

TENANT IMPROVEMENT

CRU 4, 1555 VANCOUVER STREET

VICTORIA, BC,

Civic Address: 1555 Vancouver Street, Victoria BC, V8V 0C8

Legal Description: Plan EPP89897, Suburban Lot 15, Victoria land district
Airspace PL, Airspace Parcel 4
PID: 030-997-241

Owner: **Warmland Cannabis Corporation**
6-4715 Trans Canada Hwy
Duncan, BC V9L 6E1
778-455-4367
contact: Chris Clay
e: admin@warmlandcannabis.com

Consultant Team:

ARCHITECT: **Carolynn Wilson Architect Inc.**
924b Richmond Ave
Victoria, BC V8S3Z3
250-514-7578
contact: Carolynn Wilson
e: carolynnwilson@me.com

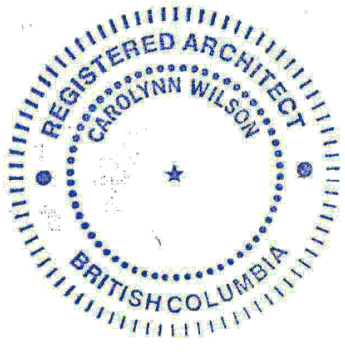
MECHANICAL ENGINEER: **Avalon Mechanical Consultants Ltd.**
1245 Esquimalt Road, #300
Victoria, BC V9A 3P2
250-384-4128
contact: Jamie Clarke
e: jclarke@avalonmechanical.com

ELECTRICAL ENGINEER: **AES Engineering**
3785 Carey Rd #500,
Victoria, BC V8Z 6T8
250-381-6121
contact: Bal Klear
e: bal.klear@aesengr.com

ARCHITECTURAL DRAWINGS:

- A1.0 COVER SHEET
- A1.1 BUILDING CODE ANALYSIS
- A1.2 SITE PLAN, GENERAL NOTES
- A1.3 FLOOR PLAN - P1
- A1.4 FLOOR PLAN - LEVEL 1
- A1.5 FLOORPLAN
- A1.6 RCP
- A2.1 WASHROOM ELEVATIONS/DOOR FRAME DETAIL
- A2.2 SECTIONS/ELEVATIONS



PLOT DATE		
No.	DESCRIPTION	DATE
FOR BUILDING PERMIT		
REVISION No.		
The contractor shall verify and accept responsibility for all dimensions. Do NOT scale the drawing. ALL errors or omissions shall be reported without delay to Carolynn Wilson Architect Ltd.		
CONSULTANT		
SEAL		
		
DEVELOPER / CLIENT:		
WARMLAND CANNABIS		

TENANT IMPROVEMENT

1555 VANCOUVER STREET
VICTORIA, BC.
V8V 0C8



carolynn wilson architect ltd.
924 b richmond ave.
victoria, bc
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204.514.7578

SCALE	
DRAWING TITLE	
COVER SHEET	
SHEET No.	
A1.0	
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ACP	ACOUSTIC PANEL	CEILING	D	DEPTH
ACT	ACOUSTIC TILE		DBL	DOUBLE
ADD	AIR CONDITIONING		DBGL	DOUBLE GLAZED(ING)
ADDJ	ADJUDICUM		DEG or °	DEGREES
ADD	ADJUNCT		DEGR	DEGREES
ADFF	AD FINISHED FLOOR		DEGR MIN	DEGREES MINUTES, SECONDS
AGG	AGGREGATE		DEGR F	DEGREES FAHRENHEIT
AHU	AIR HANDLING UNIT		DEGR C	DEGREES CELSIUS
ALUM / AL	ALUMINUM		DEMO	DEMONSTRATION
APPROX	APPROXIMATE / APPROXIMATELY		DET	DETAIL(S)
APC	ACCESS PANEL		DF	DRINKING FOUNTAIN
APV	ASPHALT PAVING		DF DOOR	DOOR DOOR
APV	ARCHITECTURAL		DIA or Ø	DIAMETER
ARG	ARCHITECTURAL		DIFF	DIFFUSER
ASSEMB	ASSEMBLY		DIM	DIMENSION
AVG	AVERAGE		DK	DARK re: COLOUR SHADING

BH1	BASEBOARD HEATER	DW	DISHWASHER
BM	BUILDING INFORMATION MODEL	DWG	DRAWING
BCCB	BRITISH COLUMBIA BUILDING CODE	EA	EACH
BD	BOARD	ETC	ETCETERA
BF	BARRIER FREE	EIFS	EXTERIOR INSULATION FINISH
BLVD	BOULEVARD	SYSTEM	
BLDG	BUILDING	ELEC	ELECTRICAL
BP	BUILDING PERMIT	ELEV	ELEVATION
BPV	BRICK PAVING	EP	ELECTRICAL PANEL
BSMT	BASEMENT	EP JT	EXPANSION JOINT
BULKHD	BULKHEAD		

CC	CENTER TO CENTER	E.S.	EACH SIDE
chw	COMPLETE WITH	EXIST	OR EX EXISTING
CMB	CABINET(S)	EXT	EXTERIOR
CB	CATCH BASIN	EXP	EXPOSED / EXPOSED STRUCTURE
CBM	CEMENT BOARD		
CCM	CEMENT / CEMENTITIOUS	FAA	FIRE ALARM / ANNUNCIATOR PANEL
CB	CUBIC FEET	FF	FINISHED FLOOR
CG	CORNER GUARD	FFL	FINISHED FLOOR LEVEL
CHBD	CHALK BOARD	FG	FINISHED GRADE
CH	COAT HOOK	FD	FLOOR DRAIN
CIP	CAST IN PLACE	FDC	FIRE DEPARTMENT CONNECTION
CL	CONTROL	FDN	FOUNDATION
C.J.	CONSTRUCTION JOINT	FGC	FIRE HOSE CABINET
CO	CLEAN OUT	FIN	FINISHED/FINISH
COL	COLUMN	FL	FLOOR / FLOOR LEVEL
CONC	CONCRETE	FP	FIREPROOFING
CONT	CONTINUOUS	FR	FIREPLACE
CP	CENTRE LINE	FRF	REFRIGERATOR
CL	CLOSET	FRFR	FIBREGLASS REINFORCED PANEL
CLG	CEILING	FR	FIRE RESISTANCE RATING
CLG	CEILING	FRS	FIRESTOP(RING)
CMU	CONCRETE MASONRY UNIT	R2	SQUARE FOOT / FEET
CORR	CORRIDOR	FTG	FOOTING
CPT	CARPET	FURN	FURNITURE / FURNISHED
CPV	CONCRETE PAVEMENT	FUR	FURRING
CE	CERAMIC TILE	FXC	FIRE EXTINGUISHER CABINET
Cu	COPPER		
CW	COLD WATER		
CWALL	CURTAIN WALL		

GALV	GALVANIZED	N/A	NOT APPLICABLE
GALV	GAUGE	ND	SANITARY NAPKIN DISPOSAL
GB1	VERTICAL GRAB BAR	NIC	NOT IN CONTRACT
GB2	HORIZONTAL GRAB BAR	No. or #	NUMBER
GB3 120"	GRAB BAR	NOM	NOMINAL
GF	GROUND FAULT	NTS NOT	TO SCALE
GL	GLASS / GLAZING		
GRID or GL	GRIDLINE		
GWB	GYPSUM WALLBOARD	O.C. or o/c	ON CENTRE
GWG	GEORGIAN WIRED GLASS	OD	OUTSIDE DIAMETER

ha	HÉCATAES	OSB	ORIENTED STRAND BOARD
hb	HOSE BIBB	OWSJ	OPEN WEED STEEL JOIST
HC	HAND DRYER		
h/c	HANDCAPPED ACCESSIBLE	PC	PRECAST CONCRETE
h	HOLLOW CORE	PED	PEDESTRIAN
h	HOLLOW METAL	PL	PLASTER
horz	HORIZONTAL	PLM	PLASTIC LAMINATE
hr	HOUR	PLY	PLYWOOD
hrs	HOLLOW STRUCTURAL SECTION	PM	PERFORATED METAL
ht, or H	HEIGHT	POLY	POLYETHYLENE SHEET
HVAC	HEATING VENTILATION & AIR CONDITIONING	PMR	REFINISHED METAL ROOFING
HWT	HOT WATER	PMC	PREFINISHED METAL CLADDING
HW	HOT WATER TANK	PREFAB	PREFABRICATED
HD	HARDWOOD	PREFIN	REFINISHED
		PREV	PREVIOUS
ICF	INSULATED CONCRETE FORM(S)	PT	PRESSURE TREATED
ID	INSIDE DIAMETER	PSF	PRESSED STEEL FRAME
IHM	INSULATED HOLLOW METAL	PNT	PAINT(ED)
INF	INFERIOR	PTD	PAPER TOWEL DISPENSER
INFO	INFORMATION	PTN	PARTITION
INSUL	INSULATION	PVC	POLY VINYL CHLORIDE

MP	INVERT	QT	QUARRY TILE
KD	KILD DRIED		
L	LENGTH	R	RADIUS or RESISTANCE VALUE IMP
LAM	LAMINATE		R2- F-Hr/Hb
LAV	LAVATORY	R/S	ROOF & SHELF, IN CLOSETS
LEED	LEADERSHIP IN ENERGY AND	RA	RETURN AIR (GRILLE)
	ENVIRONMENTAL DESIGN	RB	RESILIENT BASE
LT	LIGHT re: COLOUR SHADING	RD	ROOF DRAIN
LTG	LIGHTING	Rd	ROAD
		REQ	REQUIRED
m	METRE(S)	RF	RESILIENT FLOORING
m ²	METRE SQUARED	RFP	REFLECTED CEILING PLAN
MAX	MAXIMUM	REF	REFERENCE
MOD	MEDIUM DENSITY FIBREBOARD	REF	REINFORCE(D)MENT
MCH	MECHANICAL	RES	RESISTANT
MEMB	MEMBRANE	RM	ROOM
MFR	MANUFACTURER	R.O.	ROUGH OPENING
MIR	MIRROR(ED)	R/W	RIGHT OF WAY
MIN	MINIMUM	RWL	RAINWATER LEADER
MISC	MISCELLANEOUS	RWP	RAINWATER PIPE
MM	MILLIMETRES	RSI	RESISTANCE VALUE SI, m ² Kelvins/W
MTL	METAL		
NW	MICROWAVE OVEN		
MWK	MILLWORK		

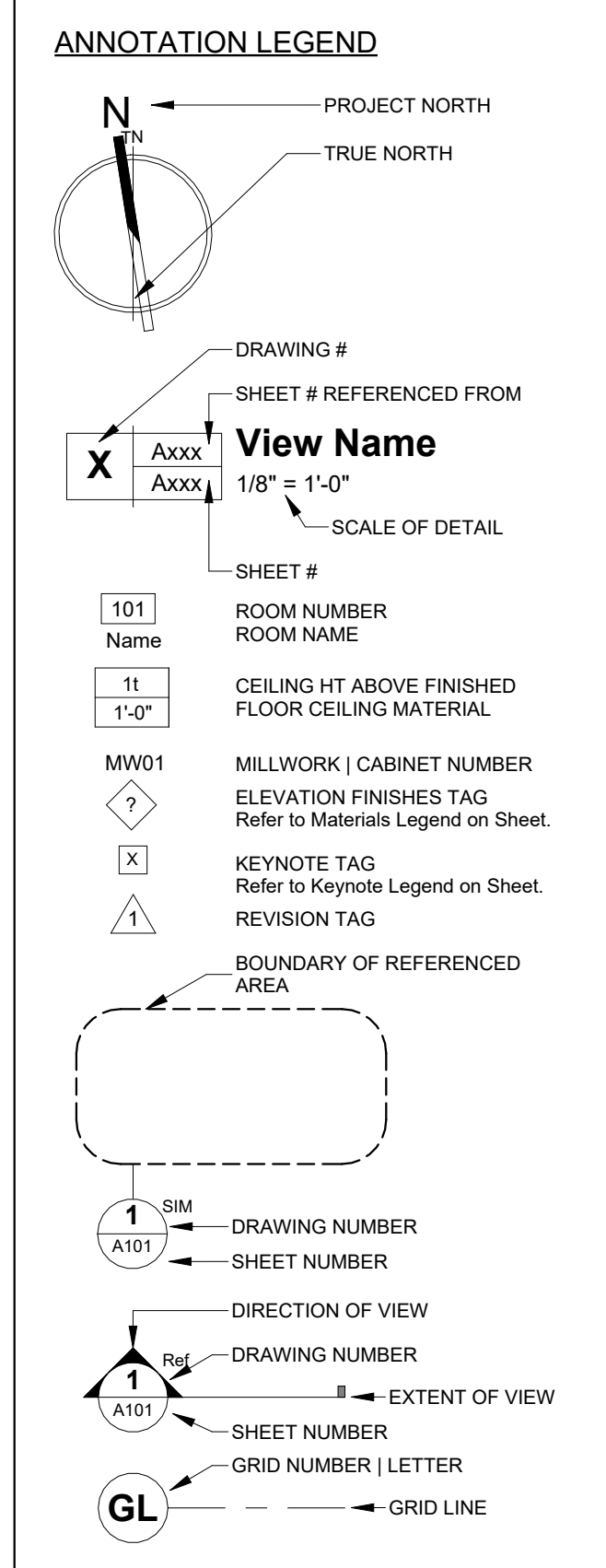
SA	SUPPLY AIR (GRILLE)
SAN	SANITARY
SAM	SELF-ADHERING MEMBRANE
SC	SOLID CORE
SCH	SCHEDULE
SD	SOAP DISPENSER
SE	SECTION
SECT	SQUARE FEET
SF	SQUARE FOOT
SGL	SEALED GLAZING UNIT
SH	SHELF
SI	INTERNATIONAL SYSTEM OF UNITS - 1 METRIC
SING	SINGLE
SIN	SANITARY NAPKIN DISPENSER
SND	SLAB ON GRADE
SPC	SPECIFICATIONS (NOTES)
SS	STAINLESS STEEL
SSSM	SOLID SURFACE MATERIAL
ST	STEEL
STC	SOUND TRANSMISSION CLASS (RATING)
STD	STANDARD
STL	STEEL
STN	STATION
STRUCT	STRUCTURAL

T&B	TOP AND BOTTOM
T&G	TOUNGUE AND GROOVE
TD	TOWEL BAR
TDB	TACKBOARD
TD	TRENCH DRAIN
TEMP	TEMPORARY
THG	TEMPERED GLASS
THICK	THICK
THRU	THROUGH
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOF	TOP OF PARAPET
TOPO	TOPOGRAPHICAL
TOS	TOP OF STEEL
TOW	TOP OF WALL
TWP	TOLLET PAPER DISPENSER
TRZ	TERRAZZO
TYP	TYPICAL
UG	UNDERGROUND
UNO	UNLESS NOTED OTHERWISE
US	UNDERSIDE
VB	VAPOUR BARRIER
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VWC	VINYL WALL COVERING

W	WIDTH
w/	WITH
w/o	WITHOUT
WBD	WHITEBOARD
WC	WATER CLOSET
WD	WOOD
WDB	WOOD BASE
WP	WATER PROOF(ING)
WPC	WALL PAPER COVERING
WS	WOOD SIDING
WVN	WOOD VENEER
WWM	WELDED WIRE MESH

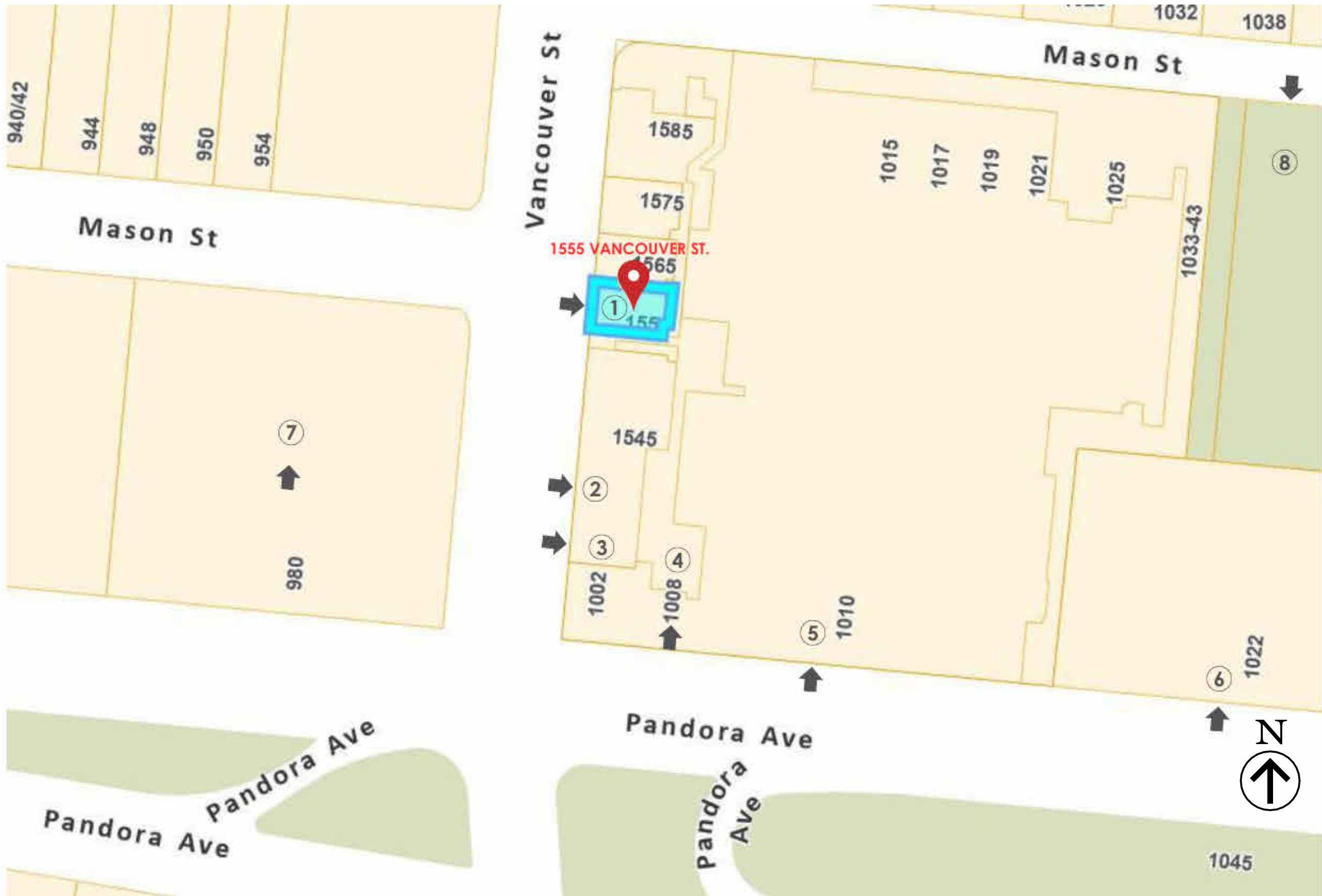
YD	YARD(S)
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0 hr	0 HOUR FIRE RATED
20 MIN	20 MINUTE FIRE RATED
3/4 hr	45 MINUTE FIRE SEPARATION
1 hr	ONE HOUR FIRE SEPARATION
1.5 hr	90 MINUTE FIRE SEPARATION
2 hr	TWO HOUR FIRE SEPARATION
4 hr	FOUR HOUR FIRE SEPARATION



- 1 Proposed Warmland Cannabis
- 2 Panaga Pizza
- 3 Quesada Burritos & Tacos
- 4 Pandora by Bosa Properties
- 5 Save On Foods
- 6 Affirmative Tax and Accounting
- 7 McDonald's
- 8 Mason Street Playground

➡ Entrance Locations to Buildings



NTS

PROJECT INFORMATION

PROJECT DESCRIPTION

CRU 4 TENANT IMPROVEMENT, 1555 VANCOUVER STREET, VICTORIA

BUILDING CODE

THE APPLICABLE BUILDING CODE IS THE 2024 EDITION OF THE BRITISH COLUMBIA BUILDING CODE INCLUDING ALL ADDENDA.

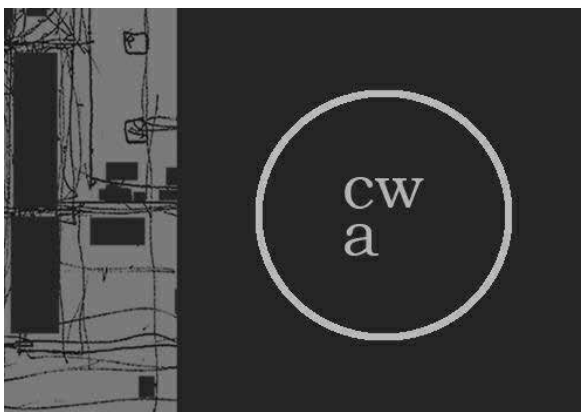
PROJECT DATA

Owner	Chris Clay																																		
Municipal Address	1555 VANCOUVER STREET, VICTORIA BC, V8V 0C8																																		
Legal Description	Lot A, Suburban Lot 15, Victoria City, Plan EPP911880* *Plan EPP91380 is a reference plan consolidated Lot 1 and Lot 2. Except Parcel A (dd #70855), Both suburban Lot 15, Victoria City, Plan 22437.																																		
Zoning	CA-75 PANDORA VANCOUVER MIXED USE DISTRICT																																		
Lot Area	7915.1 m ²																																		
Lot Coverage	81.21%																																		
Building Setbacks			Allowed	Proposed																															
	Pandora Avenue	South Yard	1.03 m min	1.07 M + 1.23 M (3'-4" & 4'-0")																															
	Vancouver Street	Side Street Yard	1.13 m min	1.13 M & 0.63 M (3'-8" & 4'-0")																															
	Pandora Avenue	Rear Yard North	7.32 m min	7.32 M - (2'4")																															
	East Property Line	Fronting Pandora Avenue	1.65 M	2.06 M - (0'-0") South portion of site																															
	East Property Line	Fronting Franklin Park	1.50 M + 1.18 M	1.1 M + 1.22 M (3'-6" & 4'-0") to Town House Star at ground level																															
	Projection at Stairs		Max allowable 0.6m into 1.65m setback	3.09M & 3.32M (12'-1" & 12'-2") to building																															
				0.51M & 0.43M																															
	South Property Line of former Lot 2		1.65 M	2.87 M - (9'-5")																															
Building Height	24.79m above average grade, Base Building																																		
Gross Floor Area	6427.8 m ² Main building / 86.40 m ² CRU 4																																		
Floor Area Ratio	2.34																																		
Vehicle Parking	<table><tr><th colspan="3">Parking Requirements:</th><th>Required</th><th>Provided</th></tr><tr><td>P1</td><td>Minimum Retail/Comm. Parking</td><td>1' stall per 75 m² @ 4.13 m² = 57.5</td><td>58</td><td>155</td></tr><tr><td>P2</td><td>Minimum Office Parking</td><td>1' stall per 150 m² @ 110 m² = 1</td><td>1</td><td>1</td></tr><tr><td>P3</td><td>Minimum Handicap Parking</td><td>1 handicap stall per 100 stalls* (BCBC 3.8.3.4)</td><td>3</td><td>7</td></tr><tr><td>P4</td><td>Minimum Residential Parking</td><td>0.55 stall per unit @ 65x207 = 115</td><td>14</td><td>115</td></tr><tr><td>P5</td><td>Minimum Visitor Parking</td><td>10% of total residential 115</td><td>12</td><td>12</td></tr></table>					Parking Requirements:			Required	Provided	P1	Minimum Retail/Comm. Parking	1' stall per 75 m ² @ 4.13 m ² = 57.5	58	155	P2	Minimum Office Parking	1' stall per 150 m ² @ 110 m ² = 1	1	1	P3	Minimum Handicap Parking	1 handicap stall per 100 stalls* (BCBC 3.8.3.4)	3	7	P4	Minimum Residential Parking	0.55 stall per unit @ 65x207 = 115	14	115	P5	Minimum Visitor Parking	10% of total residential 115	12	12
Parking Requirements:			Required	Provided																															
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Bicycle Parking	<table><tr><th colspan="2">Requirements:</th><th>Spaces per Unit (207 units)</th><th>Required</th><th>Provided</th></tr><tr><td>R4</td><td>Commercial</td><td>1 per 205 m² (2,206 sf)</td><td>4.313m²/205m² (46,424 / 767,206sf)</td><td>22</td><td>50% CLASS 1 11 50% CLASS 2 11</td></tr></table>					Requirements:		Spaces per Unit (207 units)	Required	Provided	R4	Commercial	1 per 205 m ² (2,206 sf)	4.313m ² /205m ² (46,424 / 767,206sf)	22	50% CLASS 1 11 50% CLASS 2 11																			
Requirements:		Spaces per Unit (207 units)	Required	Provided																															
R4	Commercial	1 per 205 m ² (2,206 sf)	4.313m ² /205m ² (46,424 / 767,206sf)	22	50% CLASS 1 11 50% CLASS 2 11																														

Item	British Columbia Building Code, 2024, Data Matrix	BCBC Reference
1	Type of Project	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Tenant Improvement
2	Basics of Code Analysis	Acceptable Solutions & Prescriptive Requirements
3	Building Area (m ²)	86.4 m ² CRU 4 / 1.02m ²
4	Major Occupancy(s)	Group "C" for CRU 4 / Group "C" - Residential Occupancy for Base Building
5	Multiple Occupancy Fire Separations	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no EXISTING IN BASE BUILDING
6	Found Plastics Protection	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no EXISTING IN BASE BUILDING
7	Fire-Protection Rating of Closures	SEE TABLE BELOW
8	Fire-Protection Rating of Closure Doors	SEE TABLE BELOW
9	Firewall(s)	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
10	Occupant Load Calculations:	CRU 4 - <10 persons
11	Number of Storeys	6 Storeys EXISTING IN BASE BUILDING / 1 Storey for CRU 4
12	Number of Streets / Fire Fighter Access Routes	2 streets EXISTING IN BASE BUILDING
13	Building Classification	Group "C", up to 6 Storeys, Sprinklered
14	Permitted Construction	<input type="checkbox"/> Combustible <input type="checkbox"/> Non-Combustible <input checked="" type="checkbox"/> Both
15	Floor & Structure Fire Resistance Ratings (FRR) - Existing	Assemblies of Combustible Construction: N/A to CRU Floor Assembly over Parkade: FRR 1hr required, 4hr provided Other Floors: FRR 1hr, Fire separations Mezzanines: N/A Roofs: N/A to CRU
16	Spatial Separation and Exposure protection	see Base Building Documents
17	Construction of Exposing Building Walls - Submitted with Base Building Info for Tenant Improvement walls only	
	Facade Assemblies North Wall Construction Permitted Cladding Construction Permitted East Wall Construction Permitted Cladding Construction Permitted South Wall Construction Permitted Cladding Construction Permitted West Wall Construction Permitted Cladding Construction Permitted	Combustible Noncombustible <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A <input type="checkbox"/> <input checked="" type="checkbox"/> N/A
18	Fire Alarm required (Refer to Electrical)	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
19	Access Route Design	Yes - previously provided for the Base Building
20	Standpipe Required	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
21	Automatic Sprinkler System Required	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
22	Additional Requirements for High Buildings	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
23	Lighting & Emergency Power Systems (Refer to Electrical)	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
24	Mezzanines & Openings through Floor assemblies	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no N/A
25	Separation of Stairs / Fire Compartments	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
26	Hazardous Substances	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
27	Means of Egress from Contained Open Spaces, Roofs and Service Rms.	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
28	Public Corridors	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
29	Two Egress Downways Provided	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
30	Travel Distance Within a Room or Suite	40m - Business and Personal Services Occupancy
31	Janitor's Room Fire Separations	N/A
32	Storage Garage Separation	N/A
33	Vestibules	N/A
34	Exit Width Calculation: CRU 4	Based on max allowable occupant load of 10 persons 10 persons x 5.1 m = 51.0mm with 2 exits required 89mm width x 2 exits provided
35	Fire Resistance Rating of Exit Separations	N/A to CRU 1hr FRR to Base Building
36	Exits Through Lobby	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
37	Elevator Shaft & Inactive Room Fire Separation	1 hour FRR
38	Dumbwaiter Fire Separation	N/A
39	Service Room Fire Separations	Rooms w/ Fast-Fired Appliances 1 hour FRR Electrical Rooms 2 hour FRR
40	Work Closures for Business and Personal Services Occupancy based on Occupant Load	1 Accessible Warehouse / Occupancy <10 Persons
41	Accessibility:	
	Access to all Storeys Required	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
	Universal Washroom Required	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no CRU 4
	Accessible Public Washrooms Required	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
	Path of Travel	Provided to Main Entrance
	Accessible Parking	4 Parking Spaces Provided
	Accessible Entrance	Provided at Main Entrance
42	Environmental Separation Provided	N/A
43	Required Protection from Noise	N/A

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CONSULTANT		
SEAL		
A circular professional seal for Carolyn Wilson, a Registered Architect in British Columbia. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "BRITISH COLUMBIA" at the bottom, separated by small stars. Inside the ring, the name "CAROLYN WILSON" is written in a curved path around a central five-pointed star.		
DEVELOPER / CLIENT: WARMLAND CANNABIS		

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VICTORIA, BC.
V8V 0C8



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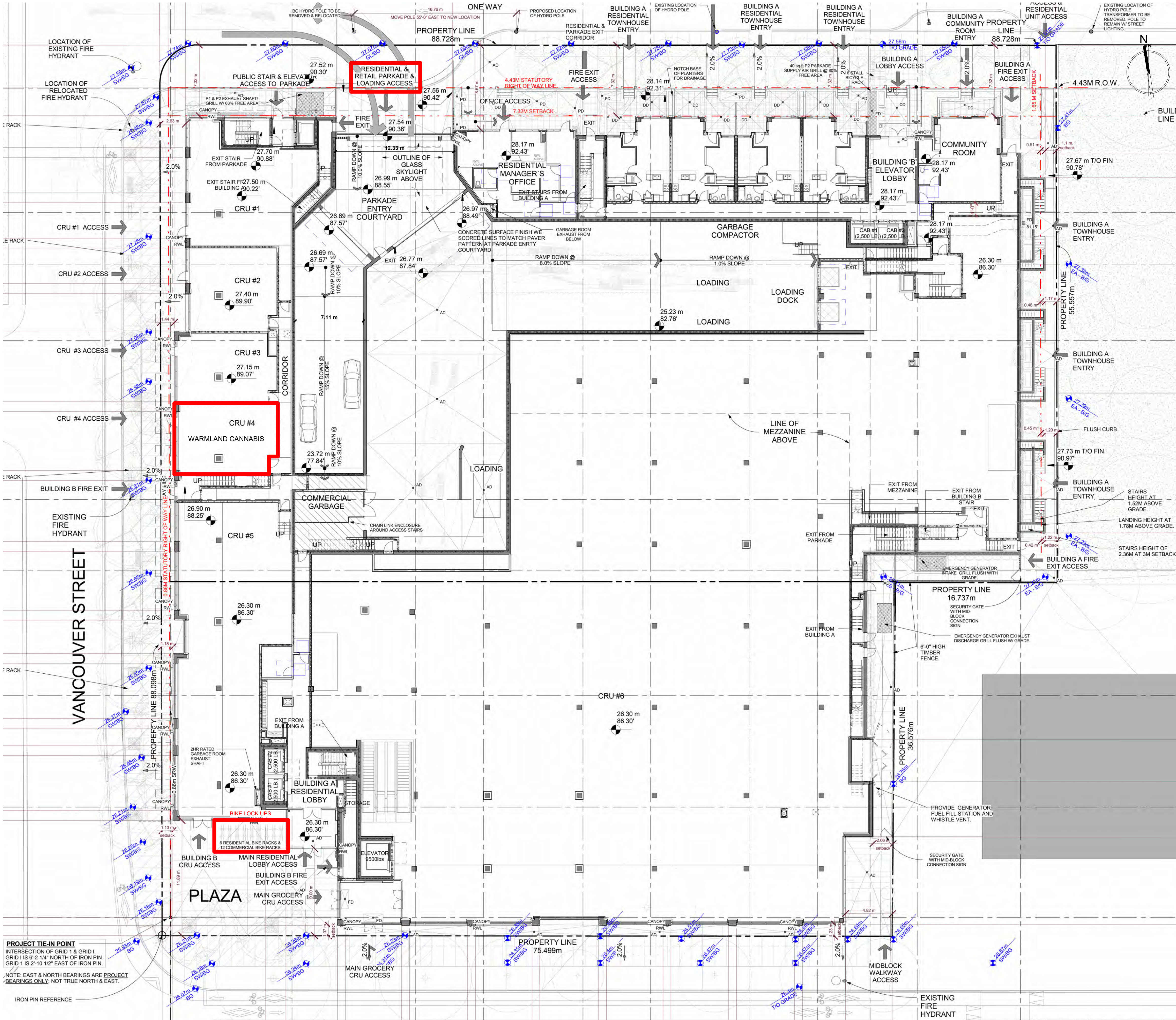
<div>SCALE</div> <div>1 : 1</div>	
<div>DRAWING TITLE</div> <div>BUILDING CODE ANALYSIS</div>	
<div>SHEET No.</div> <div>A1.1</div>	
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GENERAL NOTES

1. THE WORK INDICATED IN THESE DOCUMENTS IS INTENDED TO BE A COMPLETE WORK IN EVERY RESPECT. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF ALL THE CONTRACT DOCUMENTS TAKEN AS WHOLE. ANY WORK SHOWN ON THE DRAWINGS EVEN IF NOT PARTICULARLY DESCRIBED IN THE SPECIFICATIONS, OR VICE VERSA, IS TO BE DONE BY THE CONTRACTOR AS IF IT WERE BOTH SHOWN ON DRAWINGS AND SPECIFIED.
2. EXAMINE SITE, REVIEW ALL SITE CONDITIONS PERTINENT TO WORK OF THE CONTRACT. THE CONSULTANT DOES NOT GUARANTEE EXISTING SITE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS AND THE CONTRACTOR MUST ANTICIPATE MINOR VARIANCES IN SUCH INFORMATION RELATIVE TO ACTUAL CONDITIONS PRIOR TO BID CLOSE. REPORT ANY MAJOR DISCREPANCIES TO THE CONSULTANT.
3. PERFORM WORK IN ACCORDANCE WITH B.C. BUILDING CODE (BCBC) LATEST EDITION AND ANY OTHER CODE OF PROVINCIAL OR LOCAL APPLICATION PROVIDED THAT IN ANY CASE OF CONFLICT THE DISCREPANCY, THE MORE STRINGENT REQUIREMENTS OR AUTHORITY HAVING JURISDICTION SHALL APPLY.
4. MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS AND CODES, AND REFERENCED DOCUMENTS.
5. CONFLICT IN TERMINOLOGY UTILIZED WITHIN THE CONTRACT DOCUMENTS WILL BE DECIDED AS THE MORE EXPENSIVE ALTERNATIVE.
6. WHERE SITE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SERVICES, CARRY OUT WORK IN ACCORDANCE WITH MUNICIPAL AND OR UTILITY COMPANY REQUIREMENTS. COORDINATE SERVICE INTERRUPTIONS WITH OWNER AND AUTHORITY HAVING JURISDICTION.
7. FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS AND CONDUITS AND CONFORM TO FIRE STOPPING AND FIRE SEPARATION REQUIREMENTS. CONCEAL ALL PIPES, DUCTS, CONDUITS AND WIRING IN FLOOR, WALL AND ROOF AND CEILING CONSTRUCTION OF FINISHED AREAS.
8. RECORD EXACT LOCATIONS OF NEW, MAINTAINED, RE-ROUTED AND ABANDONED SERVICE LINES ON AS-BUILT DRAWINGS.
9. THE LOCATION OF EXISTING FEATURES, BOTH ABOVE GRADE AND UNDERGROUND, HAS BEEN DETERMINED FROM AVAILABLE RECORDS BUT IS NOT GUARANTEED. THE LOCATION OF ALL SUCH FEATURES SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
10. DEMOLITION IN THE VICINITY OF EXISTING STRUCTURES AND UTILITIES SHALL BE CAREFULLY PERFORMED. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE TO AND FOR PROTECTION OF EXISTING STRUCTURES AND UTILITIES. DAMAGE TO EXISTING STRUCTURES AND UTILITIES IS TO BE MADE GOOD TO THE SATISFACTION OF THE CONSULTANT AT NO COST TO THE OWNER.
11. ALL THE VARIOUS WORKS SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND OF THE BEST MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. NONE BUT SKILLED, EXPERIENCED WORKMEN AND THEIR APPRENTICES SHALL BE EMPLOYED ON THE WORK.
12. ALL THE MATERIALS USED IN THE EXECUTION OF THE WORK OF THIS CONTRACT SHALL BE NEW AND/OR BEST QUALITY UNLESS OTHERWISE SHOWN.
13. READ ALL DRAWINGS IN CONJUNCTION WITH ALL PROJECT SPECIFICATION SECTIONS.
14. CONTAIN SITE WORK AREA TO LIMITS AS SHOWN ON SITE PLAN. DECONSTRUCTED AND WASTE MATERIALS TO BE REMOVED FROM SITE AND TRANSPORTED TO RECYCLING FACILITIES AUTHORIZED TO HANDLE AND DISPOSE OF THE MATERIALS.
15. CONTRACTORS STORAGE AND LAY-DOWN AREA IS TO BE CONTAINED WITHIN SITE WORK AREA LIMITS UNLESS OTHERWISE NOTED.
16. LIMIT SITE ACCESS TO ROUTES INDICATED ON THE SITE PLAN. COORDINATE ALL ACCESS WITH AUTHORITY HAVING JURISDICTION AND THE OWNER'S RESTRICTIONS PRIOR TO COMMENCEMENT OF WORK. ABIDE BY ALL MUNICIPAL REQUIREMENTS, OWNER RESTRICTIONS AND CONTRACT DOCUMENTS.
17. SITE AND TOPOGRAPHICAL INFORMATION HAS BEEN OBTAINED FROM SURVEY DRAWINGS OBTAINED FROM THE OWNER. LOCATIONS OF ALL SITE COMPONENTS AND ELEVATION DATUMS PRIOR TO COMMENCEMENT OF THE WORK. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
18. RE-GRADE ALL AREAS DISTURBED DURING CONSTRUCTION TO FINISHED GRADES AS INDICATED ON DRAWINGS AND BLEND INTO EXISTING NATURAL GRADE AS REQUIRED.
19. UNLESS OTHERWISE INDICATED EXTERIOR DIMENSIONS ARE TO FACE OF FOUNDATION WALL OR FACE OF EXTERIOR SHEATHING.
20. UNLESS OTHERWISE INDICATED INTERIOR DIMENSIONS ARE TO FACE OF WALL FINISH. REFER TO ARCHITECTURAL ASSEMBLY DRAWINGS FOR WALL AND PARTITION CONSTRUCTION. READ ALL DIMENSIONS ON ARCHITECTURAL IN CONJUNCTION WITH STRUCTURAL LAYOUT DRAWINGS. NOTIFY CONSULTANT OF DISCREPANCIES PRIOR TO START OF THE WORK.
21. ALL WALL PENETRATIONS TO BE SEALED USING APPROVED BUILDING ENVELOPE PRODUCTS AND METHODS.
22. NEW & EXISTING GRADES SHOWN IN ELEVATION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ALL DATING SITE CONDITIONS AND MAKE NECESSARY ADJUSTMENTS AND FINAL FINISH CLADDING TERMINATIONS. MAKE ADJUSTMENTS TO MATERIAL LENGTHS AND QUANTITIES AS NECESSARY TO SUIT EXISTING & ADJUSTED GRADE CONDITIONS AS NECESSARY. REPORT ANY DISCREPANCIES TO CONSULTANT PRIOR TO START OF WORK.
23. THROUGH BOLT ALL CABINETS, SHELVING AND WALL MOUNTED FIXTURES TO SOLID WOOD BLOCKING TO ACHIEVE SEISMIC RESTRAINT.
24. ALL SHELVES TO BE ADJUSTABLE U.N.O.
25. CONFIRM CLEARANCES REQUIRED FOR ALL OWNER SUPPLIED EQUIPMENT PRIOR TO FABRICATION OF MILLWORK OR WORK TO BE BUILT IN.
26. PRIOR TO INSTALLATION COORDINATE PLACEMENT OF ALL SERVICES FIXTURES AND FITTING WITHIN CEILING SPACES TO AVOID CONFLICTS THAT RESULT IN DESIGN ELEVATION CHANGES TO CEILINGS. PREPARE COORDINATION DRAWING FOR REVIEW FOR COMPLEX CONDITIONS. CONTRACTOR TO INCORPORATE NECESSARY CHANGES IF CONSULTANT AGREES TO ADJUST DEISN LEVEL OF FINISHED CEILINGS.

CONSTRUCTION ASSEMBLY NOTES

1. REFER TO STRUCTURAL DRAWING FOR ALL INFORMATION REGARDING CONCRETE STRUCTURAL, SIZES & SPACING & CONNECTIONS OF LOADBEARING WALL STUDS, FLOOR JOISTS, ROOF JOISTS AND SHEAR WALLS.
2. PLYWOOD SHEATHING SPECIFIED ON STRUCTURAL DRAWINGS FOR SHEARWALLS IS SEPARATE AND AN ADDITIONAL TO MATERIAL COMPONENTS FOR CONSTRUCTION ASSEMBLIES LISTED ON ARCHITECTURAL DRAWINGS. DRYWALL LISTED IN ASSEMBLIES TO BE APPLIED OVER TOP OF PLYWOOD SHEARWALLS REQUIRED BY STRUCTURAL DOCUMENTS.
3. FILL ALL INDIVIDUAL STUD SPACES ACCOMODATING SUPPLY OR WASTE WATER PIPING OR RAINWATER LEADERS WITH MINERAL FIBRE BATT INSULATION.
4. FILL VOIDS BETWEEN PREFAB SHOWER UNITS AND FLOOR BELOW WITH MINERAL FIBRE BATT INSULATION.
5. PROVIDE 90mm FIBREGLASS BATT INSULATION IN VOID SPACE ABOVE DROPPED CEILING IN ALL SUITE BATHROOMS TO COVER MINIMUM OF 50% CEILING AREA IN PLAN.
6. PROVIDE FIRESSTOPPING AT ALL CONCEALED SPACES AND OTHER LOCATIONS IN ACCORDANCE WITH B.C. BUILDING CODE (BCBC) LATEST EDITION.
7. PROVIDE FIRESSTOPPING OF SERVICE PENETRATIONS AT ALL REQUIRED FIRE SEPARATIONS IN CONFORMANCE WITH B.C. BUILDING CODE (BCBC) LATEST EDITION.
8. PROVIDE CONTINUOUS FOAM GASKET BETWEEN WALL PLATES AND CONCRETE FOUNDATION WALL OR SLAB ON GRADE.
9. BEHIND 3 SIDES OF ALL PREFAB SHOWER UNITS IN SUITES, SUBSTITUTE 5/8" TYPE 'X' WATER RESISTANT TYPE BACKER BOARD FOR 5/8" GYPSUM BOARD SPECIFIED IN WALL ASSEMBLY.
10. PROVIDE MINIMUM 2x6" SOLID WOOD BLOCKING BETWEEN STUDS FOR MOUNTING OF ALL HANDRAILS AND GRAB BARS.
11. DROP CEILING BELOW FLOOR ASSEMBLIES LISTED SHALL CONSIST OF 1 LAYER 5/8" GYPSUM BOARD ON METAL SUSPENSION SYSTEM.
12. ALL LOAD BEARING WALLS, POSTS & BEAMS SUPPORTING RATED FLOOR ASSEMBLIES TO HAVE FIRE REISTANCE EQUAL TO FLOOR RATING.
13. SHEATHING MEMBRANE SPECIFIED AT ALL EXTERIOR WALL ASSEMBLIES TO HAVE TAPED VERTICAL JOINTS AND CAULKED HORIZONTAL JOINTS TO CREATE CONTINUOUS AIR BARRIER.
14. COORDINATE ALL ACCESS PANEL LOCATIONS IN WALLS & CEILING WITH MECHANICAL AND ELECTRICAL REQUIREMENTS.

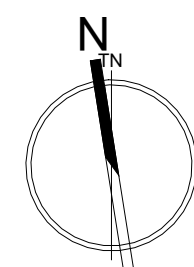
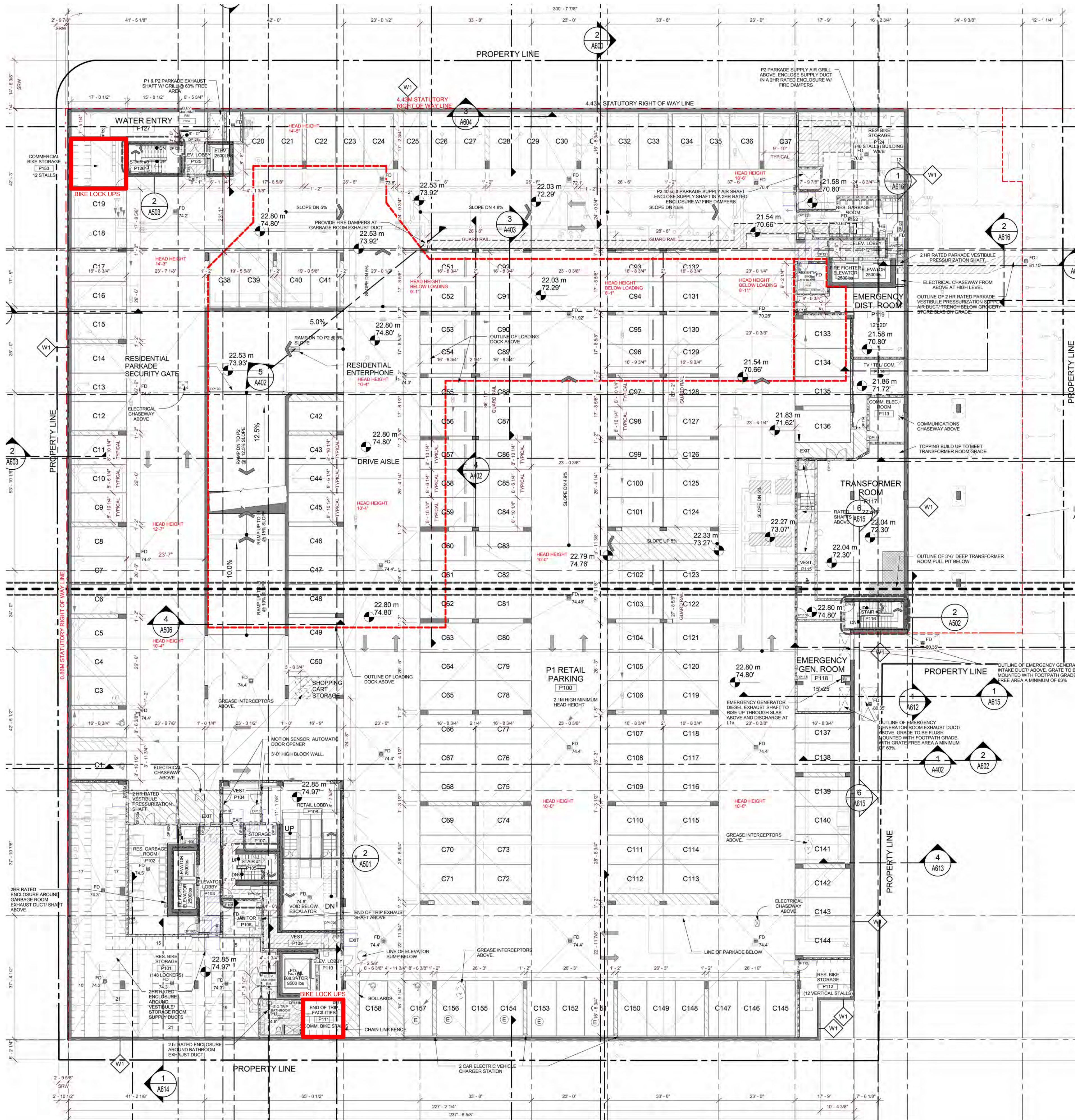


1 Site Plan
1 : 200

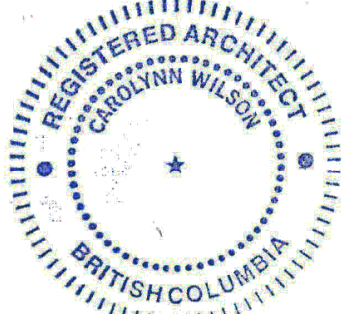
PLOT DATE		
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REVISION No.		
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SEAL		
DEVELOPER / CLIENT: WARMLAND CANNABIS		

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SCALE As indicated	
DRAWING TITLE SITE PLAN, GENERAL NOTES	
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1 FLOOR PLAN - P1
1 : 200

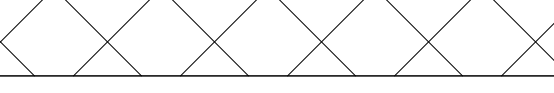
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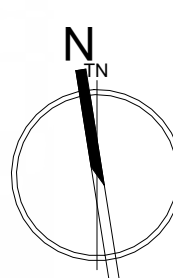
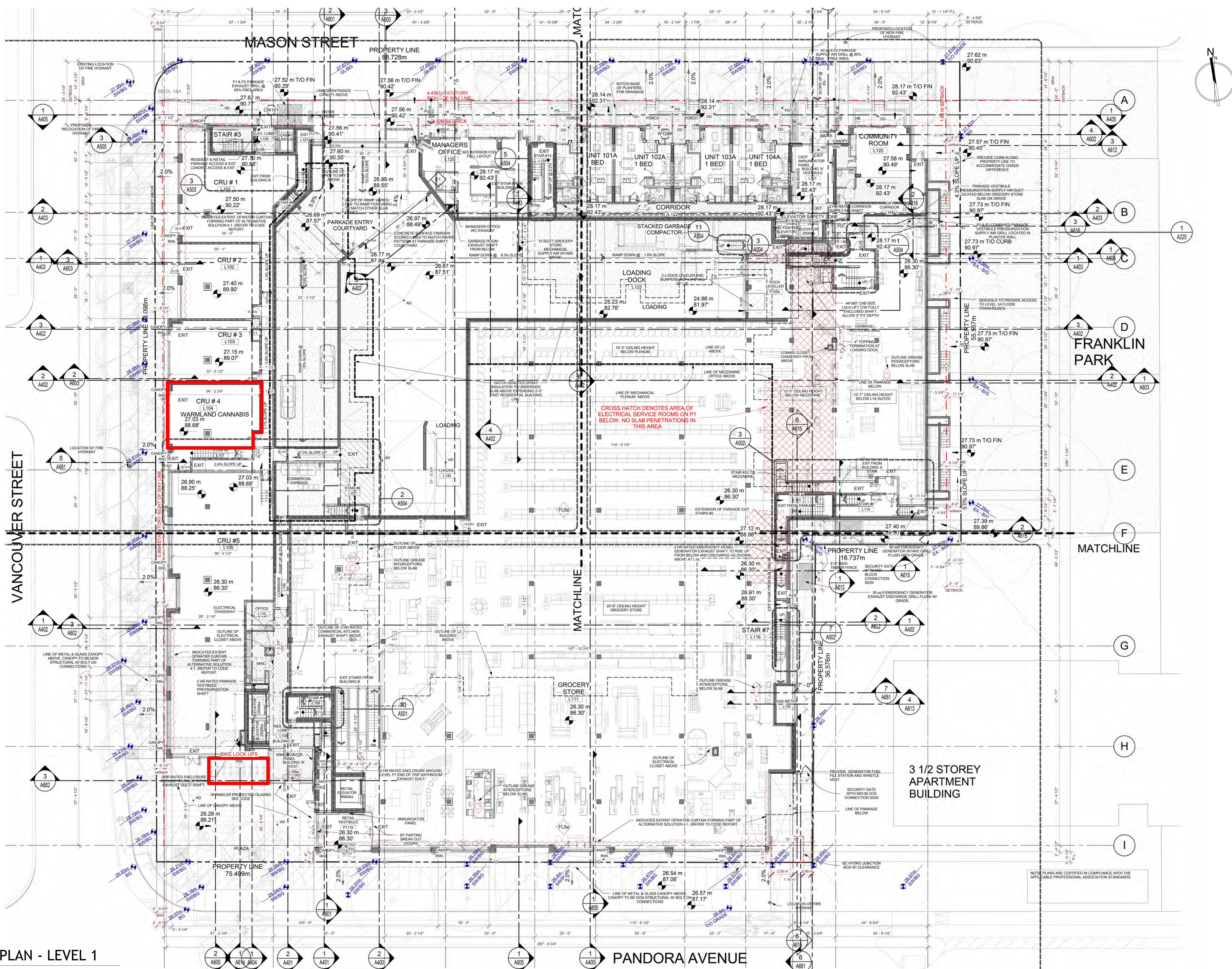
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DRAWING TITLE FLOOR PLAN - P1	
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1 FLOOR PLAN - LEVEL 1
1 : 200

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DRAWING TITLE FLOOR PLAN - LEVEL 1	
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PARTITION LEGEND

- W1

EXISTING STEEL STUD PARTITION W/ GWB FINISH
- W2

EXISTING CONCRETE MASONRY BLOCK PARTITION
- W3

EXISTING EXTERIOR WALL WITH GWB FINISH - MAKE SMOOTH AS NEEDED FOR PRIME/FINISH PAINT AS PER OWNER
- W4

EXISTING FURRED-OUT WALL - MAKE SMOOTH AS NEEDED FOR PRIME/FINISH PAINT AS PER OWNER
- W5

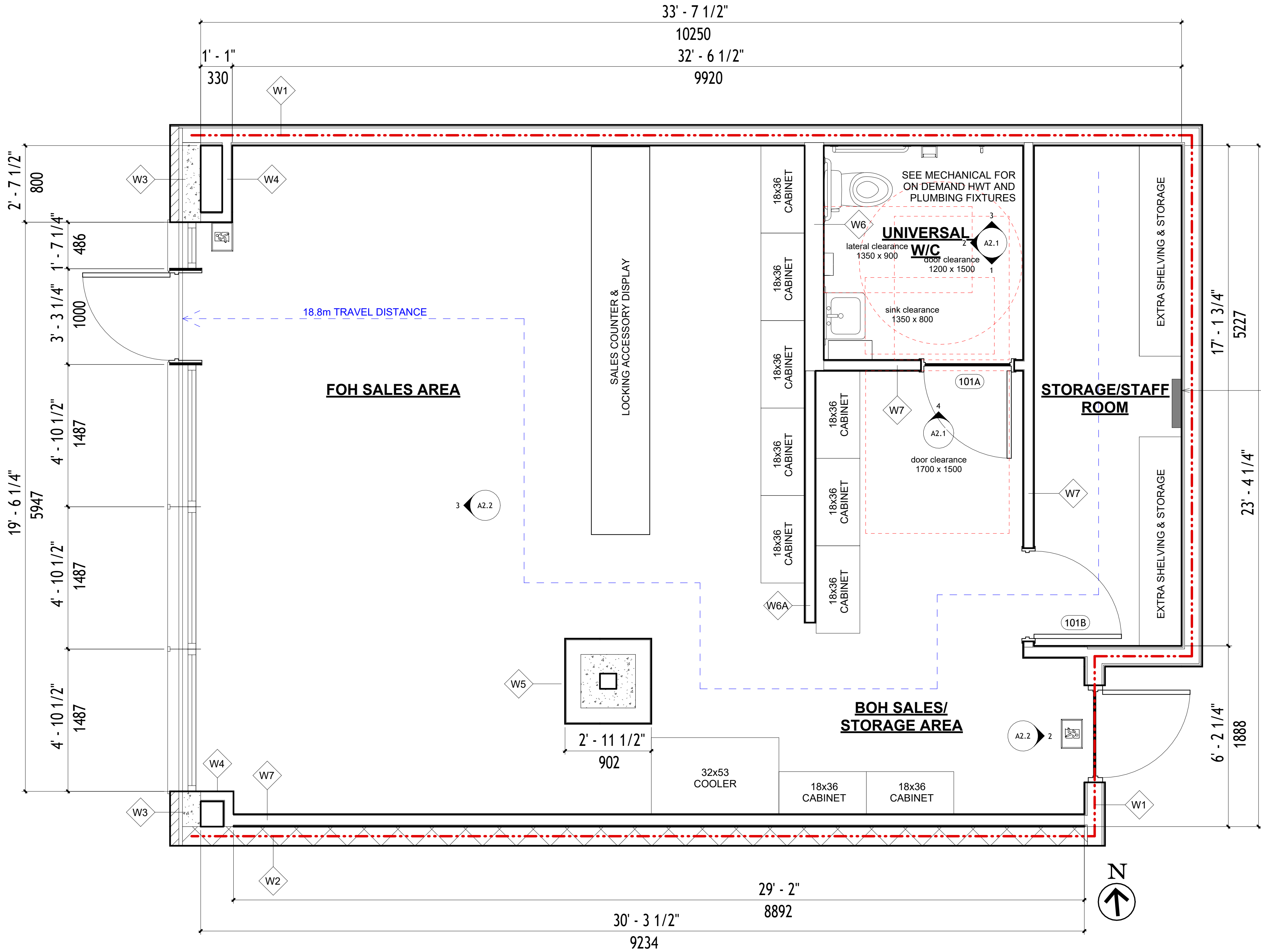
EXISTING 6" STUD FURRED-OUT WALL - MAKE SMOOTH AS NEEDED FOR PRIME/FINISH PAINT AS PER OWNER
- W6

140mm STEEL STUD WALL TO U/S OF CONCRETE FLOOR ABOVE - SEISMIC BRACE WALL
- W6A

89mm STEEL STUD WALL TO U/S OF CONCRETE FLOOR ABOVE - SEISMIC BRACE WALL
- W7

89mm STEEL STUD WALL TO U/S OF CONCRETE FLOOR ABOVE - SEISMIC BRACE WALL
- 2HR FIRE SEPARATION

VANCOUVER STREET



1 PROPOSED FLOOR PLAN
1 : 25

PLOT DATE		
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FOR BUILDING PERMIT		
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SCALE	
1 : 25	
DRAWING TITLE	
FLOORPLAN	
SHEET No.	
A1.5	
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REFLECTED CEILING PLAN LEGEND

GWB

3000

CEILING FINISH
CEILING HEIGHT

UIS

UNDERSIDE OF FLOOR OR ROOF
ASSEMBLY ABOVE

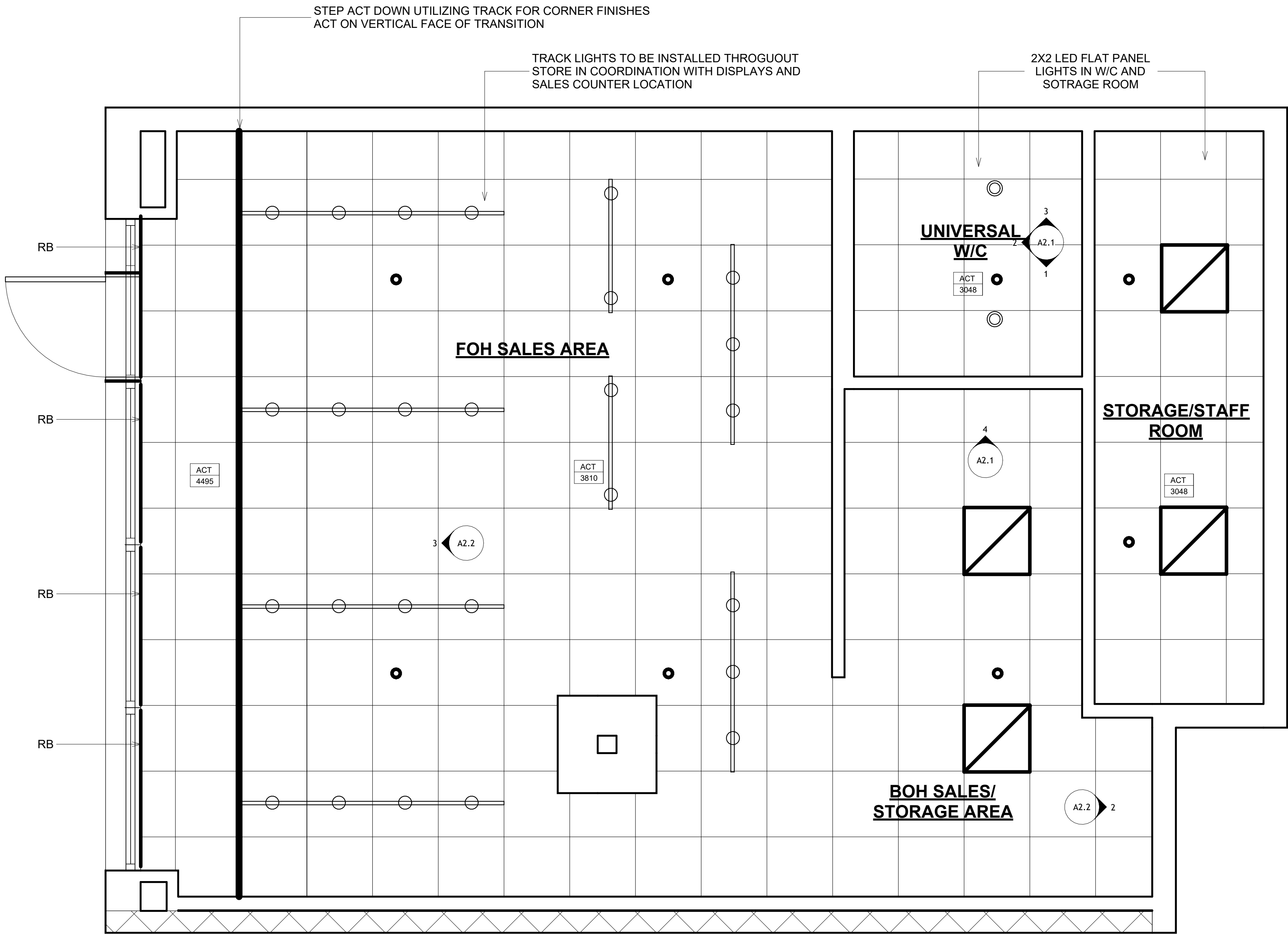
CEILING FINISH LEGEND

ACT - 610 x 610mm SEISMICALLY SUSPENDED
ACOUSTIC CEILING PANELS

-ARMSTRONG MODEL #1728BL
24" x 24" FINE FISSURED 5/8" THICK, CLASS A
SQUARE EDGE
-PRELUDE 15/16-in SUSPENDED CEILING
INSTALLATION SYSTEM, SEISMICALLY
SUSPENDED
-CONTRACTOR TO PROVIDE SCHEDULE S-B
AND S-C FOR OCCUPANCY

RB

80% BLACK OUT ROLLER BLINDS ATTACHED
TO ALUMINIUM FRAME MANUAL OPERATION
WITH CHAIN
-SEE ELEVATIONS FOR EIGHT
-SUPPLIER TO SITE MEASURE WIDTHS AND
HEIGHTS PRIOR TO MANUFACTURING



COORDINATION NOTES

- TILES AND TRACK TO BE BLACK
- FINAL CEILING HEIGHT TBD, TO BE MEASURED AND DETERMINED ON SITE
- MAINTAIN MAXIMUM ALLOWABLE HEIGHT IN THE FRONT SALES AREA
- EXISTING HVAC/SPRINKLERS TO BE MEASURED AND CONFIRMED ON SITE

1 PROPOSED REFLECTED CEILING PLAN
1 : 25

PLOT DATE

No.

DESCRIPTION

DATE

FOR BUILDING PERMIT

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CONSULTANT

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DEVELOPER / CLIENT:
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- ALL WALLS TO BE MUDDERED, SANDED, AND PAINTED
 - BENJAMIN MOORE OC26 (WHITE)
- POSSIBLE INSTALLATION OF POWER BLINDS AT FRONT WINDOWS, TO REFERENCE NEIGHBORING BUSINESSES. TBD
- MENU SCREEN REQUIREMENTS
 - A/C RECEPTACLE
 - ETHERNET
- TELUS CUSTOM SECURITY TO BE INSTALLED. KEYPAD ON WALL NEAR FRONT ENTRANCE WILL REQUIRE A/C RECEPTACLE
- PROVIDE PLYWOOD BACKING IN ALL WALLS WHERE SHELVING AND CABINETS ARE TO BE ATTACHED FOR SEISMIC BRACING
- CONTRACTOR TO SCRAPE, CLEAN, AND LEVEL THE EXISTING FLOOR

FLOORING:
F1 - CARBONIZED BAMBOO FLOORING
F2 - VINYL PLANK FLOORING

PAINT:
PT1- BENJAMIN MOORE OC26 (WHITE) Silver Satin
OC-26 | Benjamin Moore


VANCOUVER STREET



7115

REGISTERED ARCHITECT
CAROLYN WILSON
BRITISH COLUMBIA

DEVELOPER / CLIENT:
WARMLAND CANNABIS



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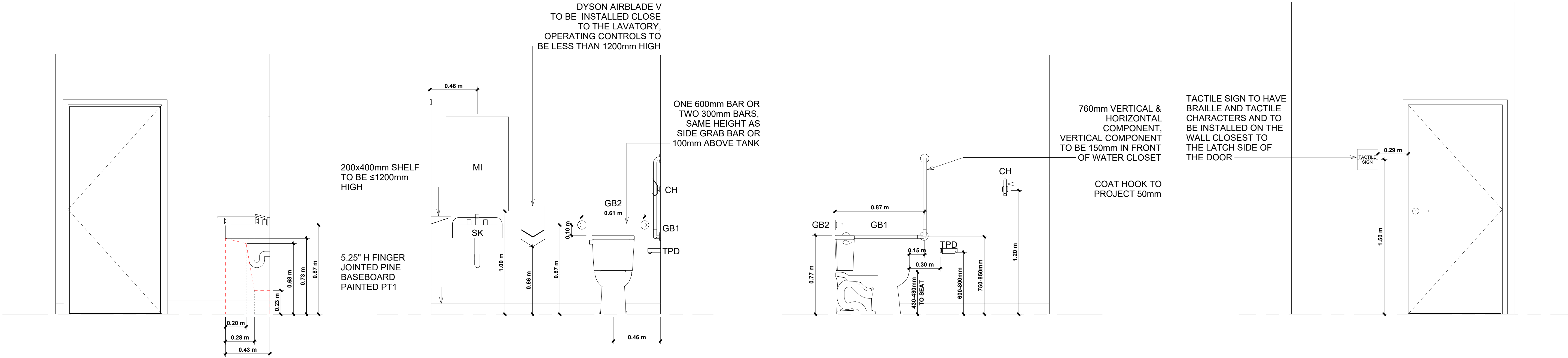
DRAWING TITLE

FLOORPLAN INTERIOR FINISHES

SHEET No.

A1.7

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1 WASHROOM ELEVATION 1
1 : 20

2 WASHROOM ELEVATION 2
1 : 20

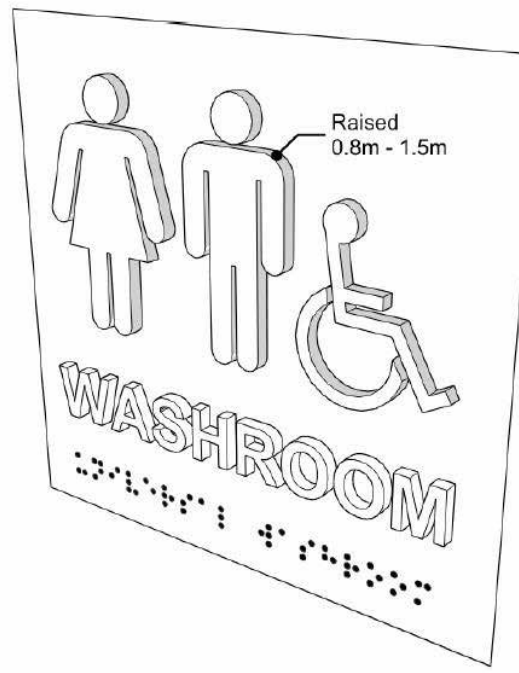
3 WASHROOM ELEVATION 3
1 : 20

4 WASHROOM DOOR ELEVATION
1 : 20

DOOR SCHEDULE															
Mark	Location	Door Panel										Frame			Comments
		Size			Type	Material	Finish	FRR	Hardware	Signage Type	Signage Label	Type	Material	Finish	
		Width	Height	Thickness											
101A	WASHROOM	914	2032	45	A	WD SC	WD VENEER ST	NO	PRIVACY SET	12"X3" BRUSHED ALUM ALUPANEL + WHEELCHAIR SYMBOL	UNIVERSAL W/C + WHEELCHAIR SYMBOL	1	WD	PT	
101B	STORAGE	914	2032	45	B	WD HC	PT1	NO	TBD	TBD	STORAGE	1	WD	PT	

ABBREVIATIONS

WD - WOOD	PT - PAINTED
AL - ALUMINUM	AN - ANODIZED
HC - HOLLOW CORE	CL - CLEAR
MWD - METAL FACE / SOLID WOOD CORE	PRE - PREFINISHED BY MANUFACTURER
WD SC- WOOD SOLID CORE	N/A - NOT APPLICABLE



TACTILE CHARACTERS

LETTERS AND NUMERALS SHALL BE

- RAISED BETWEEN 0.8 AND 1.5mm ABOVE THE SURFACE;
- SANS SERIF;
- 16 TO 50mm IN HEIGHT;
- ACCOMPANIED BY BRAILLE NEAR THE BOTTOM EDGE OF THE SIGN;
- AND COLOUR-CONTRASTED WITH THEIR BACKGROUND.

WASHROOM ACCESSORY LEGEND

TPD - TOILET PAPER DISPENSER

CH - COAT HOOK, SEE SPEC.

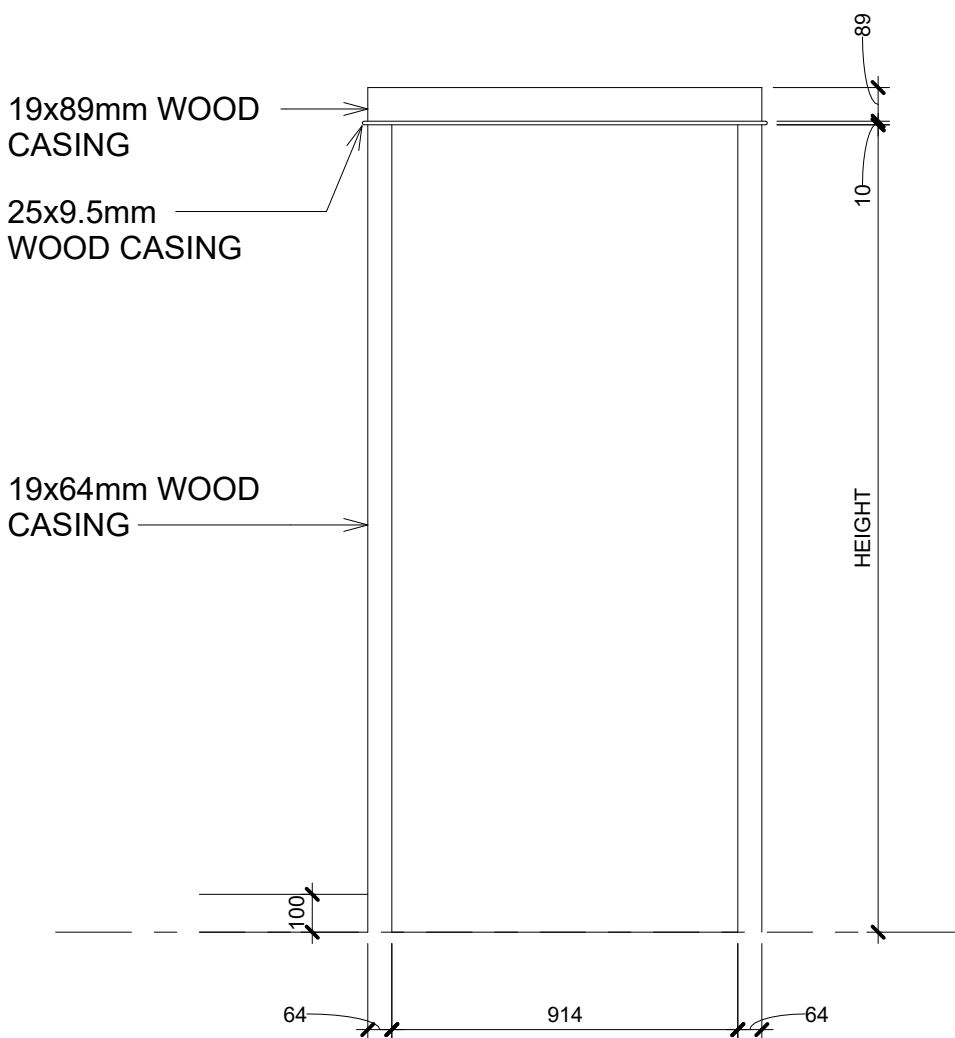
GB1 - 32mm DIA. STAINLESS STEEL L-SHAPED GRAB BAR, SLIP RESISTANT, PROVIDE PLYWOOD BACKING IN WALL, SEE SPEC.

GB2 - 38mm DIA. STAINLESS STEEL GRAB BAR 610mm LONG, SLIP RESISTANT, PROVIDE PLYWOOD BACKING IN WALL, SEE SPEC.

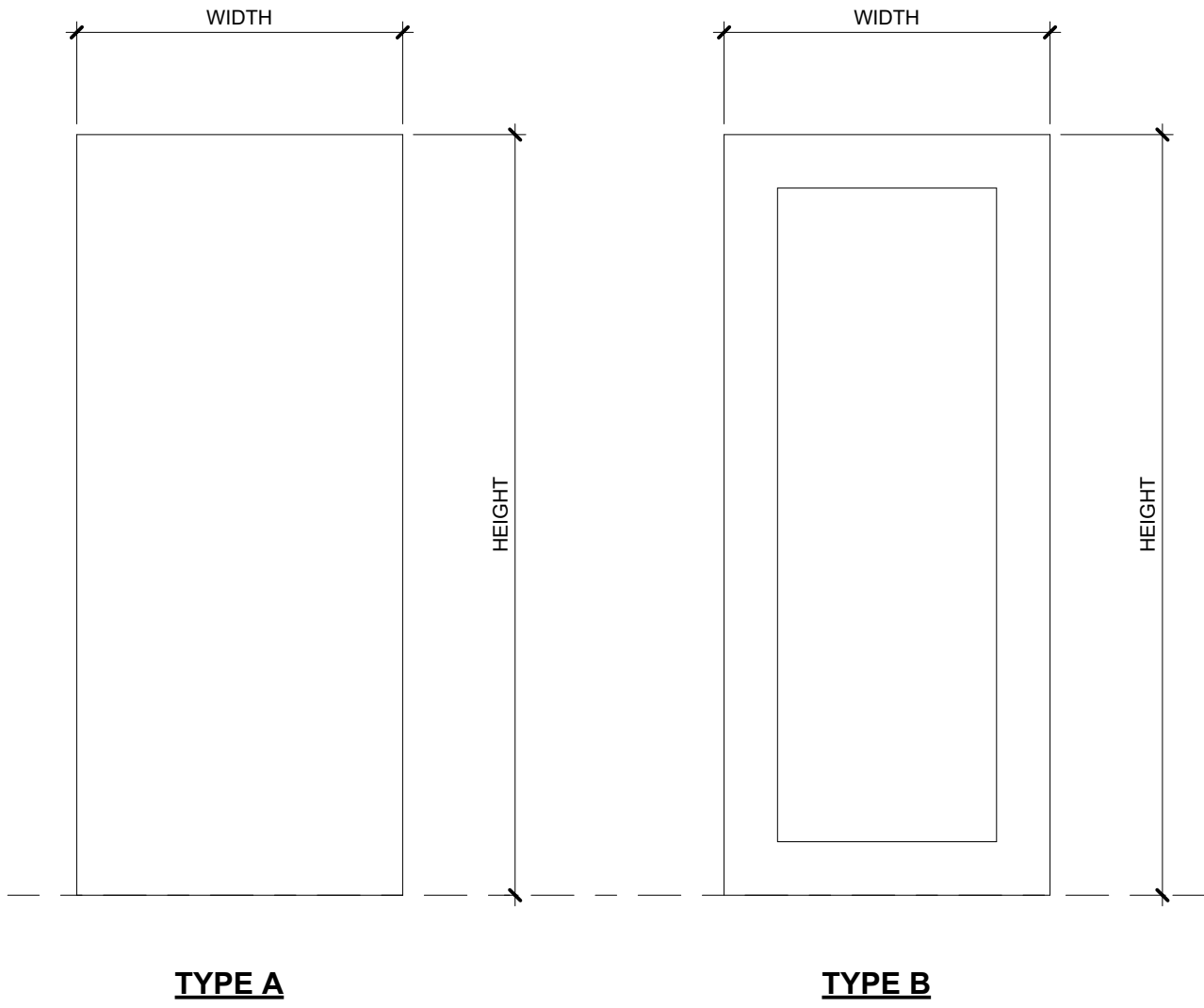
MI - BOBRICK SS CHANNEL MIRROR WITH FRAME - B-165 1836 - 18" X 36"

FT - FAUCET, SEE MECHANICAL

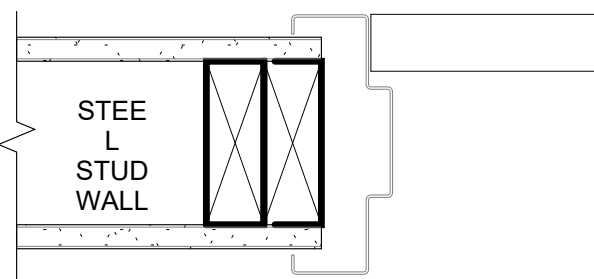
SK - WALL MOUNTED SINK, SEE MECHANICAL



DOOR TRIM TYPE 1 DETAIL
1 : 20



DOOR TYPE
1 : 20



DOOR FRAME DETAIL
1 : 5

PLOT DATE

No.	DESCRIPTION	DATE
FOR BUILDING PERMIT		

REVISION No.

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CONSULTANT

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DEVELOPER / CLIENT:
WARMLAND CANNABIS

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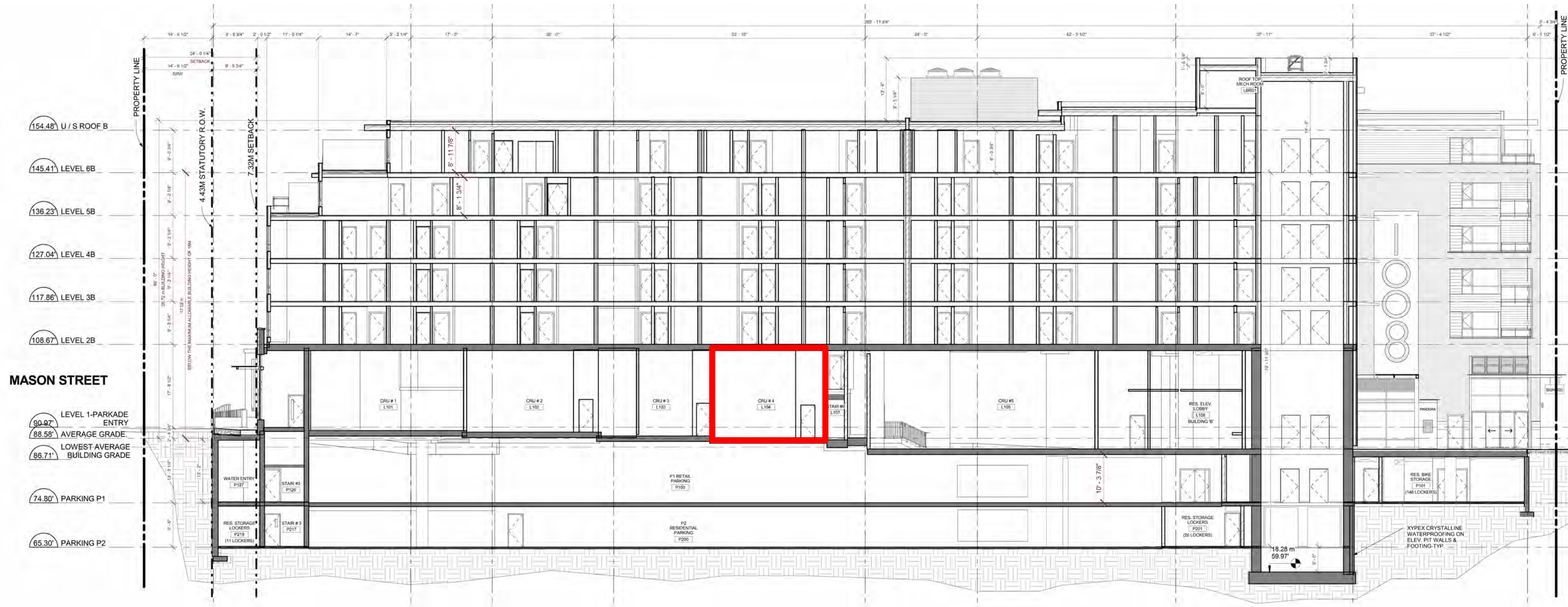
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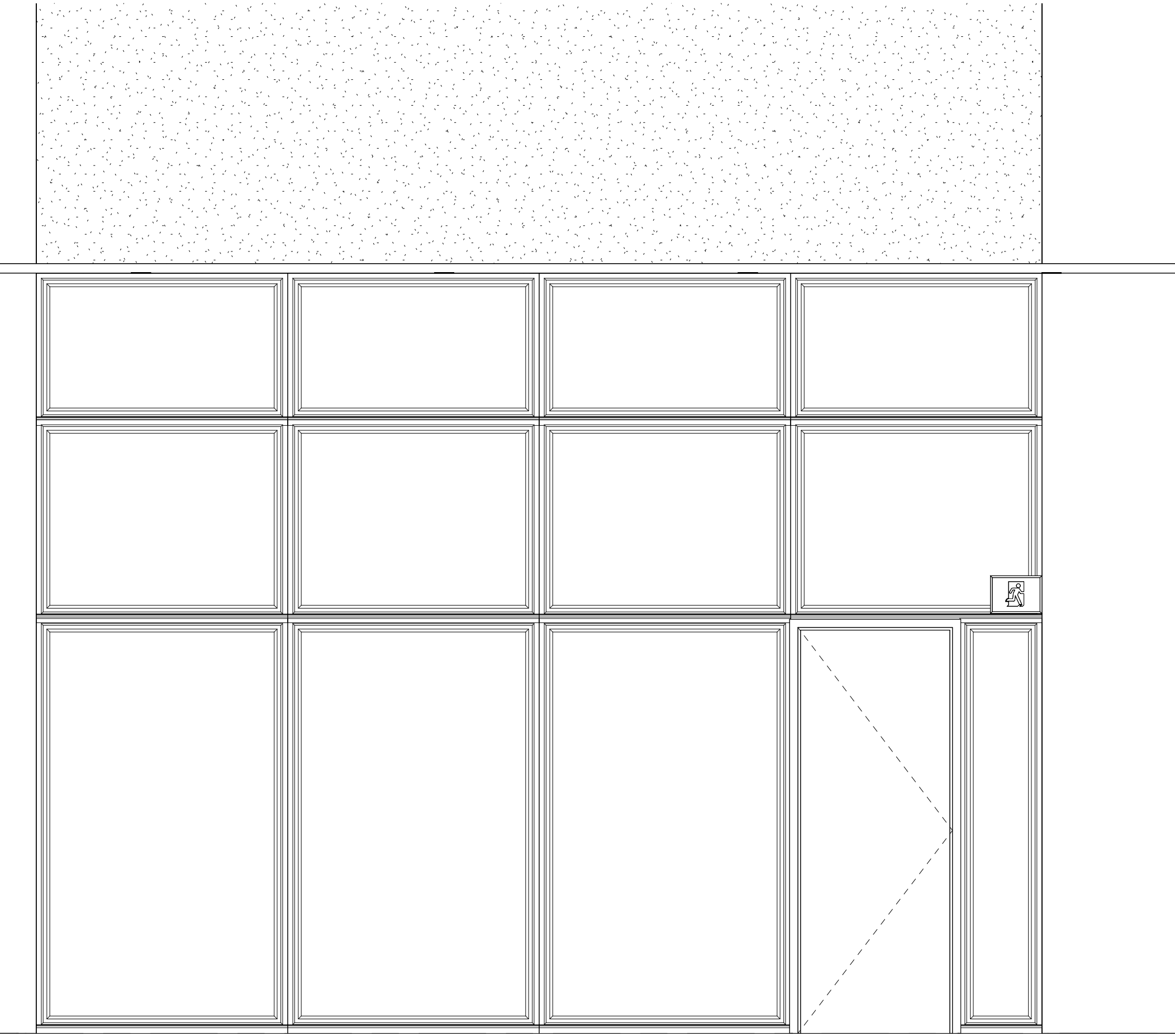
DRAWING TITLE
WASHROOM ELEVATIONS/DOOR FRAME DETAILS

SHEET No.
A2.1

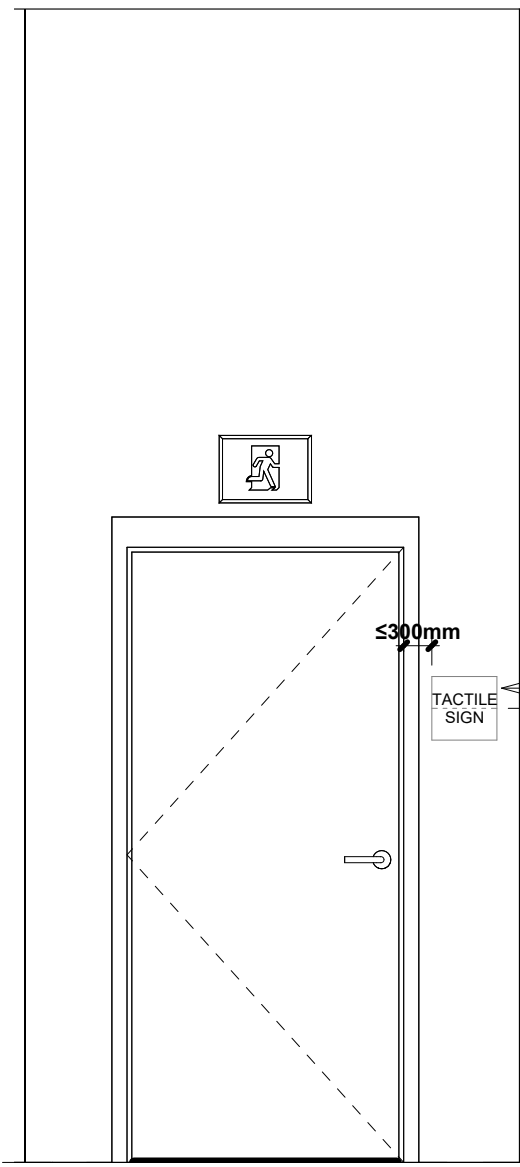
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1 EXISTING BUILDING SECTION
1 : 200



3 INTERIOR STORE FRONT ELEVATION
1 : 25



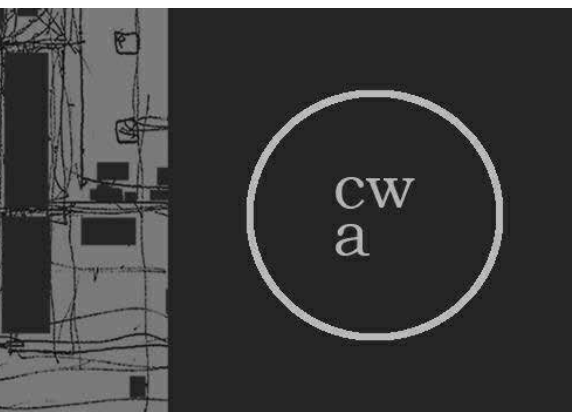
2 EXIT DOOR ELEVATION
1 : 25

TACTILE SIGN TO DISPLAY THE WORD 'EXIT' IN BRAILLE AND TACTILE CHARACTERS. TO BE MOUNTED ON APPROACH SIDE OF EXIT DOORS IN THE DIRECTION OF TRAVEL.

PLOT DATE		
No.	DESCRIPTION	DATE
FOR BUILDING PERMIT		
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