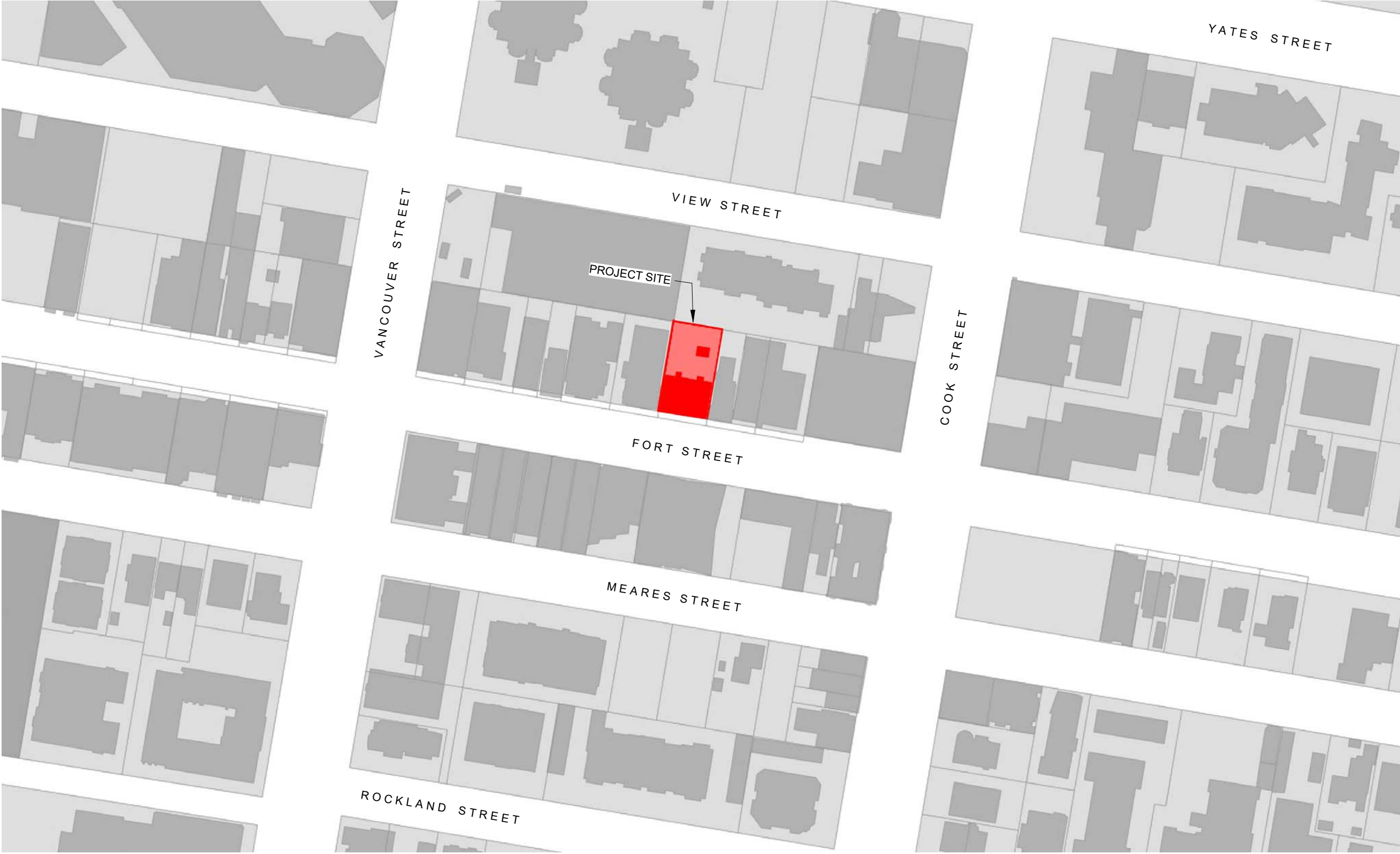






Revisions

Received Date:  
February 9, 2022



PROJECT LOCATION PLAN (NTS)

CONTACTS

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LIST OF DRAWINGS

**ARCHITECTURAL**

A000  
A010  
A011  
A050  
A051  
A100  
A101  
A102  
A200  
A201  
A300  
A500

Cover  
Perspectives  
Material Specifications  
Spatial Separation  
Code Analysis  
Site Plan and Project Data  
Proposed Floor Plans  
Roof Plan  
Building Elevations S-W  
Building Elevations N-E  
Building Sections  
Context & Shadow Study

LANDSCAPE

L1.01 Landscape Materials

CIVIL

C1 Conceptual Site Servicing Plan  
C02 Conceptual Surface Works & Site Grading

JAWL PROPERTIES  
1030 FORT STREET  
FEBRUARY 9, 2022

|           |      |          |                  |
|-----------|------|----------|------------------|
| Project # | 2112 | Date     | FEBRUARY 9, 2022 |
| Sheet #   | A000 | Revision | 4                |

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VIEW OF NORTH FACING FACADE



VIEW FROM FORT STREET EAST



VIEW OF FORT STREET FRONTAGE

| 4   | Issued for ADP                 | FEB 09, 2022  |
|-----|--------------------------------|---------------|
| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



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|            |              |                               |  |
|------------|--------------|-------------------------------|--|
| Project    |              | 1030 FORT STREET              |  |
|            |              | JAWL PROPERTIES               |  |
|            |              | 1030 Fort Street, Victoria BC |  |
| Sheet Name |              | Perspectives                  |  |
| Date       |              | FEBRUARY 9, 2022              |  |
| Scale      | Project #    | 2112                          |  |
|            | Revision     | 4                             |  |
|            | FEB 09, 2022 |                               |  |
|            | Sheet #      | A010                          |  |



Terra cotta precedent:  
10 Bond Street, NYC



Pre-finished metal precedent:  
École Ducasse, 64 Rue du Ranelagh, Paris

- 1

TERRA COTTA

Glazed ceramic tile in warm red brown color with scalloped profile
- 2

PRE-FINISHED METAL

Red brown color with scalloped profile
- 3

FRITTED GLASS

Vertical opaque frits of the 3 chosen red brown hues
- 4

CEDAR SOFFIT

Vertical grain, clear finish
- 5

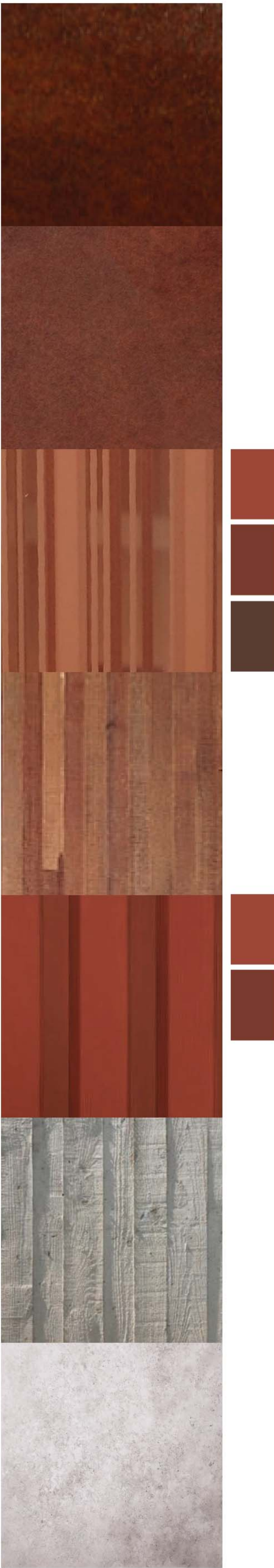
CEMENTITIOUS PANEL

Board and batten type finish with 2 selected red brown colors
- 6

ARCHITECTURAL CONCRETE
- 7

CONCRETE

MATERIAL PALETTE



PHYSICAL SAMPLING

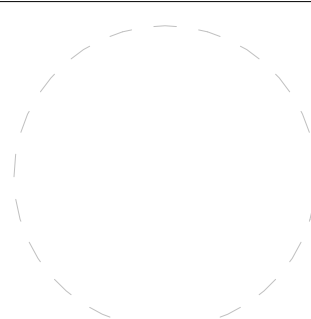


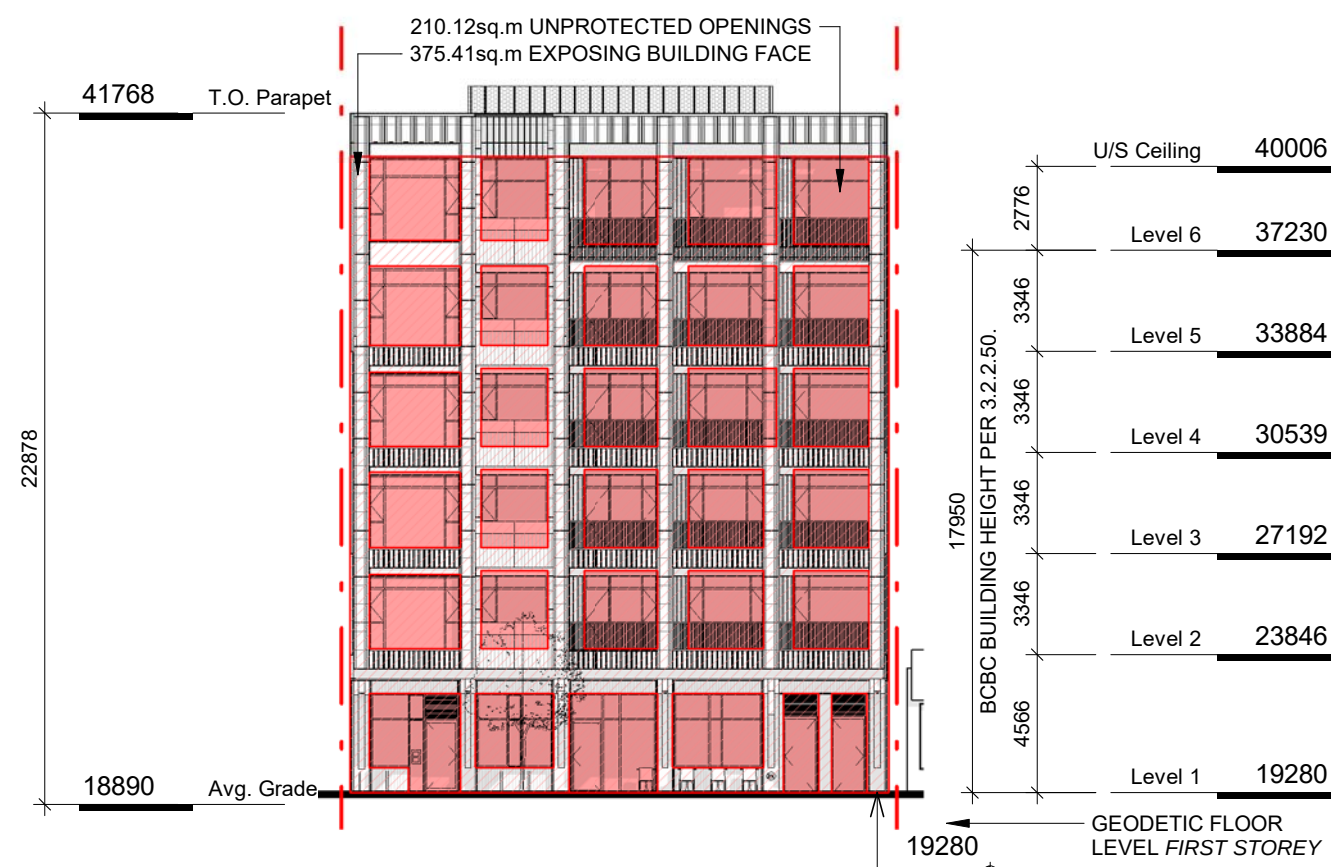
| 4   | Issued for ADP | FEB 09, 2022 |
|-----|----------------|--------------|
| NO. | DESCRIPTION    | DATE         |



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|                                                                                       |        |                               |                                                                                                                          |
|---------------------------------------------------------------------------------------|--------|-------------------------------|--------------------------------------------------------------------------------------------------------------------------|
| Project                                                                               |        | 1030 FORT STREET              |                                                                                                                          |
|                                                                                       |        | JAWL PROPERTIES               |                                                                                                                          |
|                                                                                       |        | 1030 Fort Street, Victoria BC |                                                                                                                          |
| Sheet Name                                                                            |        | Material Specifications       |                                                                                                                          |
| Date                                                                                  |        |                               |                                                                                                                          |
| FEBRUARY 9, 2022                                                                      |        |                               |                                                                                                                          |
| Scale                                                                                 | 1 : 25 | Project #                     | 2112                                                                                                                     |
|  |        | Revision                      | <div>FEB 09, 2022</div> <div></div> |
|                                                                                       |        | Sheet #                       | A011                                                                                                                     |
|                                                                                       |        | 2/8/2022 11:18:47 AM          |                                                                                                                          |

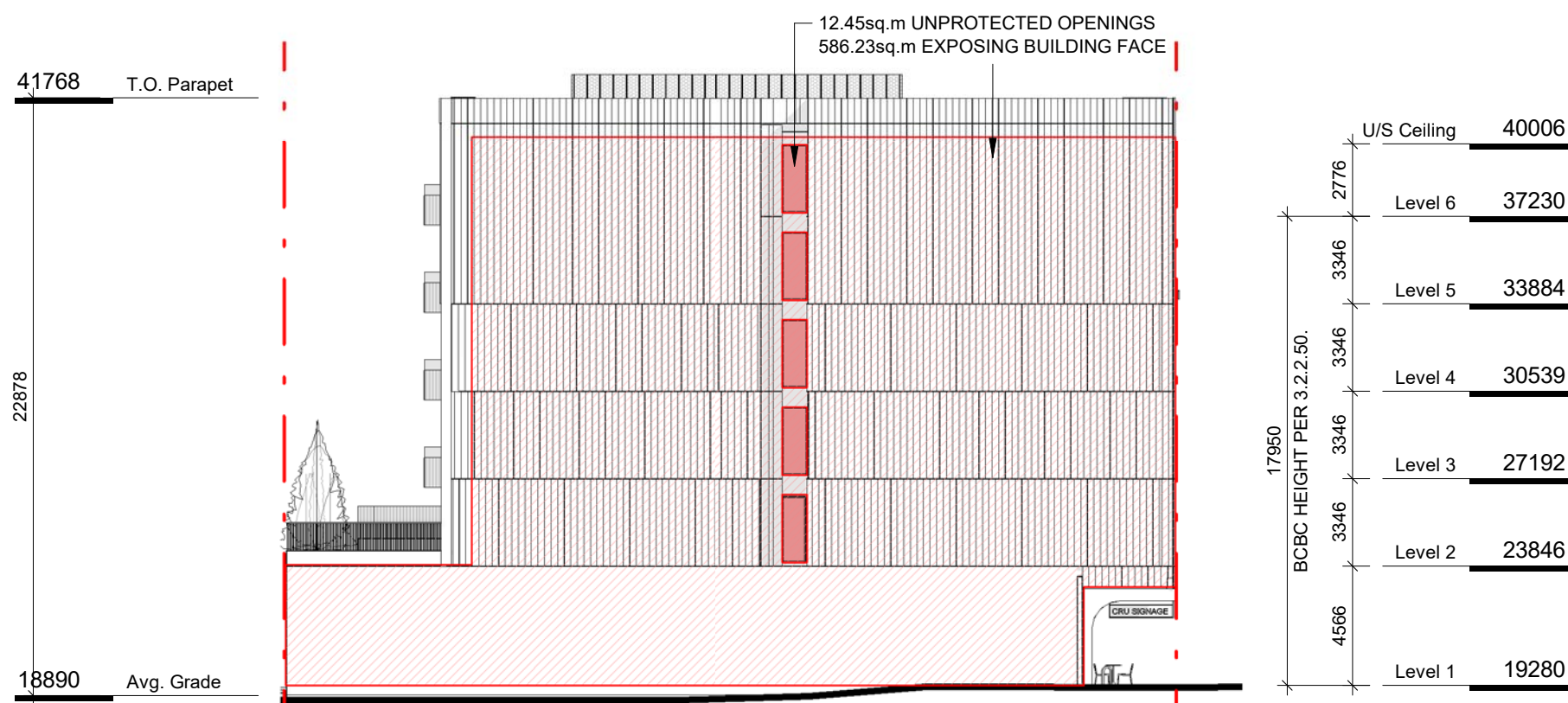


SOUTH ELEVATION

| TABLE 3.2.3.1 - D | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | AREA OF EXPOSING BUILDING FACE (sq.m) | PROPOSED OPENINGS (sq.m) | PROPOSED OPENINGS (%) |
|-------------------|-----------------------|------------------------|---------------------------------------|--------------------------|-----------------------|
| (C/L RD) 11.66m   | 100                   | 375.41                 | 210.12                                | 56                       |                       |

| TABLE 3.2.3.7   | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | REQUIRED FRR | REQUIRED TYPE OF CONSTRUCTION | REQUIRED TYPE OF CLADDING |
|-----------------|-----------------------|------------------------|--------------|-------------------------------|---------------------------|
| (C/L RD) 11.66m | 100                   | N/A                    | N/A          | N/A                           | N/A                       |

3 South Elevation - LD Key  
SCALE = 1 : 250

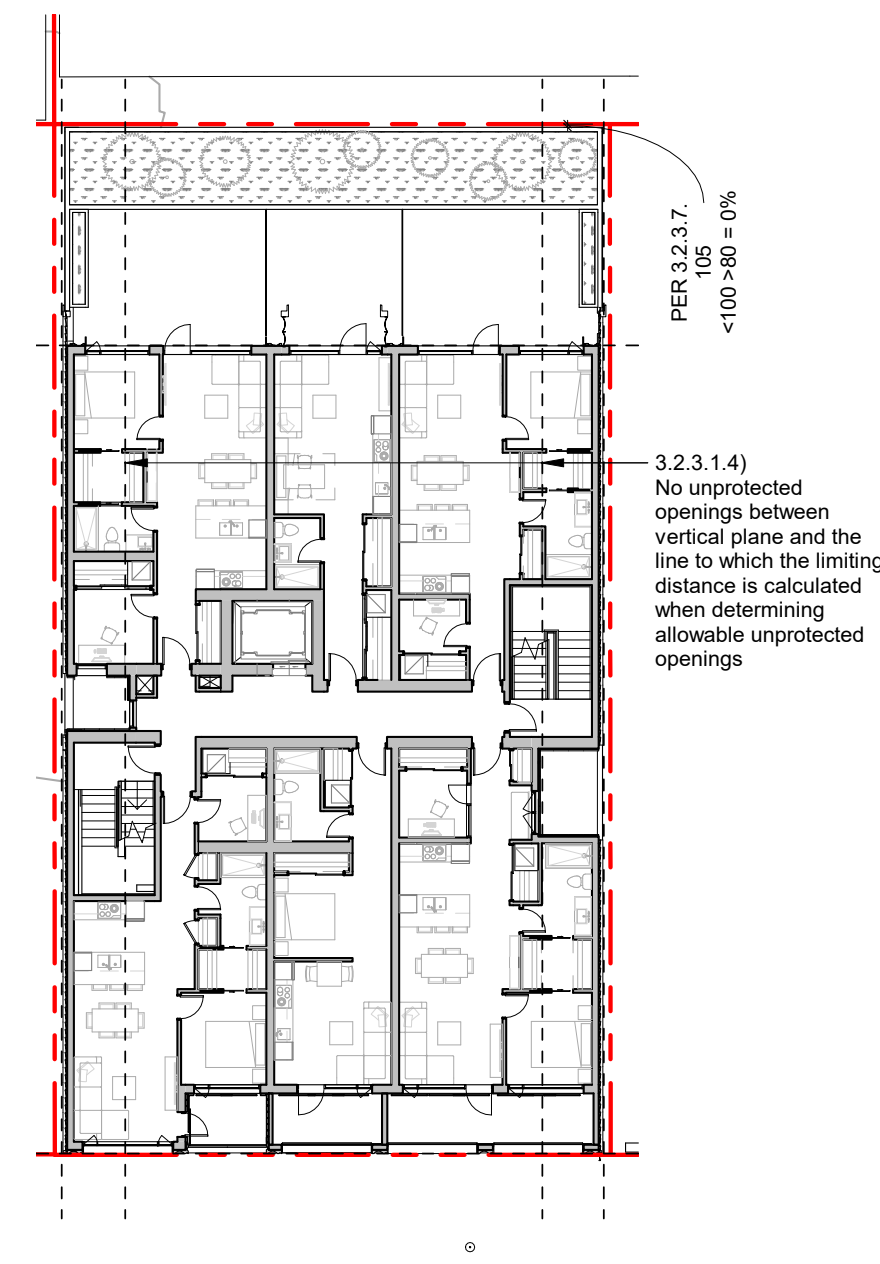


WEST ELEVATION

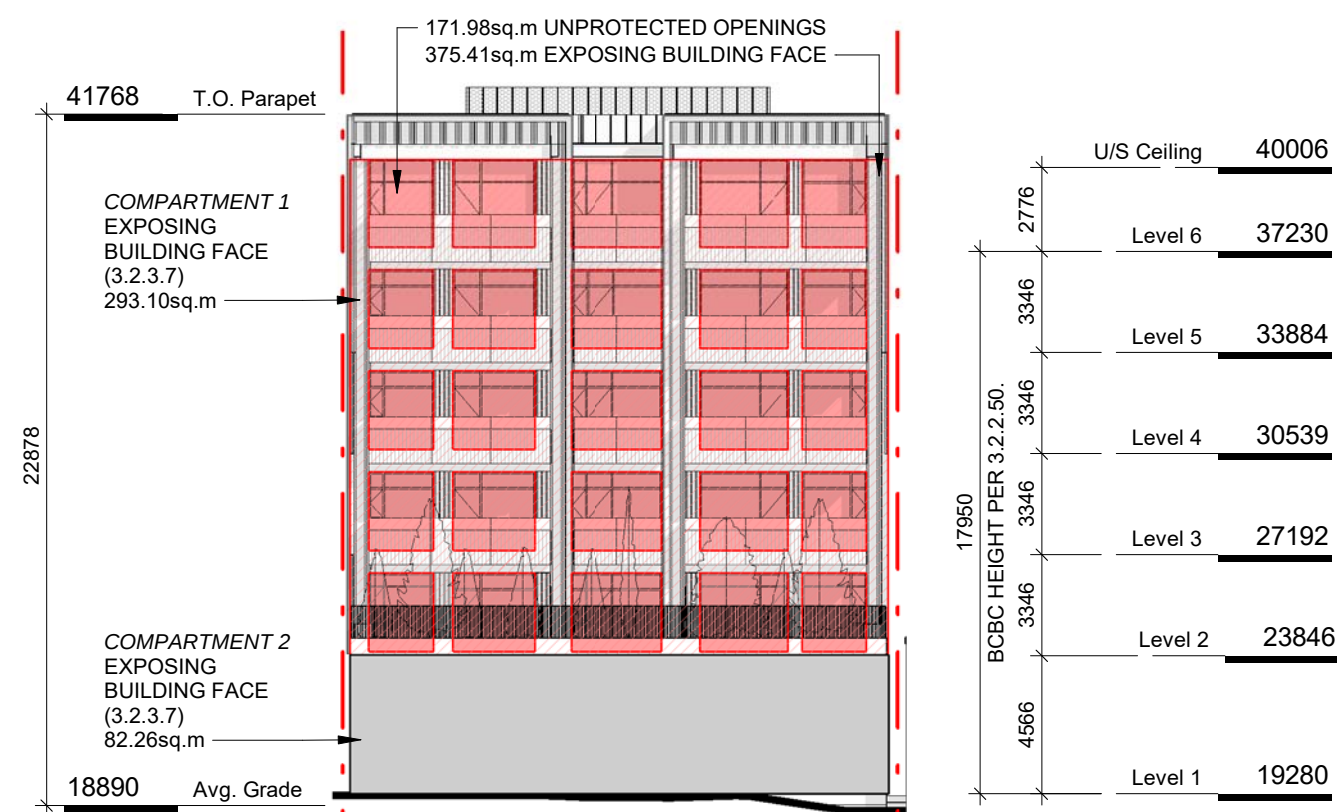
| TABLE 3.2.3.1 - D | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | AREA OF EXPOSING BUILDING FACE (sq.m) | PROPOSED OPENINGS (sq.m) | PROPOSED OPENINGS (%) |
|-------------------|-----------------------|------------------------|---------------------------------------|--------------------------|-----------------------|
| 2.33m (2m)        | 16                    | 586.23                 | 12.45                                 | 2                        |                       |

| TABLE 3.2.3.7 | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | REQUIRED FRR   | REQUIRED TYPE OF CONSTRUCTION | REQUIRED TYPE OF CLADDING |
|---------------|-----------------------|------------------------|----------------|-------------------------------|---------------------------|
| 0.225 (0)     | 0                     | 1 hr                   | Noncombustible | Noncombustible                |                           |

6 West Elevation - LD Key  
SCALE = 1 : 250



9 Spatial Separation Keyplan  
SCALE = 1 : 250



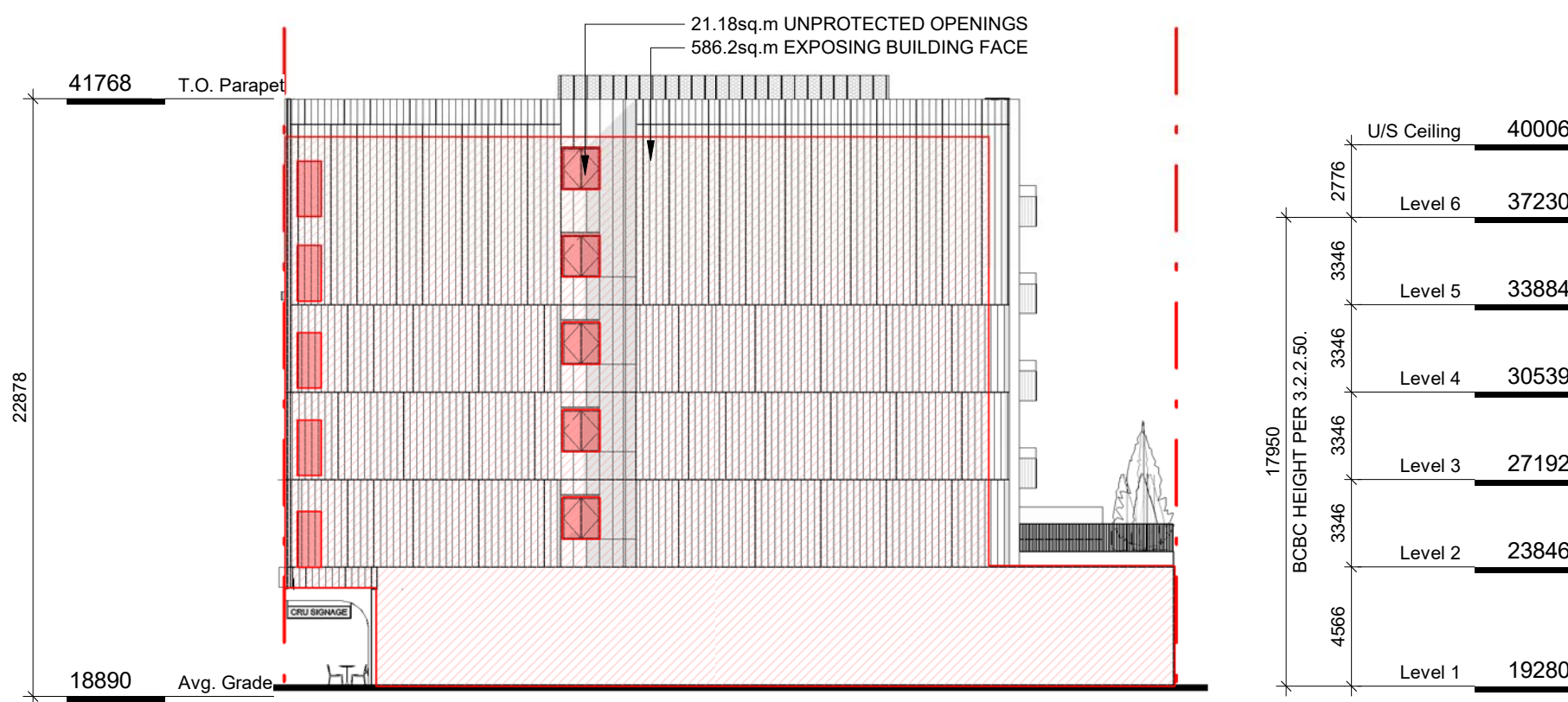
NORTH ELEVATION

| TABLE 3.2.3.1 - D | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | AREA OF EXPOSING BUILDING FACE (sq.m) | PROPOSED OPENINGS (sq.m) | PROPOSED OPENINGS (%) |
|-------------------|-----------------------|------------------------|---------------------------------------|--------------------------|-----------------------|
| 6.92 (6)          | 52                    | 375.41                 | 171.98                                | 46                       |                       |

| TABLE 3.2.3.7 | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | REQUIRED FRR | REQUIRED TYPE OF CONSTRUCTION | REQUIRED TYPE OF CLADDING |
|---------------|-----------------------|------------------------|--------------|-------------------------------|---------------------------|
| 6.9m (6)      | 52                    | 45 min                 | ALL          | ALL                           |                           |

| TABLE 3.2.3.7 | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | REQUIRED FRR   | REQUIRED TYPE OF CONSTRUCTION | REQUIRED TYPE OF CLADDING |
|---------------|-----------------------|------------------------|----------------|-------------------------------|---------------------------|
| 0.1m (0)      | 0                     | 1 hr                   | Noncombustible | Noncombustible                |                           |

5 North Elevation - LD Key  
SCALE = 1 : 250



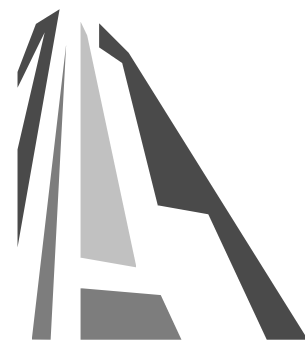
EAST ELEVATION

| TABLE 3.2.3.1 - D | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | AREA OF EXPOSING BUILDING FACE (sq.m) | PROPOSED OPENINGS (sq.m) | PROPOSED OPENINGS (%) |
|-------------------|-----------------------|------------------------|---------------------------------------|--------------------------|-----------------------|
| 2.26m (2m)        | 16                    | 586.23                 | 21.18                                 | 4                        |                       |

| TABLE 3.2.3.7 | LIMITING DISTANCE (m) | ALLOWABLE OPENINGS (%) | REQUIRED FRR   | REQUIRED TYPE OF CONSTRUCTION | REQUIRED TYPE OF CLADDING |
|---------------|-----------------------|------------------------|----------------|-------------------------------|---------------------------|
| 0.225 (0)     | 0                     | 1 hr                   | Noncombustible | Noncombustible                |                           |

4 East Elevation - LD Key  
SCALE = 1 : 250

| 3   | Issued for RZ/DP Rev1 | NOV 30, 2021  |
|-----|-----------------------|---------------|
| 2   | Issued for RZ/DP      | SEPT 15, 2021 |
| NO. | DESCRIPTION           | DATE          |



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|            |          |                               |      |
|------------|----------|-------------------------------|------|
| Project    |          | 1030 FORT STREET              |      |
|            |          | JAWL PROPERTIES               |      |
|            |          | 1030 Fort Street, Victoria BC |      |
| Sheet Name |          | Spatial Separation            |      |
| Date       |          | FEBRUARY 9, 2022              |      |
| Scale      | 1 : 250  | Project #                     | 2112 |
|            | Revision | NOV 30, 2021 3                |      |
|            | Sheet #  | A050                          |      |



|                              |                                     |                                     |                          |                          |                          |                          |                                     |                                     |                          |                          |                          |                          |                          |                          |                          |          |                      |  |  |  |  |
|------------------------------|-------------------------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|-------------------------------------|-------------------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|----------|----------------------|--|--|--|--|
| PROJECT TYPE                 | <input checked="" type="checkbox"/> | NEW CONSTRUCTION                    |                          |                          |                          |                          |                                     | <input type="checkbox"/>            | RENOVATION               |                          |                          |                          |                          |                          | <input type="checkbox"/> | ADDITION |                      |  |  |  |  |
| GOVERNING BUILDING CODE      | 2018 BC BUILDING CODE               |                                     |                          |                          |                          |                          | <input checked="" type="checkbox"/> | PART 3                              |                          |                          |                          |                          |                          | <input type="checkbox"/> | PART 9                   |          |                      |  |  |  |  |
| MAJOR OCCUPANCY              | A1                                  | A2                                  | A3                       | A4                       | B1                       | B2                       | B3                                  | C                                   | D                        | E                        | F1                       | F2                       | F3                       | 3.1.2.1                  |                          |          |                      |  |  |  |  |
|                              | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |                          |                          |          |                      |  |  |  |  |
| SUPERIMPOSED OCCUPANCY       | A1                                  | A2                                  | A3                       | A4                       | B1                       | B2                       | B3                                  | C                                   | D                        | E                        | F1                       | F2                       | F3                       | 3.2.2.7                  |                          |          |                      |  |  |  |  |
|                              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/>            | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |                          |                          |          |                      |  |  |  |  |
| BUILDING AREA                | 576                                 |                                     | m <sup>2</sup>           |                          |                          |                          |                                     |                                     |                          |                          |                          |                          |                          | 1.4.1.2                  |                          |          |                      |  |  |  |  |
| GRADE                        | 18.75 m geodetic                    |                                     |                          |                          |                          |                          |                                     |                                     |                          |                          |                          |                          |                          |                          | 1.4.1.2                  |          |                      |  |  |  |  |
| BUILDING HEIGHT (STOREYS, m) | 6                                   |                                     | STOREYS ABOVE GRADE      |                          |                          |                          |                                     |                                     | <18                      |                          | m, LEVEL 1 TO LEVEL 6    |                          |                          |                          |                          |          | 1.4.1.2,<br>3.2.2.50 |  |  |  |  |
|                              | 0                                   |                                     | STOREYS BELOW GRADE      |                          |                          |                          |                                     |                                     |                          |                          |                          |                          |                          |                          |                          |          |                      |  |  |  |  |

| <u>FIRE RESISTANCE RATING - KEY</u> |                          |
|-------------------------------------|--------------------------|
| - - - - -                           | UNRATED FIRE SEPERATIONS |
| — . . . —                           | 45 MIN                   |
| — — — — —                           | 1 HOUR                   |
| — . - - -                           | 1.5 HOUR                 |
| .....                               | 2 HOUR                   |

|                              |                                                 |                                          |          |
|------------------------------|-------------------------------------------------|------------------------------------------|----------|
| CLASSIFICATION               | GROUP C, UP TO 6 STOREYS, SPRINKLERED           |                                          | 3.2.2.50 |
| No. OF STREETS FACING        | <input type="text" value="1"/>                  |                                          | 3.2.2.10 |
| CONSTRUCTION TYPES PERMITTED | <input checked="" type="checkbox"/> COMBUSTIBLE | <input type="checkbox"/> NON-COMBUSTIBLE | 3.2.2.50 |
| FIRE ALARM SYSTEM            | <input type="text" value="YES"/>                | NO                                       | 3.2.4.1  |
| STANDPIPE SYSTEM             | <input type="text" value="YES"/>                | NO                                       | 3.2.5.8  |
| HIGH BUILDING                | <input type="text" value="YES"/>                | <input type="text" value="NO"/>          | 3.2.6.1  |
| INTERCONNECTED FLOOR SPACE   | YES                                             | <input type="text" value="NO"/>          | 3.2.8    |

|                                     |      |                                                       |      |           |      |      |          |
|-------------------------------------|------|-------------------------------------------------------|------|-----------|------|------|----------|
| HORIZONTAL SEPARATIONS              | 1 hr | FLOORS                                                | 1 hr | MEZZANINE | 1 hr | ROOF | 3.2.2.50 |
| LOADBEARING WALLS, COLUMNS & ARCHES | 1 hr | (NOT LESS THAN THAT REQUIRED FOR SUPPORTED STRUCTURE) |      |           |      |      | 3.2.2.50 |
| EXITS                               | 1 hr |                                                       |      |           |      |      | 3.4.4.1  |
| MAJOR OCCUPANCY SEPARATION          | 2 hr | C to A2                                               |      |           |      |      | 3.1.3.1  |

|                              |                                                     |         |
|------------------------------|-----------------------------------------------------|---------|
| NUMBER OF EXITS REQUIRED     | 2                                                   | 3.4.2.1 |
| SEPARATION OF EXITS (MIN.)   | 1/2 MAX. DIAGONAL FLOOR AREA, BUT NEED NOT BE > 9 m | 3.4.2.3 |
| MAX. TRAVEL DISTANCE ALLOWED | 45 m, GROUP C      45 m, GROUP A2                   | 3.4.2.5 |
| MEZZANINE                    | YES      NO                                         | 3.2.8   |

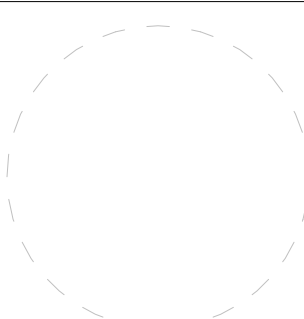
|               |     |                   |     |                   |        |                 |                     |
|---------------|-----|-------------------|-----|-------------------|--------|-----------------|---------------------|
| LEVEL 1       | 137 | sq.m, A2 (Dining) | 114 | sq.m, C (Storage) | 0 bds  | C (Residential) | 1.4, 1.2, 3.1, 17.1 |
| LEVEL 2 - 6   | 0   | sq.m, A2 (Dining) | 0   | sq.m, C (Storage) | 6 bds  | C (Residential) | 1.4, 1.2, 3.1, 17.1 |
| TOTAL         |     | sq.m, A2 (Dining) | 114 | sq.m, C (Storage) | 30 bds | C (Residential) | 1.4, 1.2, 3.1, 17.1 |
| OCCUPANT LOAD | 114 | 1.2sq.m./person   | 3   | 46sq.m./person    | 60     | 2 persons/bdrm  | 3.1, 17.1           |

|                      |                     |           |
|----------------------|---------------------|-----------|
| <b>ACCESSIBILITY</b> |                     |           |
| UNIVERSAL WASHROOM   | REQUIRED AT LEVEL 1 | 3.8.2.8.3 |

|            |                       |               |
|------------|-----------------------|---------------|
| 3          | Issued for RZ/DP Revl | NOV 30, 2021  |
| 2          | Issued for RZ/DP      | SEPT 15, 2021 |
| <b>NO.</b> | <b>DESCRIPTION</b>    | <b>DATE</b>   |



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|                                                                                       |              |                                                                                       |                                                                                       |
|---------------------------------------------------------------------------------------|--------------|---------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| Project                                                                               |              | <h1>I030 FORT STREET</h1> <p>JAWL PROPERTIES</p> <p>I030 Fort Street, Victoria BC</p> |                                                                                       |
| Sheet Name                                                                            |              | <h2>Code Analysis</h2>                                                                |                                                                                       |
| Date                                                                                  |              | <b>FEBRUARY 9, 2022</b>                                                               |                                                                                       |
| Scale                                                                                 | As indicated | Project #                                                                             | 2112                                                                                  |
|  |              | Revision                                                                              |  |
|                                                                                       |              | NOV 30, 2021                                                                          |                                                                                       |
|                                                                                       |              | Sheet #                                                                               | <h1>A051</h1>                                                                         |



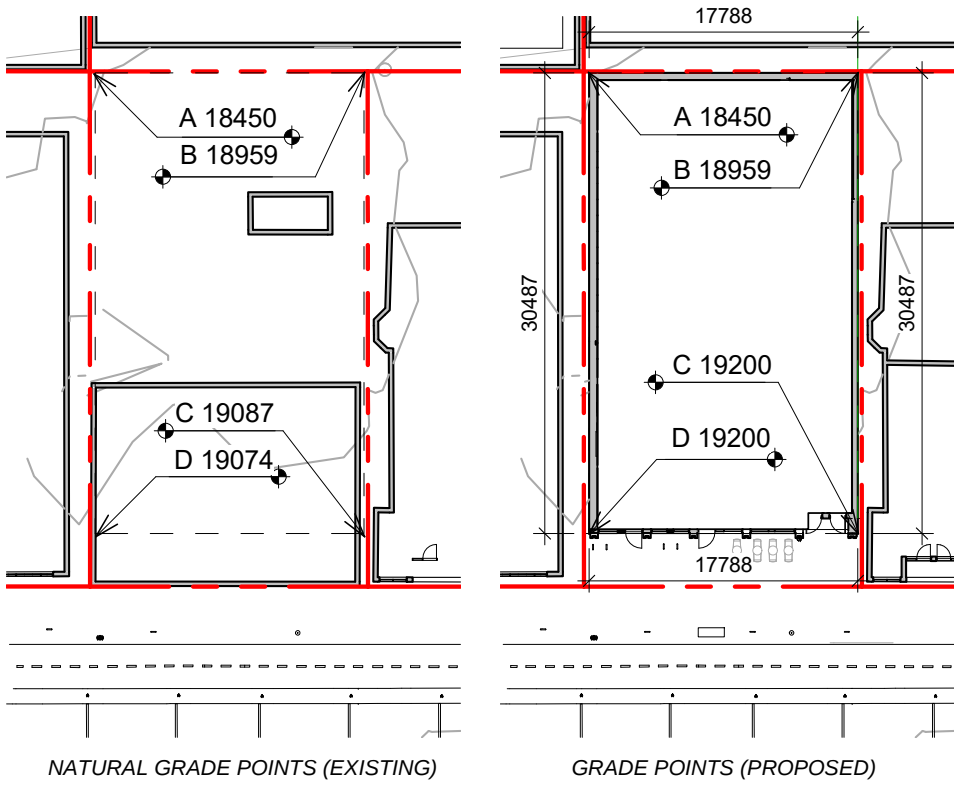
|                     |                                                                     |
|---------------------|---------------------------------------------------------------------|
| MUNICIPALITY        | CITY OF VICTORIA                                                    |
| MUNICIPAL ADDRESS   | 1030 FORT STREET, VICTORIA BC                                       |
| LEGAL DESCRIPTION   | LOT 1010, VICTORIA CITY, EXCEPT THE SOUTHERLY 8 FEET THEREOF        |
| PROJECT DESCRIPTION | 6 STOREY BUILDING<br>5 STOREYS RESIDENTIAL OVER 1 STOREY COMMERCIAL |

|                                         |                     |          |
|-----------------------------------------|---------------------|----------|
| ZONE (EXISTING)                         | CA-42               |          |
| PROPOSED ZONE                           | UNKNOWN             |          |
| SITE AREA (m <sup>2</sup> )             | 628.5m <sup>2</sup> |          |
| TOTAL FLOOR AREA (m <sup>2</sup> )      | 2,460m <sup>2</sup> |          |
| COMMERCIAL FLOOR AREA (m <sup>2</sup> ) | 137m <sup>2</sup>   |          |
| FLOOR SPACE RATIO                       | 4 : 1               |          |
| SITE COVERAGE (%)                       | 97.5%               |          |
| OPEN SITE SPACE (%)                     | 14%                 |          |
| ROOF STRUCTURE (%)                      | 26%                 |          |
| HEIGHT (m)                              | 22.28m              |          |
| NUMBER OF STOREYS                       | 6                   |          |
|                                         | REQUIRED            | PROVIDED |
| PARKING STALLS (#) ON SITE              | 24                  | 0        |
| BICYCLE PARKING (#) SHORT TERM          | 8                   | 8        |
| BICYCLE PARKING (#) LONG TERM           | 36                  | 48       |

|                                        |       |
|----------------------------------------|-------|
| FRONT YARD                             | 0.04m |
| REAR YARD (LEVEL 1)                    | 0.10m |
| REAR YARD (TO BUILDING FACE LEVEL 2-6) | 7.35m |
| SIDE YARD (W)                          | 0.23m |
| SIDE YARD (E)                          | 0.23m |
| COMBINED SIDE YARDS                    | 0.46m |

|                                                |                             |
|------------------------------------------------|-----------------------------|
| TOTAL NUMBER OF UNITS                          | 30                          |
| UNIT TYPE                                      | 1 BD+ DEN (20), STUDIO (10) |
| GROUND-ORIENTATED UNITS                        | 0                           |
| MINIMUM UNIT FLOOR AREA (m <sup>2</sup> )      | 36.7m <sup>2</sup>          |
| TOTAL RESIDENTIAL FLOOR AREA (m <sup>2</sup> ) | 1,651m <sup>2</sup>         |

|                                                |                                             |                                           |                        |
|------------------------------------------------|---------------------------------------------|-------------------------------------------|------------------------|
| <b>ZONING REGULATION BYLAW<br/>FLOOR AREAS</b> |                                             | <b>ZONING BYLAW 2018<br/>FLOOR AREAS</b>  |                        |
| Level 1                                        | 444.74 m <sup>2</sup>                       | Level 1                                   | 450.87 m <sup>2</sup>  |
| Level 2                                        | 403.03 m <sup>2</sup>                       | Level 2                                   | 408.60 m <sup>2</sup>  |
| Level 3                                        | 403.08 m <sup>2</sup>                       | Level 3                                   | 408.60 m <sup>2</sup>  |
| Level 4                                        | 403.08 m <sup>2</sup>                       | Level 4                                   | 408.60 m <sup>2</sup>  |
| Level 5                                        | 403.08 m <sup>2</sup>                       | Level 5                                   | 408.60 m <sup>2</sup>  |
| Level 6                                        | 403.08 m <sup>2</sup>                       | Level 6                                   | 408.60 m <sup>2</sup>  |
| Grand total 6                                  | 2460.66 m <sup>2</sup>                      | Grand total 6                             | 2460.84 m <sup>2</sup> |
| <b>FLOOR SPACE RATIO</b>                       |                                             | <b>FLOOR SPACE RATIO</b>                  |                        |
| 2460m <sup>2</sup> / 628.5m <sup>2</sup>       | = 3.9 : 1                                   | 2515m <sup>2</sup> / 628.5m <sup>2</sup>  | = 4 : 1                |
| rounded                                        | = 4 : 1                                     |                                           |                        |
| <b>SITE COVERAGE</b>                           |                                             | <b>ROOFTOP STRUCTURE</b>                  |                        |
| 608.5m <sup>2</sup> / 628.5m <sup>2</sup>      | = 0.97 (97%)                                | % COVERAGE                                |                        |
|                                                |                                             | 129.6m <sup>2</sup> / 491.0m <sup>2</sup> | = 0.264 (26%)          |
| <b>OPEN SITE SPACE</b>                         |                                             |                                           |                        |
| 85.6m <sup>2</sup> / 628.5m <sup>2</sup>       | = 0.14 (14%)                                |                                           |                        |
| <b>AVERAGE GRADE</b>                           |                                             |                                           |                        |
| GRADE POINTS:<br>(PROPOSED)                    | GRADE POINTS:<br>(NATURAL)                  |                                           |                        |
| A: <b>18.450</b>                               | B: 18.450                                   |                                           |                        |
| B: <b>18.960</b>                               | B: 18.960                                   |                                           |                        |
| C: 19.200                                      | C: <b>18.090</b>                            |                                           |                        |
| D: 19.200                                      | D: <b>19.070</b>                            |                                           |                        |
| <b>GRADE POINTS:</b>                           |                                             |                                           |                        |
| A-B: ((18.450 + 18.960)/2)                     | x 17.8 = 332.95                             |                                           |                        |
| B-C: ((18.960 + 19.090)/2)                     | x 30.5 = 580.26                             |                                           |                        |
| C-D: ((19.090 + 19.070)/2)                     | x 17.8 = 339.62                             |                                           |                        |
| D-A: ((19.070 + 18.450)/2)                     | x 30.5 = 572.18                             |                                           |                        |
|                                                | <b>96.6</b>                                 | <b>1,825.01</b>                           |                        |
|                                                | AVERAGE GRADE = 1825.01/96.6 = <b>18.89</b> |                                           |                        |



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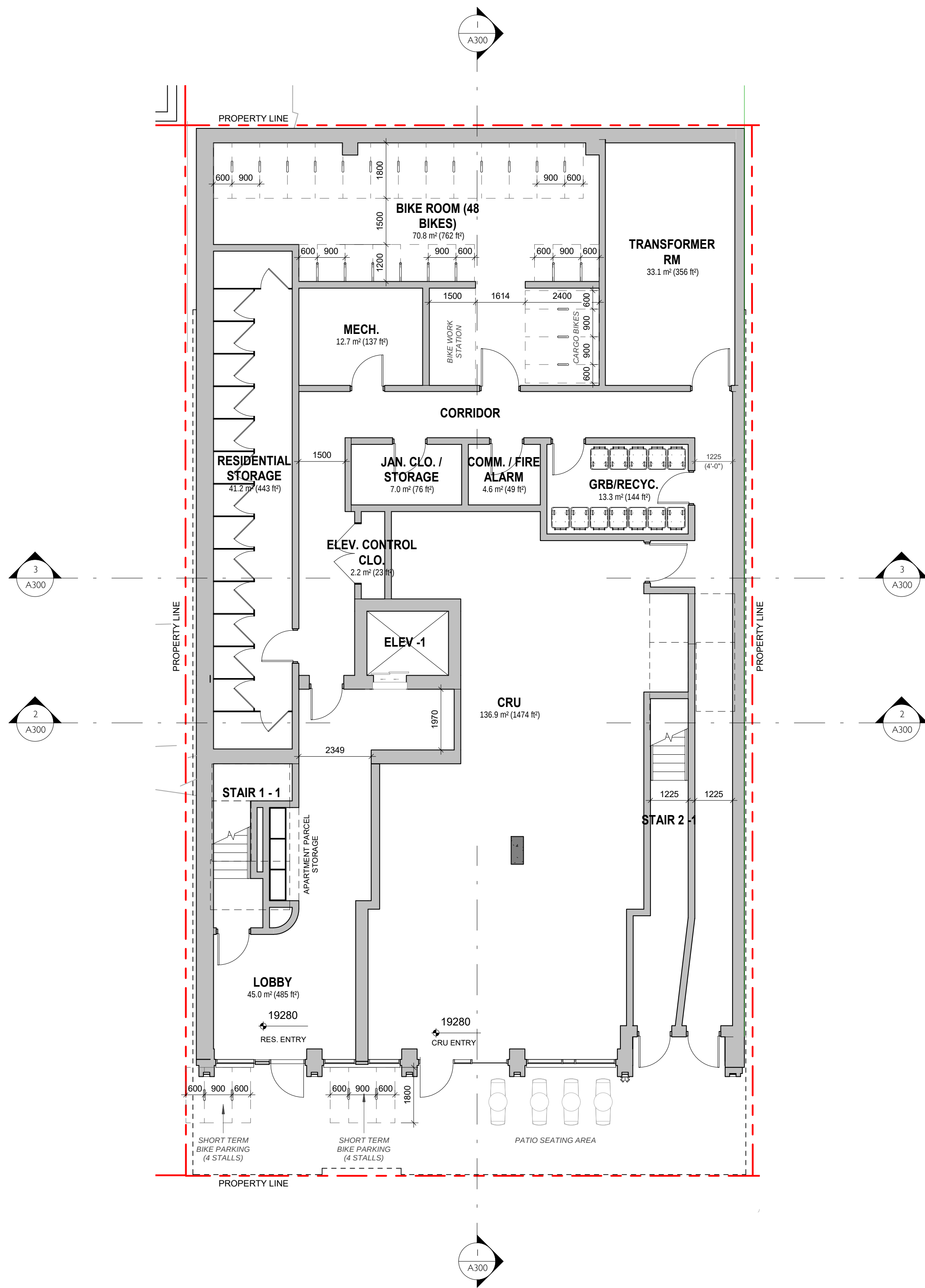
Project \_\_\_\_\_



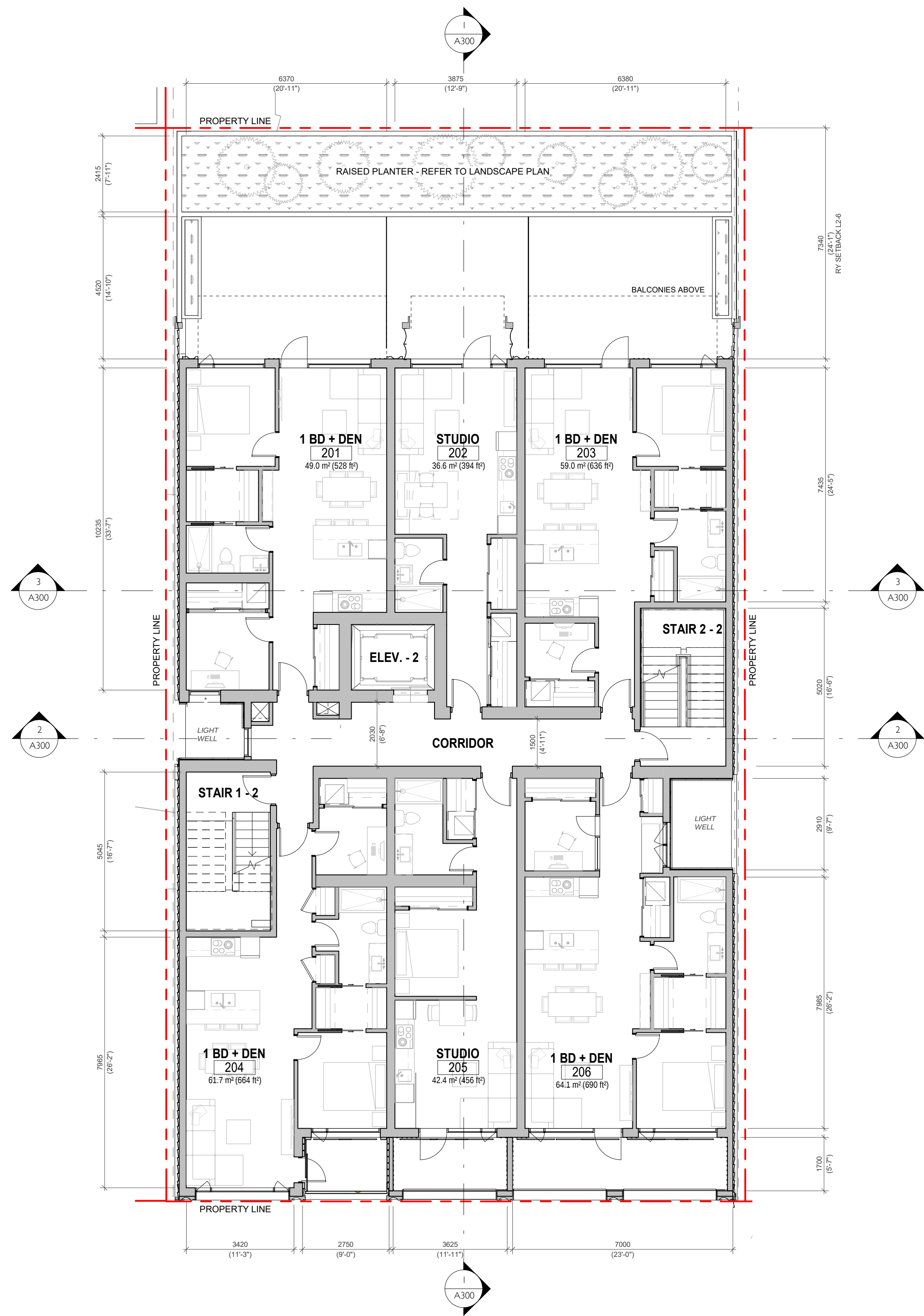
**JAWL PROPERTIES**  
1030 Fort Street, Victoria BC

Sheet Name **Site Plan and Project Data**

|                                                                                       |              |                  |              |
|---------------------------------------------------------------------------------------|--------------|------------------|--------------|
| Date                                                                                  |              | FEBRUARY 9, 2022 |              |
| Scale                                                                                 | As indicated | Project #        | 2112         |
|  |              | Revision         | <div>3</div> |
|                                                                                       |              | NOV 30, 2021     |              |
|                                                                                       |              | Sheet #          | A100         |



**1 Level 1 Proposed Plan**  
SCALE = 1 : 100



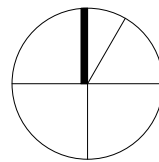
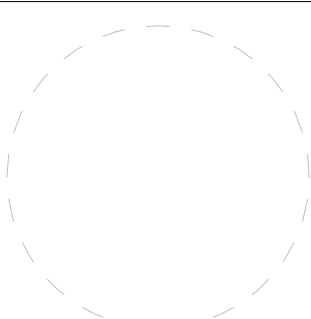
**2 Levels 2-6 Typical Proposed Plan**  
SCALE = 1 : 100

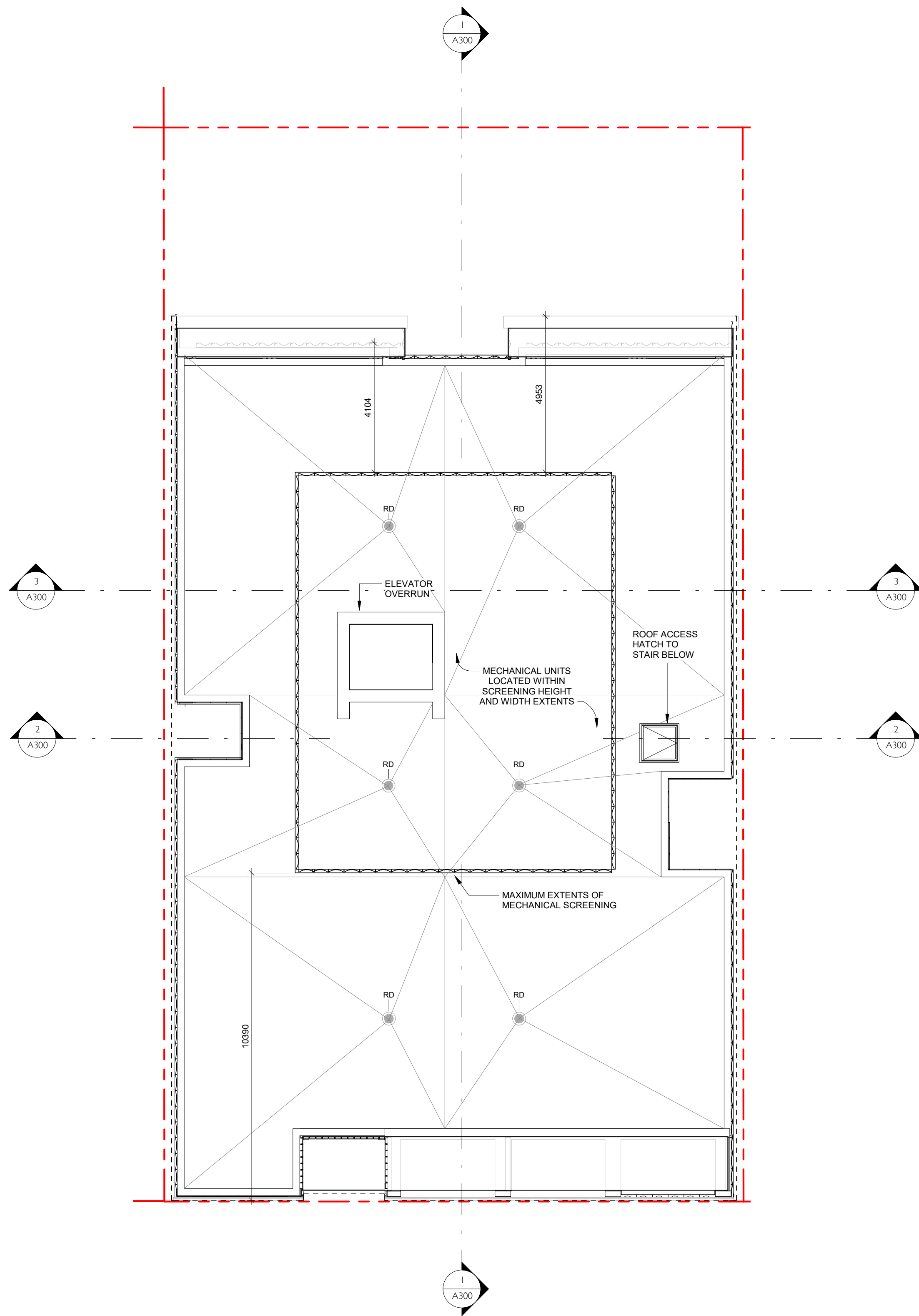
| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
|-----|--------------------------------|---------------|
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



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|                                                                                       |         |                               |                                                                                       |
|---------------------------------------------------------------------------------------|---------|-------------------------------|---------------------------------------------------------------------------------------|
| Project                                                                               |         | 1030 FORT STREET              |                                                                                       |
|  |         | JAWL PROPERTIES               |                                                                                       |
|                                                                                       |         | 1030 Fort Street, Victoria BC |                                                                                       |
| Sheet Name                                                                            |         | Proposed Floor Plans          |                                                                                       |
|                                                                                       |         | Date                          |                                                                                       |
|                                                                                       |         | FEBRUARY 9, 2022              |                                                                                       |
| Scale                                                                                 | 1 : 100 | Project #                     | 2112                                                                                  |
|  |         | Revision                      |  |
|                                                                                       |         | NOV 30, 2021                  |                                                                                       |
|                                                                                       |         | Sheet #                       | A101                                                                                  |



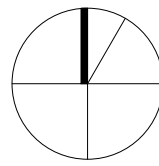
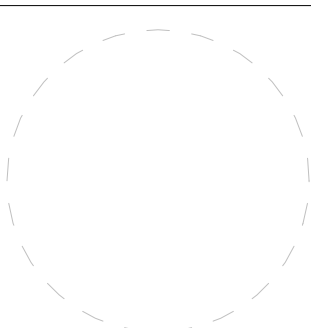
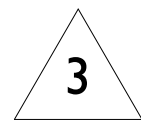
ZONING BYLAW 2018 - ROOF AREA: 491sq.m  
ZONING BYLAW 2018 - ROOFTOP STRUCTURE EXTENTS: 130sq.m

| 3   | Issued for RZ/DP Rev1 | NOV 30, 2021  |
|-----|-----------------------|---------------|
| 2   | Issued for RZ/DP      | SEPT 15, 2021 |
| NO. | DESCRIPTION           | DATE          |



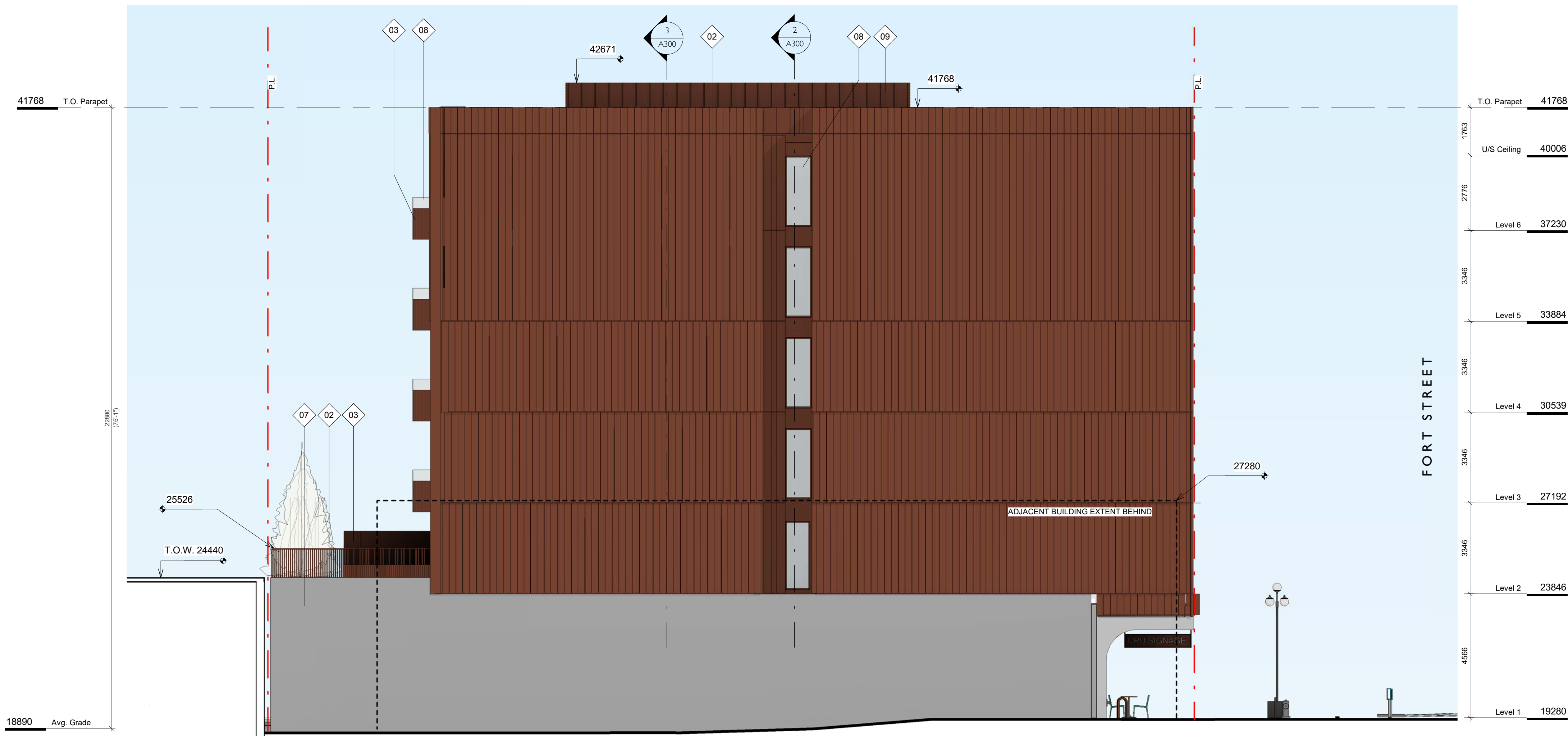
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|                                                                                       |         |                                                  |                                                                                       |
|---------------------------------------------------------------------------------------|---------|--------------------------------------------------|---------------------------------------------------------------------------------------|
| Project                                                                               |         | 1030 FORT STREET                                 |                                                                                       |
|  |         | JAWL PROPERTIES<br>1030 Fort Street, Victoria BC |                                                                                       |
| Sheet Name                                                                            |         | Roof Plan                                        |                                                                                       |
| Date                                                                                  |         |                                                  |                                                                                       |
|                                                                                       |         | FEBRUARY 9, 2022                                 |                                                                                       |
| Scale                                                                                 | 1 : 100 | Project #                                        | 2112                                                                                  |
|  |         | Revision                                         |  |
|                                                                                       |         | NOV 30, 2021                                     |                                                                                       |
|                                                                                       |         | Sheet #                                          | A102                                                                                  |



1 South Elevation  
SCALE = 1 : 100



2 West Elevation  
SCALE = 1 : 100

FINISH MATERIALS

01. TERRA COTTA

02. PRE-FINISHED METAL

03. FRITTED GLASS

04. CEDAR SOFFIT

05. CEMENTITIOUS PANEL

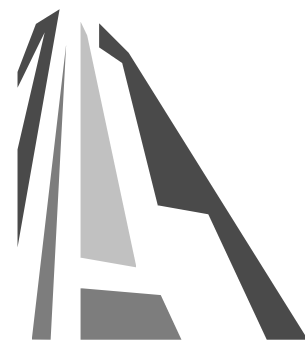
06. ARCHITECTURAL CONCRETE

07. CONCRETE

08. TRANSPARENT GLASS

09. PRE-FINISHED PERFORATED METAL

| 4   | Issued for ADP                 | FEB 09, 2022  |
|-----|--------------------------------|---------------|
| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



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Project

1030 FORT STREET

JAWL PROPERTIES

1030 Fort Street, Victoria BC

Sheet Name

Building Elevations S-W

Date

FEBRUARY 9, 2022

Scale

As indicated

Project #

2112

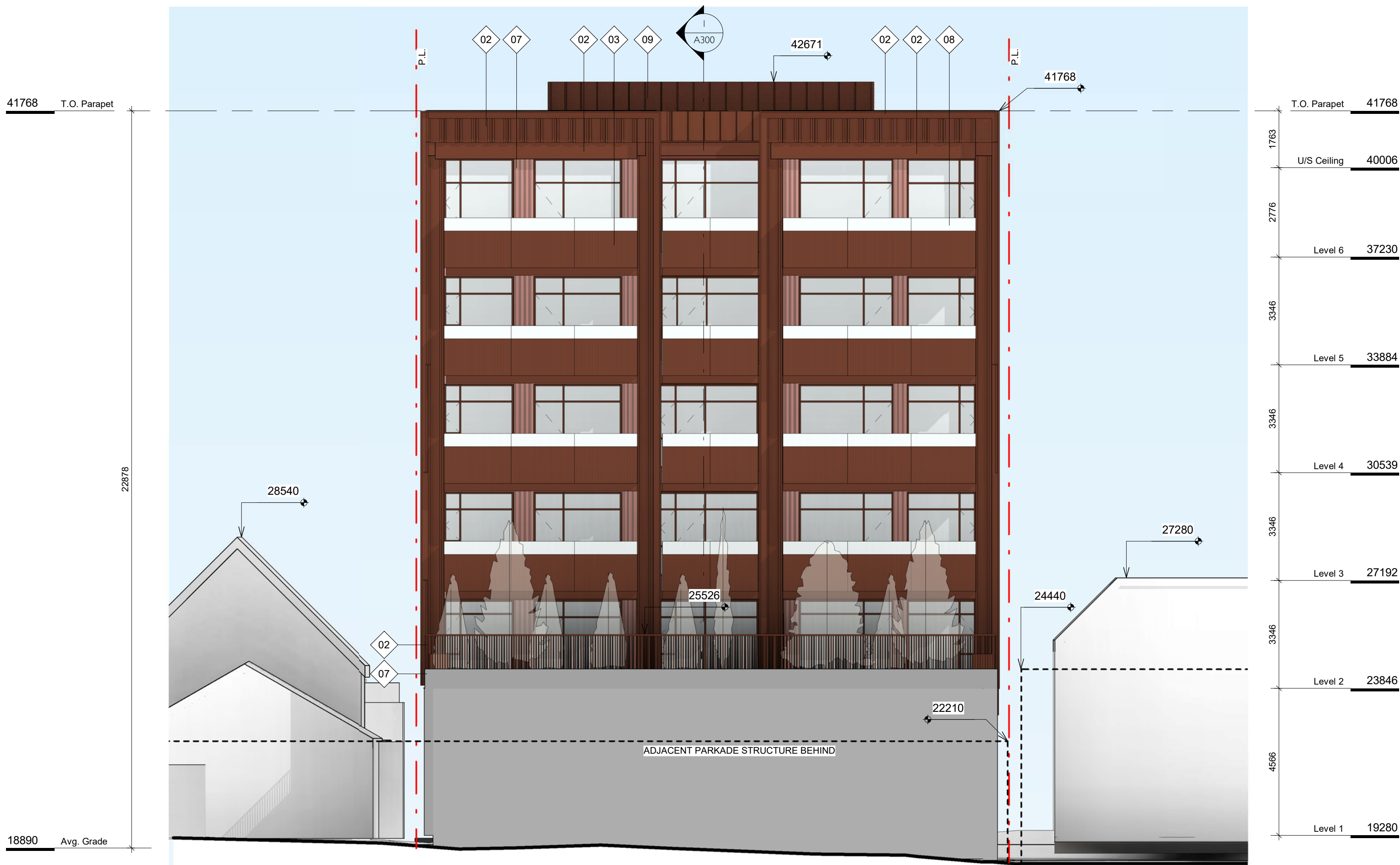
Revision

FEB 09, 2022

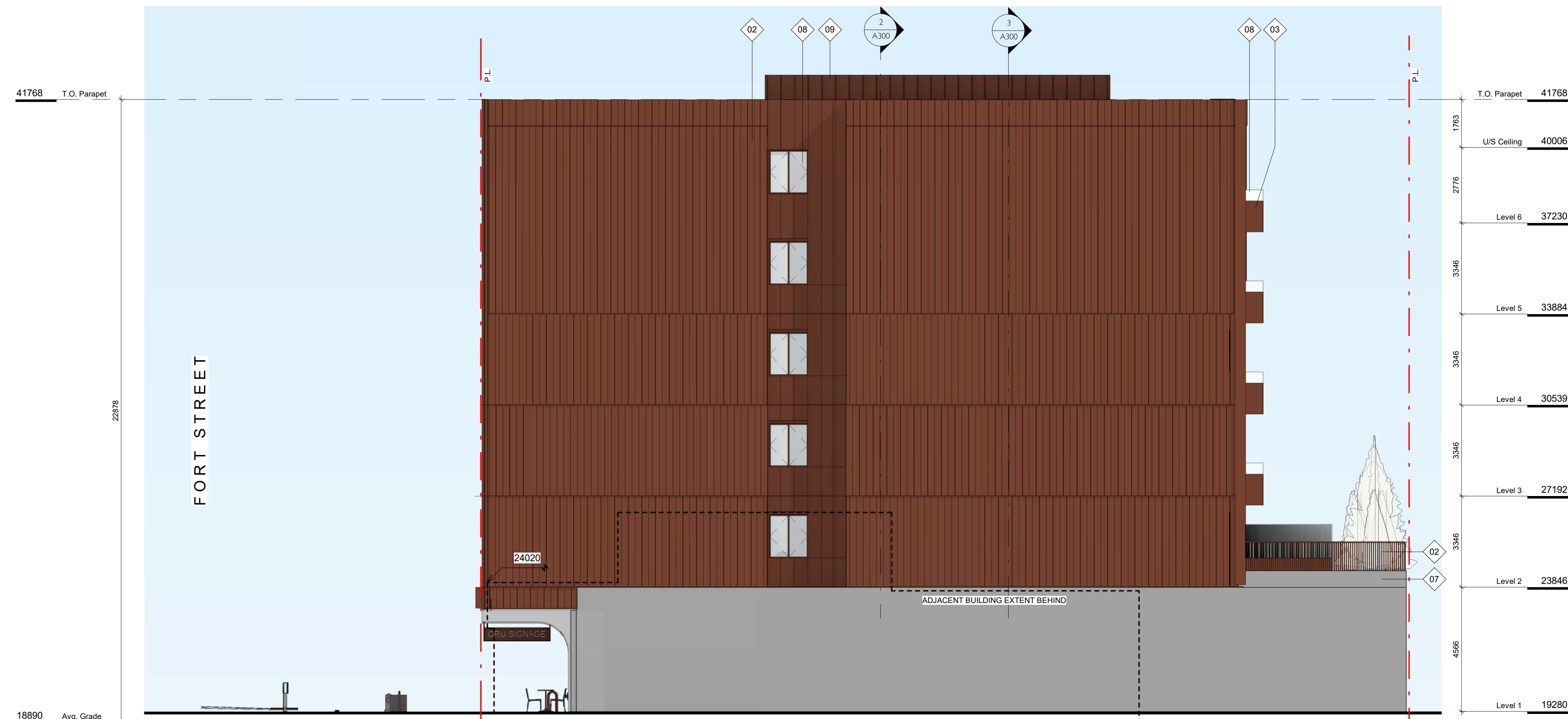
4

Sheet #

A200



1 North Elevation  
SCALE = 1 : 100



2 East Elevation  
SCALE = 1 : 100

## FINISH MATERIALS



01. TERRA COTTA

02. PRE-FINISHED METAL

03. FRITTED GLASS

04. CEDAR SOFFIT

05. CEMENTITIOUS PANEL

06. ARCHITECTURAL CONCRETE

07. CONCRETE

08. TRANSPARENT GLASS

09. PRE-FINISHED PERFORATED METAL

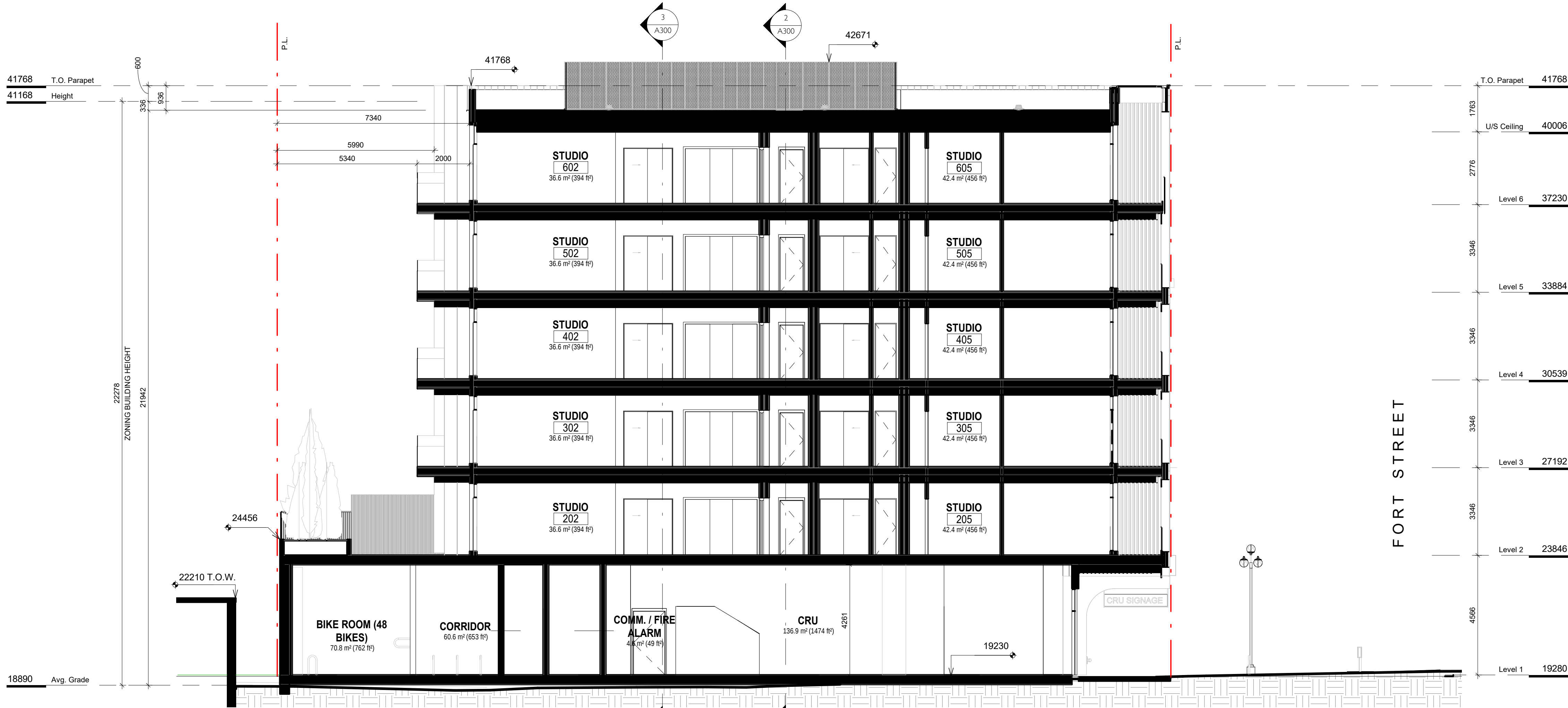
| 4   | Issued for ADP                 | FEB 09, 2022  |
|-----|--------------------------------|---------------|
| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



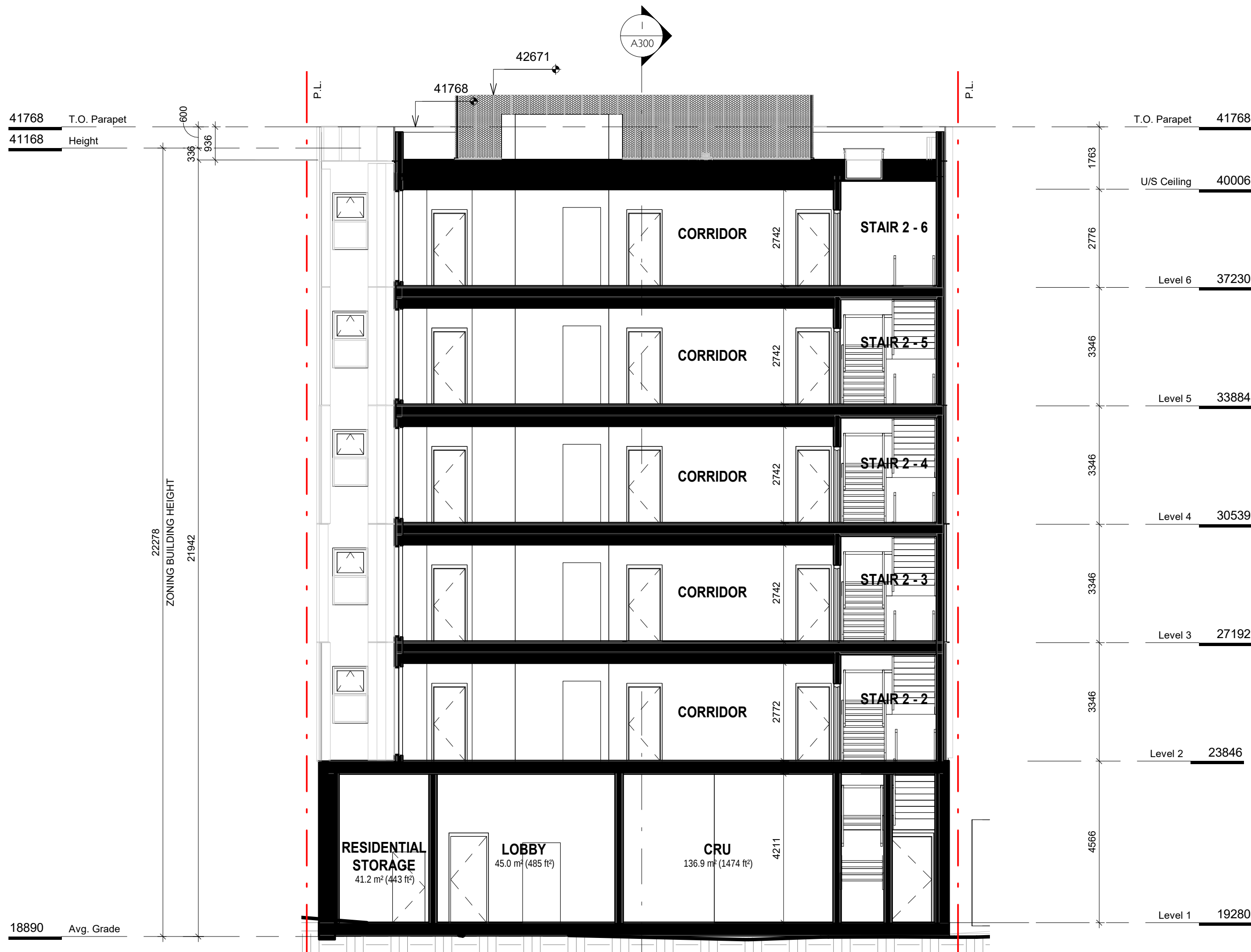
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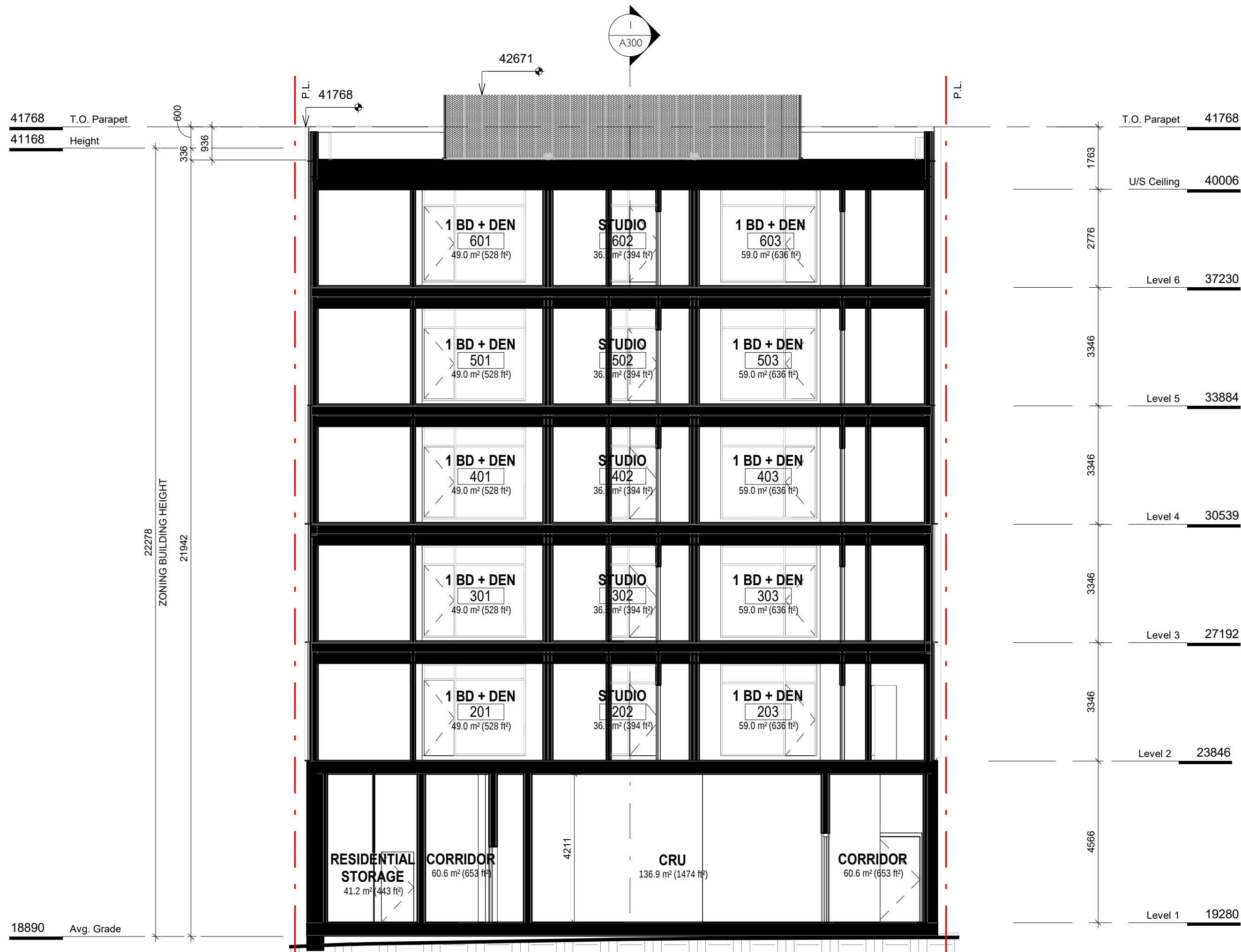
|                               |           |   |
|-------------------------------|-----------|---|
| Project                       |           |   |
| 1030 FORT STREET              |           |   |
| JAWL PROPERTIES               |           |   |
| 1030 Fort Street, Victoria BC |           |   |
| Sheet Name                    |           |   |
| Building Elevations N-E       |           |   |
| Date                          |           |   |
| FEBRUARY 9, 2022              |           |   |
| Scale                         | Project # |   |
| As indicated                  | 2112      |   |
| Revision                      |           |   |
| FEB 09, 2022                  |           | 4 |
| Sheet #                       |           |   |
| A201                          |           |   |



1 Building Section 1  
SCALE = 1 : 100



2 Building Section 2  
SCALE = 1 : 100



3 Building Section 3  
SCALE = 1 : 100

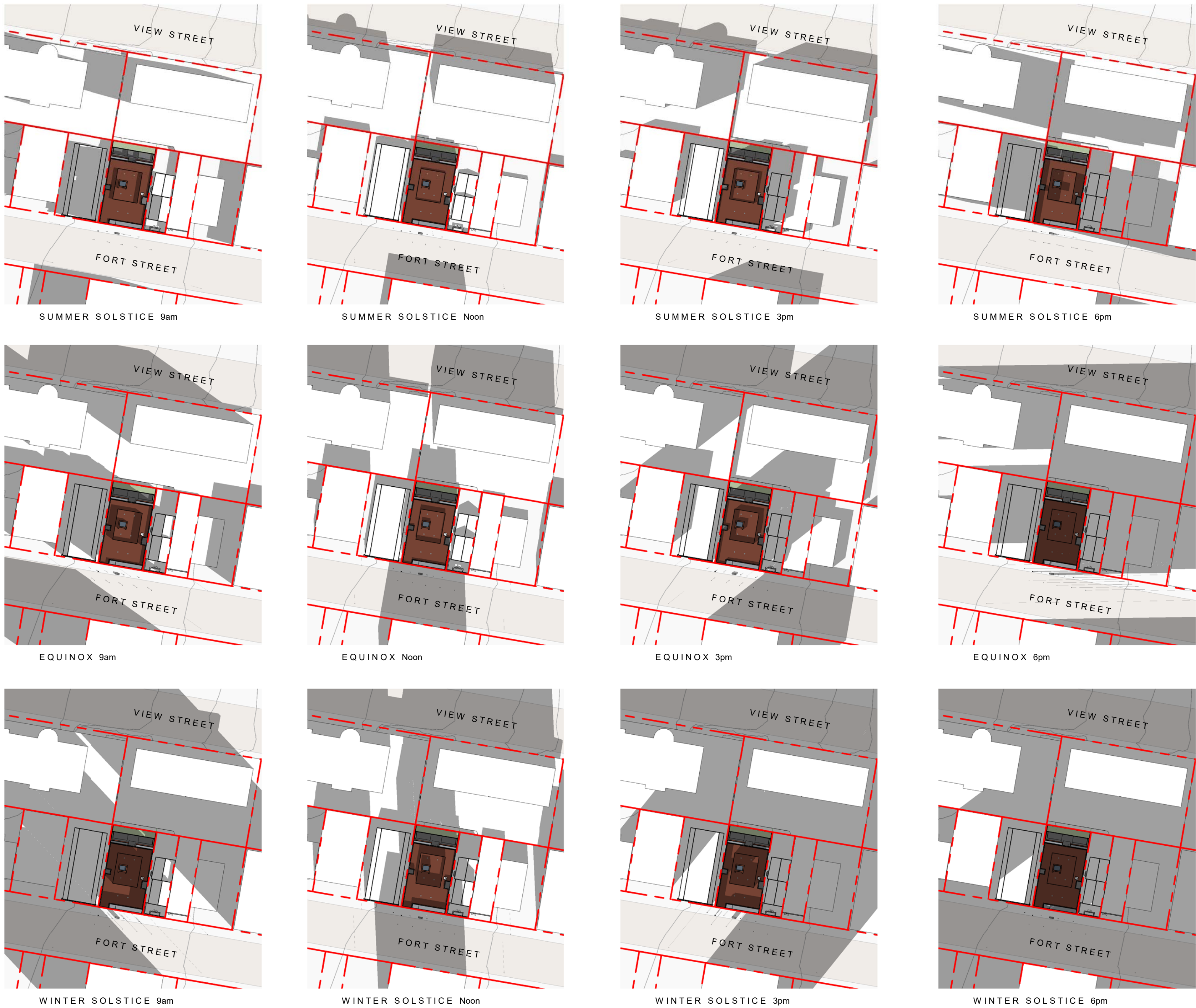
| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
|-----|--------------------------------|---------------|
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



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|                               |           |   |
|-------------------------------|-----------|---|
| Project                       |           |   |
| 1030 FORT STREET              |           |   |
| JAWL PROPERTIES               |           |   |
| 1030 Fort Street, Victoria BC |           |   |
| Sheet Name                    |           |   |
| Building Sections             |           |   |
| Date                          |           |   |
| FEBRUARY 9, 2022              |           |   |
| Scale                         | Project # |   |
| 1 : 100                       | 2112      |   |
| Revision                      |           |   |
| NOV 30, 2021                  |           | 3 |
| Sheet #                       |           |   |
| A300                          |           |   |



| 3   | Issued for RZ/DP Rev1          | NOV 30, 2021  |
|-----|--------------------------------|---------------|
| 2   | Issued for RZ/DP               | SEPT 15, 2021 |
| 1   | Issued for Development Tracker | AUG 03, 2021  |
| NO. | DESCRIPTION                    | DATE          |



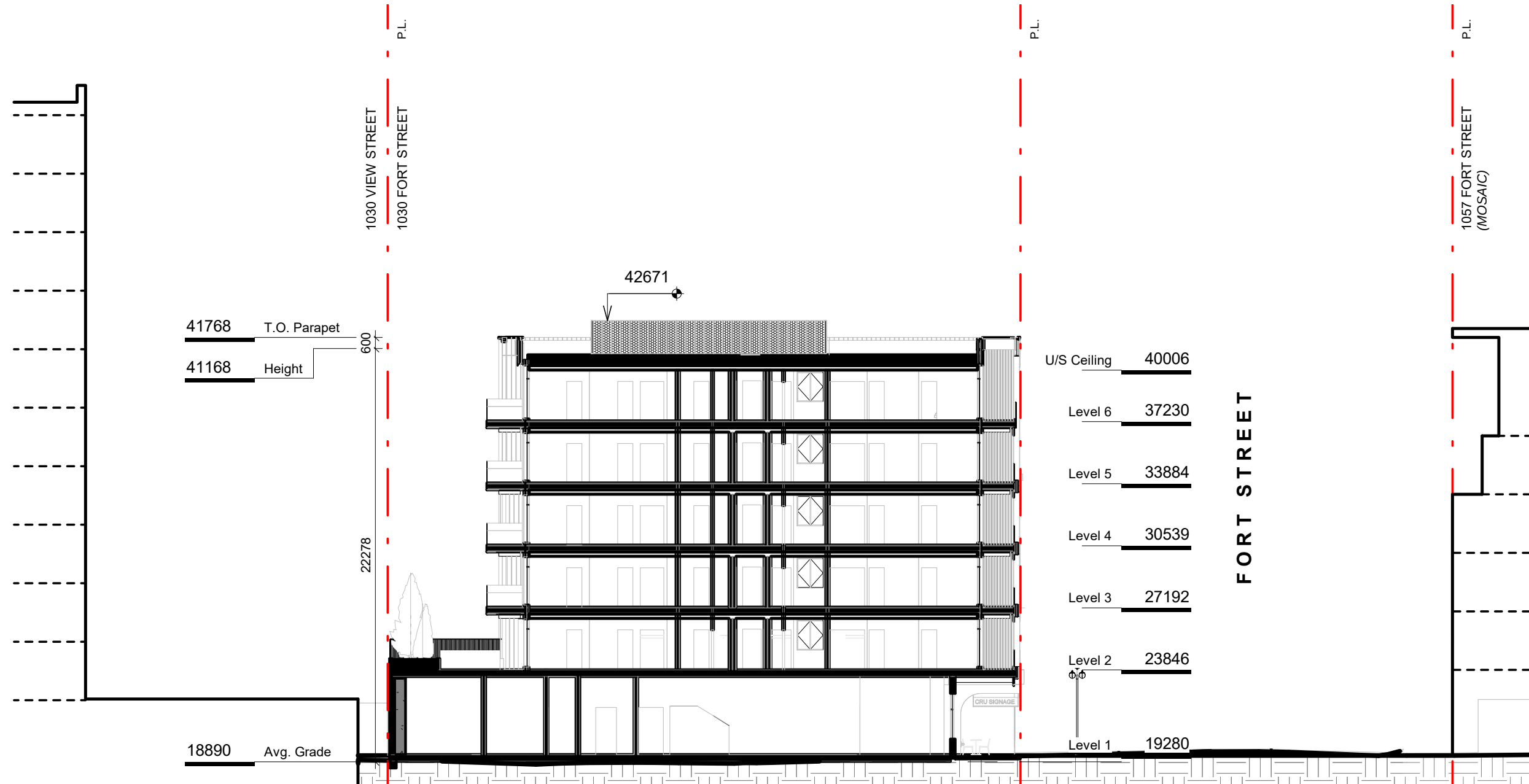
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|            |              |                               |                |
|------------|--------------|-------------------------------|----------------|
| Project    |              | 1030 FORT STREET              |                |
|            |              | JAWL PROPERTIES               |                |
|            |              | 1030 Fort Street, Victoria BC |                |
| Sheet Name |              | Context & Shadow Study        |                |
| Date       |              | FEBRUARY 9, 2022              |                |
| Scale      | As indicated | Project #                     | 2112           |
|            |              | Revision                      | NOV 30, 2021 3 |
|            |              | Sheet #                       | A500           |



1 South Elevation - Fort Street Context  
SCALE= 1 : 250

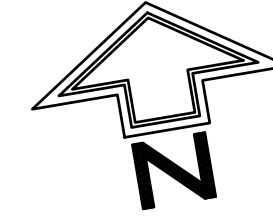
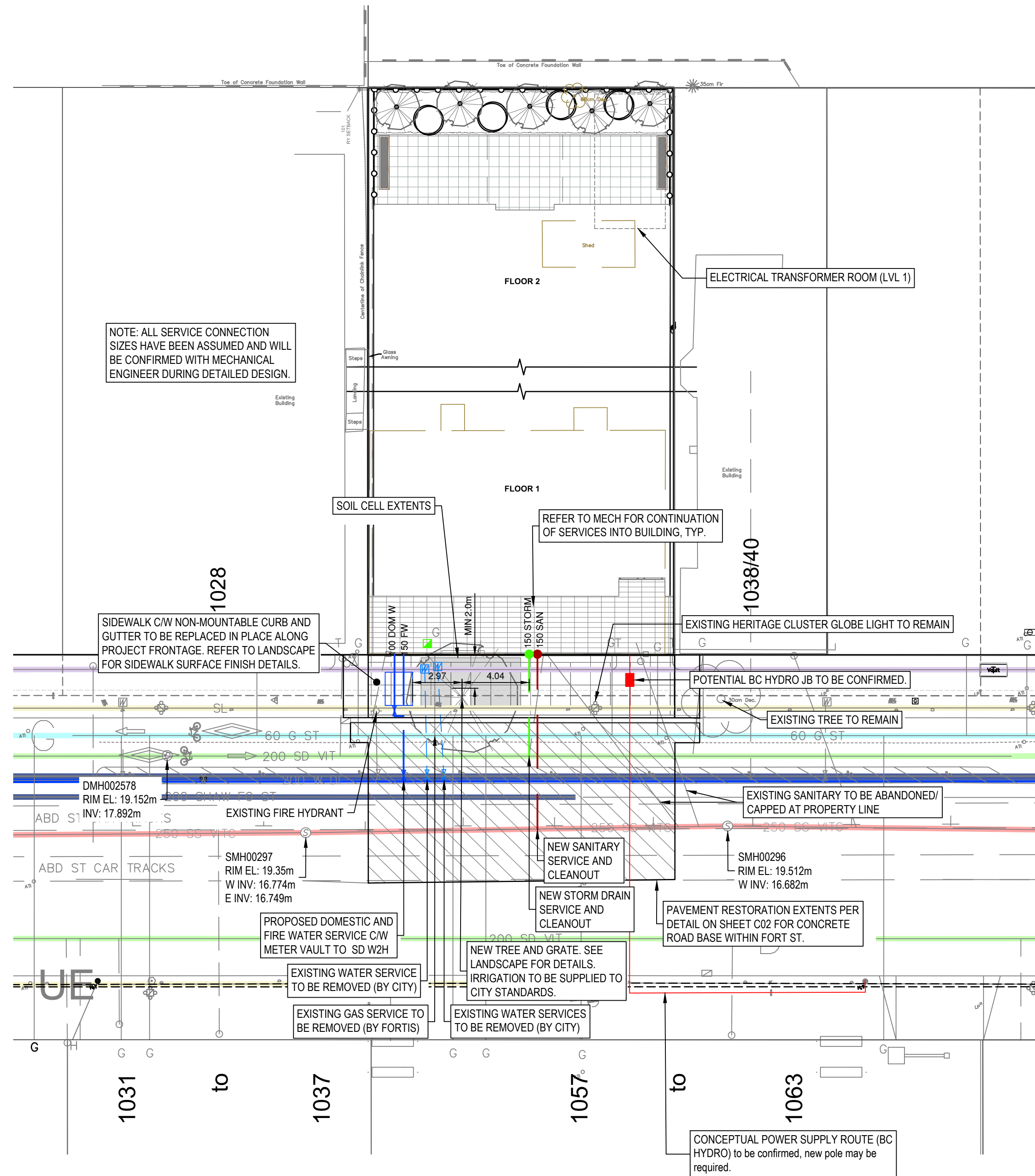


14 Section - Fort Street & Context  
SCALE= 1 : 250



1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MCMC) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-8886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
8. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
10. CITY AGREES TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW, AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDROTEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEP CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MCMC AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3.00 P.M.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.

|           |                        |
|-----------|------------------------|
| ADDRESS   | 1030 FORT STREET       |
| LOT:      | REM 1010               |
| BLOCK:    |                        |
| PLAN:     | VIP1A                  |
| ZONING:   | CA-42                  |
| LAND USE: | COMMERCIAL/RESIDENTIAL |



| SERVICE        | ESTIMATED SIZE           | UTILITY PROVIDER | INSTALLATION FORCES | COST(\$) <sup>1</sup> |
|----------------|--------------------------|------------------|---------------------|-----------------------|
| WATER          | 150mm                    | City of Victoria | City of Victoria    | At Cost               |
| SANITARY       | 150mm                    | City of Victoria | City of Victoria    | At Cost               |
| STORM DRAIN    | 150mm                    | City of Victoria | City of Victoria    | At Cost               |
| GAS            | <sup>2</sup> Unconfirmed | Fortis           | Utility Contractor  | Based on Size         |
| HYDRO          | <sup>2</sup> Unconfirmed | BC Hydro         | Utility Contractor  | Based on Size         |
| COMMUNICATIONS | <sup>2</sup> Unconfirmed | Telus/Shaw       | Utility Contractor  | Based on Size         |

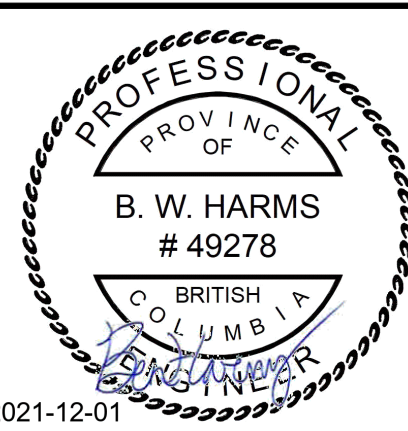
<sup>2</sup> Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

| WORKS AND SERVICES CHECK TABLE |                                        |                           |           |      |
|--------------------------------|----------------------------------------|---------------------------|-----------|------|
| PLAN CHECKER                   |                                        | AUTHORIZED REPRESENTATIVE |           | DATE |
|                                |                                        | NAME                      | SIGNATURE |      |
| UTILITY                        | BC HYDRO                               |                           |           |      |
|                                | TELUS                                  |                           |           |      |
|                                | FORTIS BC                              |                           |           |      |
|                                | SHAW                                   |                           |           |      |
| MUNICIPAL                      | UNDERGROUND UTILITIES                  |                           |           |      |
|                                | TRANSPORTATION DESIGN & INFRASTRUCTURE |                           |           |      |
|                                | LAND DEVELOPMENT                       |                           |           |      |

| SURFACE DETAIL |                        |  |                       |  |                           |  |                                |  |                                |  |                              |  |           |
|----------------|------------------------|--|-----------------------|--|---------------------------|--|--------------------------------|--|--------------------------------|--|------------------------------|--|-----------|
|                | STORM DRAIN MANHOLE    |  | HYDRO MANHOLE         |  | SEWER LATERAL             |  | TEL MANHOLE                    |  | SIGNAL PULL BOX – SIDEWALK     |  | HYDRO/TEL POLE TO BE REMOVED |  | SANITARY  |
|                | STORM DRAIN MANHOLE    |  | HYDRO POLE            |  | WATER VALVE ON MAIN       |  | TEL POLE                       |  | LIGHT/SIGNAL PULL BOX – STREET |  | GAS METER                    |  | STORM     |
|                | CATCH BASIN            |  | HYDRO POLE WITH DIP   |  | WATER SERVICE VALVE       |  | TEL POLE WITH DIP              |  | LIGHT POLE (STEEL)             |  | GAS VALVE                    |  | WATER     |
|                | DRAIN CLEANOUT         |  | JOINT POLE            |  | BOULEVARD SERVICE         |  | TEL POLE WITH LIGHT            |  | SIGNAL POLE (STEEL)            |  | GAS SNIFFER                  |  | HYDRO     |
|                | DRAIN LATERAL          |  | HYDRO POLE WITH LIGHT |  | FIRE HYDRANT              |  | TEL SERVICE BOXES              |  | LIGHT/SIGNAL POLE (STEEL)      |  | TEST HOLE                    |  | LIGHTING  |
|                | SANITARY SEWER MANHOLE |  | HYDRO SERVICE BOXES   |  | REDUCER                   |  | TEL VAULT                      |  | CLUSTER LAMP – TYPE A          |  | FENCE LINE                   |  | GAS       |
|                | SANITARY SEWER VENT    |  | HYDRO VAULT           |  | LIGHT MANHOLE             |  | POLE ANCHOR                    |  | CLUSTER LAMP – TYPE B          |  | RETAINING WALL               |  | TEL/CABLE |
|                | SEWER CLEANOUT         |  |                       |  | LIGHT PULL BOX – SIDEWALK |  | HYDRO/TEL POLE TO BE RELOCATED |  | STREET SIGN                    |  | TREE                         |  |           |
|                |                        |  |                       |  |                           |  |                                |  | PARKING METER                  |  | ROCK OUTCROP                 |  |           |

|                                                                                                                                                                                                                                                                                                                                                    |        |            |                                            |      |      |      |      |      |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------|------------|--------------------------------------------|------|------|------|------|------|
| COPYRIGHT:<br><br>THIS DRAWING AND DESIGN IS COPYRIGHT<br>PROTECTED WHICH SHALL NOT BE USED,<br>REPRODUCED OR REVISED WITHOUT<br>WRITTEN PERMISSION BY WSP CANADA INC.<br><br>DISCLAIMER:<br><br>THE CONTRACTOR SHALL CHECK AND<br>VERIFY ALL DIMENSIONS AND UTILITY<br>LOCATIONS AND REPORT ALL ERRORS AND<br>OMISSIONS PRIOR TO COMMENCING WORK. | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
|                                                                                                                                                                                                                                                                                                                                                    | ####   | ####       | ####                                       | #### | #### | #### | #### | #### |
| <b>THIS DRAWING IS NOT TO BE SCALED.</b>                                                                                                                                                                                                                                                                                                           | 1      | 2021/12/01 | RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING |      | BH   | CD   | JCS  | BH   |
|                                                                                                                                                                                                                                                                                                                                                    | 0      | 2021/09/15 | ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING    |      | BH   | CD   | JCS  | BH   |
|                                                                                                                                                                                                                                                                                                                                                    | ISSREV | YYYY-MM-DD | DESCRIPTION                                |      | DES  | DRN  | CHK  | PM   |

SEAL



2021-12-01

CLIENT

**JAWL PROPERTIES LTD.**  
1515 Douglas St Suite 200,  
Victoria, BC



301-3600 Uptown Blvd  
Victoria BC, Canada  
V8Z 0B9  
T+ 1 250-384-5510  
F+ 1 250-386-2844  
wsp.com

|         |  |
|---------|--|
| PROJECT |  |
|---------|--|

**1030 FORT STREET  
MIXED-USE DEVELOPMENT**

1

PROJECT NO:  
211-06978-00

SCALE:

CIVIL

|        |  |
|--------|--|
| TITLE: |  |
|--------|--|

## CONCEPTUAL CIVIL PLAN

DRAWING NO:

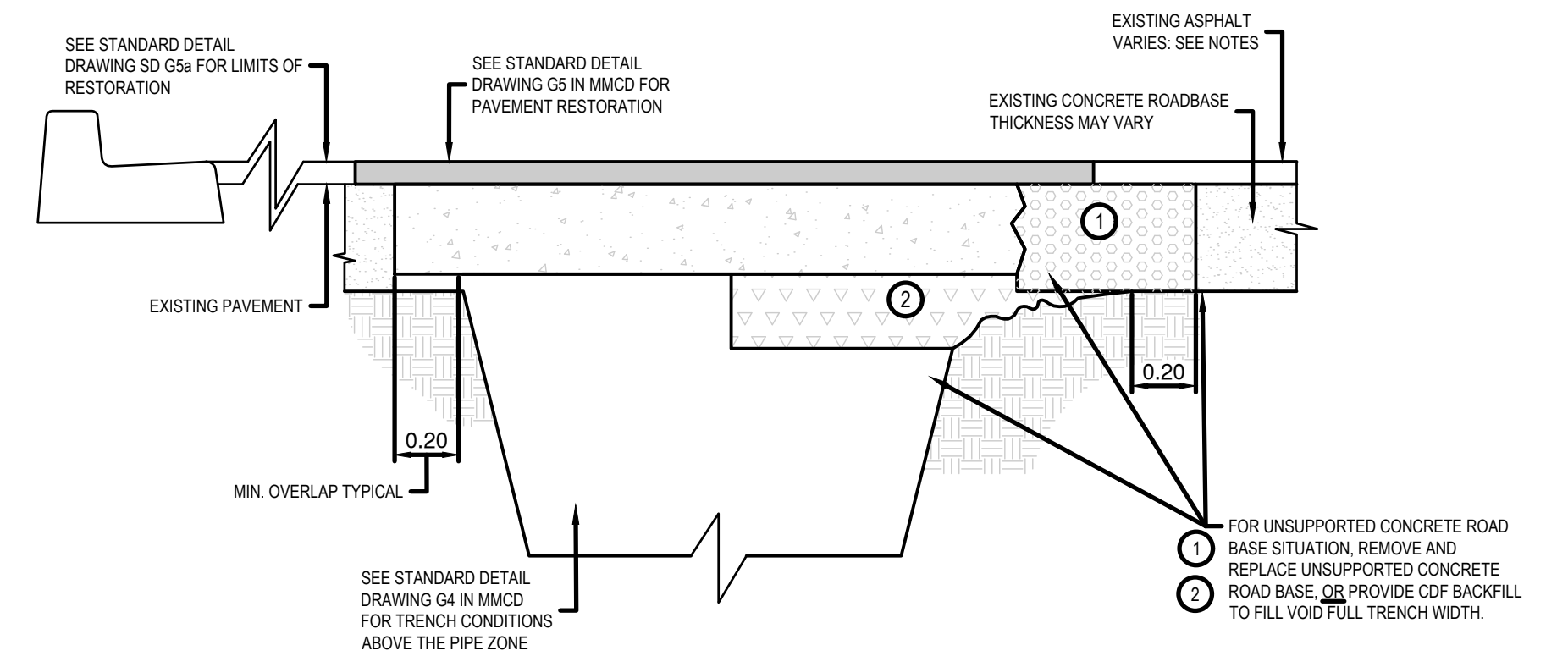
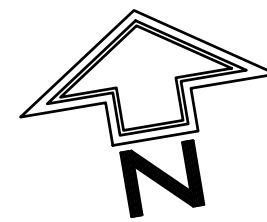
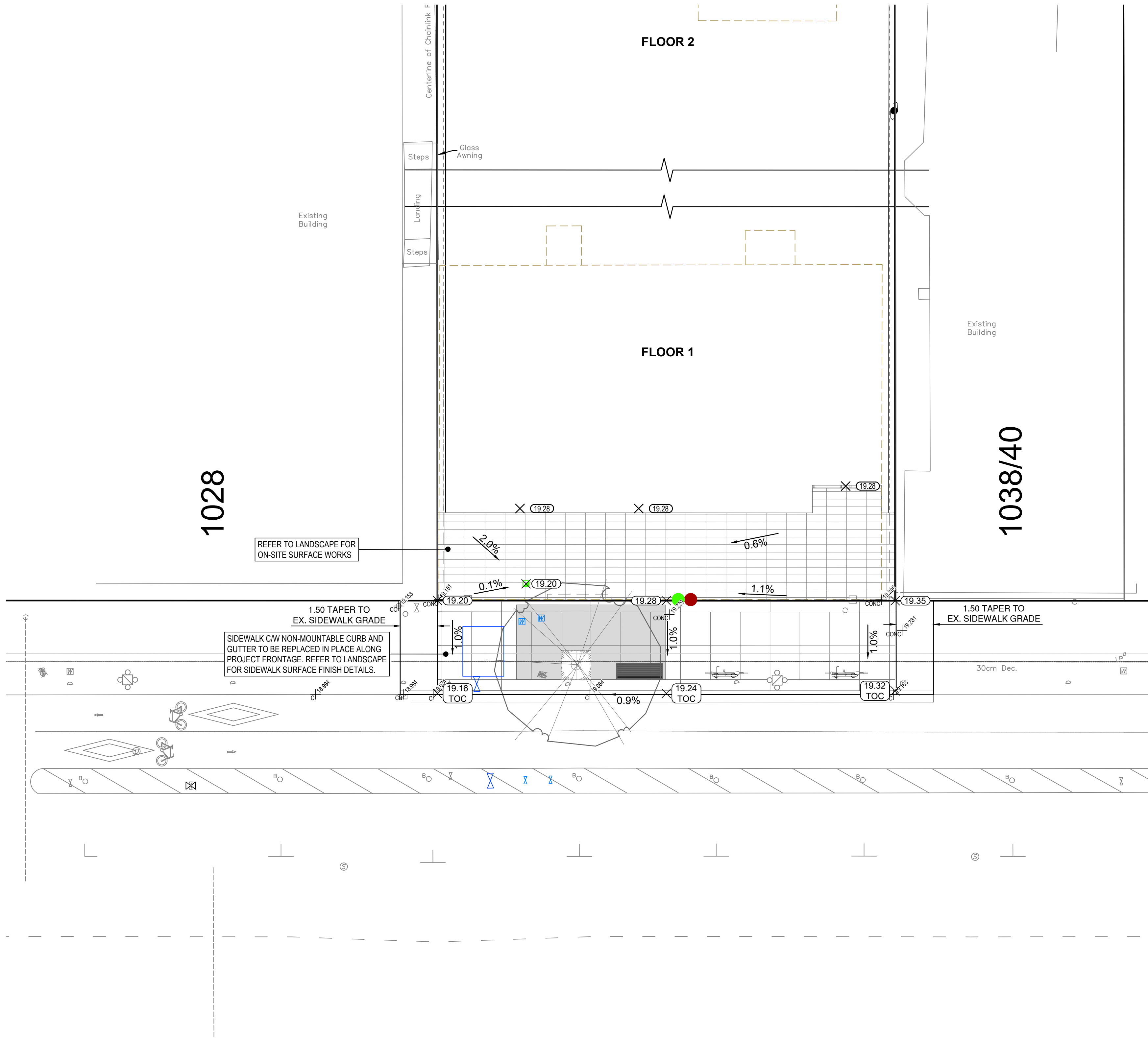
SHEET NO: C01 1 OF 2

ISSUE:

2021/12/01

ISS/REV:

1



- NOTES:
1. IF PAVEMENT THICKNESS IS 150mm OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
  2. IF PAVEMENT THICKNESS IS GREATER THAN 150mm REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150mm BELOW THE SURFACE OF EXISTING PAVEMENT.
  3. MUNICIPALITY MAY REQUEST FURTHER ASPHALT REMOVAL DEPENDING ON PAVEMENT CONDITIONS.
  4. REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
  5. RESTORE CONCRETE ROAD BASE TO 200mm THICKNESS.
  6. DOWEL NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

### TRENCH RESTORATION FOR CONCRETE ROAD BASE

1:20  
CoV SD G5b

#### LEGEND

| SURFACE DETAIL           |                         |                             |                                  |                                  |                                |  |  |
|--------------------------|-------------------------|-----------------------------|----------------------------------|----------------------------------|--------------------------------|--|--|
| ⊕ STORM DRAIN MANHOLE    | (H) HYDRO MANHOLE       | Y SEWER LATERAL             | Ⓣ TEL MANHOLE                    | ⊕ SIGNAL PULL BOX - SIDEWALK     | ✕ HYDRO/TEL POLE TO BE REMOVED |  |  |
| Ⓟ STORM DRAIN VENT       | Ⓜ HYDRO POLE            | ⊠ WATER VALVE ON MAIN       | Ⓢ TEL POLE                       | Ⓛ LIGHT/SIGNAL PULL BOX - STREET | Ⓜ GAS METER                    |  |  |
| Ⓛ CATCH BASIN            | Ⓜ HYDRO POLE WITH DIP   | ⊠ WATER SERVICE VALVE       | Ⓢ TEL POLE WITH DIP              | Ⓛ LIGHT POLE (STEEL)             | Ⓜ GAS VALVE                    |  |  |
| Ⓛ DRAIN CLEANOUT         | Ⓜ JOINT POLE            | ⊠ WATER METER               | Ⓢ TEL POLE WITH LIGHT            | Ⓛ LIGHT POLE (STEEL)             | Ⓜ GAS SNIFFER                  |  |  |
| Ⓛ DRAIN LATERAL          | Ⓜ HYDRO POLE WITH LIGHT | ⊠ BOULEVARD SERVICE         | Ⓢ TEL SERVICE BOXES              | Ⓛ LIGHT/SIGNAL POLE (STEEL)      | Ⓜ TEST HOLE                    |  |  |
| Ⓛ SANITARY SEWER MANHOLE | Ⓜ HYDRO SERVICE BOXES   | ⊠ FIRE HYDRANT              | Ⓢ TEL VAULT                      | Ⓛ CLUSTER LAMP - TYPE A          | Ⓜ FENCE LINE                   |  |  |
| Ⓛ SANITARY SEWER VENT    | Ⓜ HYDRO VAULT           | ⊠ REDUCER                   | Ⓢ POLE ANCHOR                    | Ⓛ CLUSTER LAMP - TYPE B          | Ⓜ RETAINING WALL               |  |  |
| Ⓛ SEWER CLEANOUT         |                         | ⊠ LIGHT MANHOLE             | Ⓢ HYDRO/TEL POLE TO BE RELOCATED | Ⓛ STREET SIGN                    | Ⓜ TREE                         |  |  |
|                          |                         | ⊠ LIGHT PULL BOX - SIDEWALK |                                  | Ⓛ PARKING METER                  | Ⓜ ROCK OUTCROP                 |  |  |

|                                                                                                                                             |            |                                            |     |     |     |    |  |
|---------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------------------------------------|-----|-----|-----|----|--|
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| ISS/REV                                                                                                                                     | YYYY-MM-DD | DESCRIPTION                                | DES | DRN | CHK | PM |  |
| 1                                                                                                                                           | 2021/12/01 | RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING | BH  | CD  | JCS | BH |  |
| 0                                                                                                                                           | 2021/09/15 | ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING    | BH  | CD  | JCS | BH |  |

SEAL:

PROFESSIONAL  
OF  
B. W. HARMS  
# 49278  
BRITISH  
COLUMBIA  
ENGINEER

2021-12-01

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PROJECT:

1030 FORT STREET  
MIXED-USE DEVELOPMENT

PROJECT NO:  
211-06978-00

SCALE:  
1:100

DISCIPLINE:  
CIVIL

TITLE:

CONCEPTUAL SURFACE WORKS  
& SITE GRADING

DRAWING NO:  
C02

SHEET NO:  
2 OF 2

ISSUE:  
FOR DEVELOPMENT PERMIT/RE-ZONING

ISS/REV:  
1

2021/12/01