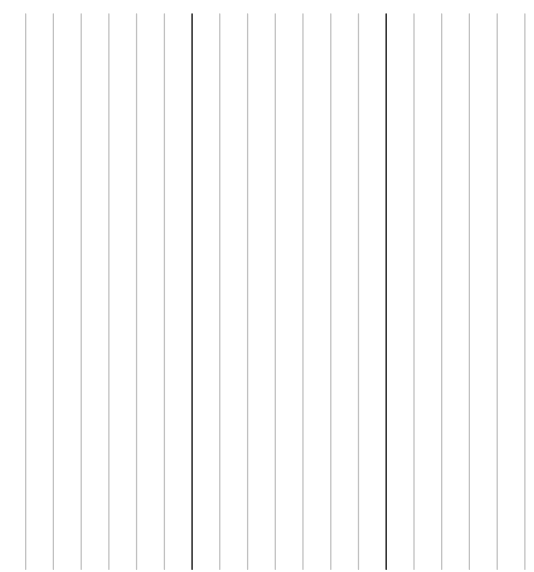

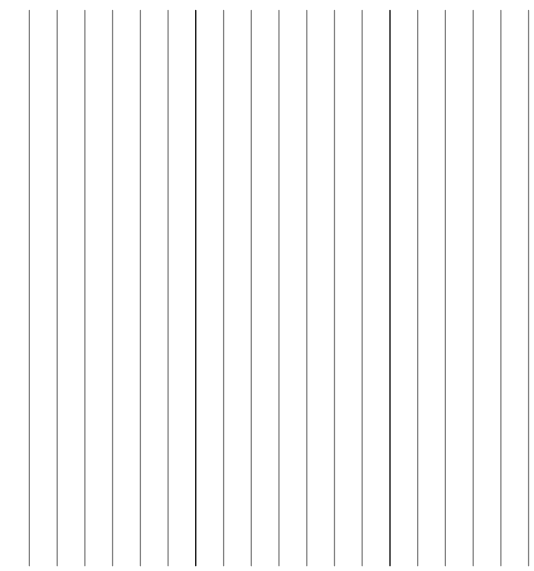

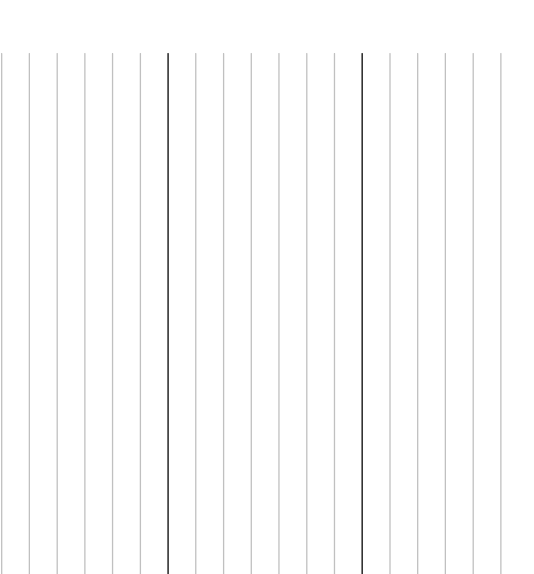


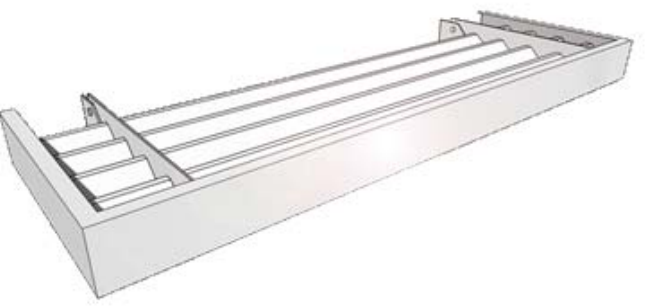
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SCALE 1/4" = 1'-0"

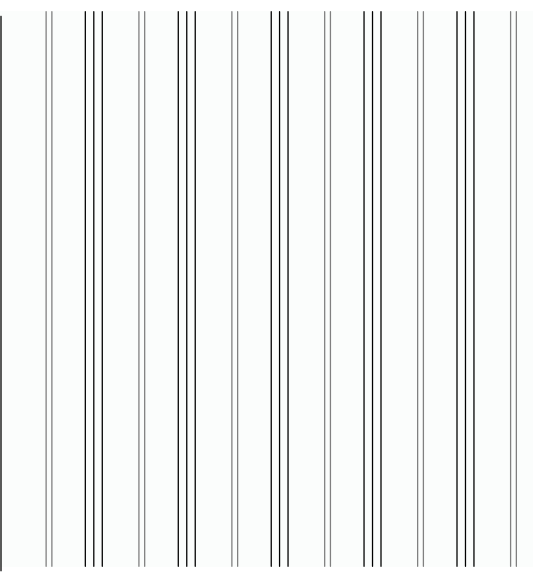

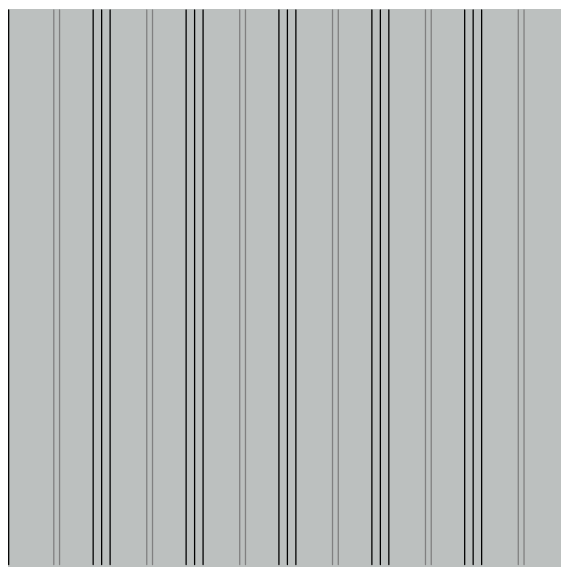
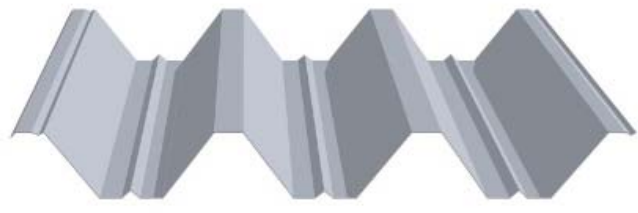
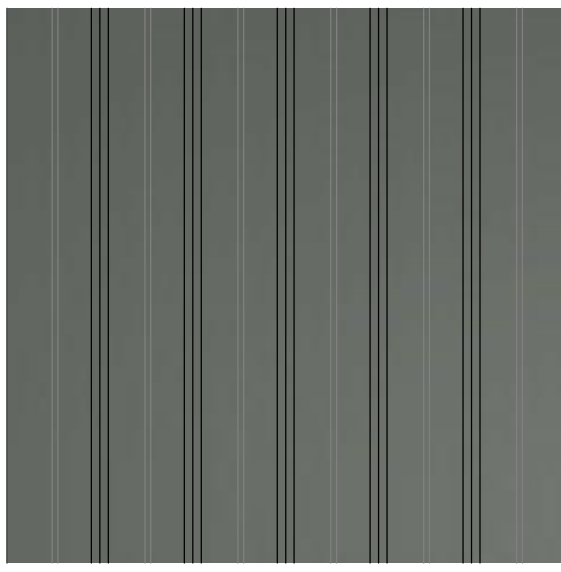
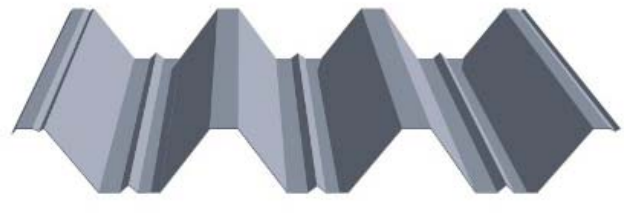
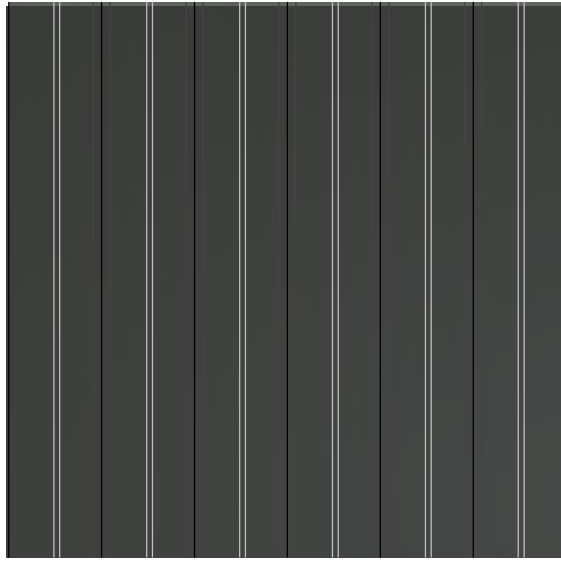

DRAWN IT
CHECKED HB



1 SOUTH PARTIAL ELEVATION - QUEENS AVENUE
1/4" = 1'-0"

2 EAST PARTIAL ELEVATION - DOUGLAS STREET
1/4" = 1'-0"

| ITEM | COLOUR FINISH / IMAGE | SYSTEM/PATTERN |
|--------|---|---|
| IMP -1 |  |  |
| IMP -2 |  |  |
| IMP -3 |  |  |
| SHD-1 |  |  |

| ITEM | COLOUR FINISH / IMAGE | SYSTEM |
|-------|---|---|
| MCL-1 |  |  |
| MCL-2 |  |  |
| MCL-3 |  |  |
| MCL-4 |  |  |

| ITEM | COLOUR FINISH / IMAGE | SYSTEM |
|---------------|---|--|
| CON-1 |  |  |
| WIN-2 |  |  |
| CUW-1 |  |  |
| SOF-1 & CAN-1 |  | |

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE MATERIAL LEGEND

SEAL

DRAWING NO. REVISION 1

A406

DATE 23/03/10 DRAWN IT
SCALE N/A CHECKED HB

| REVISIONS | | |
|-----------|-----------------------|-------------|
| NO. | DESCRIPTION | DATE |
| - | ISSUED FOR DP | MAR-25-2022 |
| - | REISSUED FOR DP | JUN-16-2022 |
| - | REISSUED FOR DP | MAR-10-2023 |
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SECTION A

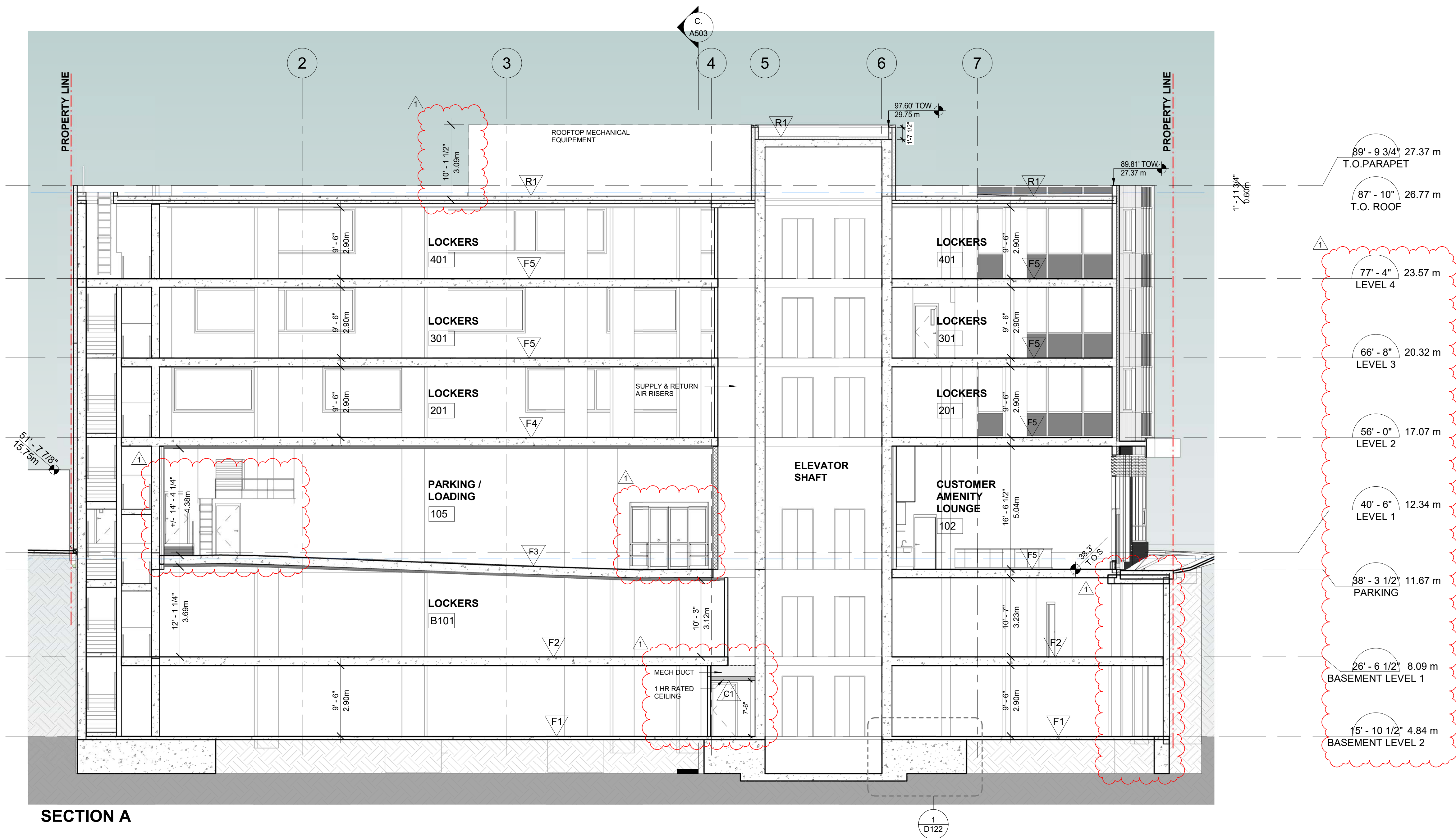
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A501

DATE 23/03/10
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CLIENT

BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage
Development
2300 Douglas Street, Victoria,
BC

DRAWING TITLE

SECTION B

SEAL

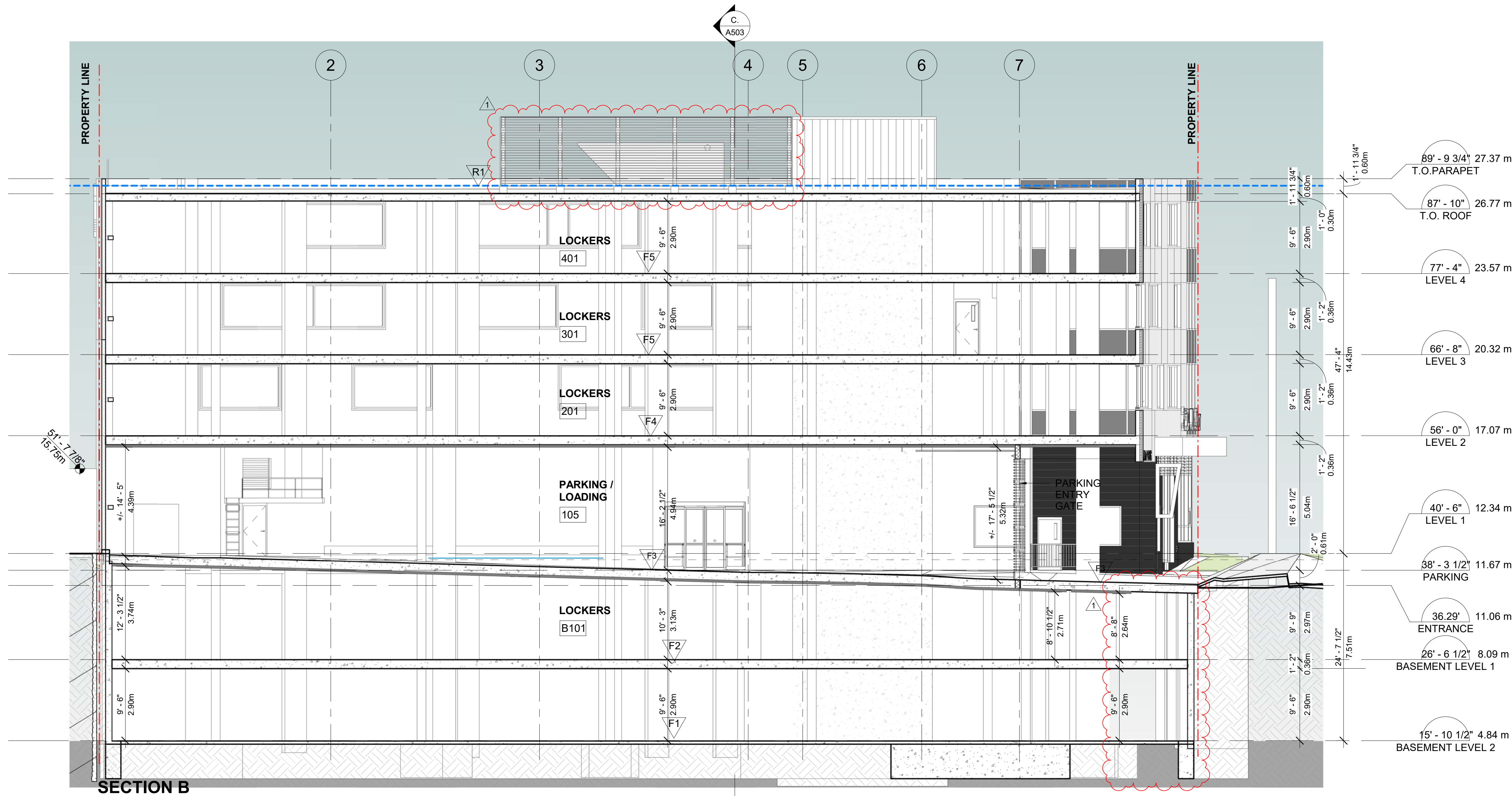
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PROJECT NO. 21500

PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

SECTION C

SEAL

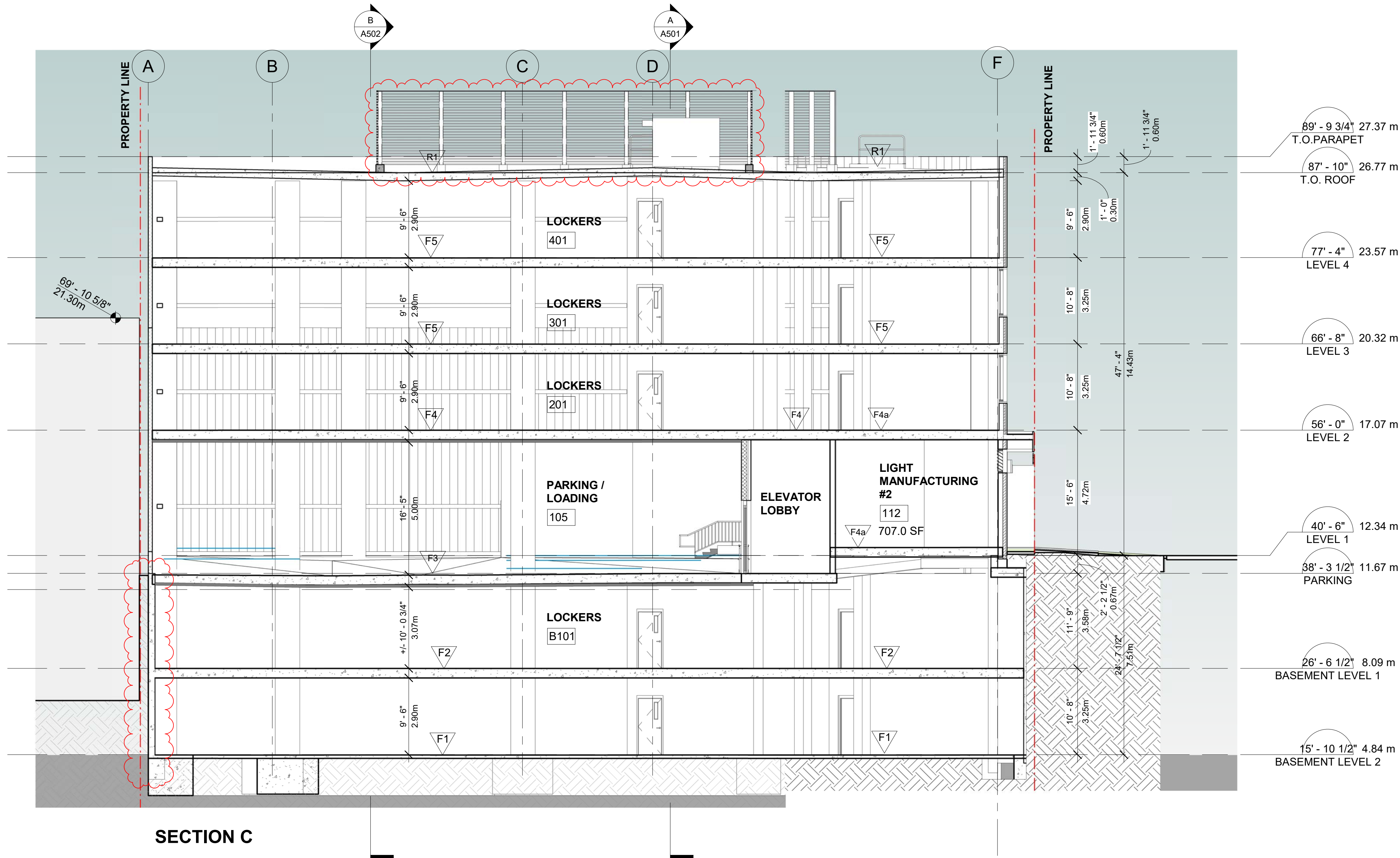
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FLOOR SCHEDULE

CONCRETE SLAB ON GRADE
NO REQUIRED FIRE RESISTANCE RATING

- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB ON GRADE PER STRUCT. DWGS
- CONT. 10 MIL POLYETHYLENE VAPOUR BARRIER c/w LAPPED AND TAPED SEAMS
- COMPACTED SUB-GRADE PER GEOTECHNICAL & STRUCTURAL RECOMMENDATIONS

TYPICAL SUSPENDED CONCRETE FLOOR (BASEMENT)
MIN. 3 HR FIRE RESISTANCE RATING BASED ON D-2.2 OF DIVISION B - APPENDIX D, TABLE D-2.2.1-A & TABLE 2.2.1-B BCBC 2018

- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB AS PER STRUCT. DWGS

INSULATED VEHICULAR TRAFFIC DECK
MIN. 1.5 HR FIRE RESISTANCE RATING BASED ON D-2.2 OF DIVISION B - APPENDIX D, TABLE D-2.2.1-A & TABLE 2.2.1-B BCBC 2018

- POLYURETHANE WATERPROOFING
- REINFORCED CONCRETE SLAB SLOPED TO DRAIN (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS® OR APPROVED ALTERNATE) 4" THICK TO ACHIEVE R-16 VALUE

EFFECTIVE R-VALUE : R16

SUSPENDED CONCRETE FLOOR
MIN. 1.5 HOUR FIRE RESISTANCE RATING BASED ON D-2.2 OF DIVISION B - APPENDIX D, TABLE D-2.2.1-A & TABLE 2.2.1-B BCBC 2018

- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS.)
- CONT. SPRAY APPLIED NON-COMBUSTIBLE THERMAL INSULATION (MONOGLAS® OR APPROVED ALTERNATE) 4" THICK TO ACHIEVE R-16 VALUE

EFFECTIVE R-VALUE : R16

SUSPENDED CONCRETE FLOOR (ABOVE & BELOW CRU)
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON D-2.2 OF DIVISION B - APPENDIX D, TABLE D-2.2.1-A & TABLE 2.2.1-B BCBC 2018

- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS.)

TYPICAL SELF-STORAGE FLOOR ASSEMBLY
MIN. 1 HR FIRE RESISTANCE RATING BASED ON D-2.2 OF DIVISION B - APPENDIX D, TABLE D-2.2.1-A & TABLE 2.2.1-B BCBC 2018

- FLOOR FINISHING PER ROOM FINISH SCHEDULE
- REINFORCED CONCRETE SLAB (REFER TO STRUCTURAL DWGS.)

ROOF & DECK ASSEMBLY SCHEDULE

ROOF ASSEMBLY OVER STORAGE (SEMI-HEATED)
NO REQUIRED FIRE RESISTANCE RATING

- 2 PLY OF TORCH ON SBS ROOFING MEMBRANE; CLASS A, B OR C RATING TO CAN/ULC-S107
- 1/4" DENSDECK OVERLAY PROTECTION BOARD; FULLY ADHERED TO RIGID INSULATION
- 4" POLYISOCYANURATE RIGID INSULATION W/ FIBERGLASS FACERS; FULLY ADHERED IN 2 LAYERS WITH OFFSET JOINTS
- CONTINUOUS SELF-ADHERED VAPOUR RETARDER MEMBRANE
- REINFORCED CONCRETE SLAB SLOPED TO DRAIN (REFER TO STRUCTURAL DWGS.)
- (NOTE: ENSURE ROOF ASSEMBLY IS CAPABLE TO WITHSTAND REQUIRED WIND UPLIFT FOR THE BUILDING LOCATION)

EFFECTIVE R-VALUE : R20

VERTICAL SHAFT WALL SCHEDULE

FULL HEIGHT VERTICAL SHAFT WALL ASSEMBLY
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W452, SYSTEM 'A'

STC RATING = 39

- 1" G.W.B. SHAFTLINER, FITTED IN 'H' FLANGE
- MIN. 25ga. 4" 'C'-H' STUD @ MAX 24" O.C.
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1 LAYER OF 5/8" FIRECODE 'X' G.W.B.

FURRED-OUT WALL SCHEDULE

FURRED-OUT CONCRETE & CMU WALL

- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 3" FOIL-FACED POLYISO RIGID INSULATION WITH TAPED JOINTS (VAPOUR BARRIER)
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

EFFECTIVE R-VALUE: R18

FURRED-OUT CONCRETE & CMU WALL

- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE)
- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM

EFFECTIVE R-VALUE: R13

FURRED-OUT CONCRETE & CMU WALL

- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- +/- 1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.

FURRED-OUT CONCRETE & CMU WALL

- MIN. 8" CONCRETE OR CMU WALL (THICKNESS AS NOTED ON PLANS)
- +/- 1" SPACE BETWEEN STUD & CONC.
- MIN. 25ga. 3 3/8" STEEL STUDS @ MAX. 24" O.C.
- 1/2" G.W.B.
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

CONCRETE & CMU WALL SCHEDULE

CONCRETE WALL
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON D-2.1 OF DIVISION B - APPENDIX D, BCBC 2018

- REINFORCED CONCRETE WALL WITH THICKNESS AS INDICATED ON PLANS (MIN. 8")
- PAINT FINISH ON BOTH SIDES U.N.O.

CONCRETE BLOCK WALL
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. U906

- NOMINAL 8" REINFORCED CONC. BLOCK WITH LISTING (PAINT FINISH BOTH SIDES IF EXPOSED UNLESS NOTED OTHERWISE)

MECHANICAL CEILING ENCLOSURE

CEILING ENCLOSURE
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN UL U415 UL SYSTEM A

STC RATING = 33

- 1" G.W.B. SHAFTLINER (UL TYPE SLX), FITTED IN 'H' FLANGE
- MIN. 20ga. 2-1/2" 'C'-H' STUD @ MAX 24" O.C.
- 1 LAYER OF 5/8" FIRECODE 'X' G.W.B.

INTERIOR PARTITION SCHEDULE

DIMENSIONS ARE TO STUD FACE, UNLESS MARKED OUT-TO-OUT (o/o)

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 38

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB*
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB*

*NOTE: GWB MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 48

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 38

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB*
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB*

*NOTE: GYPSUM MAY TERMINATE 6" ABOVE AN ADJACENT SUSPENDED CEILING

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
NO REQUIRED FIRE RESISTANCE RATING

STC RATING = 51

- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 1/2" GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- 0.1" FIBERGLASS REINFORCED PANEL (FRP) ON WET SIDE
- *NOTE: PROVIDE SMOKE SEAL FOR ALL 0-HR. FRR PARTITIONS.

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453

STC RATING = 45

- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 2 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453

STC RATING = 56

- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 24" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 2 LAYERS OF 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453 (THIS ASSEMBLY IS PROVIDED WHERE MIN. 3/4 HOUR F.R.R. IS REQUIRED)

STC RATING = 48

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 3 5/8" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453

STC RATING = 48

- SAME AS P4, EXCEPT NO SOUND ATTENUATING FIBREGLASS BATT INSULATION IN STUD SPACE REQUIRED

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453 (THIS ASSEMBLY IS PROVIDED WHERE MIN. 3/4 HOUR F.R.R. IS REQUIRED)

STC RATING = 51

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- SOUND ATTENUATING FIBREGLASS BATT INSULATION TO FILL STUD SPACE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB

FULL HEIGHT STEEL STUD INTERIOR PARTITION
MIN. 1 HOUR FIRE RESISTANCE RATING BASED ON ULC DESIGN No. W453

STC RATING = 38

- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB
- MIN. 25ga. 6" STEEL STUDS @ MAX 16" o/c TO u/s STRUCTURE
- 5/8" TYPE-'X' GYPSUM WALL BOARD TO u/s CONCRETE SLAB

EXTERIOR WALL GENERAL NOTES:

- MINIMUM BUILDING ENVELOPE THERMAL PERFORMANCE REQUIREMENTS ARE BASED ON CONFORMANCE WITH CLIMATE ZONE 5 REQUIREMENTS UNDER NECB PART 8. NOTE THAT BUILDING IS DESIGNED WITH BOTH "CONDITIONED" AND "UNCONDITIONED" SPACE AS DEFINED IN NECB PART 8. WITH PARKING AREA DESIGNATED AS "UNCONDITIONED" SPACE.
- WHERE PARTITIONS SEPARATE SEMI-HEATED AND CONDITIONED SPACES AS DEFINED IN NECB PART 8, THE FULL ASSEMBLY SHALL BE CONTINUOUS FOR FULL-HEIGHT AND ALL JOINTS SHALL BE SEALED.

FOUNDATION & EXTERIOR WALL SCHEDULE

FOUNDATION WALL (BLIND FORMED & UN-INSULATED)

PER STRUCT. DWGS.

- SHOT-CRETE SHORING (REFER TO GEOTECHNICAL AND STRUCTURAL DWGS.)
- CONT. COMPOSITE DRAIN MAT
- CARRIER SHEET ATTACHED TO DRAIN MAT
- SPRAY WATERPROOFING ON CARRIER SHEET; MIN. DRY THICKNESS 60MIL
- STRUCTURAL CONCRETE WALL PER STRUCT. DWGS.
- PAINT ON EXPOSED CONCRETE WALL

NOTE: FULLY REINFORCED ALSAN FLASHING REQUIRED FOR DOWEL PENETRATION DETAILING; PMMA LIQUID WATERPROOFING FOR PENETRATIONS THROUGH THE WALL. TIEBACK RODS FOR REINFORCEMENT CAGE THAT PENETRATE WATERPROOFING MEMBRANE TO BE STAINLESS STEEL OR OTHER DETAILING AS RECOMMENDED BY THE MAUFACTURER

FIRE RATED INSULATED METAL PANEL
MIN. 2 HR FIRE RESISTANCE RATING BASED ON CAN/ULC-S101 DESIGN NO. KIP/CWP 180-1 PER WARNOCK HERSEY INTERTEK

EFFECTIVE R-VALUE: R21.6 (PANEL ONLY)

- 6" MINERAL WOOL CORE INSULATED METAL PANEL UL-263, CAN/ULC-S101, CAN/ULC-S102 (Mineral Fiber Core)

EXTERIOR WALL WITH CORRUGATED METAL CLADDING

EFFECTIVE R-VALUE : R18 (T.B.C.)

- CORRUGATED METAL PANEL ON 7/8" HORIZONTAL FURRING CHANNELS
- 3" THERMALLY BROKEN ZEE GRIT OR CLIP SYSTEM INSTALLED VERTICALLY
- 2" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R7.5
- CONTINUOUS VAPOUR PERMEABLE WEATHER BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS SHEATHING
- MIN. 20ga. 6" STEEL STUDS (ENGINEERED) SPACED AS PER STRUCT. DWGS REQUIREMENTS; MAX. 16" O.C.
- NOMINAL R22 BATT INSULATION TO FILL STUD SPACE
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALLBOARD

EXTERIOR WALL WITH CORRUGATED METAL CLADDING
MIN. 1 HR FIRE RESISTANCE RATING ON FIRE EXPOSED SIDE BASED ON BCBC APPENDIX D - TABLE D-2.3.4-A

EFFECTIVE R-VALUE : R18 (T.B.C.)

- CORRUGATED METAL PANEL ON 7/8" HORIZONTAL FURRING CHANNELS
- 3" THERMALLY BROKEN ZEE GRIT OR CLIP SYSTEM INSTALLED VERTICALLY
- 2" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R7.5
- CONTINUOUS VAPOUR PERMEABLE WEATHER BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS SHEATHING
- MIN. 20ga. 6" STEEL STUDS (ENGINEERED) SPACED AS PER STRUCT. DWGS REQUIREMENTS; MAX. 16" O.C.
- NOMINAL R22 BATT INSULATION TO FILL STUD SPACE
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 2 LAYERS OF 5/8" TYPE-'X' GWB

STEEL STUD WALL WITH ACM CLADDING

EFFECTIVE R-VALUE : R18

- CORRUGATED METAL PANEL ON 7/8" HORIZONTAL FURRING CHANNELS
- 3" THERMALLY BROKEN ZEE GRIT OR CLIP SYSTEM INSTALLED VERTICALLY
- 2" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R7.5
- CONTINUOUS VAPOUR PERMEABLE WEATHER BARRIER (SELF-ADHERED OR FLUID APPLIED)
- 1/2" DENSGLAS SHEATHING
- MIN. 20ga. 6" STEEL STUDS (ENGINEERED) SPACED AS PER STRUCT. DWGS REQUIREMENTS; MAX. 16" O.C.
- NOMINAL R22 BATT INSULATION TO FILL STUD SPACE
- CONTINUOUS 6MIL POLY VAPOUR BARRIER
- 1/2" GYPSUM WALLBOARD

MASONRY WALL WITH CORRUGATED METAL CLADDING

EFFECTIVE R-VALUE : R13

- CORRUGATED METAL PANEL ON
- THERMALLY BROKEN ZEE GRIT OR CLIP SYSTEM INSTALLED VERTICALLY
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R16.8
- CONTINUOUS AIR / VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- STRUCTURAL CONCRETE OR CMU WALL (PER STRUCTURAL)

MASONRY WALL WITH ACM CLADDING

EFFECTIVE R-VALUE : R13

- COMPOSITE ALUMINUM PANELS WITH PROPRIETARY CLIPS; DRY JOINT SYSTEM
- INTERMITTENTLY SPACED SUPPORT CLIPS TO MATCH INSULATION THICKNESS (KPS THERMASMART CLIP 2.0 SYSTEM OR APPROVED ALTERNATE); ALIGN WITH WALL STUDS
- 4" SEMI-RIGID INSULATION (NON-COMBUSTIBLE) NOM. R17.2
- CONTINUOUS AIR / VAPOUR BARRIER (SELF-ADHERED OR FLUID APPLIED)
- STRUCTURAL CONCRETE OR CMU WALL (PER STRUCTURAL)

| NO. | DESCRIPTION | DATE |
|-----|-----------------------|-------------|
| 1 | ISSUED FOR DP | MAR-25-2022 |
| 2 | REISSUED FOR DP | JUN-16-2022 |
| 3 | REISSUED FOR DP | JUN-21-2023 |
| 4 | ISSUED FOR BP | MAR-01-2024 |
| 5 | ISSUED FOR BP | JUL-05-2024 |
| 6 | ISSUED FOR TENDER | JUL-19-2024 |
| 7 | REISSUED FOR BP | OCT-17-2024 |
| 8 | ISSUED FOR DDP REVIEW | JUN-23-2025 |

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BG DOUGLAS VENTURES INC.

PROJECT NO. 21500
PROJECT Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE

WALL SCHEDULE

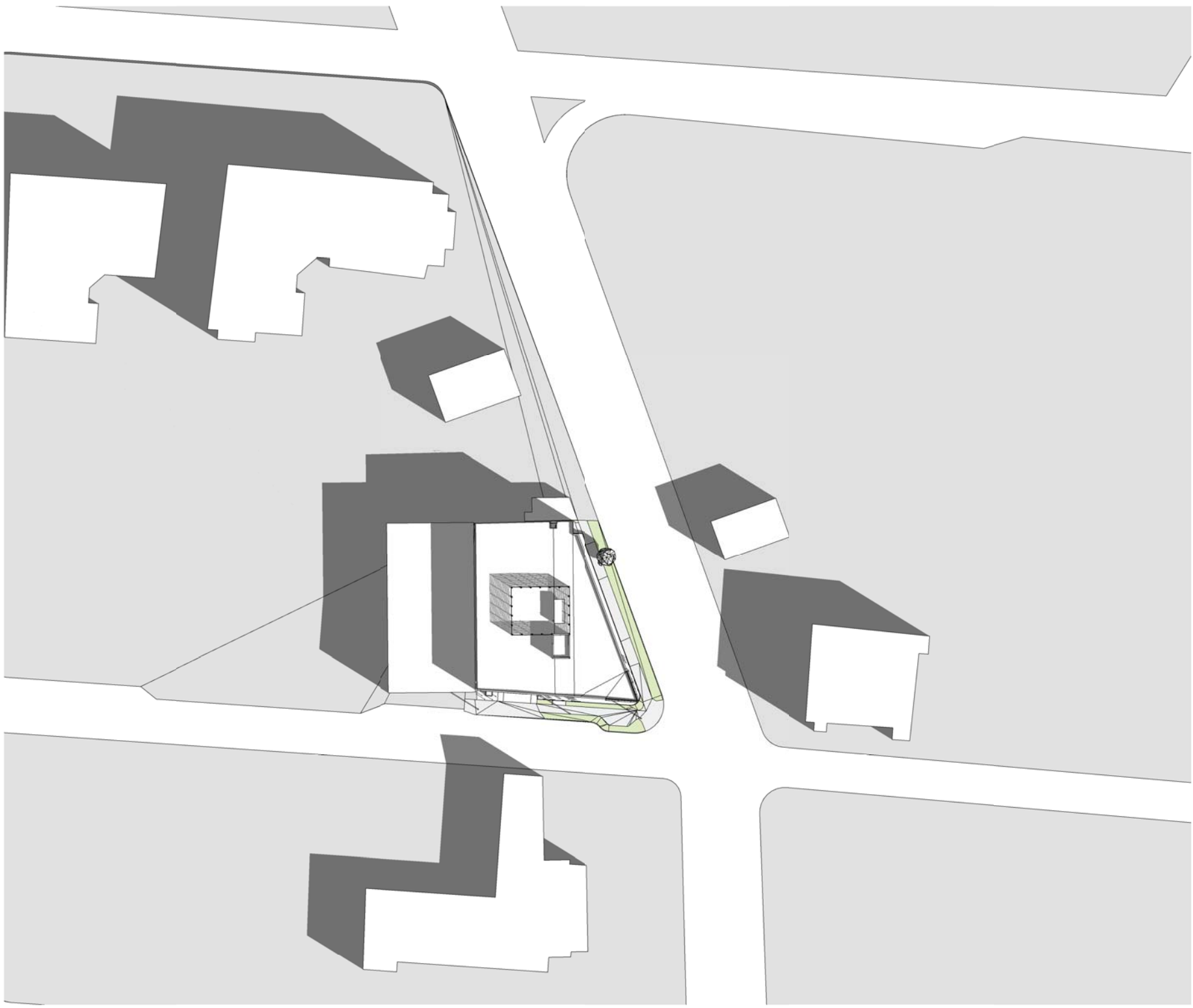
SEAL

DRAWING NO. REVISION

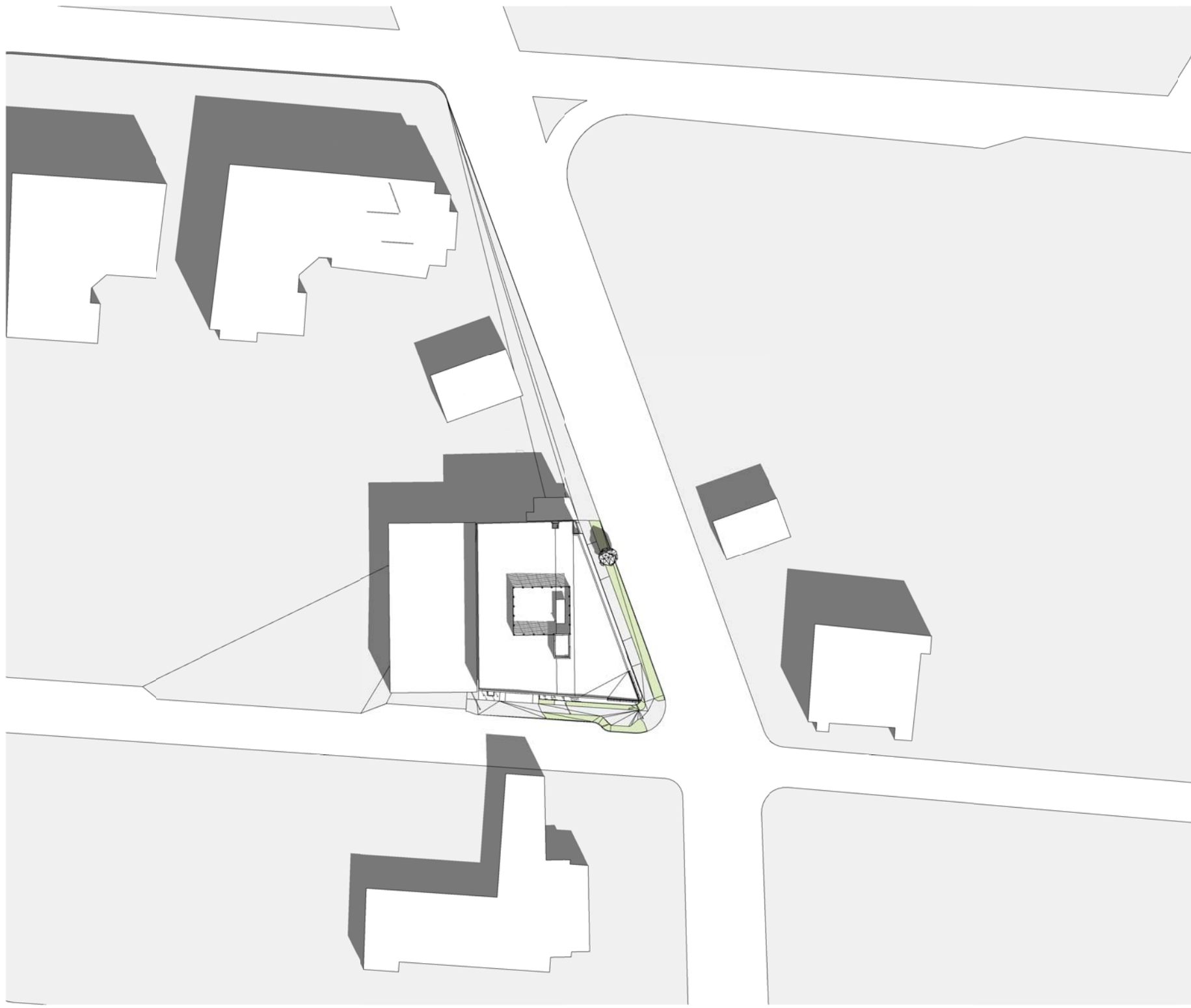
A701

DATE 23/03/10 DRAWN IT

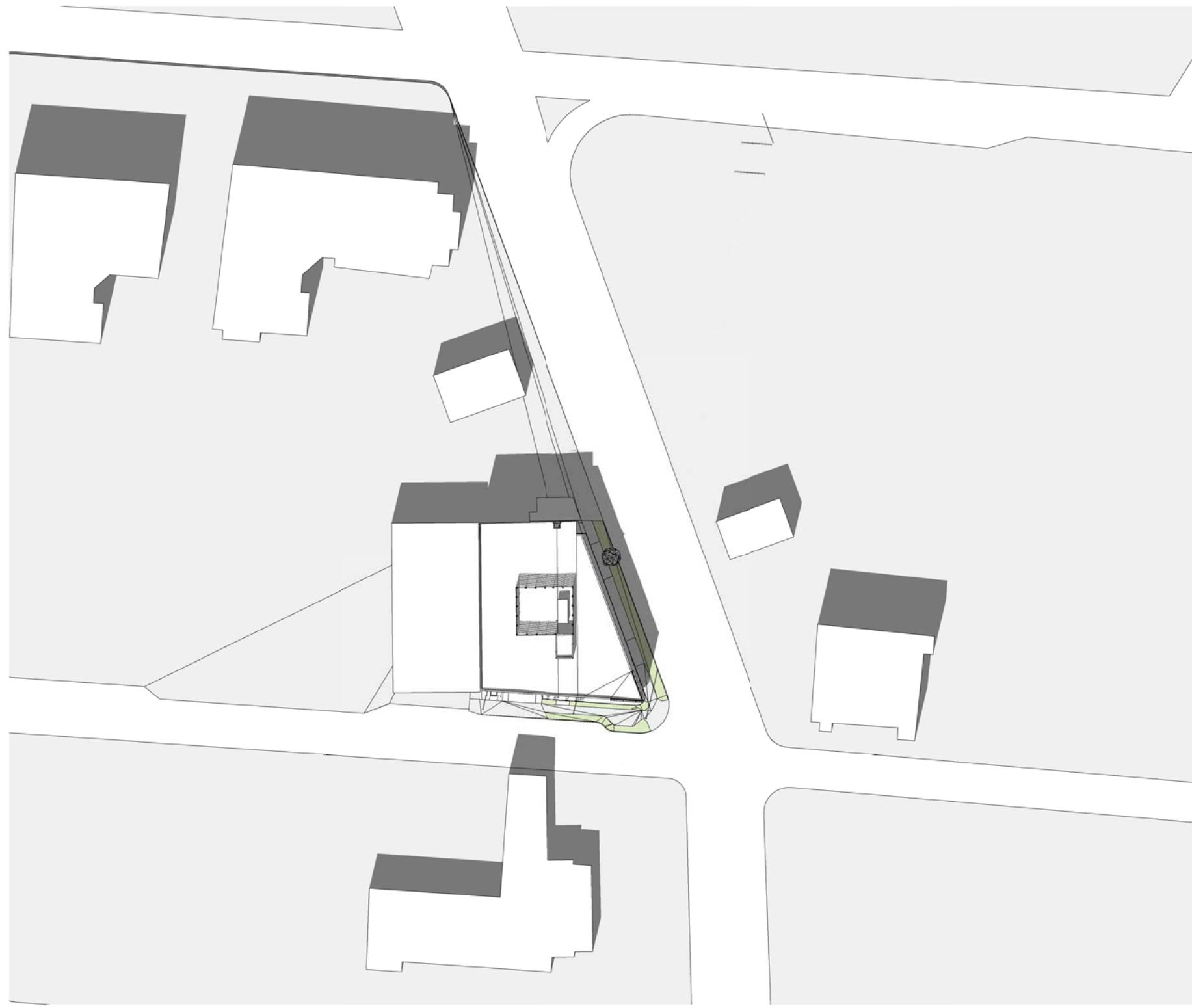
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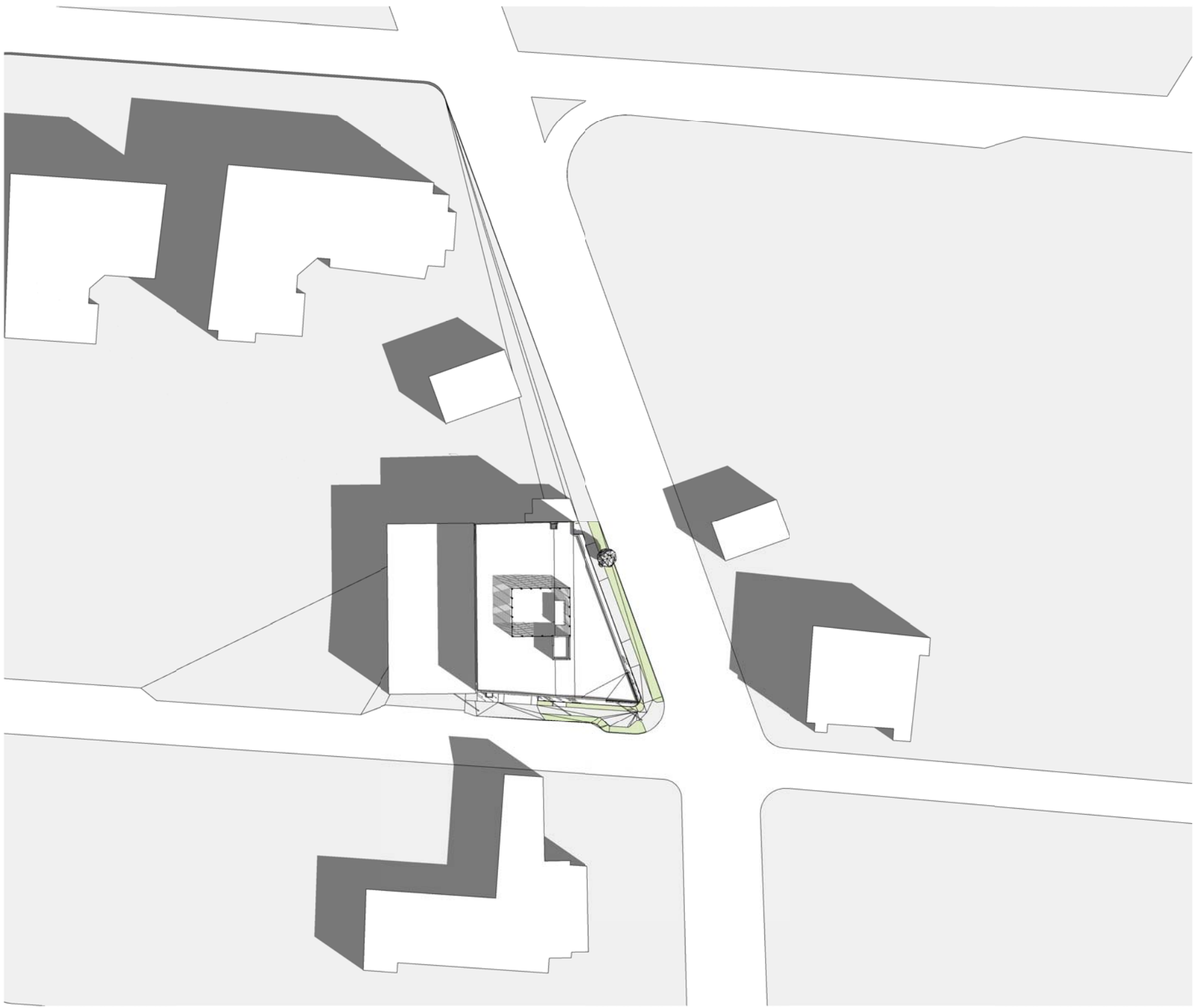
1 MARCH-21 10:00AM



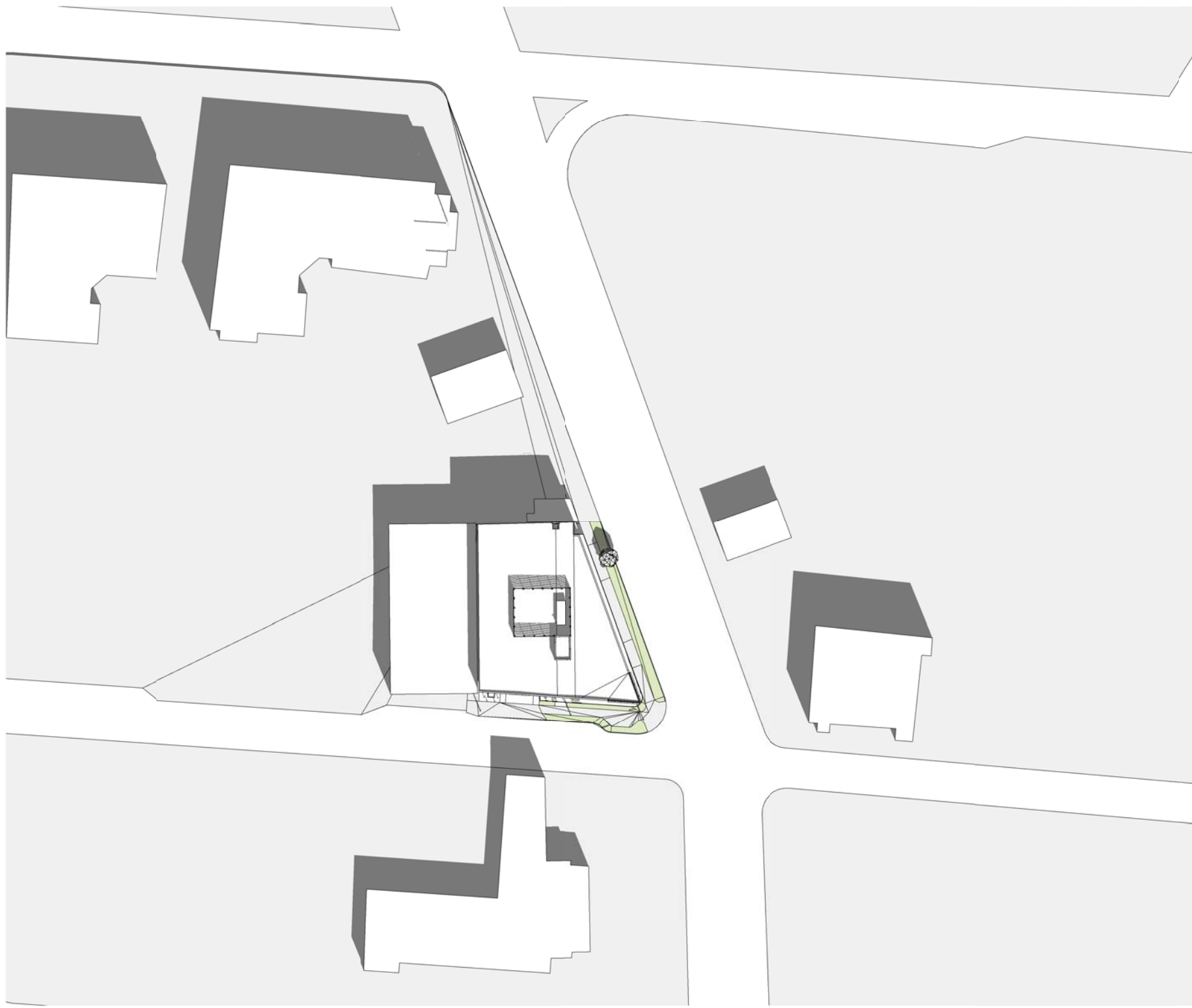
2 MARCH-21 12:00PM



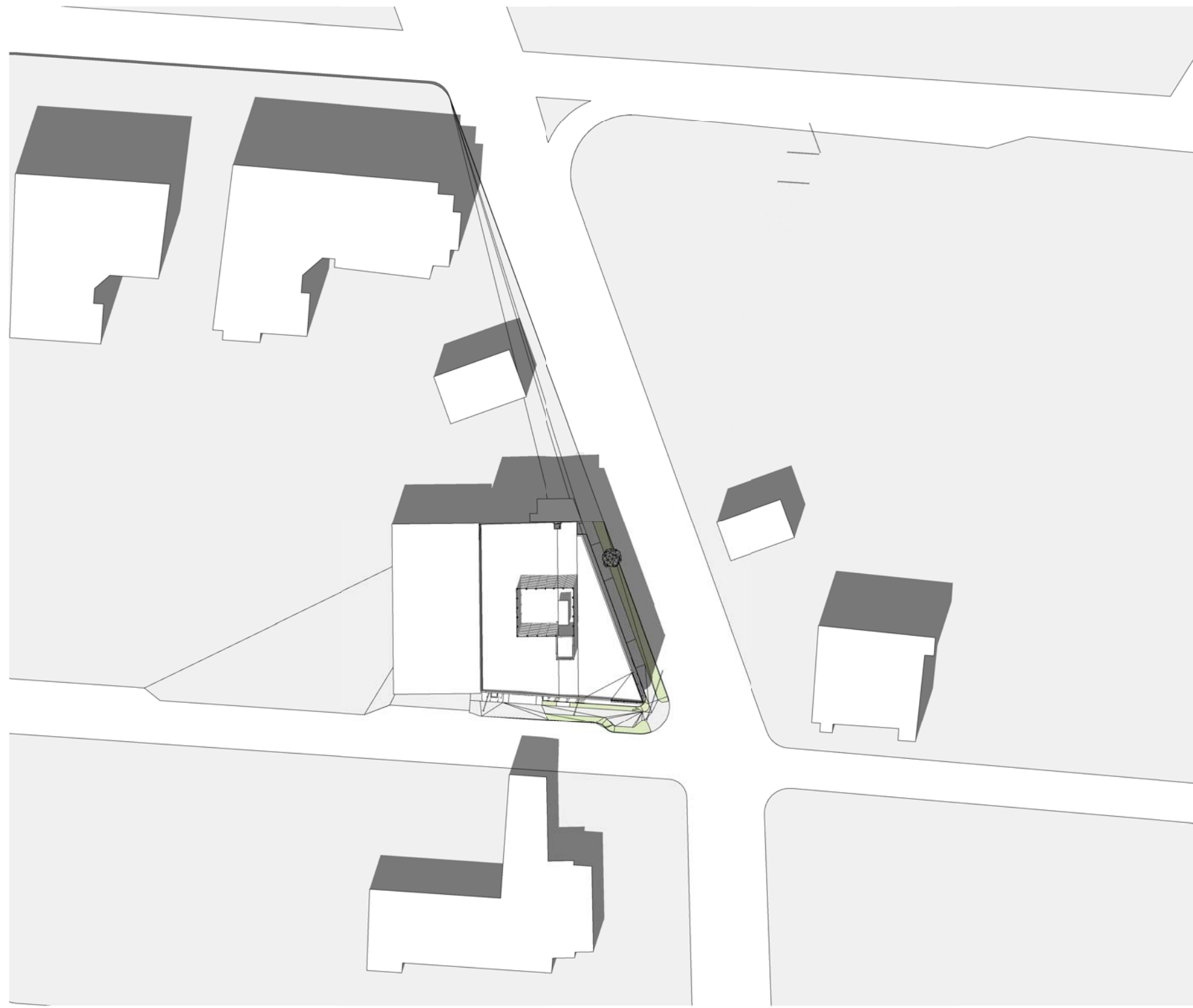
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4 SEPTEMBER-21 10:00AM



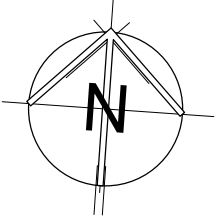
5 SEPTEMBER-21 12:00PM



6 SEPTEMBER-21 2:00PM

| REVISIONS | | |
|-----------|-----------------------|-------------|
| NO. | DESCRIPTION | DATE |
| - | ISSUED FOR DP | MAR-25-2022 |
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| - | REISSUED FOR DP | MAR-10-2023 |
| - | REISSUED FOR DP | JUN-21-2023 |
| 1 | ISSUED FOR DDP REVIEW | JUN-23-2025 |

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CLIENT

BG DOUGLAS VENTURES INC.
BG DOUGLAS VENTURES INC.

PROJECT NO. 21500

PROJECT
Commercial and Self-Storage Development
2300 Douglas Street, Victoria, BC

DRAWING TITLE
SHADOW ANALYSIS

SEAL

DRAWING NO. REVISION
1

SA01

DATE 23/03/10
SCALE
DRAWN IT
CHECKED HB



| NO. | DATE | DESCRIPTION |
|-----|-----------|-------------------------------|
| 5 | July 3/25 | Issued for Building Permit |
| 4 | Oct 17/24 | Re Issued for Building Permit |
| 3 | July 5/24 | Issued for Building Permit |
| 2 | Mar 4/24 | Issued for Building Permit |
| 1 | Dec 18/23 | Issued for 33% BP Submission |

REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

2300 Douglas St
Victoria, BC

TITLE

Landscape Materials
Plan

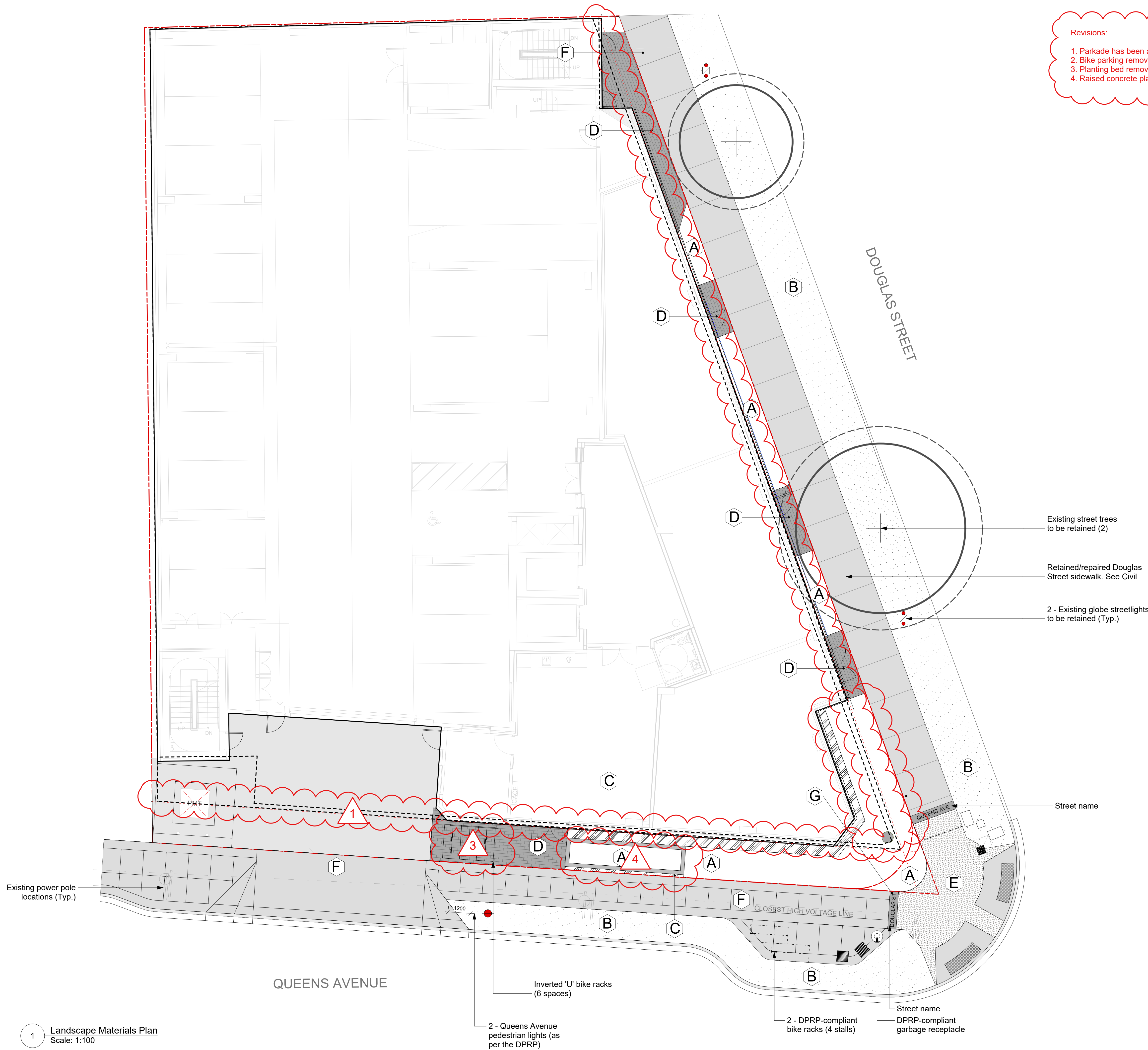
SCALE 1:100
DRAWN LM
CHECKED CW

PROJECT No. 2203

DATE Dec 18/23
SHEET L1 of 3

Revisions:

1. Parkade has been adjusted in coordination with architectural update
2. Bike parking removed, planting bed added
3. Planting bed removed, bike parking added
4. Raised concrete planter added



MATERIALS LEGEND

- A Planting bed
- B Grass lawn
- C Decorative Stone maintenance strip (Min. 150mm depth)
- D Stamped concrete at building entrances (Typ.) Color: Dark grey
- E Decorative concrete pavers | Type: Abbotsford Concrete Standard Series | Color: Shadow Blend Field with Charcoal Border & Stall Markings
- F Concrete surfacing - Fine Broom Finish (As per CoV DTPR)
- G Basalt pavers with inset Street Names (As per CoV DTPR)

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REVISIONS



#3-864 Queens Ave. Victoria B.C. V8T 1M5
Phone: (250) 598-0105

PROJECT

2300 Douglas St
Victoria, BC

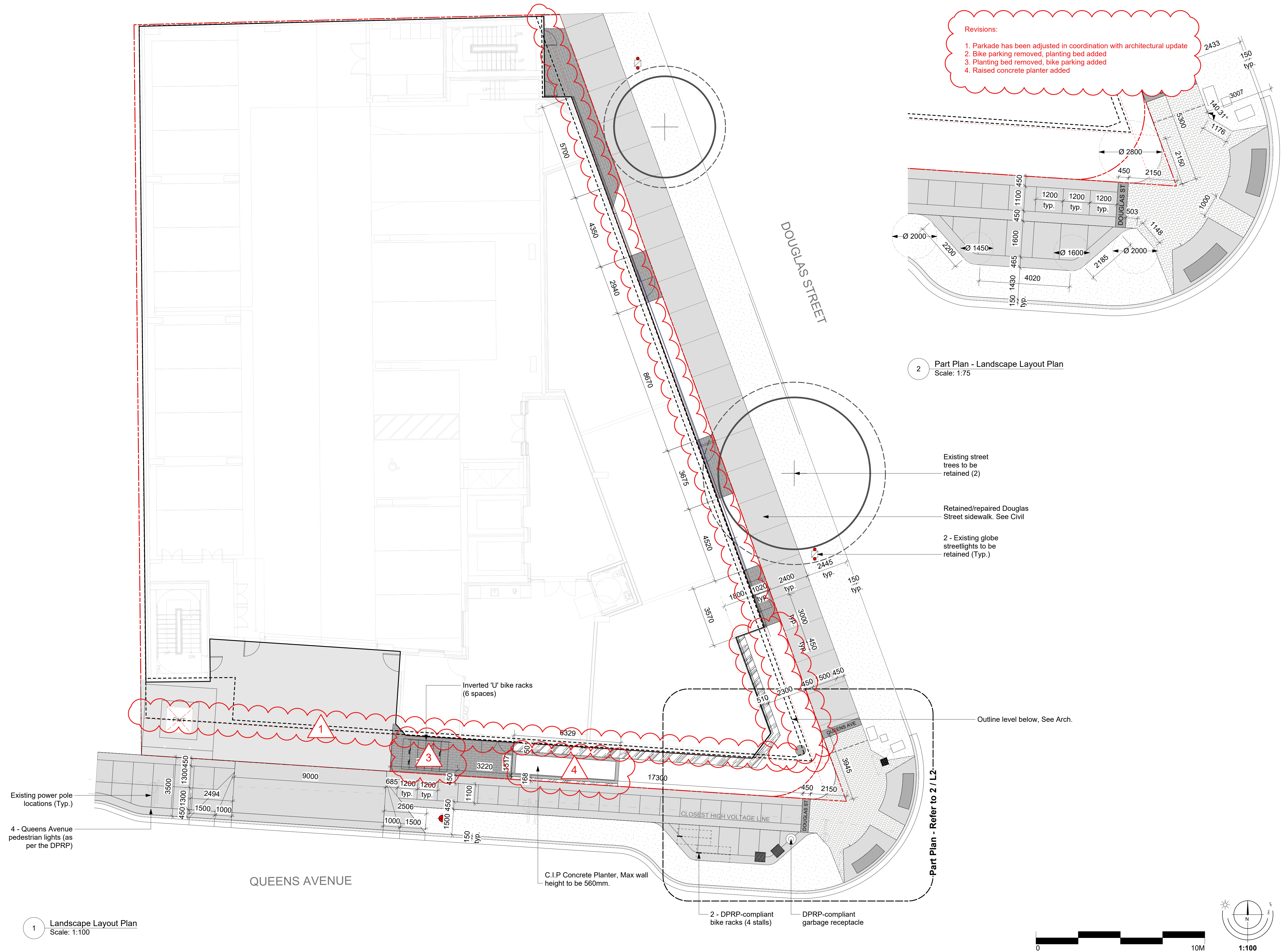
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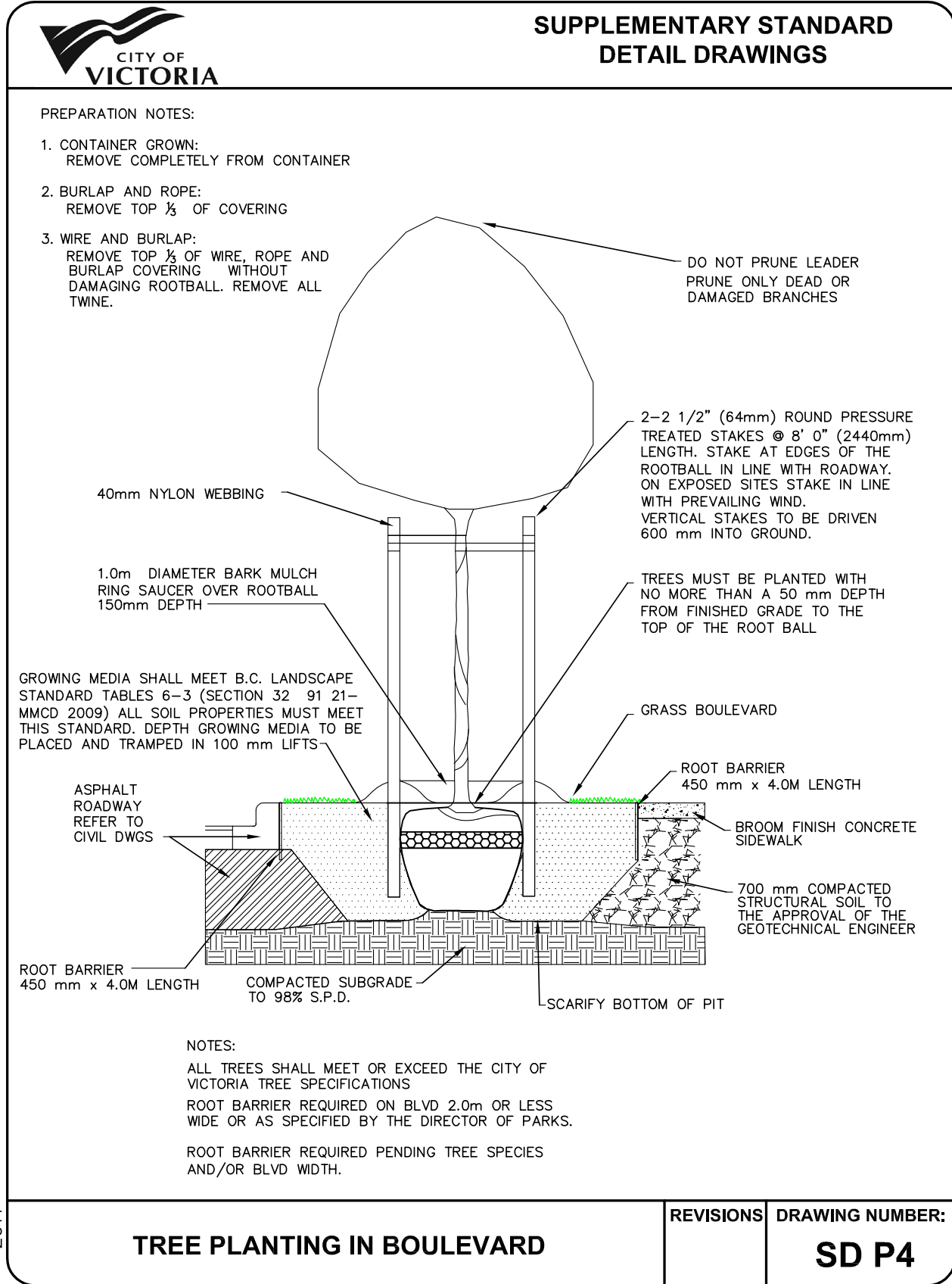
Landscape Layout Plan

SCALE DRAWN LM
As Shown CHECKED CW

PROJECT No. 2203

DATE **Dec 18/23** **L2 of 3**
SHEET





Required Plant List

Trees

| | Quantity | Botanical Name | Common Name | Size |
|--|----------|--|-------------|------|
| | 2 | Street trees. Species & size to be selected by City of Victoria Parks Department | | |

Large Shrubs

| ID | Quantity | Botanical Name | Common Name | Size |
|------|----------|---------------------------|-------------------------|--------|
| MaA | 5 | Mahonia aquifolium | Tall Oregon Grape | #5 pot |
| RhRM | 6 | Rhododendron 'Rosa Mundi' | Rosa Mundi Rhododendron | #7 pot |

Small Shrubs

| ID | Quantity | Botanical Name | Common Name | Size |
|--------|----------|---------------------------------|------------------|--------|
| GaSh | 22 | Gaultheria shallon | Salal | #1 pot |
| LaSTOQ | 38 | Lavandula stoechas 'Otto Quast' | Spanish Lavender | #1 pot |
| MaNe | 21 | Mahonia nervosa | Low Oregon Grape | #1 pot |

Perennials, Annuals and Ferns

| ID | Quantity | Botanical Name | Common Name | Size |
|------|----------|--|----------------------------------|---------|
| CaKF | 25 | Calamagrostis x acutiflora 'Karl Foerster' | Karl Foerster Feather Reed Grass | #1 pot |
| HeSe | 70 | Helictotrichon sempervirens | Blue Oat Grass | #1 pot |
| PoM | 7 | Polystichum munitum | Sword Fern | # 1 pot |

Notes:

1. All work to be completed to current CSLA Canadian Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system