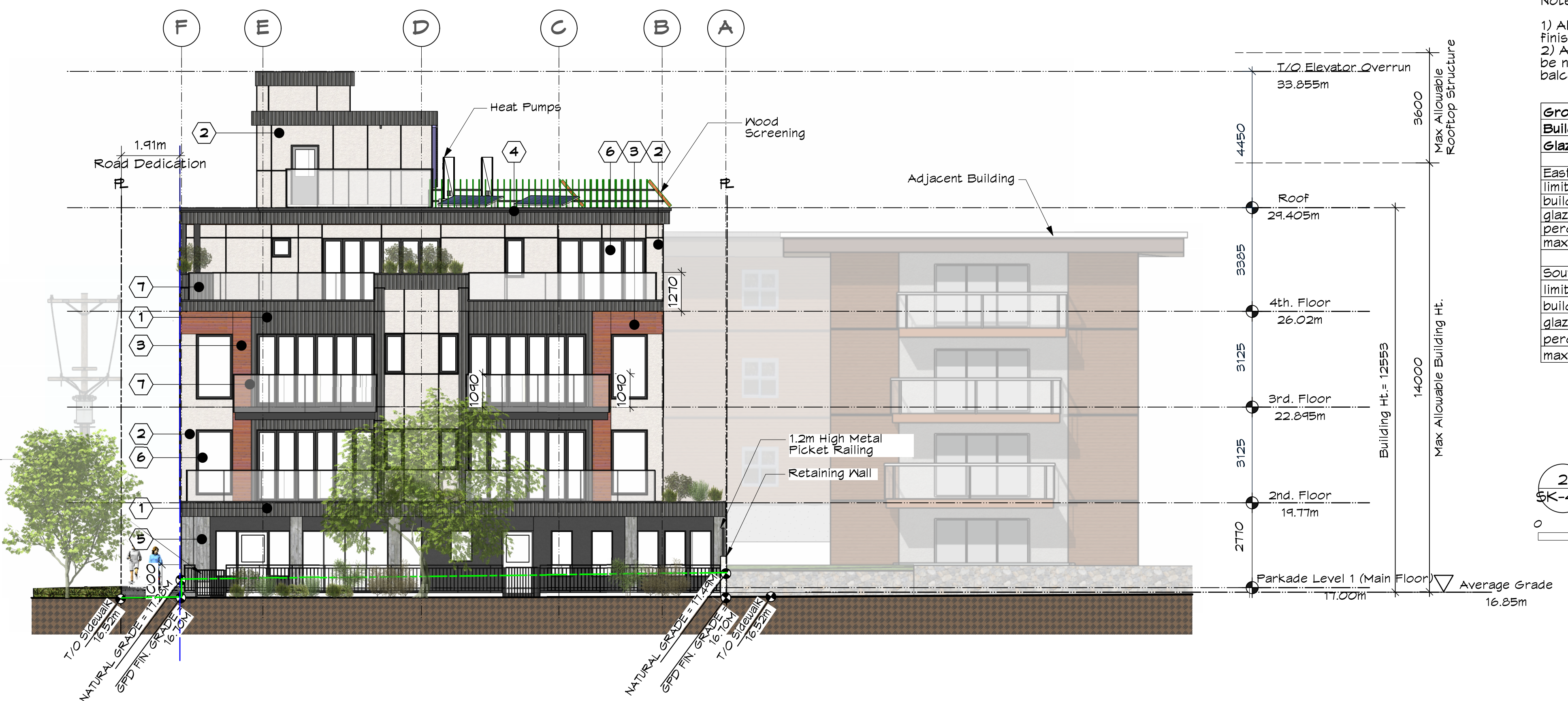




1 East Elevation
SK-4.2 Scale: 1:100

MATERIAL LEGEND	
①	Vert. Metal Siding Finish
②	Hardie Panels (Ptd. White) w/ 3/8" Reveal Panel Gaps
③	Horizontal Metal Cladding w/ Faux Wood Finish
④	Pre-Fin. Metal Flashing
⑤	Boardformed (Vert.) Concrete
⑥	Thermally Broken Dbl. Glazed Vinyl Windows (Bk.)
⑦	Face-mounted Alum. Picket Guards (Bk.)
⑧	Hollow Metal Door in Pressed Steel Frame (Ptd.)

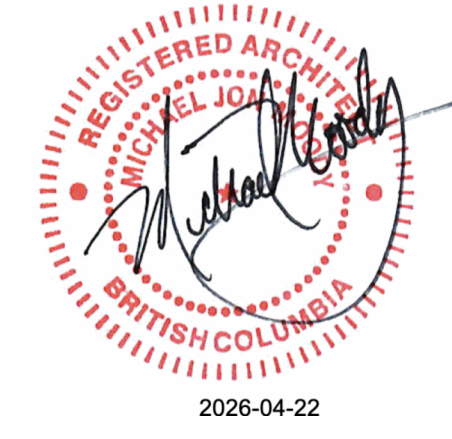


2 South Elevation
SK-4.2 Scale: 1:100

Note:

- 1) All openable part of window shall not be less than 1070 mm above the finished floor.
- 2) All windows/glazing that extends less than 1070 mm from the floor shall be non-openable and designed to withstand the specified lateral loads for balcony guards.

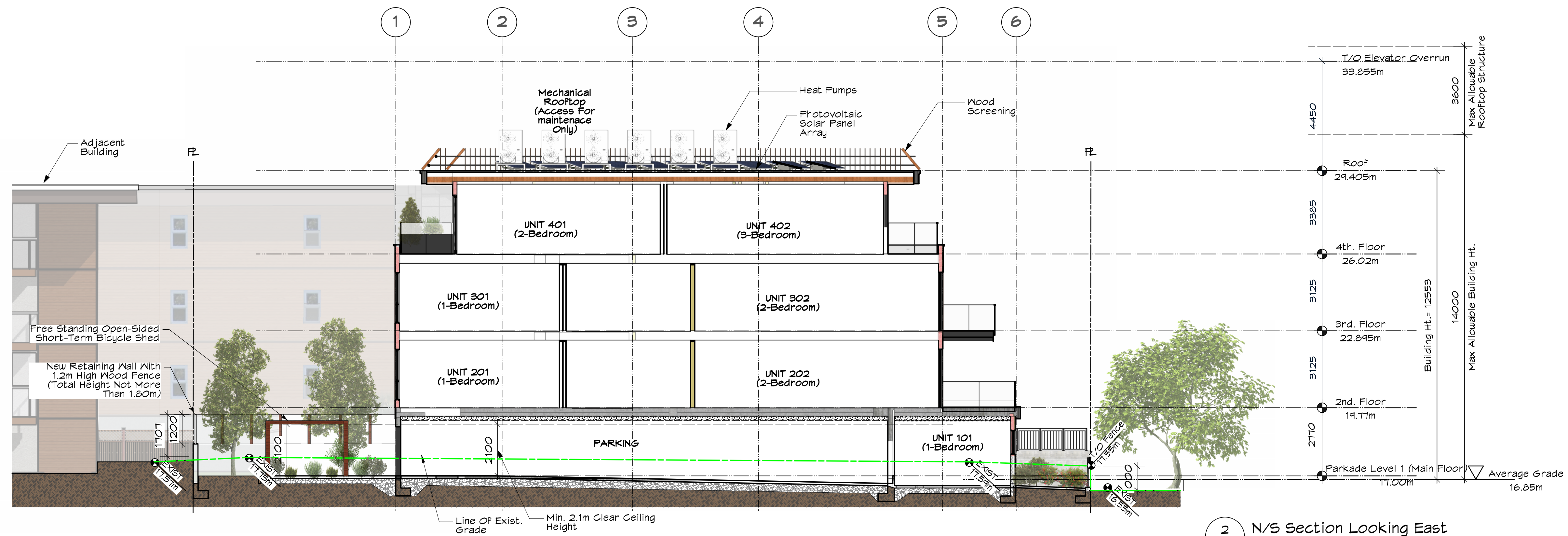
Group C					
Building is Sprinklered Throughout					
Glazing Area Calc.	Level 1	Level 2	Level 3	Level 4	
East					
limit distance	N/A	6.73	2.05	6.73	2.05
building face area	200.33	61.06	200.33	61.06	159.55
glazing area	73.30	6.81	73.30	6.81	33.15
percentage	11.15%	11.15%	11.15%	11.15%	6.33%
max allowed		20.00% ok	20.00% ok	20.00% ok	
South (Dallas Road)					
limit distance	N/A	N/A	N/A	N/A	
building face area					
glazing area					
percentage					
max allowed					



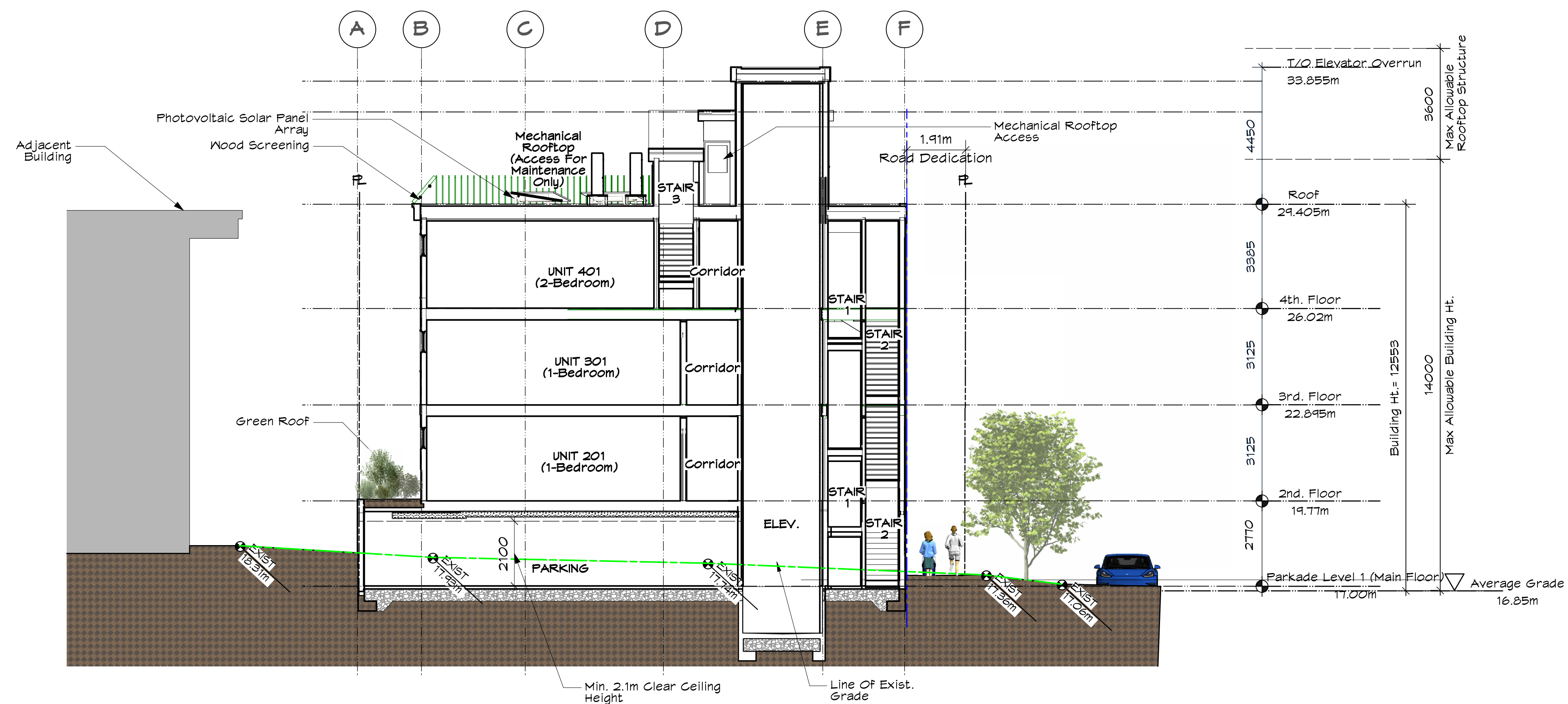
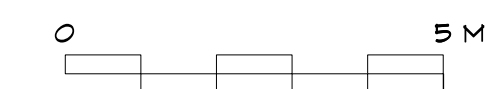
Michael Jon Moody | Principal | Architect
AIBC, MRAC, LEED A.P.[®]

MJM Architect Inc.

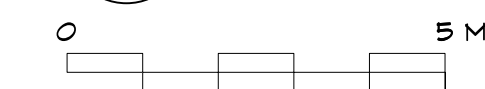
8801, 255 Yates Street
Victoria, BC V8W 1K7
ph: 778.906.8018
e-mail: office@mjmarchitect.ca



2 N/S Section Looking East
Scale: 1:100



1 E/W Section Looking South
Scale: 1:100



2026-04-22

Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]			
MJM Architect Inc. #801, 255 Yates Street Victoria, BC V8W 1K7 ph: 778.906.8018 e-mail: office@mjmarchitect.ca			



VIEW OF PROJECT
FROM DALLAS ROAD



VIEW OF PROJECT
FROM GOVERNMENT STREET



Conceptual Illustrations Only,
Please refer to Elevations.

<p>MJM Architect Inc.</p>	<p>Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P.[®]</p> <p>8801, 255 Yates Street Victoria, BC V8W 1Y7 ph: 778.906.3013 e:mail: office@mjmarchitect.ca</p>	<table border="1"> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </table>								



Bicycle Room
Entry Door

Planters

VIEW OF ENTRY
FROM GOVERNMENT STREET

Metal Soffit in Faux
Wood Finish

Sectional Overhead
Wood Garage Door

Recessed Entry Doors To
Main Lobby in Aluminum
Storefront System

"600 DALLAS ROAD"
Signage

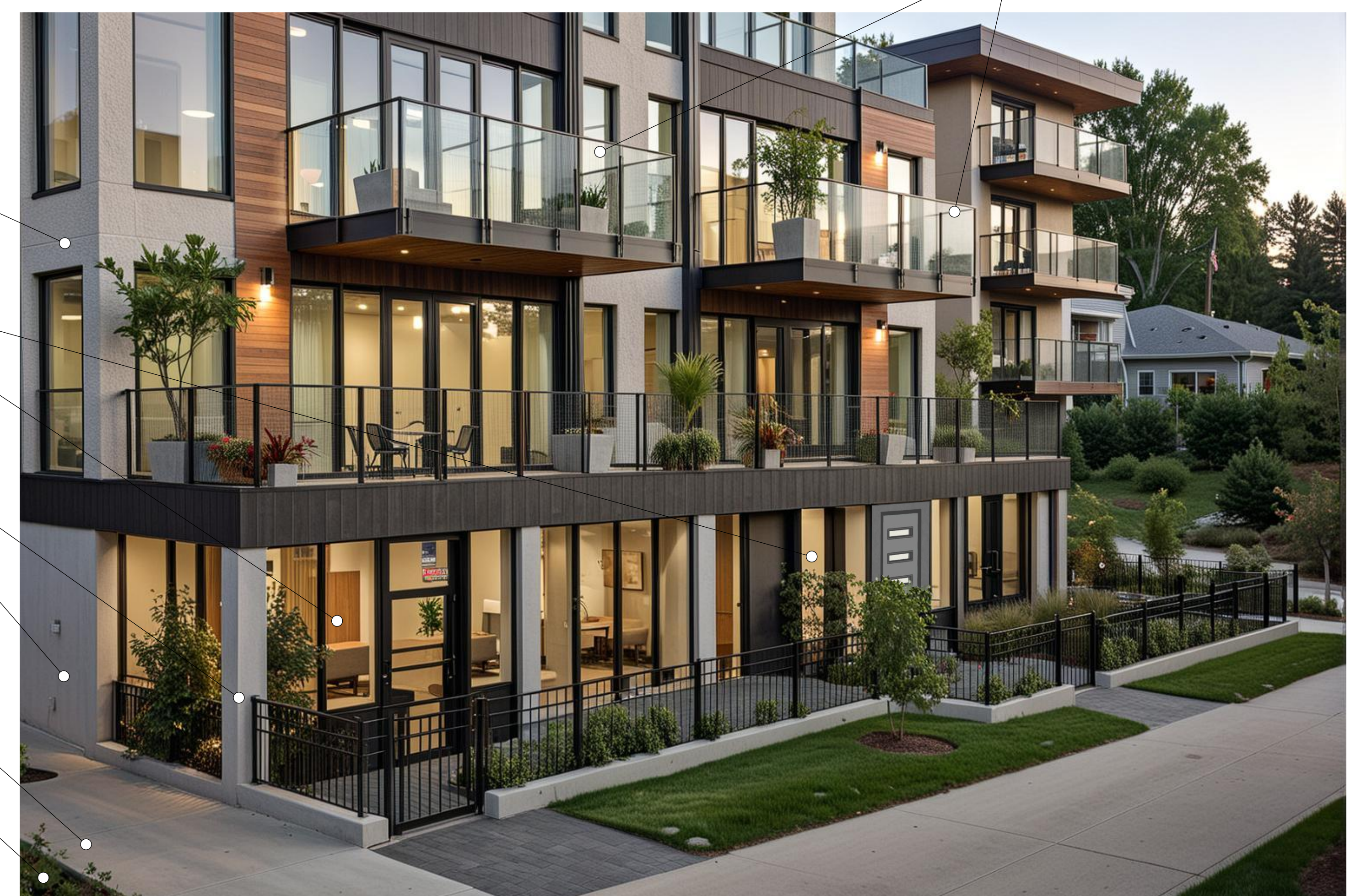
Light Tan Stucco
Cladding w/
Control Joints

Office & One
Bedroom
Suite

Concrete Column &
Walls

New Sidewalk

New Grassed
Boulevard



Glass Balcony
Guards

VIEW OF FRONT YARD
FROM DALLAS ROAD

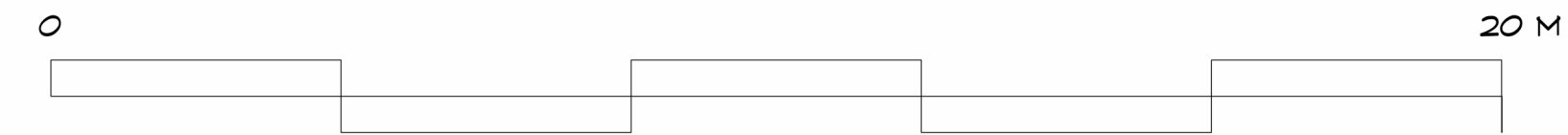


Conceptual Illustrations Only,
Please refer to Elevations.

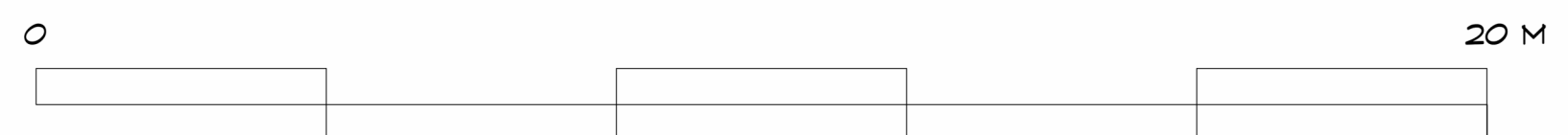
<p>Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P.[®]</p> <p>MJM Architect Inc.</p> <p>4801, 203, Yates Street Victoria, BC V8W 1P7 ph: 778.906.2013 e-mail: office@mjmarchitect.ca</p>				
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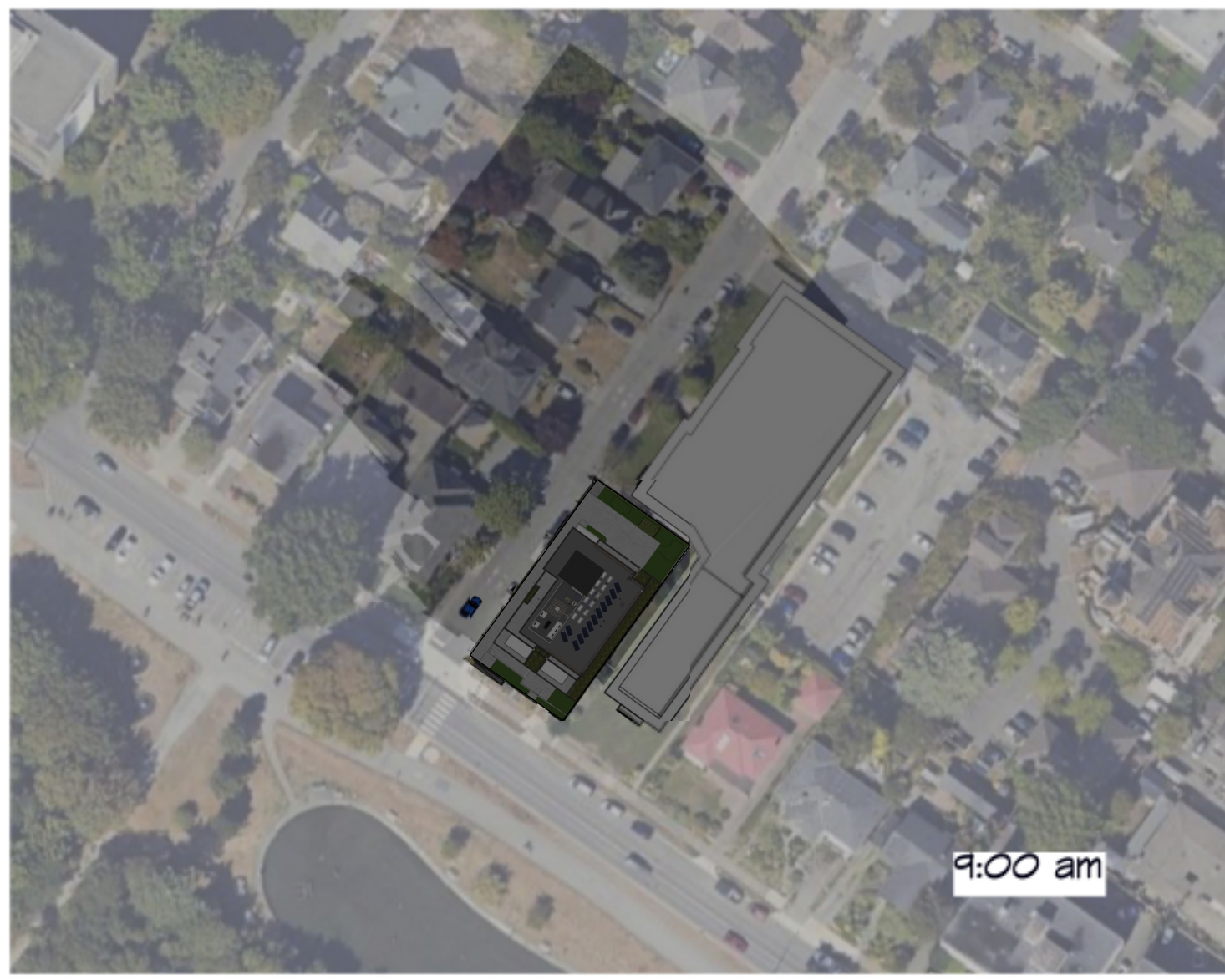
2 Streetscape Looking North on Dallas Road
 5K-6.3 Scale: 1:100



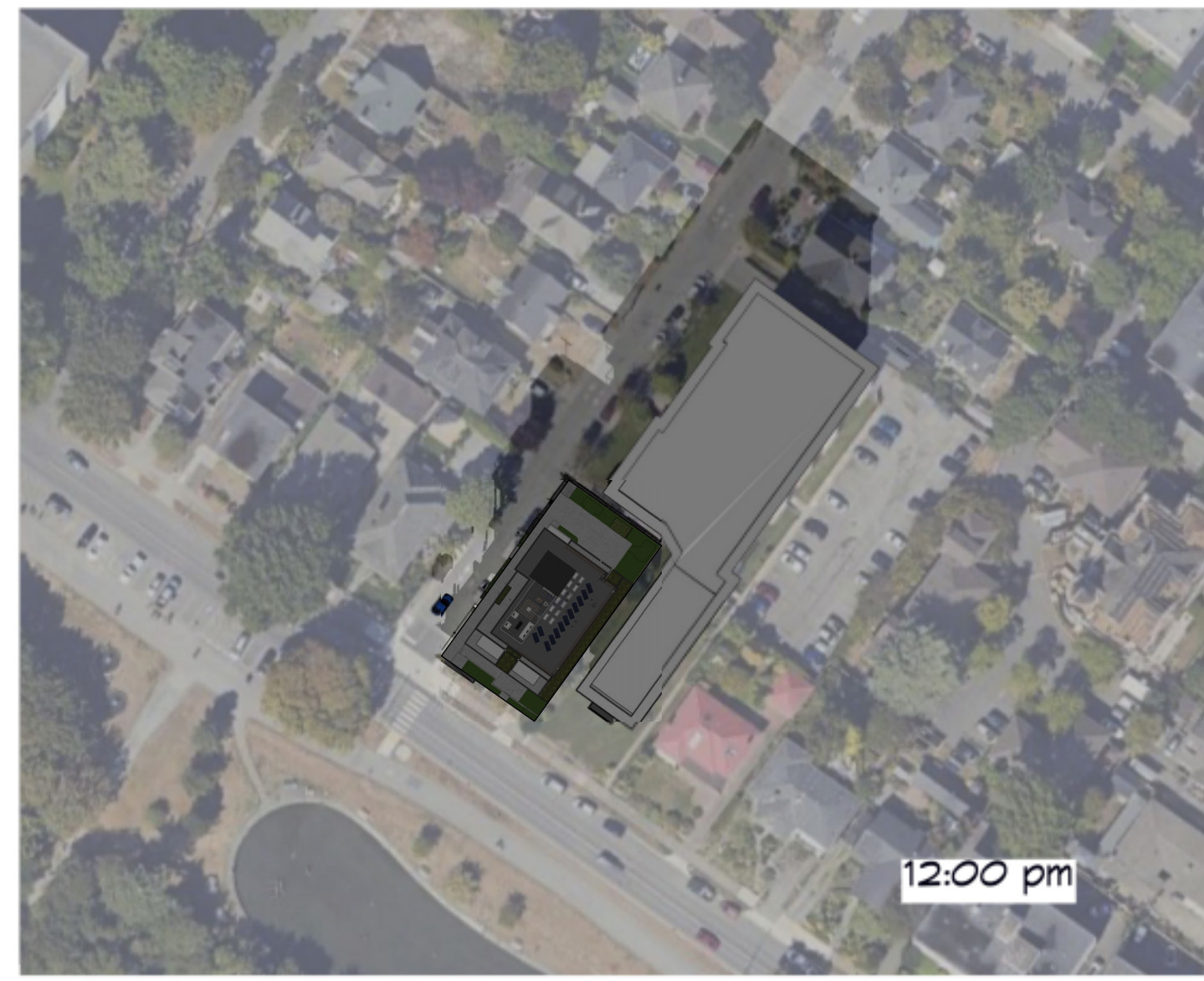
1 Streetscape Looking East on Government Street
 5K-6.3 Scale: 1:100



Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. MJM Architect Inc. #801, 203 Yates Street Victoria, BC V8W 1K7 Tel: 778, 266 3013 Email: office@mjmarchitect.ca	PROJECT NAME: 4 Storey Multi-Family 600 Dallas Road, Victoria, BC	PROJECT NO: 2340
DRAWING TITLE: Streetscapes	DRAWN BY: MJM	SCALE: AS NOTED
DATE: 2026-04-15	DRAWING NO: SK-6.3	



9:00 am



12:00 pm



3:00 pm



6:00 pm

WINTER SOLSTICE
DECEMBER 21st



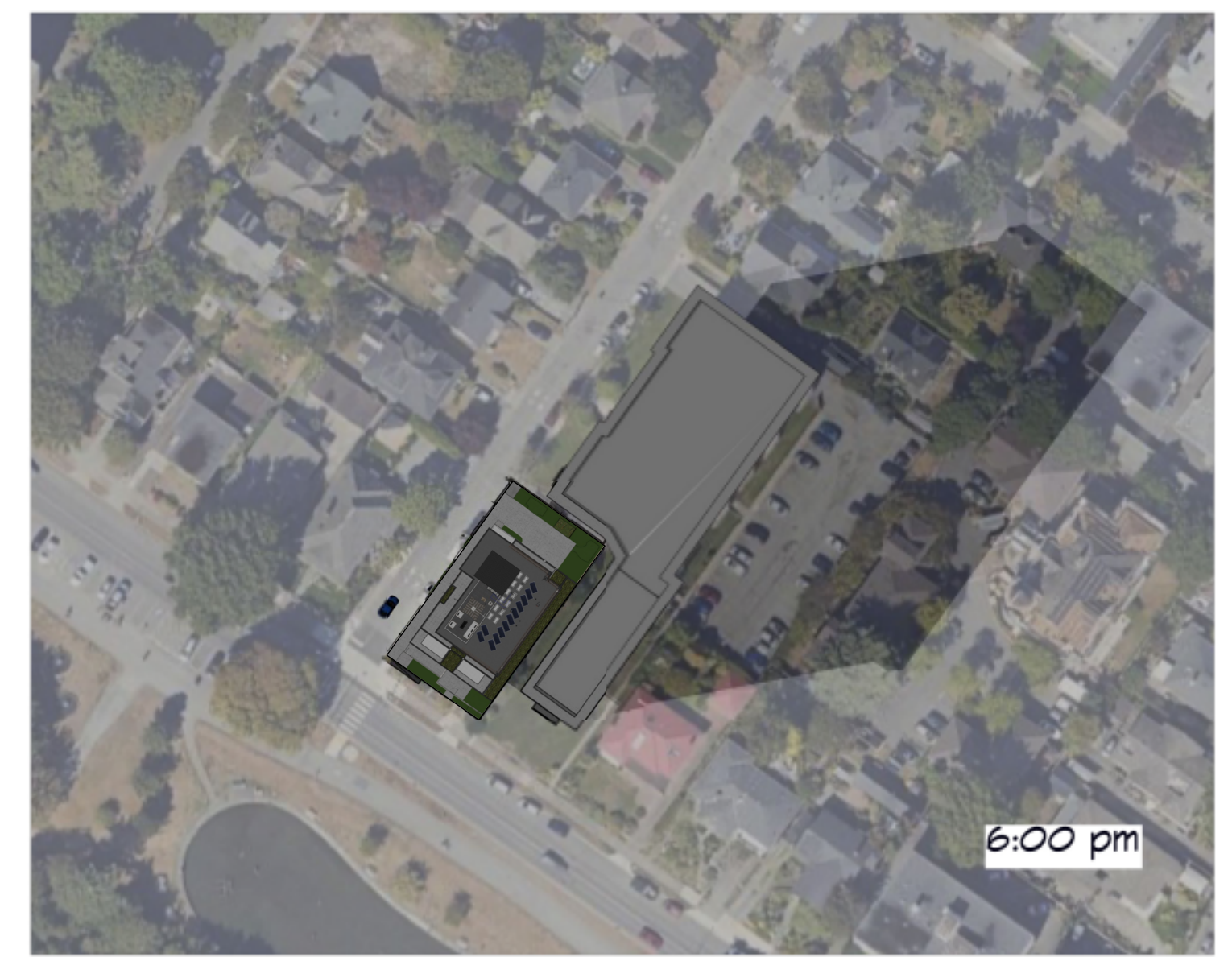
9:00 am



12:00 pm



3:00 pm



6:00 pm

SPRING & FALL EQUINOX
MARCH 21st & SEPTEMBER 21st



9:00 am



12:00 pm



3:00 pm

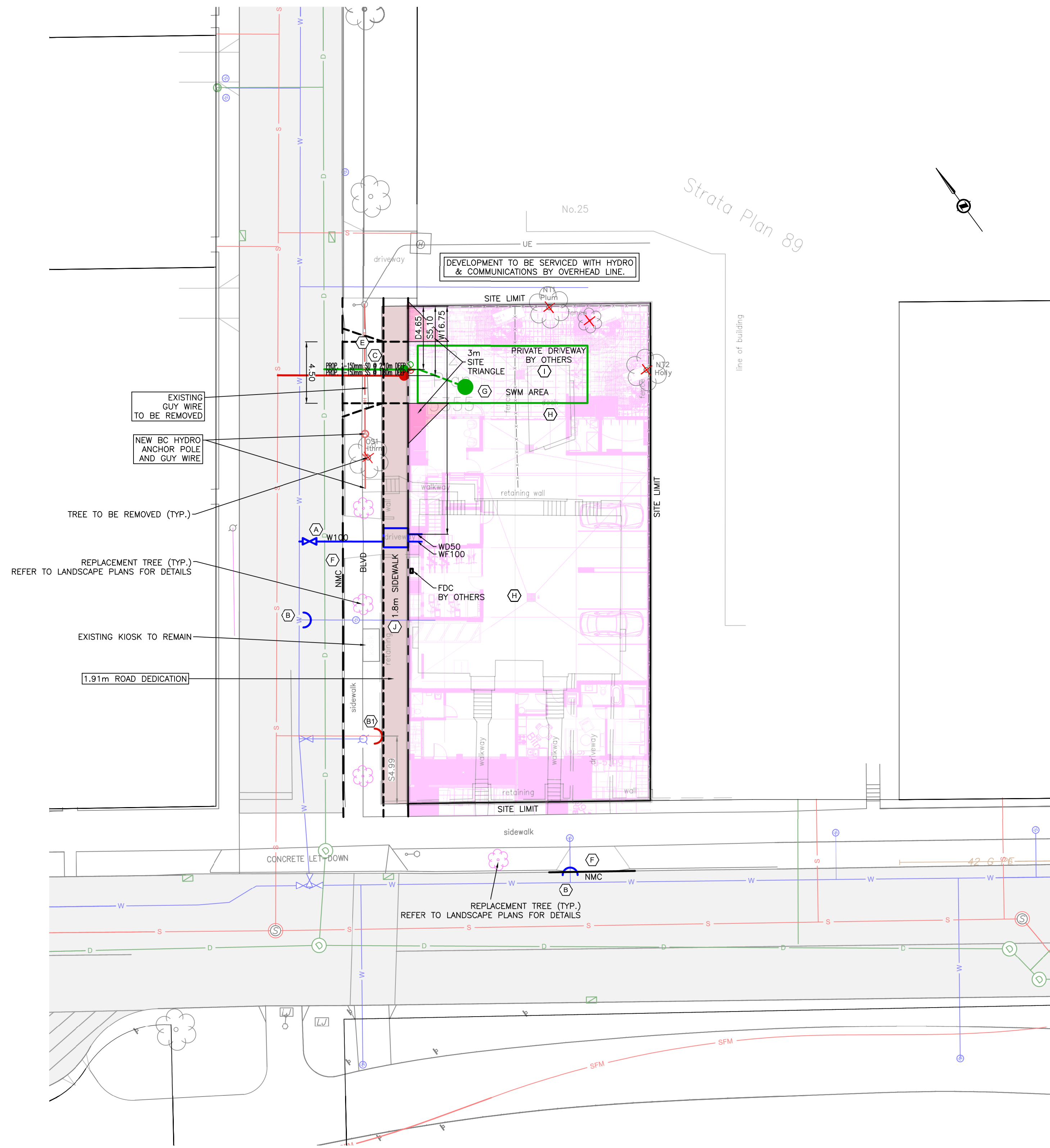


6:00 pm

SUMMER SOLSTICE
JUNE 21st



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MJM Architect Inc.				
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SITE SERVICING PLAN
H 1:200

PRELIMINARY SERVICING NOTES:

- (A) NEW 100mm FIRE WATER SERVICE AND 50mm DOMESTIC WATER SERVICE C/W 50mm WATER METER AT DEVELOPERS EXPENSE. AS PER CITY OF VICTORIA DETAIL W2f.
- (B) WATER SERVICE TO BE CAPPED BY CITY OF VICTORIA AT DEVELOPERS EXPENSE.
- (B1) STORM DRAIN (SD) SERVICE & SANITARY SEWER (SS) SERVICE TO BE CAPPED BY DEVELOPER.
- (C) CITY OF VICTORIA TO INSTALL NEW 150mm DRAIN SERVICE AND 150mm SEWER SERVICE IN COMMON TRENCH COMPLETE WITH IC'S AT DEVELOPERS EXPENSE.
- (E) CONTRACTOR TO INSTALL NEW 4.5m WIDE CONCRETE DRIVEWAY APRON AS PER CITY OF VICTORIA SD C7a.
- (F) CONTRACTOR TO REMOVE EXISTING DRIVEWAY AND SIDEWALK AND REINSTATE BOULEVARD AND INSTALL NEW NON-MOUNTABLE CURB. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.
- (G) ONSITE STORMWATER MANAGEMENT AREA COMPLETE WITH OPEN INFILTRATION CHAMBER AND SILT TRAP AS PER CoV RAINWATER MANAGEMENT STANDARDS - PROFESSIONAL EDITION. DETAILS TO BE CONFIRMED AT BUILDING PERMIT.
- (H) EXISTING STRUCTURES TO BE REMOVED. OWNER TO APPLY FOR SEPARATE DEMO PERMIT.
- (I) ONSITE GRADING FOR 6m AS PER CoV HIGHWAY ACCESS BYLAW.
- (J) CONTRACTOR TO INSTALL NEW 1.80m CONCRETE SIDEWALK PER CITY OF VICTORIA SD C15a.

PRELIMINARY RAINWATER MANAGEMENT CALCULATIONS

- PROPOSED OPEN INFILTRATION CHAMBER AND SILT TRAP TO BE USED AS GREEN STORMWATER INFRASTRUCTURE. PRELIMINARY SIZING AS PER CITY OF VICTORIA RAINWATER MANAGEMENT STANDARDS SIZING APPROACH FOR INFILTRATION CHAMBERS.
- DESIGN MUST MEET CITY OF VICTORIA'S RAINWATER MANAGEMENT STANDARD OF MANAGING 32mm / 24hrs.
- A HYDRAULIC CONDUCTIVITY (K) OF 2mm/hr AND DEPTH OF OPEN CHAMBER (D) OF 200mm AND POROSITY (n) OF 0.95 HAS BEEN ASSUMED. HYDRAULIC CONDUCTIVITY TO BE CONFIRMED AT DETAILED DESIGN. INFILTRATION CHAMBER DIMENSIONS MAY BE ADJUSTED ACCORDINGLY AT THAT TIME BY THE ENGINEER.

REQUIRED AREA = MINIMUM SIZING FACTOR x IMPERVIOUS CONTRIBUTORY AREA

IMPERVIOUS CONTRIBUTORY AREA = 390 m²

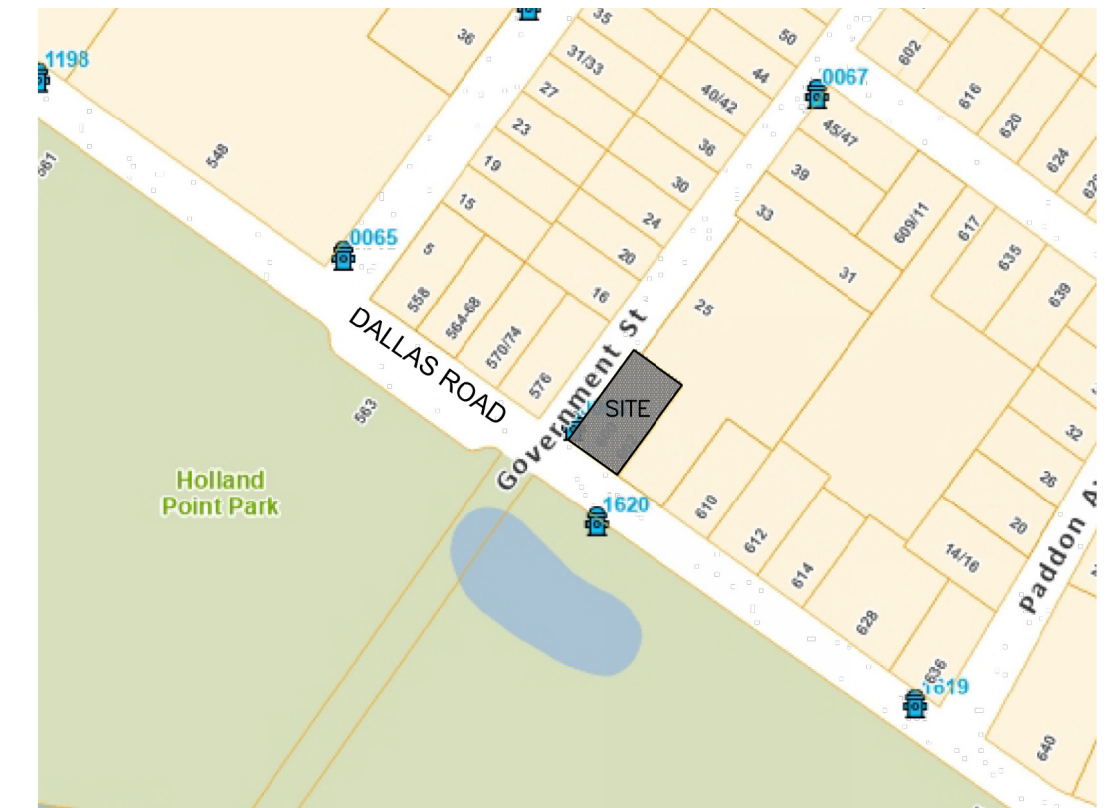
SIZING FACTOR = $32 / (24 \times K + n \times D)$
 $= 32 / (24 \times 2\text{mm/hr} + 0.95 \times 200\text{mm})$
 $= 32 / (48 + 190)$
 $= 32 / 238$
 $= 0.1345 (13.45\%)$

REQUIRED AREA OF OPEN INFILTRATION CHAMBER = $0.1345 \times 390 \text{ m}^2$
 $= 52.5 \text{ m}^2$

PROPOSED OPEN INFILTRATION CHAMBER AREA = 4.2m WIDE x 12.5m LONG = 52.5 m²

PROPOSED OPEN INFILTRATION CHAMBER VOLUME = 52.5 m² x 200mm DEEP = 10.5 m³

- ALL PERIMETER DRAINS TO BYPASS ONSITE STORMWATER MANAGEMENT SYSTEM.
- ALL ROOF LEADERS AND HARD SURFACE RUN-OFF TO BE DIRECTED TO ONSITE STORMWATER MANAGEMENT AREAS OR LANDSCAPED AREAS FOR TREATMENT.
- DETAILED STORMWATER MANAGEMENT DESIGN AND CALCULATIONS TO BE PROVIDED AT BUILDING PERMIT.



KEY PLAN
1:2500

LEGAL DESCRIPTION: LOT 2, SECTION 5, BECKLEY FARM, VICTORIA CITY, PLAN 5355
 BENCHMARK: MONUMENT _____ ELEV. _____

**600 DALLAS
PRELIMINARY
SITE SERVICING**

Scale 1:200
horiz. vert.
Sheet 1 of 1
Eng. Project No. 34922
Drafted by. KHG



JEA J E ANDERSON & ASSOCIATES

SURVEYORS - ENGINEERS
 VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
 PHONE: 250-727-2214 info@jeanderson.com

20260304

ISSUED FOR DEVELOPMENT PERMIT

