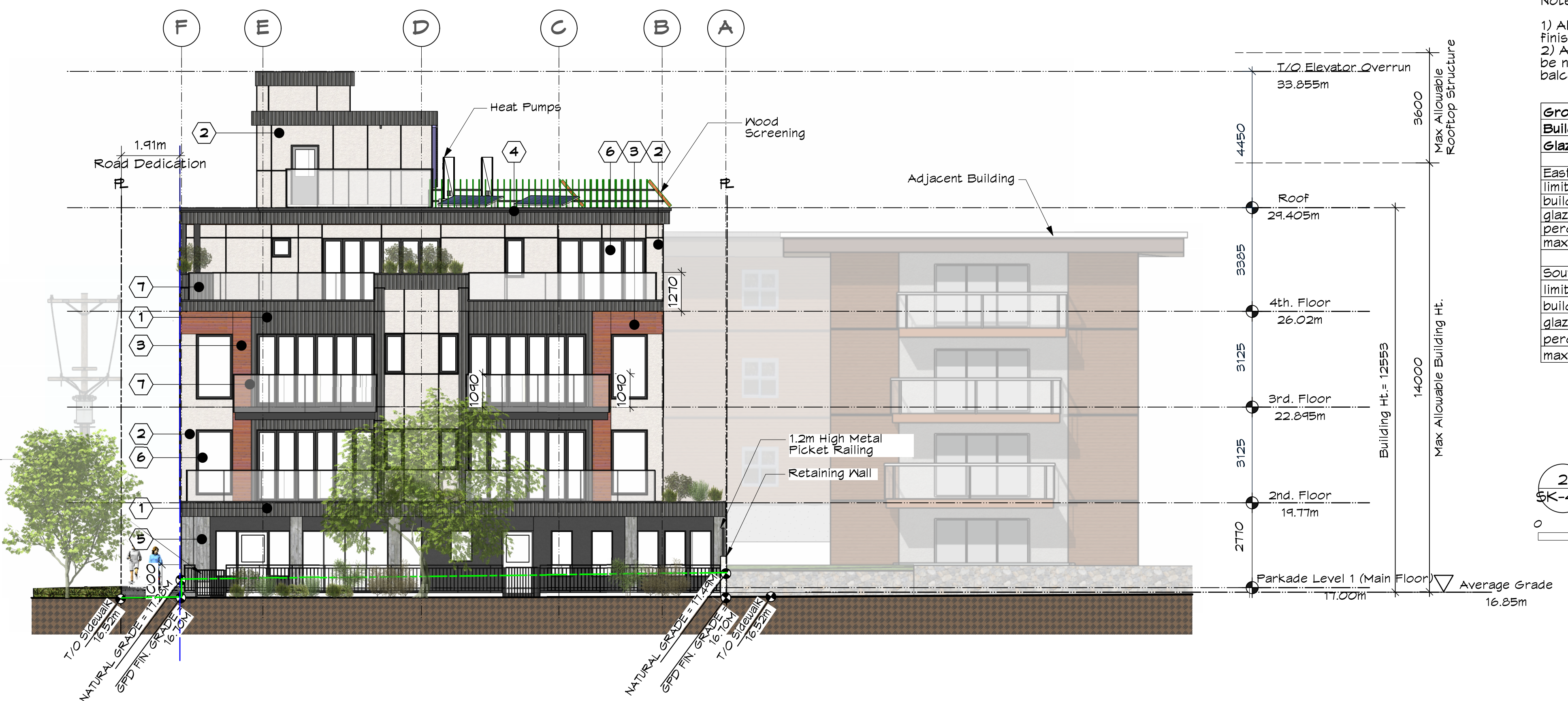




1 East Elevation
SK-4.2 Scale: 1:100

MATERIAL LEGEND	
①	Vert. Metal Siding Finish
②	Hardie Panels (Ptd. White) w/ 3/8" Reveal Panel Gaps
③	Horizontal Metal Cladding w/ Faux Wood Finish
④	Pre-Fin. Metal Flashing
⑤	Boardformed (Vert.) Concrete
⑥	Thermally Broken Dbl. Glazed Vinyl Windows (Bk.)
⑦	Face-mounted Alum. Picket Guards (Bk.)
⑧	Hollow Metal Door in Pressed Steel Frame (Ptd.)



2 South Elevation
SK-4.2 Scale: 1:100

Note:

- 1) All openable part of window shall not be less than 1070 mm above the finished floor.
- 2) All windows/glazing that extends less than 1070 mm from the floor shall be non-openable and designed to withstand the specified lateral loads for balcony guards.

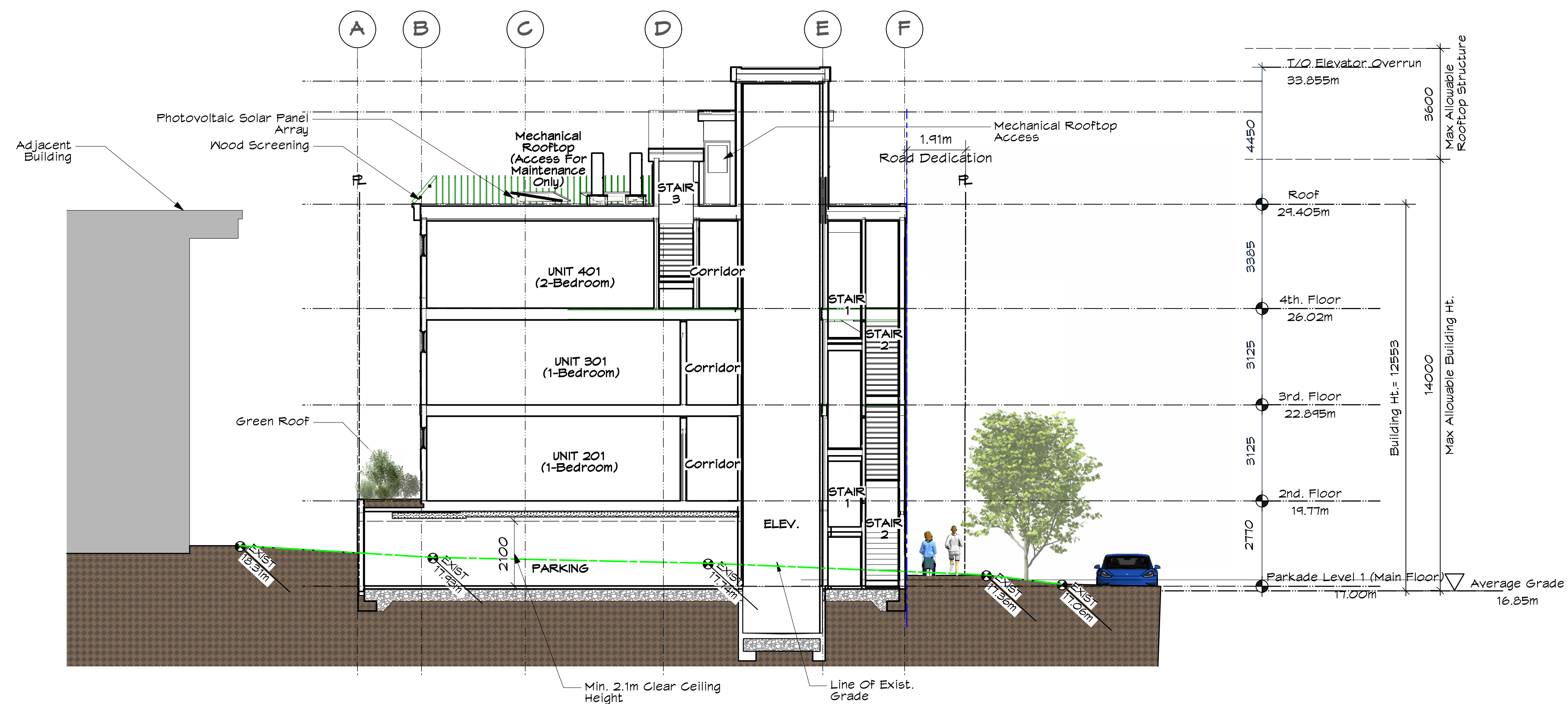
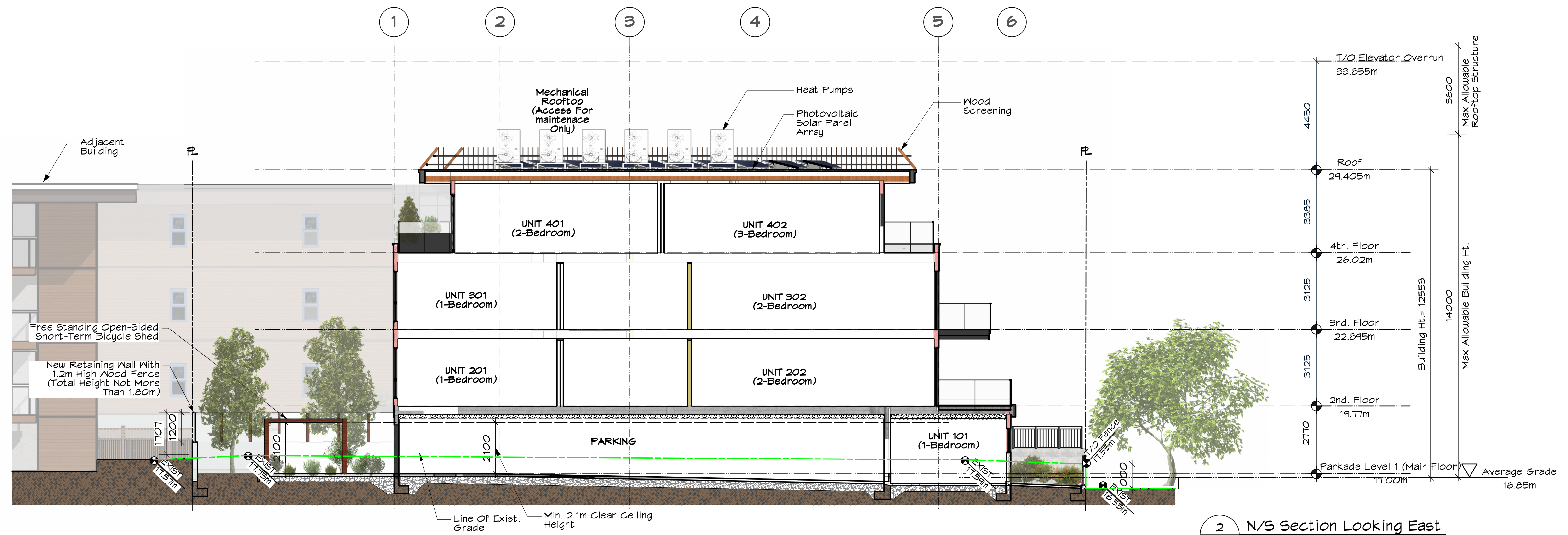
Group C Building is Sprinklered Throughout					
Glazing Area Calc.	Level 1	Level 2	Level 3	Level 4	
East					
limit distance	N/A	6.73	2.05	6.73	2.05
building face area	200.33	61.06	200.33	61.06	159.55
glazing area	73.30	6.81	73.30	6.81	33.15
percentage	11.15%	11.15%	11.15%	11.15%	6.33%
max allowed		20.00% ok	20.00% ok	20.00% ok	
South (Dallas Road)					
limit distance	N/A	N/A	N/A	N/A	
building face area					
glazing area					
percentage					
max allowed					



Michael Jon Moody | Principal | Architect
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MJM Architect Inc.

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Victoria, BC V8W 1P7
ph: 778.906.8018
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2026-04-22

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VIEW OF PROJECT
FROM DALLAS ROAD



VIEW OF PROJECT
FROM GOVERNMENT STREET



2026-04-22

Conceptual Illustrations Only.
Please refer to Elevations.

MJM	Michael Jon Moody Principal Architect AIBC, MRACQ, LEED A.P. [®]	
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Bicycle Room
Entry Door

Planters

VIEW OF ENTRY
FROM GOVERNMENT STREET

Metal Soffit in Faux
Wood Finish

Sectional Overhead
Wood Garage Door

Recessed Entry Doors To
Main Lobby in Aluminum
Storefront System

"600 DALLAS ROAD"
Signage

Light Tan Stucco
Cladding w/
Control Joints

Office & One
Bedroom
Suite

Concrete Column &
Walls

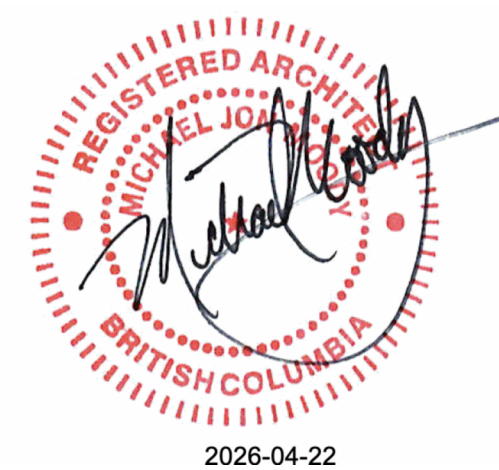
New Sidewalk

New Grassed
Boulevard



Glass Balcony
Guards

VIEW OF FRONT YARD
FROM DALLAS ROAD



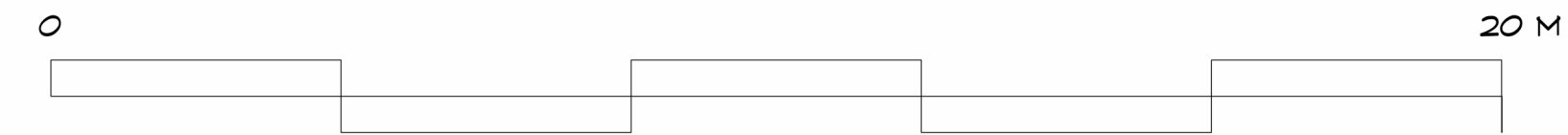
2026-04-22

Conceptual Illustrations Only,
Please refer to Elevations.

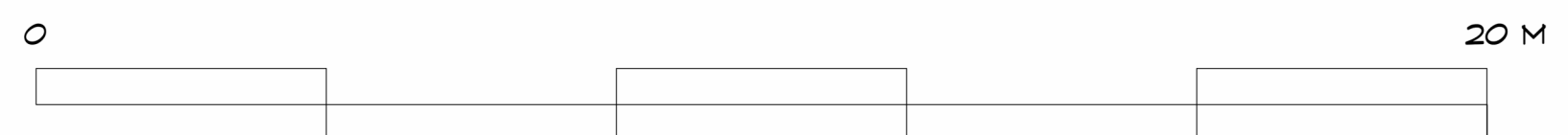
Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P. [®]			
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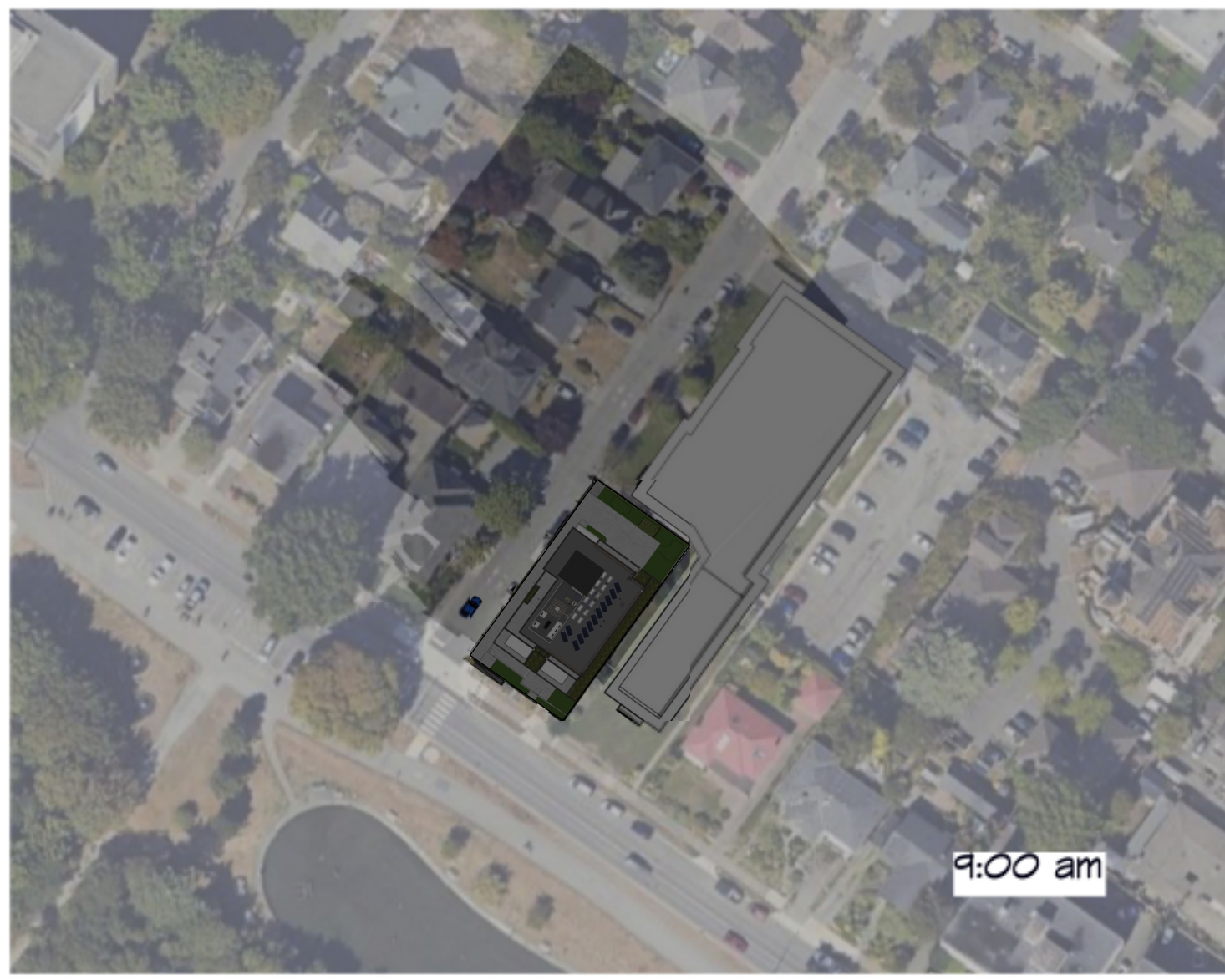
2 Streetscape Looking North on Dallas Road
 5K-6.3 Scale: 1:100



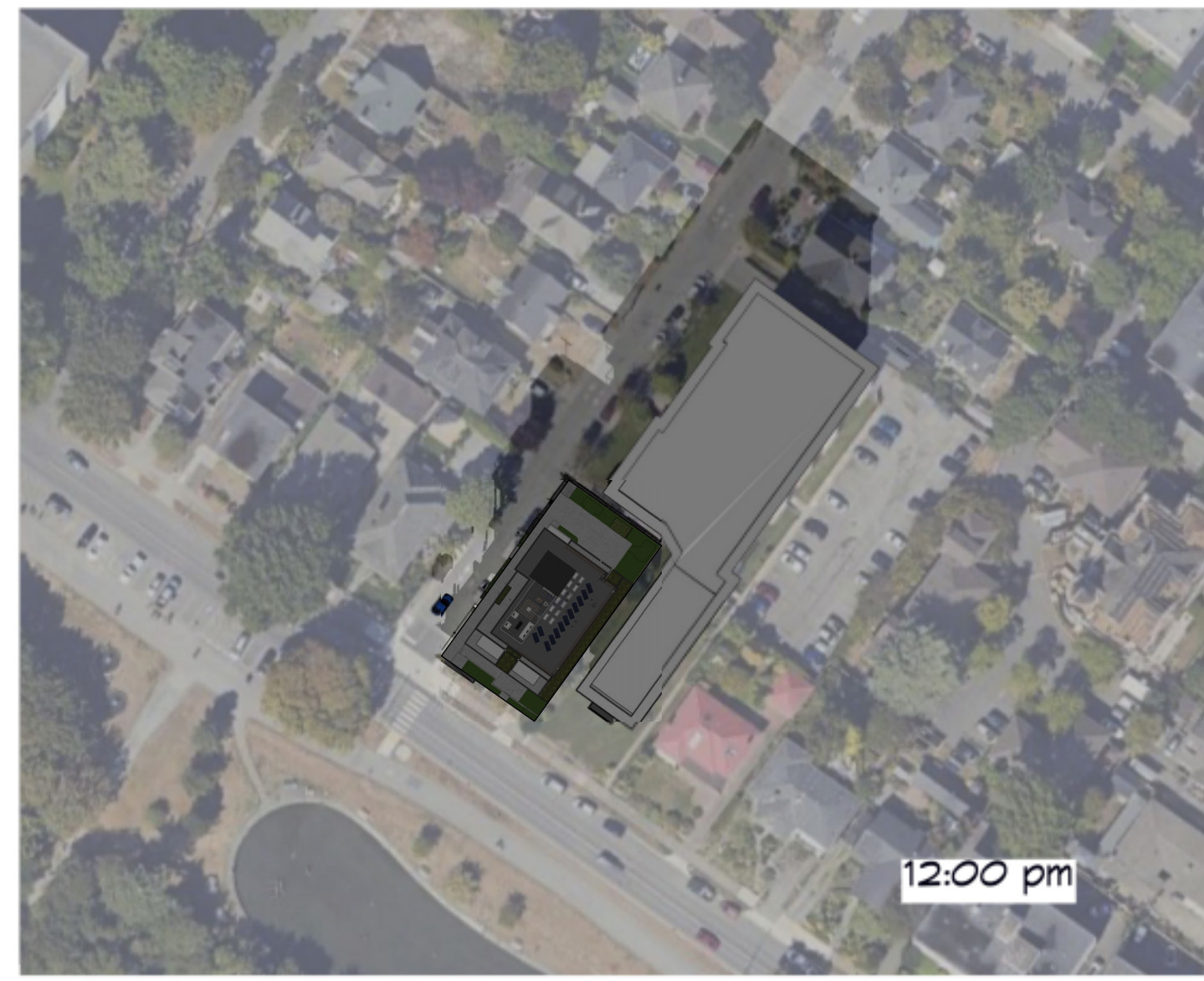
1 Streetscape Looking East on Government Street
 5K-6.3 Scale: 1:100



Michael Jon Moody Principal Architect AIBC, MPRAC, LEED A.P.®	PROJECT NAME 4 Storey Multi-Family 600 Dallas Road, Victoria, BC	PROJECT NO. 2340
MJM Architect Inc. #801, 203 Yates Street, Victoria, BC V8W 1K7 Tel: 78.266.3013 E-mail: office@mjmarchitect.ca	DRAWING TITLE Streetscapes	DRAWN BY MJM
SCALE AS NOTED	DATE 2026-04-15	DRAWING NO. SK-6.3



9:00 am



12:00 pm



3:00 pm



6:00 pm

WINTER SOLSTICE
DECEMBER 21st



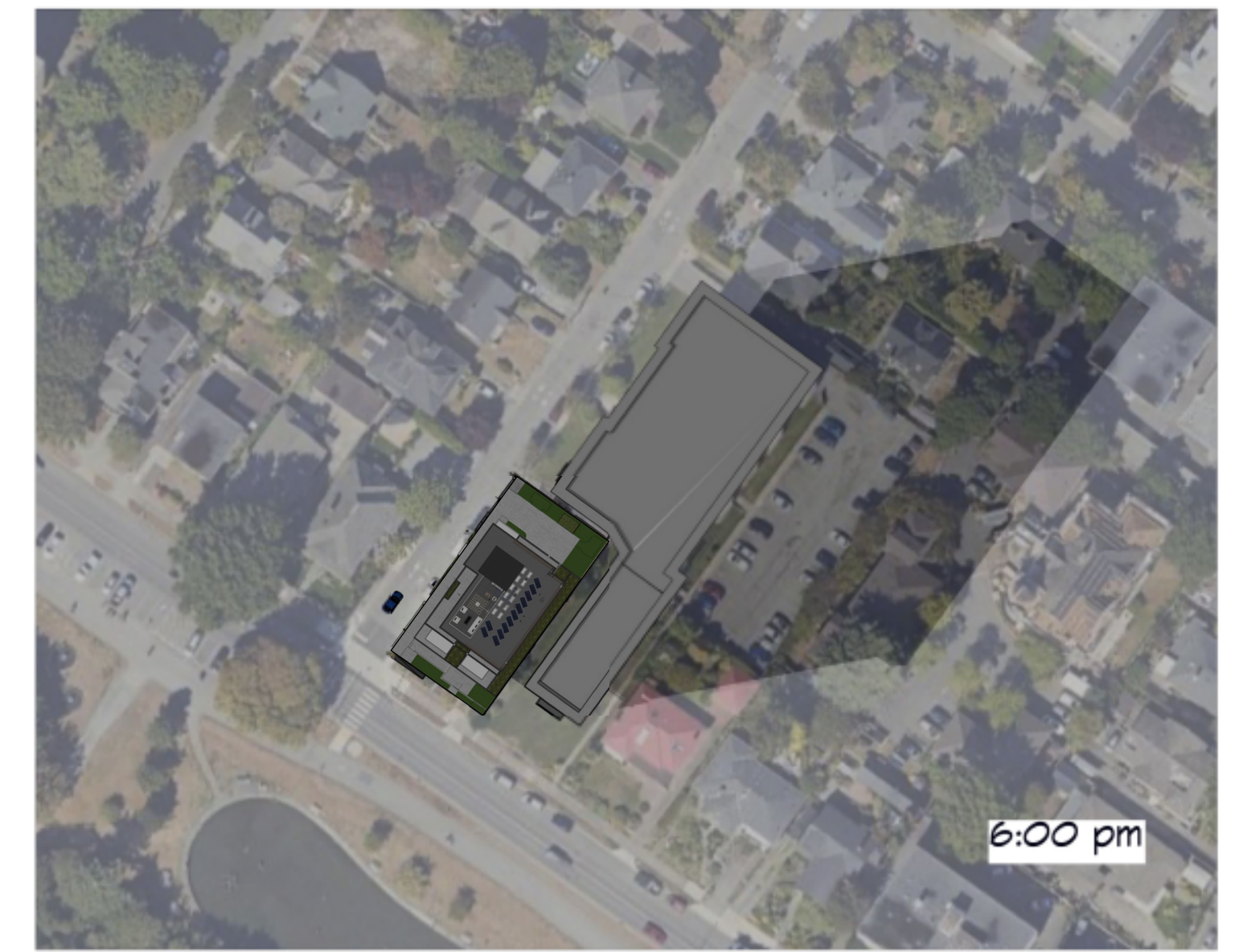
9:00 am



12:00 pm



3:00 pm



6:00 pm

SPRING & FALL EQUINOX
MARCH 21st & SEPTEMBER 21st



9:00 am



12:00 pm



3:00 pm



6:00 pm

SUMMER SOLSTICE
JUNE 21st



Michael Jon Moody Principal Architect AIBC, MRAC, LEED A.P.				
MJM Architect Inc.				
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RECOMMENDED PLANT LIST

BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES		
1 <i>Quercus bicolor</i> <i>inermis</i> Shademaster	Shademaster Honey Locust	6m. cal./AB8
3 <i>Cercocarpus</i> <i>coloradensis</i>	Common English Oak	6m. cal./AB8
SHRUBS & PERENNIALS		
<i>Alchemilla</i> <i>ovata</i> <i>obovata</i>	Lady's Mantle	41 Pp
<i>Bacopa</i> <i>monophylla</i> <i>Minor</i> <i>Gum</i>	Lithalbed Beardwood	45 Pp
<i>Calamagrostis</i> <i>x</i> <i>occidentalis</i>	Kent Foxtail Grass	41 Pp
<i>Caryophyllus</i> <i>altissimus</i> <i>Cornucopia</i>	Dwarf Evening Primrose	45 Pp
<i>Euphorbia</i> <i>charnleyi</i> <i>Wulfart</i>	Wolf's Euphorbia	45 Pp
<i>Humulus</i> <i>lulidulus</i>	Orange Whip Hazel	1.5M. Ht.
<i>Habenaria</i> <i>lutea</i> <i>var. carolea</i>	Habeina Grass	41 Pp
<i>Hosta</i> <i>harrietii</i> <i>Blue</i>	Hosta Blue Hosta	41 Pp
<i>Leucostemum</i> <i>laevigatum</i>	English Le-render	41 Pp
<i>Lilium</i> <i>luciferum</i>	Big Blue Lily	41 Pp
<i>Ornithoglossum</i> <i>ovatum</i>	Ornithoglossum	45 Pp
<i>Oxypetalum</i> <i>plumbeum</i> <i>virginicum</i>	Black Mondo Grass	41 Pp
<i>Polypodium</i> <i>monopus</i>	Wax Fern	45 Pp
<i>Ribes</i> <i>Sney</i> <i>King Edward</i>	Chamaenerion Grand	45 Pp
<i>Rosmarinus</i> <i>officinalis</i>	Rosemary	45 Pp
<i>Salix</i> <i>caprea</i> <i>Willow</i>	Orange Glandweed	41 Pp
<i>Spiraea</i> <i>opulifolia</i>	Goldflame Spirea	45 Pp
VINES & CREEPER/CRAWLER		
<i>Actinophyllum</i> <i>viride</i>	Klerickarack	SP3
<i>Glechoma</i> <i>procumbens</i>	Wintergreen	SP3
<i>Thymus</i> <i>praecox</i> <i>var. angustifolius</i>	Woolly Thyme	SP3

NOTES:

THIS PLAN IS NOT FOR CONSTRUCTION.

- Plant material, installation and maintenance to conform to Canadian Landscape Standards (CLS) (current edition).
- All growing medium to conform to Canadian Landscape Standards (CLS) (current edition) designation "TP-Level 3 Well Grained Area". Ground soil depth to comply with required General soil requirement. Ground to include a temporary irrigation system approved by project Landscape Architect.
- Automatic underground irrigation system to be installed. Irrigation materials and installation to conform to Canadian Landscape Standards (CLS) (current edition) and IBC Standards. Irrigation to include a timer and soil sensor. Dry Irrigation for groundcover and shrub beds, emitter loops for trees and grasses for lawn areas. All irrigation piping under hard surface to be shielded. Backflow preventer on plantings must be compliant with City of Victoria Specifications and Standards.
- Drainage System or City property shall comply to City of Victoria Supplemental Specifications for Street Trees and Irrigation Schedule C, Bylaw 12042, Subdivision Bylaw. Irrigation drawings must be submitted to Parks Division for review and approval 30 days prior to installation work. The following irrigation and shoring inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Tree Services, tree.services@vic.gov.bc.ca and also copy landscape@vic.gov.bc.ca 48 hours prior to the required inspection time.
 - Inspection: Irrigation Treatment
 - The irrigation system and watering equipment must be found in Schedule C of the Victoria Subdivision and Development Servicing Bylaw No. 12042.
 - Inspection: Shoring prior to backfilling
 - Open trench shall have steel and concrete ties
 - Open trench lateral line
 - Inspection: System, Control, Coverage, and Backflow Preventer Assembly Test Report required. Backflow Assembly has been an inspection tag completed and verified.
 - Plants from Parks will now require that Minimum 200 gpa be used for irrigation during under hard surface. Installation when a 100gpa level is required needs to be under using 100gpa OR 200 gpa. Above 200 gpa level.
- Fencing to be built as shown on Architectural plans. 5. Proposed Street tree locations and species selection to be approved by City of Victoria Parks Dept. Street trees must have one dominant central leader or single straight trunk, 4-8cm diameter caliper measured 1.3m above ground, and a well balanced crown with the branching starting at 1.3m-2.5m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) or the Canadian Landscape Standard.
- Proposed Street Trees must comply to City of Victoria Supplemental Specifications for Street Trees and Irrigation Schedule C, Bylaw 12042, Subdivision Bylaw and the current version of the Canadian Landscape Standard. Planting details can be found in Schedule B34 or on the approved landscape plan. The following tree inspections by Parks Staff are required by Schedule C. To schedule an inspection please contact Ross Wilkinson, ross.wilkinson@vic.gov.bc.ca and also copy landscape@vic.gov.bc.ca 48 hours prior to the required inspection time. Two planting inspections: 1) Excavated tree pits, soil cells, root barriers. 2) Trees prior to planting. (Parks staff will inspect trees prior to shipping at local nurseries. Plants can be provided from upland and local nurseries. Tree must meet the spec upon delivery.)
 - Completed planting - tree planting, grass/gravel, stakes etc.
- Required Parks inspections for street tree planting: 1) Inspection of soil and planting area prior to planting. 2) Inspection of tree stock prior to planting. 3) Inspection of installed tree. Trees must be in good health and condition with no signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
- All existing trees located on plan are representative. Size and height of trees are not shown, and should be verified by a surveyor and/or arborist where necessary. Adjacent to build tree protection fencing for boulevard trees where necessary. See also Dev Serv Resource Group Arborist Report dated September 11, 2024. See also (Specifically) Arborist Tree Management Plan (Appendix 4) and Replacement Tree Plan (Appendix 5) dated September 11, 2024.
- Boulevard landscape as shown on this plan. The number and location of new boulevard trees along Government Street to be reviewed by project landscape designer and City of Victoria Parks area underground service/utility information is known. Driveway crossing to be removed and grassed boulevard to be reinstated to municipal standards and City of Victoria approval.
- The details for the used and soil treatment can be found in schedule B34. Ensure that adequate soil volumes for the proposed street trees are installed in the grass boulevards. Required inspections for used and soil boulevard: 1) Inspection of excavation and scaffolded subgrade prior to backfill. 2) Inspection of installed, rolled and prepared growing medium prior to adding. 3) Inspection when the installed landscape meets the conditions for final performance as required in the Current Edition of the Canadian Landscape Standard. A soil test for the growing media, for each landscape application on City Property must be submitted to City Parks for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12042 and the associated Schedules can be found on the City of Victoria website.

LEGEND

HARDSCAPE FINISHES:

- PP1 CIP natural finish concrete Driveway, Natural colour
- PP2 Belgard Aqueduct Slatex Interlocking Permeable Paving system; colour to be Midlight Grey
- PP3 Concrete unit paving. Details by Belgard, all sizes, best bay colour
- PP4 1/2" crushed gravel base
- PP5 CIP concrete sidewalk, natural

SOFTSCAPE:

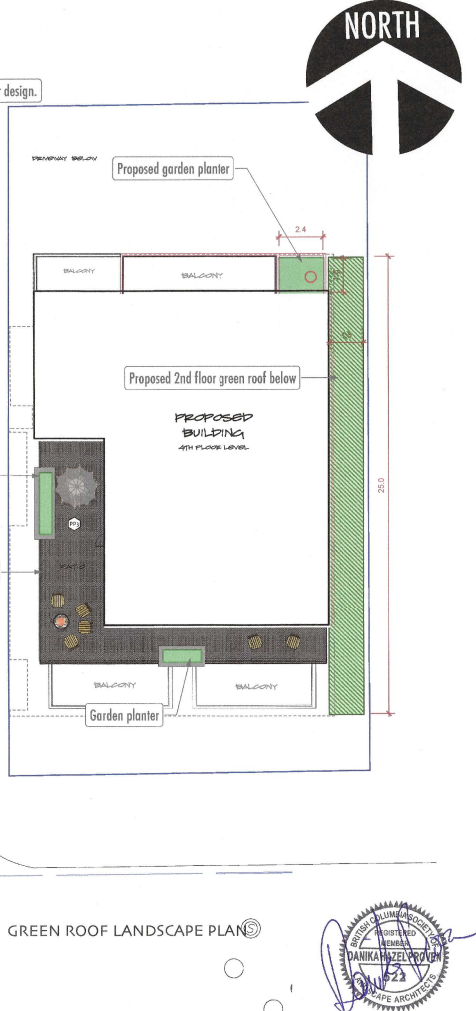
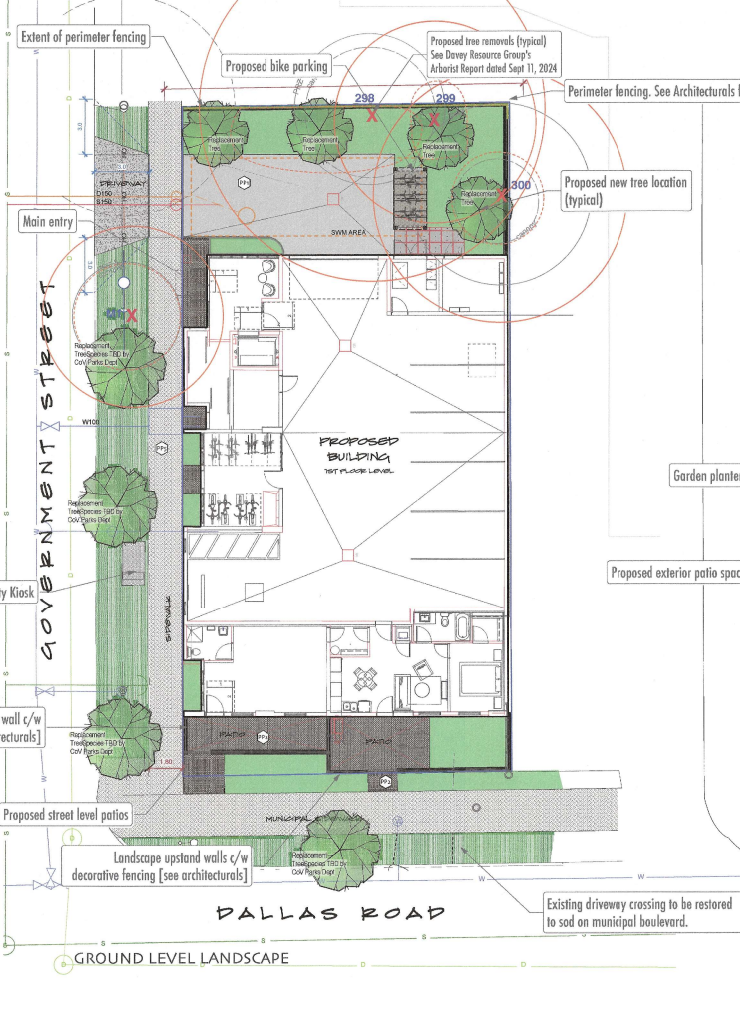
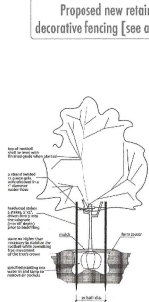
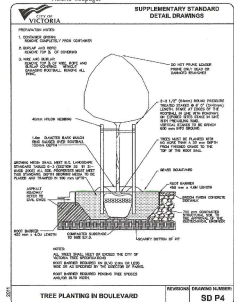
- Lawn
- Planting area c/w groundcover planted
- Green roof planting area

MISCELLANEOUS:

- How concrete or masonry rock retaining/upstand walls; Heights vary.
- Exist concrete or masonry rock retaining/upstand walls; Heights vary.

NOTES:

- All building layout information and setback dimensions supplied by MUM Architect Inc.
- All survey information supplied by MUM Architect Inc.
- This drawing must not be scaled. The General Contractor shall verify all dimensions, distances and levels prior to commencement of work.
- All errors and omissions must be reported immediately to the Designer.
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SKL.01
 10.JULY.2024
 1 : 12.5
 LATEST REVISION: 26.FEBRUARY.26

**NOT FOR CONSTRUCTION.
 FOR DEVELOPMENT PERMIT ONLY.**

**600 DALLAS ROAD
 LANDSCAPE LAYOUT**

STUDIO ONE CREATIVE
 250.881.0706 · 4539 Viewmont Avenue, Victoria, BC
 CALID SERVICES LTD
 250.388.6919 · 2750 Quadra St, Victoria, BC

RESIDENTIAL DEVELOPMENT :: 600 DALLAS ROAD :: SKL.01 :: landscape layout ::

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