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Herald

517-533 Chatham Street + 530-538 Herald Street

Re-issued for Rezoning + Development Permit - Response 3

April 2 2026

<p>DEVELOPER</p> <p>Intracorp Homes Suite 600 - 530 Burrard Street Vancouver BC V6C 2B5</p> <p>Matt Kralic mkralic@intracorp-homes.com</p> <p>Sasha Kozmijac skozmajac@intracorp-homes.com</p>	<p>ARCHITECT</p> <p>SHAPE Architecture 1682 - 1484 W 7th Ave Vancouver, Canada V6H 1C1</p> <p>Nick Gully ngully@shapearchitecture.ca</p> <p>Avery Trzchasky a.trzchasky@shapearchitecture.ca</p>	<p>STRUCTURAL</p> <p>Walter Smith Bowers - Consulting Structural Engineers 3855 Henning Drive #118, Burnaby, BC V5C 6N3</p> <p>Darryl Bowers dowers@w-sb-eng.com</p> <p>Chris Anglin canglin@w-sb-eng.com</p>	<p>MECHANICAL</p> <p>Pinchin Ltd Suite 301, 3645 Tillicum Rd #200, Victoria, V8P 1T5</p> <p>Graeme Terns gterns@pinchin.com</p> <p>Kun Wang kwang@pinchin.com</p>	<p>ELECTRICAL</p> <p>Opal Engineering Inc 1523 Derby Road Victoria, BC V8P 1T5</p> <p>Blaire Shire blshire@opaleng.com</p> <p>Kevin Zind kzind@opaleng.com</p>	<p>LANDSCAPE</p> <p>Connect Landscape Architecture 2205 Hemlock St, Vancouver BC, V6R 2V1</p> <p>Oren Mazari oren@connect.ca</p> <p>Livia Neeman lvia@connect.ca</p>	<p>CIVIL</p> <p>J.E. Anderson & Associates 4212 Glenford Ave, Victoria, BC V8K 6R7</p> <p>Ross Tuck rtuck@jeanderson.com</p>	<p>BUILDING ENVELOPE</p> <p>BC Building Science Ltd 811 Bent Court, New Westminster, BC, V3M 1V3</p> <p>Chad Cravenick chad@building-science.com</p> <p>Matthew Duzinski mathew@bcbuilding-science.com</p>	<p>GEOTECHNICAL</p> <p>GeoPacific Consultants Ltd 2nd Floor - 3301 Douglas Street, Victoria, BC V8G 2A4</p> <p>James Carson jcarson@geopacific.ca</p> <p>Raymond Dickof dickof@geopacific.ca</p>	<p>BUILDING CODE</p> <p>G4, Consultants Ltd 800 - 700 West Pender St, Vancouver BC Canada V6C 1G8</p> <p>Khalid Wafiq kwafiq@g4.ca</p> <p>Khalid Sumar ks@g4.ca</p>
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Residential Unit Schedule

UNIT SCHEDULE - BY LEVEL

Level	Name	Count	%
Level 1	Loft	8	100%
Level 2	1 Bedroom	16	54%
Level 2	2 Bedroom	6	31%
Level 2	3 Bedroom	2	13%
Level 2	Jr. 1 Bedroom	1	2%
Level 3	1 Bedroom	16	54%
Level 3	2 Bedroom	6	31%
Level 3	3 Bedroom	2	13%
Level 3	Jr. 1 Bedroom	1	2%
Level 4	1 Bedroom	16	54%
Level 4	2 Bedroom	6	31%
Level 4	3 Bedroom	2	13%
Level 4	Jr. 1 Bedroom	1	2%
Level 5	1 Bedroom	16	56%
Level 5	2 Bedroom	6	29%
Level 5	3 Bedroom	2	13%
Level 5	Jr. 1 Bedroom	1	2%
Level 6	1 Bedroom	16	56%
Level 6	2 Bedroom	6	29%
Level 6	3 Bedroom	2	13%
Level 6	Jr. 1 Bedroom	1	2%
Total Units: 132		132	

UNIT SCHEDULE - TOTALS

Name	Unit #	%
1 Bedroom	80	60%
2 Bedroom	30	23%
3 Bedroom	10	8%
Jr. 1 Bedroom	5	4%
Loft	8	5%
Loft	133	

Vehicle

REQUIRED PARKING SPACES Per 2018 Bylaw OTD-1

UNIT TYPE REQUIREMENTS
 - Under 45m² (0.65 parking spaces required per unit)
 - 45 - 69m² (0.8 parking spaces required per unit)
 - 70m² and above (1.2 parking spaces required per unit)

REGULAR UNITS
 65 under 45 (0.65) = 55
 33 (0.8) = 26
 33 (1.2) = 39
 Total Required: 120

ACCESSIBLE PARKING STALLS
 As per table 7.1 under Part 5 of the 2018 Zoning Bylaw, 3 accessible visitor stalls are required and 1 Accessible Van is required.

VEHICLE PARKING SUMMARY

Accessible Car Space - Wheelstop 2.75m	3
Accessible Van Space - Wheelstop 3.4m x 5.1m	3
Commercial Car Space - Wheelstop 2.7m x 5.1m	10
Regular Car Space - Wheelstop 2.7m x 5.1m	57
Residential Car Share Space - Wheelstop 2.9m x 5.1m	1
Residential Visitor Car Space - Wheelstop 2.7m x 5.1m	11
Total Vehicle Parking: 85	

Bicycle

Class A/Long term Bike Parking: 1 Space per unit less than 45m² in floor space, 1.25 Spaces required per unit greater than 45m² in floor space.
Class B spaces (Short term) required 0.10 per total units in building.

Class A Calculation:
 1.00 (85 units) = 85
 1.25 (48 units) = 60
 Total Required: 145

Class B Calculation:
 0.10 (132 units) = 13.2
 Total Required: 13

BICYCLE PARKING - Class A and B

Class A - Horizontal - 600 x 1000 mm	174	93%
Class B - Horizontal - 600 x 1000 mm	14	7%
Total Bicycle Parking	188	

*10% additional Class A provided
 *15% of Class A stalls are for Oversized bikes

Floor Space Ratio (FSR)

City of Victoria FSR Inclusion and Exclusions
 The following inclusions are referenced under the City of Victoria's Density Framework Guidelines and Zoning Bylaw 2018:

- The site is exempt from the density bonus system.
- The site is zoned As OTD-1.
- FSR Drawings are measured to the interior face of exterior walls.

- PERMITTED EXCLUSIONS:**
- The area of any crawlspace or basement.
 - The area of any balcony, veranda, exposed deck, patio or roof (i.e., outdoor (unenclosed space) when calculating "Floor Area".
 - The area of rooftop structures.
 - The area used to provide bicycle parking required by the bylaw.

Total Area Schedule (FSR) - Inclusions

Name	Area (m ²)	Area (ft ²)
Not Placed	0 m ²	0 ft ²
<varies>	0 m ²	0 ft ²
Not Placed	0 m ²	0 ft ²
Level 1		
Inclusion - Commercial Space	409 m ²	4,402 ft ²
Inclusion - Exterior Circulation	48 m ²	518 ft ²
Inclusion - Amenity	129 m ²	1,392 ft ²
Inclusion - Residential	429 m ²	4,615 ft ²
Inclusion - Real Lobby	78 m ²	840 ft ²
Inclusion - Vertical Circulation	23 m ²	247 ft ²
Level 1	1,116 m ²	12,015 ft ²
Level 1.5 - Mezzanine		
Inclusion - Residential	186 m ²	2,007 ft ²
Level 1.5 - Mezzanine	186 m ²	2,007 ft ²
Level 2		
Inclusion - Electrical	9 m ²	95 ft ²
Inclusion - Mechanical	2 m ²	19 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,284 ft ²
Inclusion - Residential	1,366 m ²	14,687 ft ²
Inclusion - Vertical Circulation	14 m ²	155 ft ²
Level 2	1,602 m ²	17,240 ft ²
Level 3		
Inclusion - Electrical	10 m ²	110 ft ²
Inclusion - Mechanical	2 m ²	20 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,282 ft ²
Inclusion - Residential	1,366 m ²	14,690 ft ²
Inclusion - Vertical Circulation	14 m ²	155 ft ²
Level 3	1,603 m ²	17,257 ft ²
Level 4		
Inclusion - Electrical	9 m ²	98 ft ²
Inclusion - Mechanical	2 m ²	19 ft ²
Inclusion - Outdoor Circulation	211 m ²	2,269 ft ²
Inclusion - Residential	1,365 m ²	14,694 ft ²
Inclusion - Vertical Circulation	15 m ²	158 ft ²
Level 4	1,601 m ²	17,237 ft ²
Level 5		
Inclusion - Electrical	9 m ²	99 ft ²
Inclusion - Mechanical	2 m ²	19 ft ²
Inclusion - Outdoor Circulation	213 m ²	2,291 ft ²
Inclusion - Residential	1,365 m ²	14,688 ft ²
Inclusion - Vertical Circulation	14 m ²	155 ft ²
Level 5	1,603 m ²	17,260 ft ²
Level 6		
Inclusion - Electrical	9 m ²	96 ft ²
Inclusion - Mechanical	2 m ²	23 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,283 ft ²
Inclusion - Residential	1,366 m ²	14,700 ft ²
Inclusion - Vertical Circulation	15 m ²	158 ft ²
Level 6	1,606 m ²	17,290 ft ²
Grand total	9,319 m ²	100,306 ft ²
Total Area Schedule (FSR) - Exclusions		
Name	Area (m ²)	Area (ft ²)
Not Placed	0 m ²	0 ft ²
Exclusion - Electrical / Comm	0 m ²	0 ft ²
Level P2 (T.O Structure)		
Exclusion - Lobby	24 m ²	254 ft ²
Exclusion - Underground Parking	2,148 m ²	23,121 ft ²
Exclusion - Stair	70 m ²	752 ft ²
	2,241 m ²	24,127 ft ²
Level P1 (T.O Structure)		
Exclusion - Bike Parking	320 m ²	3,444 ft ²
Exclusion - Elevator	26 m ²	285 ft ²
Exclusion - Electrical / Comm	43 m ²	461 ft ²
Exclusion - Garbage	94 m ²	997 ft ²
Exclusion - Dog Wash Facilities	10 m ²	103 ft ²
Exclusion - Lobby	14 m ²	148 ft ²
Exclusion - Mechanical	72 m ²	771 ft ²
Exclusion - Underground Parking	1,819 m ²	19,429 ft ²
Exclusion - Stair	51 m ²	550 ft ²
	2,239 m ²	24,098 ft ²
Roof Level		
Exclusion - Rooftop Balcony	1,625 m ²	17,491 ft ²
	1,625 m ²	17,491 ft ²
Grand total	6,105 m ²	65,717 ft ²

Above Grade Areas

Level	A Residential	B Commercial	C Interior Lobby and Circulation	D Exterior Common/Circulation	E Amenity	F Mech/Elec/Service	G Storage/Bikes	J GBA (H= Sum A-G)	K Exclusion - Bikes	L Exclusion - Loft Mezzanine	M FAR Area (M=J-K-L)
6	14,730	-	158	2,283	-	119	-	17,290	-	-	17,290
5	14,895	-	155	2,291	-	118	-	17,259	-	-	17,259
4	14,894	-	158	2,289	-	117	-	17,238	-	-	17,238
3	14,890	-	155	2,282	-	130	-	17,257	-	-	17,257
2	14,887	-	155	2,284	-	114	-	17,240	-	-	17,240
1.5	2,007	-	-	-	-	-	-	2,007	-	-	2,007
1	4,615	4,402	1,087	518	1,392	-	-	12,014	-	-	12,014
Subtotal	80,118	4,402	1,868	11,927	1,392	598	-	100,305	-	-	100,306

Below Grade Areas

	Parkade	Garbage and Recycle	Interior Lobby and Circulation	Exterior Common/Circulation	Amenity	Mech/Elec/Service	Storage/Bikes	GBA (H= Sum A-G)	Exclusion - Bikes	Exclusion - Loft Mezzanine	FAR Area (L=H-I-J-K)
P1	17,429	907	983	-	103	1,519	3,157	24,098	-	-	
P2	23,123	-	1,004	-	-	-	-	24,127	-	-	
Total	120,670	5,309	3,855	11,927	1,495	2,117	3,157	148,530	-	-	100,306

Total Site Statistics

Parcel Area	50,961
Dedications	0
Net Parcel Area	50,961
FAR Allowable	3.00

Proposed Building Statistics

Site	FSR	Area (sf)
Site		50,961
FSR Proposed	1.87	100,303
FSR Allowable	1.84	93,646
Over/Under	0.13	6,660

Existing	FSR	Area (sf)
Biggerstaff	0.57	28,944
Wilson	0.59	30,292
Herald	1.97	100,306
Total FSR	3.13	159,542

Total Units	133
Number of stories	6

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Project Statistics

Date	
Drawn By	Author
Checked By	AT
Scale	1:1
Original Size	A0

Seal

Client

INTRACORP
 Building the Extraordinary



BOOK OF REFERENCE - AREAS

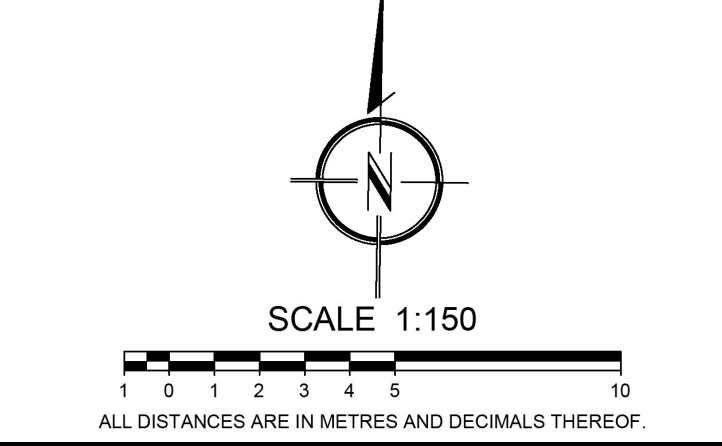
LEGAL DESCRIPTION	AREA (m ²)
LOT 481, VICTORIA CITY	676.7
LOT 482, VICTORIA CITY	676.2
LOT 483, VICTORIA CITY	1352.0
LOT A OF LOTS 473 AND 480, VICTORIA CITY, PLAN VIP72416	1353.1
LOT A OF LOTS 475 AND 476, VICTORIA CITY, PLAN VIP68503	1353.1
TOTAL	4734.4 (4,473.14)

TOPOGRAPHIC SURVEY PLAN OF:
LOTS 481-483, VICTORIA CITY;
LOT A OF LOTS 473 AND 474,
VICTORIA CITY, PLAN VIP68503;
AND LOT A OF LOTS 475 AND 480,
VICTORIA CITY, PLAN VIP72416.

CITY OF VICTORIA
 INTEGRATED SURVEY AREA #17

CIVIC ADDRESS: 517 CHATHAM STREET
 532 CHATHAM STREET
 532 HERALD STREET
 536 HERALD STREET

PID: 008-370-765
 006-067-094
 006-087-108
 024-380-270
 025-047-752



- LEGEND:**
- DENOTES SPOT ELEVATION OF 8.88 METRES (TYPICAL)
 - EL DENOTES ELEVATION
 - PL DENOTES PROPERTY LINE
 - BOL DENOTES BOLLARD
 - DENOTES PARKING METER
 - DENOTES STREET SIGN
 - DENOTES POWER POLE
 - DENOTES POWER POLE ANCHOR
 - DENOTES LAMP STANDARD
 - DENOTES WATER VALVE
 - DENOTES WATER METER
 - DENOTES GAS VALVE
 - DENOTES GAS METER
 - DENOTES CATCH BASIN
 - DENOTES MANNHOLE
 - DENOTES HOISTING WELL
 - DENOTES CHAIN LINK FENCE
 - DENOTES TOP OF 10-15cm HIGH ASPHALT BARRIER CURB
 - DENOTES DECIDUOUS TREE WITH TRUNK DIAMETER 15.1m, CANOPY DIAMETER 1.5m, AND GROUND ELEVATION +8.48m

HORIZONTAL DATUM:
 COORDINATES ARE UTM GRID/4 LEVEL, DERIVED FROM TIES TO MONUMENTS 17-16 AND 17-36, SCALED BY 10 999 003 ABOUT MONUMENT 17-16 (NORTHING 5364188.886, EASTING 472664.866)

VERTICAL DATUM:
 ELEVATIONS ARE GEODETIC (CGVD08) AND DERIVED FROM CONTROL MONUMENT 11-16 PUBLISHED ELEVATION = 10.103 METRES.

PROPERTY:
 PROPERTY DIMENSIONS SHOWN ARE DERIVED FROM PLAN EPP7927. DIMENSIONS ARE SUBJECT TO ADJUSTMENT PENDING FURTHER LEGAL SURVEY.
 OFFSETS TO PROPERTY LINES ARE NOT TO BE USED TO DEFINE BOUNDARIES.
 REFER TO CURRENT CERTIFICATE(S) OF TITLE FOR ADDITIONAL EXISTING OR PENDING CHARGES.

GENERAL:
 THIS PLAN SHOWS THE LOCATION OF VISIBLE FEATURES ONLY, AND DOES NOT INDICATE BURIED SERVICES THAT MAY EXIST ON OR AROUND THE SUBJECT SITE.
 FEATURES SHOWN WITHOUT DIMENSIONS SHOULD BE CONFIRMED WITH BENNETT LAND SURVEYING LTD.
 BUILDING LOCATION BASED ON SURVEY TIES TO VISIBLE EXTERIOR SURFACES (UNLESS OTHERWISE NOTED).
 TREE SPECIES AND DIMENSIONS SHOULD BE CONFIRMED BY A QUALIFIED ARBORIST. SHADDED AREA IS NOT AN INDICATION OF DRIP LINE LOCATION UNLESS SPECIFICALLY LABELLED.

bennett
 LAND SURVEYING LTD.
 BC LAND SURVEYORS

3089 WASHINGTON AVENUE, VICTORIA, BC V8A 1P7
 TEL: 250-744-0516 www.bennettlandsurveying.com

DATE:	2024-12-20	BY:	RS
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REVISION:	
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 ALL RIGHTS RESERVED. NO PERSON MAY COPY, REPRODUCE, TRANSMIT OR ALTER THIS DOCUMENT IN WHOLE OR IN PART WITHOUT THE CONSENT OF BENNETT LAND SURVEYING LTD.
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Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project: 2502

Herald

517-533 Chatham Street + 530-538 Herald Street

Site Survey

Date:	
Drawn By:	BENNETT LAND SURVEYING LTD.
Checked By:	AT
Scale:	N/A
Original Size:	A0

Seal

Client

INTRACORP
 Building the Extraordinary



1 Site Plan - Existing
 1:150

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Key Plan

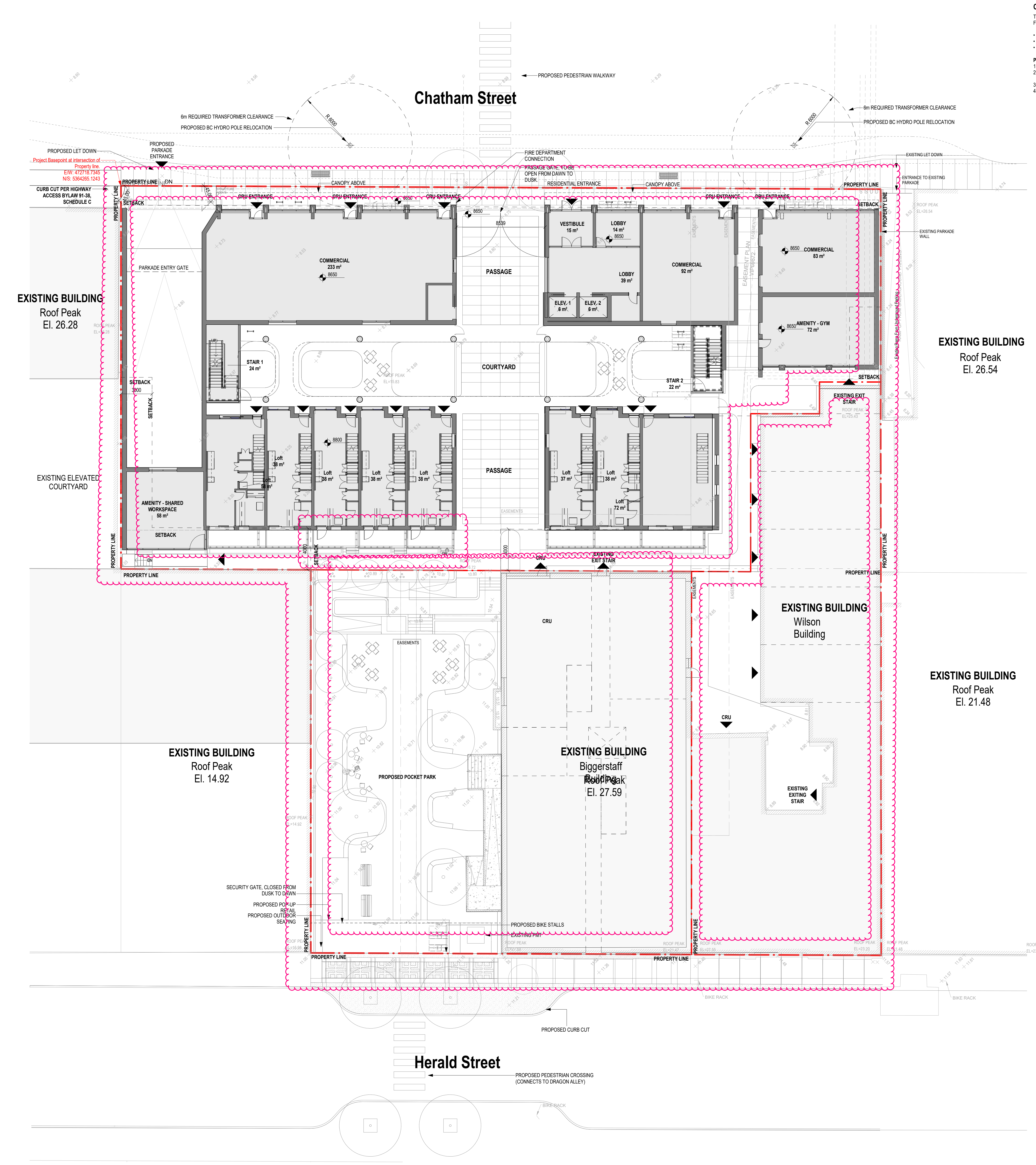
Project 2502
Herald
 517-533 Chatham Street + 530-538
 Herald Street

Site Plan - Existing
 Date
 Drawn By Author
 Checked By AT
 Scale 1:150
 Original Size A0

- The site is exempt from the density bonus system.
- The site is zoned AS-OTD-1.
- FSR Drawings are measured to the interior face of exterior walls.

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- The area of any crawlspace or basement.
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- The area of rooftop structures.
- The area used to provide bicycle parking required by the bylaw.



1 Site Plan
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Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538 Herald Street

Site Plan

Date

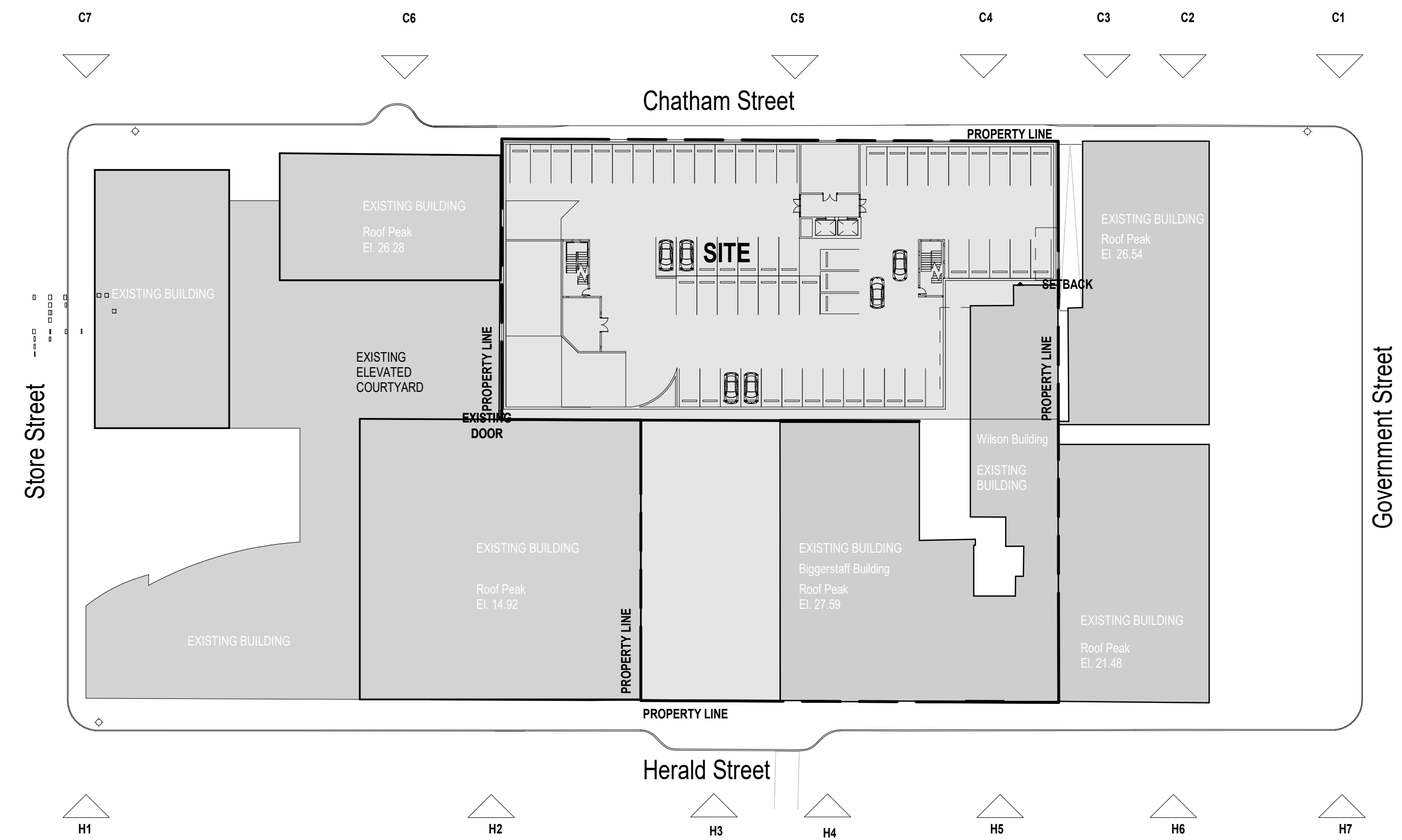
Drawn By BB

Checked By AT

Scale As indicated

Original Size A0

SITE IMAGE KEY



CHATHAM STREET



Image Reference # C1
Description: Commercial Building, Two Storey Residential



Image Reference # C2
Description: Commercial Building, Two Storey Residential



Image Reference # C3
Description: Adjacent Commercial & Residential Building



Image Reference # C4
Description: Wilson Building



Image Reference # C5
Description: North Facade of Biggerstaff Building



Image Reference # C6
Description: Adjacent Residential Building, Ironworks



Image Reference # C7
Description: Adjacent Residential Building, Ironworks

HERALD STREET



Image Reference # H1
Description: Commercial Unit



Image Reference # H2
Description: Adjacent Commercial Unit



Image Reference # H3
Description: Site, with existing trees



Image Reference # H4
Description: Adjacent Existing Building, Biggerstaff Building (Historical)



Image Reference # H5
Description: Level Once Commercial, Two Storeys Residential



Image Reference # H6
Description: Break between buildings



Image Reference # H7
Description: Commercial Building, Two Storey Residential

Revisions

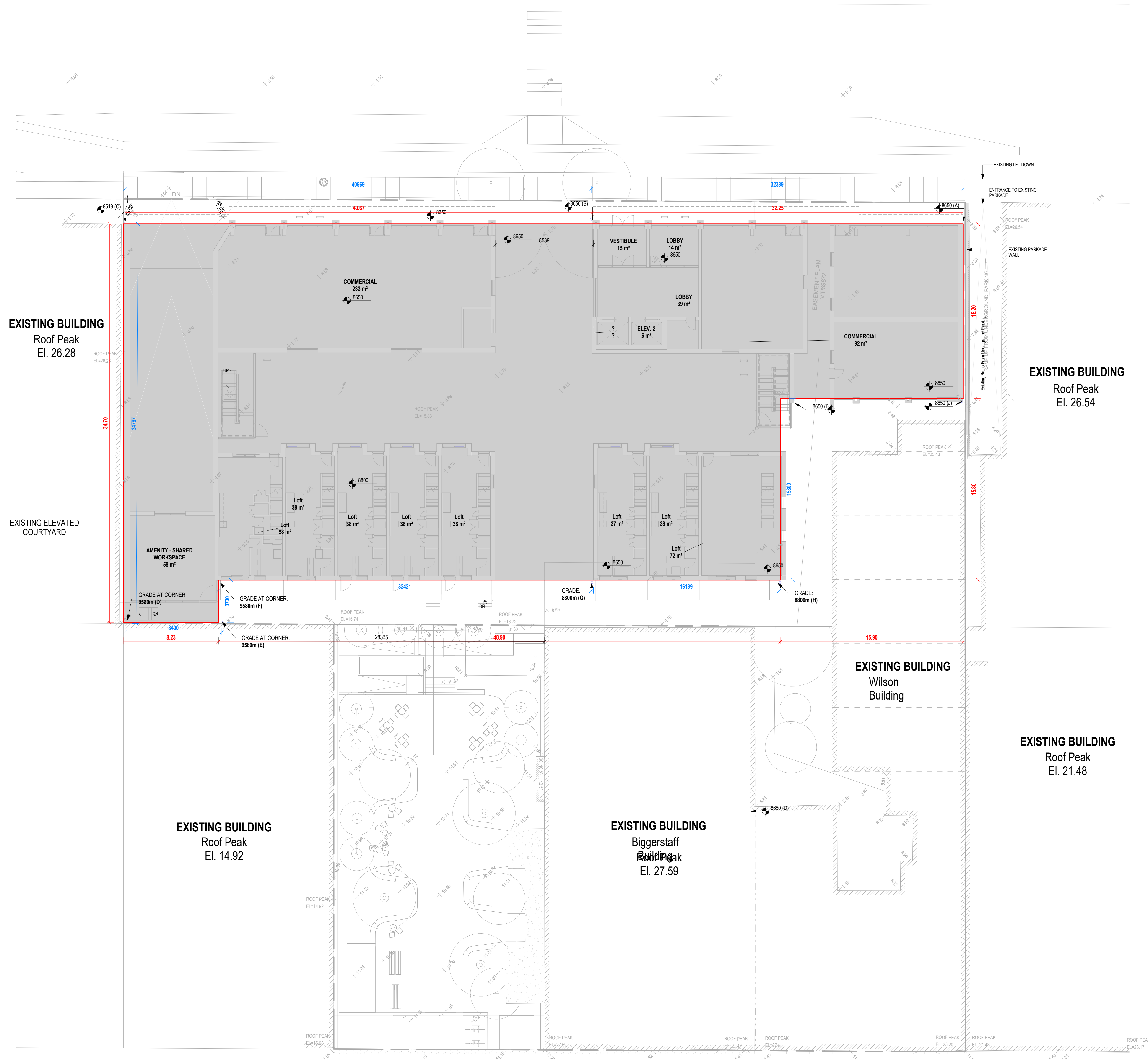
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Key Plan

Project 2502
Herald
517-533 Chatham Street + 530-538 Herald Street

Site Photos - Street Context

Date	Author
Drawn By	AT
Checked By	AT
Scale	
Original Size	A0



1 SITE PLAN - AVERAGE GRADE
 1 : 150

AVERAGE GRADE POINT CALCULATION:

GRADE POINTS:		
Grade Point A: 8.65	Grade Point E: 9.58	Grade Point I: 8.65
Grade Point B: 8.65	Grade Point F: 9.58	Grade Point J: 8.65
Grade Point C: 8.52	Grade Point G: 8.80	
Grade Point D: 9.58	Grade Point H: 8.80	

Calculation:			
Grade Points	Average of Points	Distance between grade points	Totals
Points B + C:	8.58	x 40.67	349.13
Points C + D:	9.05	x 34.70	314.02
Points D + E:	9.58	x 8.40	80.47
Points E + F:	9.58	x 3.70	35.45
Points F + G:	9.19	x 32.42	297.94
Points G + H:	8.80	x 16.18	142.38
Points H + I:	8.73	x 15.80	137.86
Points I + J:	8.65	x 14.83	128.28
Points J + A:	8.65	x 15.20	131.48
Total:		181.90	Total: 1617.01

Grade Calculation:		
1617.01	/ 181.90	= 8.89

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Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538 Herald Street

Average Grade Calculations

Date

Drawn By BB

Checked By AT

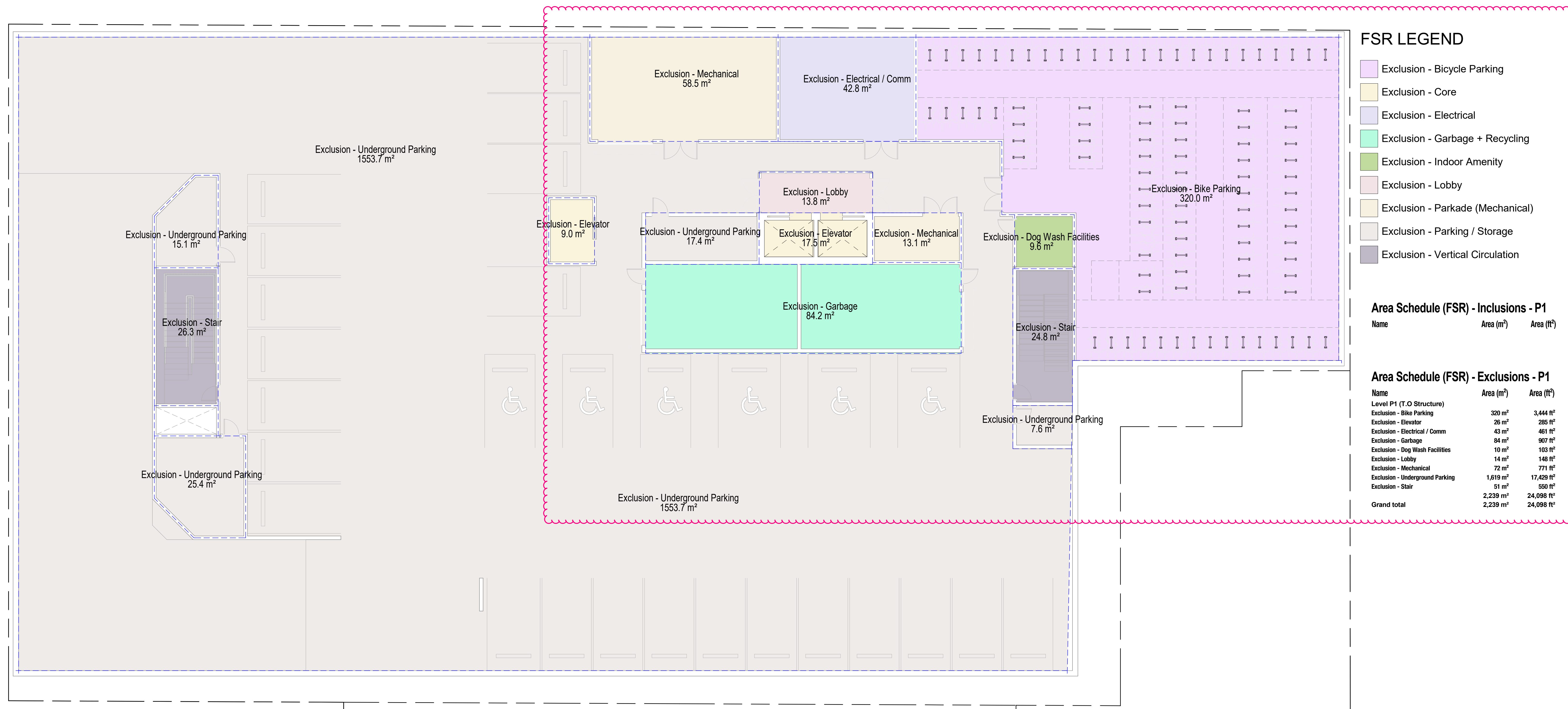
Scale 1 : 150

Original Size A0

- The site is exempt from the density bonus system.
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- FSR Drawings are measured to the interior face of exterior walls.

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- The area of any crawlspace or basement.
- The area of any balcony, veranda, exposed deck, patio or roof (i.e., outdoor unenclosed space) when calculating "Floor Area".
- The area of rooftop structures.
- The area used to provide bicycle parking required by the bylaw.



FSR LEGEND

- Exclusion - Bicycle Parking
- Exclusion - Core
- Exclusion - Electrical
- Exclusion - Garbage + Recycling
- Exclusion - Indoor Amenity
- Exclusion - Lobby
- Exclusion - Parkade (Mechanical)
- Exclusion - Parking / Storage
- Exclusion - Vertical Circulation

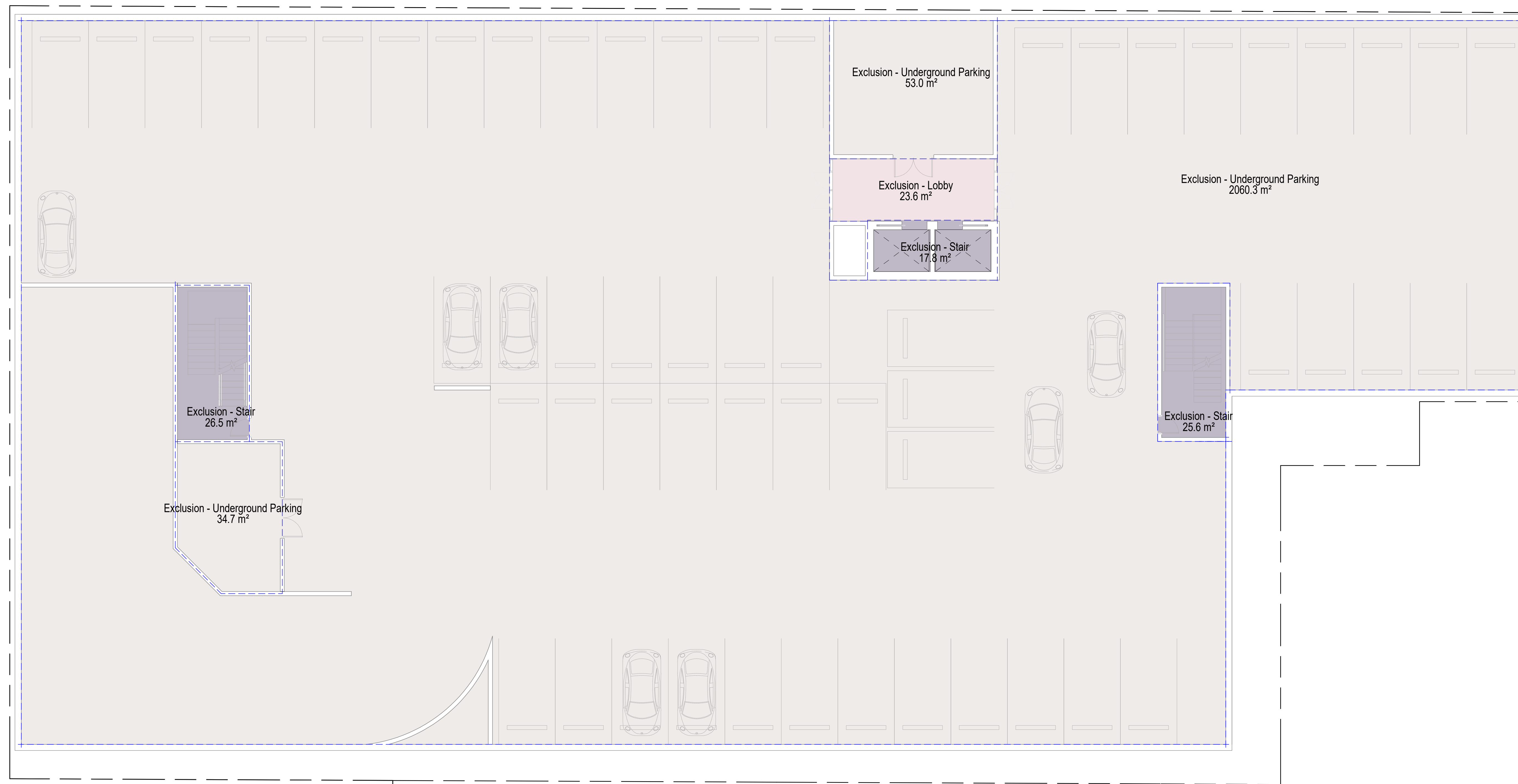
Area Schedule (FSR) - Inclusions - P1

Name	Area (m ²)	Area (ft ²)
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Area Schedule (FSR) - Exclusions - P1

Name	Area (m ²)	Area (ft ²)
Level P1 (T.O Structure)		
Exclusion - Bike Parking	320 m ²	3,444 ft ²
Exclusion - Elevator	26 m ²	281 ft ²
Exclusion - Electrical / Comm	45 m ²	481 ft ²
Exclusion - Garbage	84 m ²	907 ft ²
Exclusion - Dog Wash Facilities	10 m ²	103 ft ²
Exclusion - Lobby	14 m ²	149 ft ²
Exclusion - Mechanical	32 m ²	343 ft ²
Exclusion - Underground Parking	1,619 m ²	17,429 ft ²
Exclusion - Stair	51 m ²	550 ft ²
Grand total	2,239 m²	24,098 ft²

1 Level P1
1 : 100



FSR LEGEND

- Exclusion - Lobby
- Exclusion - Parking / Storage
- Exclusion - Vertical Circulation

Area Schedule (FSR) - Inclusions - P2

Name	Area (m ²)	Area (ft ²)
------	------------------------	-------------------------

Area Schedule (FSR) - Exclusions - P2

Name	Area (m ²)	Area (ft ²)
Level P2 (T.O Structure)		
Exclusion - Lobby	24 m ²	254 ft ²
Exclusion - Underground Parking	2,148 m ²	23,121 ft ²
Exclusion - Stair	30 m ²	323 ft ²
Grand total	2,241 m²	24,127 ft²

2 Level P2
1 : 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538 Herald Street

FSR - Level P1 + P2

Date	Author
Drawn By	AT
Checked By	As indicated
Scale	As indicated
Original Size	A0

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- The site is zoned AS-OTD-1.
- FSR Drawings are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS:

1. The area of any crawlspace or basement.
2. The area of any balcony, veranda, exposed deck, patio or roof (i.e., outdoor unenclosed space) when calculating "Floor Area".
3. The area of rooftop structures.
4. The area used to provide bicycle parking required by the bylaw.

FSR LEGEND

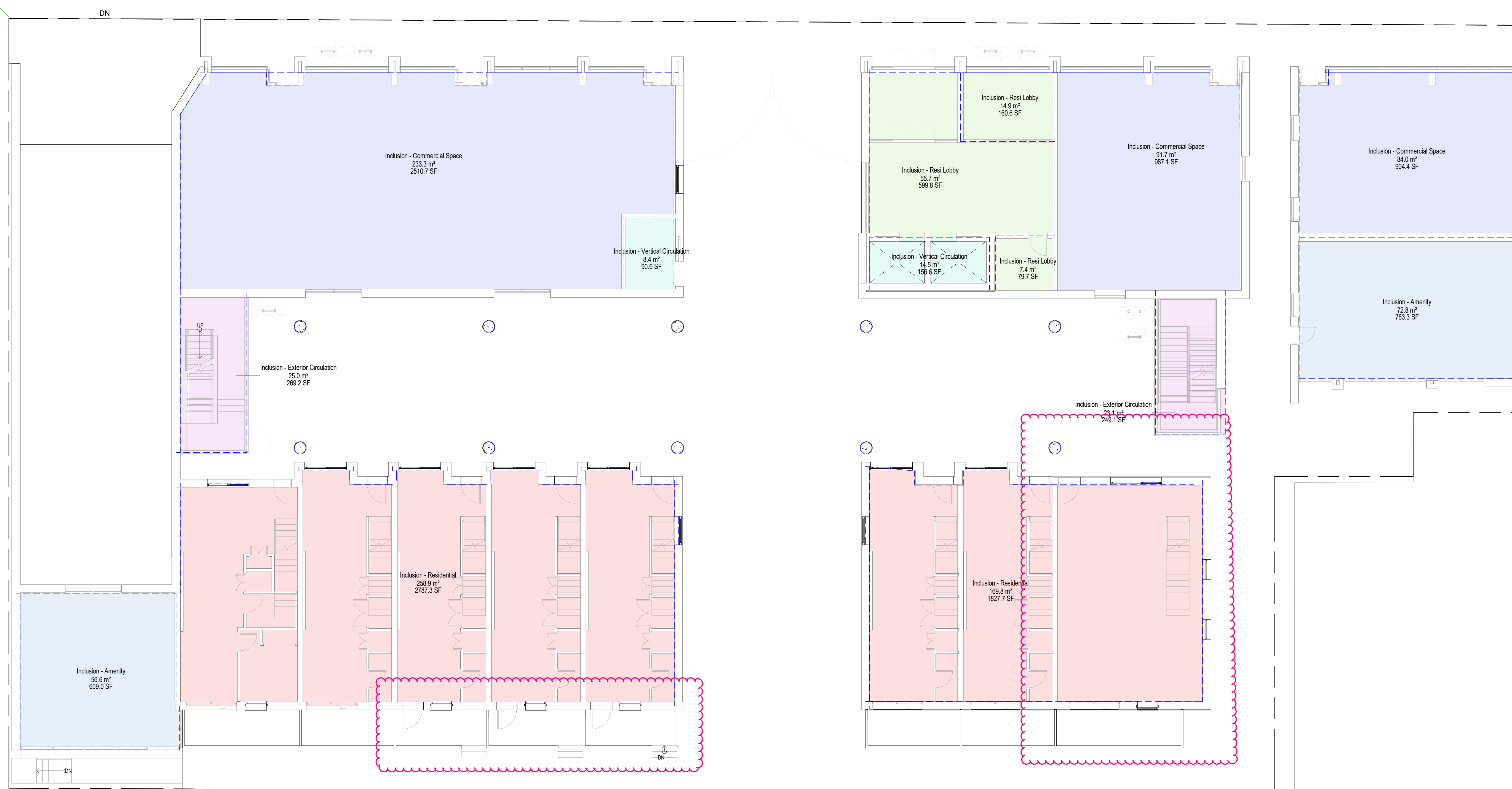
- Inclusion - Commercial Space
- Inclusion - Exterior Circulation
- Inclusion - Indoor Amenity
- Inclusion - Residential
- Inclusion - Residential Lobby
- Inclusion - Vertical Circulation

Area Schedule (FSR) - Exclusions - Level 1

Name	Area (m ²)	Area (ft ²)
Inclusion - Commercial Space	233.3	2510.7
Inclusion - Residential Lobby	14.9	160.6
Inclusion - Residential	258.9	2787.3
Inclusion - Amenity	55.0	592.2
Inclusion - Vertical Circulation	8.4	90.5
Inclusion - Exterior Circulation	23.1	249.1
Grand total	593.6	6380.4

Area Schedule (FSR) - Inclusions - Level 1

Name	Area (m ²)	Area (ft ²)
Level 1		
Inclusion - Commercial Space	409	4,402
Inclusion - Exterior Circulation	46	518
Inclusion - Amenity	129	1,382
Inclusion - Residential	429	4,615
Inclusion - Res Lobby	78	840
Inclusion - Vertical Circulation	23	247
Level 1	1,116	12,015
Grand total	1,116	12,015



1 Level 1
1 : 100

FSR LEGEND

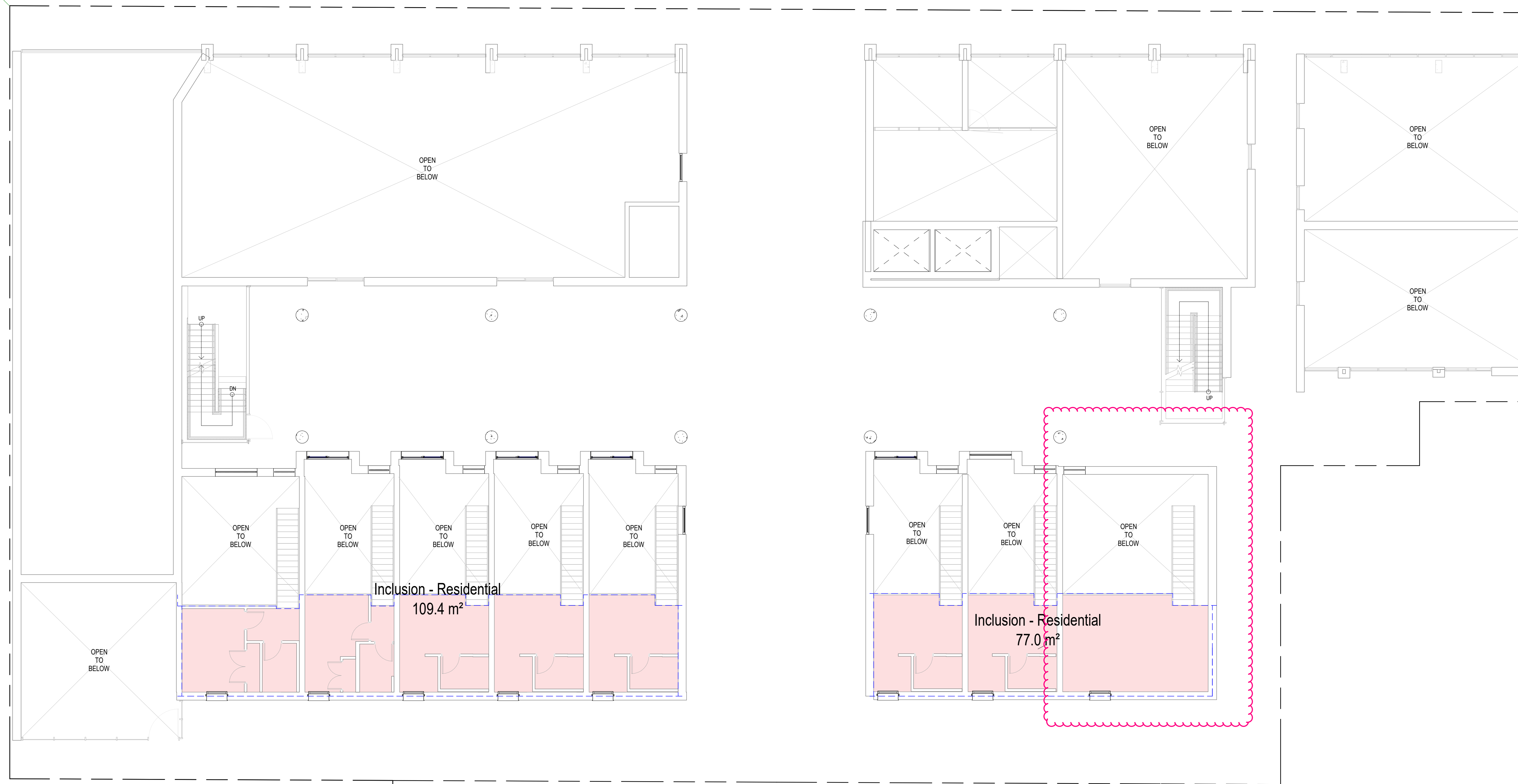
- Inclusion - Residential

Area Schedule (FSR) - Exclusions - ...

Name	Area (m ²)	Area (ft ²)
OPEN TO BELOW		

Area Schedule (FSR) - Inclusions - Mezzanine

Name	Area (m ²)	Area (ft ²)
Level 1.5 - Mezzanine		
Inclusion - Residential	186	2,007
Level 1.5 - Mezzanine	186	2,007
Grand total	186	2,007



2 Level 1.5 - Mezzanine
1 : 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538 Herald Street

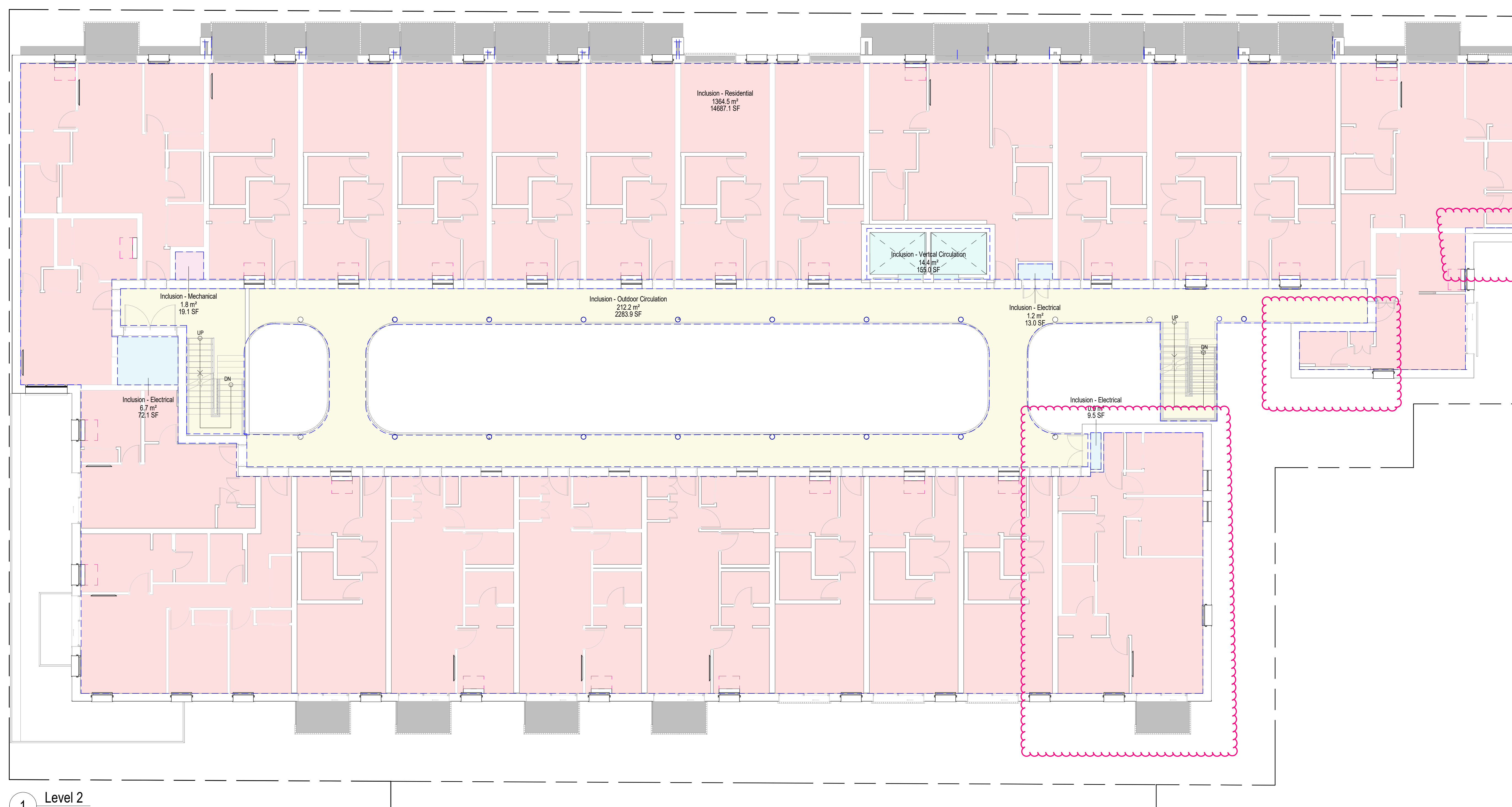
FSR - Level 1 + Mezzanine

Date	Author
Drawn By	AT
Checked By	As indicated
Scale	As indicated
Original Size	A0

- The site is exempt from the density bonus system.
- The site is zoned AS-OTD-1.
- FSR Drawings are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS:

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2. The area of any balcony, veranda, exposed deck, patio or roof (i.e., outdoor unenclosed space) when calculating "Floor Area".
3. The area of rooftop structures.
4. The area used to provide bicycle parking required by the bylaw.



FSR LEGEND

- Inclusion - Electrical
- Inclusion - Mechanical
- Inclusion - Outdoor Circulation
- Inclusion - Residential
- Inclusion - Vertical Circulation

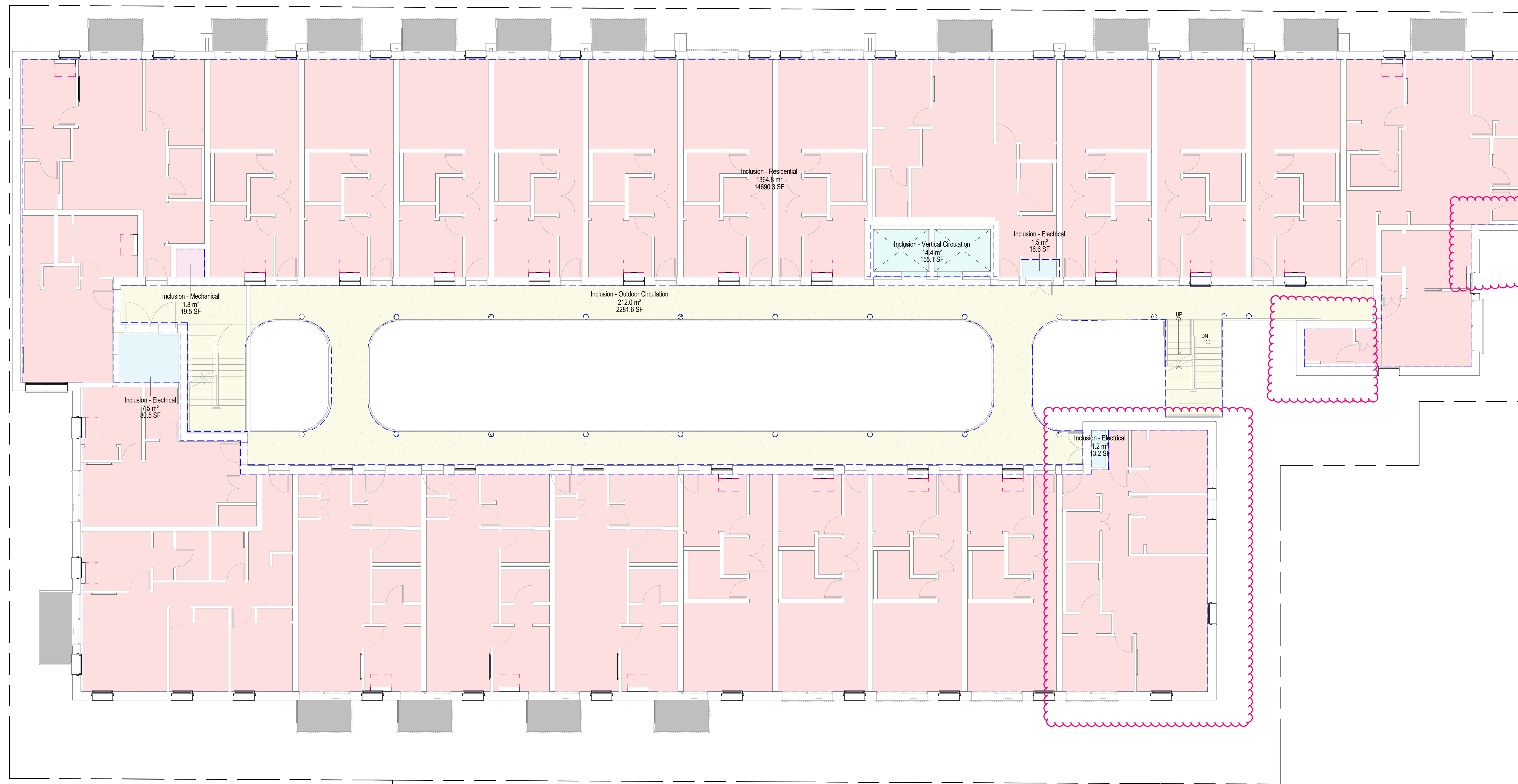
Area Schedule (FSR) - Exclusions - Level 2

Name	Area (m ²)	Area (ft ²)
------	------------------------	-------------------------

Area Schedule (FSR) - Inclusions - Level 2

Name	Area (m ²)	Area (ft ²)
Level 2		
Inclusion - Electrical	4 m ²	46 ft ²
Inclusion - Mechanical	2 m ²	25 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,281 ft ²
Inclusion - Residential	1,360 m ²	14,635 ft ²
Inclusion - Vertical Circulation	14 m ²	159 ft ²
Level 2	1,598 m ²	17,142 ft ²
Grand total	1,593 m ²	17,142 ft ²

1 Level 2
1:100



FSR LEGEND

- Inclusion - Electrical
- Inclusion - Mechanical
- Inclusion - Outdoor Circulation
- Inclusion - Residential
- Inclusion - Vertical Circulation

Area Schedule (FSR) - Exclusions - Level 3

Name	Area (m ²)	Area (ft ²)
------	------------------------	-------------------------

Area Schedule (FSR) - Inclusions - Level 3

Name	Area (m ²)	Area (ft ²)
Level 3		
Inclusion - Electrical	4 m ²	44 ft ²
Inclusion - Mechanical	2 m ²	23 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,280 ft ²
Inclusion - Residential	1,365 m ²	14,689 ft ²
Inclusion - Vertical Circulation	14 m ²	155 ft ²
Level 3	1,598 m ²	17,198 ft ²
Grand total	1,598 m ²	17,198 ft ²

2 Level 3
1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
517-533 Chatham Street + 530-538
Herald Street

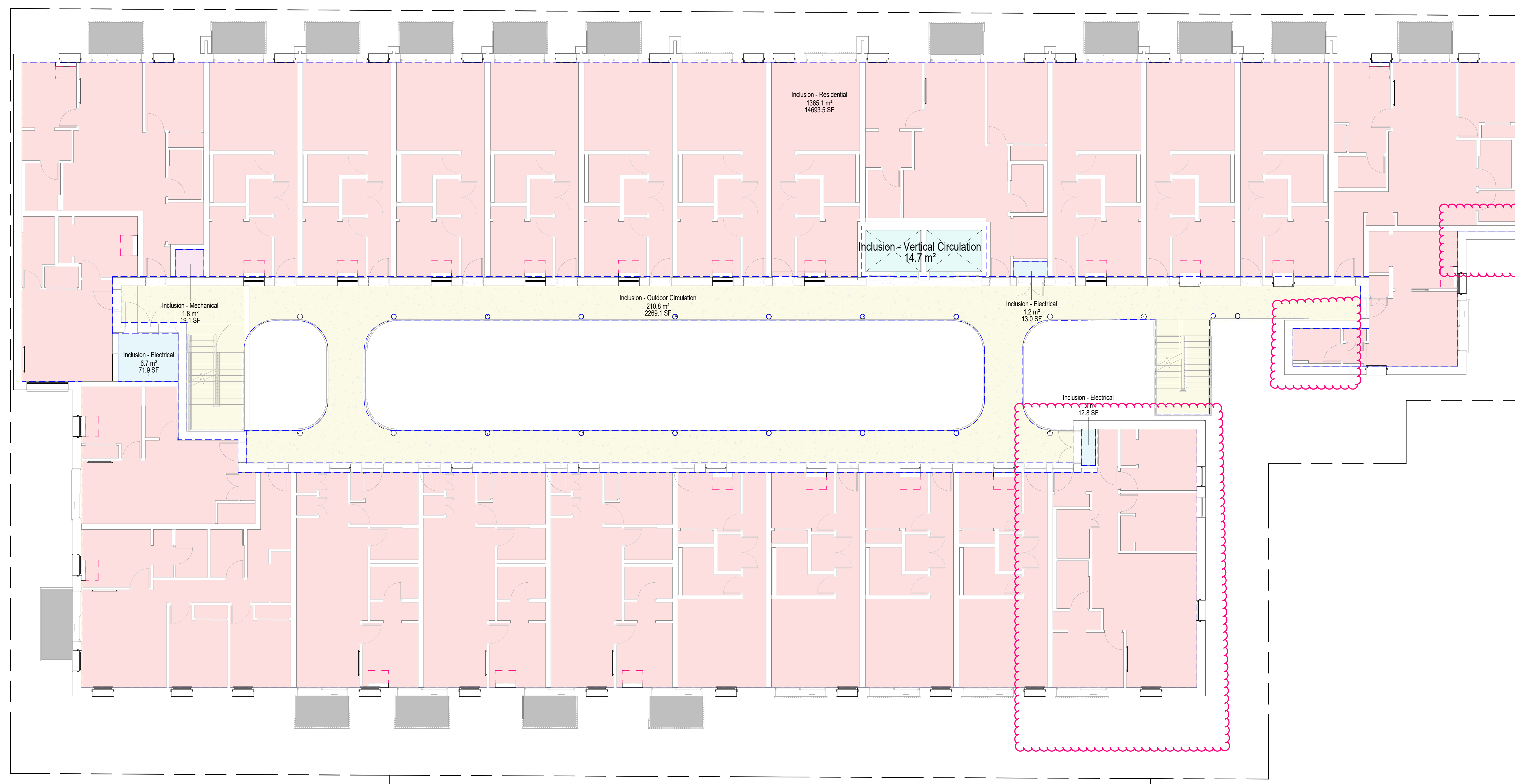
FSR - Level 2 + 3

Date	Author
Drawn By	AT
Checked By	As indicated
Scale	As indicated
Original Size	A0

- The site is exempt from the density bonus system.
- The site is zoned A4 OTD-1.
- FSR Drawings are measured to the interior face of exterior walls.

PERMITTED EXCLUSIONS:

1. The area of any crawlspace or basement.
2. The area of any balcony, veranda, exposed deck, patio or roof (i.e., outdoor unenclosed space) when calculating "Floor Area".
3. The area of rooftop structures.
4. The area used to provide bicycle parking required by the bylaw.



FSR LEGEND

- Inclusion - Electrical
- Inclusion - Mechanical
- Inclusion - Outdoor Circulation
- Inclusion - Residential
- Inclusion - Vertical Circulation

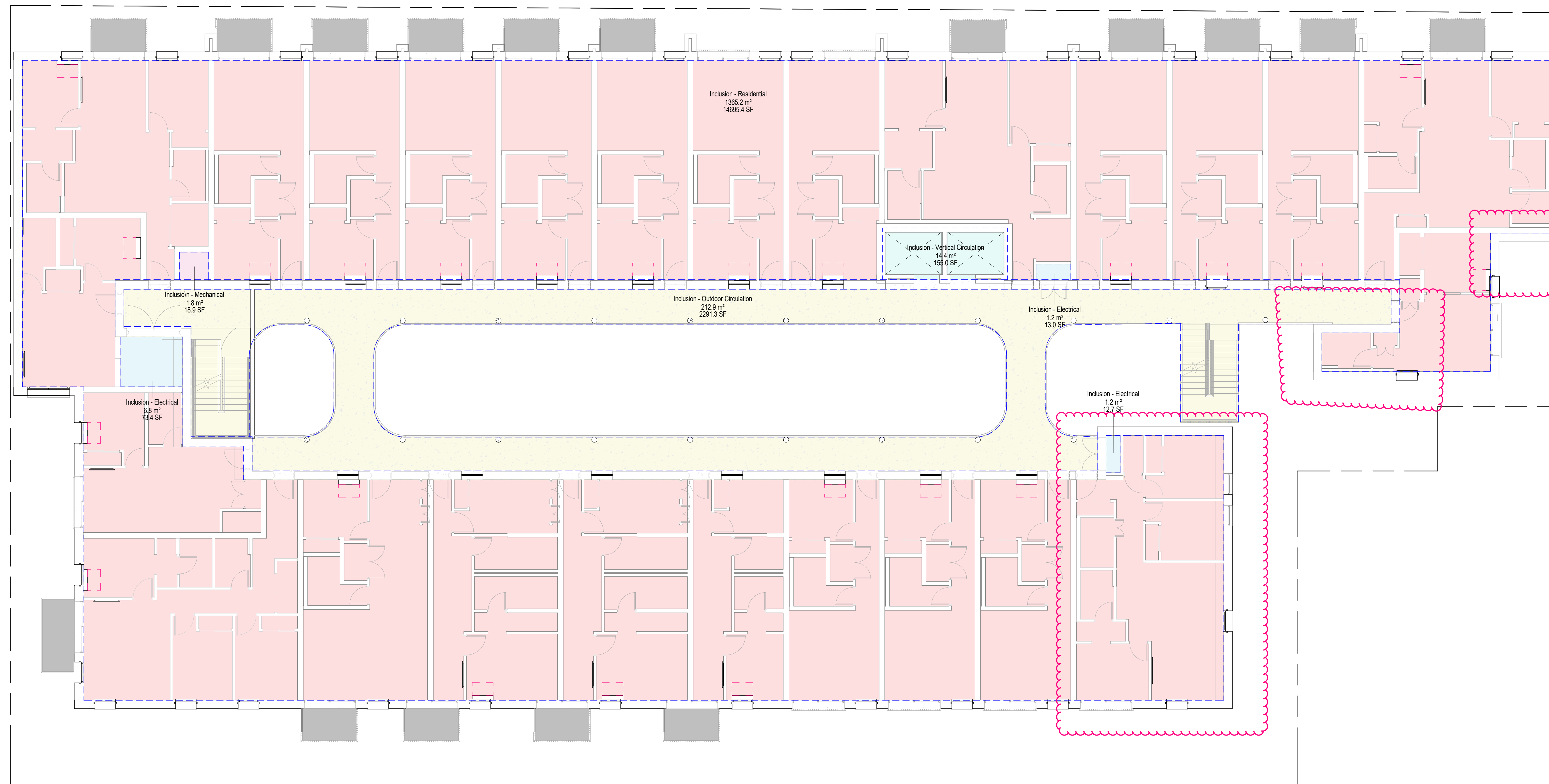
Area Schedule (FSR) - Exclusions - Level 4

Name	Area (m ²)	Area (ft ²)
------	------------------------	-------------------------

Area Schedule (FSR) - Inclusions - Level 4

Name	Area (m ²)	Area (ft ²)
Level 4		
Inclusion - Electrical	9 m ²	98 ft ²
Inclusion - Mechanical	2 m ²	19 ft ²
Inclusion - Outdoor Circulation	213 m ²	2,289 ft ²
Inclusion - Residential	1,365 m ²	14,694 ft ²
Inclusion - Vertical Circulation	15 m ²	158 ft ²
Level 4	1,601 m ²	17,237 ft ²
Grand total	1,601 m ²	17,237 ft ²

1 Level 4
 1 : 100



FSR LEGEND

- Inclusion - Electrical
- Inclusion - Mechanical
- Inclusion - Outdoor Circulation
- Inclusion - Residential
- Inclusion - Vertical Circulation

Area Schedule (FSR) - Exclusions - Level 5

Name	Area (m ²)	Area (ft ²)
------	------------------------	-------------------------

Area Schedule (FSR) - Inclusions - Level 5

Name	Area (m ²)	Area (ft ²)
Level 5		
Inclusion - Electrical	9 m ²	99 ft ²
Inclusion - Mechanical	2 m ²	19 ft ²
Inclusion - Outdoor Circulation	213 m ²	2,291 ft ²
Inclusion - Residential	1,365 m ²	14,695 ft ²
Inclusion - Vertical Circulation	14 m ²	155 ft ²
Level 5	1,603 m ²	17,260 ft ²
Grand total	1,603 m ²	17,260 ft ²

2 Level 5
 1 : 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538
 Herald Street

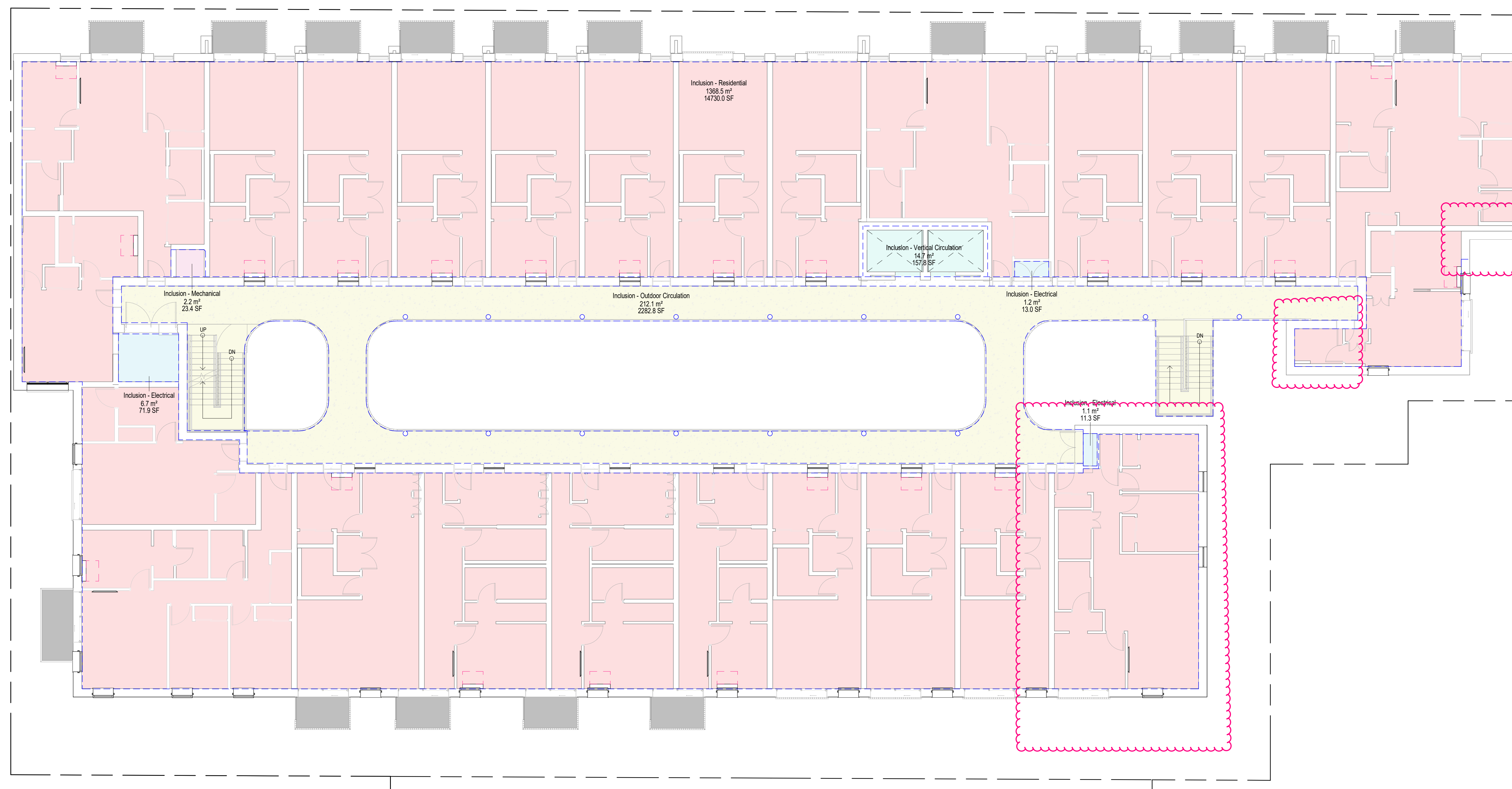
FSR - Level 4 + 5

Date	Author
Drawn By	AT
Checked By	As indicated
Original Size	A0

- The site is exempt from the density bonus system.
- The site is zoned AS-OTD-1.
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PERMITTED EXCLUSIONS:

- The area of any crawlspace or basement.
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- The area of rooftop structures.
- The area used to provide bicycle parking required by the bylaw.



FSR LEGEND

- Inclusion - Electrical
- Inclusion - Mechanical
- Inclusion - Outdoor Circulation
- Inclusion - Residential
- Inclusion - Vertical Circulation

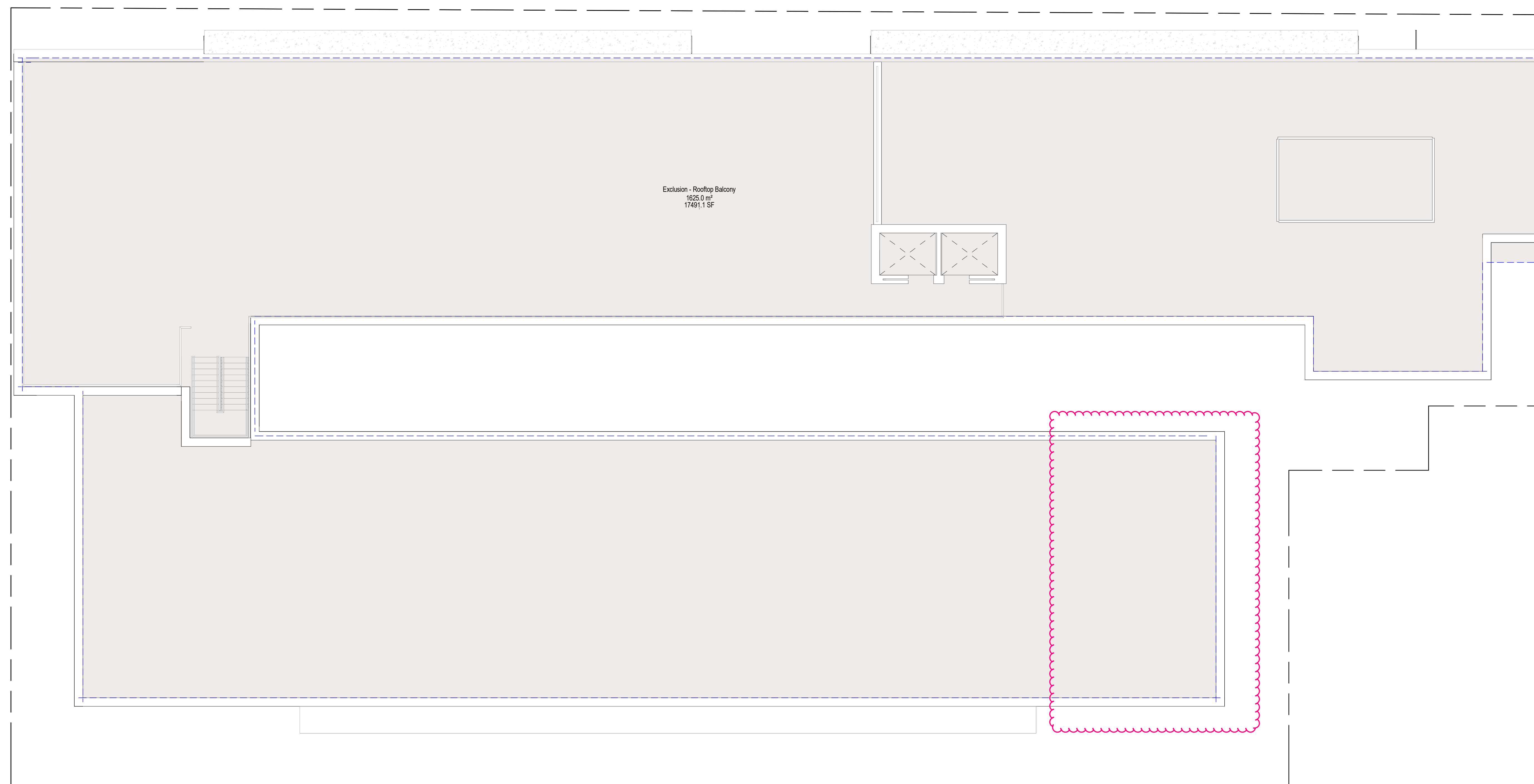
Area Schedule (FSR) - Exclusions - Level 6

Name	Area (m ²)	Area (ft ²)
Inclusion - Residential	1388.5 m ²	14730.0 SF
Inclusion - Vertical Circulation	147 m ²	1576 SF
Inclusion - Mechanical	22 m ²	234 SF
Inclusion - Electrical	12 m ²	133 SF
Inclusion - Outdoor Circulation	212 m ²	2282.8 SF
Inclusion - Electrical	67 m ²	719 SF
Inclusion - Mechanical	11 m ²	113 SF
Grand total	1,806 m²	17,290 ft²

Area Schedule (FSR) - Inclusions - Level 6

Name	Area (m ²)	Area (ft ²)
Level 6		
Inclusion - Electrical	9 m ²	99 ft ²
Inclusion - Mechanical	2 m ²	23 ft ²
Inclusion - Outdoor Circulation	212 m ²	2,283 ft ²
Inclusion - Residential	1,388 m ²	14,727 ft ²
Inclusion - Vertical Circulation	15 m ²	158 ft ²
Level 6	1,606 m²	17,290 ft²
Grand total	1,606 m²	17,290 ft²

1 Level 6
 1 : 100



FSR LEGEND

- Exclusion - Rooftop Deck

Area Schedule (FSR) - Exclusions - Roof

Name	Area (m ²)	Area (ft ²)
Roof Level		
Exclusion - Rooftop Balcony	1,625 m ²	17,491 ft ²
Grand total	1,625 m²	17,491 ft²

Area Schedule (FSR) - Inclusions - Roof

Name	Area (m ²)	Area (ft ²)

2 Roof Level
 1 : 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

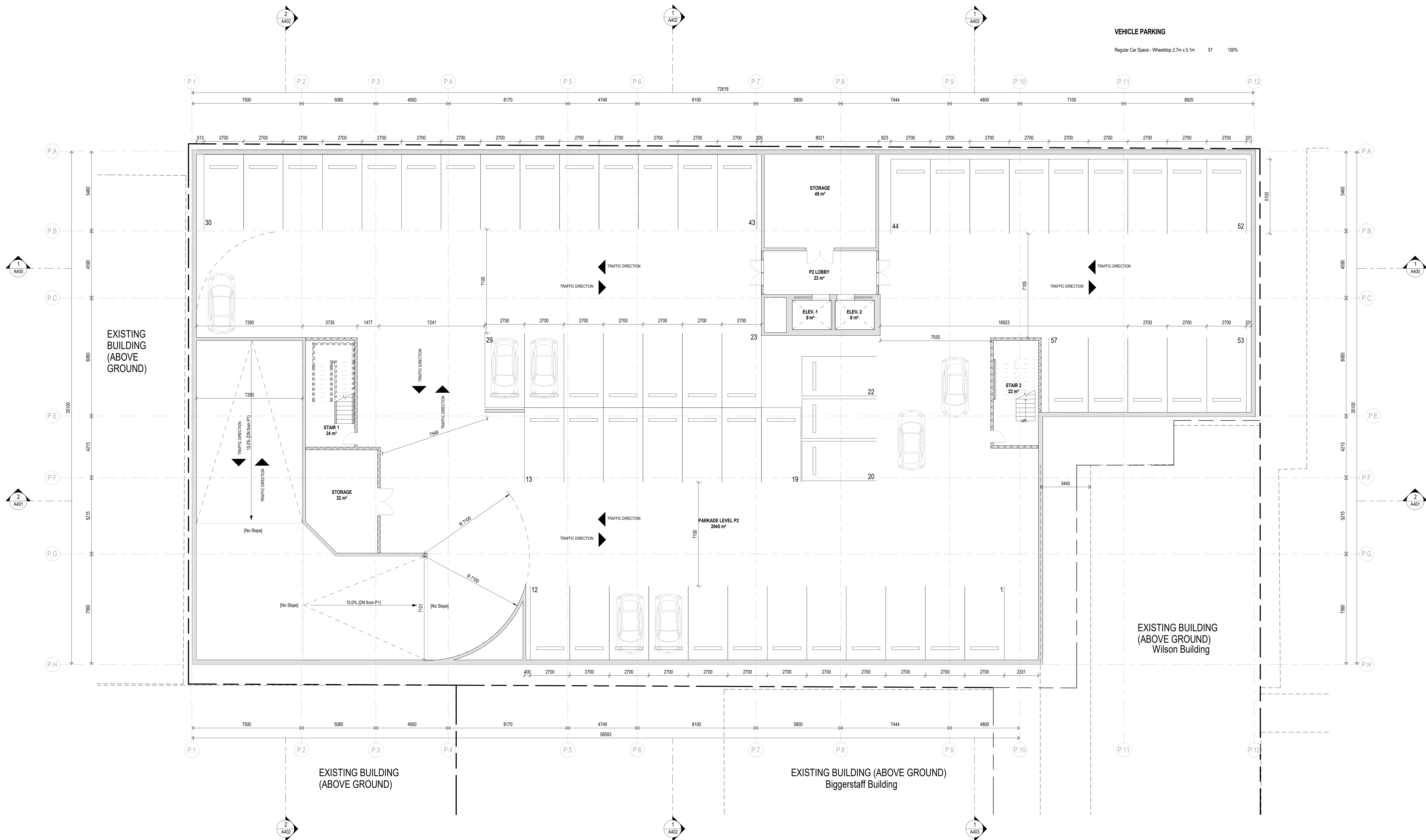
Herald
 517-533 Chatham Street + 530-538 Herald Street

FSR - Level 6 + Roof

Date	Author
Drawn By	AT
Checked By	AT
Scale	As indicated
Original Size	A0

GENERAL NOTES - FLOOR PLANS

1. Read, check and compare all Drawings. Notify the Architect of any/all discrepancies. Verify all dimensions and elevations before fabrication / construction of any component.
2. Dimensions are from finished face to finished face or from gridlines to centre of structure unless noted otherwise.
3. See Wall Schedule, Wall Sections and Details for Assembly Types and installation conditions.
4. Provide solid locking in walls for all wall mounted fixtures, millwork and door stops.
5. All ramps and stairs including Treads, Risers, and Nosing to Conform to BCBC 2018 - 3.4.6.8. & 3.4.6.1.
6. All handrails & guardrails to conform to BCBC 2018 Articles 3.4.6.5 & 3.4.6.6.
7. All flashings to be membrane lapped & counter flashed with clips.
8. All low slope roofs to be min. 2% sloped to drain.



1 Floor Plan - Level P2 Plan
1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502
Herald
517-533 Chatham Street + 530-538 Herald Street

Level P2 Plan

Date	
Drawn By	ME
Checked By	AT
Scale	As indicated
Original Size	A0

GENERAL NOTES - FLOOR PLANS

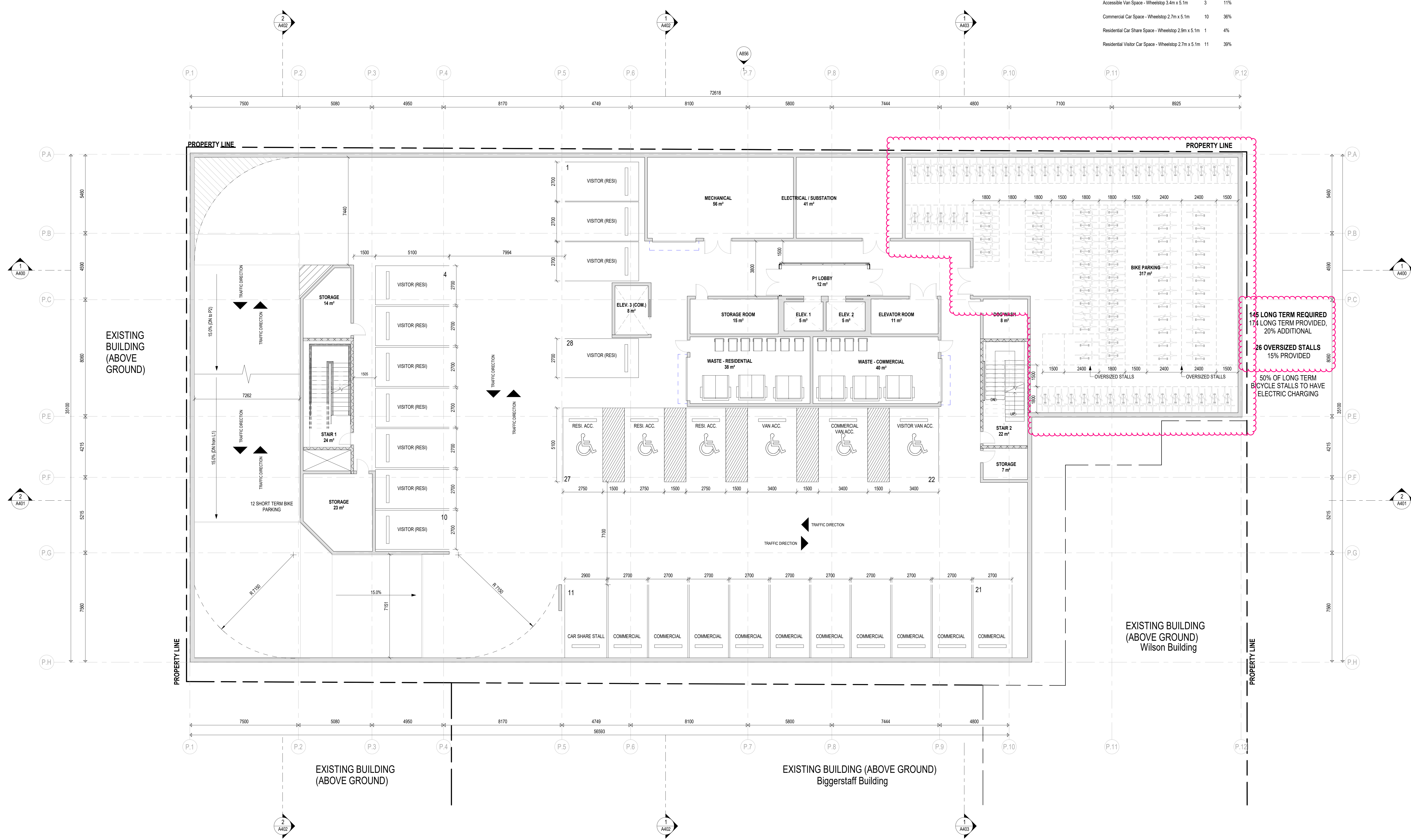
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Client

INTRACORP
 Building the Extraordinary

VEHICLE PARKING

Accessible Car Space - Wheelstop 2.75m	3	11%
Accessible Van Space - Wheelstop 3.4m x 5.1m	3	11%
Commercial Car Space - Wheelstop 2.7m x 5.1m	10	36%
Residential Car Share Space - Wheelstop 2.9m x 5.1m	1	4%
Residential Visitor Car Space - Wheelstop 2.7m x 5.1m	11	39%



145 LONG TERM REQUIRED
 174 LONG TERM PROVIDED,
 20% ADDITIONAL
 26 OVERSIZED STALLS
 15% PROVIDED
 50% OF LONG TERM
 BICYCLE STALLS TO HAVE
 ELECTRIC CHARGING

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538
 Herald Street

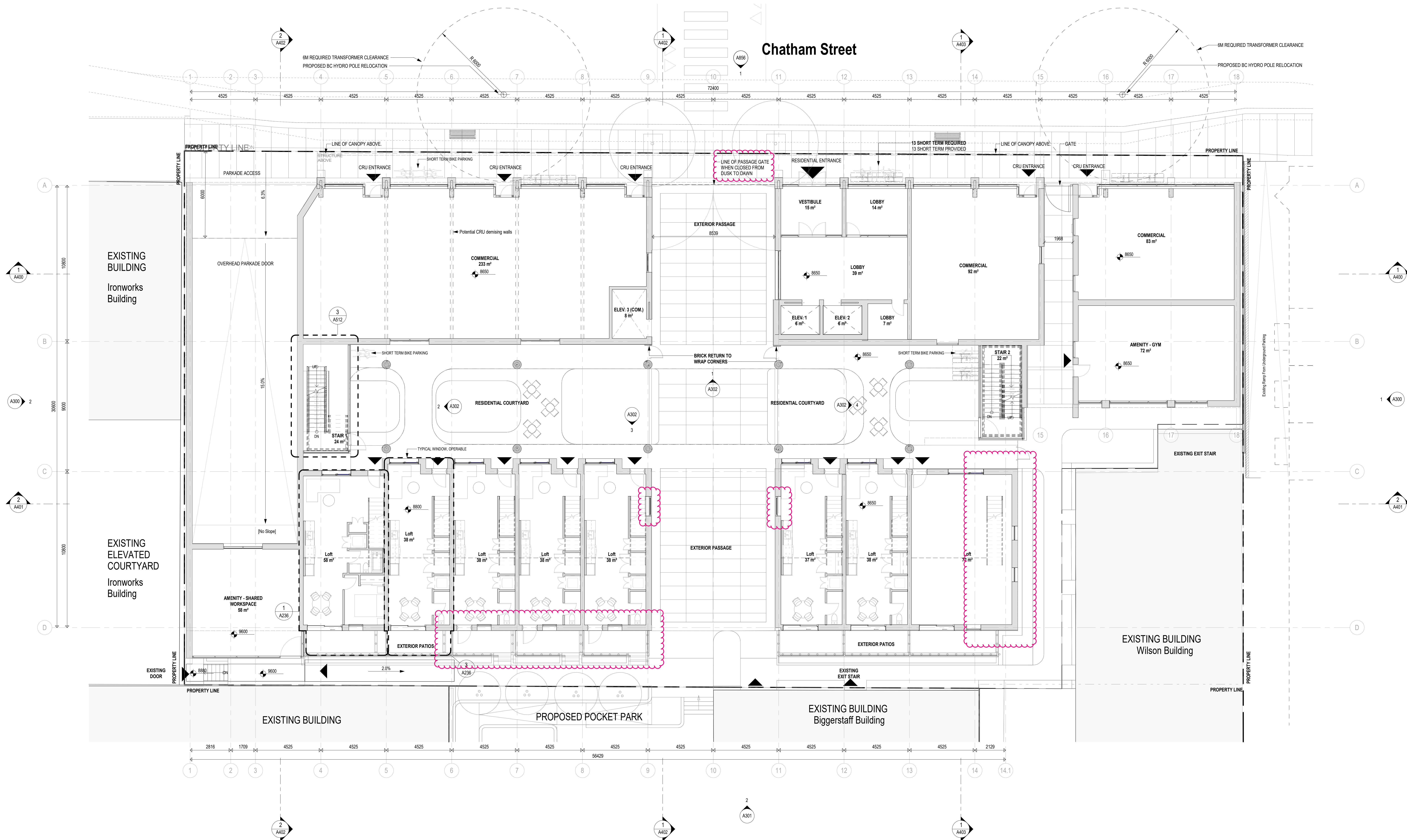
Level P1 Plan

Date	
Drawn By	ME
Checked By	AT
Scale	As indicated
Original Size	A0

1 Level P1 Plan
 1:100

GENERAL NOTES - FLOOR PLANS

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8. All low slope roofs to be min. 2% sloped to drain.



1 Floor Plan - Level 1
 1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538
 Herald Street

Level 1 Plan

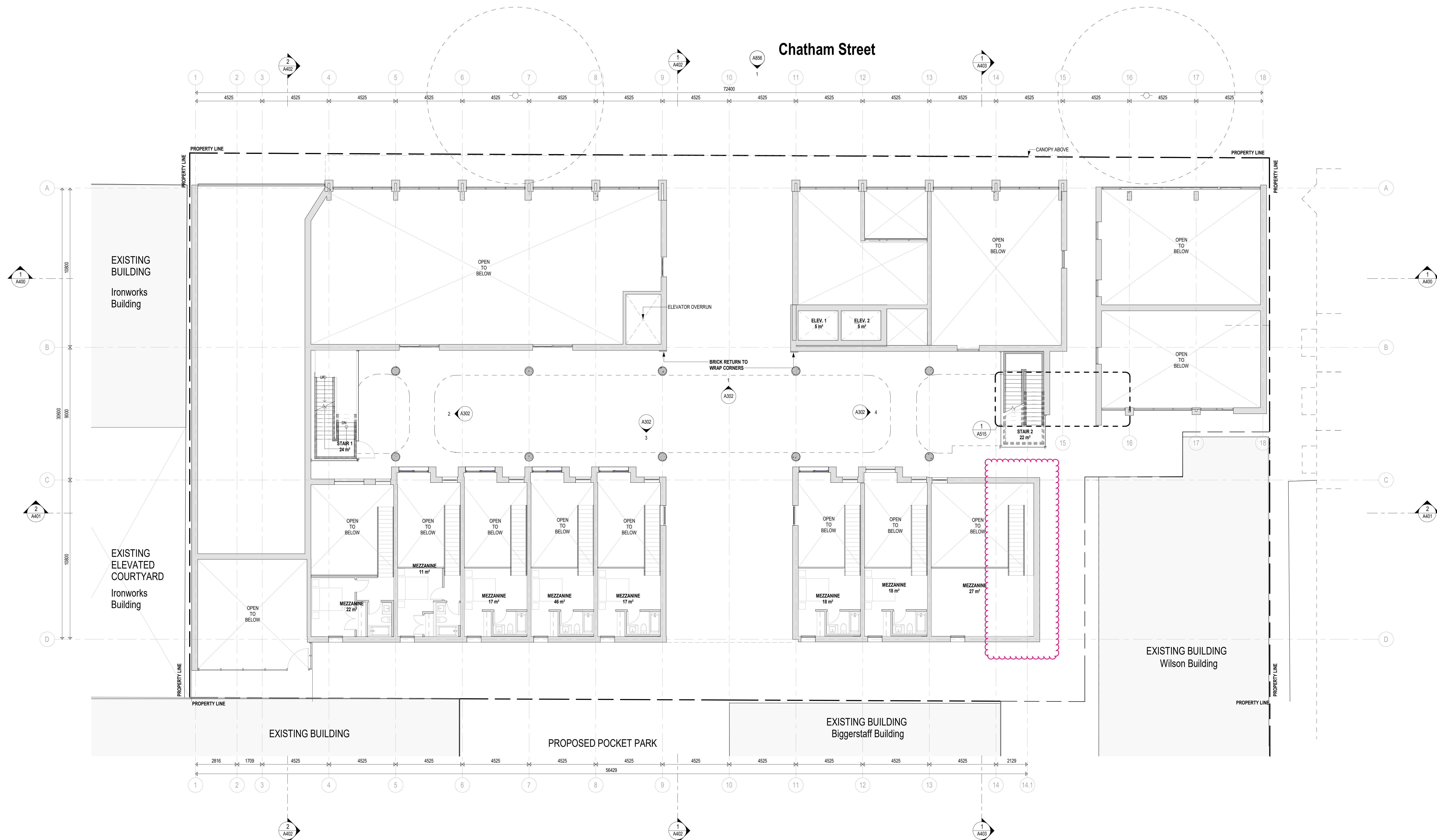
Date	
Drawn By	ME
Checked By	AT
Scale	As indicated
Original Size	A0

GENERAL NOTES - FLOOR PLANS

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7. All flashings to be membrane lapped & counter flashed with clips.
8. All low slope roofs to be min. 2% sloped to drain.

Client

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1 Floor Plan - Level 1.5 (Mezzanine Plan)
 1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538 Herald Street

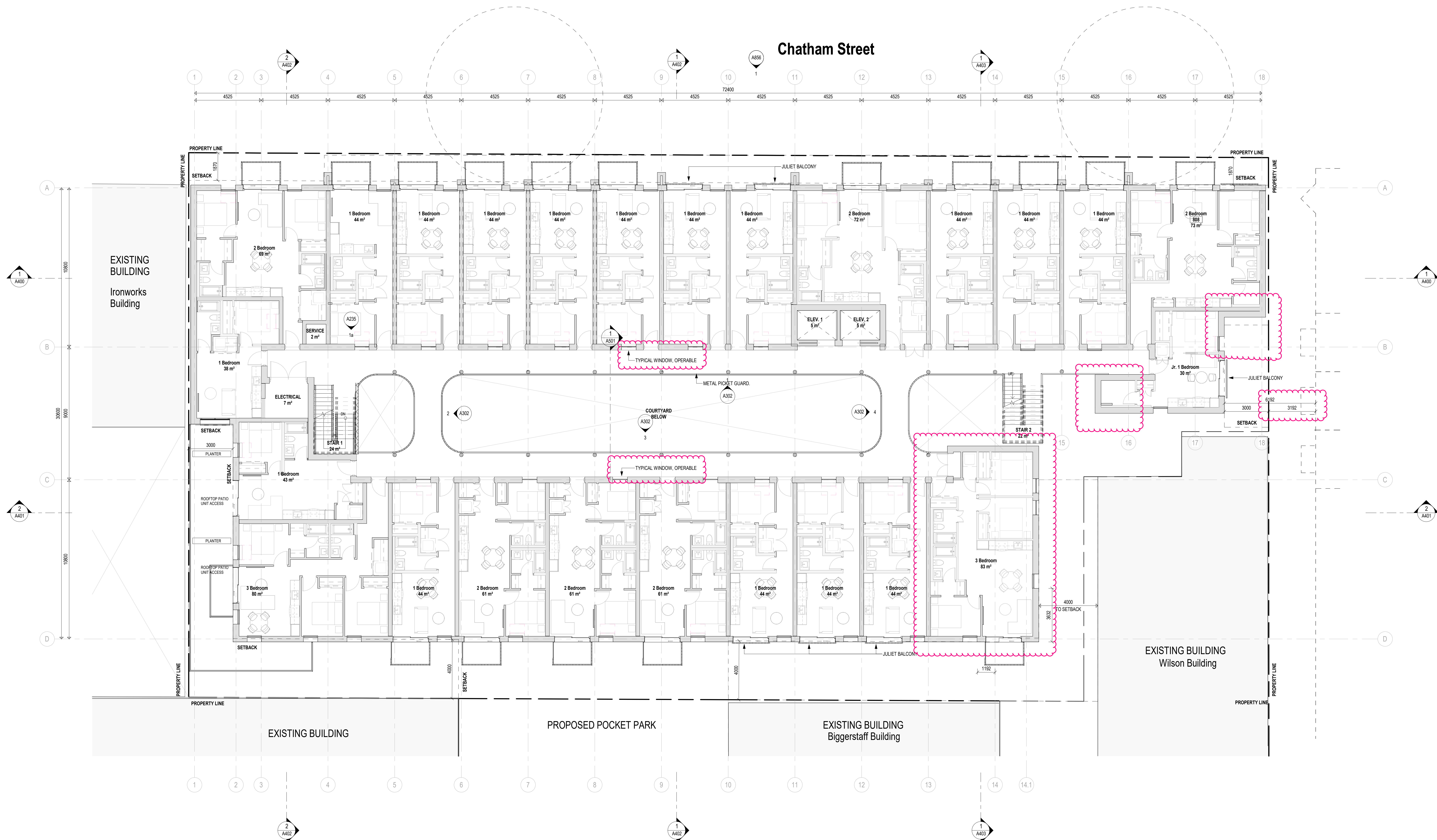
Level 1.5 Mezzanine Plan

Date	Drawn By	Checked By	Scale	Original Size
	ME	AT	As indicated	A0

GENERAL NOTES - FLOOR PLANS

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6. All handrails & guardrails to conform to BCBC 2018 Articles 3.4.6.5 & 3.4.6.6.
7. All flashings to be membrane lapped & counter flashed with clips.
8. All low slope roofs to be min. 2% sloped to drain.

Client



1 Floor Plan - Level 2 Plan
 1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502
 Herald
 517-533 Chatham Street + 530-538 Herald Street

Level 2 Plan

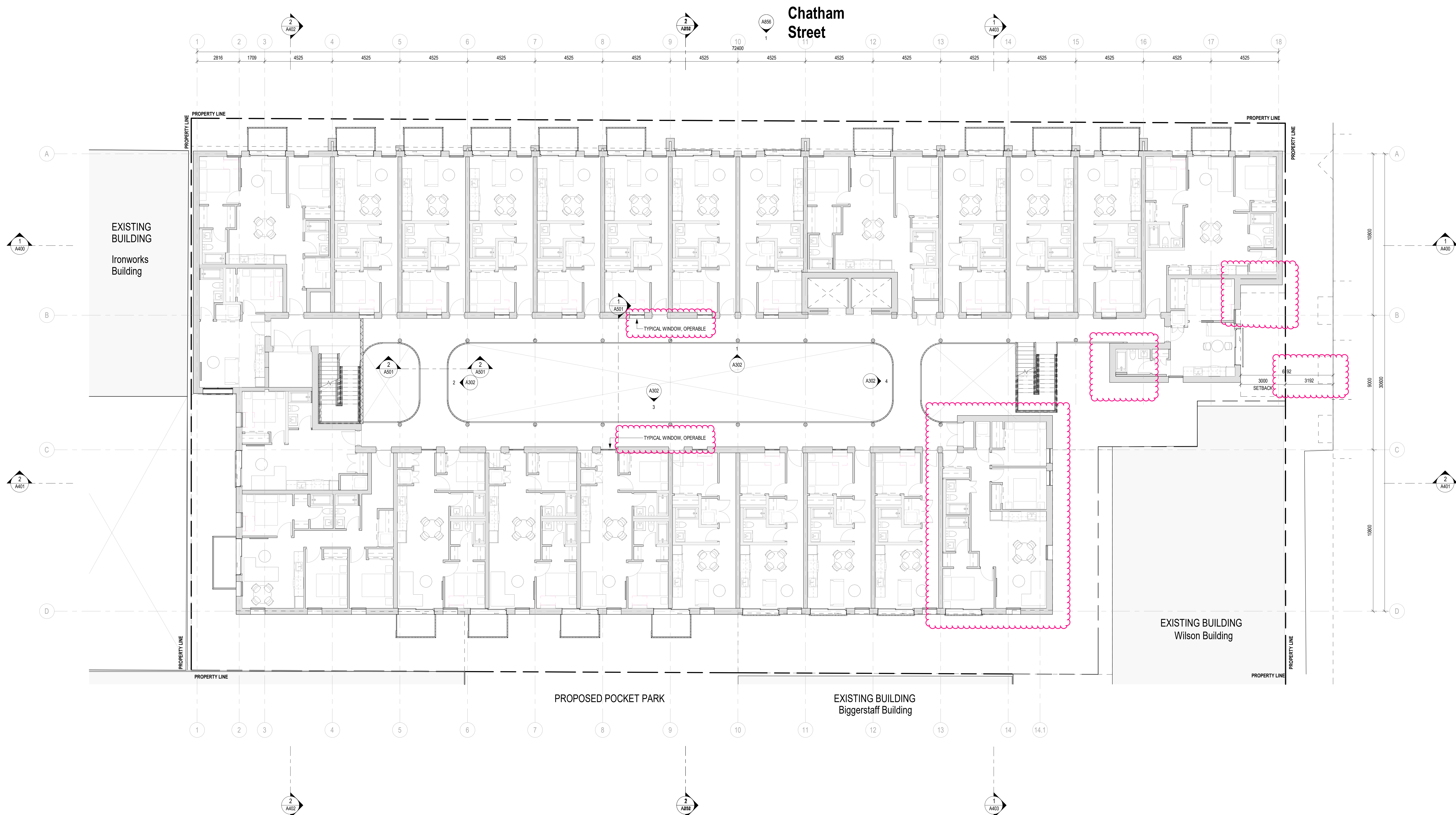
Date	
Drawn By	GM
Checked By	AT
Scale	As indicated
Original Size	A0

GENERAL NOTES - FLOOR PLANS

1. Read, check and compare all Drawings. Notify the Architect of any/all discrepancies. Verify all dimensions and elevations before fabrication / construction of any component.
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6. All handrails & guardrails to conform to BCBC 2018 Articles 3.4.6.5 & 3.4.6.6.
7. All flashings to be membrane lapped & counter flashed with clips.
8. All low slope roofs to be min. 2% sloped to drain.

Client

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Building the Extraordinary



2 Floor Plan - Level 3-6 Actual
1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502
Herald
517-533 Chatham Street + 530-538 Herald Street

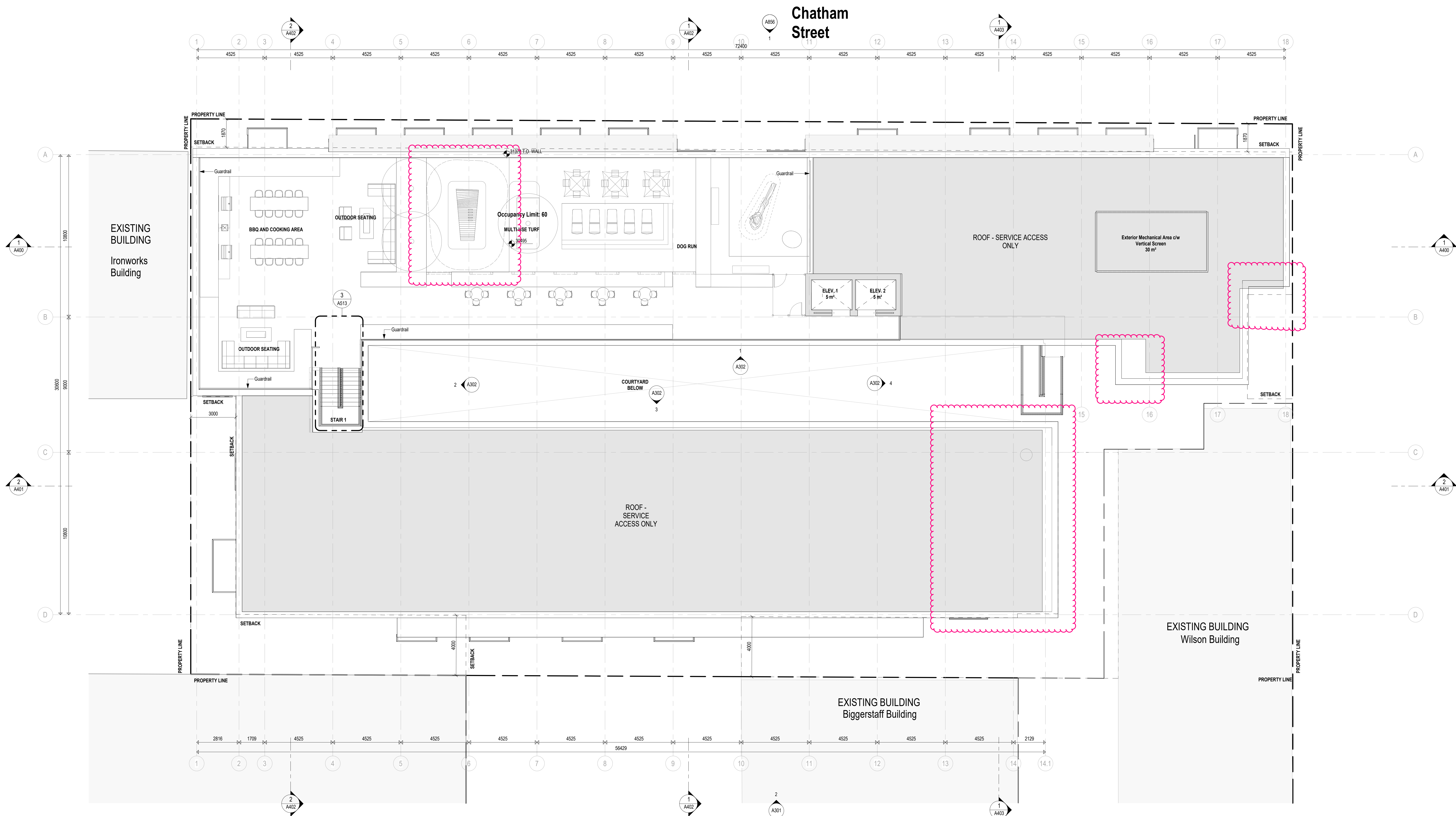
Level 3-6 Plan
Date
Drawn By GM
Checked By AT
Scale As indicated
Original Size A0

GENERAL NOTES - FLOOR PLANS

1. Read, check and compare all Drawings. Notify the Architect of any/all discrepancies. Verify all dimensions and elevations before fabrication / construction of any component.
2. Dimensions are from finished face to finished face or from gridlines to centre of structure unless noted otherwise.
3. See Wall Schedule, Wall Sections and Details for Assembly Types and installation conditions.
4. Provide solid blocking in walls for all wall mounted fixtures, millwork and door stops.
5. All ramps and stairs including Treads, Risers, and Nosing to Conform to BCBC 2018 - 3.4.6.8. & 3.4.6.1.
6. All handrails & guardrails to conform to BCBC 2018 Articles 3.4.6.5 & 3.4.6.6.
7. All flashings to be membrane lapped & counter flashed with clips.
8. All low slope roofs to be min. 2% sloped to drain.

Client

INTRACORP
Building the Extraordinary



1 Floor Plan - Roof
1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502
Herald
517-533 Chatham Street + 530-538 Herald Street

Roof Level Plan

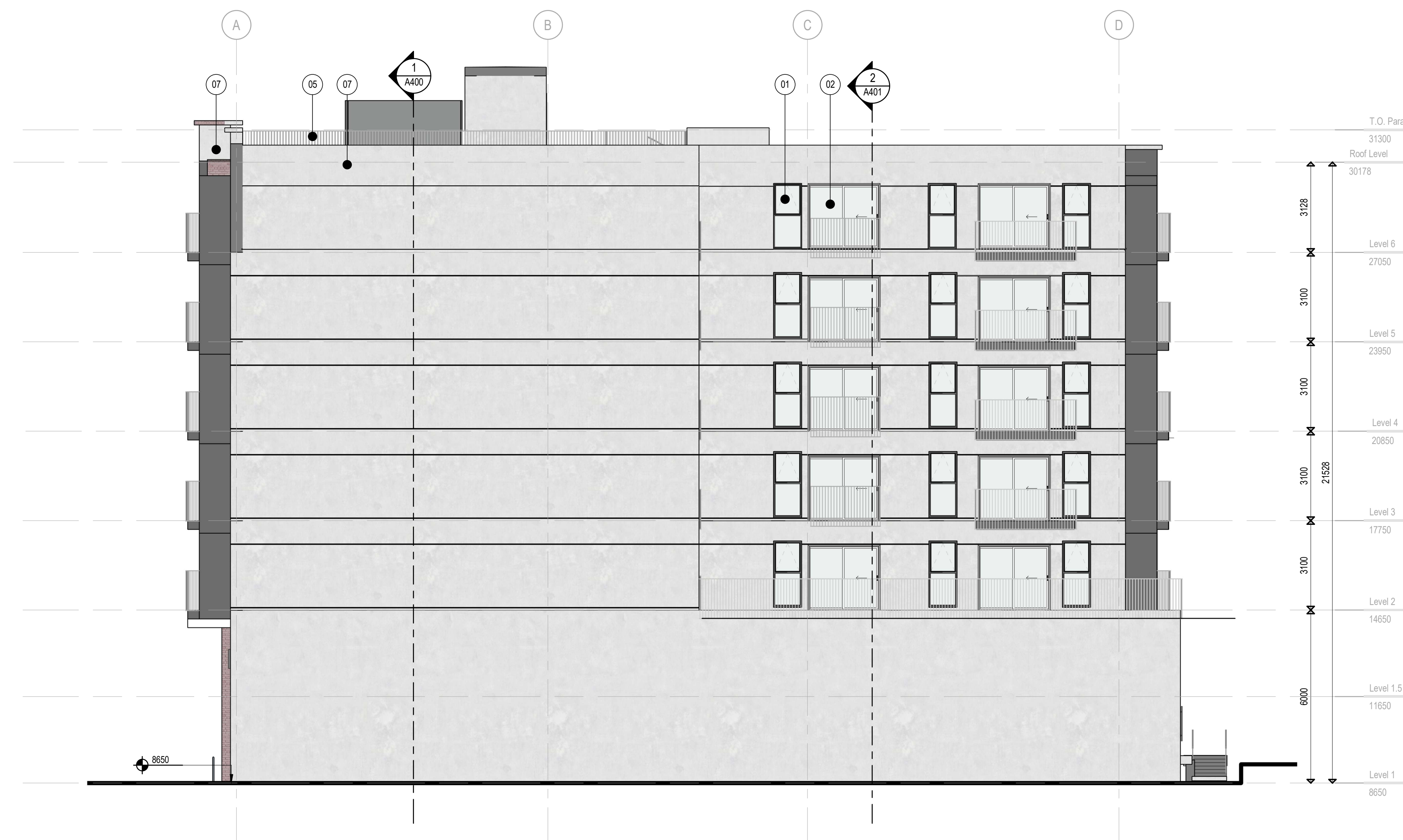
Date	
Drawn By	ME
Checked By	AT
Scale	As indicated
Original Size	A0

Seal

Reserved



1 East Elevation
1:100



2 West Elevation
1:100

MATERIAL LEGEND

- 01 - Glazing
- 02 - Sliding Glass Door
- 03 - Red Brick
- 04 - Charcoal Brick
- 05 - Metal - Vertical Picket Guards
- 06 - Cementitious Panel - Light
- 07 - Cementitious Panel - Dark
- 08 - Concrete

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Building Elevations - East and West

Date
 Drawn By ME
 Checked By AT
 Scale 1:100
 Original Size A0



1 North Elevation (Looking South)
 1:100



2 South Elevation (Looking North)
 1:100

MATERIAL LEGEND

- 01 - Glazing
- 02 - Sliding Glass Door
- 03 - Red Brick
- 04 - Charcoal Brick
- 05 - Metal Picket Guard
- 06 - Cementitious Panel - Light
- 07 - Cementitious Panel - Dark
- 08 - Concrete
- 09 - Aluminum Vertical Picket Screen

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald

517-533 Chatham Street + 530-538
 Herald Street

Building Elevations - North and South

Date
 Drawn By BB
 Checked By AT
 Scale 1:100
 Original Size A0



1 Elevation - Courtyard Looking North
1 : 100

2 Elevation - West Courtyard
1 : 100

MATERIAL LEGEND

- 01 - Glazing
- 02 - Sliding Glass Door
- 03 - Red Brick
- 04 - Charcoal Brick
- 05 - Metal - Vertical & Picket Guards
- 06 - Cementitious Panel - Light
- 07 - Cementitious Panel - Dark
- 08 - Concrete

Seal

Reserved



3 Elevation - Courtyard Looking South
1 : 100

4 Elevation - East Courtyard
1 : 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

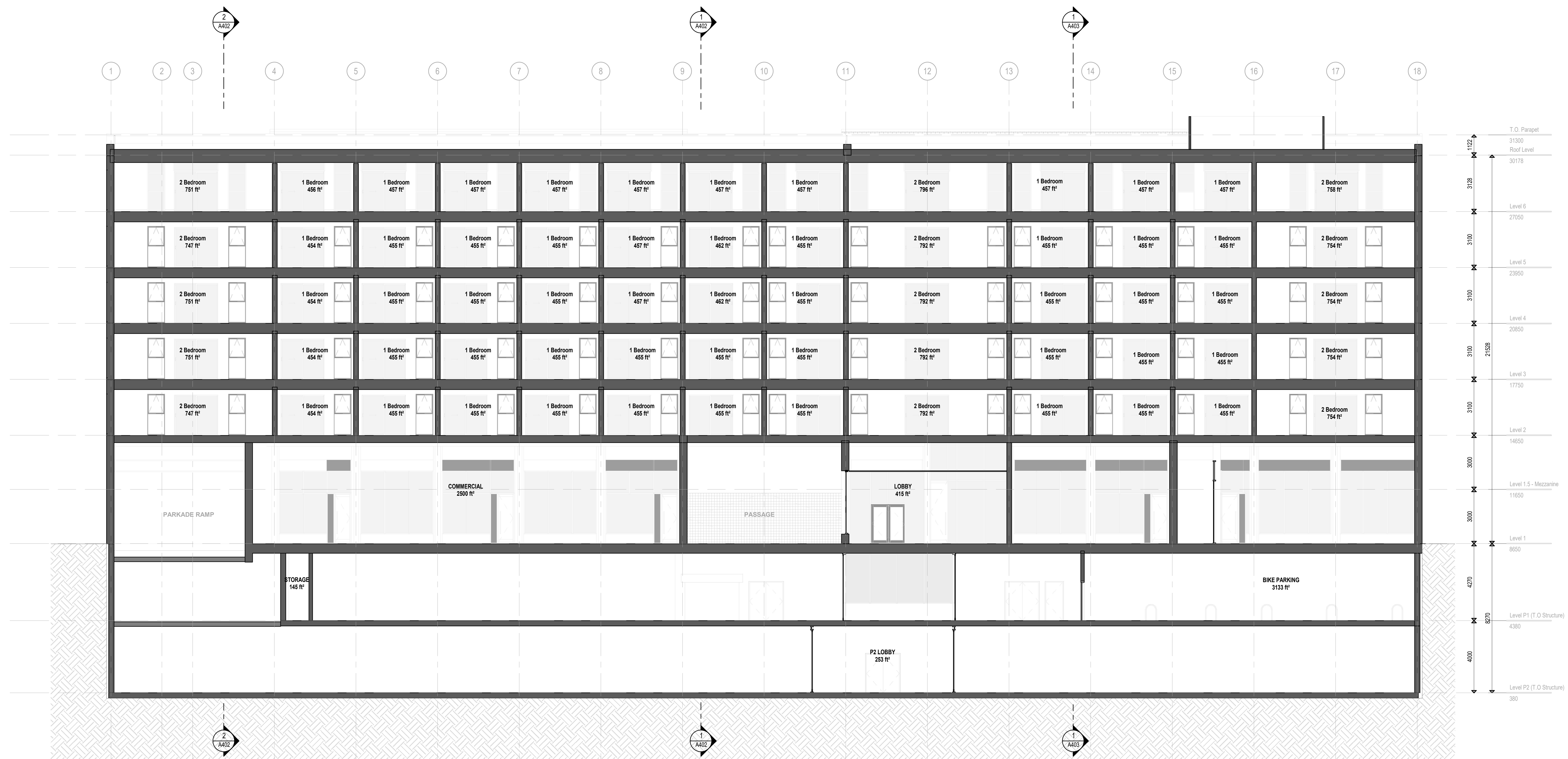
Project 2502

Herald

517-533 Chatham Street + 530-538
Herald Street

Building Elevations - Courtyard

Date
Drawn By ME
Checked By AT
Scale 1:100
Original Size A0



1 East West Building Section through North Block
 1:100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

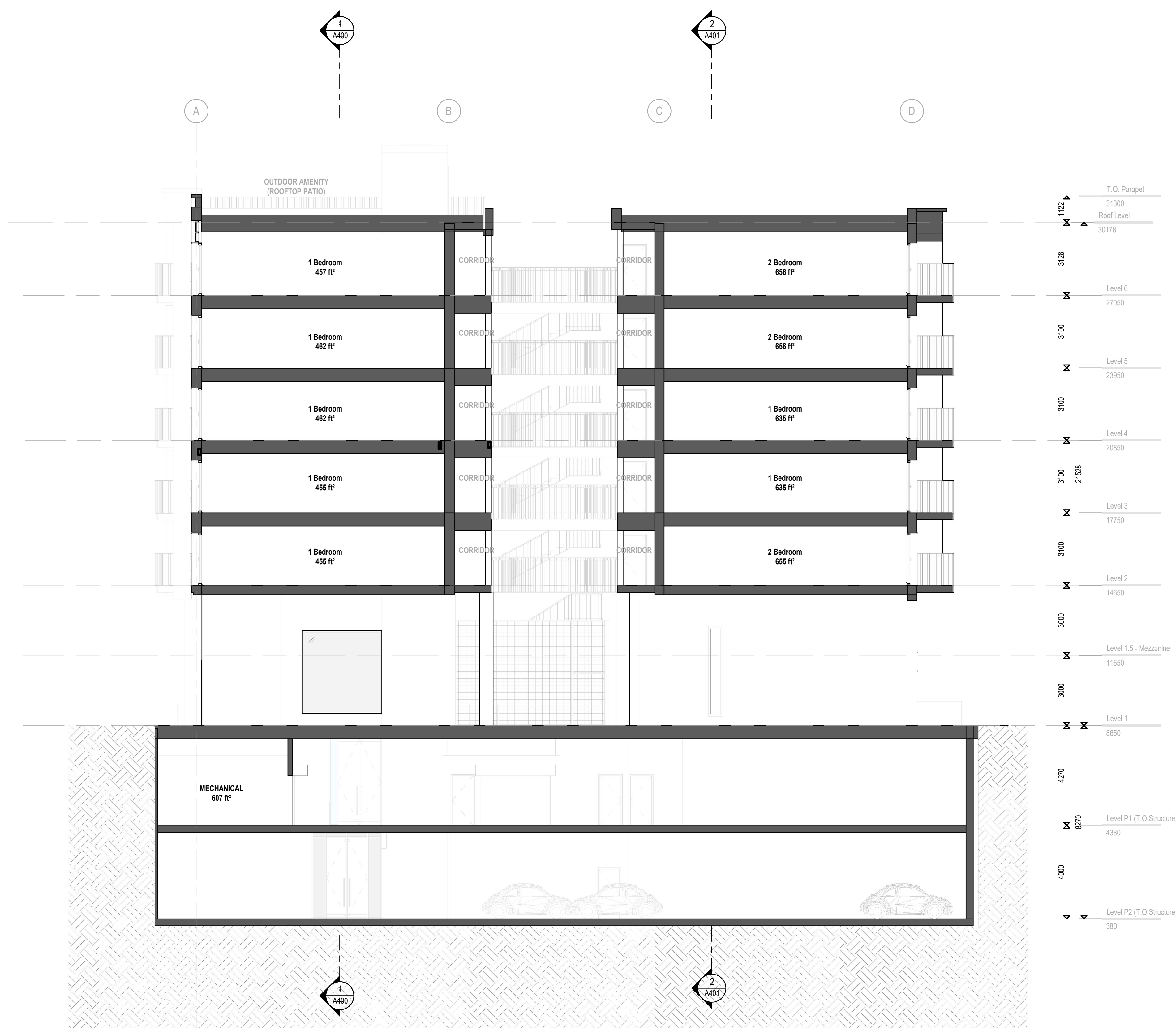
Project 2502

Herald

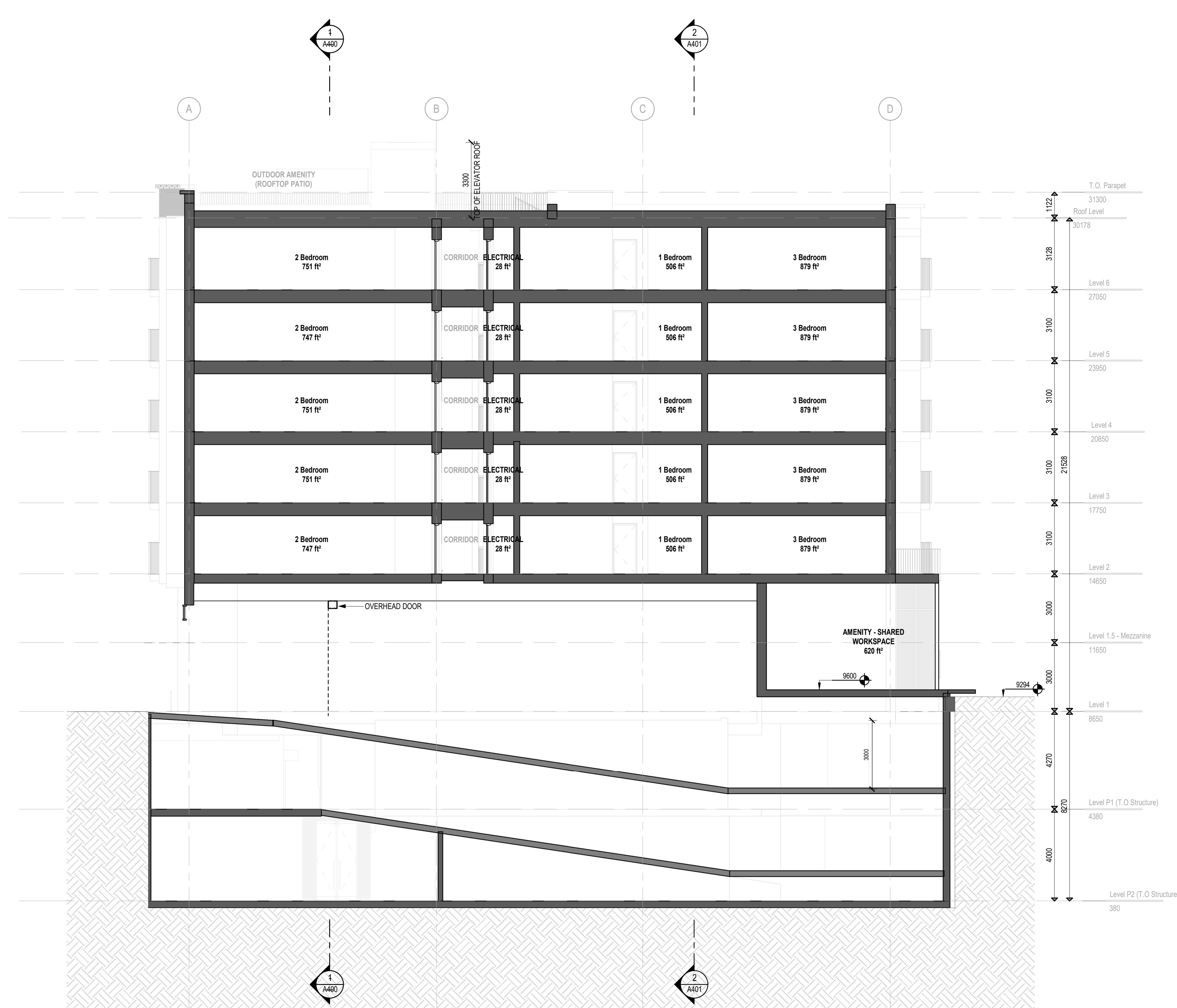
517-533 Chatham Street + 530-538
 Herald Street

Building Sections E-W

Date	Author
Drawn By	AT
Checked By	AT
Scale	1:100
Original Size	A0



1 North South Section through Courtyard
 1: 100



2 North South Section through Parkade Ramp
 1: 100

Revisions

No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

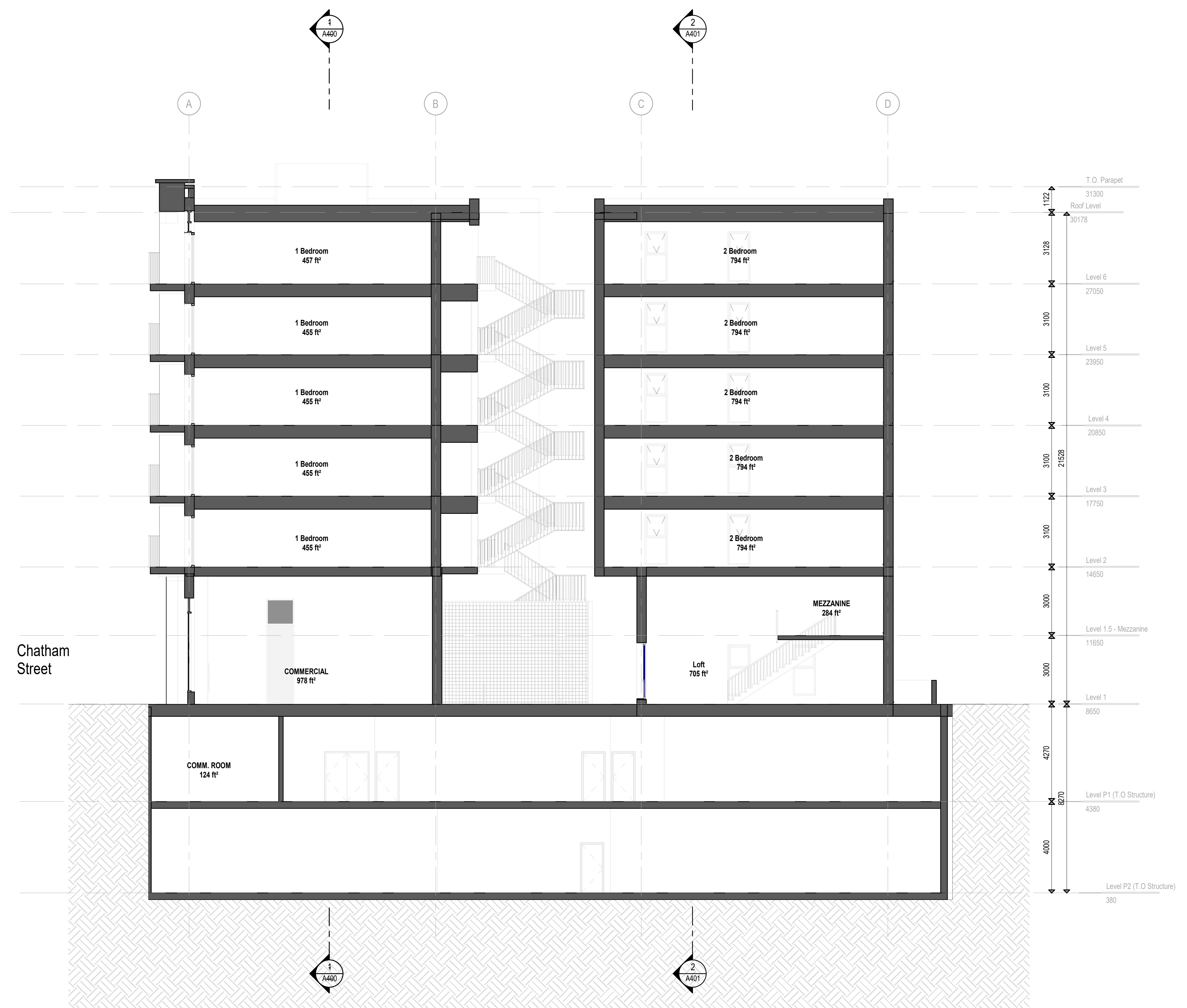
Project 2502

Herald

517-533 Chatham Street + 530-538
 Herald Street

Building Sections N-S

Date	
Drawn By	ME
Checked By	AT
Scale	1: 100
Original Size	A0



1 North South Section through Stairwell
 1:100

Revisions		
No.	Description	Date
1	Issued for DPRZ	2025-07-16
2	Issued for DPRZ Response 1	2025-12-05
3	Issued for DPRZ Response 2	2026-02-05
4	Issued for DPRZ Response 3	2026-04-02

Key Plan

Project 2502

Herald
 517-533 Chatham Street + 530-538 Herald Street

Building Sections N-S

Date	
Drawn By	ME
Checked By	AT
Scale	1:100
Original Size	A0

HERALD & CHATHAM

REISSUED FOR REZONING AND
DEVELOPMENT PERMIT

APRIL 22, 2024

CONTACTS

CONNECT LANDSCAPE ARCHITECTURE
1000 WEST MAIN STREET, SUITE 200
MIDDLETOWN, CT 06455

DAVID MORGAN, PRINCIPAL
DMORGAN@CONNECTLANDSCAPEARCHITECTURE.COM

LEAH NEWMAN, ARCHITECT/DESIGNER
LEAH@CONNECTLANDSCAPEARCHITECTURE.COM

INTERIOR DESIGN
300 BURNHAM STREET, SUITE 100, CHESHAM, CT 06824

WATKINS DEVELOPMENT SERVICES
100 WEST MAIN STREET, SUITE 200
MIDDLETOWN, CT 06455

DAVID MORGAN, PRINCIPAL
DMORGAN@CONNECTLANDSCAPEARCHITECTURE.COM

LEAH NEWMAN, ARCHITECT/DESIGNER
LEAH@CONNECTLANDSCAPEARCHITECTURE.COM

LANDSCAPE DRAWING INDEX

0100	SHEET NAME
0200	GENERAL SHEET
0301	INSPIRATION AND PRINCIPLES
0302	SHOWCASE
0303	OPTICAL STUDIES
0304	TREE MANAGEMENT PLAN
0305	GENERAL NOTES
0306	3D DRAINAGE MANAGEMENT SHOWCASE
0307	PROGRAM MATERIAL PRECEDENTS
0308	PROGRAM MATERIAL PRECEDENTS
0309	IDEAL SITE PLAN
0310	MATERIAL PLAN - GROUND LEVEL NORTH
0311	MATERIAL PLAN - GROUND LEVEL SOUTH
0312	MATERIAL PLAN - HDOP
0313	DRINKING PLAN - GREEN BLEND NORTH
0314	DRINKING PLAN - GREEN BLEND SOUTH
0315	SOILS PLAN - GROUND LEVEL
0316	SOILS PLAN - ROOF
0317	PLANT LIST PROPOSALS
0318	PLANTING PLAN - GROUND LEVEL
0319	PLANTING PLAN - ROOF
0320	USE WITH STORM - GROUND LEVEL
0321	USE WITH STORM - ROOF
0322	IRRIGATION PLAN - GROUND LEVEL
0323	IRRIGATION PLAN - HDOP
0324	SECTION 1 - 0.5' ELEVATION 1/8" = 1'-0"
0325	SECTION 2 - 0.5' ELEVATION 1/8" = 1'-0"
0326	SECTION 3 - 0.5' ELEVATION 1/8" = 1'-0"
0327	IRRIGATION SYSTEM 1
0328	IRRIGATION SYSTEM 2
0329	PLANTING DETAILS



Revisions	
01	ISSUED FOR PERMIT
02	ISSUED FOR PERMIT
03	ISSUED FOR PERMIT
04	ISSUED FOR PERMIT
05	ISSUED FOR PERMIT
06	ISSUED FOR PERMIT
07	ISSUED FOR PERMIT

DATE: 04/22/24

PROJECT: 24-001

CLIENT: WATKINS DEVELOPMENT SERVICES

PROJECT LOCATION: 1000 WEST MAIN STREET, SUITE 200, MIDDLETOWN, CT 06455

COVER SHEET

DATE	04/22/24
PROJECT	24-001
CLIENT	WATKINS DEVELOPMENT SERVICES
PROJECT LOCATION	1000 WEST MAIN STREET, SUITE 200, MIDDLETOWN, CT 06455

L0.00

VISION

Inspired by the local context at the edge of historic Chinatown and Old Town in Victoria, the landscape emphasizes placemaking, culture, and green space. The design aspires to create a vibrant public and private realm where neighbors and the local community can come together through shared spaces and activities.



PLACE MAKING

Seamlessly blends in the historic Old Town neighbourhood context.



CULTURE & COMMUNITY

Invite gathering, play, celebration, and reflection. Cultivate engagement and foster social connection.



URBAN NATURE

Enrich urban life by weaving green space throughout. Dissolve boundaries between built and wild.

Executive Summary	1-2
1.0 Introduction	3-10
2.0 Context & Vision	11-15
3.0 Program & Design	16-25
4.0 Landscape Architecture	26-35
5.0 Urban Infrastructure	36-45
6.0 Construction	46-55
7.0 Maintenance	56-65

City	01
Country	02
Climate	03
Site	04
Client	05

SUN HOP PARK, VANCOUVER



MELLEMGRUMMET PARK, COPENHAGEN



MARKET SQUARE, VICTORIA



HERALD & CHATHAM



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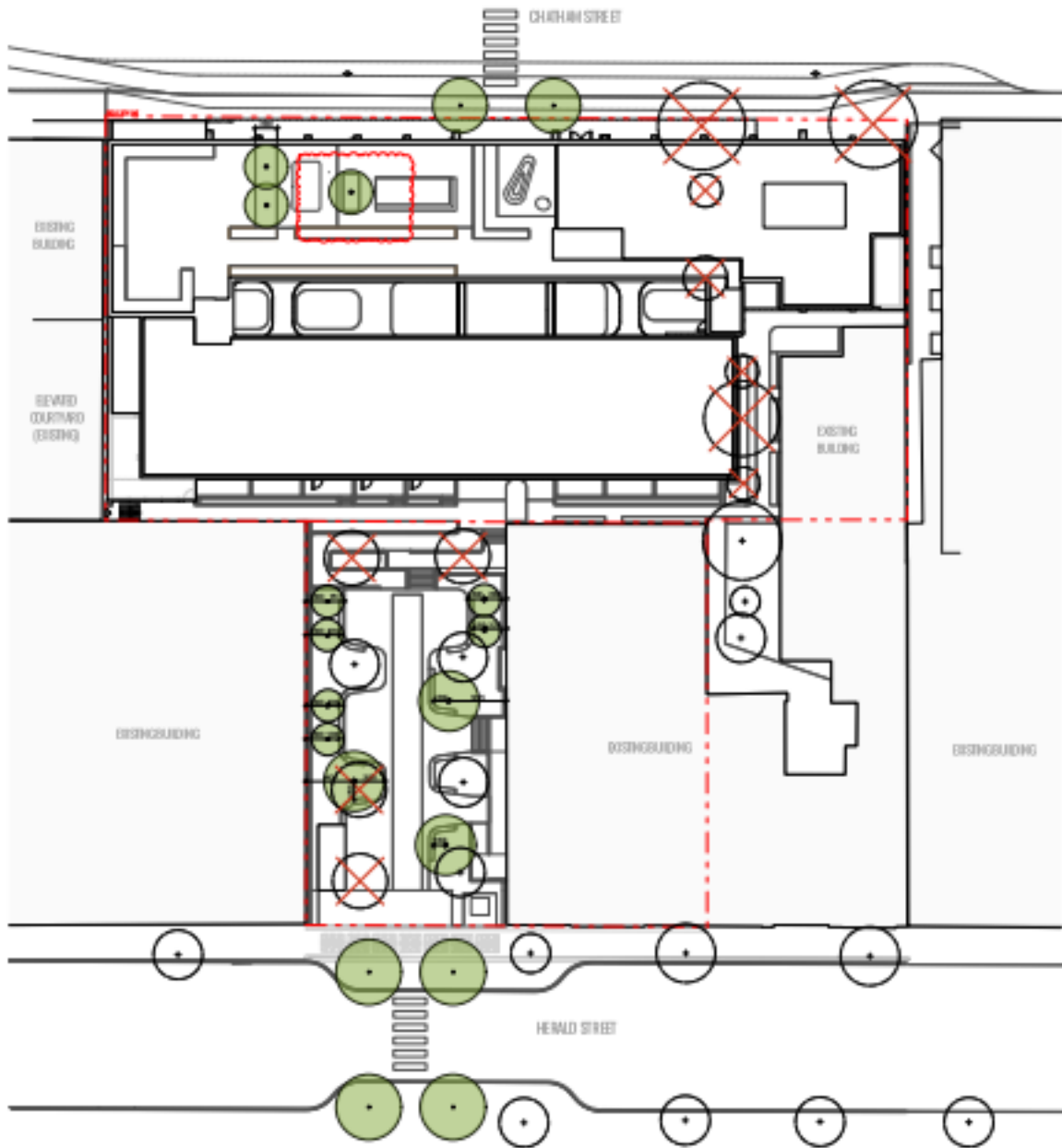
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SPATIAL STUDIES	
On	100
Open	100
Control	100
Use	100
Control	100

TREE MANAGEMENT LEGEND

 PROPOSED TREE MANAGEMENT
 PROPOSED TREE REMOVAL
 EXISTING TREE MANAGEMENT
 EXISTING TREE REMOVAL

ALL TREE MANAGEMENT AND REMOVAL SHALL BE PERFORMED BY A LICENSED TREE CARE COMPANY IN ACCORDANCE WITH THE CITY OF BERKELEY TREE PRESERVATION ORDINANCE (CBO 10.100).



Revisions

No.	Description	Date
1	Issue for Review/Approval	05.14.21
2	Revised for CDP	07.13.21
3	Issue for Review/Comments	08.02.21
4	Issue for Review/Comments	08.02.21
5	Issue for Review/Comments	08.02.21
6	Issue for Review/Comments	08.02.21
7	Issue for Review/Comments	08.02.21

Scale: 1/8" = 1'-0"

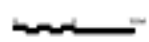
Date: 05/14/21

Project: Herald

Site: 1000 10th Street

TREE MANAGEMENT PLAN

Date: 05/14/21
 Designer: CA
 Scale: 1/8" = 1'-0"
 Sheet No.



POCKET PARK

Nestled within the urban fabric, the Pocket Park offers a welcoming green retreat for the community—a place to pause, connect, or enjoy a quiet moment. A central walkway, framed by lush planting, guides visitors through the space, with access provided via a staircase and accessible ramp from the north. This intimate park balances openness and enclosure, creating a flexible, inclusive environment for everyday use.



THE PASSAGE

The Passage is a publicly accessible north-south corridor that connects Chatham and Herald Street, offering a clear and welcoming route through the development. Designed to support the historic network of alleyways and laneways in adjacent Chinatown, it invites the public into the site while reinforcing the area's cultural and spatial heritage. This connection enhances permeability and encourages exploration within the urban fabric.



POP-UP RETAIL

Anchored by a repurposed shipping container, the Pop-Up Retail brings a food and beverage offerings to the Pocket Park, creating a lively destination within the green space. This unique feature invites parkgoers to gather, dine, and socialize, becoming a vibrant focal point that enhances the park's sense of place and community.



CHATHAM FRONTAGE

The Chatham Street frontage is envisioned as a vibrant commercial edge, supporting local businesses and encouraging pedestrian activity through active retail frontages. Streetscape materials are selected in alignment with the Old Town Design Guidelines, reinforcing the historic character of the area. This treatment creates a cohesive and inviting public realm that blends heritage with contemporary urban life.



Revision	Date
01. Concept	1/24
02. Schematic Design	2/10/23
03. Preliminary Design	2/10/23
04. Final Schematic Design	2/10/23
05. Final Preliminary Design	2/10/23
06. Final Schematic Design	2/10/23
07. Final Preliminary Design	2/10/23

Project: 24-001

Client: Herald

Location: 1000 15th Street, San Francisco, CA

PROGRAM & MATERIAL PRECEDENTS

Site	01
Context	02
Site	03
Context	04

THE COURTYARD

The Courtyard is a quiet private garden space designed for residents to enjoy from within their homes or viewed from above. Shaded seating, lush planting, and a sculptural water bowl create a serene atmosphere for reflection, conversation, or calm retreat. This intimate landscape offers a moment of pause within the residential setting.



ROOFTOP AMENITY

The rooftop amenity offers residents a dynamic, multi-use outdoor space designed to foster connection and community. With features including a pot relief area, edible gardens, sun deck with bocce court, BBQ dining, play space and lounge zones, it supports a wide range of shared activities. This elevated retreat becomes a social heart of the building, encouraging everyday interaction and relaxation.



Quantity	Unit
10	1000
11	1000
12	1000
13	1000
14	1000
15	1000
16	1000
17	1000

Part 1

Page 10

Header

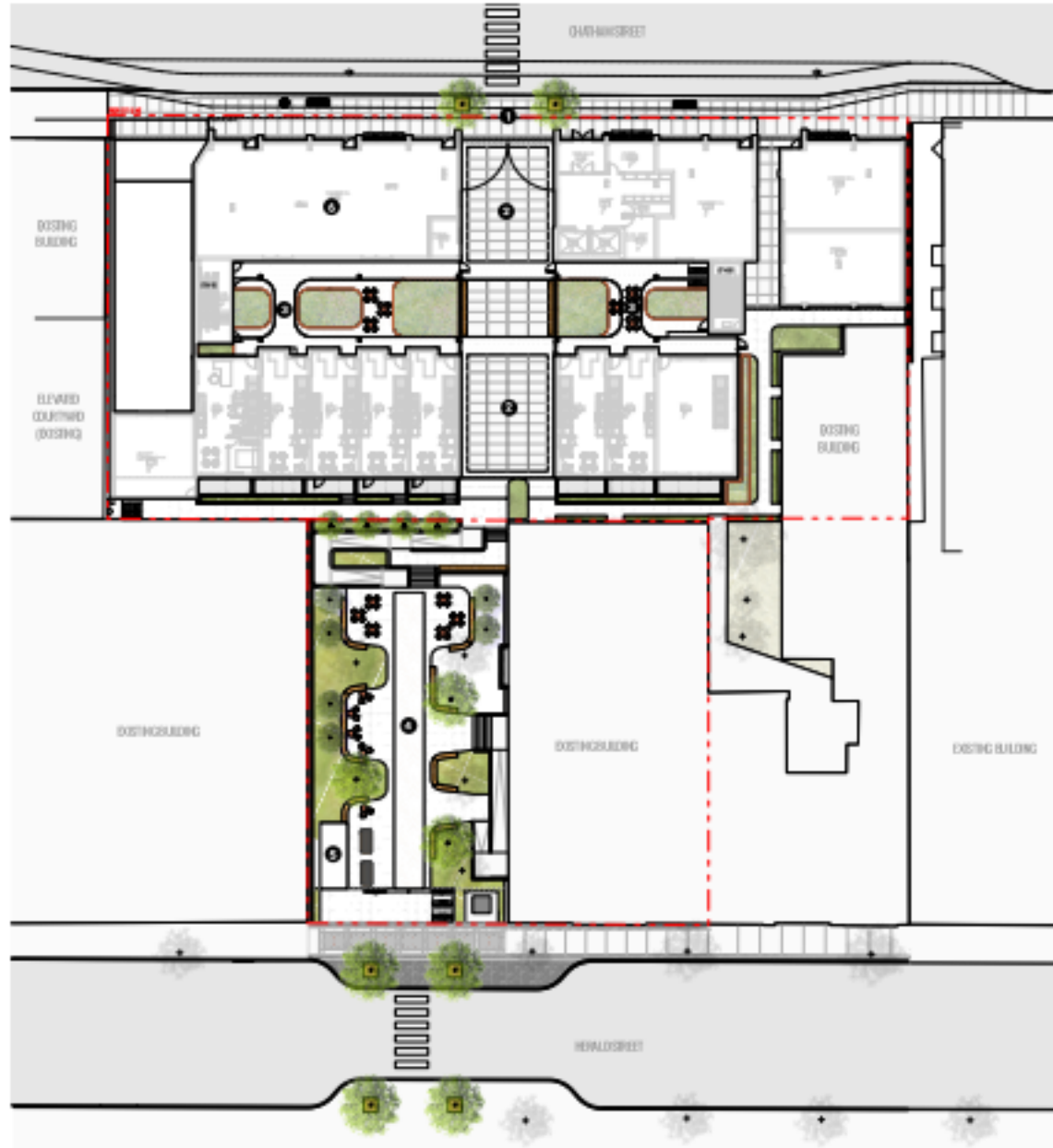
1000 15th Street, Suite 1000

PROGRAM & MATERIAL PRECEDENTS

On	10
Over	10
Over	10
Over	10
Over	10

PROGRAM LEGEND

- 1. OFFICE/RECEPTION
- 2. TERRACE
- 3. RECEPTION
- 4. RECEPTION
- 5. RECEPTION
- 6. RECEPTION

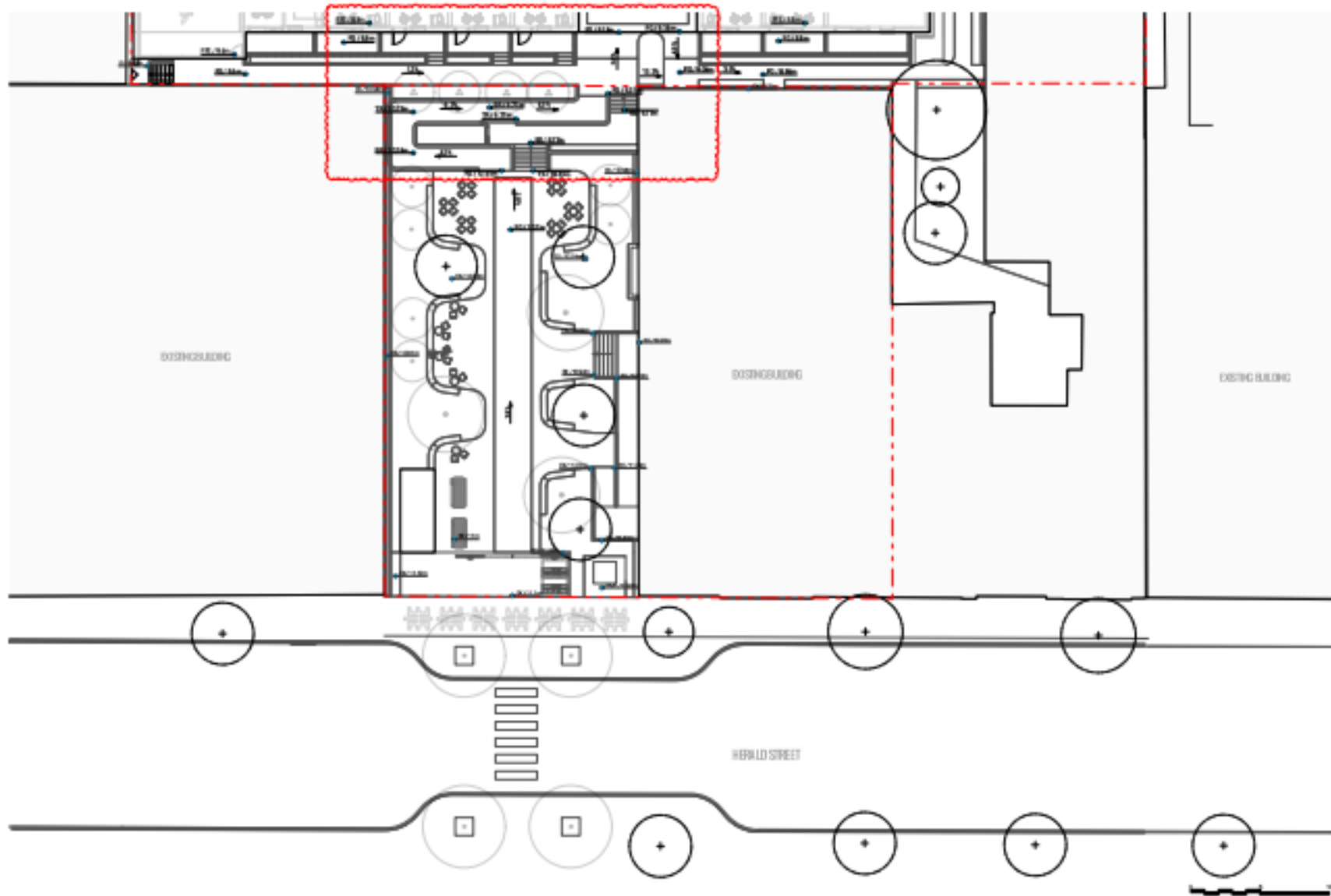


DATE	NO.	DESCRIPTION
10/10/2023	01	ISSUED FOR PERMIT
10/10/2023	02	REVISED PER COMMENTS
10/10/2023	03	REVISED PER COMMENTS
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10/10/2023	05	REVISED PER COMMENTS
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10/10/2023	17	REVISED PER COMMENTS
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10/10/2023	20	REVISED PER COMMENTS

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20	EXISTING BUILDING	21,000

NO.	DESCRIPTION	AREA
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02	EXISTING BUILDING	21,000
03	EXISTING BUILDING	21,000
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19	EXISTING BUILDING	21,000
20	EXISTING BUILDING	21,000

OVERALL SITE PLAN	
DATE	10/10/2023
CLIENT	XXX
PROJECT	XXX
SCALE	1:50
DESIGNER	XXX



Quantity	Description	Notes
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1	Plant Material	See Schedule
1	Plant Material	See Schedule
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1	Plant Material	See Schedule
1	Plant Material	See Schedule
1	Plant Material	See Schedule
1	Plant Material	See Schedule

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(Symbol)	PROPOSED WALKWAY
(Symbol)	EXISTING DRIVEWAY
(Symbol)	PROPOSED DRIVEWAY
(Symbol)	EXISTING PARKING
(Symbol)	PROPOSED PARKING
(Symbol)	EXISTING PLANTING
(Symbol)	PROPOSED PLANTING
(Symbol)	EXISTING FENCE
(Symbol)	PROPOSED FENCE
(Symbol)	EXISTING CURB
(Symbol)	PROPOSED CURB
(Symbol)	EXISTING SIDEWALK
(Symbol)	PROPOSED SIDEWALK
(Symbol)	EXISTING BIKEWAY
(Symbol)	PROPOSED BIKEWAY
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(Symbol)	PROPOSED STREET LIGHT
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(Symbol)	PROPOSED SIGN
(Symbol)	EXISTING UTILITY
(Symbol)	PROPOSED UTILITY

Scale: 1/8" = 1'-0"

North

Project: 2023-001

GRAZING PLAN - GROUND LEVEL SOUTH

Date: 08/2023

Client: CA

Scale: 1/8" = 1'-0"

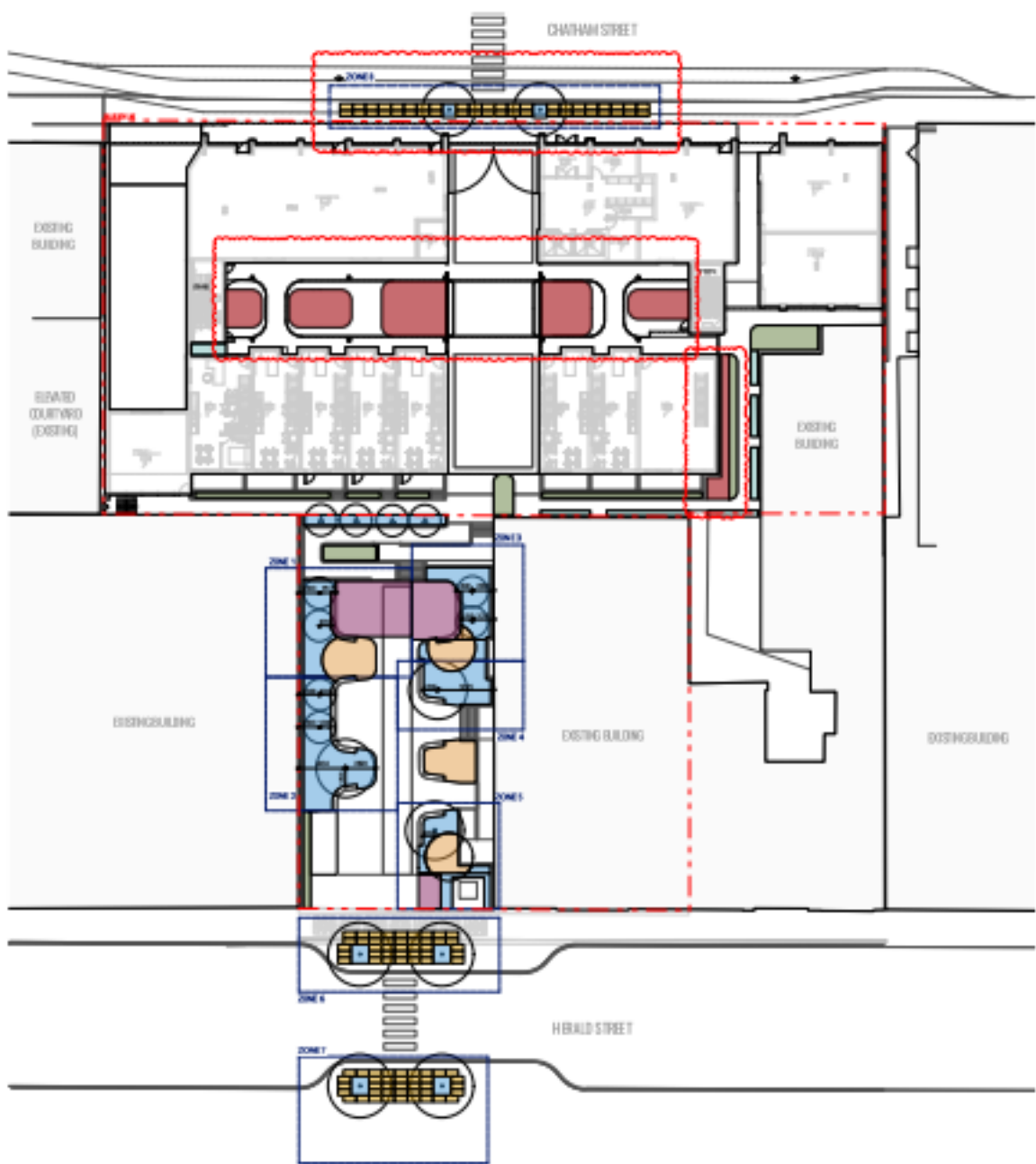
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SOILS LEGEND

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PROPOSED LEVEL 1

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003	UNDESIGNED	100	100
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052	UNDESIGNED	100	100
053	UNDESIGNED	100	100
054	UNDESIGNED	100	100
055	UNDESIGNED	100	100
056	UNDESIGNED	100	100
057	UNDESIGNED	100	100
058	UNDESIGNED	100	100
059	UNDESIGNED	100	100
060	UNDESIGNED	100	100
061	UNDESIGNED	100	100
062	UNDESIGNED	100	100
063	UNDESIGNED	100	100
064	UNDESIGNED	100	100
065	UNDESIGNED	100	100
066	UNDESIGNED	100	100
067	UNDESIGNED	100	100
068	UNDESIGNED	100	100
069	UNDESIGNED	100	100
070	UNDESIGNED	100	100
071	UNDESIGNED	100	100
072	UNDESIGNED	100	100
073	UNDESIGNED	100	100
074	UNDESIGNED	100	100
075	UNDESIGNED	100	100
076	UNDESIGNED	100	100
077	UNDESIGNED	100	100
078	UNDESIGNED	100	100
079	UNDESIGNED	100	100
080	UNDESIGNED	100	100
081	UNDESIGNED	100	100
082	UNDESIGNED	100	100
083	UNDESIGNED	100	100
084	UNDESIGNED	100	100
085	UNDESIGNED	100	100
086	UNDESIGNED	100	100
087	UNDESIGNED	100	100
088	UNDESIGNED	100	100
089	UNDESIGNED	100	100
090	UNDESIGNED	100	100
091	UNDESIGNED	100	100
092	UNDESIGNED	100	100
093	UNDESIGNED	100	100
094	UNDESIGNED	100	100
095	UNDESIGNED	100	100
096	UNDESIGNED	100	100
097	UNDESIGNED	100	100
098	UNDESIGNED	100	100
099	UNDESIGNED	100	100
100	UNDESIGNED	100	100



Materials

01	Concrete	100
02	Asphalt	100
03	Gravel	100
04	Soil	100
05	Water	100
06	Electric	100
07	Gas	100
08	Other	100

Notes

1. All work to be done in accordance with the contract documents.
2. All work to be done in accordance with the applicable codes and regulations.
3. All work to be done in accordance with the applicable standards and specifications.
4. All work to be done in accordance with the applicable best practices.
5. All work to be done in accordance with the applicable industry standards.
6. All work to be done in accordance with the applicable professional standards.
7. All work to be done in accordance with the applicable ethical standards.
8. All work to be done in accordance with the applicable legal standards.
9. All work to be done in accordance with the applicable moral standards.
10. All work to be done in accordance with the applicable social standards.
11. All work to be done in accordance with the applicable environmental standards.
12. All work to be done in accordance with the applicable cultural standards.
13. All work to be done in accordance with the applicable religious standards.
14. All work to be done in accordance with the applicable linguistic standards.
15. All work to be done in accordance with the applicable ethnic standards.
16. All work to be done in accordance with the applicable racial standards.
17. All work to be done in accordance with the applicable gender standards.
18. All work to be done in accordance with the applicable sexual standards.
19. All work to be done in accordance with the applicable disability standards.
20. All work to be done in accordance with the applicable age standards.
21. All work to be done in accordance with the applicable marital standards.
22. All work to be done in accordance with the applicable parental standards.
23. All work to be done in accordance with the applicable religious standards.
24. All work to be done in accordance with the applicable ethnic standards.
25. All work to be done in accordance with the applicable racial standards.
26. All work to be done in accordance with the applicable gender standards.
27. All work to be done in accordance with the applicable sexual standards.
28. All work to be done in accordance with the applicable disability standards.
29. All work to be done in accordance with the applicable age standards.
30. All work to be done in accordance with the applicable marital standards.
31. All work to be done in accordance with the applicable parental standards.
32. All work to be done in accordance with the applicable religious standards.
33. All work to be done in accordance with the applicable ethnic standards.
34. All work to be done in accordance with the applicable racial standards.
35. All work to be done in accordance with the applicable gender standards.
36. All work to be done in accordance with the applicable sexual standards.
37. All work to be done in accordance with the applicable disability standards.
38. All work to be done in accordance with the applicable age standards.
39. All work to be done in accordance with the applicable marital standards.
40. All work to be done in accordance with the applicable parental standards.

SOILS PLAN - GROUND LEVEL

On: 10/20/2018
 Drawn: CA
 Checked: CA
 Date: 1/10
 Client: [Redacted]

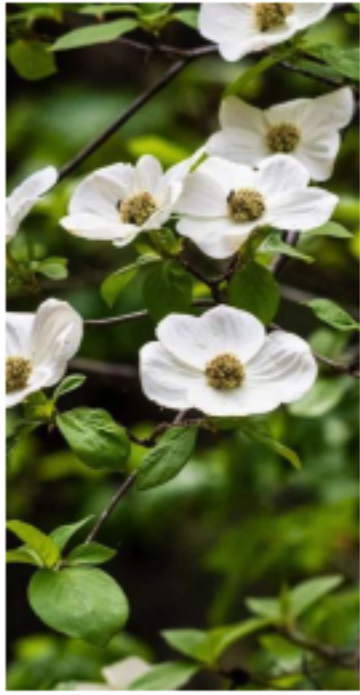
PLANT LIST

NO.	SYM.	COMMON NAME	CHARACTERISTICS	SIZE	PRICE
WATER RESISTANT PLANTS					
01	W	Water Hyacinth	Water Hyacinth	200cm	10000
02	W	Water Hyacinth	Water Hyacinth	200cm	10000
WATER RESISTANT PLANTS					
03	W	Water Hyacinth	Water Hyacinth	200cm	10000
WATER RESISTANT PLANTS					
04	W	Water Hyacinth	Water Hyacinth	200cm	10000

NOTE:
 ALL PLANTS ARE TO BE PLANTED IN THE GARDEN AND MAINTAINED PROPERLY.
 PLANT PLACING SHALL BE DONE IN ACCORDANCE WITH THE GARDEN PLAN.
 PLANT PLACING SHALL BE DONE IN ACCORDANCE WITH THE GARDEN PLAN.

PLANT LIST

NO.	SYM.	COMMON NAME	CHARACTERISTICS	SIZE	PRICE
01	W	Water Hyacinth	Water Hyacinth	200cm	10000
02	W	Water Hyacinth	Water Hyacinth	200cm	10000
03	W	Water Hyacinth	Water Hyacinth	200cm	10000
04	W	Water Hyacinth	Water Hyacinth	200cm	10000
05	W	Water Hyacinth	Water Hyacinth	200cm	10000
06	W	Water Hyacinth	Water Hyacinth	200cm	10000
07	W	Water Hyacinth	Water Hyacinth	200cm	10000
08	W	Water Hyacinth	Water Hyacinth	200cm	10000
09	W	Water Hyacinth	Water Hyacinth	200cm	10000
10	W	Water Hyacinth	Water Hyacinth	200cm	10000
11	W	Water Hyacinth	Water Hyacinth	200cm	10000
12	W	Water Hyacinth	Water Hyacinth	200cm	10000
13	W	Water Hyacinth	Water Hyacinth	200cm	10000
14	W	Water Hyacinth	Water Hyacinth	200cm	10000
15	W	Water Hyacinth	Water Hyacinth	200cm	10000
16	W	Water Hyacinth	Water Hyacinth	200cm	10000
17	W	Water Hyacinth	Water Hyacinth	200cm	10000
18	W	Water Hyacinth	Water Hyacinth	200cm	10000
19	W	Water Hyacinth	Water Hyacinth	200cm	10000
20	W	Water Hyacinth	Water Hyacinth	200cm	10000
21	W	Water Hyacinth	Water Hyacinth	200cm	10000
22	W	Water Hyacinth	Water Hyacinth	200cm	10000
23	W	Water Hyacinth	Water Hyacinth	200cm	10000
24	W	Water Hyacinth	Water Hyacinth	200cm	10000
25	W	Water Hyacinth	Water Hyacinth	200cm	10000
26	W	Water Hyacinth	Water Hyacinth	200cm	10000
27	W	Water Hyacinth	Water Hyacinth	200cm	10000
28	W	Water Hyacinth	Water Hyacinth	200cm	10000
29	W	Water Hyacinth	Water Hyacinth	200cm	10000
30	W	Water Hyacinth	Water Hyacinth	200cm	10000
31	W	Water Hyacinth	Water Hyacinth	200cm	10000
32	W	Water Hyacinth	Water Hyacinth	200cm	10000
33	W	Water Hyacinth	Water Hyacinth	200cm	10000
34	W	Water Hyacinth	Water Hyacinth	200cm	10000
35	W	Water Hyacinth	Water Hyacinth	200cm	10000
36	W	Water Hyacinth	Water Hyacinth	200cm	10000
37	W	Water Hyacinth	Water Hyacinth	200cm	10000
38	W	Water Hyacinth	Water Hyacinth	200cm	10000
39	W	Water Hyacinth	Water Hyacinth	200cm	10000
40	W	Water Hyacinth	Water Hyacinth	200cm	10000
41	W	Water Hyacinth	Water Hyacinth	200cm	10000
42	W	Water Hyacinth	Water Hyacinth	200cm	10000
43	W	Water Hyacinth	Water Hyacinth	200cm	10000
44	W	Water Hyacinth	Water Hyacinth	200cm	10000
45	W	Water Hyacinth	Water Hyacinth	200cm	10000
46	W	Water Hyacinth	Water Hyacinth	200cm	10000
47	W	Water Hyacinth	Water Hyacinth	200cm	10000
48	W	Water Hyacinth	Water Hyacinth	200cm	10000
49	W	Water Hyacinth	Water Hyacinth	200cm	10000
50	W	Water Hyacinth	Water Hyacinth	200cm	10000



Revised:

NO.	DATE	DESCRIPTION
01	2024/01/01	Initial Design
02	2024/01/15	Site Plan
03	2024/01/30	Planting Schedule
04	2024/02/15	Final Design
05	2024/03/01	Construction Documents
06	2024/03/15	Planting Schedule
07	2024/03/30	Final Design
08	2024/04/15	Construction Documents
09	2024/04/30	Planting Schedule
10	2024/05/15	Final Design
11	2024/05/30	Construction Documents

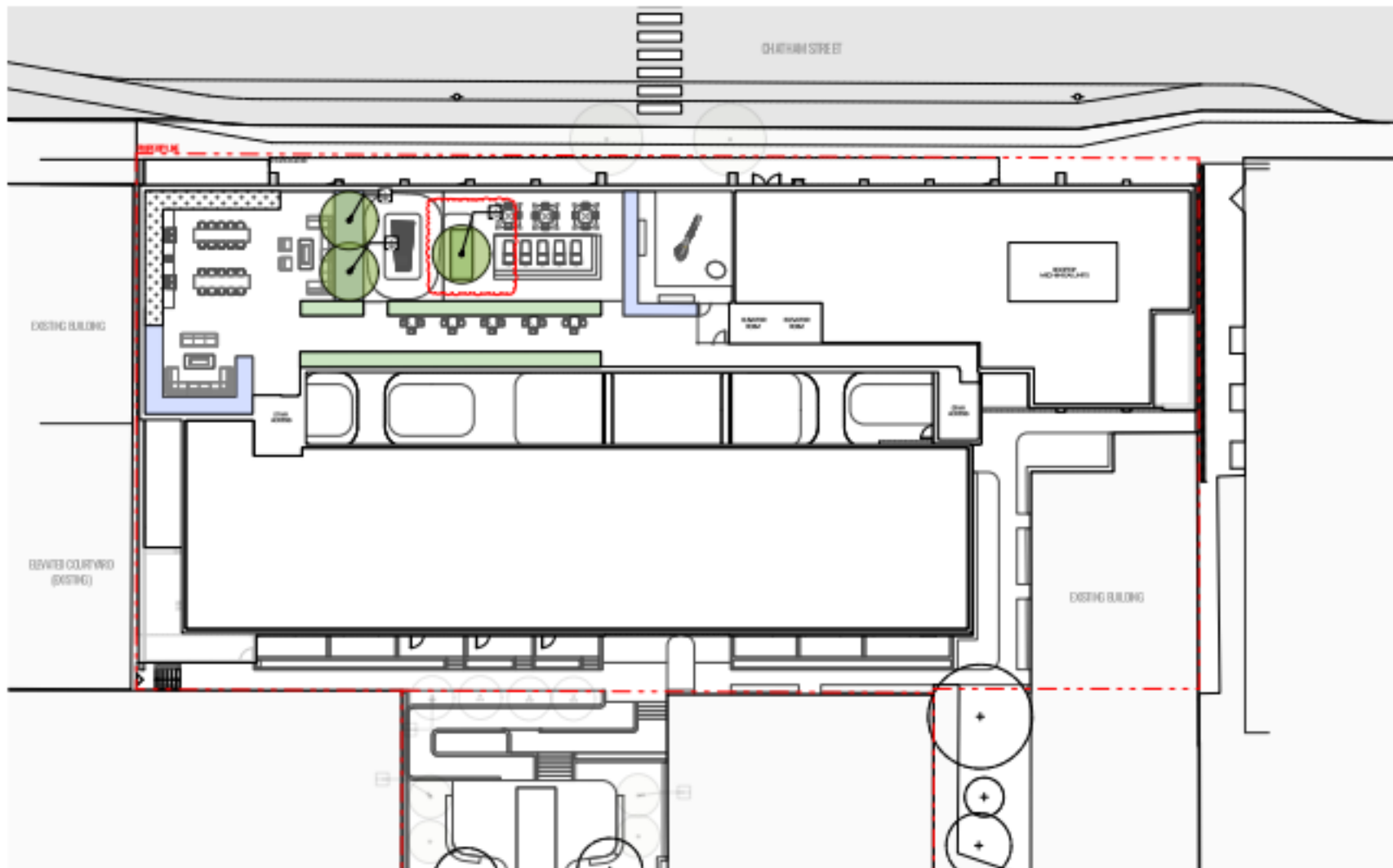
Prep:

Page: 10/10

Header

PLANT LIST AND IMAGES

On	01
Over	02
Over	03
Over	04
Over	05
Over	06



PLANTING LEGEND

- ① COMMON PLANTING
- ② COMMON PLANTING
- ③ COMMON PLANTING
- ④ COMMON PLANTING
- ⑤ COMMON PLANTING
- ⑥ COMMON PLANTING
- ⑦ COMMON PLANTING
- ⑧ COMMON PLANTING
- ⑨ COMMON PLANTING
- ⑩ COMMON PLANTING

PLUMBING PLUMBING LEGEND

- ① PLUMBING LEGEND
- ② PLUMBING LEGEND
- ③ PLUMBING LEGEND
- ④ PLUMBING LEGEND
- ⑤ PLUMBING LEGEND

NO.	DESCRIPTION	QTY
01	PLUMBING LEGEND	100
02	PLUMBING LEGEND	200
03	PLUMBING LEGEND	300
04	PLUMBING LEGEND	400
05	PLUMBING LEGEND	500
06	PLUMBING LEGEND	600
07	PLUMBING LEGEND	700
08	PLUMBING LEGEND	800
09	PLUMBING LEGEND	900
10	PLUMBING LEGEND	1000

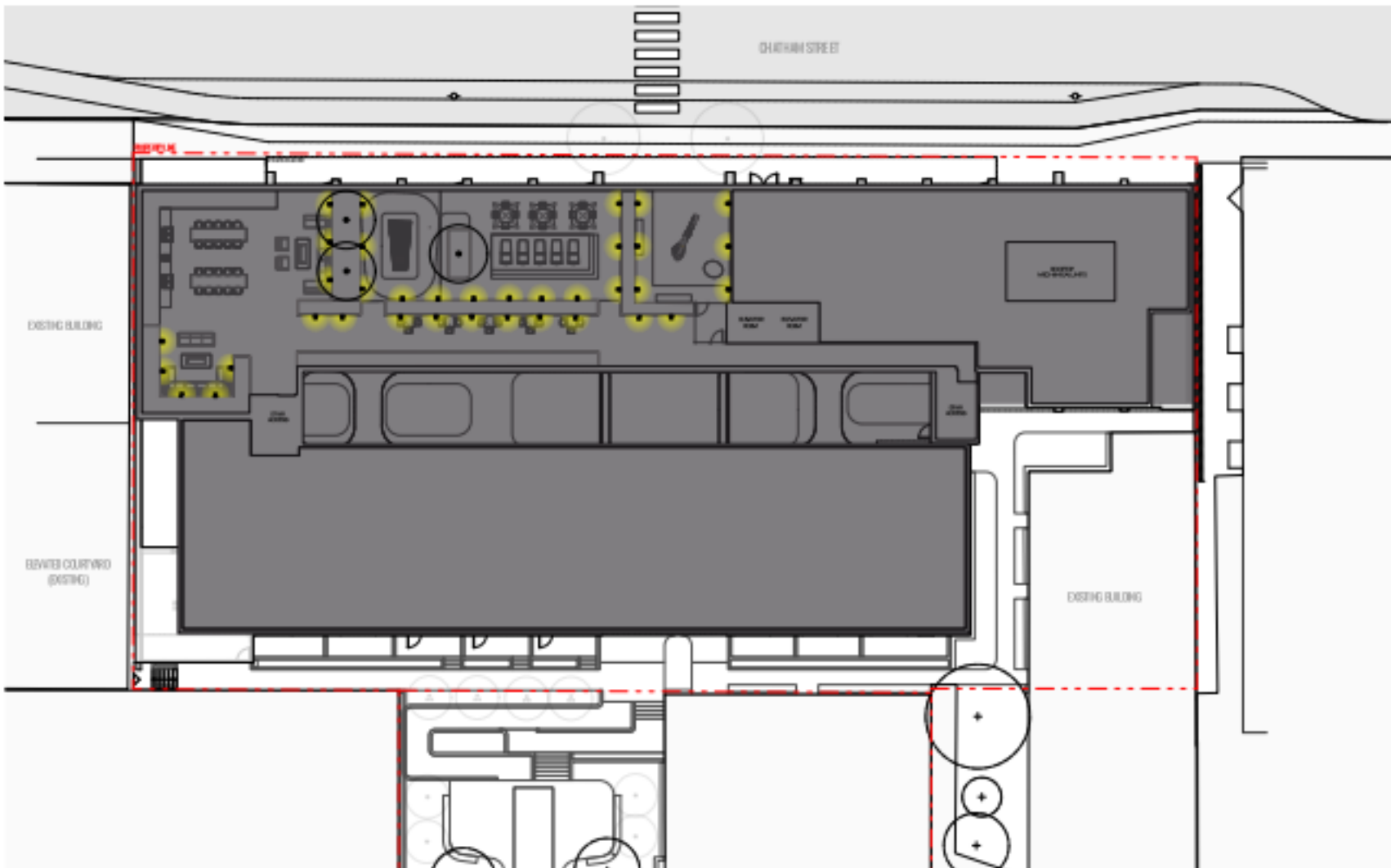
Scale: 1:100

Date: 01/10/2023

Sheet: L6.02

PLANTING PLAN - ROOF

Client: [Name]
 Location: [Address]
 Date: 01/10/2023
 Scale: 1:100



LIGHTING LEGEND

- WALL SCONCE
 - RECESSED
 - PENDANT
 - PENDANT
- NOT TO SCALE

PROJECT NO. 2024-001
DATE: 01/15/2024
SCALE: 1/8" = 1'-0"
DRAWN BY: J. SMITH
CHECKED BY: A. JONES
APPROVED BY: M. BROWN



Quantity	Description	Notes
10	RECESSED	100
11	WALL SCONCE	200
12	RECESSED	200
13	WALL SCONCE	200
14	RECESSED	200
15	WALL SCONCE	200
16	RECESSED	200
17	WALL SCONCE	200

Notes

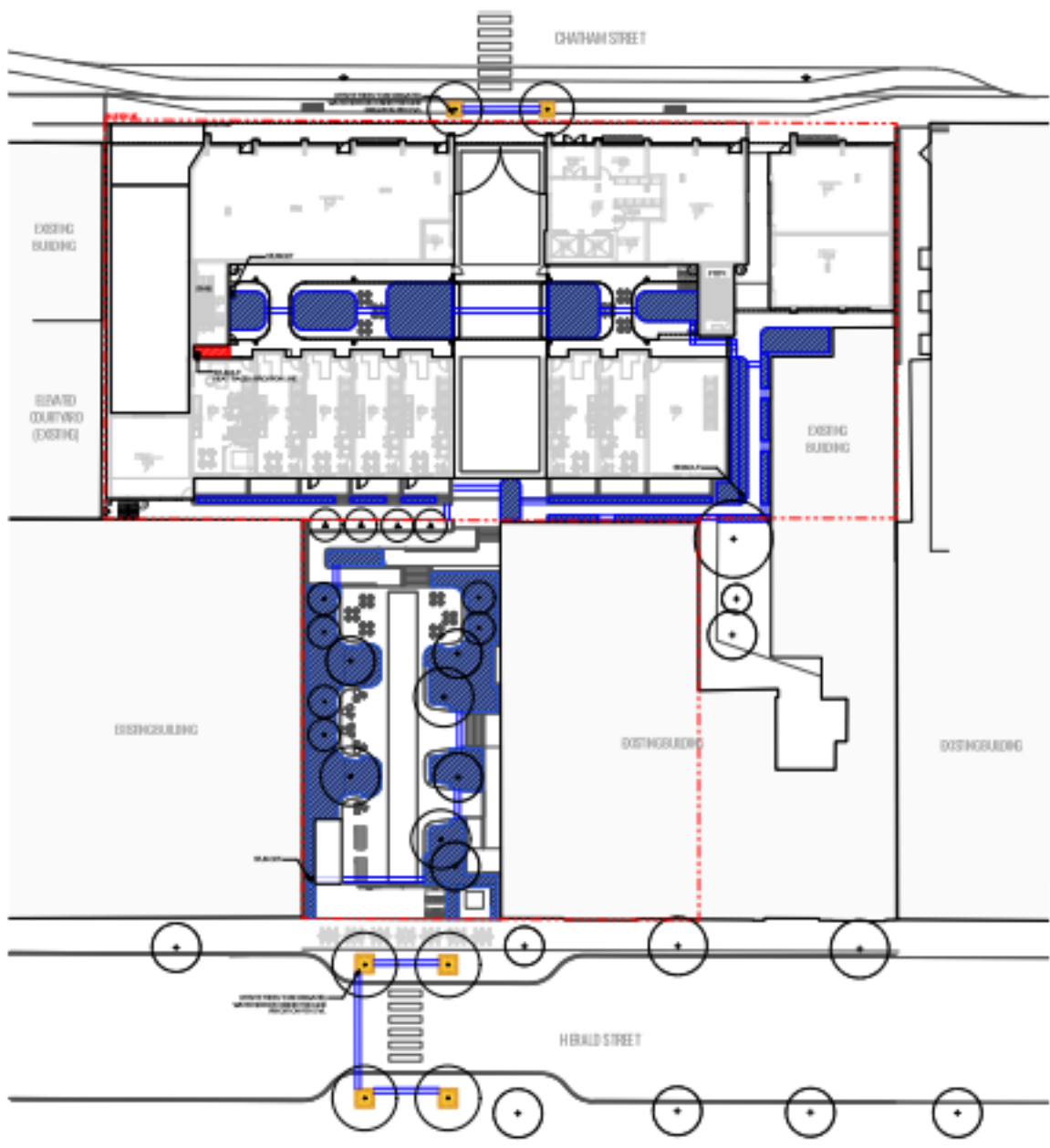
1. ALL FIXTURES TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.

LIGHTING PLAN - ROOF

On: 01/15/24
 Drawn: J. SMITH
 Checked: A. JONES
 Date: 01/15/24
 Client: [REDACTED]

SYMBOL LEGEND

- EXISTING ELECTRICAL AND MECHANICAL
- EXISTING MECHANICAL LAUNCH POINTS
- NEW IRRIGATION SYSTEM LAUNCH POINTS
- NEW IRRIGATION SYSTEM MAINLINE
- NEW IRRIGATION SYSTEM VALVES
- NEW IRRIGATION SYSTEM



Materials

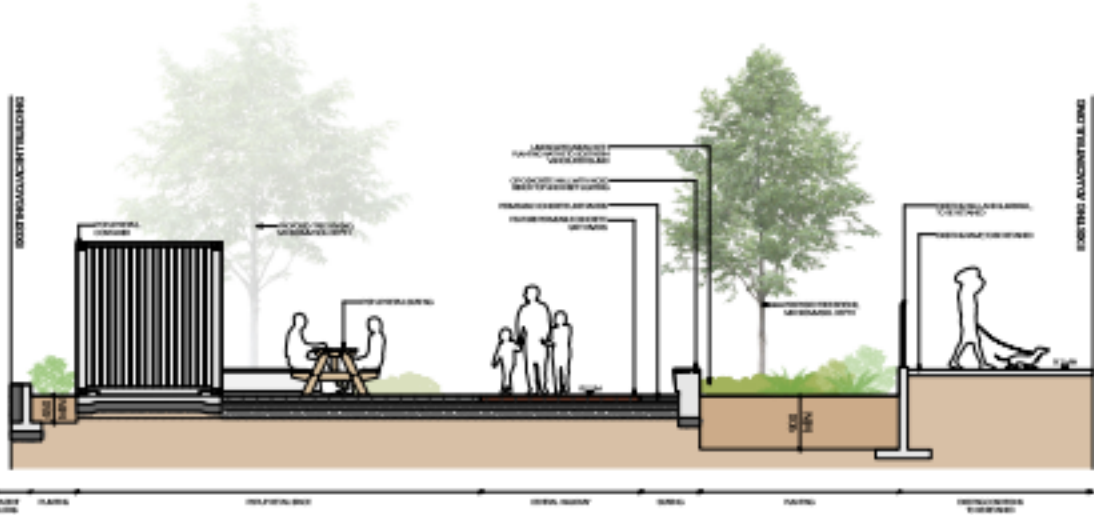
10. CURB	100
11. GRANITE CURB	2000
12. GRANITE CURB	2000
13. GRANITE CURB	2000
14. GRANITE CURB	2000
15. GRANITE CURB	2000
16. GRANITE CURB	2000
17. GRANITE CURB	2000

Notes

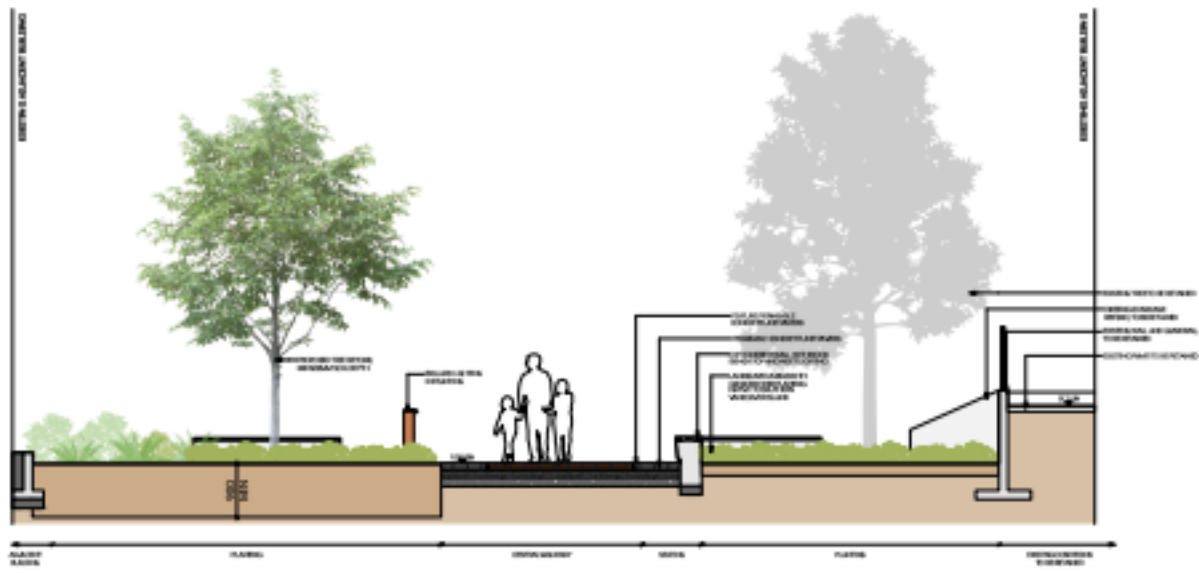
1. See site plan for details.
2. See site plan for details.
3. See site plan for details.
4. See site plan for details.
5. See site plan for details.
6. See site plan for details.
7. See site plan for details.
8. See site plan for details.
9. See site plan for details.
10. See site plan for details.
11. See site plan for details.
12. See site plan for details.
13. See site plan for details.
14. See site plan for details.
15. See site plan for details.
16. See site plan for details.
17. See site plan for details.
18. See site plan for details.
19. See site plan for details.
20. See site plan for details.

IRRIGATION PLAN - GROUND LEVEL

On: 01/15/2018
 Drawn by: [Name]
 Checked by: [Name]
 Scale: 1/8" = 1'-0"



1 SECTION THROUGH PARKLET - POP UP FROM SPACE



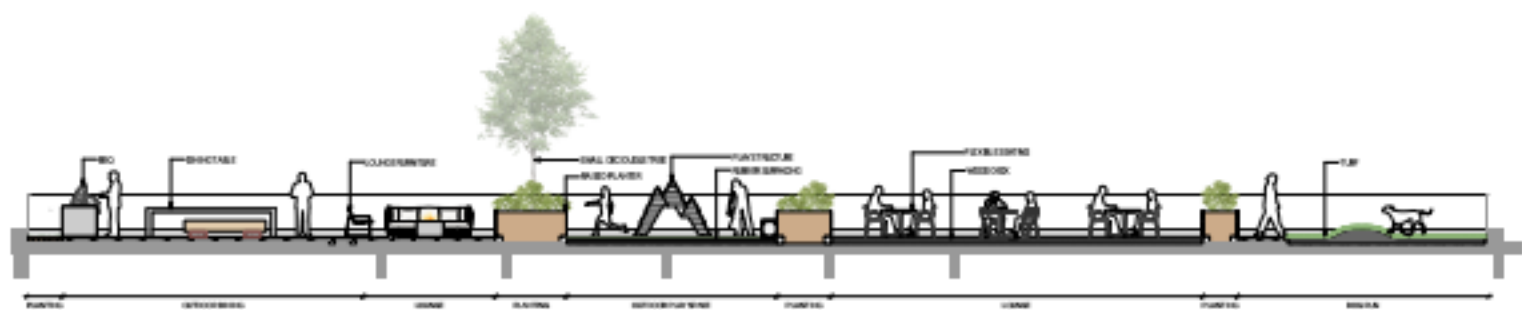
2 SECTION THROUGH PARKLET

Material	Code
1. Concrete	100
2. Asphalt Concrete	200
3. Gravel	300
4. Sand	400
5. Soil	500
6. Wood Decking	600
7. Metal	700
8. Glass	800
9. Fabric	900

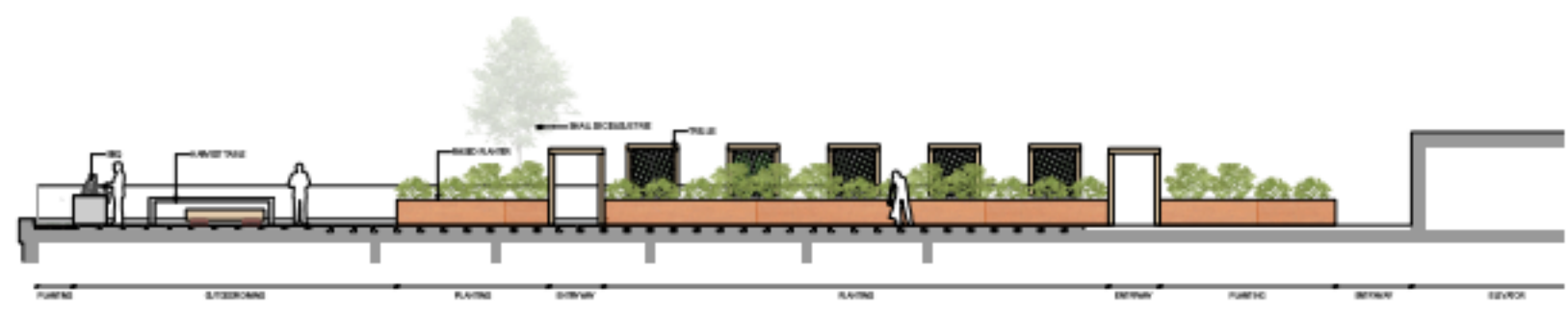
Height	Code
1. 0'-0"	100
2. 1'-0"	200
3. 2'-0"	300
4. 3'-0"	400
5. 4'-0"	500
6. 5'-0"	600
7. 6'-0"	700
8. 7'-0"	800
9. 8'-0"	900

SECTIONS + ELEVATIONS
(2)

Code	Code
01	01
02	02
03	03
04	04
05	05
06	06
07	07
08	08
09	09
10	10
11	11
12	12
13	13
14	14
15	15
16	16
17	17
18	18
19	19
20	20
21	21
22	22
23	23
24	24
25	25
26	26
27	27
28	28
29	29
30	30
31	31
32	32
33	33
34	34
35	35
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40	40
41	41
42	42
43	43
44	44
45	45
46	46
47	47
48	48
49	49
50	50



1 SECTION THROUGH PARK AREA BY LE BRUNNEN
SCALE: 1:100



2 SECTION THROUGH PARK AREA BY LE BRUNNEN
SCALE: 1:100



NO.	DESCRIPTION	DATE
01	Initial Concept	01/17
02	Site Analysis	01/20
03	Site Plan	01/25
04	Section & Elevation	02/01
05	Material Selection	02/05
06	Final Design	02/10
07	Construction Documents	02/15

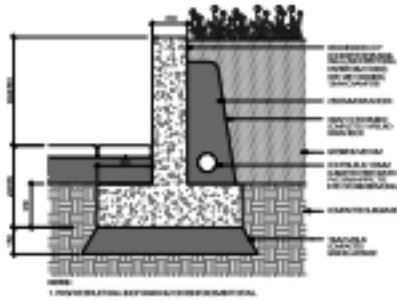
Page 01/01

Herold

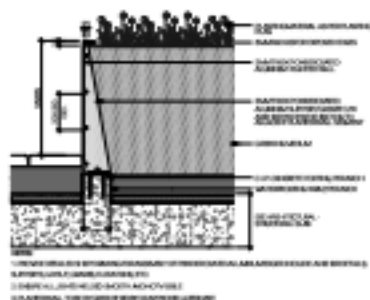
Herold & Partners

SECTIONS + ELEVATIONS

NO.	DESCRIPTION	DATE
01	Initial Concept	01/17
02	Site Analysis	01/20
03	Site Plan	01/25
04	Section & Elevation	02/01



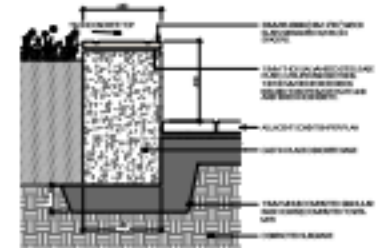
1 6" CONCRETE MILL - ON BASE



2 METAL PAINTED MILL ON CONCRETE - ON SLAB



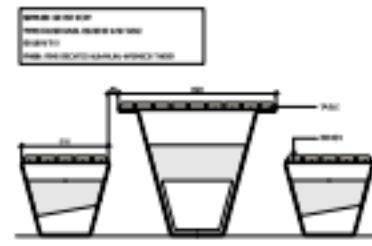
3 METAL PLANTER - POLYGLASSING



4 BENCH TYPE 1 - SEAT MILL



5 BENCH TYPE 2



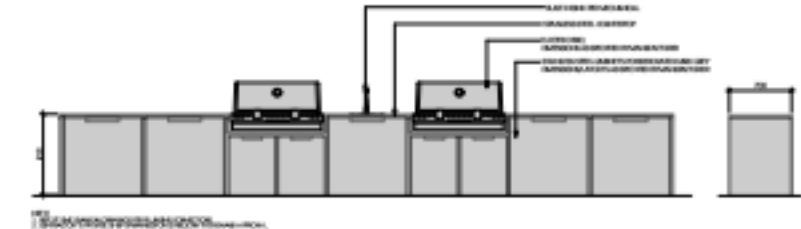
6 BENCH TYPE 3



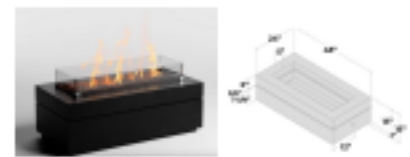
7 TABLE CHAIR



8 BIKE RACK

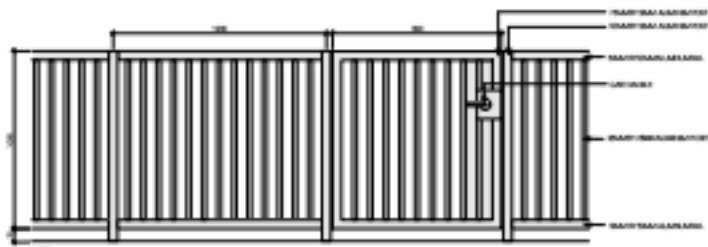


9 BENCH WITH FIRE PIT



1. FIRE PIT
2. 1" POLYURETHANE GRANULES
3. 1" POLYURETHANE GRANULES
4. 1" POLYURETHANE GRANULES
5. 1" POLYURETHANE GRANULES
6. 1" POLYURETHANE GRANULES
7. 1" POLYURETHANE GRANULES
8. 1" POLYURETHANE GRANULES
9. 1" POLYURETHANE GRANULES
10. 1" POLYURETHANE GRANULES
11. 1" POLYURETHANE GRANULES
12. 1" POLYURETHANE GRANULES
13. 1" POLYURETHANE GRANULES
14. 1" POLYURETHANE GRANULES
15. 1" POLYURETHANE GRANULES
16. 1" POLYURETHANE GRANULES
17. 1" POLYURETHANE GRANULES
18. 1" POLYURETHANE GRANULES
19. 1" POLYURETHANE GRANULES
20. 1" POLYURETHANE GRANULES

10 FIRE PIT



11 BENCH WITH FIRE PIT

1000 10TH AVENUE, SUITE 1000
DENVER, CO 80202
303.733.1111
WWW.CONNECTLA.COM

Item	Quantity	Unit
1. 6" CONCRETE MILL ON BASE	100	SQ YD
2. METAL PAINTED MILL ON CONCRETE - ON SLAB	100	SQ YD
3. METAL PLANTER - POLYGLASSING	10	EA
4. BENCH TYPE 1 - SEAT MILL	10	EA
5. BENCH TYPE 2	10	EA
6. BENCH TYPE 3	10	EA
7. TABLE CHAIR	10	EA
8. BIKE RACK	10	EA
9. BENCH WITH FIRE PIT	10	EA
10. FIRE PIT	10	EA
11. BENCH WITH FIRE PIT	10	EA

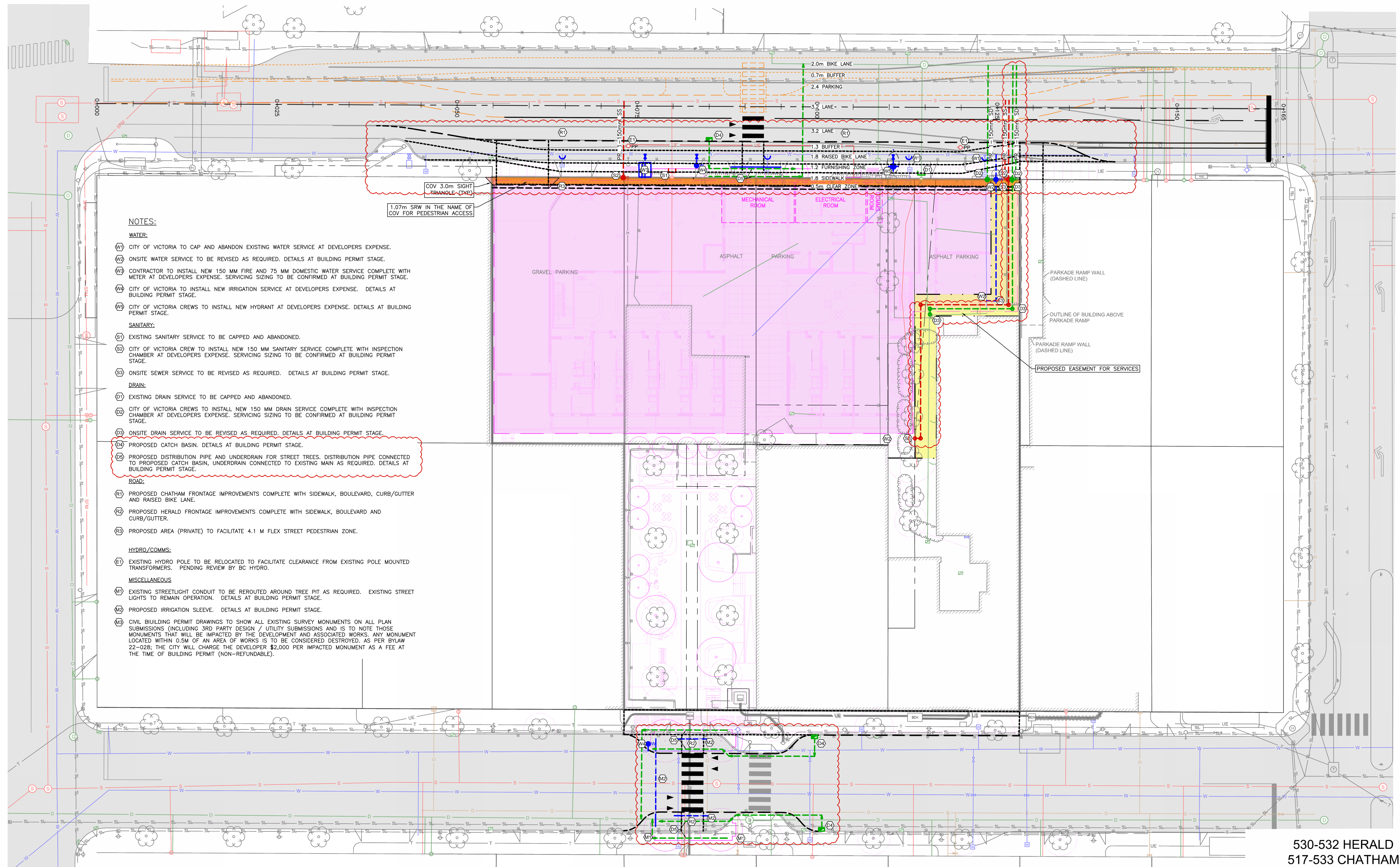
Page 10 of 10

Notes

- 1. ALL MATERIALS TO BE SUPPLIED BY THE CONTRACTOR.
- 2. ALL MATERIALS TO BE INSTALLED BY THE CONTRACTOR.
- 3. ALL MATERIALS TO BE MAINTAINED BY THE CONTRACTOR.
- 4. ALL MATERIALS TO BE REPAIRED BY THE CONTRACTOR.
- 5. ALL MATERIALS TO BE REPLACED BY THE CONTRACTOR.
- 6. ALL MATERIALS TO BE REMOVED BY THE CONTRACTOR.
- 7. ALL MATERIALS TO BE DEMOLISHED BY THE CONTRACTOR.
- 8. ALL MATERIALS TO BE DISPOSED BY THE CONTRACTOR.
- 9. ALL MATERIALS TO BE STORED BY THE CONTRACTOR.
- 10. ALL MATERIALS TO BE PROTECTED BY THE CONTRACTOR.
- 11. ALL MATERIALS TO BE CLEANED BY THE CONTRACTOR.
- 12. ALL MATERIALS TO BE PAINTED BY THE CONTRACTOR.
- 13. ALL MATERIALS TO BE FINISHED BY THE CONTRACTOR.
- 14. ALL MATERIALS TO BE INSULATED BY THE CONTRACTOR.
- 15. ALL MATERIALS TO BE VENTED BY THE CONTRACTOR.
- 16. ALL MATERIALS TO BE GROUND BY THE CONTRACTOR.
- 17. ALL MATERIALS TO BE EARTHED BY THE CONTRACTOR.
- 18. ALL MATERIALS TO BE TESTED BY THE CONTRACTOR.
- 19. ALL MATERIALS TO BE APPROVED BY THE CONTRACTOR.
- 20. ALL MATERIALS TO BE ACCEPTED BY THE CONTRACTOR.

FURNISHING DETAILS

On: 01
 Date: 01
 Scale: AS-BUILT
 Author: JLD



NOTES:

WATER:

- (W1) CITY OF VICTORIA TO CAP AND ABANDON EXISTING WATER SERVICE AT DEVELOPERS EXPENSE.
- (W2) ONSITE WATER SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.
- (W3) CONTRACTOR TO INSTALL NEW 150 MM FIRE AND 75 MM DOMESTIC WATER SERVICE COMPLETE WITH METER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (W4) CITY OF VICTORIA TO INSTALL NEW IRRIGATION SERVICE AT DEVELOPERS EXPENSE. DETAILS AT BUILDING PERMIT STAGE.
- (W5) CITY OF VICTORIA CREWS TO INSTALL NEW HYDRANT AT DEVELOPERS EXPENSE. DETAILS AT BUILDING PERMIT STAGE.

SANITARY:

- (S1) EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED.
- (S2) CITY OF VICTORIA CREW TO INSTALL NEW 150 MM SANITARY SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (S3) ONSITE SEWER SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.

DRAIN:

- (D1) EXISTING DRAIN SERVICE TO BE CAPPED AND ABANDONED.
- (D2) CITY OF VICTORIA CREWS TO INSTALL NEW 150 MM DRAIN SERVICE COMPLETE WITH INSPECTION CHAMBER AT DEVELOPERS EXPENSE. SERVICING SIZING TO BE CONFIRMED AT BUILDING PERMIT STAGE.
- (D3) ONSITE DRAIN SERVICE TO BE REVISED AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.
- (D4) PROPOSED CATCH BASIN. DETAILS AT BUILDING PERMIT STAGE.
- (D5) PROPOSED DISTRIBUTION PIPE AND UNDERDRAIN FOR STREET TREES. DISTRIBUTION PIPE CONNECTED TO PROPOSED CATCH BASIN, UNDERDRAIN CONNECTED TO EXISTING MAIN AS REQUIRED. DETAILS AT BUILDING PERMIT STAGE.

ROAD:

- (R1) PROPOSED CHATHAM FRONTAGE IMPROVEMENTS COMPLETE WITH SIDEWALK, BOULEVARD, CURB/GUTTER AND RAISED BIKE LANE.
- (R2) PROPOSED HERALD FRONTAGE IMPROVEMENTS COMPLETE WITH SIDEWALK, BOULEVARD AND CURB/GUTTER.
- (R3) PROPOSED AREA (PRIVATE) TO FACILITATE 4.1 M FLEX STREET PEDESTRIAN ZONE.

HYDRO/COMMS:

- (E1) EXISTING HYDRO POLE TO BE RELOCATED TO FACILITATE CLEARANCE FROM EXISTING POLE MOUNTED TRANSFORMERS. PENDING REVIEW BY BC HYDRO.

MISCELLANEOUS:

- (M1) EXISTING STREETLIGHT CONDUIT TO BE REROUTED AROUND TREE PIT AS REQUIRED. EXISTING STREET LIGHTS TO REMAIN OPERATION. DETAILS AT BUILDING PERMIT STAGE.
- (M2) PROPOSED IRRIGATION SLEEVE. DETAILS AT BUILDING PERMIT STAGE.
- (M3) CIVIL BUILDING PERMIT DRAWINGS TO SHOW ALL EXISTING SURVEY MONUMENTS ON ALL PLAN SUBMISSIONS (INCLUDING 3RD PARTY DESIGN / UTILITY SUBMISSIONS AND IS TO NOTE THOSE MONUMENTS THAT WILL BE IMPACTED BY THE DEVELOPMENT AND ASSOCIATED WORKS. ANY MONUMENT LOCATED WITHIN 0.5M OF AN AREA OF WORKS IS TO BE CONSIDERED DESTROYED. AS PER BYLAW 22-028; THE CITY WILL CHARGE THE DEVELOPER \$2,000 PER IMPACTED MONUMENT AS A FEE AT THE TIME OF BUILDING PERMIT (NON-REFUNDABLE).

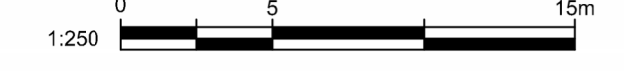
ISSUED FOR DISCUSSION

**530-532 HERALD
517-533 CHATHAM
PRELIMINARY SERVICING PLAN**

Scale
horiz. 1:250
vert. N/A
Sheet 1 of 1
Eng. Project No. 35054

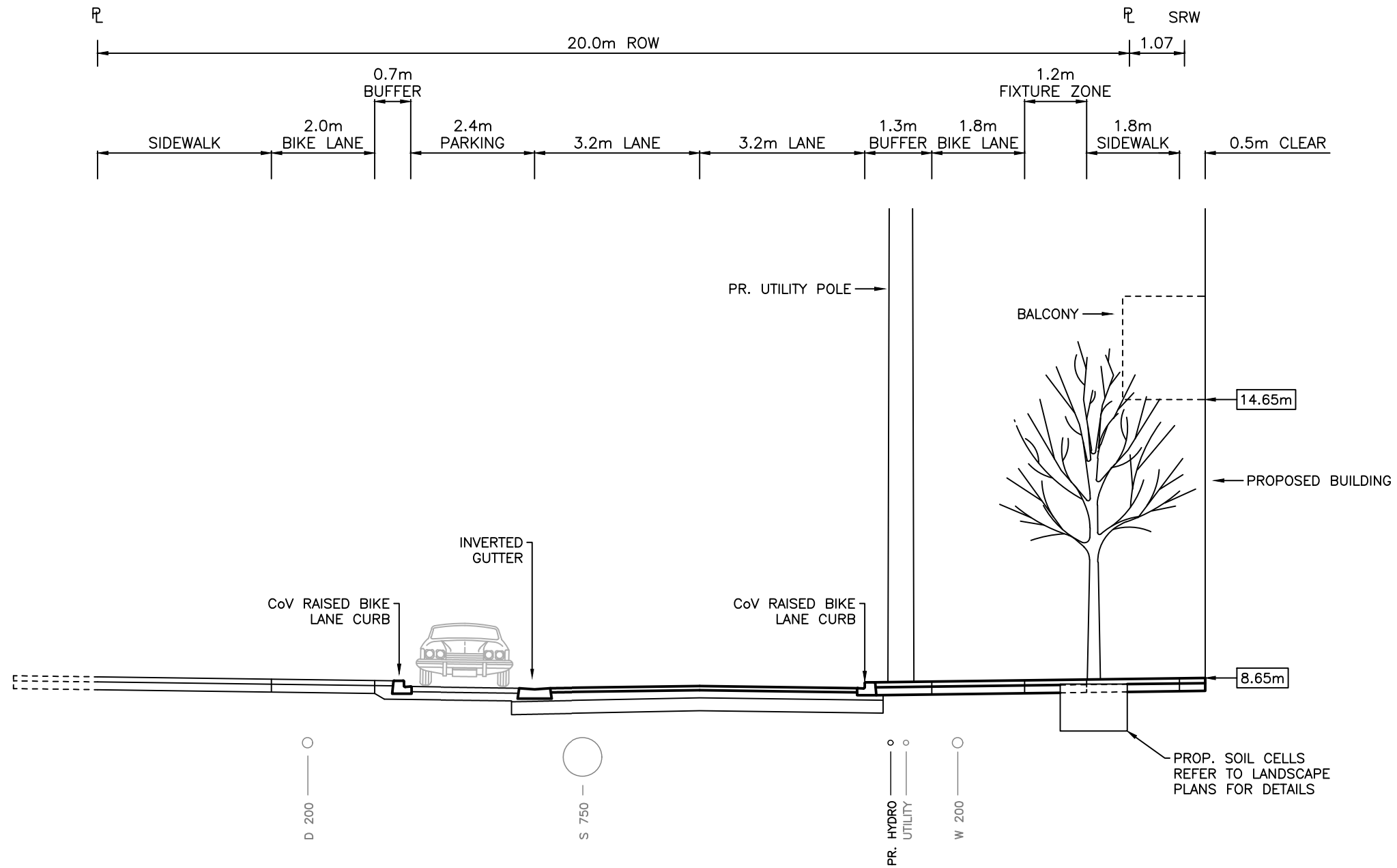



LEGEND	
LAMP STANDARD	LS
POLE(Hydro, Tel.)	PP
U/G WIRING	UE
GAS	G
WATER	W
SEWER	S
DRAIN	D
CLEANOUT	C
CATCHBASIN	CB
MANHOLE	M
SERVICE RISER	SR
MOUNTABLE CURB	MC
NON-MOUNT. CURB	NMC
EDGE ASPHALT	EA
DITCH	D
METER	M
FLUSH VALVE	FV
VALVE	V
REDUCER	R
HYDRANT	H
AIR VALVE	AV



JEA J E ANDERSON & ASSOCIATES
SURVEYORS - ENGINEERS
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER
PHONE: 250-727-2214 info@jeanderson.com

V:_Projects\35054 - Intracorp - 530 - 532 Herald 517 - 532 Chatham\05 - Engineering\03 - Drawings & Sketches (Eng)\35054 - PRODUCTION - DP.dwg
 Printed: April 2, 2026



 J E ANDERSON & ASSOCIATES SURVEYORS - ENGINEERS VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER PHONE: 250-727-2214 info@jeanderson.com	CLIENT	INTRACORP
	PROJECT	CITY OF VICTORIA 530-532 HERALD & 517-533 CHATHAM TYPICAL SECTION
DRAWN: JA	SCALE: 1:1000	
DATE: 20260401		
SHEET 1 OF 1		ENG: 35054