



822 CATHERINE STREET + 304 LANGFORD STREET

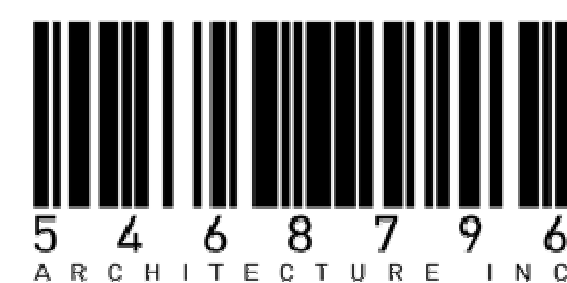
VICTORIA, BC

14.07.2023

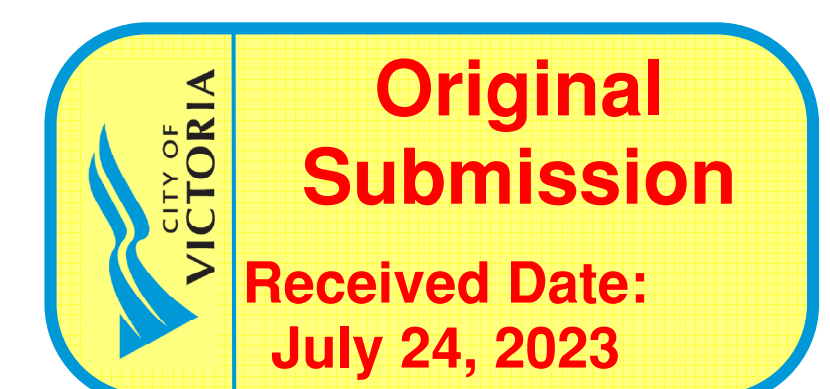
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ARYZE

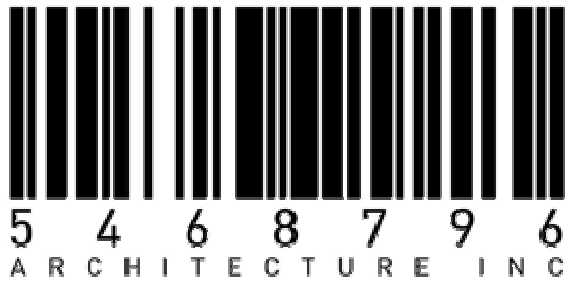
ARYZE DEVELOPMENT
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- C COVER SHEET
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AG.2 SHADOW STUDIES
AG.3 SITE SURVEY
AG.4 SITE PLAN - CONTEXT
AG.5 BUILDING ELEVATION - CONTEXT
AG.6 WINDOW SCHEDULE
AG.7 MATERIAL BOARD
AG.8 AVERAGE GRADE CALCULATION

A0.1 SITE PLAN - EXISTING + DEMOLITION

A1.0 SITE PLAN - PROPOSED
A1.1 LEVEL 00 PLAN
A1.2 LEVEL 01 PLAN
A1.3 LEVEL 02 PLAN

A2.1 BUILDING ELEVATIONS
A2.2 BUILDING ELEVATIONS

A3.1 BUILDING SECTIONS
A3.2 BUILDING SECTIONS

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21-014-CSP PRELIMINARY CIVIL PLAN

LANDSCAPE



BIOPHILIA
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ELIZABETH BALDERSTON
E: elizabeth@biophiliacollective.ca

- L0 TREE REMOVAL AND PROTECTION PLAN
L1 LANDSCAPE PLAN
L2 TREE PLANTING PLAN
L3 SHRUB PLANTING PLAN

SYMBOL LEGEND:

WALL TYPE W1
WINDOW TYPE W01
DOOR NUMBERS D001

EXISTING DOOR
NEW DOOR

FINISH TYPE F-1

FLOOR TYPE LABEL

ROOF TYPE LABEL

NOTES
GRIDLINE MARKER

BUILDING SECTIONS:

DRAWING NUMBER
SHEET NUMBER
DIRECTION TO WHICH SECTION IS LOOKING

SECTIONS:

DRAWING NUMBER
SHEET NUMBER
DIRECTION TO WHICH SECTION IS LOOKING

DETAILS:

DRAWING NUMBER
SHEET NUMBER
DIRECTION TO WHICH SECTION IS LOOKING

ROOM LABELS:

ROOM LABEL
ROOM NUMBER

INTERIOR ELEVATIONS:

DRAWING NUMBER
SHEET NUMBER

FLOOR CONSTRUCTION ELEVATIONS:

ELEVATION
LOCATION

EXISTING ELEVATION
PROPOSED ELEVATION

TITLES:

NORTH ARROW
DRAWING NUMBER
DRAWING TITLE
DRAWING LABEL
DRAWING SCALE
SHEET NUMBER

ABBREVIATIONS:

& ABV
AFF ALUM
ANOD
@ ARCH
AT AIR/VAPOUR BARRIER
AVB

BLDG
BLKG
BRG
BS
B TO B

CB
CF
CG
CL
CLG
CLR
COL
CONC
CONN
CONT
CORR
CT
C/W

Ø
DIM
DN
DRWG
DTL

EL
EW
EA
ELEC
ED
EXIST
EJ
EXT

FDN
FE
FEJ
FIN
FD
FFD
FF
FLEX
FO
FR
FRR

G
GA
GWB
GCB
GC
GL

HM
HMI
HORIZ
HR
HSDG
HSS
HSTG
HT
HVAC

ID
IF
INSUL
INT

L LENGTH

m
mm
MT
MAT'L
MAX
MDF
MECH
MET
MIN
MISC
MN
MO

NIC
NO
NOM
NTS

OC
OD
OPN'G
OH
OPP
OTA
OTB
OV

PLAM
PLBG
PR
PREF
PS
PT
PTF
PL

R
RD
REINF
REQ'D
REV
RO

SH

SIM

SPC'D

SQ

ST

STD

STN

STRUCT

SUSP

TEMP

TG

TO

TYP

U/N

U/S

V

VERT

W

W/

W/D

WD

WHC

WSC

SHEET FLOORING

SIMILAR

SPECIFIED

SQUARE

STEEL

STANDARD

STAIN FINISH

STRUCTURAL

SUSPENDED

TEMPERED

TEMPERED GLASS

TYPICAL

UNLESS OTHERWISE NOTED

UNDERSIDE

VARNISHED FINISH

VERTICAL

WIDE, WIDTH

WITH

WASHER/DRYER

WOOD

WOOD HOLLOW CORE

WOOD SOLID CORE

PROJECT STATS

REVISION NO.1 JULY 14, 2023			
SITE INFORMATION			
LEGAL DESCRIPTION		LOT C, IDO 33845411, BLOCK N, SECTION 31, ESQUIMALT DISTRICT, PLAN 549	
CIVIC ADDRESS		822 CATHERINE STREET, VICTORIA BC	
ZONING	CURRENT [R-2, TWO FAMILY DWELLING]	PROPOSED [C-R-3C, COMMERCIAL RESIDENTIAL (CATHERINE ST.)]	822 CATHERINE 304 LANGFORD PROJECT STATS
SITE AREA [m ²]			1,002.9
GROSS FLOOR AREA [m ²]			1,810.23
FLOOR SPACE RATIO	0.5	1.00	1.80
SITE COVERAGE (%)			72.8%
OPEN SITE SPACE (%)			27.2%
AVERAGE GRADE			28.51
BUILDING HEIGHT	TWO-FAMILY DWELLING: 7.4m; 2 STOREYS IF DWELLING DOES NOT HAVE BASEMENT 1.5 IF IT DOES PUBLIC BUILDING: [non-commercial]: 11m OR THE WIDTH OF THE LOT [WHICHEVER IS LESSER] AND 2.5 STOREYS	10.7m or 3 STOREYS	3 STOREYS [±12.17m]
SETBACKS			
FRONT	7.5m	3.0m [FIRST STOREY], 6.0m [UPPER STOREYS]	2.77 m AT GROUND FLOOR, 0.0m AT 2ND AND 3RD FLOOR
SIDE	1.5m OR 10% OF LOT DEPTH [WHICHEVER IS GREATER]	ADJACENT TO RESIDENTIAL: 1/4 BUILDING HEIGHT OR 2.5m [WHICHEVER IS GREATER]. ADJACENT TO NON-RESIDENTIAL: 2.4m OR GREATER, OR ZERO.	N/A
COMBINED SIDE YARD	4.5m	N/A	N/A
SIDE YARD, CORNER LOT [FLANKING ST]	3.5m OR 10% OF LOT WIDTH [WHICHEVER IS GREATER]	N/A	3.1m [AT LANGFORD ST], 3.9m [AT BELLA ST]
REAR	10.7m OR 35% OF LOT DEPTH [WHICHEVER IS GREATER]	6.0m	2.4m AT GROUND

BUILDING DATA			
UNIT TYPES	AREA (M²)	UNIT COUNT	TOTAL AREA (M²)
COMMERCIAL UNIT	85	1	85
BACHELOR	37	1	37
1 BEDROOM UNIT	38	1	38
	42	5	210
	45	4	180
	53	6	318
2 BEDROOM UNIT	70	1	70
	74	4	296
3 BEDROOM UNIT	62	5	410
TOTAL		28	
TOTAL RENTABLE AREA			1,644

RESIDENTIAL UNIT MIX	UNIT COUNT	%
BACHELOR	2	7%
1 BEDROOM UNIT	15	56%
2 BEDROOM UNIT	5	19%
3 BEDROOM UNIT	5	19%
TOTAL	27	100%

SITE DATA		
	AREA [m ²]	AREA [sq ft]
LEVEL 00	0	0
LEVEL 01	550.05	5,921
LEVEL 02	624.3	6,720
LEVEL 03	624.3	6,720
LEVEL 04	11.58	125
TOTAL GROSS FLOOR AREA	1,810.23	19,485
BUILDING FOOTPRINT	729.75	7,855

REQUIRED VEHICULAR PARKING			
	UNIT COUNT	RATE	REQUIRED STALLS
RESIDENTIAL			
UNIT < 45 M²	7	0.2 STALLS / UNIT	1
UNIT 45-70 M²	11	0.5 STALLS / UNIT	5.5
UNIT > 70 M²	9	0.75 STALLS / UNIT	7
VISITOR	27	0.1 STALLS / UNIT	3
COMMERCIAL			
RESTAURANT	85 m²	1.0 STALLS / 20m²	4
TOTAL REQUIRED			21

TOTAL PROPOSED	12
----------------	----

REQUIRED BIKE PARKING			
	UNIT COUNT	RATE	REQUIRED STALLS
LONG TERM			
UNIT < 45 M²	7	1.0 STALLS / UNIT	7
UNIT > 45 M²	20	1.25 STALLS / UNIT	25
RESTAURANT	85 m²	1.0 STALLS / 400m²	1
TOTAL REQUIRED			33

TOTAL PROPOSED	40 [*includes 3 cargo bike]
----------------	-----------------------------

SHORT TERM			
RESIDENTIAL	27	0.1 STALLS / UNIT	2.7
RESTAURANT	85 m²	1.0 STALLS / 100m²	1
TOTAL REQUIRED			4

TOTAL PROPOSED	12
----------------	----

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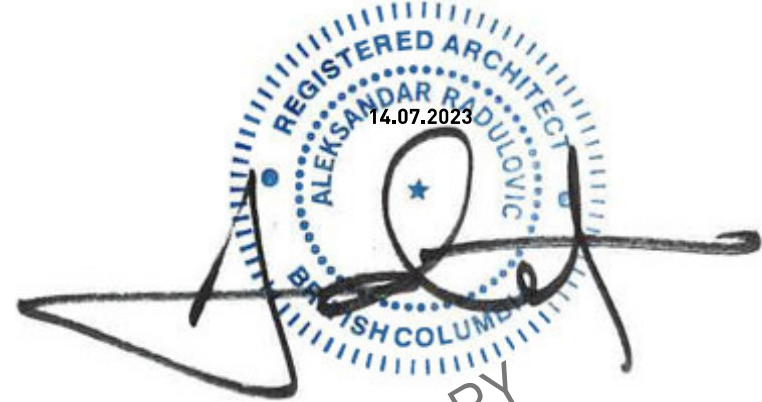
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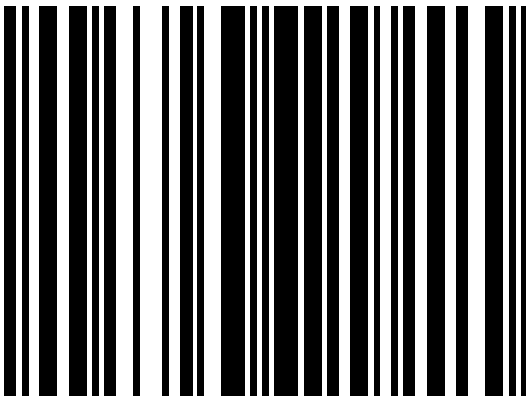
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822 CATHERINE STREET
+ 304 LANGFORD STREET

VICTORIA, BC

GENERAL NOTES
Project 0646
Sheet

AG.0



VIEW OF CRU FROM CATHERINE STREET SIDEWALK



VIEW FROM BELLA STREET



VIEW FROM LANGFORD STREET @ MARY STREET



VIEW FROM CATHERINE STREET

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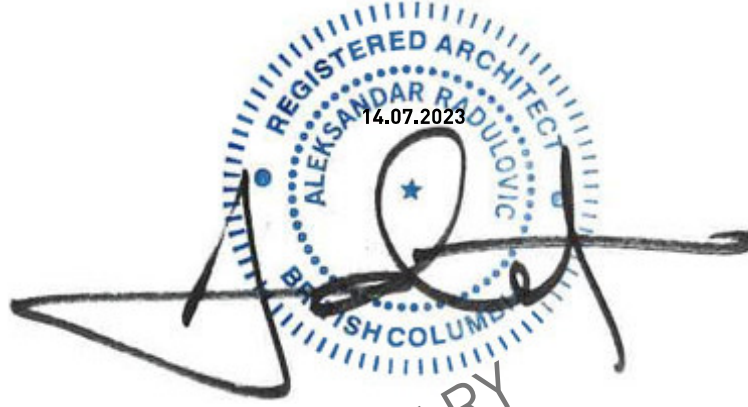
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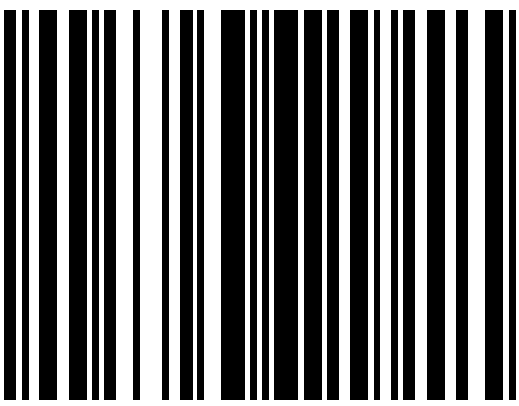
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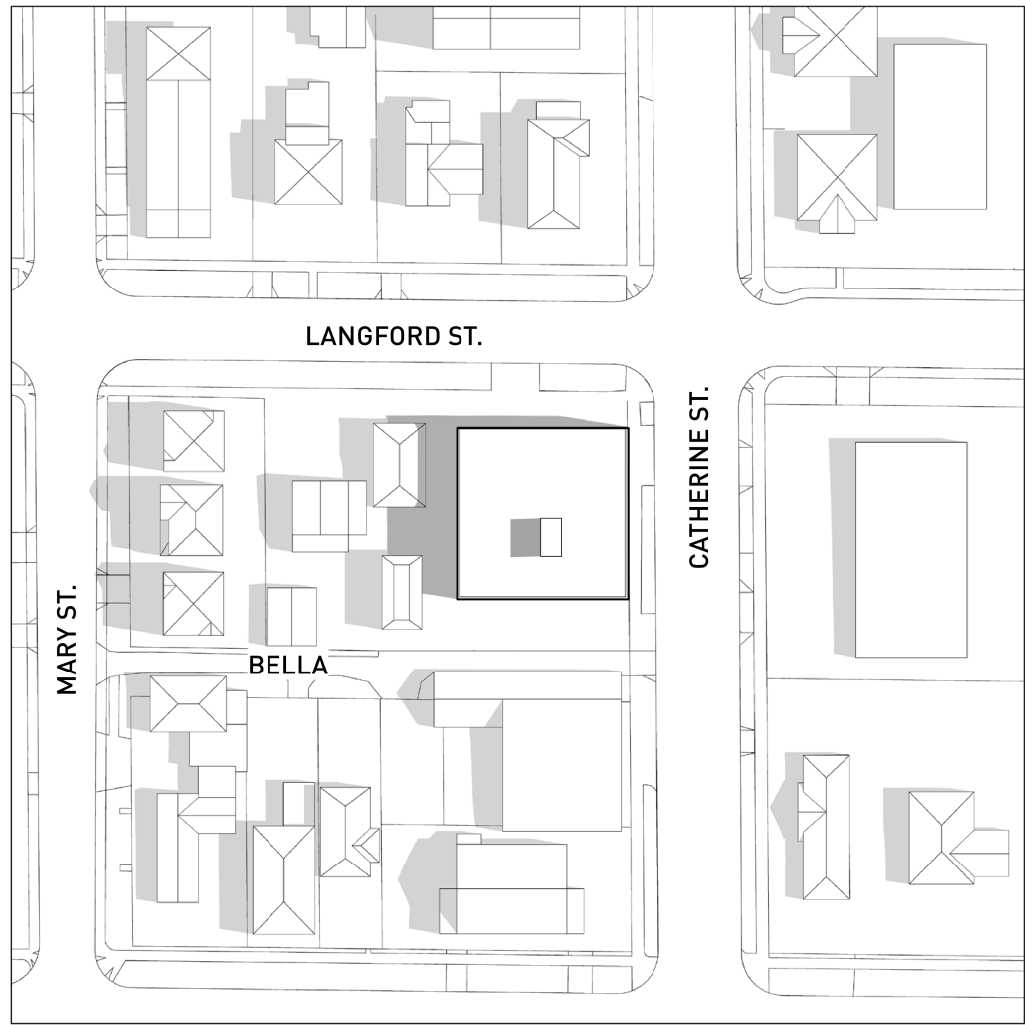
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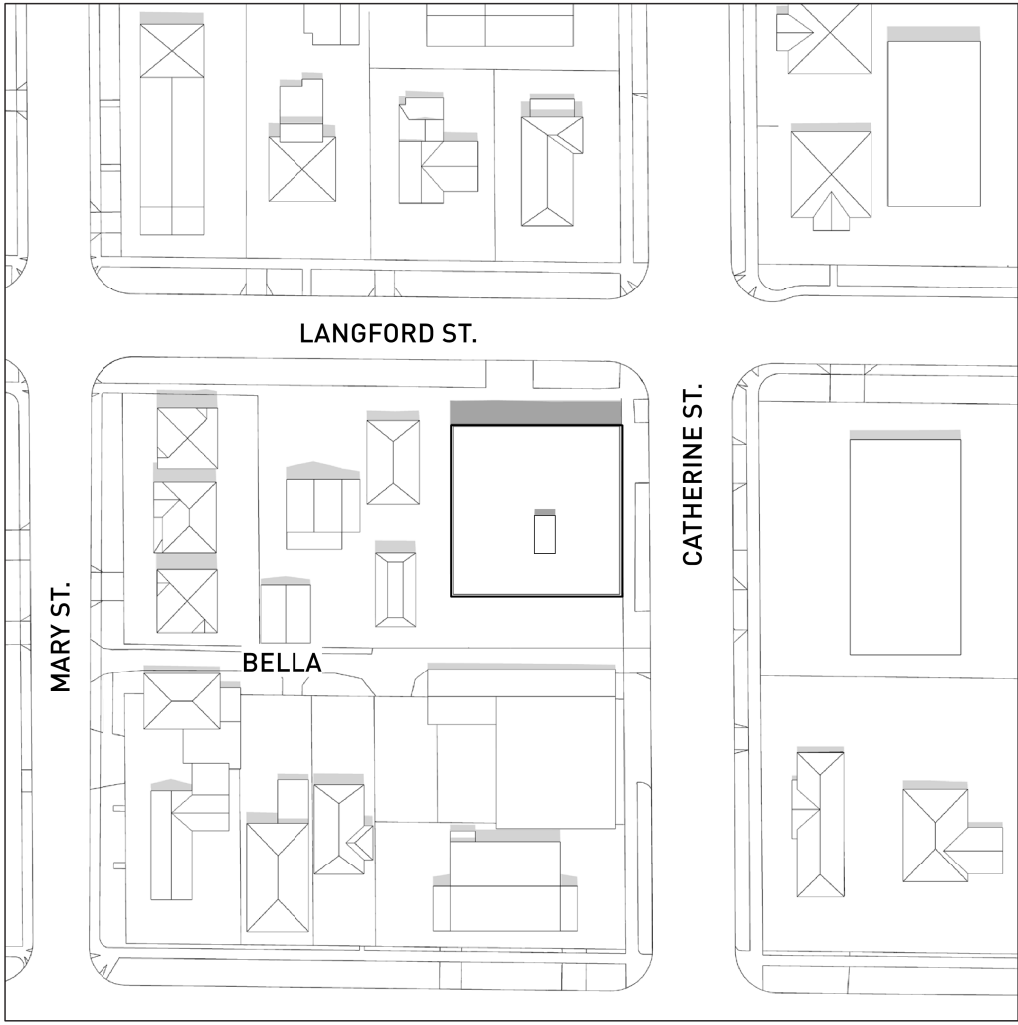
VICTORIA, BC

RENDERINGS Project
0646 Sheet

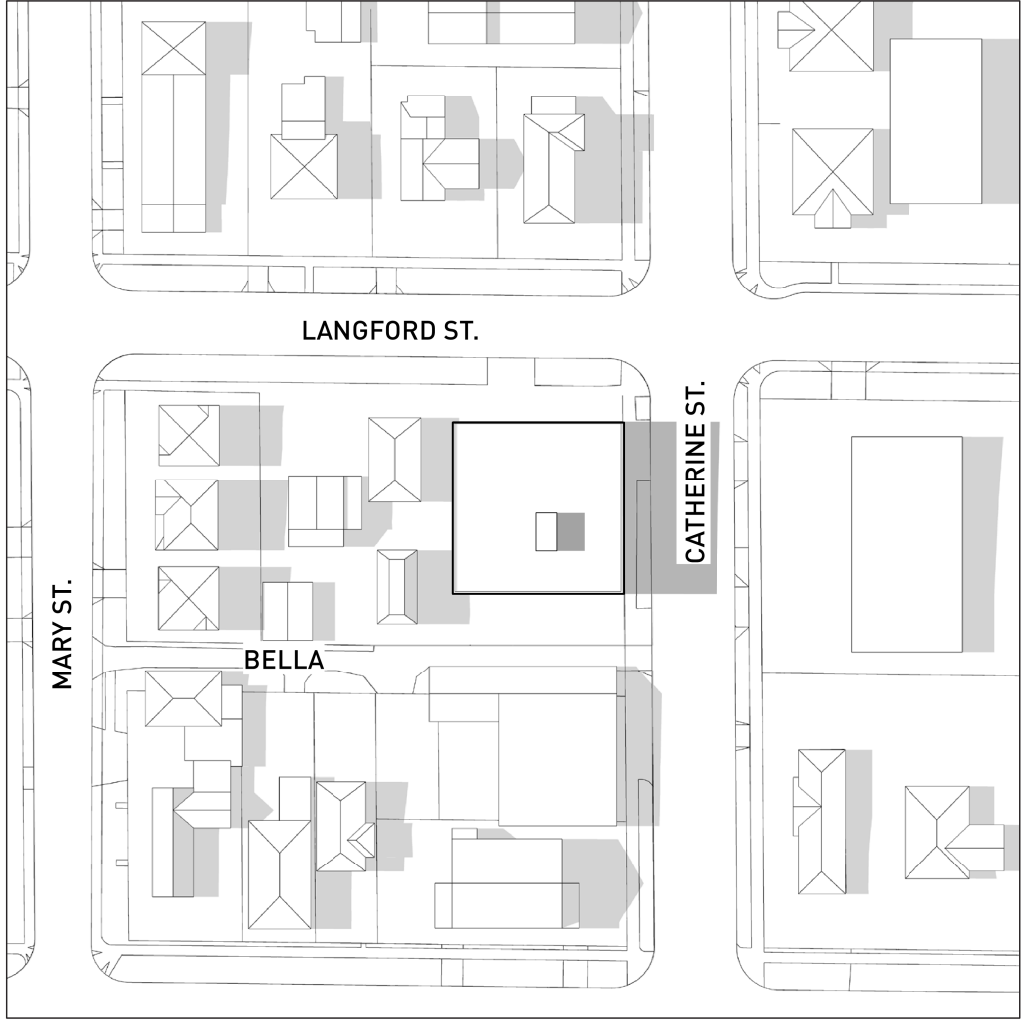
AG.1



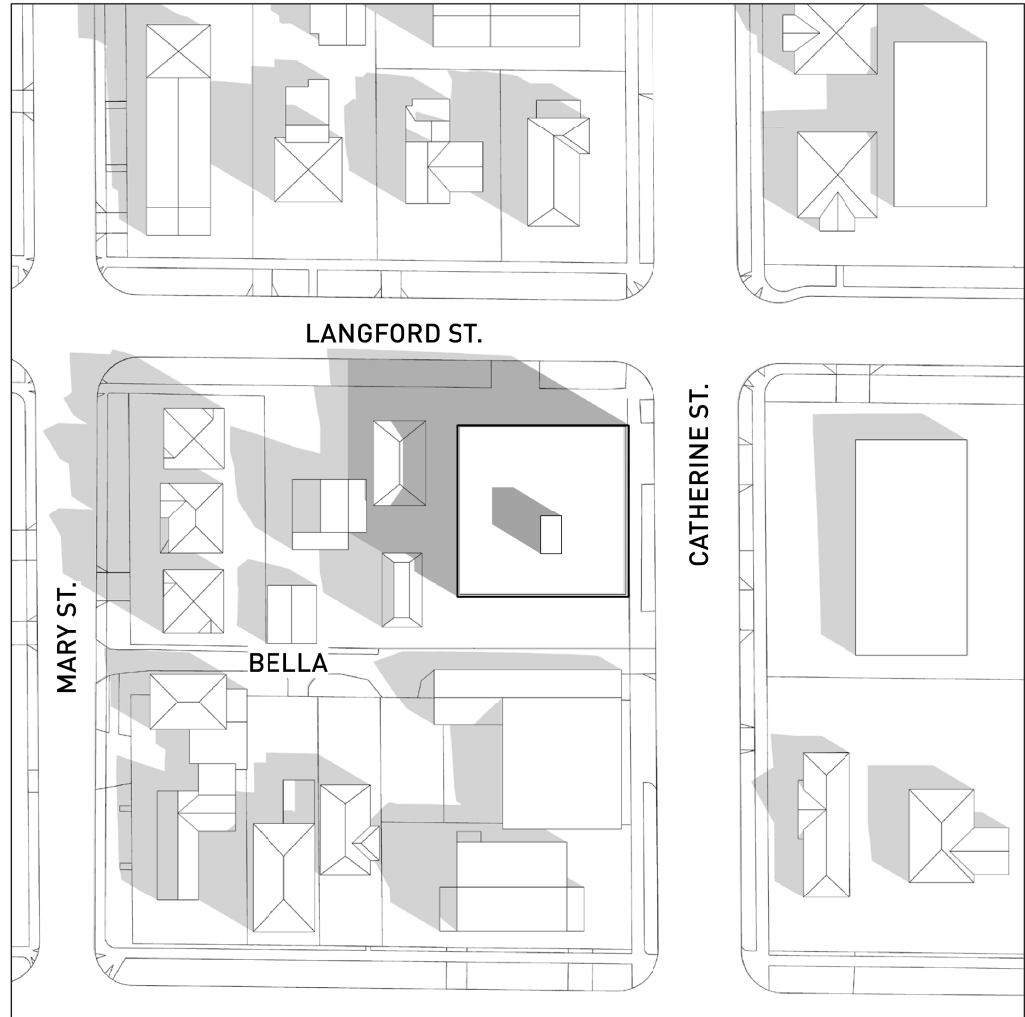
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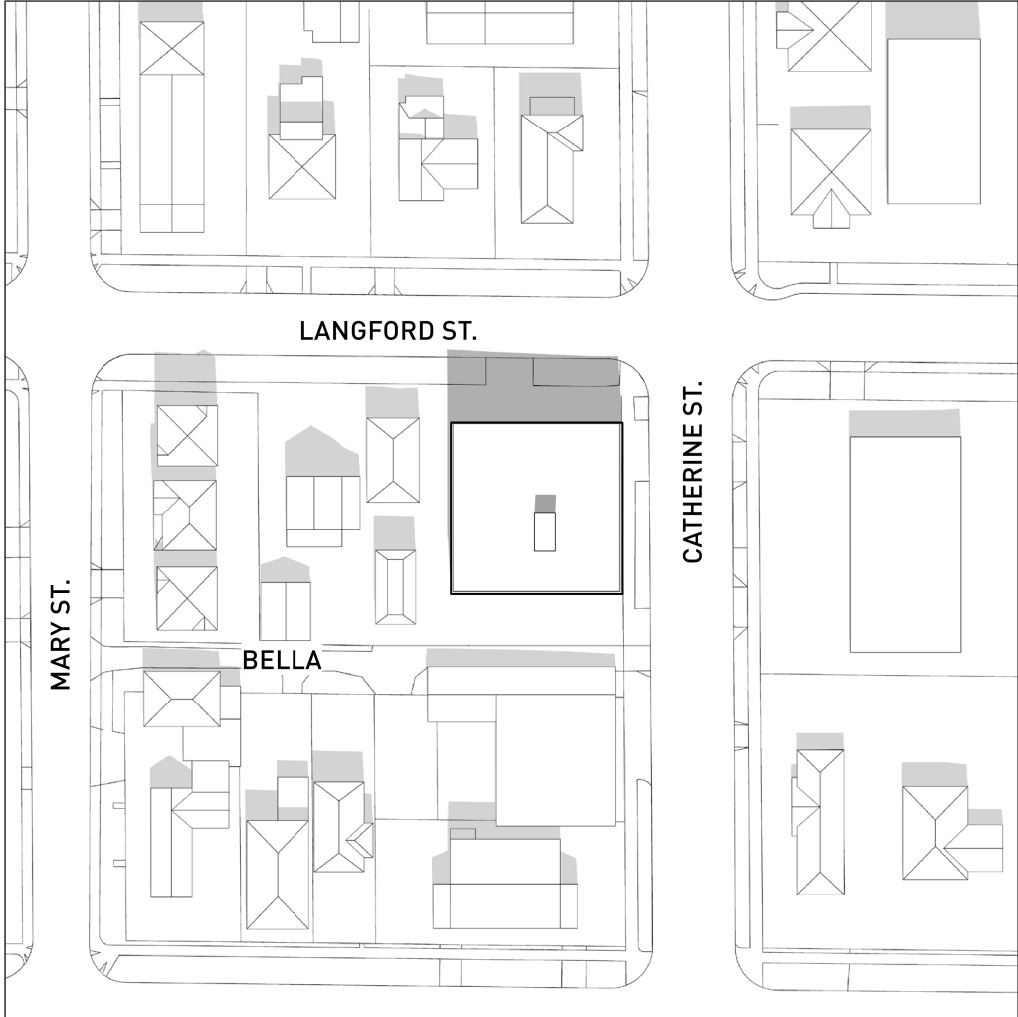
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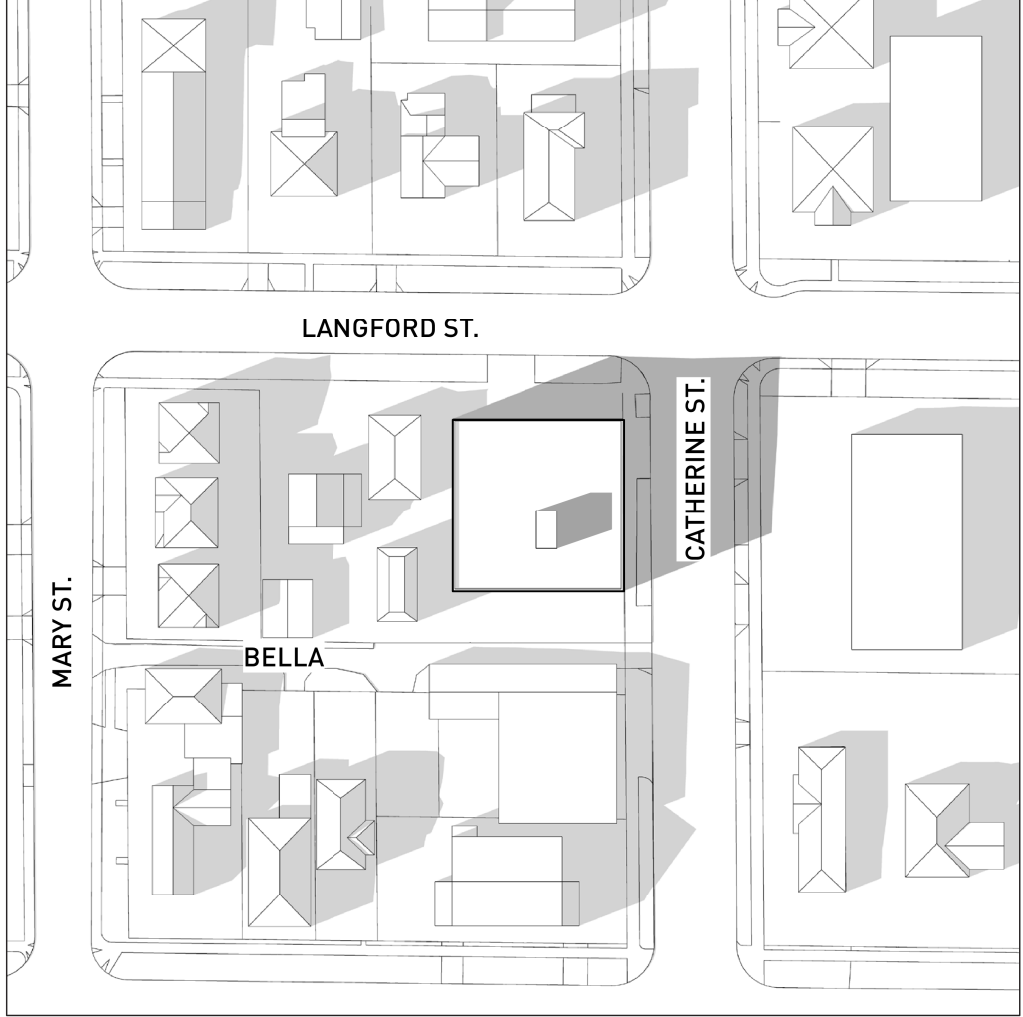
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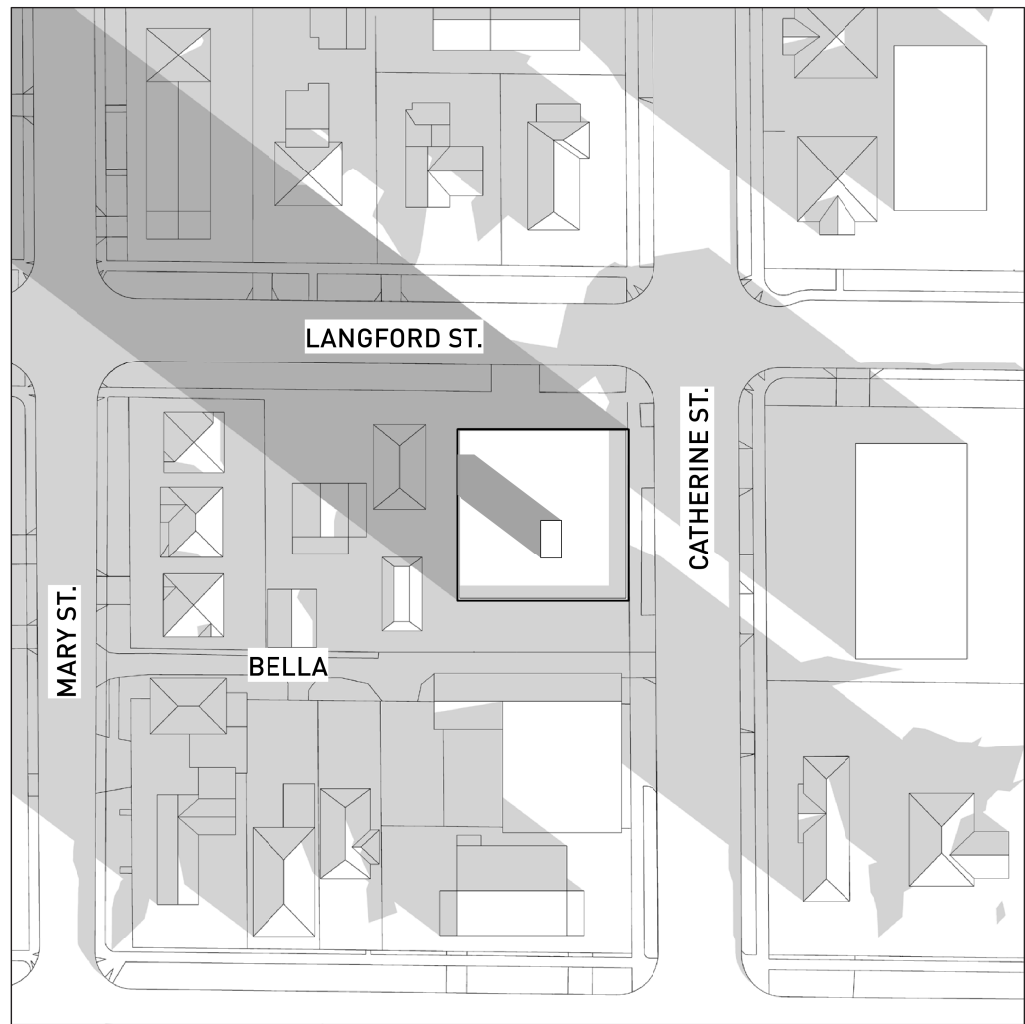
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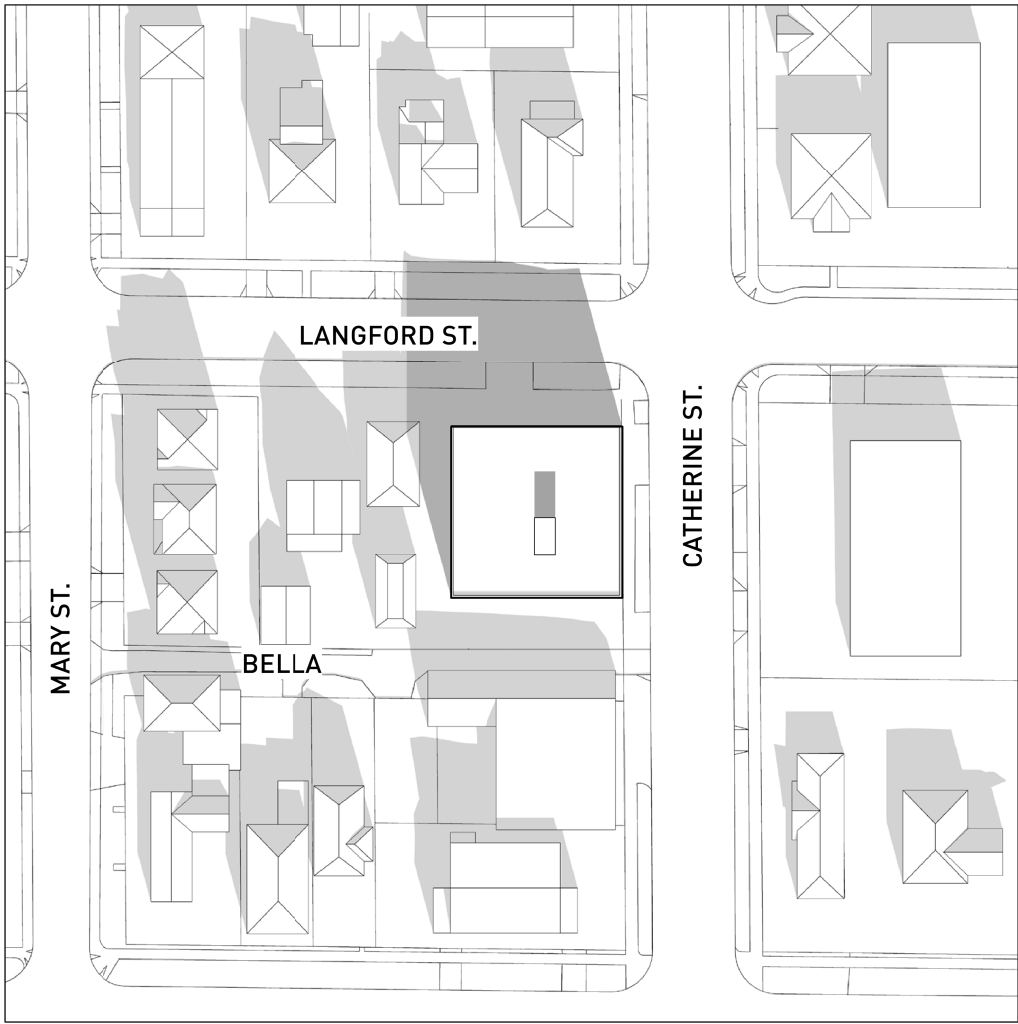
MARCH 20/SEPTEMBER 22 12:00 PM



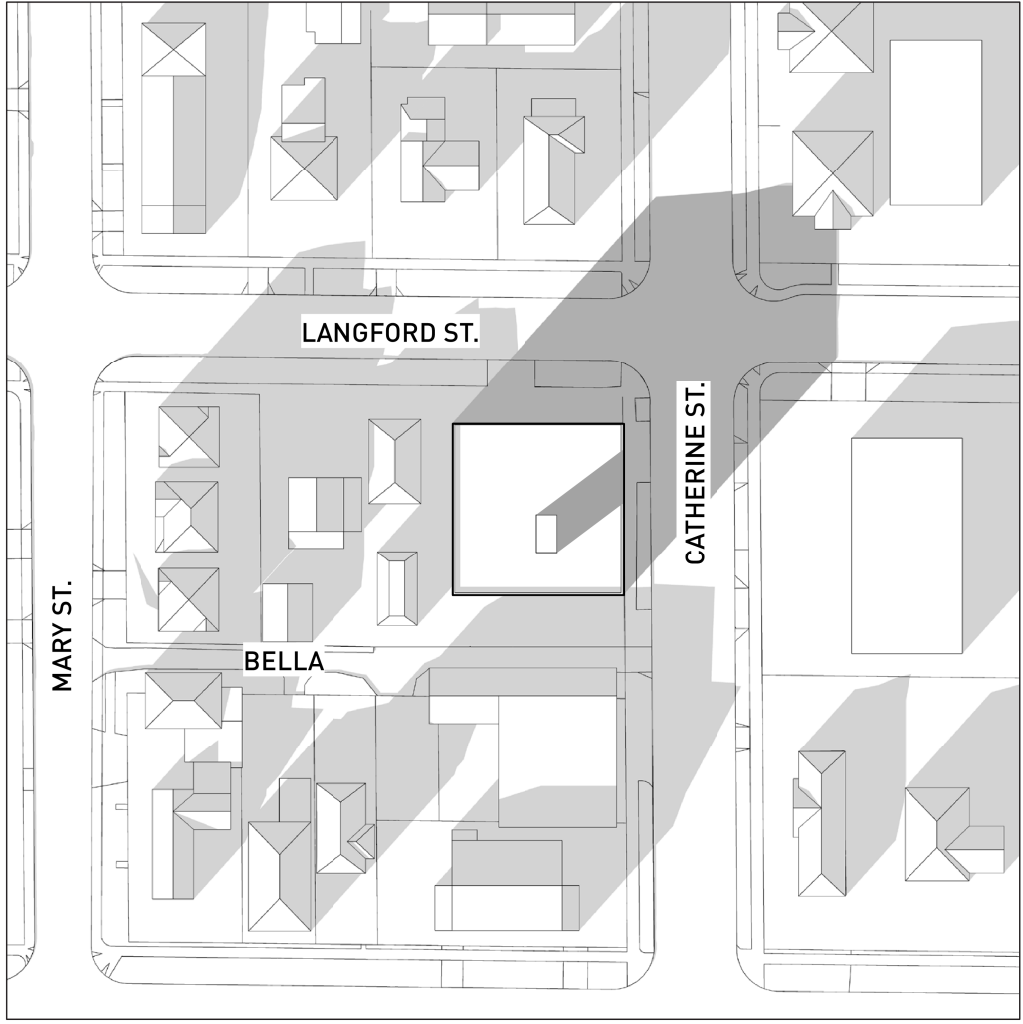
MARCH 20/SEPTEMBER 22 4:00 PM



DECEMBER 21 8:00 AM [DST]



DECEMBER 21 11:00 AM [DST]



DECEMBER 21 3:00 PM [DST]

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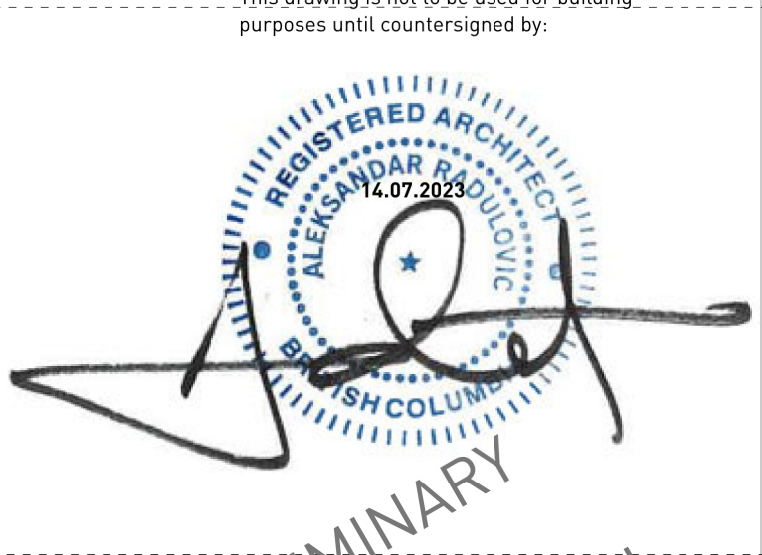
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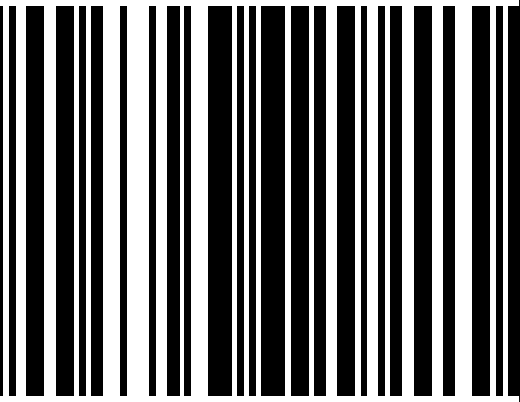
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VICTORIA, BC
SHADOW STUDIES Project
0646
Sheet

0 1.5 3 6 9 12 15


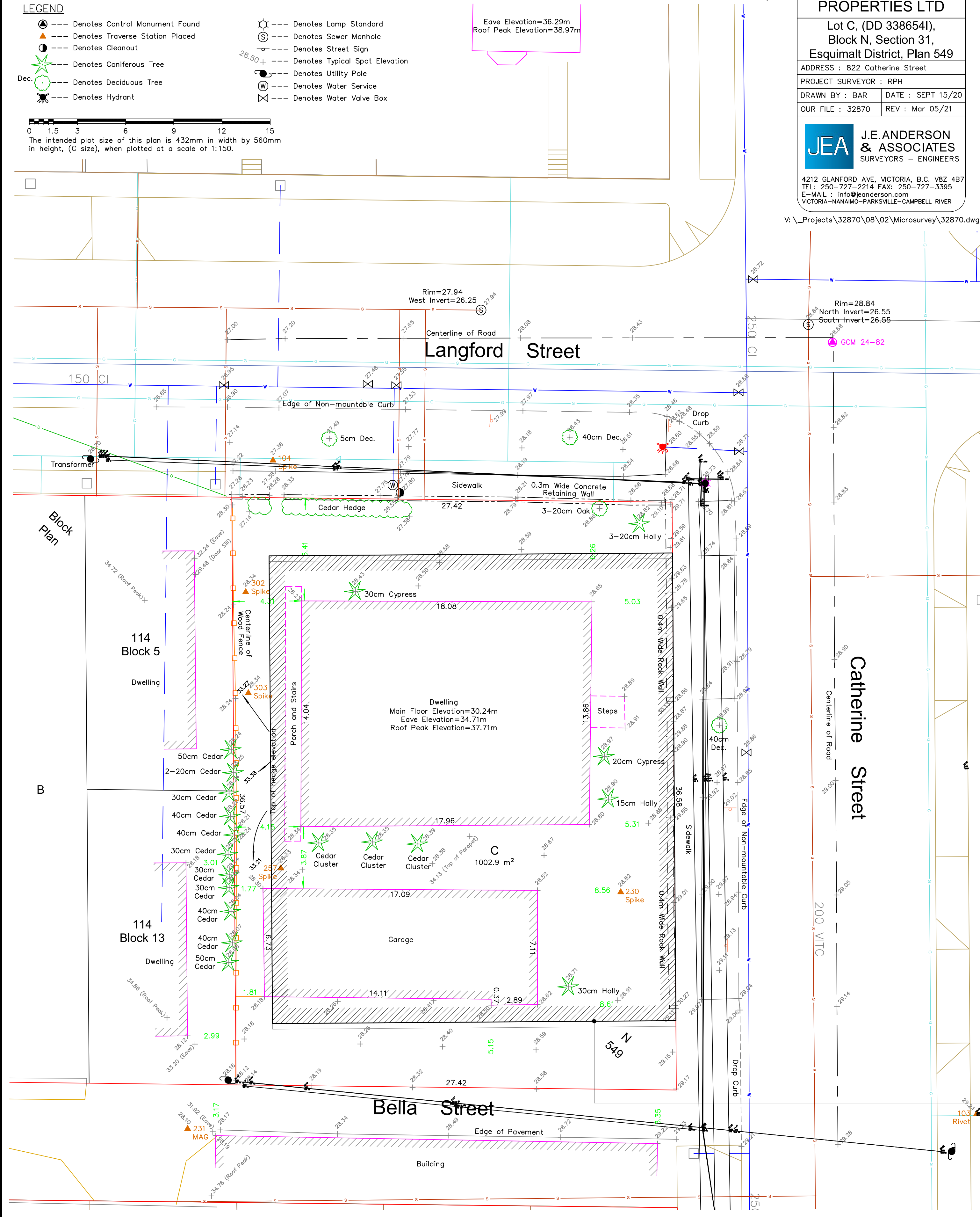
The intended plot size of this plan is 432mm in width by 560mm in height, (C size), when plotted at a scale of 1:150.

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PROJECT SURVEYOR : RPH	
DRAWN BY : BAR	DATE : SEPT 15/20
OUR FILE : 32870	REV : Mar 05/21

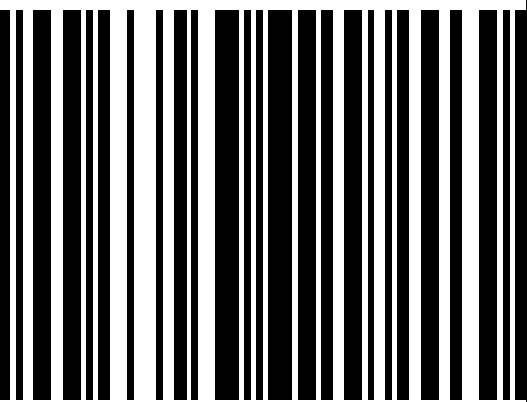
JEA **J.E.ANDERSON
& ASSOCIATES**
SURVEYORS – ENGINEERS

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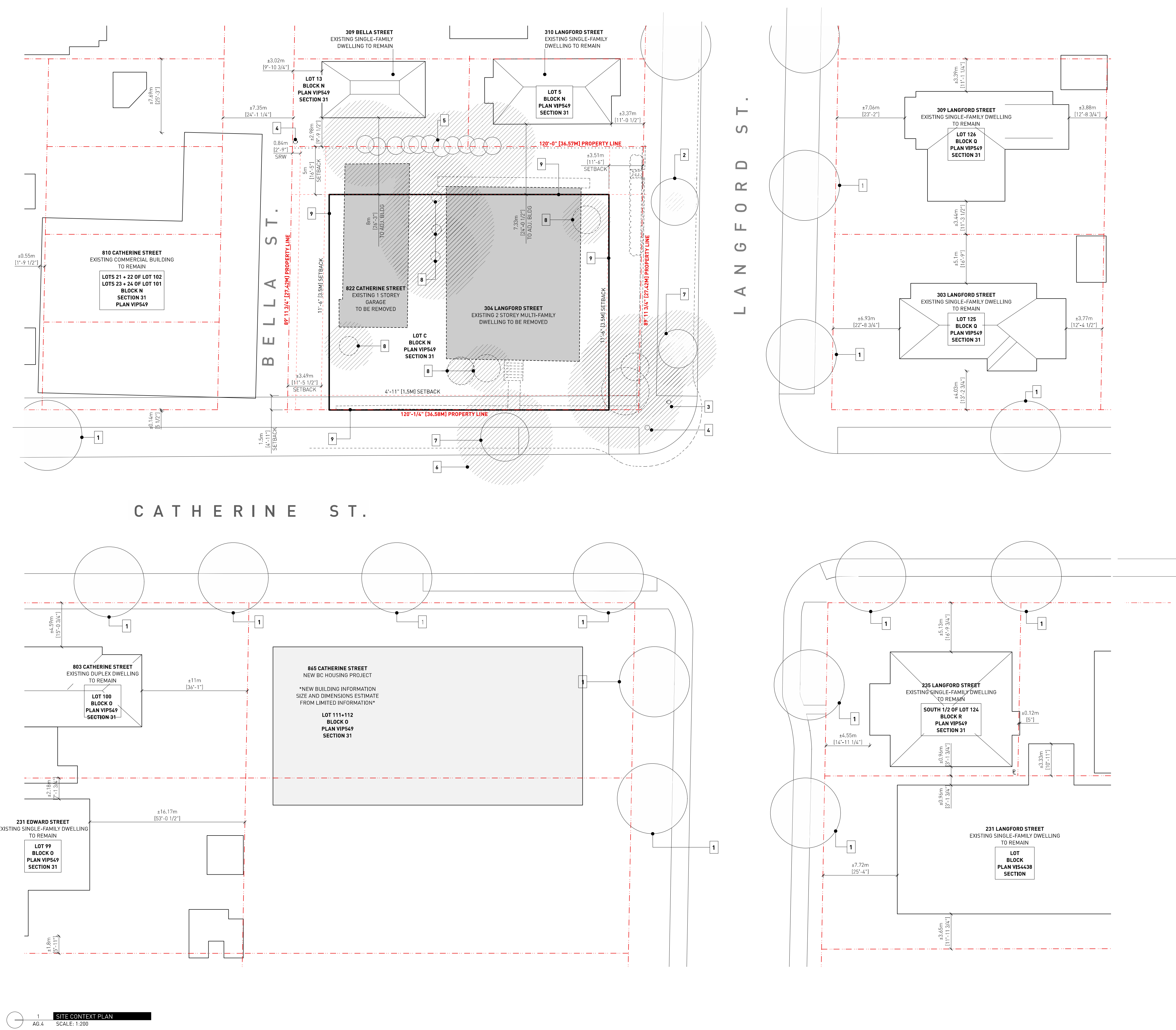


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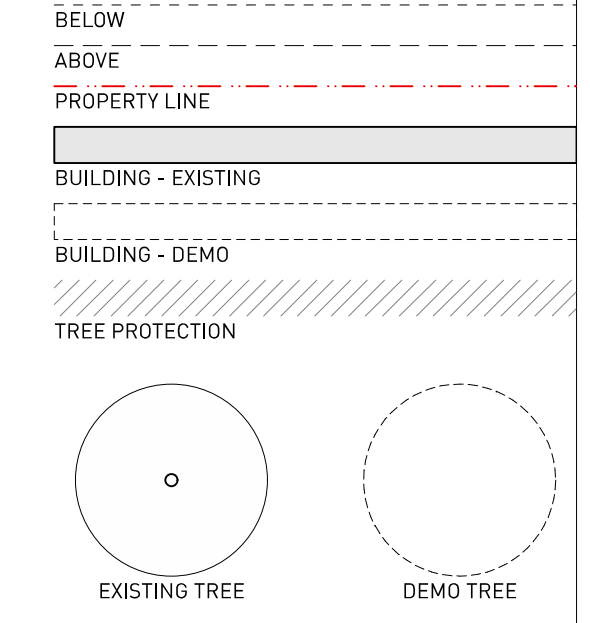


VICTORIA, BC

AG.3



LEGEND:



KEYNOTES - SITE CONTEXT

- 1. EXISTING MUNICIPAL TREE TO REMAIN
- 2. EXISTING DECIDUOUS TREE [5CM] TO REMAIN
- 3. EXISTING FIRE HYDRANT
- 4. EXISTING HYDRO POLE
- 5. EXISTING HEDGE [CEDAR] TO REMAIN
- 6. EXISTING PROTECTED TREE ROOT AREA
- 7. EXISTING DECIDUOUS TREE [40CM] TO REMAIN
- 8. TREE TO BE REMOVED
- 9. PROPOSED BUILDING FOOTPRINT

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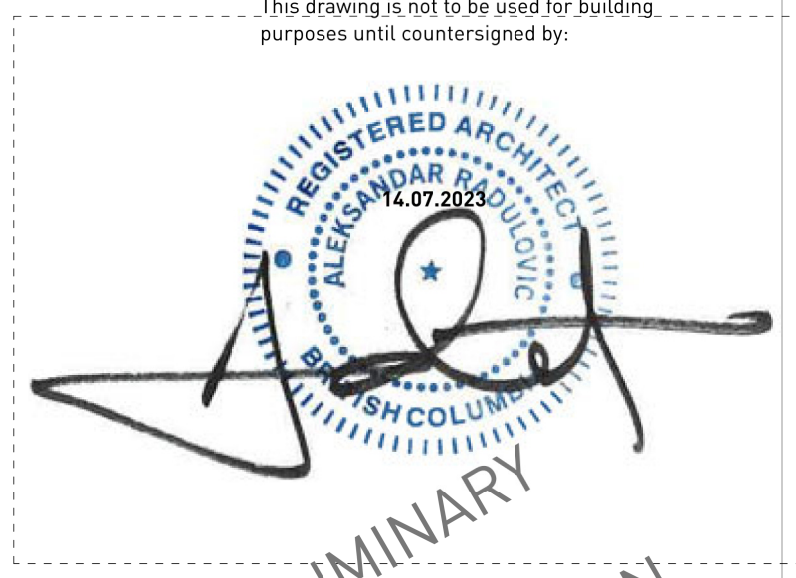
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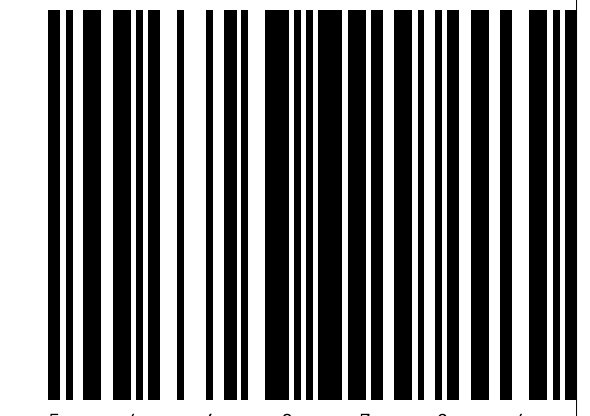
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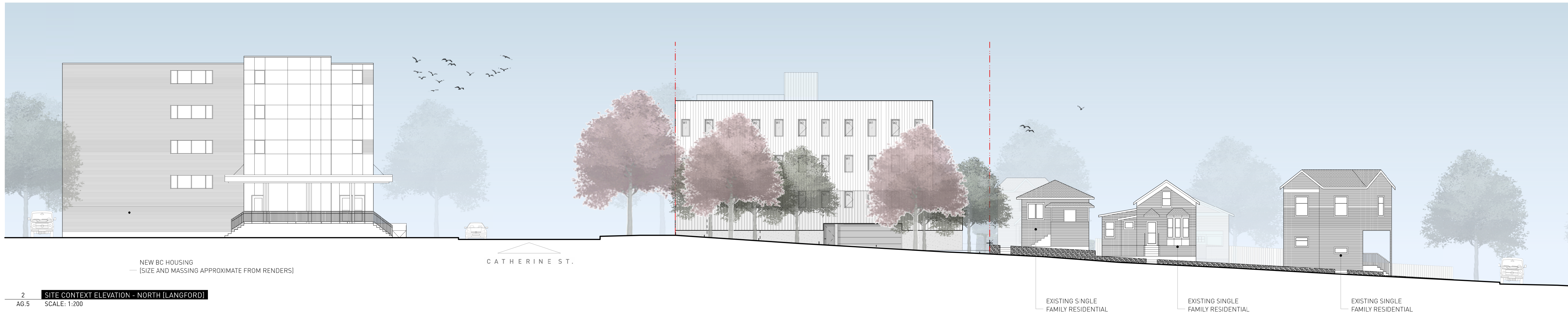
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SITE PLAN - CONTEXT Project
0646
Sheet

AG.4



1 SITE CONTEXT ELEVATION - SOUTH (BELLA)
AG.5 SCALE: 1:200



2 SITE CONTEXT ELEVATION - NORTH (LANGFORD)
AG.5 SCALE: 1:200



4 SITE CONTEXT ELEVATION - WEST
AG.5 SCALE: 1:200

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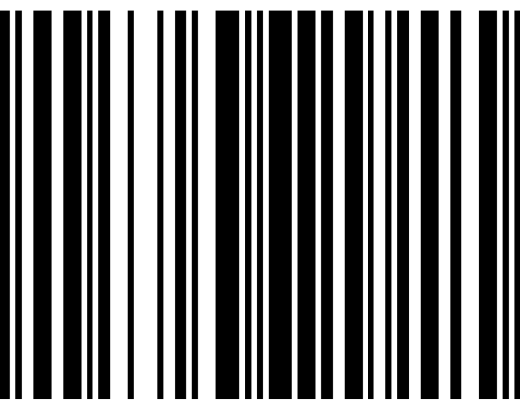
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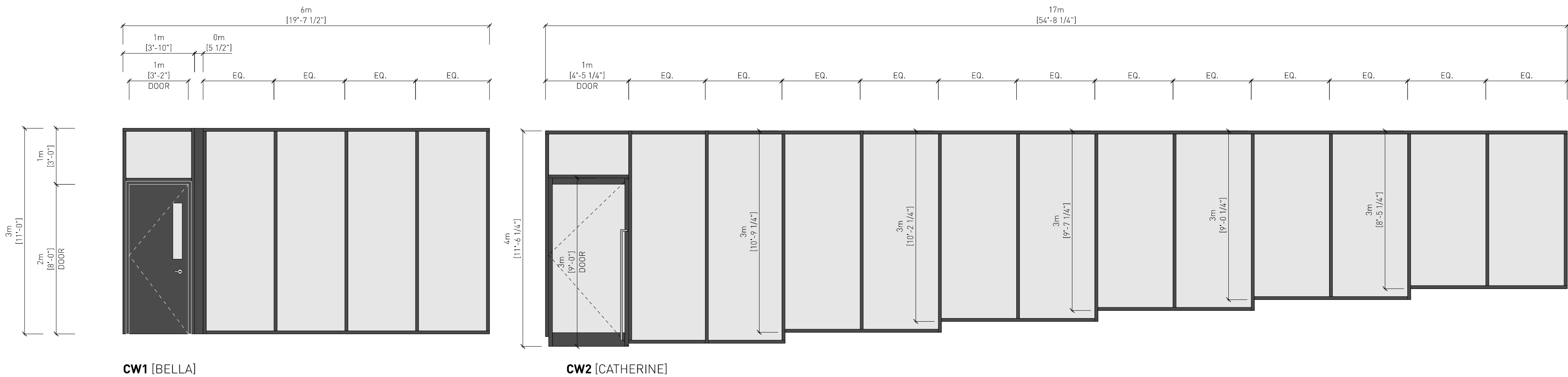
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BUILDING ELEVATION -
CONTEXT
Project
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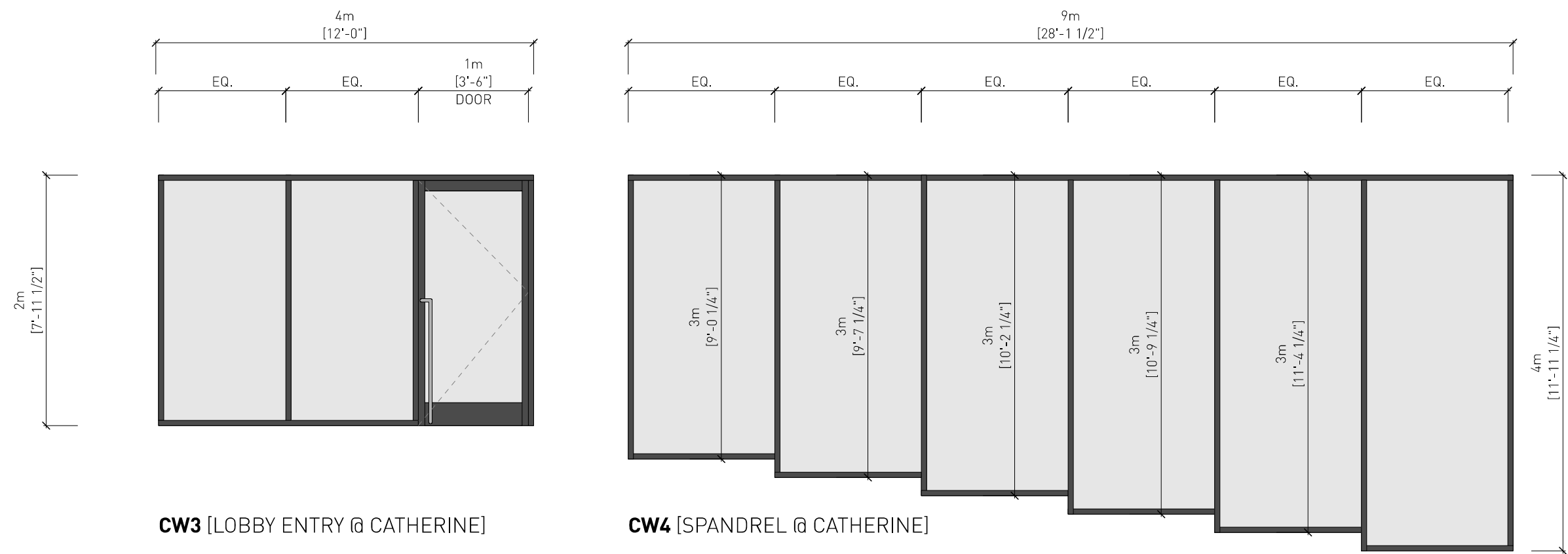
COMMERCIAL GLAZING SCHEDULE

CURTAIN WALL
DESCRIPTION: ALUMICOR, THERMALLY BROKEN ALUMINUM STOREFRONT
TEMPERED, DUAL PANE, LOW E COATING, ARGON FILL, LOW REFLECTIVITY COATING TO REDUCE INTERNAL GLARE
PRE-FINISHED ALUMINUM FLASHING AT HEADS AND SILLS



CW1 [BELLA]

CW2 [CATHERINE]



CW3 [LOBBY ENTRY @ CATHERINE]

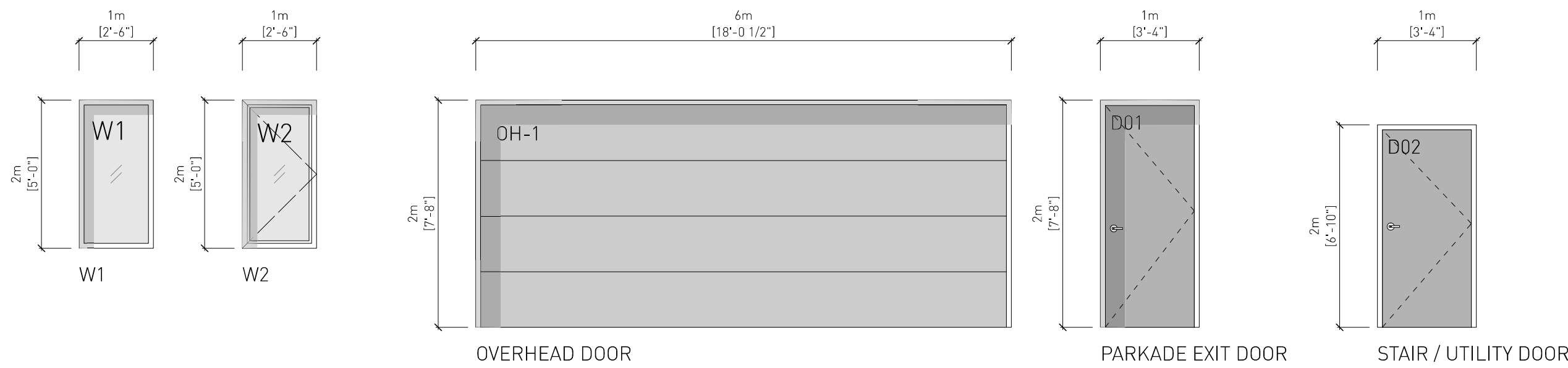
CW4 [SPANDREL @ CATHERINE]

RESIDENTIAL WINDOW & DOOR SCHEDULE

PICTURE / AWNING WINDOW
DESCRIPTION: PLYGEM, DESIGN ARCHITECTURAL SERIES, ALUMINUM CLAD VINYL

CASEMENT WINDOW
DESCRIPTION: PLYGEM, DESIGN ARCHITECTURAL SERIES, ALUMINUM CLAD VINYL

EXTERIOR DOOR
DESCRIPTION: SMOKE SEAL, WALL STOP, HINGE, PEEP HOLE, DEAD BOLT, LEVERED SET, CLOSER, DOOR SWEEP, UNIT#.



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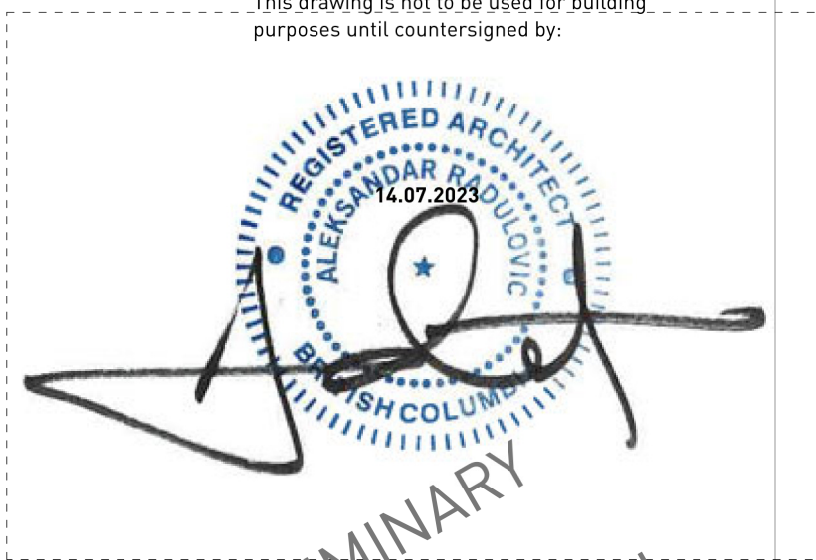
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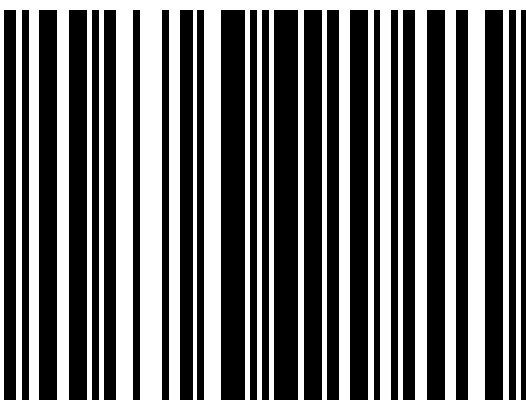
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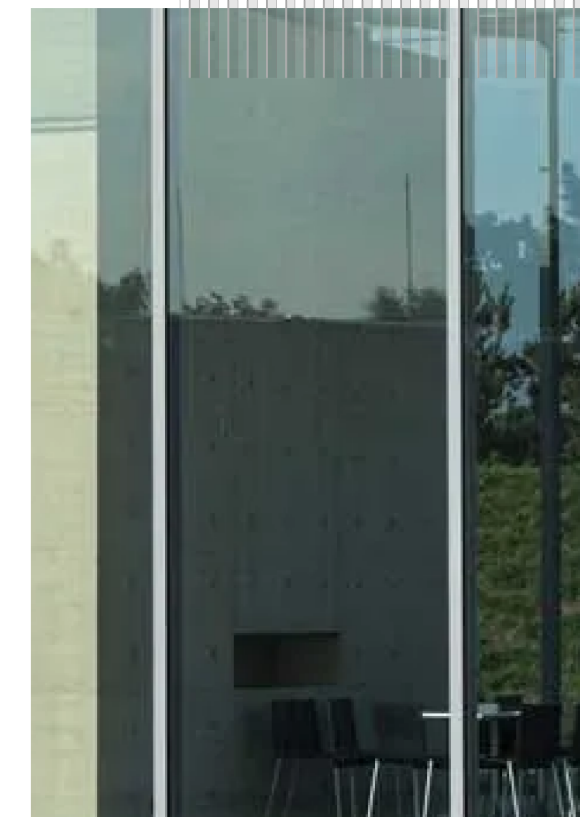
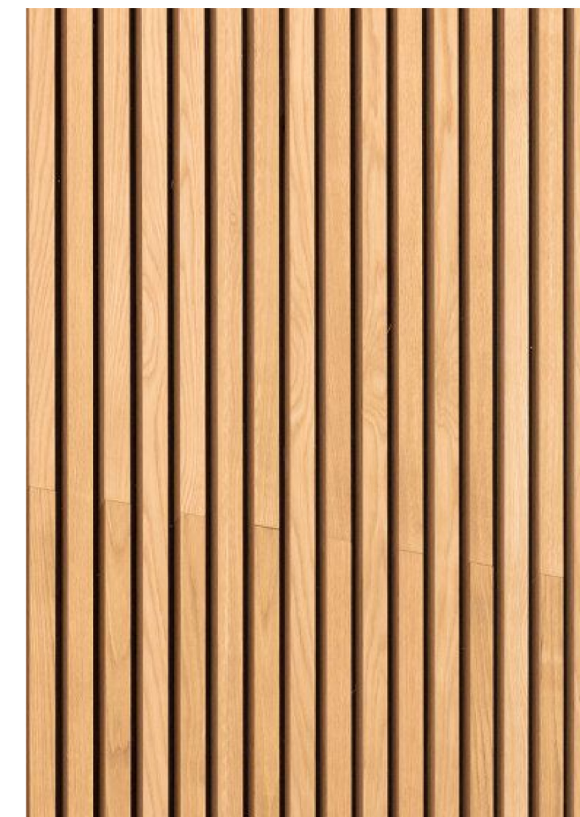
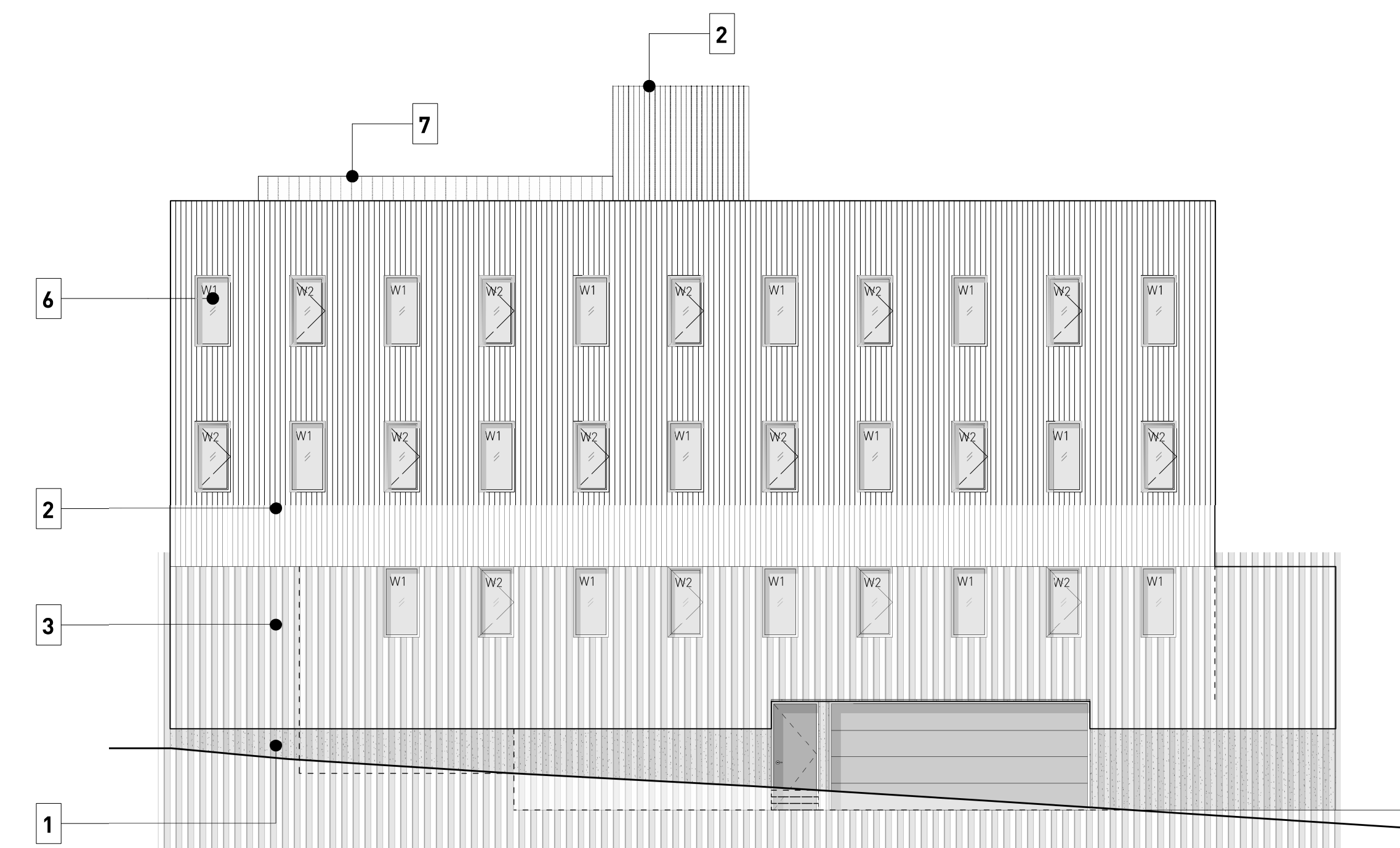
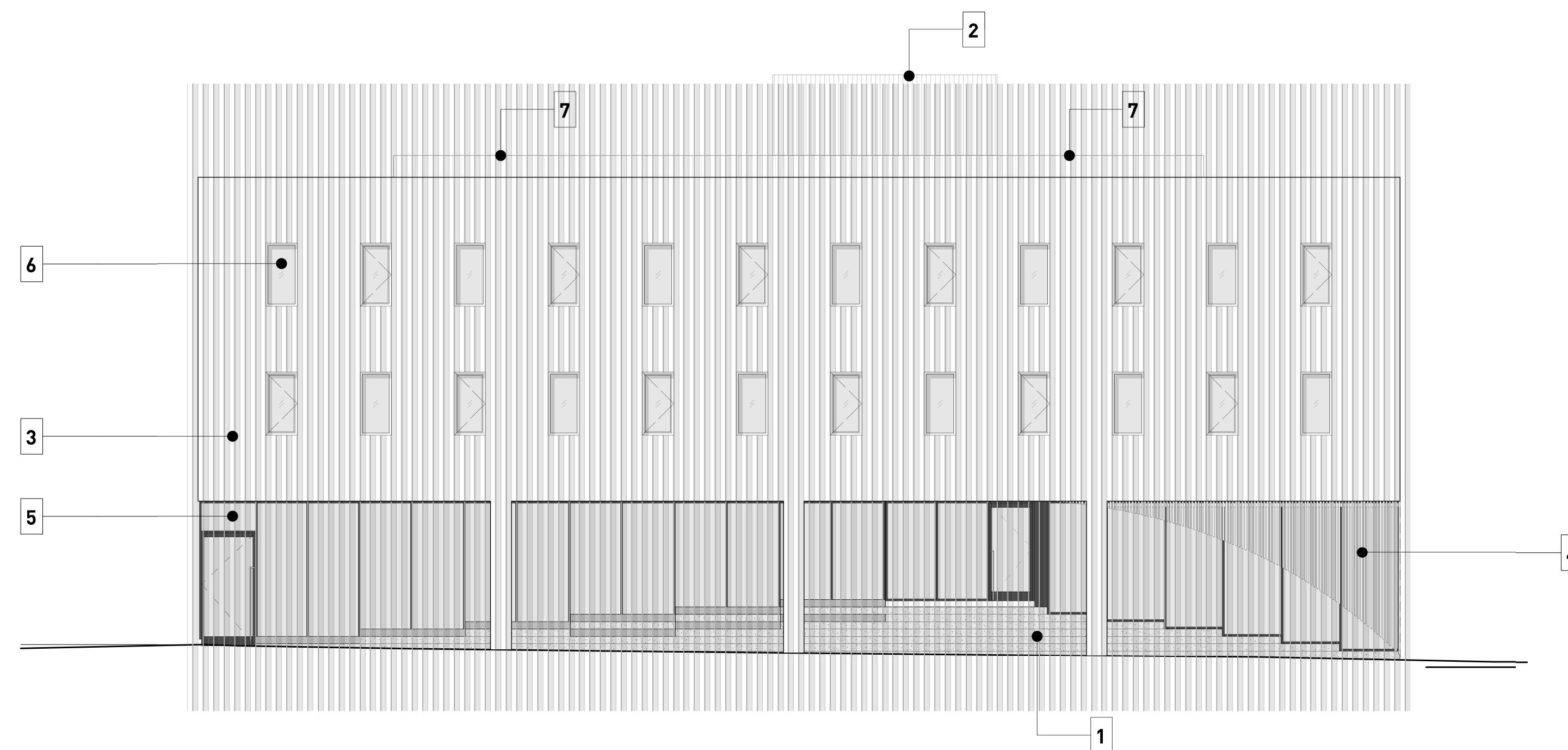


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822 CATHERINE STREET
+ 304 LANGFORD STREET

VICTORIA, BC

WINDOW SCHEDULE Project
0646
Sheet



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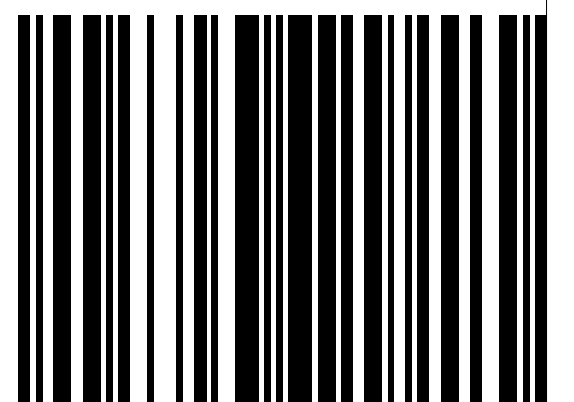
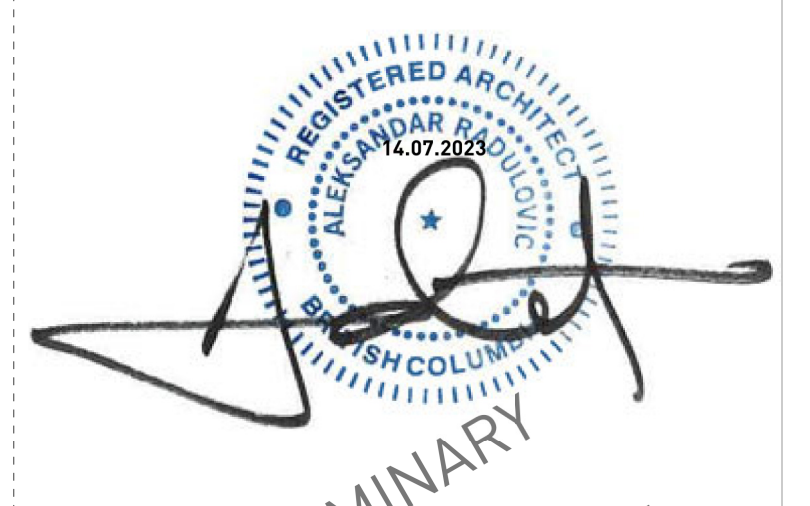
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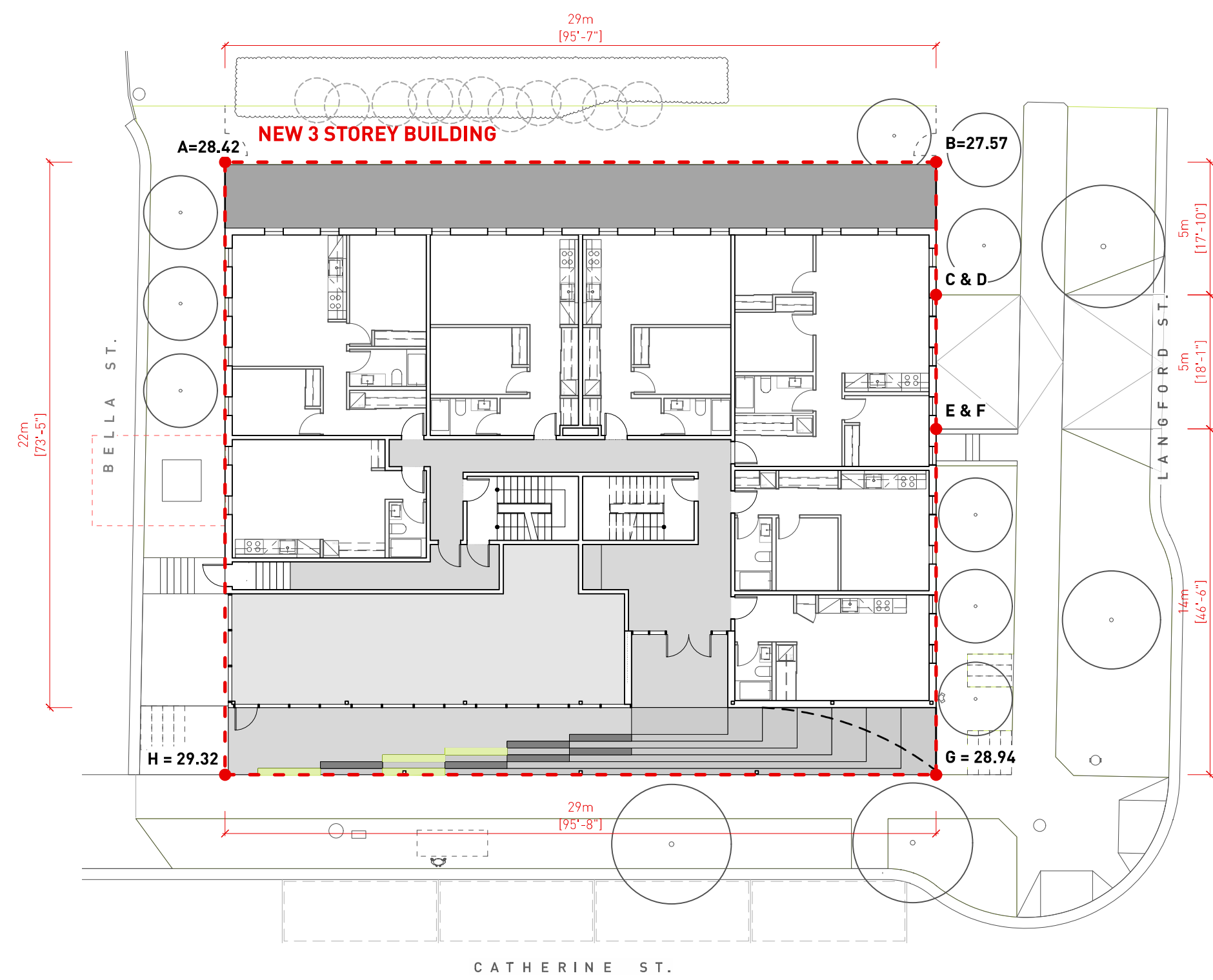
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VICTORIA, BC

MATERIAL BOARD	Project 0646 Sheet
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AG.7

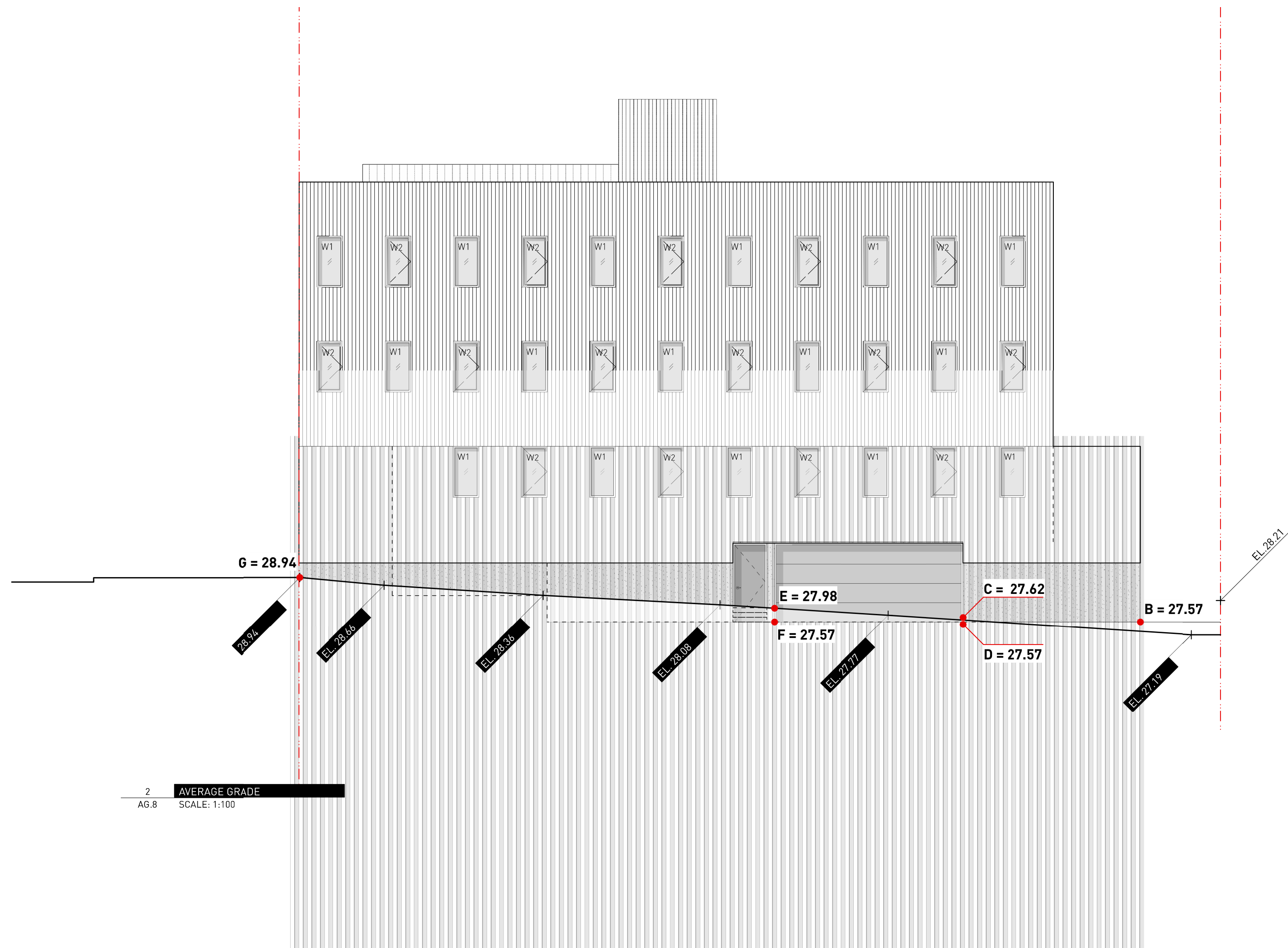


1 AVERAGE GRADE
AG.8
SCALE: 1:200

GRADE POINTS		BUILDING PERIMETER
A	28.42	105.74
B	27.57	
C	27.62	
D	27.52	
E	27.98	
F	27.52	
G	28.94	
H	29.32	

CALCULATION:	AVERAGES	DISTANCE	TOTALS
A & B	28.00	29.15	816.05
B & C	27.60	5.40	149.01
D & F	27.52	5.50	151.36
E & G	28.46	14.18	403.56
G & H	29.13	29.15	849.05
H & I	28.87	22.37	645.71

	105.74	3014.75
AVERAGE GRADE		
28.51		



2 AVERAGE GRADE
AG.8
SCALE: 1:100

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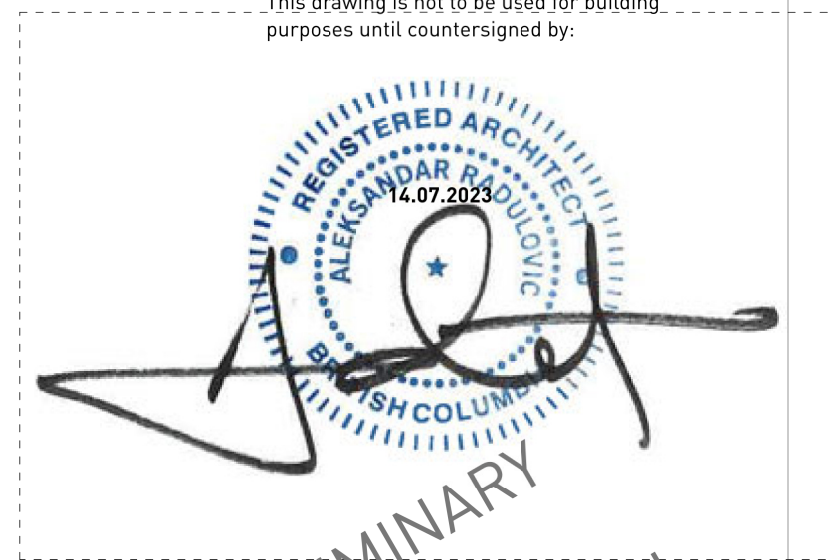
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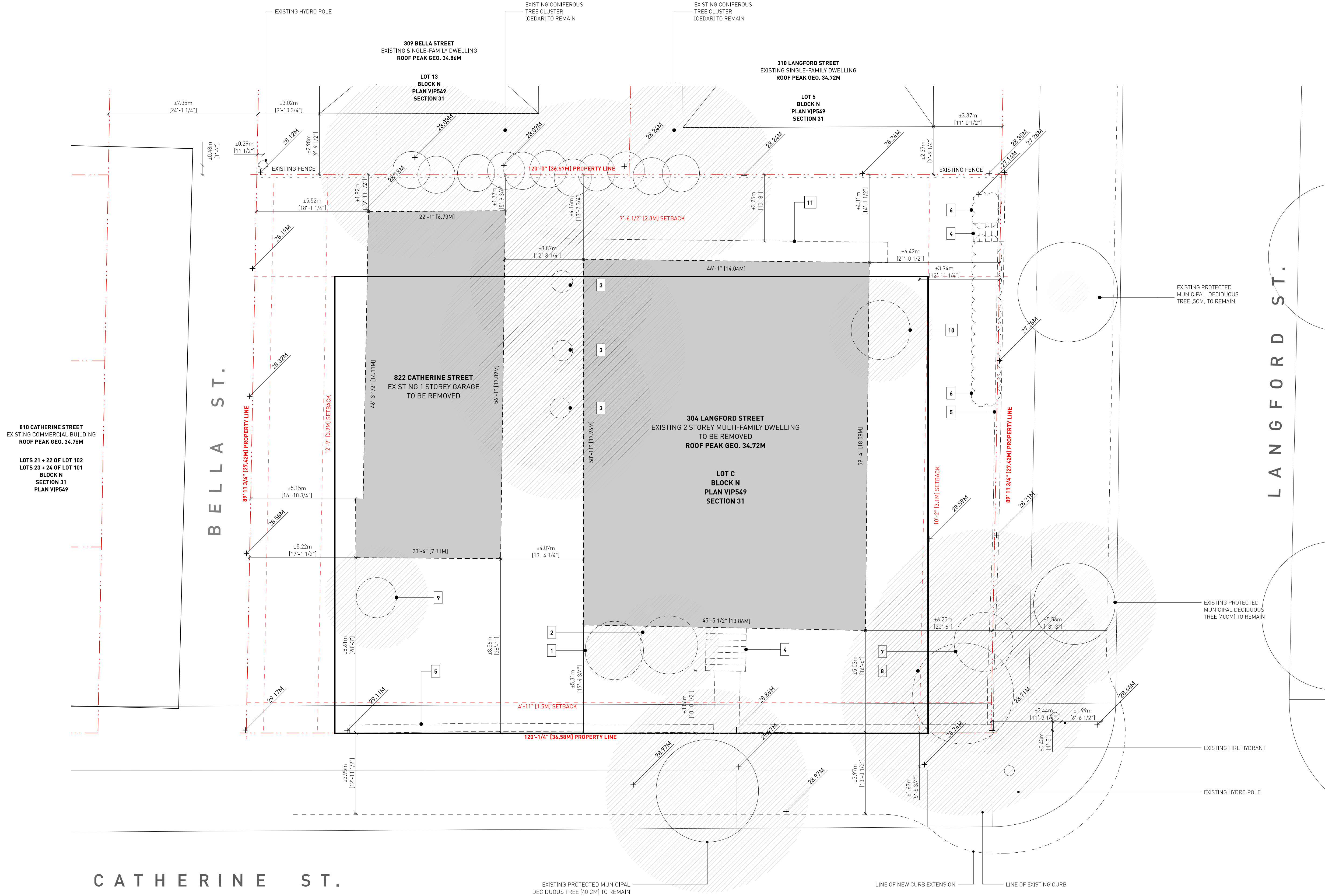
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822 CATHERINE STREET
+ 304 LANGFORD STREET

VICTORIA, BC

AVERAGE GRADE
CALCULATION
Project
0646
Sheet

AG.8



1
A0.1 EXISTING / DEMO PLAN
SCALE: 1:100

KEYNOTES - SITE EXISTING + DEMO

- EXISTING CONIFEROUS TREE (15CM HOLLY) TO BE REMOVED
- EXISTING CONIFEROUS TREE (20CM CYPRESS) TO BE REMOVED
- EXISTING CONIFEROUS TREE (CEDAR) TO BE REMOVED
- EXISTING STEPS TO BE REMOVED
- EXISTING RETAINING WALL TO BE REMOVED
- EXISTING HEDGE (CEDAR) TO BE REMOVED
- EXISTING PROTECTED DECIDUOUS TREE (3-20CM OAK) TO BE REMOVED
- EXISTING PROTECTED CONIFEROUS TREE (3-20CM HOLLY) TO BE REMOVED
- EXISTING CONIFEROUS TREE (30CM CYPRESS) TO BE REMOVED
- EXISTING PORCH + STEPS TO BE REMOVED

LEGEND:

- EXISTING BUILDING (TO BE REMOVED)
- EXISTING BUILDING (TO REMAIN)
- PROPERTY LINE
- SETBACK LINE
- EXISTING GAS LINE
- EXISTING WATER MAIN
- EXISTING SANITARY LINE
- EXISTING FENCE
- PROPOSED CONCRETE HARDSCAPE
- EXISTING TREE (TO BE REMOVED)
- EXISTING TREE ROOT AREA
- EXISTING HYDRO POLE
- EXISTING FIRE HYDRANT

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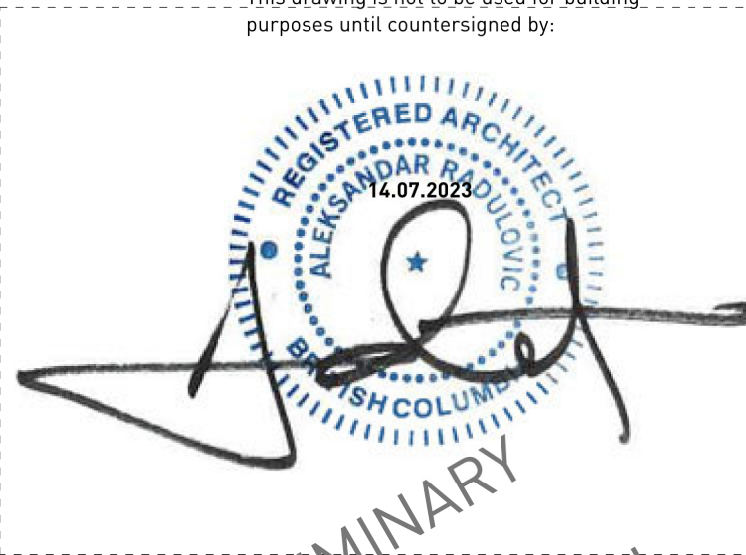
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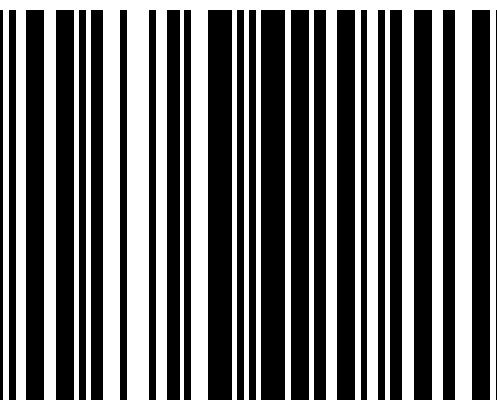
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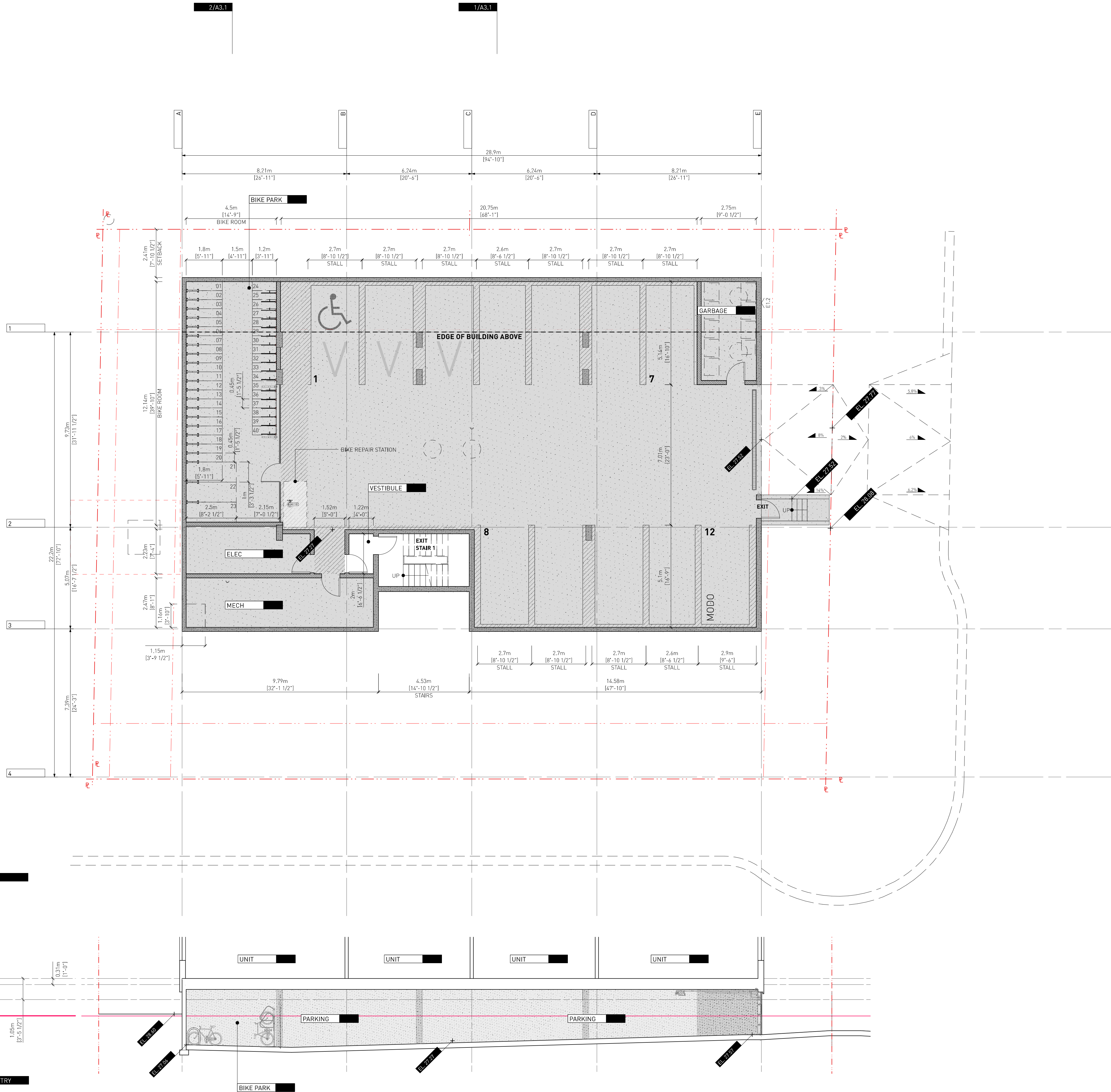
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SITE PLAN - EXISTING +
DEMOLITION Project
0646
Sheet

A0.1



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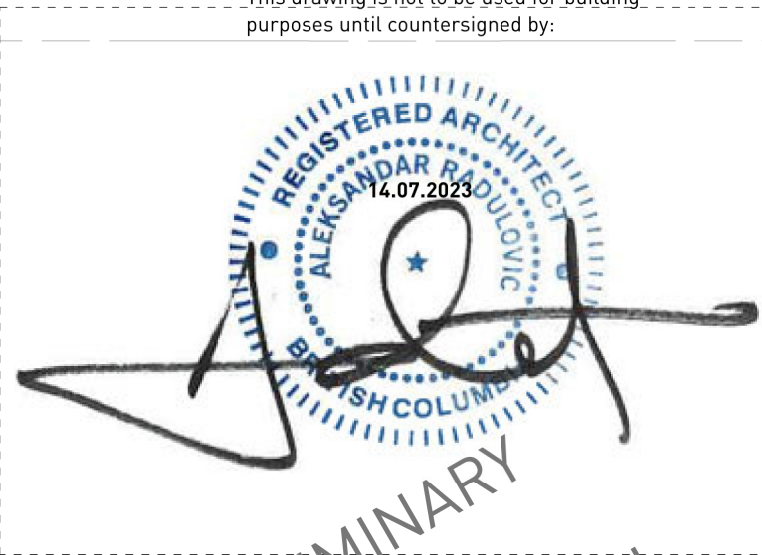
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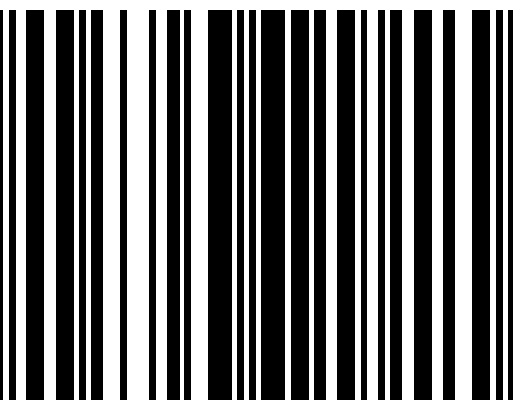
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+ 304 LANGFORD STREET

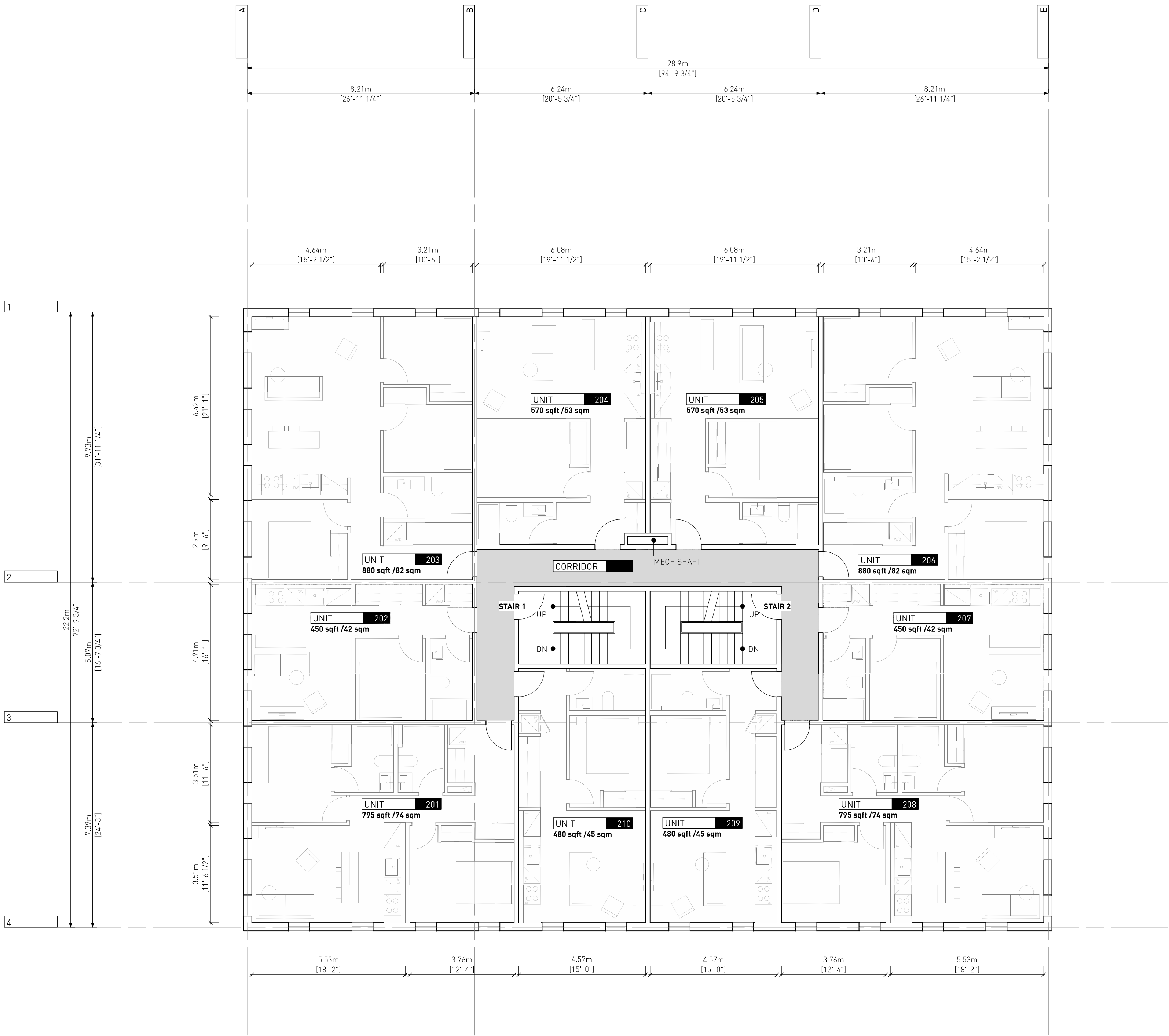
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LEVEL 00 PLAN Project
0646
Sheet

A1.1



A1.2



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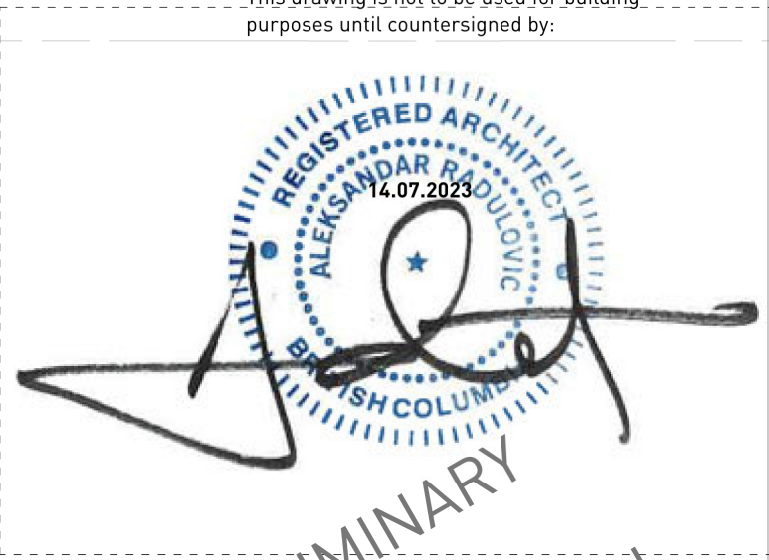
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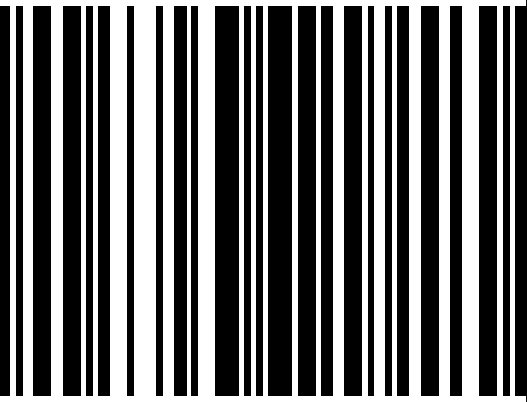
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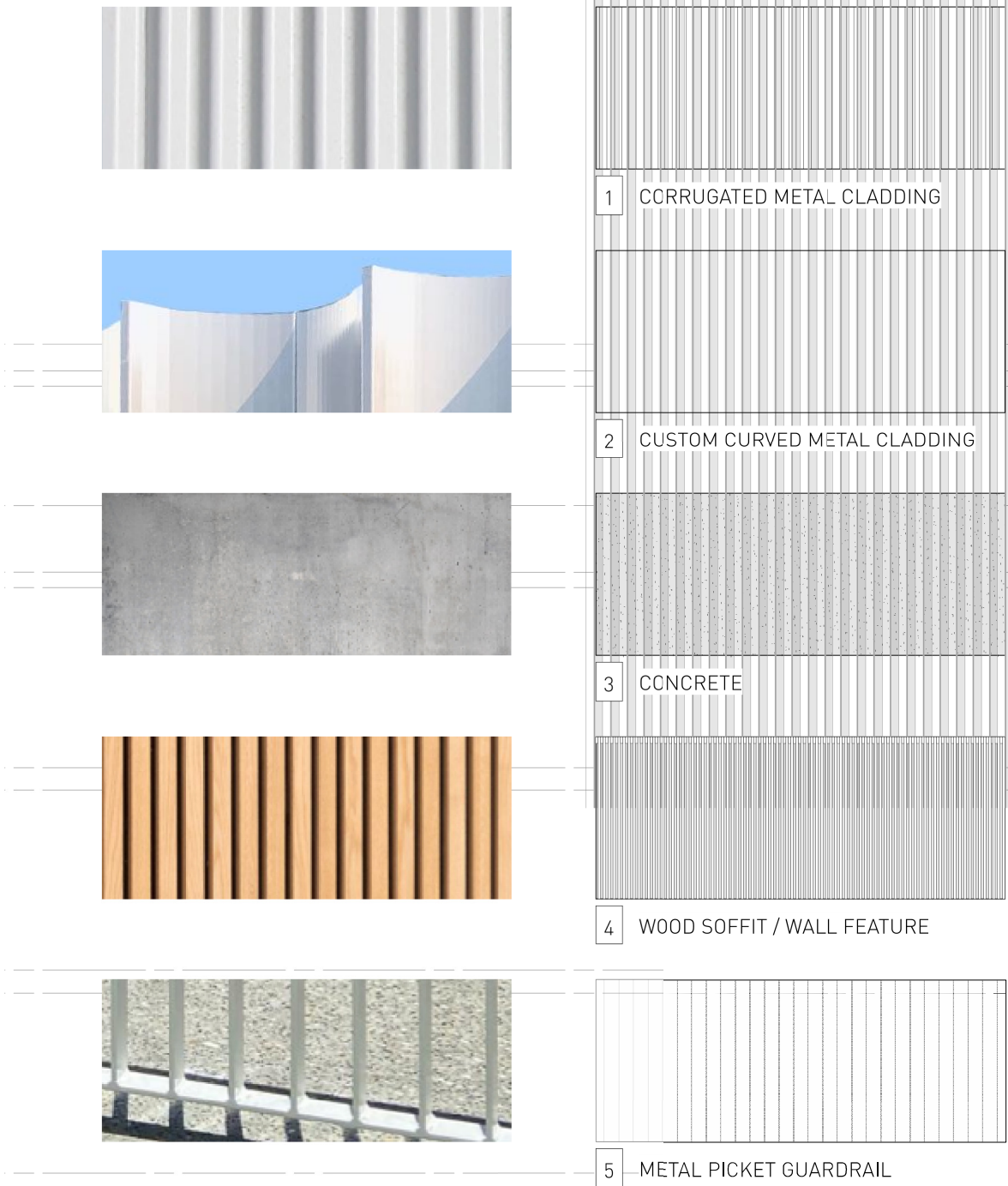
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+ 304 LANGFORD STREET

VICTORIA, BC

LEVEL 02 / 03 PLAN Project
0646 Sheet

A1.3

LEGEND:



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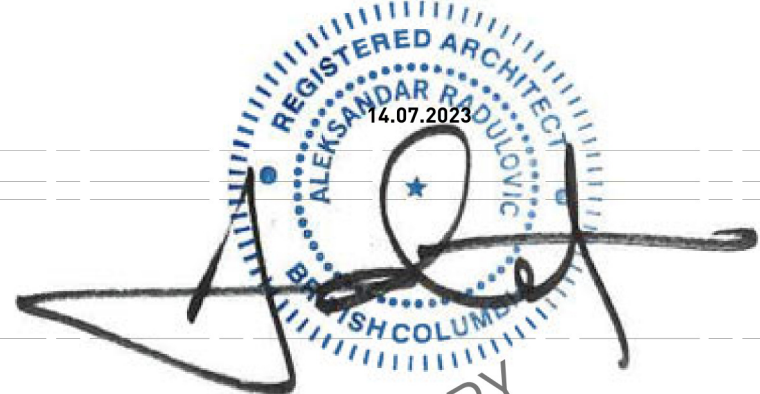
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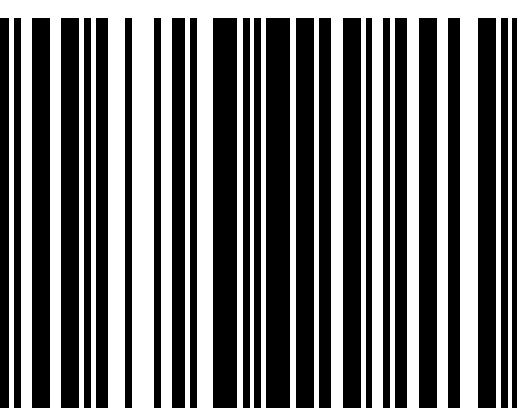
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822 CATHERINE STREET
+ 304 LANGFORD STREET

VICTORIA, BC

BUILDING ELEVATIONS Project
0646
Sheet

A2.1

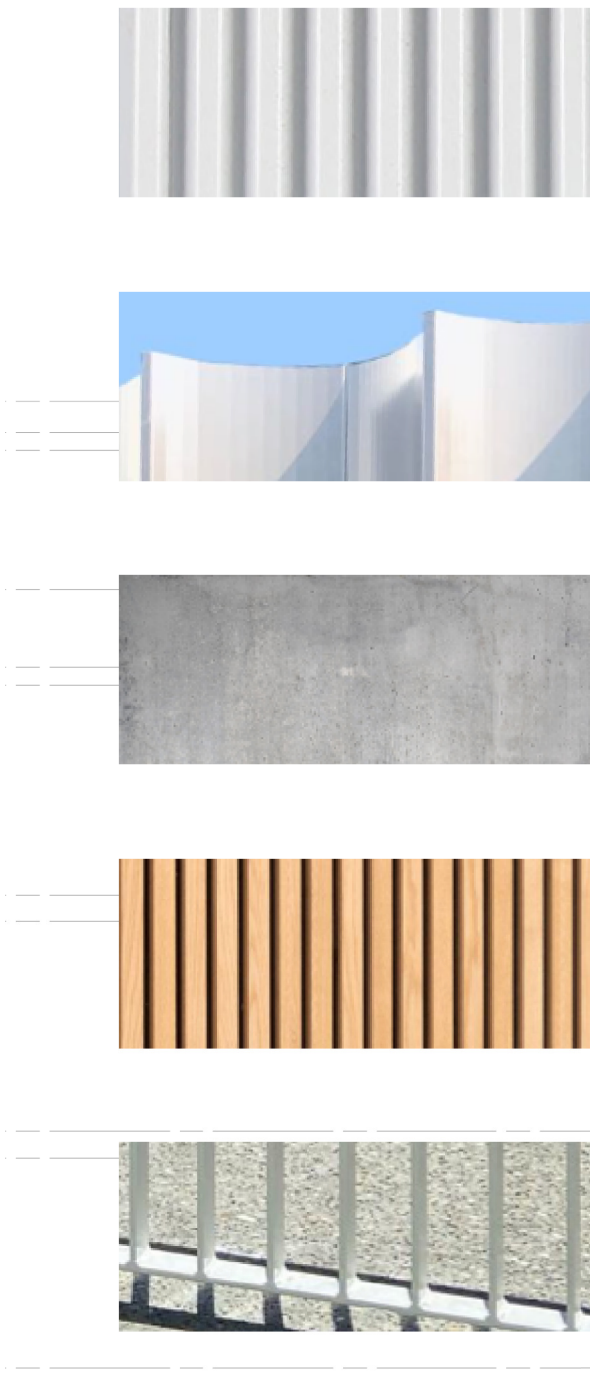


1 EAST ELEVATION (CATHERINE ST.)
A2.1 SCALE: 1:100



2 NORTH ELEVATION (LANGFORD ST.)
A2.1 SCALE: 1:100

LEGEND:



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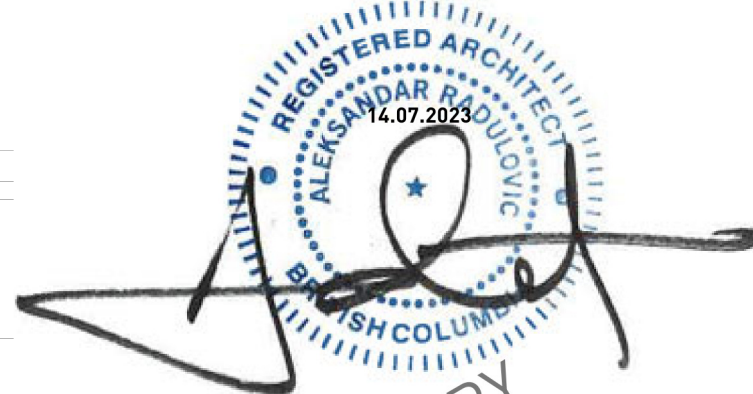
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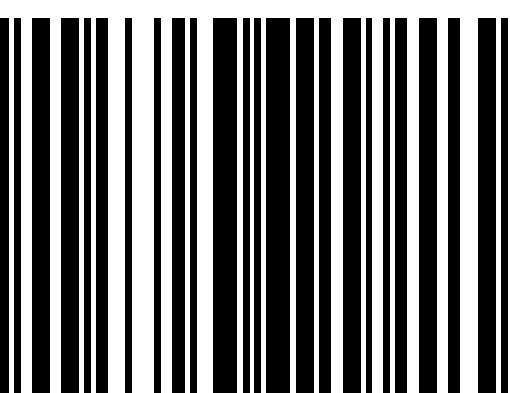
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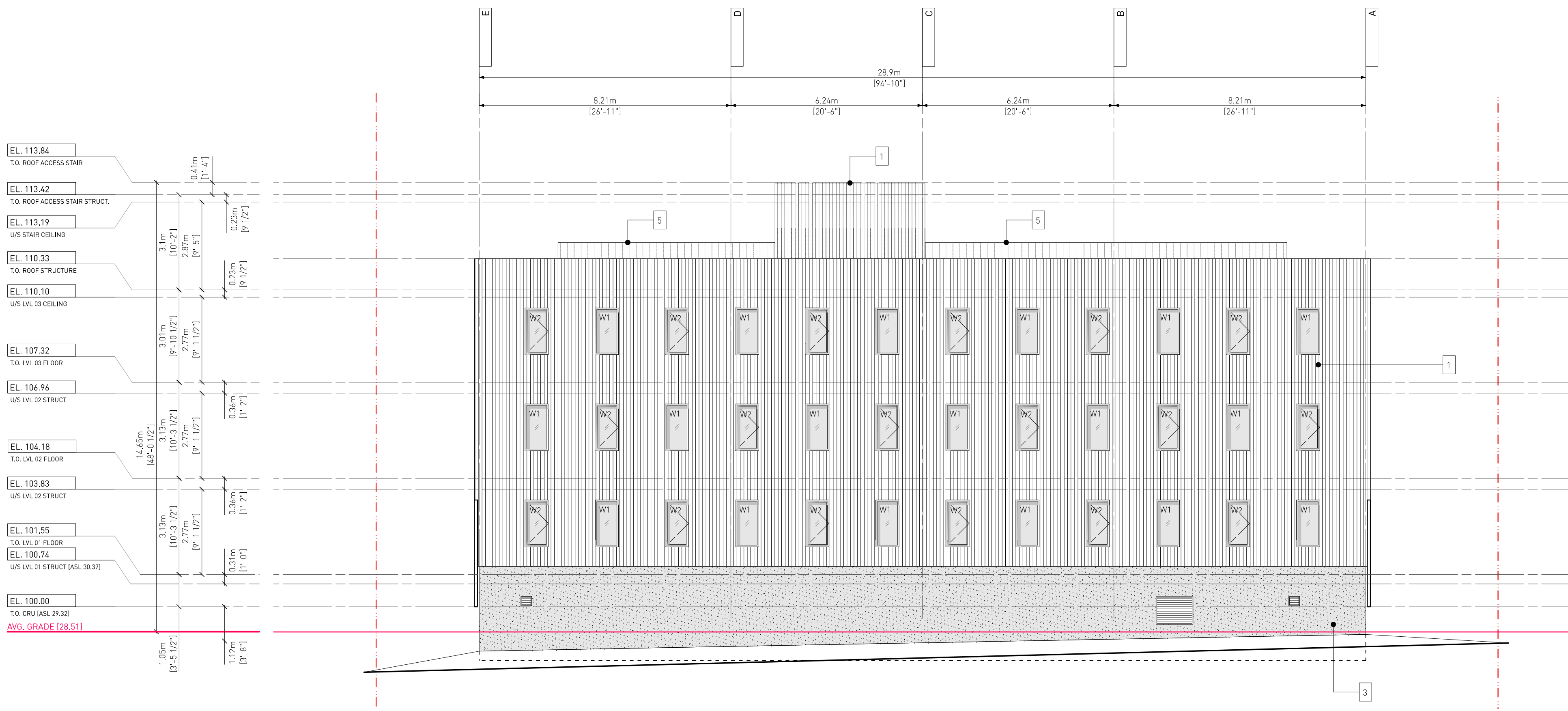
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+ 304 LANGFORD STREET

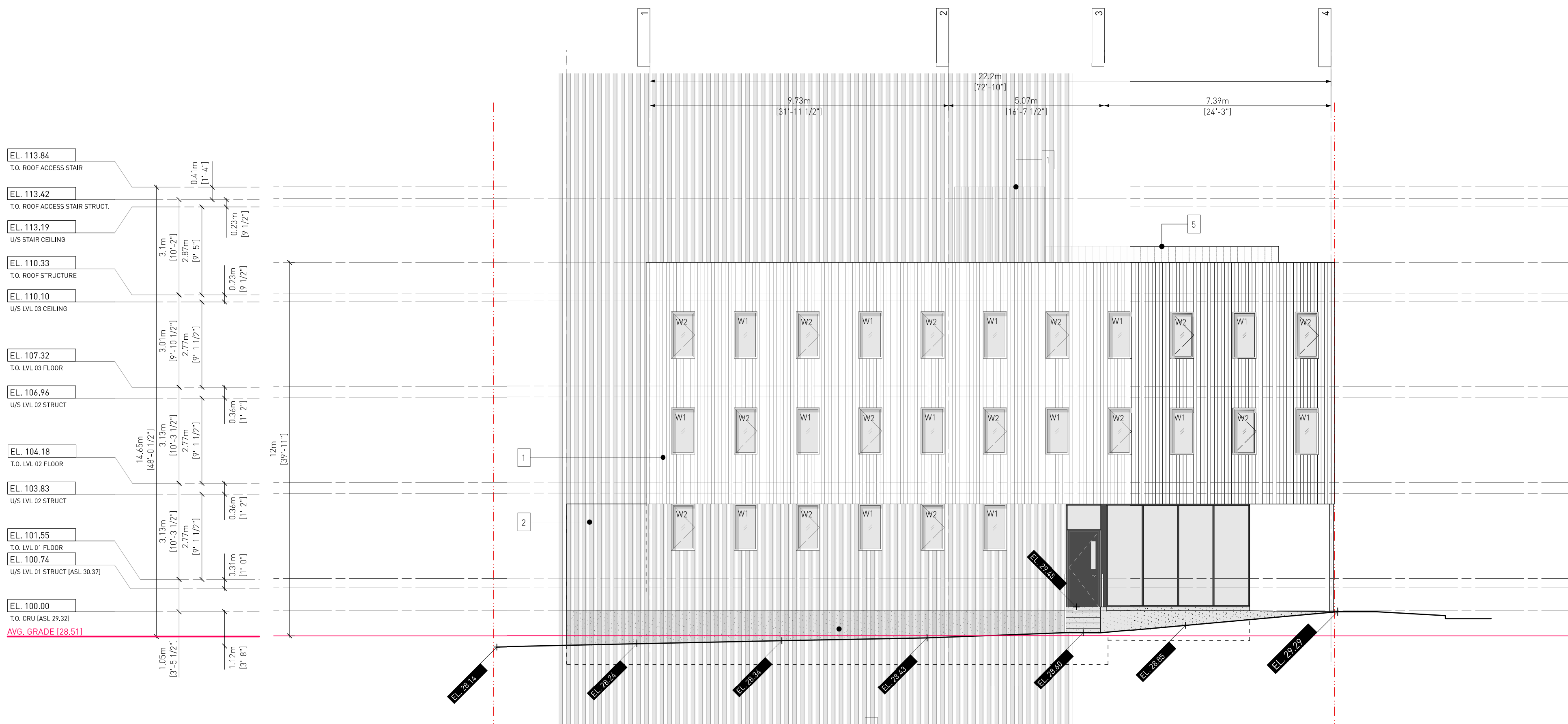
VICTORIA, BC

BUILDING ELEVATIONS Project
0646
Sheet

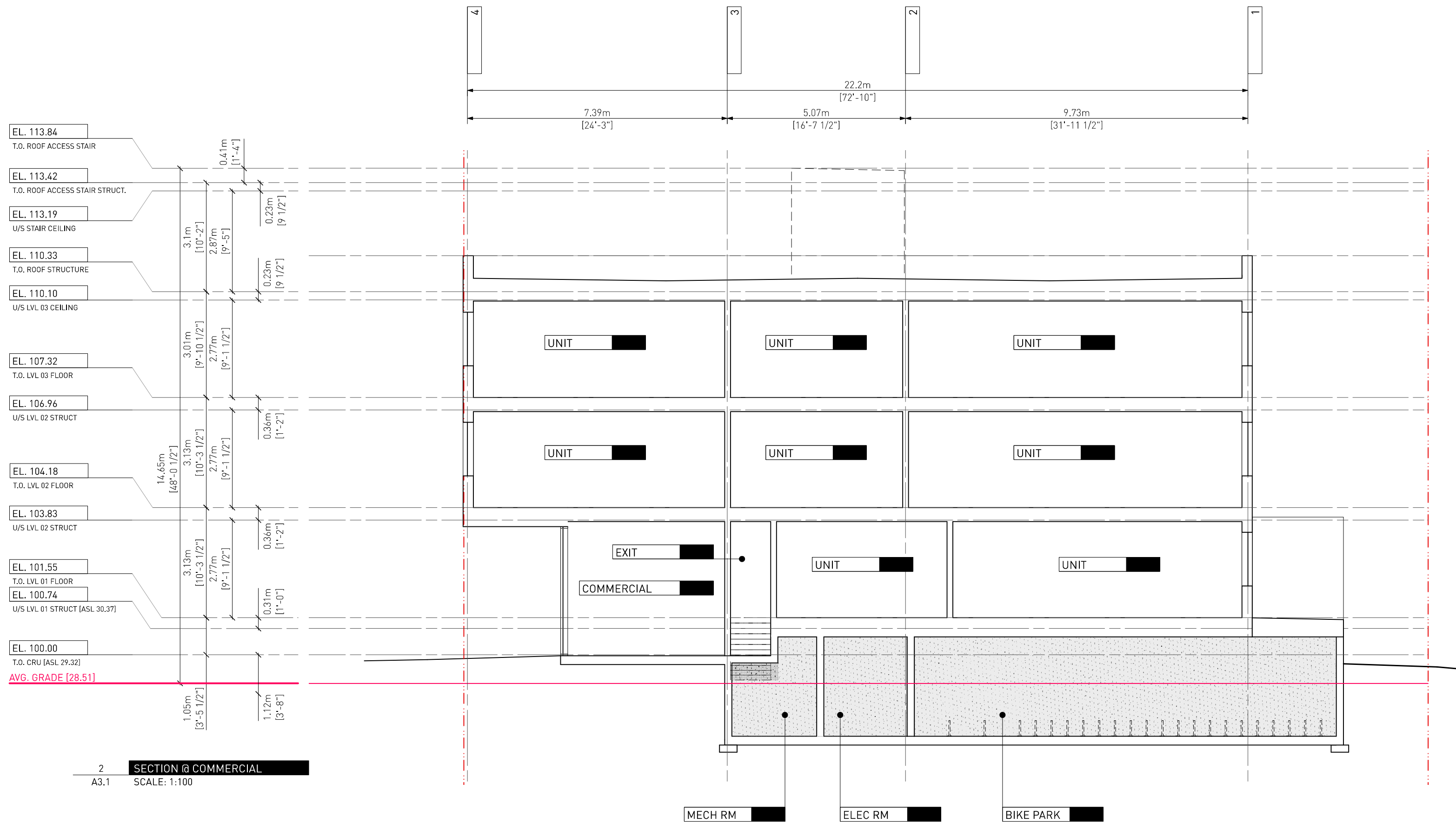
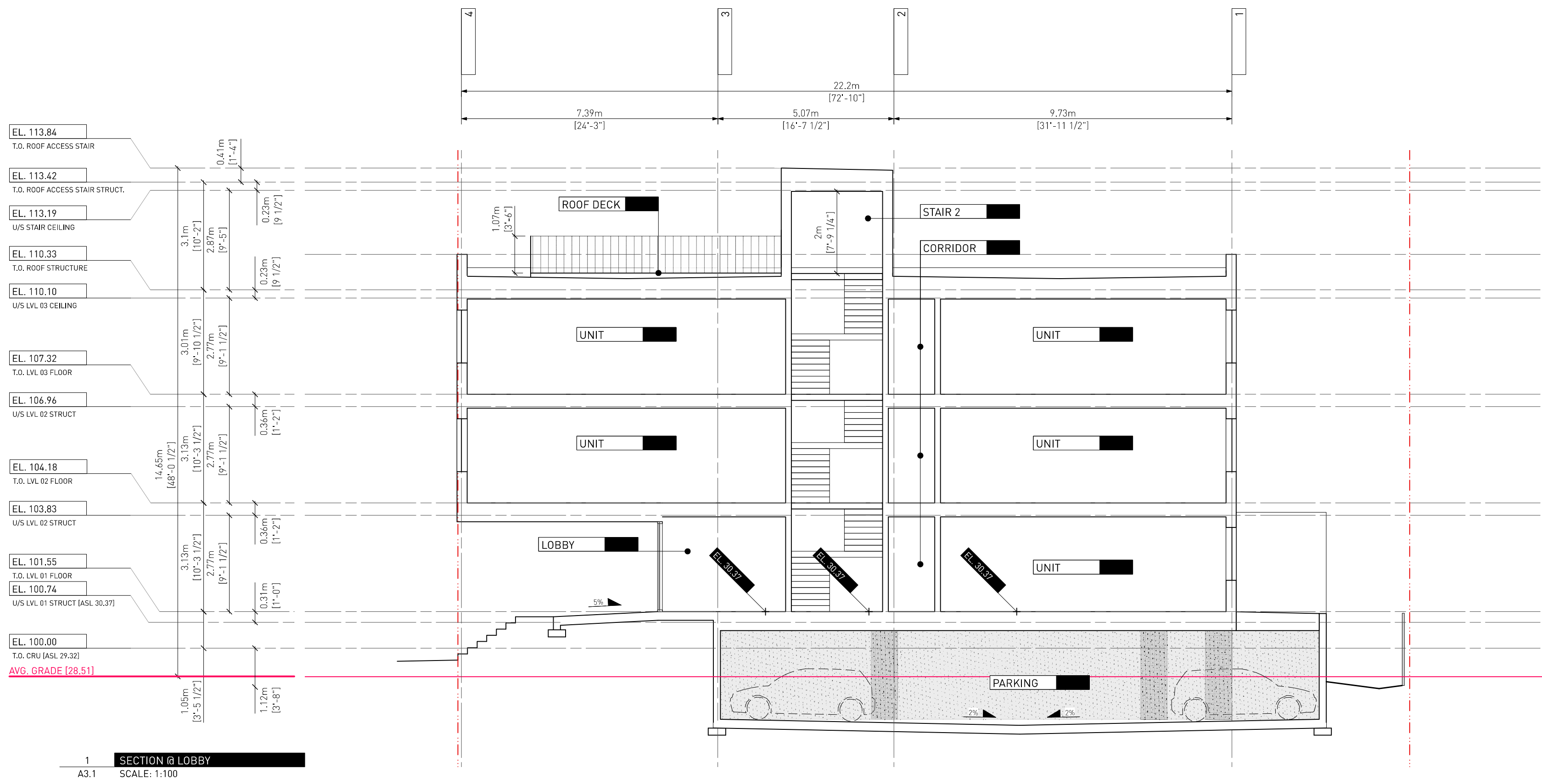
A2.2



3 WEST ELEVATION
A2.2 SCALE: 1:100



2 WEST ELEVATION
A2.2 SCALE: 1:100



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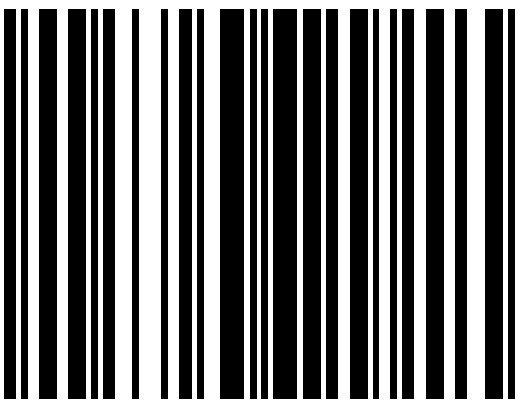
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VICTORIA, BC

BUILDING SECTIONS Project
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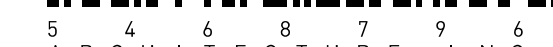
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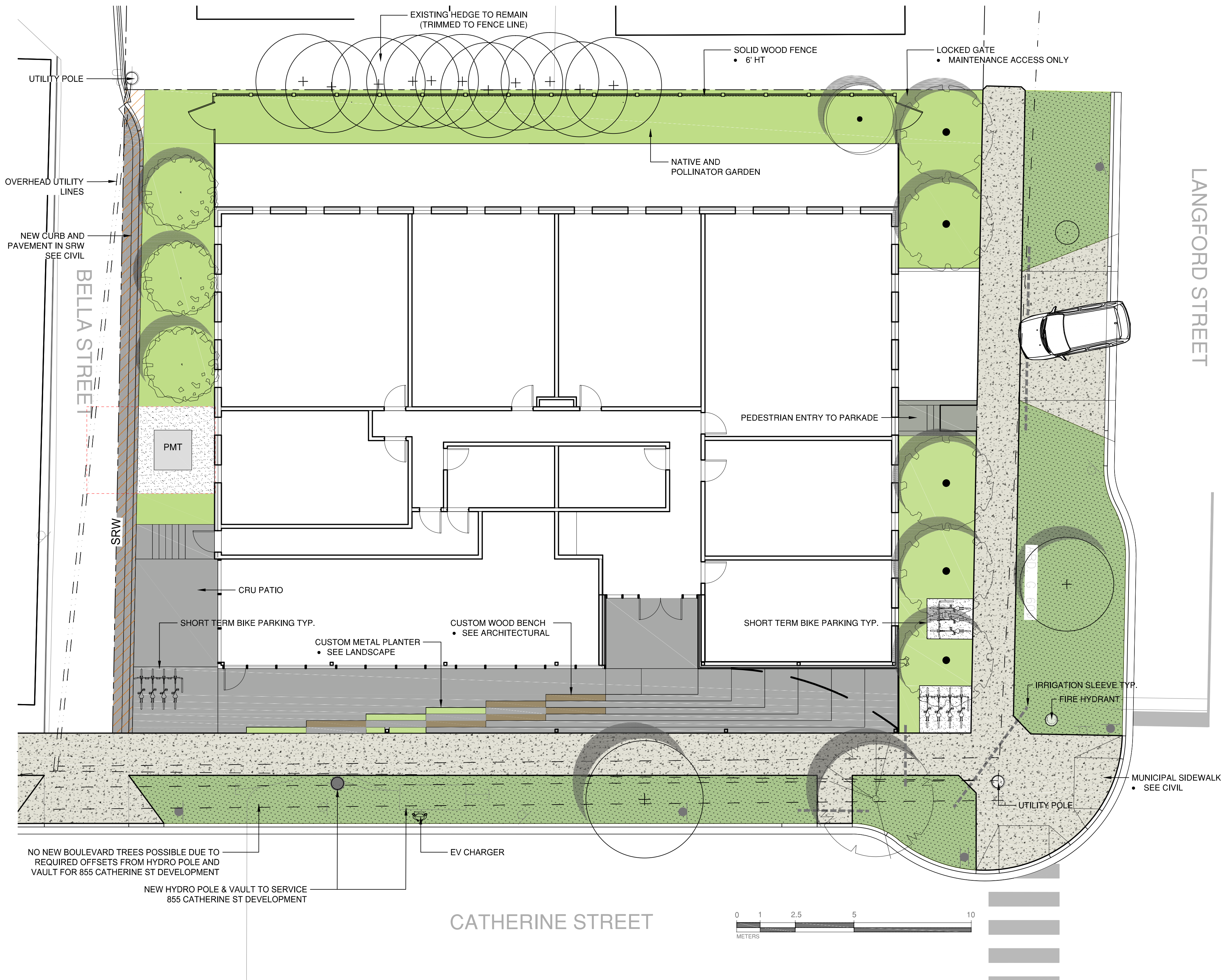
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A3.2



LEGEND

- PROPERTY LINE
- OVERHEAD POWER LINE
- IRRIGATION SLEEVE
- SOD
 - 150 mm DEPTH LOW TRAFFIC LAWN GROWING MEDIUM (MMCD)
 - SOD
 - TO CITY OF VICTORIA MUNICIPAL STANDARDS
- ON-SITE LANDSCAPE AREA
 - 450 - 600 mm DEPTH 1L GROWING MEDIUM (BOLS)
 - 50 mm DEPTH MULCH
- METAL PLANTER
 - 300 mm DEPTH PLANTER GROWING MEDIUM
 - 50 mm DEPTH MULCH
 - COLOUR TO MATCH ARCHITECTURAL
- CONCRETE WALK
 - LIGHT BROOM FINISH
 - SAW CUT JOINTING PATTERN
- MUNICIPAL SIDEWALK
 - CIP CONCRETE WITH BRUSH FINISH TO CITY OF VICTORIA STANDARDS
 - SEE CIVIL
- GRAVEL SURFACE
 - 150mm DEPTH COMPACTED GRAVEL
- SEATING STARI BENCH
 - SEE ARCHITECTURAL
- BIKE RACK
 - SEE ARCHITECTURAL
 - ON CONCRETE FOOTINGS
- FENCE
 - 6' HT SOLID WOOD FENCE
 - COLOUR: BLACK WOOD STAIN
 - 6" INSIDE PROPERTY LINE
- EXISTING TREE TO BE RETAINED
- PROPOSED TREES



LANDSCAPE NOTES

PROPOSED BOULEVARD TREES

- TREE SPECIES TO BE COORDINATED WITH PARKS PRIOR TO PLANTING
- TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 5-8 cm DIAMETER, CALIPER MEASURED 15 cm ABOVE GROUND, WELL BALANCED CROWN WITH BRANCHING STARTING AT 1.8m-2.5m ABOVE GROUND
- TREES TO BE PLANTED AS PER PLANTING OF TREES, SHRUBS AND GROUND COVERS (32 93 01 MMCD 2009 AND CITY OF VICTORIA SUPPLEMENTAL DRAWINGS SD P3 AND SD P4)
- PARKS WILL REQUIRE (3) INSPECTIONS FOR TREE PLANTING: 1) INSPECTION OF SOIL AND PLANTING AREA, 2) INSPECTION OF STOCK UPON DELIVERY, 3) INSPECTION OF INSTALLED TREE WITH MULCH AND STAKING. TRUNK FLARE MUST BE VISIBLE AND PLANTED AT OR SLIGHTLY ABOVE GRADE UPON INSPECTION.
- THE APPLICANT MUST MAINTAIN THE TREE IN GOOD HEALTH AND STRUCTURAL CONDITION FOR 1 YEAR FROM THE SUBSTANTIAL COMPLETION TO BE ELIGIBLE FOR DEPOSIT RETURN.

BOULEVARD IRRIGATION

- IRRIGATION PLAN TO BE PROVIDED AT BP STAGE.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER, AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT), CALL PARKS AT 250-361-0600 AT LEAST 2 DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- THE LANGFORD STREET BOULEVARD LAWN IRRIGATION SYSTEM AND THE NEW STREET TREE ON CATHERINE ST ARE TO BE INSTALLED BY THE DEVELOPPER, AND SHALL BE IRRIGATED FROM A CITY WATER SOURCE AND MAINTAINED BY THE CITY.
- THE CATHERINE ST BOULEVARD LAWN AREA SHALL BE IRRIGATED FROM A PRIVATE WATER SOURCE UNDER A PERMIT FROM THE CITY ENGINEERING DEPARTMENT. THE MAINTENANCE OF THE CATHERINE BOULEVARD LAWN IS THE RESPONSIBILITY OF THE PROPERTY OWNER AS WOULD BE THE PRIVATE IRRIGATION SYSTEM.

SITE PERMEABILITY

TOTAL SITE PERVIOUS AREA FOR ENTIRE PRIVATE PROPERTY: 180 m2 / 18%



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophilialcollective.ca 250 590 1156

OWNER/CLIENT:
ARYZE

PROJECT NAME:
**822 CATHERINE STREET+
304 LANGFORD STREET**

PROJECT ADDRESS:
**822 CATHERINE ST.
VICTORIA, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **OLIVIA LYNE**

9	DEVELOPMENT PERMIT	2023-07-14
8	ISSUED FOR BUILDING PERMIT	22-10-05
7	ISSUED FOR DDP	22-10-05
6	ISSUED FOR 50% DD REVIEW	22-06-17
5	REVISED AND RE-ISSUED FOR RZ/DP	22-06-02
4	ISSUED FOR REVIEW SUMMARY RESPONSE 02	22-02-11
3	ISSUED FOR REVIEW SUMMARY RESPONSE 02	21-11-03
2	ISSUED FOR TRD RESPONSE	21-07-14
1	ISSUED FOR RZ/DP	21-05-12
NO.	ISSUE	YYMMDD

SEAL



NORTH ARROW

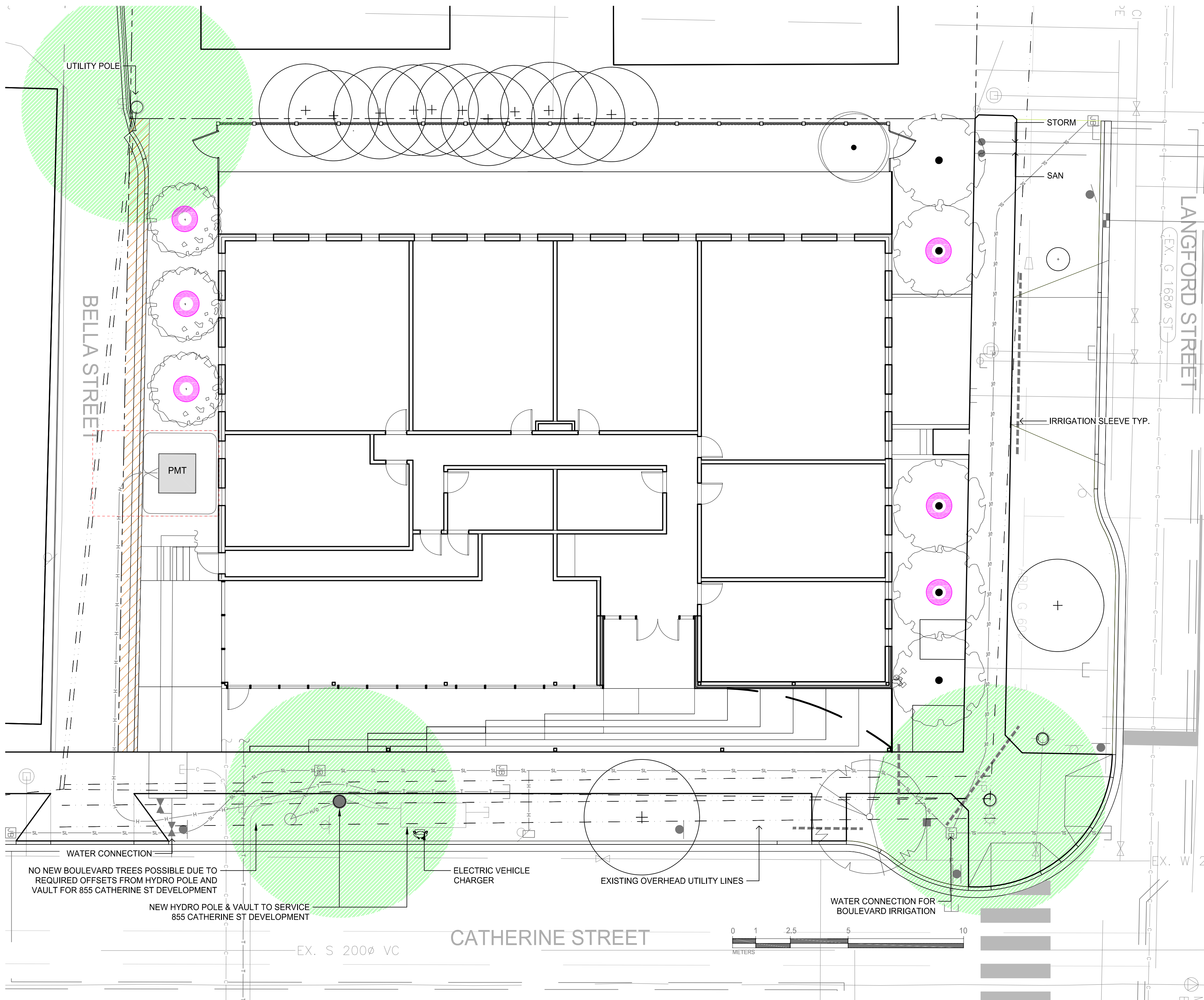


DRAWING TITLE:
LANDSCAPE PLAN

DWG NO:

SCALE: 1:100

L1



LEGEND

----- OVERHEAD POWER LINE

○ DESIGNATED REPLACEMENT TREE

5.0 m OFFSET FROM HYDRO OR LIGHT POLE

REPLACEMENT TREES REQUIRED	6
REPLACEMENT TREES PROPOSED	6
REPLACEMENT TREE SHORTFALL	0

Tree Planting Schedule					
Quantity	Symbol	Latin Name	Common Name	Container	Caliper
1	○	Populus tremuloides	Trembling Aspen	B&B	5 cm
3	○	Stewartia rostrata	Stewartia	B&B	5 cm
5	○	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	B&B	70 cm
1	○	BOULEVARD TREE TO BE DETERMINED BY PARKS AT BP		B&B	6 cm

LANDSCAPE NOTES

PROPOSED BOULEVARD TREES

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BOULEAVARD IRRIGATION

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- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER, AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT). CALL PARKS AT 250-361-0600 AT LEAST 2 DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- THE LANGFORD STREET BOULEVARD LAWN IRRIGATION SYSTEM AND THE NEW STREET TREE ON CATHERINE ST ARE TO BE INSTALLED BY THE DEVELOPER, AND SHALL BE IRRIGATED FROM A CITY WATER SOURCE AND MAINTAINED BY THE CITY.
- THE CATHERINE ST BOULEVARD LAWN AREA SHALL BE IRRIGATED FROM A PRIVATE WATER SOURCE UNDER A PERMIT FROM THE CITY ENGINEERING DEPARTMENT. THE MAINTENANCE OF THE CATHERINE BOULEVARD LAWN IS THE RESPONSIBILITY OF THE PROPERTY OWNER AS WOULD BE THE PRIVATE IRRIGATION SYSTEM.



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

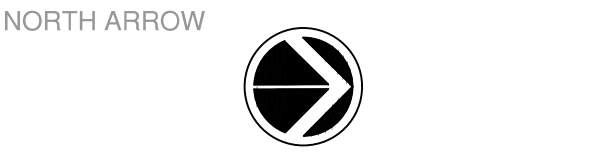
OWNER/CLIENT:
ARYZE

PROJECT NAME:
**822 CATHERINE STREET+
304 LANGFORD STREET**

PROJECT ADDRESS:
**822 CATHERINE ST.
VICTORIA, BC**

DESIGNED BY: **BIANCA BODLEY**
DRAWN BY: **OLIVIA LYNE**

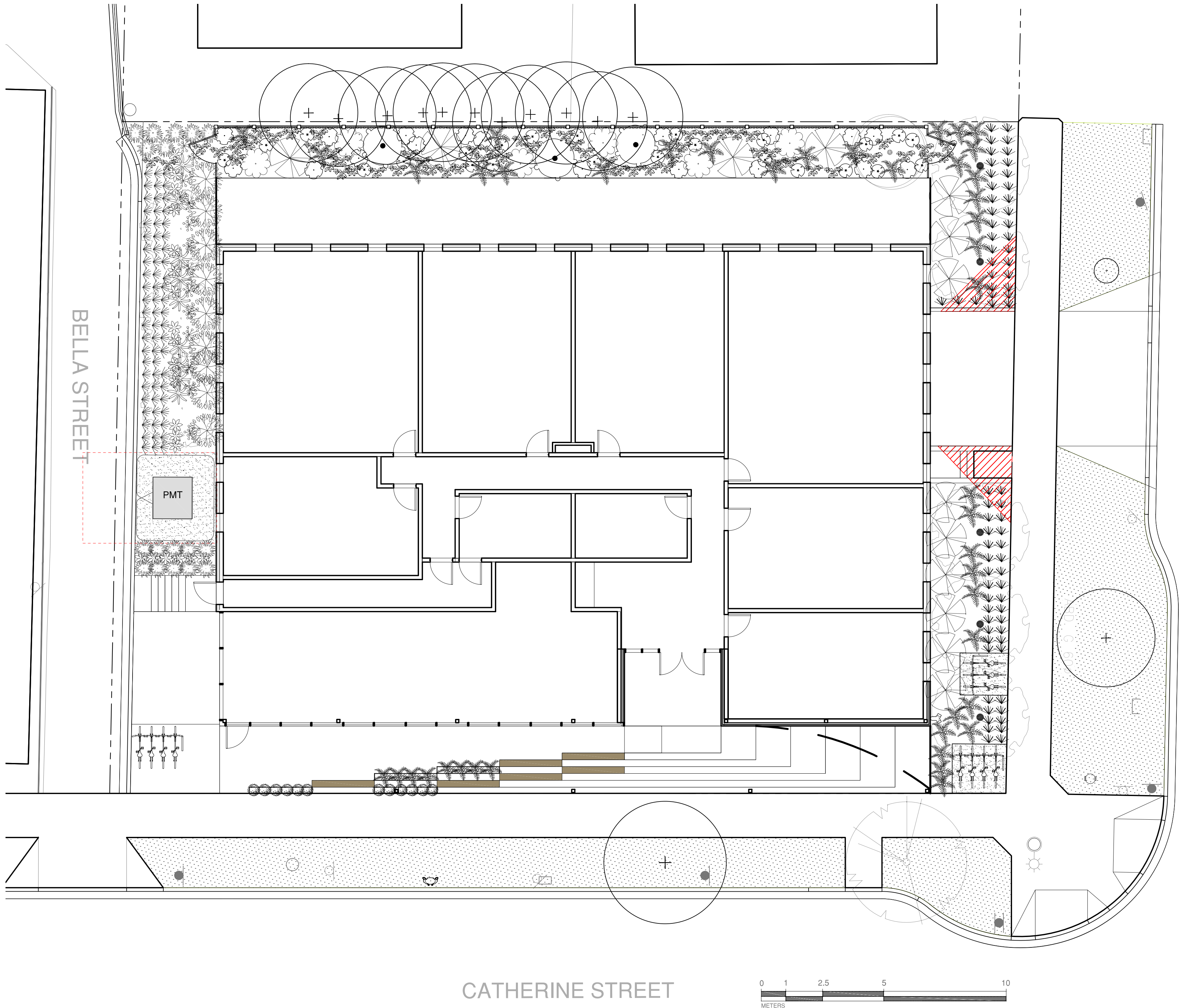
9	DEVELOPMENT PERMIT	2023-07-14
8	ISSUED FOR BUILDING PERMIT	22:10:05
7	ISSUED FOR DDP	22:10:05
6	ISSUED FOR 50% DD REVIEW	22:06:17
5	REVISED AND RE-ISSUED FOR RZ/DP	22:06:02
4	ISSUED FOR REVIEW SUMMARY RESPONSE 02	22:02:11
3	ISSUED FOR REVIEW SUMMARY RESPONSE 02	21:11:03
2	ISSUED FOR TRD RESPONSE	21:07:14
1	ISSUED FOR RZ/DP	21:05:12
NO.	ISSUE	YYMMDD



DRAWING TITLE:
TREE PLANTING PLAN

DWG NO:
L2

SCALE: **1:100**



PLANT SCHEDULE						
Quantity	Symbol	Latin Name	Common Name	Container	Native	Pollinator
13		Anaphalis margaritacea	Pearly everlasting	#1	yes	
36		Achillea millefolium	Common yarrow	#1	y	y
72		Arctostaphylos Uva-Ursi	Kinnikinnick	10cm	y	y
17		Calamagrostis acutiflora 'Karl Forester'	Karl Forester feather reed grass	#2		
9		Choisya ternata	Mexican mock orange	#2		y
14		Echinacea purpurea	Purple coneflower	#1		y
18		Gaultheria shallon	Salal		y	y
180		Liriope muscari	Liriope	10cm		
44		Ploystichum munitum	Western sword fern	#1	y	
6		Ribes sanguineum	Red-flowering currant	#1	y	y
3		Rosa nutkana	Nootka rose	#1	y	y
12		Sarcococca confusa	Sweet Box	#1		y
13		Vaccinium ovatum	Evergreen huckleberry	#2	y	
9		Verbena bonariensis	Tall verbena	#1		y
NOTES: 1. PLANTS IN PLANT LISTS ARE SPECIFIED ACCORDING TO THE CANADIAN NURSERY LANDSCAPE ASSOCIATION CANADIAN STANDARDS FOR NURSERY STOCK AND SECTION 12, CONTAINER GROWN PLANTS FROM THE BC LANDSCAPE STANDARD, CURRENT EDITION.						



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9	DEVELOPMENT PERMIT	2023-07-14
8	ISSUED FOR BUILDING PERMIT	22/10/05
7	ISSUED FOR DGP	22/10/05
6	ISSUED FOR 50% DD REVIEW	22/06/17
5	REVISED AND REISSUED FOR RZ/DP	22/06/02
4	ISSUED FOR REVIEW SUMMARY RESPONSE 02	22/02/11
3	ISSUED FOR REVIEW SUMMARY RESPONSE 02	21/11/03
2	ISSUED FOR TRD RESPONSE	21/07/14
1	ISSUED FOR RZ/DP	21/05/12
NO.	ISSUE	YYMMDD

SEAL



NORTH ARROW

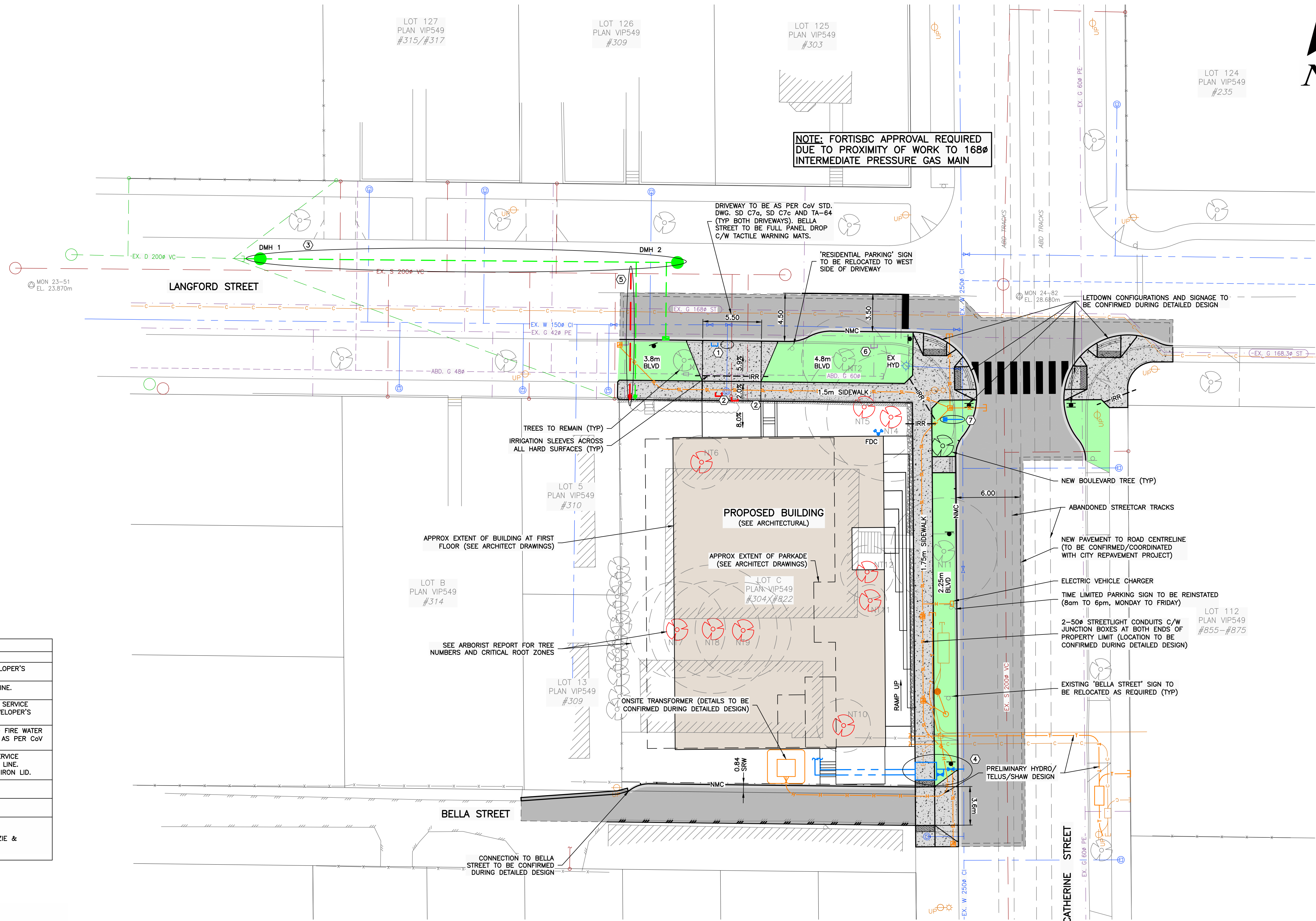


DRAWING TITLE:
PLANTING PLAN

DWG NO:

SCALE: 1:100

L3



SHEET NOTES	
No.	DESCRIPTION
1	EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY CoV FORCES AT DEVELOPER'S EXPENSE.
2	EXISTING SANITARY SEWER SERVICE TO BE CAPPED AND ABANDONED AT PROPERTY LINE.
3	NEW STORM MANHOLES, 200# PVC DR35 STORM MAIN EXTENSION AND 150# STORM SERVICE CONNECTION C/W INSPECTION CHAMBER TO PROPERTY LINE BY CoV FORCES AT DEVELOPER'S EXPENSE.
4	NEW 100# DOMESTIC WATER SERVICE CONNECTION c/w 75# METER (TBC) AND 150# FIRE WATER SERVICE CONNECTION c/w CHECK VALVE BY CoV FORCES AT DEVELOPER'S EXPENSE AS PER CoV STD. DWG. S0W29.
5	NEW 150# PVC DR28 SANITARY SERVICE CoV FORCES AT DEVELOPER'S EXPENSE. SERVICE CONNECTION AS PER MMCD STD. DWG. S7 c/w INSPECTION CHAMBER TO PROPERTY LINE. INSPECTION CHAMBER AS PER MMCD STD. DWG. S9 c/w CONCRETE BOX AND CAST IRON LID.
6	EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY FORTISBC FORCES.
7	NEW 25# IRRIGATION SERVICE BY CoV FORCES AT DEVELOPER'S EXPENSE.
	EXISTING TREE TO BE REMOVED. SEE DRAWING / REPORT BY TALBOT MACKENZIE & ASSOCIATES.

- NOTES:
- FOR BUILDING INFORMATION, SEE DRAWINGS BY 5468796 ARCHITECTURE INC.
 - FOR LANDSCAPING, SEE DRAWINGS BY BIOPHILIA DESIGN COLLECTIVE.
 - FOR TREE INFORMATION INCLUDING DRIPLINES AND TREE REMOVAL/RETAIN, SEE REPORT/DRAWINGS BY TALBOT MACKENZIE & ASSOCIATES.
 - FOR LEGAL INFORMATION, SEE DRAWINGS BY J.E. ANDERSON & ASSOCIATES.
 - UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
 - FIRE DEPARTMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT).
 - ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE (NOT SHOWN FOR CLARITY).
 - BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BOONECALL).
 - ONSITE BIKE PARKING, ETC. NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC

SEE ARCHITECTURAL AND LANDSCAPE
DRAWINGS FOR ADDITIONAL INFORMATION

LEGAL PLAN & TOPOGRAPHIC
SURVEY PROVIDED BY J.E.
ANDERSON & ASSOCIATES

JULY 14, 2023
**ISSUED FOR
DEVELOPMENT
PERMIT**

1:200 0 4 12m

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NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
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McElhanney

500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3 PH (250) 370-9221



PROJECT:
822 CATHERINE STREET, VICTORIA, BC

TITLE:
PRELIMINARY CIVIL PLAN

SCALE HORIZ: 1:200	VERT:
PROJECT NO. 21-014	ISSUED/REVISION
APPROVING AUTHORITY FILE NO.	
DRAWING NO. 21-014-CSP	