



PROJECT INFORMATION

PROJECT STATS
 ZONE - CURRENT GRD-1
 ZONE - PROPOSED CD
 PROPOSED USE RESIDENTIAL MULTIPLE DWELLING
 STRATA HOTEL

TOTAL NUMBER OF UNITS 52
 UNIT TYPES 1, 2, & 3 BEDROOMS
 UNITS < 45m2 17
 UNITS ≥ 45m2 & ≤ 70m2 16
 UNITS > 70m2 19
 GROUND-ORIENTED UNITS 8
 MINIMUM UNIT FLOOR AREA (m2) 38.1
 TOTAL RESIDENTIAL FLOOR AREA (m2) 1,266.2
 TOTAL FLOOR AREA (m2) 4,029.6

LOCATION & SITING OF USES AND STRUCTURES
 TRANSIT PRIORITY NETWORK 400m
 PRIORITY GROWTH AREA YES

	PROPOSED	PERMITTED / REQUIRED
DENSITY OF DEVELOPMENT		
FLOOR SPACE RATIO	3.2	1.6

	PROPOSED	PERMITTED / REQUIRED
HEIGHT		
HEIGHT OF BUILDING (m)	24.5	20.5
NUMBER OF STOREYS	6	6
PROJECTIONS FROM ROOFTOP STRUCTURES (m)	1.7	3.0

	PROPOSED	PERMITTED / REQUIRED
SETBACKS & PROJECTIONS (m)		
FRONT LOT LINE (MICHIGAN ST)	3.5	4.0
REAR LOT LINE	3.0	8.0
FLANKING STREET LOT LINE (GOVERNMENT ST)	2.9	4.0
FLANKING STREET LOT LINE (YOUNG ST)	5.7	4.0
PROJECTIONS - BALCONY	1.2	2.0
PROJECTIONS - STEPS	3.0	4.0
PROJECTIONS - EAVES	0.00	0.75
PROJECTIONS - PARKADE - FRONT	3.4	4.0
PROJECTIONS - PARKADE - BACK	6.35	0.75

	PROPOSED	PERMITTED / REQUIRED
MOTOR VEHICLE & BICYCLE PARKING		
PARKING STALLS ON SITE (INCL. ACCESSIBLE)	26	58, REDUCED TO 0*
0.85 FOR UNITS < 45m2		0.85*17=14.45
1.00 FOR UNITS ≥ 45m2 & ≤ 70m2		1.00*16=16
1.45 FOR UNITS > 70m2		1.45*19=27.55

	PROPOSED	PERMITTED / REQUIRED
ACCESSIBLE PARKING STALLS	1	2
VAN ACCESSIBLE STALLS	1	1
VISITOR PARKING STALLS (0.10 PER UNIT)	2	0.10*52=5.2
VISITOR ACCESSIBLE PARKING STALLS	0	N/A
VISITOR VAN ACCESSIBLE STALLS	0	N/A

	PROPOSED	PERMITTED / REQUIRED
TOTAL STALLS	28	
ENERGIZED ELECTRIC VEHICLE OUTLETS	28	1 PER STALL

	PROPOSED	PERMITTED / REQUIRED
DRIVEWAY SLOPE	15%	15%
PARKING SLOPE	5%	8%
BICYCLE PARKING SPACES - CLASS 1	64	61
1 FOR UNITS < 45m2		1*17=17
1.25 FOR UNITS ≥ 45m2		35*1.25=43.75

	PROPOSED	PERMITTED / REQUIRED
PERCENTAGE GROUND MOUNTED SPACES	56	50
BICYCLE PARKING SPACES - CLASS 2	6	6 > 5.2
GREATER OF 0.10 PER UNIT OR 6		

*LOCATED IN TRANSIT ORIENTED AREA

	PROPOSED	PERMITTED / REQUIRED
LOT COVERAGE & OPEN SPACE		
LOT COVERAGE	58.9% (745.3/1266.2)	55% MAX
OPEN SITE SPACE	41.1% (520.9/1266.2)	30% MIN
LANDSCAPE AREA	0%	10% MIN

	PROPOSED	PERMITTED / REQUIRED
LOT DIMENSION & AREA		
LOT AREA (m2) MIN	1,266.2	540
STREET FRONTAGE (m) MIN	30.4	36.0



443 GOVERNMENT STREET

PROJECT TEAM

OWNER
 443 GOVERNMENT DEVELOPMENTS LTD.
 301 - 1106 COOK STREET
 VICTORIA, BC V8V 3Z9
 CONTACT: NICHOLAS STANDEVEN
 T. 250.883.5579
 E. standeven@abstractdevelopments.com

ARCHITECTURAL
 URBAN WEST ARCHITECTURE
 102-1688 W 1ST AVE.
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STRUCTURAL
 RJC ENGINEERS
 330-1515 DOUGLAS STREET
 VICTORIA, BC V8Z 6T8
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 E. lplett@rjc.ca

ELECTRICAL
 AES ENGINEERING
 500-3795 CAREY RD
 VICTORIA, BC V8Z 6T8
 CONTACT: JORDAN CLEAR
 T. 250.940.3487
 E. jordan.clear@aesengr.com

CIVIL
 WESTBROOK CONSULTING LTD.
 115-866 GOLDSTREAM AVENUE
 VICTORIA, BC
 CONTACT: BRUCE CRAWSHAW
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 E. bcrawshaw@wbrock.ca

LANDSCAPE
 LADR LANDSCAPE ARCHITECTS INC.
 3-864 QUEENS AVENUE
 VICTORIA, BC
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 E. cwindjack@ladra.ca

ARBORIST
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 CONTACT: ROBERT MACRAE
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 E. robbie@talmack.ca

SURVEYOR
 POWELL & ASSOCIATES
 250-2950 DOUGLAS STREET
 VICTORIA, BC
 CONTACT: JAMES WORTON
 T. 250.382.8855
 E. james@powellsurveys.com

DRAWING LIST

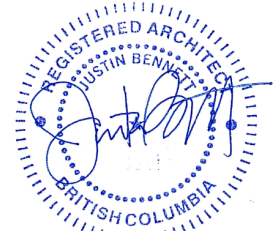
A000	COVER PAGE & PROJECT DATA	A200	LEVEL P1 FLOOR PLAN
A010	SITE SURVEY	A201	LEVEL 1 FLOOR PLAN
A011	CONTEXT PLAN	A202	LEVEL 2-5 FLOOR PLAN
A012	SITE PLAN	A203	LEVEL 6 FLOOR PLAN
A013	EXISTING SITE PLAN	A204	ROOF PLAN
A020	STREET ELEVATIONS	A300	ELEVATIONS
		A301	ELEVATIONS
A030	PROJECT IMAGES	A400	SECTIONS
A031	PROJECT IMAGES	A401	SECTIONS
A032	PROJECT IMAGES		
A040	LOT COVERAGE & OPEN SITE SPACE		

Revisions
 Subbed areas indicate revisions compared to the previously submitted plans.
Received Date
 April 23, 2026

OWNER / CLIENT



SEALED



2026-04-17

RZ 2026 03 27 RE-ISSUED FOR REZONING
 RZ 2025 04 17 ISSUED FOR REZONING
 NO. DATE DESCRIPTION

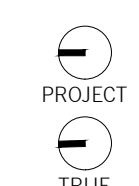
UWA
 URBAN WEST ARCHITECTURE

VANCOUVER 1024 688 WEST 1ST AVE
 VANCOUVER BC V6J 1G1
 T 604 603 1332

VICTORIA 2822 PRIOR ST
 VICTORIA BC V8T 3Y3
 T 604 603 1332

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DATE: 2026-04-17
 PROJECT NO.: 2024-004
 ISSUE: NTS
 SCALE: BC
 DRAWN BY: JB
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A000

COVER PAGE & PROJECT DATA

BC LAND SURVEYORS SITE PLAN OF:

**Civic: 441,443 Government street
and 605/607 Michigan Street**

Legal Strata Lots A and B of Lots 1766 and 1767,
Victoria City, Strata Plan 3168 and Lot 2 of Lots
1766 and 1767 Victoria City Plan 27744

Parcel Identifier: 002-182-882
Parcel Identifier: 018-700-217
Parcel Identifier: 018-700-225
in the City of Victoria

LEGEND

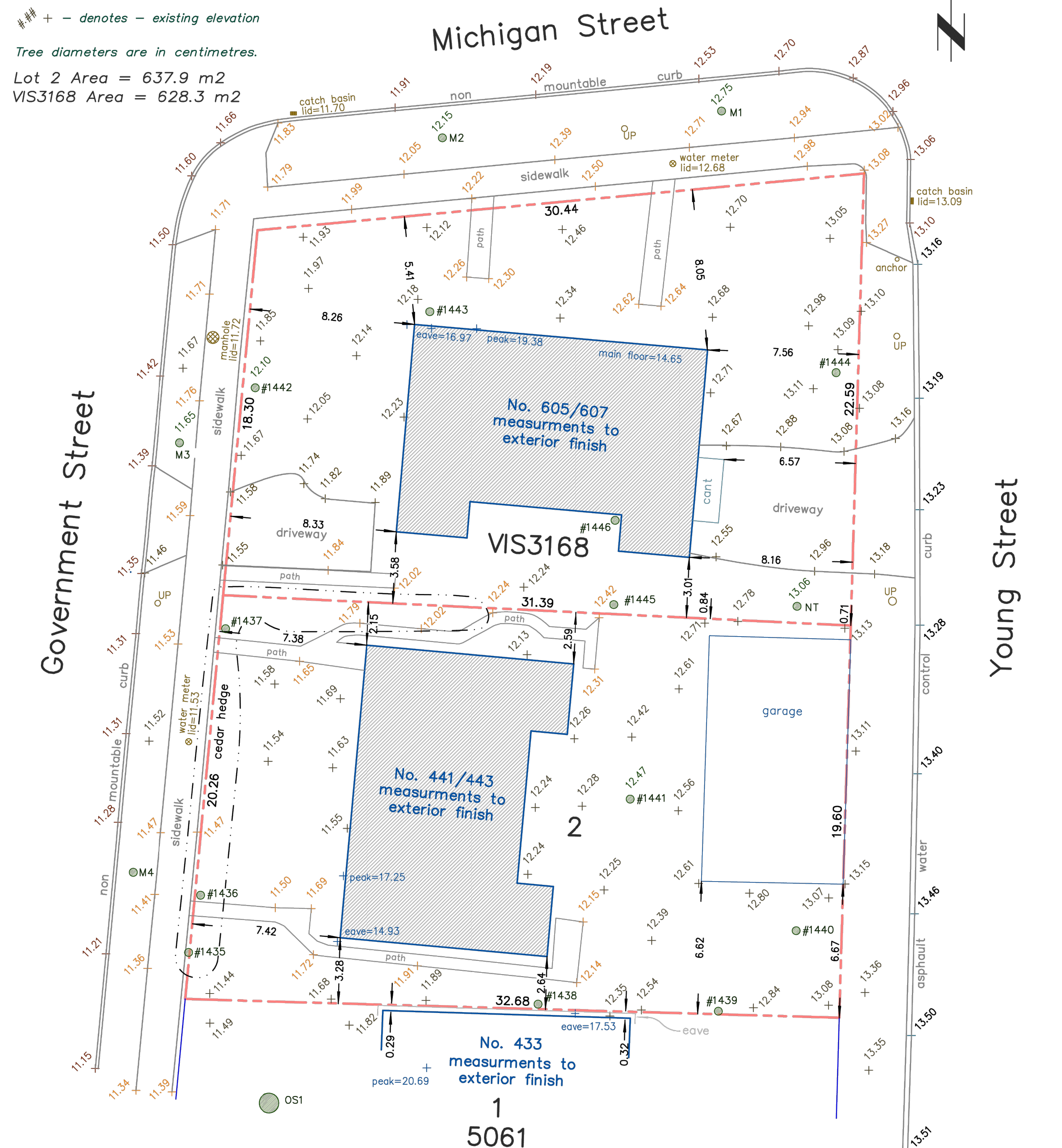
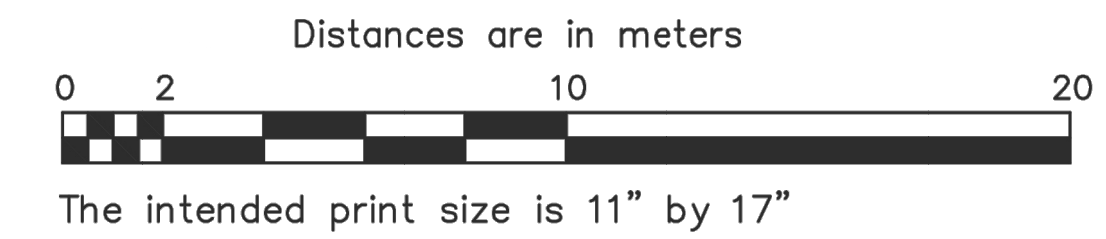
Elevations are geodetic and referenced
to the CVD28BC datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Lot 2 Area = 637.9 m2

VIS3168 Area = 628.3 m2



Date	November 26, 2024
File	14271-8
V.I. POWELL & ASSOCIATES BC Land Surveying 250-2950 Douglas Street Victoria, BC V8T 4N4 phone (250) 382-8855	

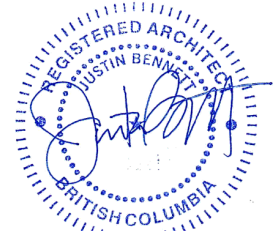
The following non-financial charges are shown on the current title and may affect the property.
92162G - Easement
Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

Property Lines and setbacks shown may vary upon completion of a lot reposting and preparation of a legal survey plan. used to define property boundaries. This document shows the relative location of the surveyed features and shall not be

OWNER / CLIENT



SEAL:



2026-04-17

R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING
NO.	DATE:	DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

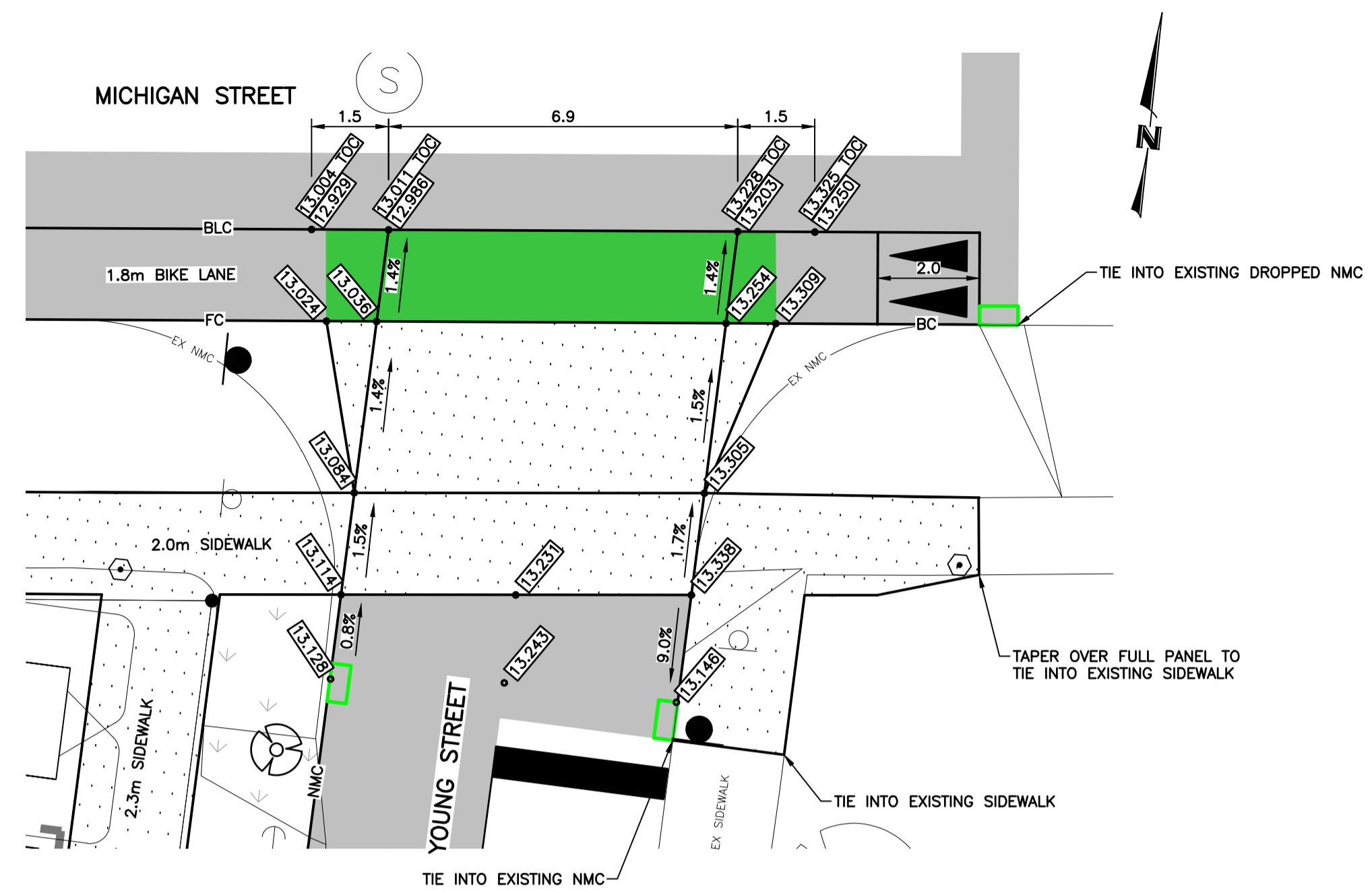
VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

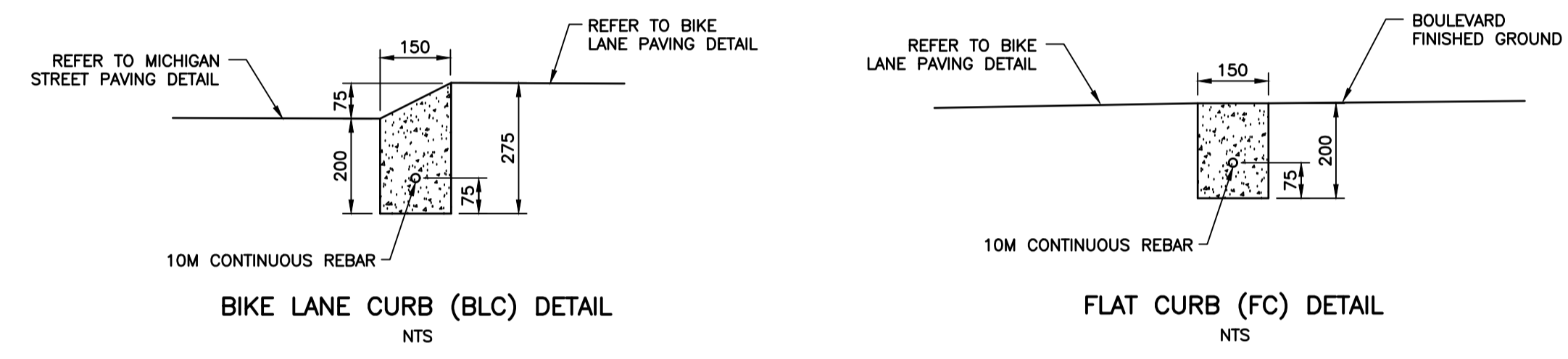
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DATE:	2026-04-17	PROJECT TRUE
PROJECT NO.	2024-004	
ISSUE:	1:200	
SCALE:	BC	
DRAWN BY:	JB	
CHECKED BY:		

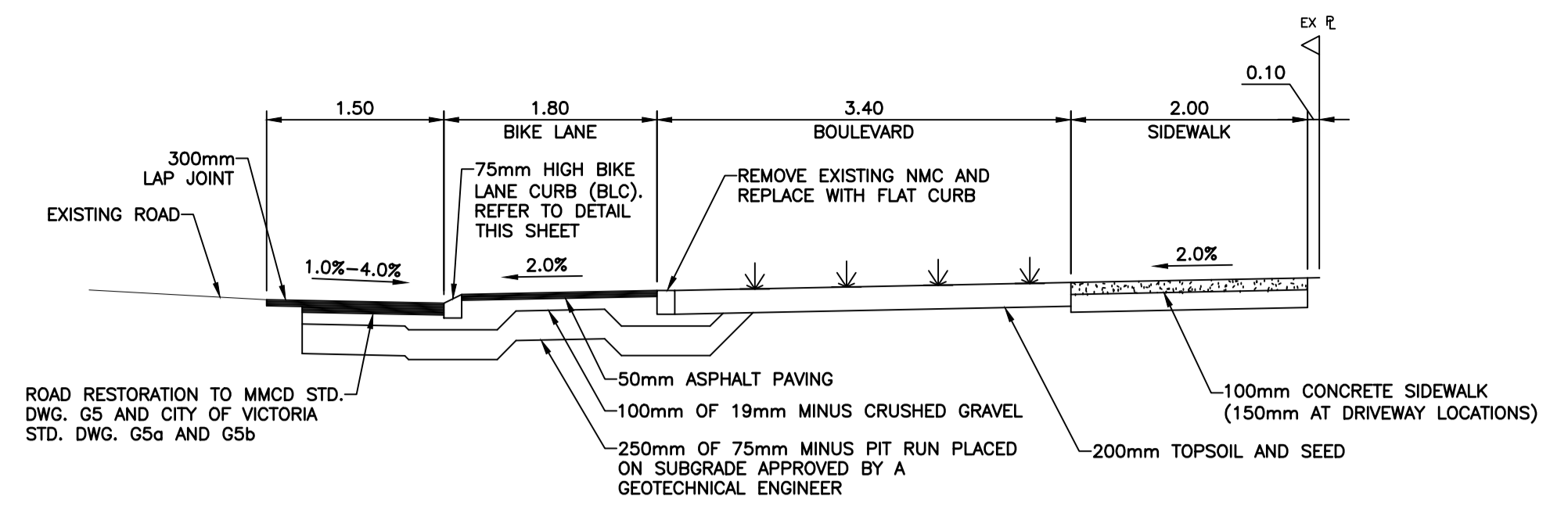
443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC
A010
SITE SURVEY



MICHIGAN STREET AND YOUNG STREET INTERSECTION GRADING DETAIL
SCALE 1:100



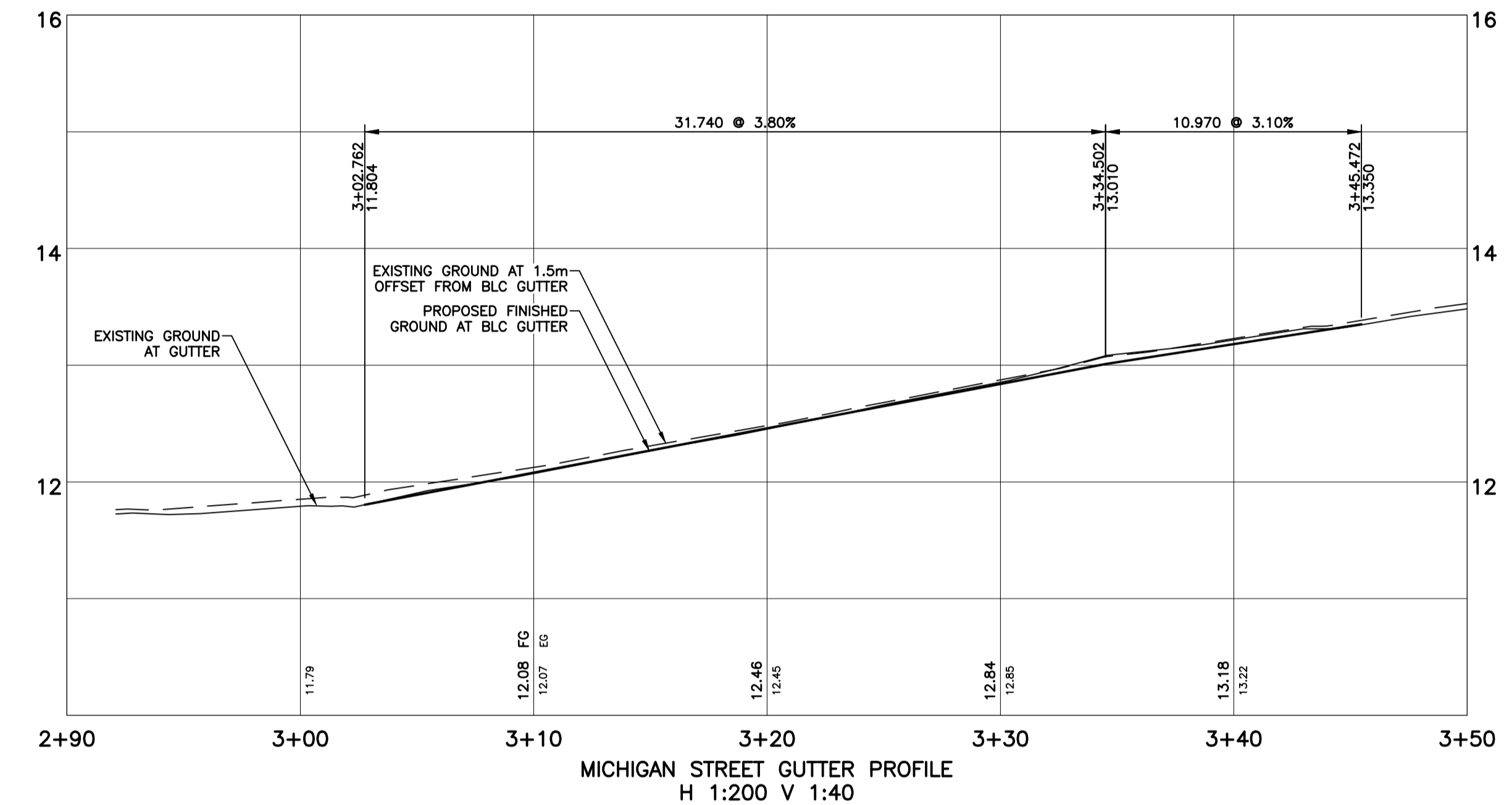
BIKE LANE CURB (BLC) DETAIL
FLAT CURB (FC) DETAIL
NTS



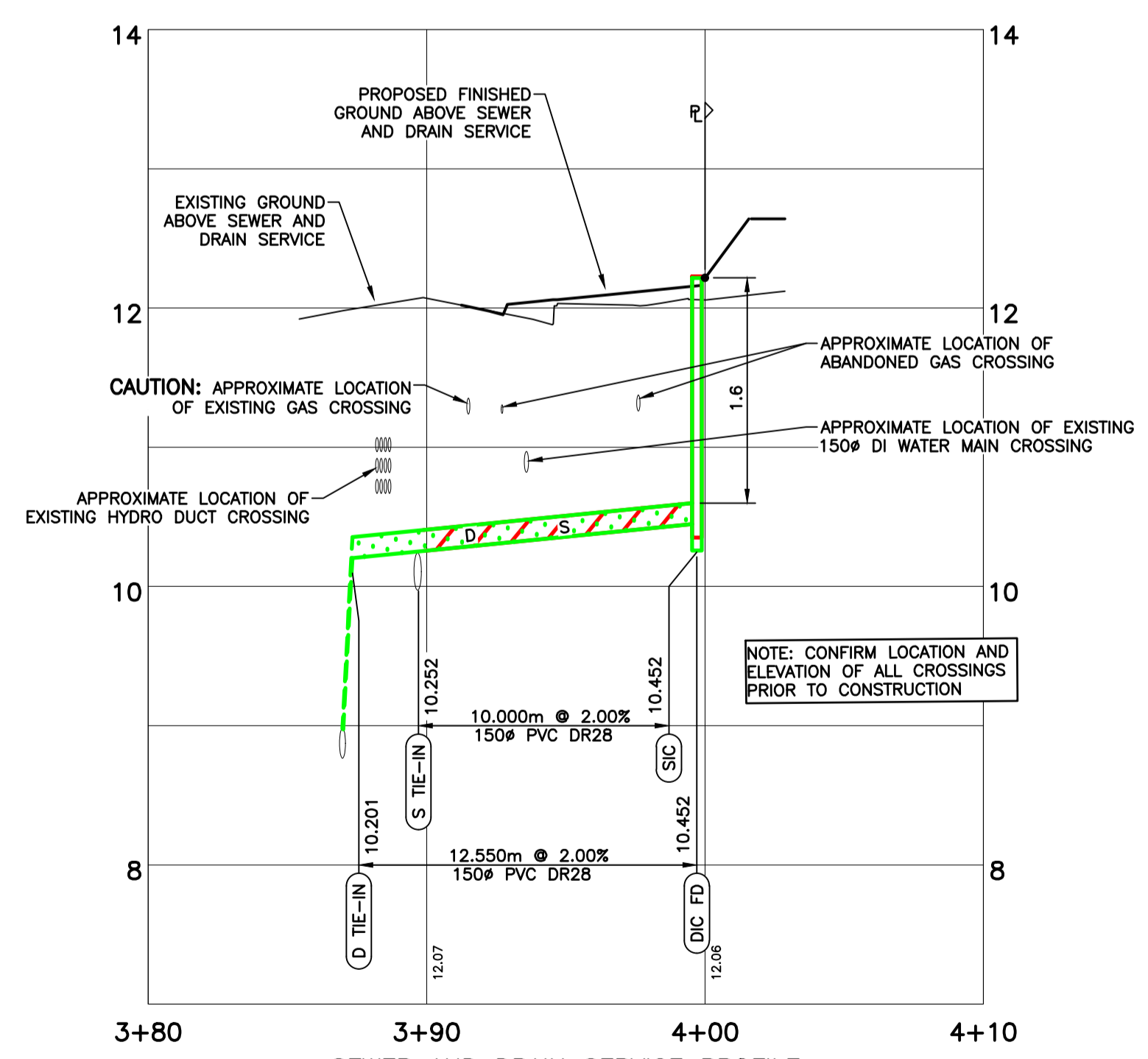
MICHIGAN STREET TYPICAL SECTION
NTS

	APPROXIMATE ASPHALT EXTENT
	100mm CONCRETE SIDEWALK (150mm AT THE DRIVEWAY LOCATIONS)
	PLACE A MINIMUM OF 200mm OF TOPSOIL AND GRASS SEED
	PROPOSED BRICK PAVERS. REFER TO ARCHITECTURAL DRAWINGS.
	CRITICAL ROOT ZONE
	EXISTING TREE TO REMAIN
	TREE TAG
	EXISTING TREE TO BE REMOVED
	FG FINISHED GROUND @ INSPECTION CHAMBERS
	MFE MAIN FLOOR ELEVATION
	FD FOUNDATION DRAIN
	RWL RAIN WATER LEADER
	PROPOSED ELEVATION
	PROPOSED ELEVATION TOP OF CURB

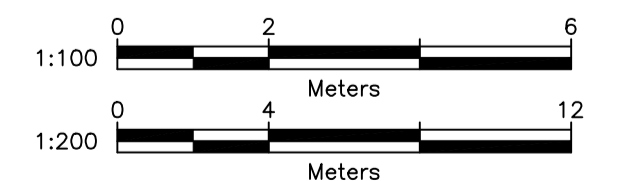
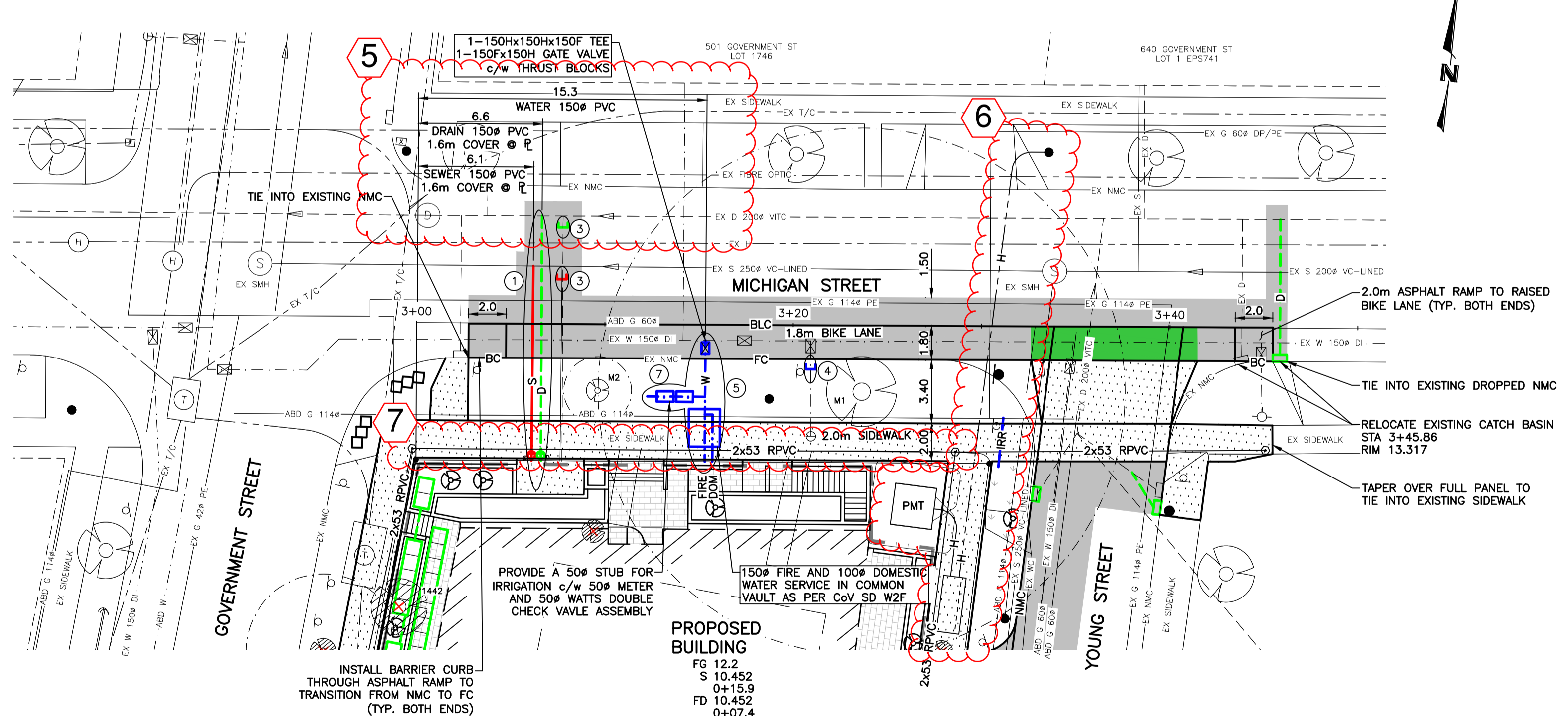
- NOTES
- THE CITY OF VICTORIA SHALL UPGRADE EXISTING SEWER AND DRAIN CONNECTIONS TO 150mm TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL 150mm DRAIN CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CAP AND ABANDON THE EXISTING SEWER AND DRAIN SERVICES.
 - CAP EXISTING WATER SERVICES AND REMOVE THE WATER METER.
 - THE CITY OF VICTORIA SHALL UPGRADE EXISTING WATER SERVICE TO 150mm FIRE CONNECTION AND 100mm DOMESTIC WATER CONNECTION c/w 50mm METER AS PER CITY OF VICTORIA STANDARD DWG "SD W2f REVISED 20151202" TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL FIRE HYDRANT ASSEMBLY AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL A 50mm IRRIGATION SERVICE c/w 50mm METER AND 50mm WATTS DOUBLE CHECK VALVE ASSEMBLY AT THE DEVELOPER'S EXPENSE.
 - FORTIS BC SHALL CAP AND ABANDON EXISTING GAS SERVICES AT THE DEVELOPER'S EXPENSE.



MICHIGAN STREET GUTTER PROFILE
H 1:200 V 1:40



SEWER AND DRAIN SERVICE PROFILE
H 1:200 V 1:40



LEGEND - PROPOSED SERVICES SHOWN BOLD	
WATER - W -	EDGE PAVE. -
SEWER - S -	NON-MTBLE CURB NMC
DRAIN - D -	MOUNTABLE CURB MC
DITCH/SWALE -	FLAT CURB FC
CULVERT -	BARRIER CURB BC
HEADWALL -	INVERT GUTTER IG
GAS - G -	UNDERGROUND UTL. -H/T/C-
ROAD SIGN -	ASPHALT
CONCRETE	GRAVEL
BRICK	BRICK
TREE	TREE
HYDRANT	MANHOLE
VALVE	CLEANOUT
METER	CATCHBASIN
REDUCER	MONUMENT
FLUSH	LOT PIN
BUSHLINE	LEAD PLUG

REVISIONS		DESIGNED	BC
No.	DESCRIPTION	YMMDD	SIGN
3	ISSUED FOR DEVELOPMENT PERMIT	260415	JR
4	ISSUED FOR DEVELOPMENT PERMIT	260327	JR
2	REVISED PER ARCHITECTURAL AND CoV CONCEPT	251113	JR
1	ISSUED FOR DEVELOPMENT PERMIT	241219	IY

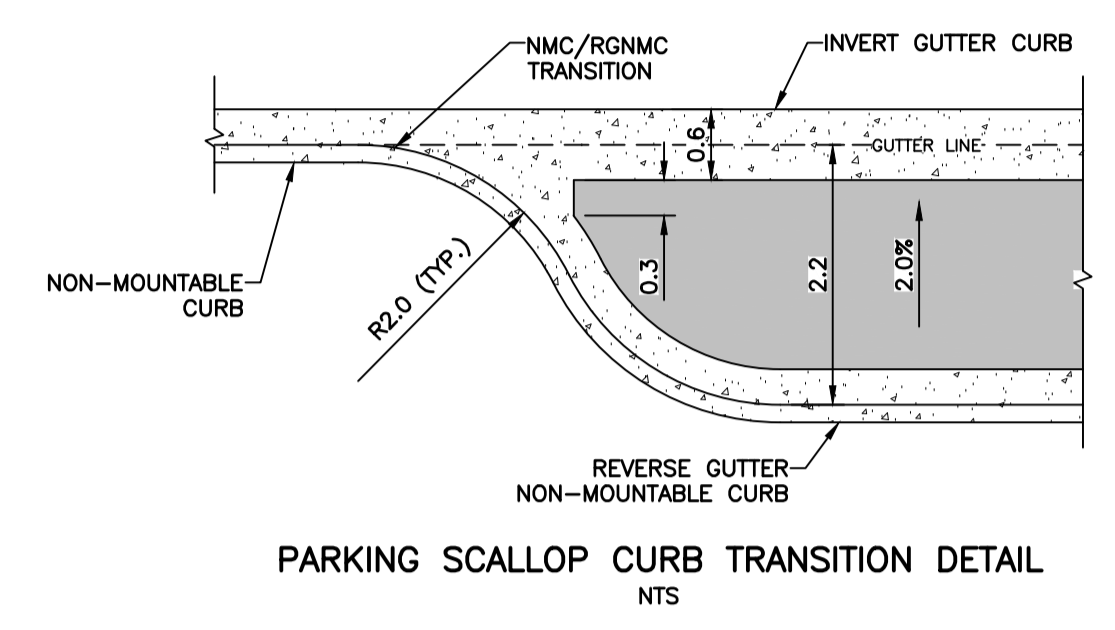
WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT	443 GOVERNMENT ST 443 GOVERNMENT DEV. LTD. MICHIGAN STREET PLAN, PROFILE, AND DETAILS	WESTBROOK PROJECT No. 4006 GOVERNING AUTHORITY FILE No.
SHEET	3 OF 4	REV. 4
WESTBROOK DRAWING No. 400603		

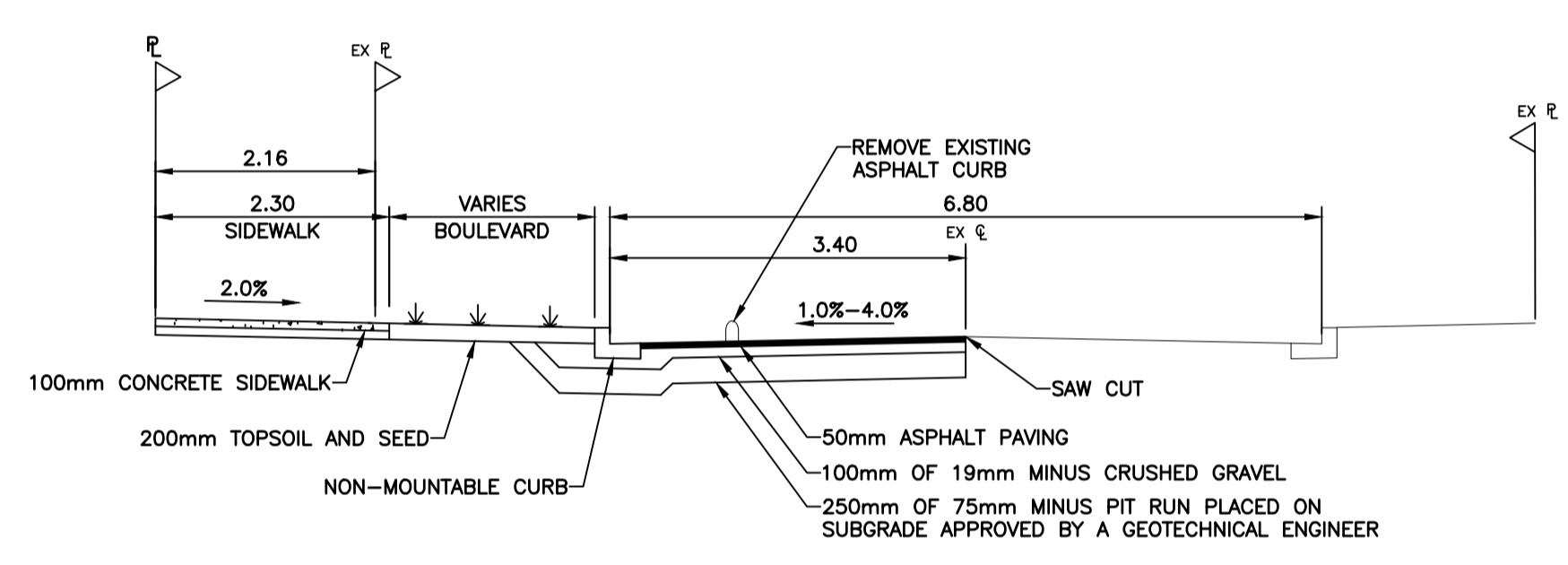
NOTES

1. THE CITY OF VICTORIA SHALL UPGRADE EXISTING SEWER AND DRAIN CONNECTIONS TO 150# TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
2. THE CITY OF VICTORIA SHALL INSTALL 150# DRAIN CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
3. CAP AND ABANDON THE EXISTING SEWER AND DRAIN SERVICES.
4. CAP EXISTING WATER SERVICES AND REMOVE THE WATER METER.
5. THE CITY OF VICTORIA SHALL UPGRADE EXISTING WATER SERVICE TO 150mm FIRE CONNECTION AND 100mm DOMESTIC WATER CONNECTION c/w 50mm METER AS PER CITY OF VICTORIA STANDARD DWG "SD W2f REVISED 20151202" TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
6. THE CITY OF VICTORIA SHALL INSTALL FIRE HYDRANT ASSEMBLY AT THE DEVELOPER'S EXPENSE.
7. THE CITY OF VICTORIA SHALL INSTALL A 50mm IRRIGATION SERVICE c/w 50mm METER AND 50mm WATTS DOUBLE CHECK VALVE ASSEMBLY AT THE DEVELOPER'S EXPENSE.
8. FORTIS BC SHALL CAP AND ABANDON EXISTING GAS SERVICES AT THE DEVELOPER'S EXPENSE.

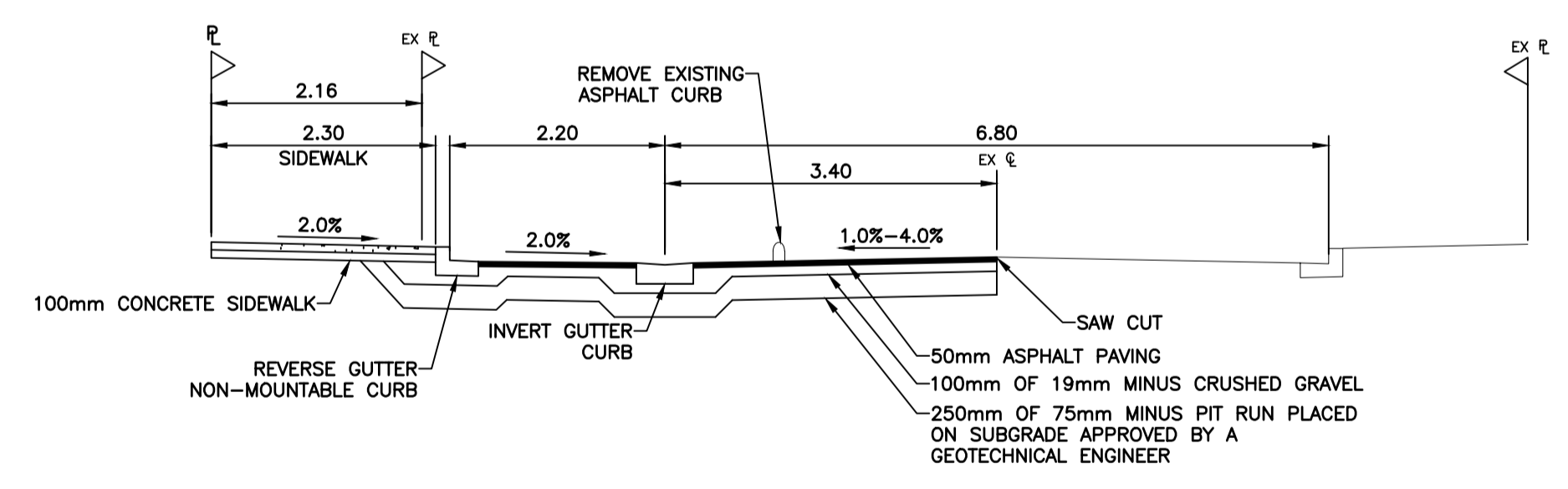
	APPROXIMATE ASPHALT EXTENT
	100mm CONCRETE SIDEWALK (150mm AT THE DRIVEWAY LOCATIONS)
	PLACE A MINIMUM OF 200mm OF TOPSOIL AND GRASS SEED
	PROPOSED BRICK PAVERS. REFER TO ARCHITECTURAL DRAWINGS.
	CRITICAL ROOT ZONE
	EXISTING TREE TO REMAIN
	TREE TAG
	EXISTING TREE TO BE REMOVED
	FG FINISHED GROUND
	INSPECTION CHAMBERS
	MFE MAIN FLOOR ELEVATION
	FD FOUNDATION DRAIN
	RWL RAIN WATER LEADER
	PROPOSED ELEVATION
	PROPOSED ELEVATION
	TOP OF CURB



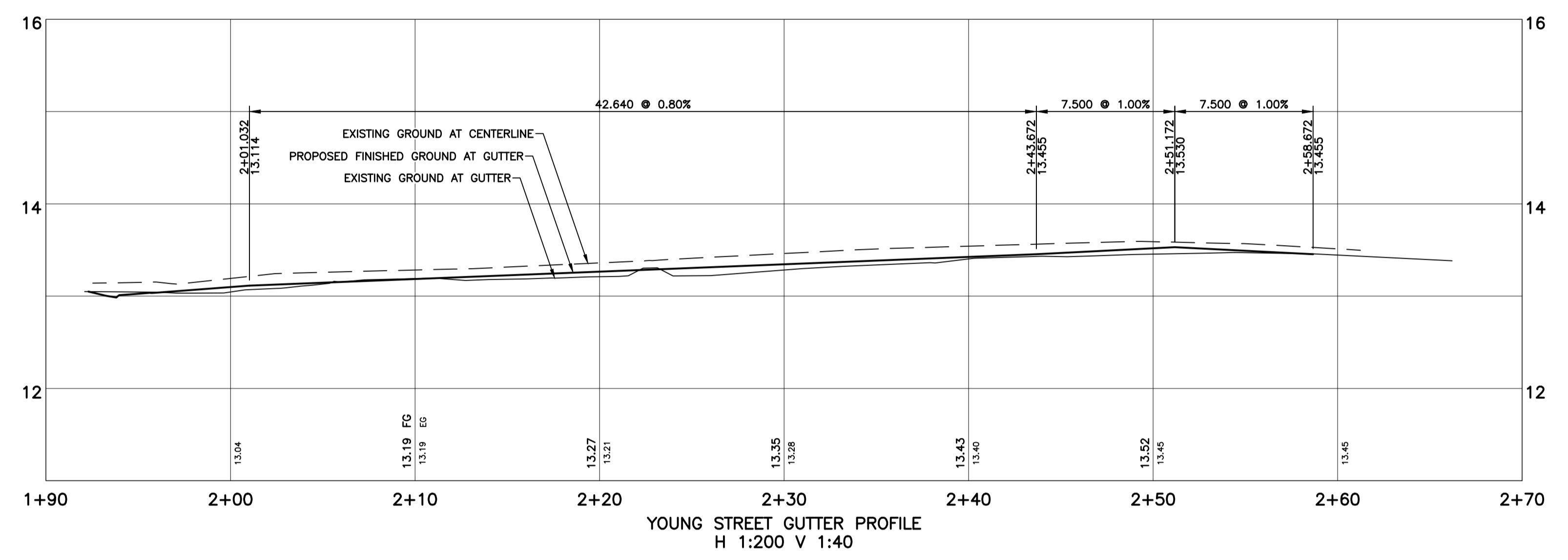
PARKING SCALLOP CURB TRANSITION DETAIL
NTS



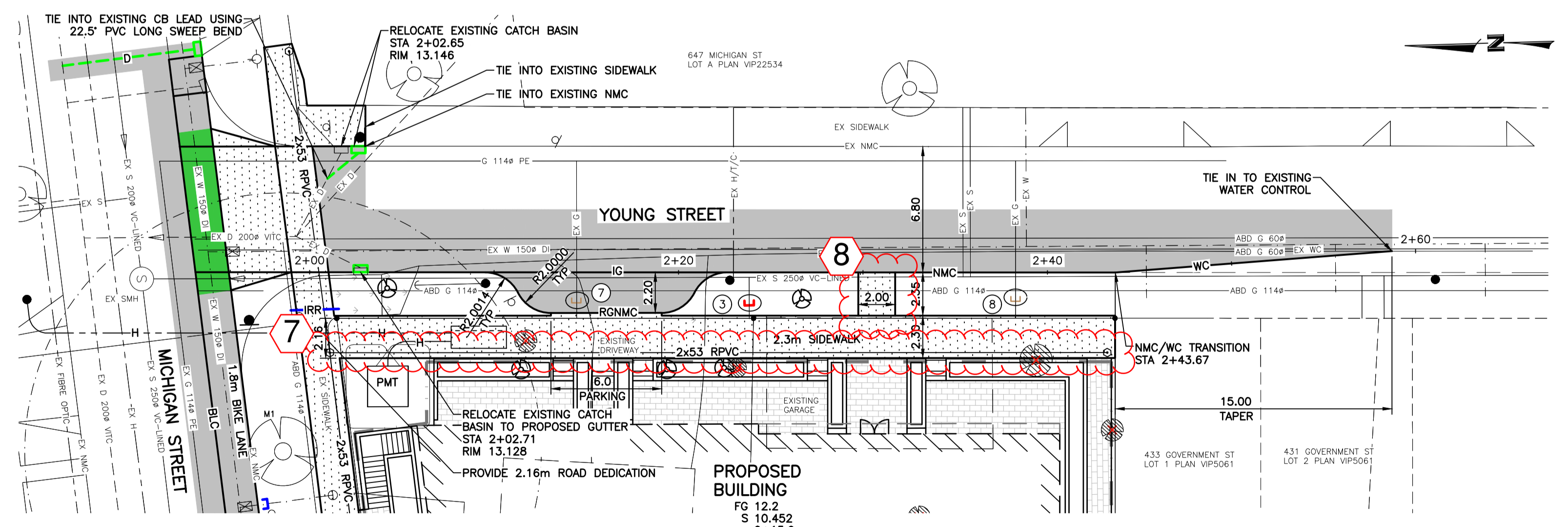
YOUNG STREET SECTION
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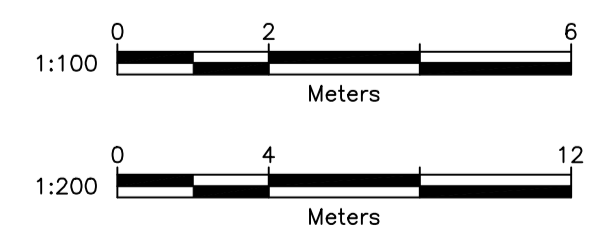
YOUNG STREET PARKING SECTION
NTS



YOUNG STREET GUTTER PROFILE
H 1:200 V 1:40



PROPOSED BUILDING
FG 12.2
S 10.452
O+15.9
FD 10.452
O+07.4
MFE 12.74
RWL 10.150
O+01.0
* CHAINAGE FROM UPSTREAM DCO



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION

LEGEND - PROPOSED SERVICES SHOWN BOLD			
WATER	EDGE PAVE.	GAS	ROAD SIGN
SEWER	NON-MTBL CURB	UNDERGROUND UTL.	ASPHALT
DRAIN	MOUNTABLE CURB	COBRA/DAVIT LIGHT	CONCRETE
DITCH/SWALE	FLAT CURB	ORNAMENTAL STREETLIGHT	GRAVEL
CULVERT	BARRIER CURB	POWER POLE	BRICK
HEADWALL	INVERT GUTTER	ANCHOR	TREE
			HYDRANT
			MANHOLE
			CLEANOUT
			CATCHBASIN
			MONUMENT
			LOT PIN
			LEAD PLUG

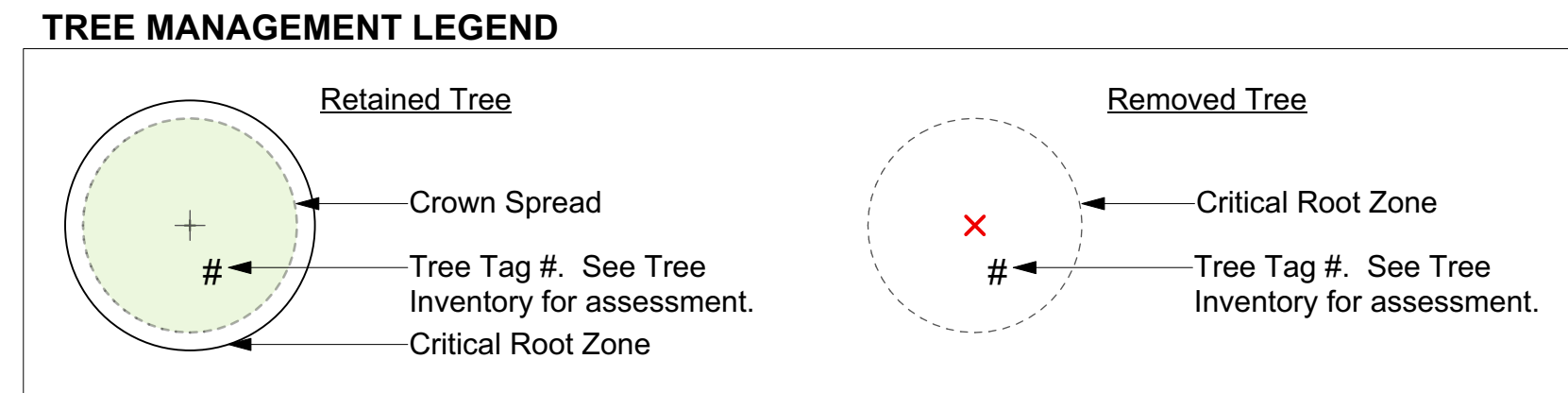
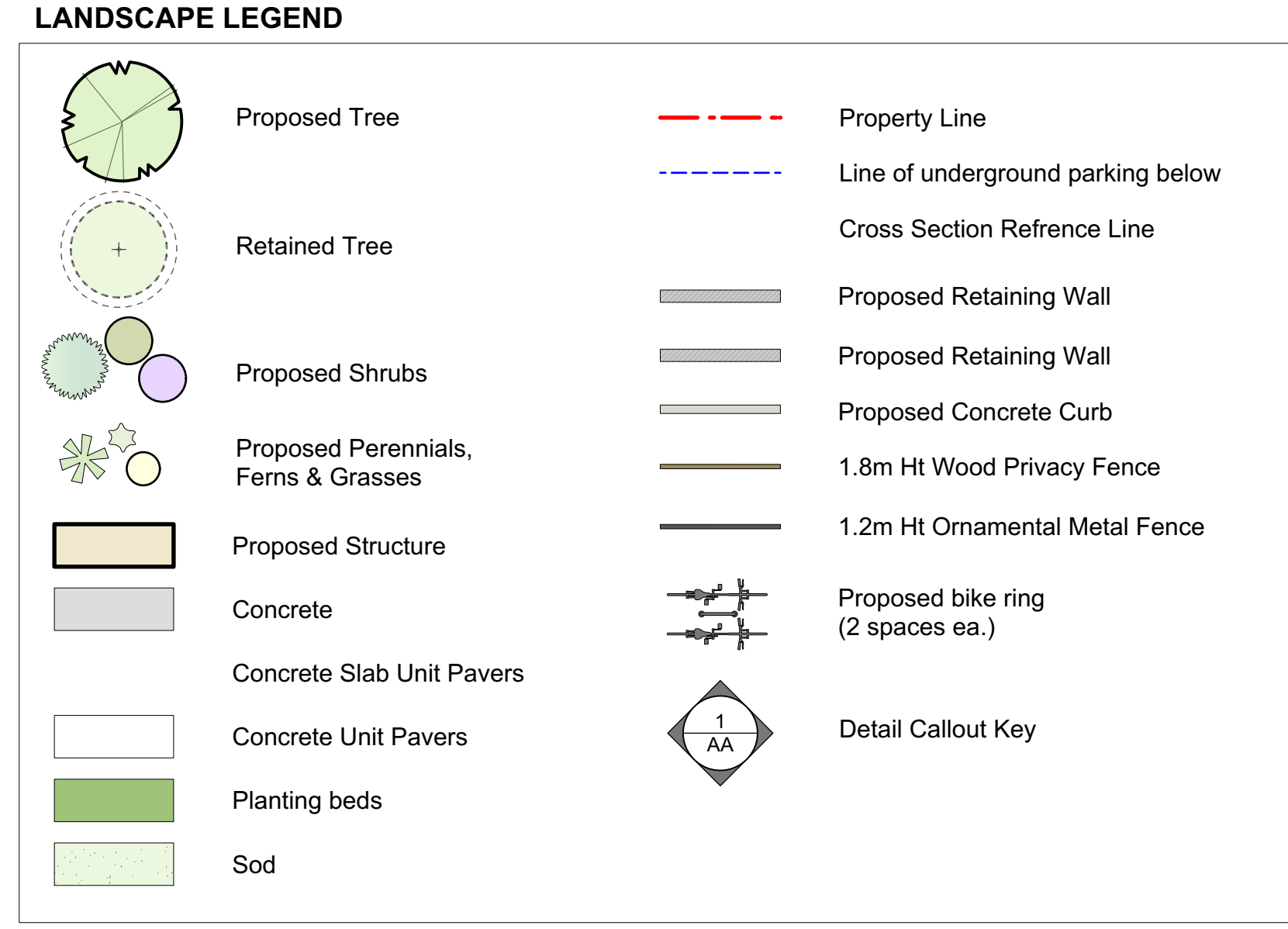
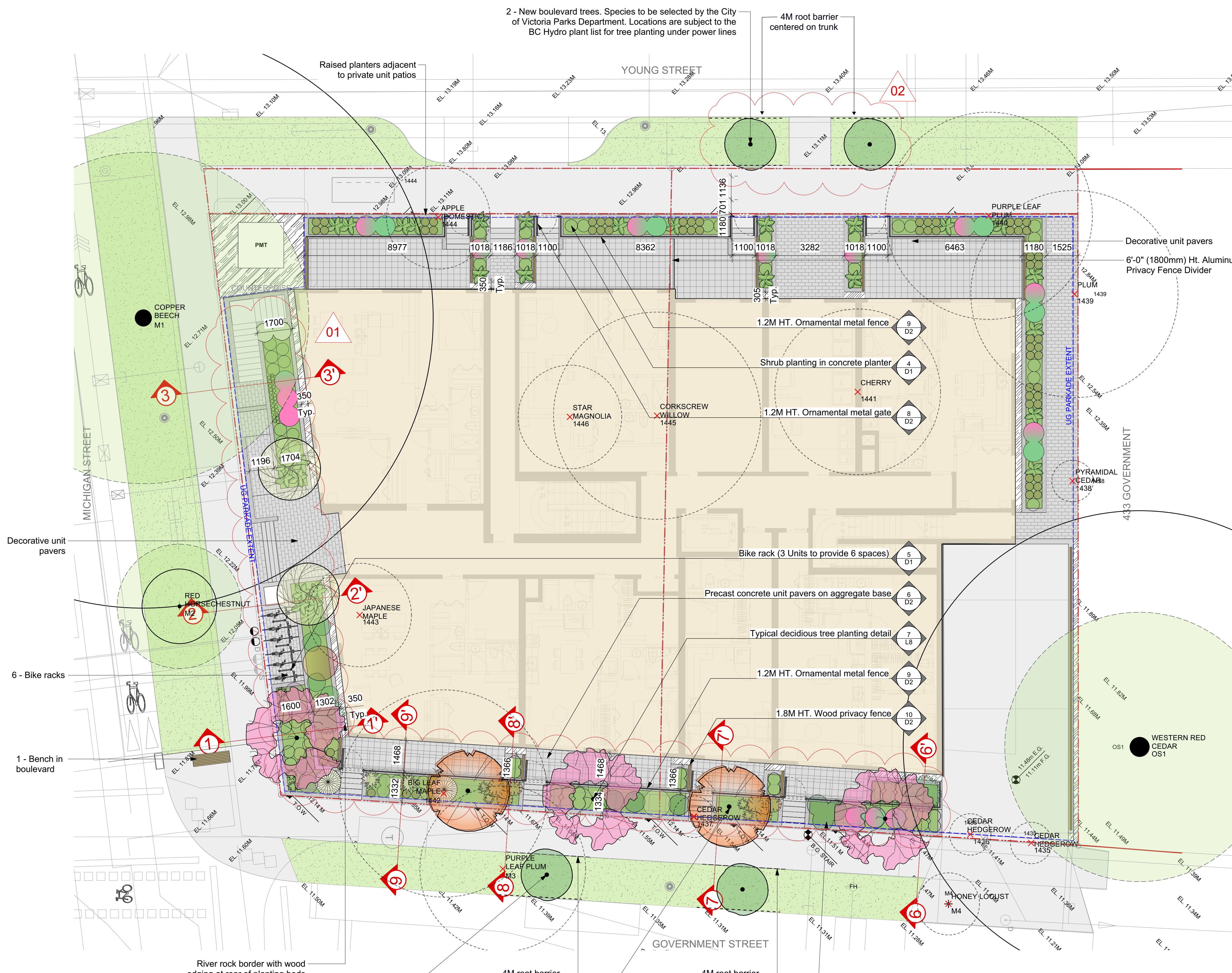
REVISIONS	
No.	DESCRIPTION
4	REISSUED FOR DEVELOPMENT PERMIT
3	ISSUED FOR DEVELOPMENT PERMIT
2	REVISED PER ARCHITECTURAL AND COV CONCEPT
1	ISSUED FOR DEVELOPMENT PERMIT

DESIGNED		CHECKED	
BC	Y	BC	Y
DATE	SEPT. 2024	ELEV.	10.844
B.M.	8-64	SCALE	Horz. 1:200
VERT.	1:40	SIGN	Vert. 1:40

WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
433 GOVERNMENT ST
443 GOVERNMENT DEV. LTD.
YOUNG STREET
PLAN, PROFILE, AND SECTIONS

WESTBROOK PROJECT No.		4006	
GOVERNING AUTHORITY FILE No.		400604	
SHEET	OF	REV.	
4	4	4	
WESTBROOK DRAWING No.		400604	



RECOMMENDED PLANT SPECIES LIST

Trees	Botanical Name	Common Name	Size
Total: 7 Onsite	PN Amelanchier alnifolia	Saskatoon Serviceberry	4cm cal.
	PN Cornus kousa 'Satomi'	Red flowering Kousa Dogwood	5cm cal.
	Parrotia persica	Persian Ironwood	6cm cal.
	(4) Boulevard trees - Species selected by City of Victoria Parks Dept		
Large Shrubs	Botanical Name	Common Name	Size
Total: 18	N Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	#3 pot
	PN Holodiscus discolor	Oceanspray	#5 pot
	FBPN Mahonia aquifolium	Tall Oregon Grape	#5 pot
	PN Ribes sanguineum	Red Flowering Currant	#5 pot
	FBPN Rosa gymnocarpa	Baldhip Rose	#3 pot
	P Rosemarinus officinalis 'Blue Spire'	Blue Spire Rosemary	#5 pot
Medium Shrubs	Botanical Name	Common Name	Size
Total: 20	PN Cornus sanguinea 'Midwinter Fire'	Red Twig Dogwood	#5 pot
	FBPN Rosa gymnocarpa	Baldhip Rose	#3 pot
	N Symphoricarpos albus	Snowberry	#3 pot
Small Shrubs	Botanical Name	Common Name	Size
Total: 66	PN Cornus sericea 'Kelsey'	Dwarf Red Osier Dogwood	#3 pot
	FBPN Gaultheria shallon	Sail	#1 pot
	FBPN Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 73	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	FBPN Camassia quamash	Common Camas	#1 pot
	P Perovskia atriplicifolia	Russian Sage	#1 pot
	N Polystichum munitum	Sword Fern	#1 pot
	P Salvia officinalis	Common Sage	#1 pot
	P Stipa tenuissima	Mexican Feather Grass	#1 pot
Groundcovers	Botanical Name	Common Name	Size
Total: 67	PN Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnickinnick	#1 pot
	FBPN Fragaria chiloensis	Coastal Strawberry	#1 pot

STREET TREE PLANTING NOTES
Street trees must have one dominant central leader or single straight trunk, 6-8cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.

Required Parks inspections for street tree planting:
1. Inspection of soil and planting area prior to planting.
2. Inspection of tree stock prior to planting.
3. Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.

Please contact Ross Wilkinson - rwilkinson@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

GRASS BOULEVARD PLANTING NOTES
Required Parks inspections for seed and sod boulevard:
1. Inspection of excavated and scarified subgrade prior to backfill.
2. Inspection of installed, rolled and prepared growing media prior to sodding.
3. Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

Please contact Tom Sherbo, tsherbo@victoria.ca and also copy treepermits@victoria.ca for the required inspection time to schedule an inspection.

SOIL TESTING & GROWING MEDIUM NOTES
A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

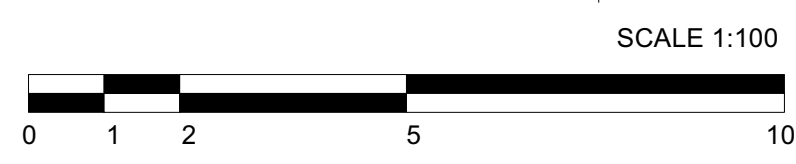
SCHEDULES B3-4 AND C NOTES
The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Notes:
1. All work to be completed to current Canadian Landscape Standard
2. All soft landscape to be irrigated with an automatic irrigation system

FB - Denotes a Food-bearing Species
P - Denotes a Pollinator Supporting Species - 88.8% (223 of 251)
N - Denotes a BC Native Species

IRRIGATION NOTES
A) All irrigation work, including required inspections, shall follow the Supplementary Specifications for Street Trees and Irrigation, Schedule C, to the Victoria Subdivision and Development Servicing Bylaw 12-042, and comply with the Irrigation Industry Association of BC standards.
B) Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
C) Contact Parks at tsherbo@victoria.ca or 250-361-0600 with at least 48 hours (2 business days) notice to arrange for irrigation inspections.
D) Required Parks inspections for irrigation:
1. Irrigation sleeving prior to backfilling.
2. Open trench mainline and lateral lines.
3. Pressure test.
4. Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly (incl. inspection tag and testing report).

REVISION
1 - Layout of trees and plants in terrace planters revised in coordination with Civil and Architecture
2 - Street trees added on Government Street and Young Street



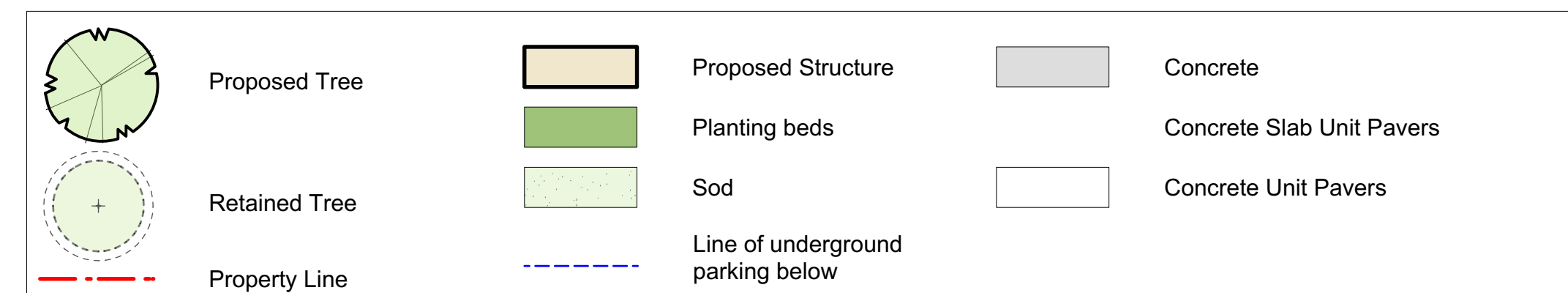
Rev. 07: Apr 17-26
Rev. 06: Mar 23-26
Rev. 05: Mar 11-26
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Rev. 03: Mar 14-25
Rev. 02: Dec 13-24
Rev. 01: Nov 18-24

L1/8

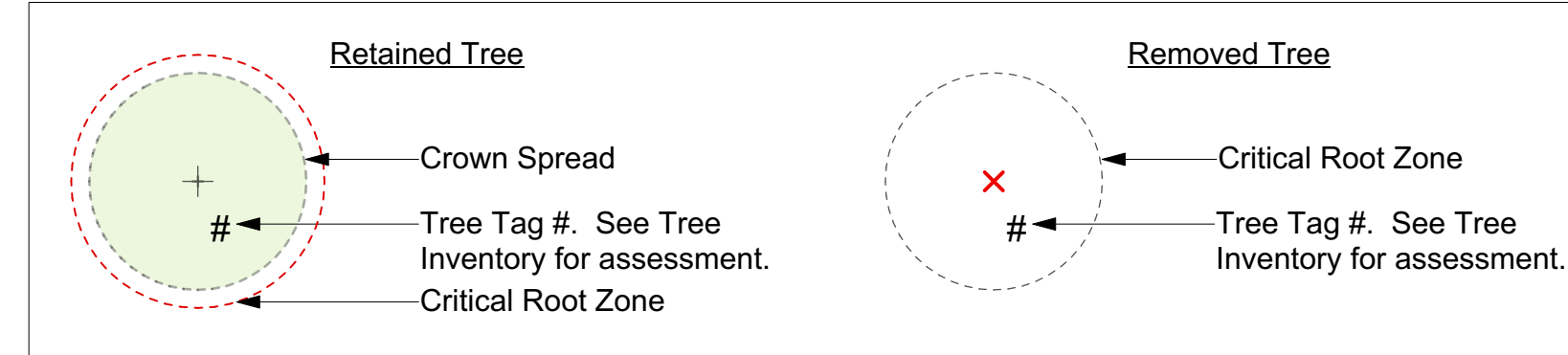
443 Government Street | Landscape Concept Plan



LANDSCAPE LEGEND



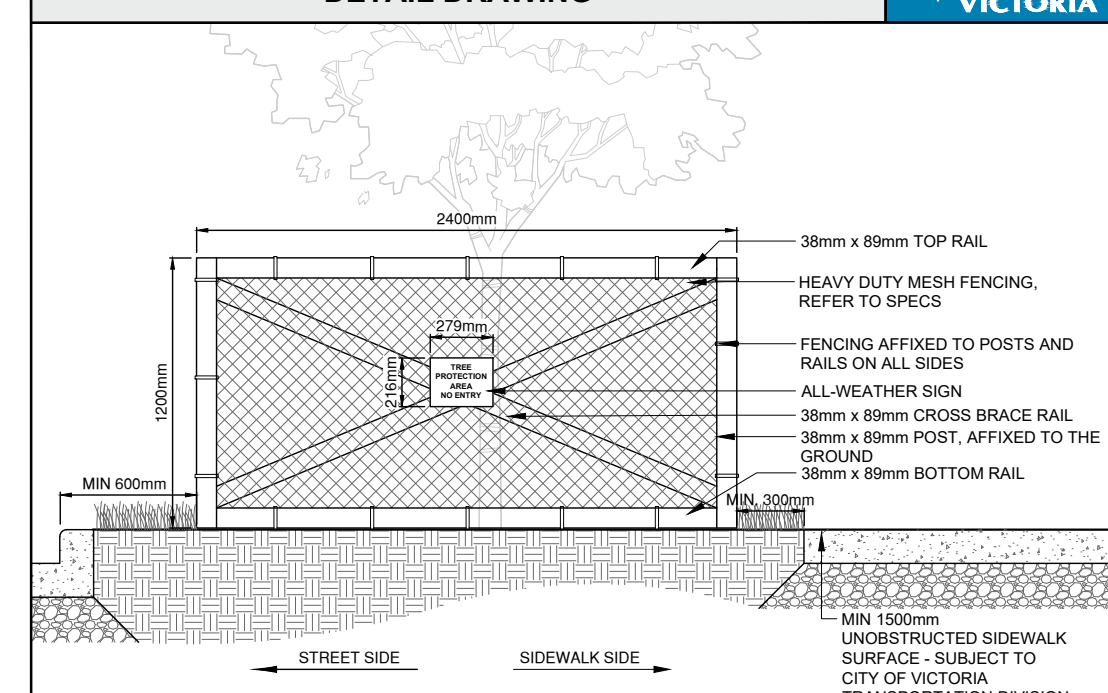
TREE MANAGEMENT LEGEND



Inventory date: July 11, 2024 441 and 443 Government Street, 605 and 607 Michigan Street - Tree Resource Spreadsheet

Tag #	Survived (Y/N)	Location (DN, SE, Street, City)	Native (Y/N)	Name	Common Name	Abundance	DBH (cm)	Crown radius (m)	Critical root zone (m)	Condition Health	Structure	Relative Importance	General field observations/remarks
M1	Yes	Municipal	Municipal	Copper beech	Fagus sylvatica Purpurea	1	15	8	14	Good	Good	Poor	Deadwood (included), small deadwood, somewhat restricted root area, slight infestation, exposed root flare.
M2	Yes	Municipal	Municipal	Red horsechestnut	Aesculus x glabra	1	18	3	1.8	Good	Good	Good	Scale infestation, included union.
M3	Yes	Municipal	Municipal	Purple leaf plum	Prunus pennsylvanica	1	34	4	4.1	Fair	Poor	Moderate	Hybrid (parent: epinomics), canopy mostly comprised of epinomics, small granivorous feeding holes at base, mechanical injuries on road side of trunk, canopy consists mainly of epinomics, crack in east facing scaffold limb (slightly decay), eastern scaffold limb arched weighted.
M4	Yes	Municipal	Municipal	Honey locust	Gleditsia inaequalis	1	7	1.5	0.8	Good	Good	Moderate	Minor deadwood, socket located on north side of stem (2m high), inclusion in central leader.
1435	Yes	On	No	Cedar hedgehog	Thuja occidentalis	1	10	1	1	Good	Fair	Good	Tag on southern most stem, hedgehog 3m long, tips falling over.
1436	Yes	On	No	Cedar hedgehog	Thuja occidentalis	1	10	1	1	Good	Fair	Good	Tag on southern most stem, hedgehog 12m long, tips falling over.
1437	Yes	On	No	Cedar hedgehog	Thuja occidentalis	1	10	1	1	Good	Fair	Good	Tag on southern most stem, hedgehog is 14m long, some tips falling over.
1438	Yes	On	No	Pyramidal cedar	Thuja occidentalis	1	15, 11	1	2	Fair	Fair-poor	Good	Original leader historically removed, leaves to the west (mostly removed), lateral stem going upright.
1439	Yes	Partially	Yes	Plum	Prunus sp.	1	19, 16, 18	3	4.6	Good	Fair-poor	Moderate	Multiple stems from base, epinomics, included union, leads to the west, likely a sucker from adjacent purple leaf plum.
1440	Yes	On	Yes	Purple leaf plum	Prunus pennsylvanica	1	44	5	5.3	Fair-poor	Poor	Moderate	Canopy area at base of trunk on north side, old pruning wound with decay at primary placement, grading signs on northern most scaffold limb, deadback, deadwood, epinomics, possible crack in east facing scaffold limb.
1441	Yes	On	Yes	Cherry	Prunus sp.	1	17, 17	4	3.3	Fair	Fair	Moderate	1/3rd stem at base historically removed, included union at base, cherry bark staining damage.
1442	Yes	On	Yes	Big leaf maple	Acer macrocarpum	1	25	3	3	Fair-poor	Fair-poor	Moderate	Irregular bulging at base, secondary midline on epinomics at base, granivorous feeding holes at base, mechanical injuries on road side of trunk, old pruning wound on northern most scaffold limb, deadback, deadwood, epinomics, possible crack in east facing scaffold limb.
1443	No	On	No	Japanese maple	Acer palmatum	1	7, 7, 7, 5, 3	2.5	1.9	Good	Good	Moderate	Scale infestation, included bark.
1444	No	On	No	Apple (domestic)	Malus sp.	1	9, 8, 6	2.5	2.1	Good	Fair	Moderate	Multistemmed form base, pruned for fruit production.
1445	Yes	On	Yes	Corkcreeper willow	Salix rosmarinalis	1	28	2	2	Good	Fair-poor	Moderate	Severe included unions, deadwood, stems grafted to each other, history of failures, top deadback.
1446	Yes	On	No	Star magnolia	Magnolia stellata	1	9, 5, 4	2.5	1.8	Good	Fair	Moderate	Suckering on lower stem, included bark.
1448	Yes	On	No	Fig	Ficus carica	1	23	1.5	2.3	Good	Fair-poor	Good	Canopy mostly comprised of epinomics, top deadback, restricted root area, suckers at base.
OS1	No	Off	Yes	Western red cedar	Thuja plicata	1	95	6.5	11.4	Good	Fair-poor	Moderate	Living topped at ~7m (multiple leaders), 4m south of existing fence line.

SUPPLEMENTARY STANDARD DETAIL DRAWING



NOTES:

- ALTERNATIVE CONSTRUCTION MUST BE PRE-APPROVED BY PERMITS
- FENCING MUST BE FIXED TO THE GROUND
- FENCE TO BE CONSTRUCTED USING 38mm x 89mm WOOD FRAME AND HEAVY DUTY CONSTRUCTION FENCING SECURED BY GALVANIZED STAPLES OR ZIP TIES
- TREE PROTECTION FENCING TO BE INSTALLED PRIOR TO ANY LAND DISTURBANCE ON SITE
- NO STORAGE OF SOIL, BUILDING MATERIALS WITHIN OR AGAINST FENCING
- WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE CITY OF VICTORIA ARBORIST
- SIGN TO BE AFFIXED ON EVERY FENCE OR MIN. ONCE PER 10 LINEAR METERS
- FENCE TO BE MINIMUM 300mm FROM ADJACENT SIDEWALK
- FENCE TO BE MINIMUM 900mm FROM EDGE OF CURB
- FENCE TO BE MONITORED WEEKLY AND MAINTAINED THROUGHOUT DURATION OF CONSTRUCTION. ANY UNSICURED FENCING MUST BE REPAIRED IMMEDIATELY BY THE PERMIT HOLDER UNTIL ALL WORK IS COMPLETE. INCLUDED LANDSCAPING, REMOVAL AND DISPOSAL OF THE FENCING MATERIALS TO BE DONE BY THE PERMIT HOLDER.

FENCE DISTANCING REQUIREMENTS:

FENCE DISTANCE TO TREE TRUNK TO BE MINIMUM 12x DIAMETER AT BREAST HEIGHT MEASURED 1.4m FROM GRADE UNLESS OTHERWISE SPECIFIED BY A CERTIFIED ARBORIST AND APPROVED BY CITY OF VICTORIA PARKS.

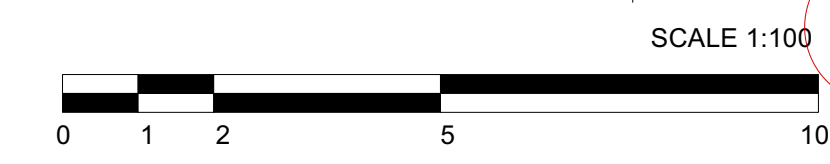
TREE PROTECTION DISTANCE TABLE	
TRUNK DIAMETER	MINIMUM DISTANCE FROM TRUNK
CM	METERS
<15	2.0
15-20	2.4
20-30	3.0
30-40	3.6
40-50	4.8
50-60	6.0
60-70	7.2
70-80	8.4
80-90	9.6
90-100	10.8
100	12.0

Revision Date: SEPTEMBER 2025 Drawing Number: SD PT13.1

	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected trees removed	5	X 1	A. 5
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement trees proposed from Schedule "E", Part 2	5	X 0.5	C. 2.5
D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 2
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 3
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot			G. 6
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I) Record 0 if negative number			J. 4
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	2	X 1	K. 2
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	0	X 1	L. 0
M. Replacement trees proposed from Schedule "E", Part 2	4	X 0.5	M. 2
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 4
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$ 8,000

REVISION

- Layout of trees and plants in terrace planters revised in coordination with Civil and Architecture
- Street trees added on Government Street and Young Street
- Municipal tree protection detail revised
- Replacement tree table revised



443 Government Street | Tree Replacement Plan

Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
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 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L2/8



LANDSCAPE LEGEND

- Proposed Tree
- Retained Tree
- Proposed Structure
- Concrete
- Concrete Slab Unit Pavers
- Concrete Unit Pavers
- Planting beds
- Sod
- Soil Volume Area Tag
- Soil Volume area
- Soil Volume area Over Tank
- Property Line
- Line of underground parking below
- Cross Section Reference Line
- Proposed Retaining Wall
- Proposed Retaining Wall
- Proposed Concrete Curb
- 1.8m Ht Wood Privacy Fence
- 1.2m Ht Ornamental Metal Fence
- Proposed bike ring (2 spaces ea.)
- Detail Callout Key
- Soil Cell Volume area

TREE MANAGEMENT LEGEND

- Retained Tree
 - Crown Spread
 - Tree Tag #. See Tree Inventory for assessment.
 - Critical Root Zone
- Removed Tree
 - Critical Root Zone
 - Tree Tag #. See Tree Inventory for assessment.

SOIL VOLUME CHART
Soil Volume Chart Note: Aread noted as 'A', 'B' and 'S' indicate a shared soil volume area where A represents the regular planting area and B indicates Soil over storage tank and S indicates soil cell area

Planting Area ID	Area (M2)	Soil Volume multiplier*	Replacement Tree Proposed				Soil Volume Required (M3)				
			A	B	C	D	E	F	G	Total	
Onsite											
1	10.29	1	10.29	1				6		6	
2A	4.89	1	4.89					See Below		N/A	
2B	3.2	0.5	1.6					See Below		N/A	
2 TOTAL	8.09	Varies	6.49					6		6	
3A	4.5	1	4.5					See Below		N/A	
3B	4.48	0.5	2.24					See Below		N/A	
3 TOTAL	8.98	Varies	6.74	1				6		6	
4A	6.93	1	6.93					See Below		N/A	
4B	1.28	0.5	0.64					See Below		N/A	
4 TOTAL	8.21	Varies	7.57	1				6		6	
5	9.89	1	9.89	1				6		6	
6A	9.78	1	9.78					See Below		N/A	
6B	5.2	0.5	2.6					See Below		N/A	
6S	8.7	0.4	3.48					See Below		N/A	
6 TOTAL	23.68	Varies	15.86	2				12		12	
Offsite (Excluding City Property)											
Planting Area OSA X (Excluding City Property)								E	F	G	TOTAL
Calculation								IF B=1,BX8 IF B=1,BX6	IF C=1,CX20 IF C=1,CX15	IF B=1,BX35 IF B=1,BX30	E+F+G

REVISION

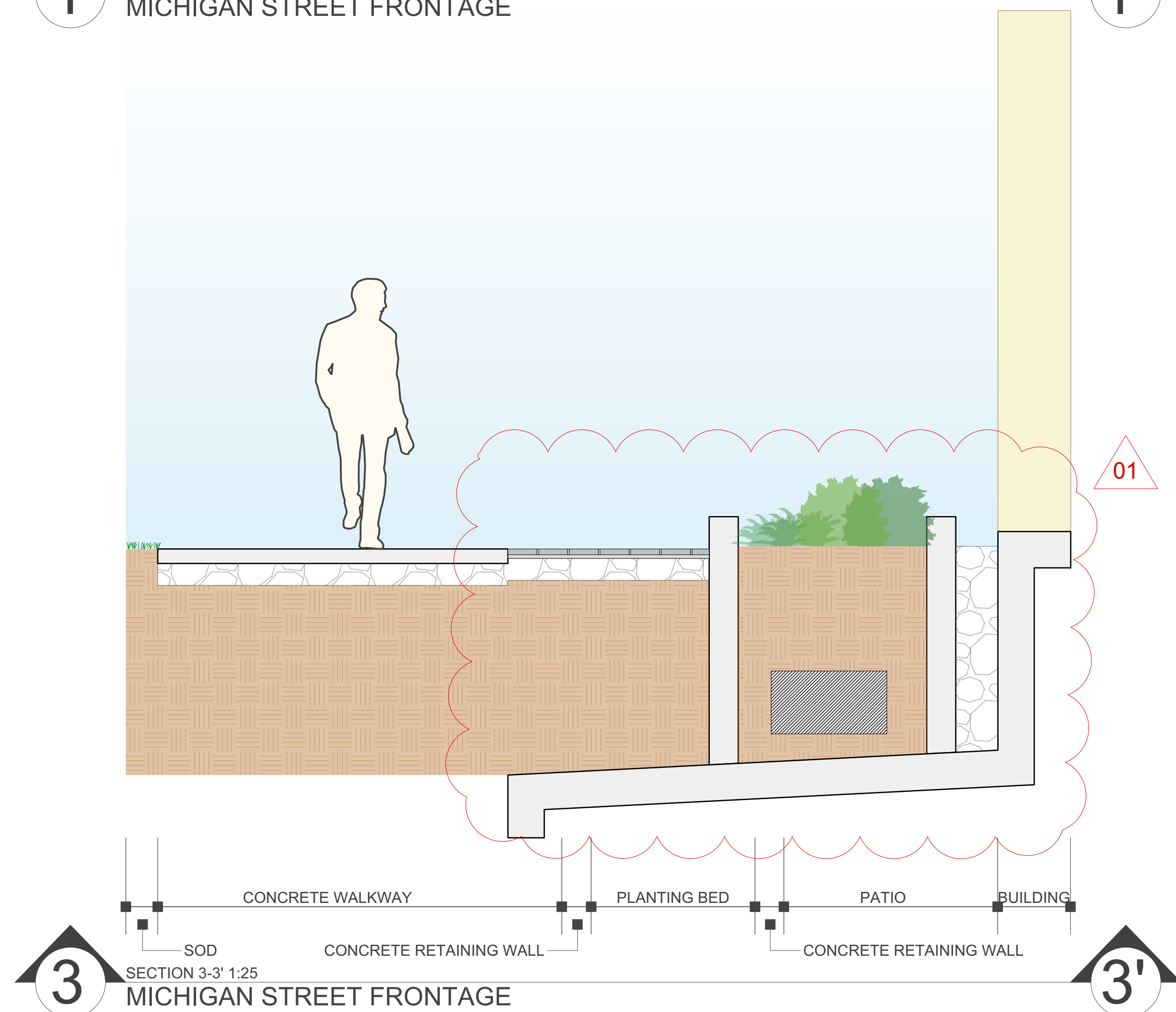
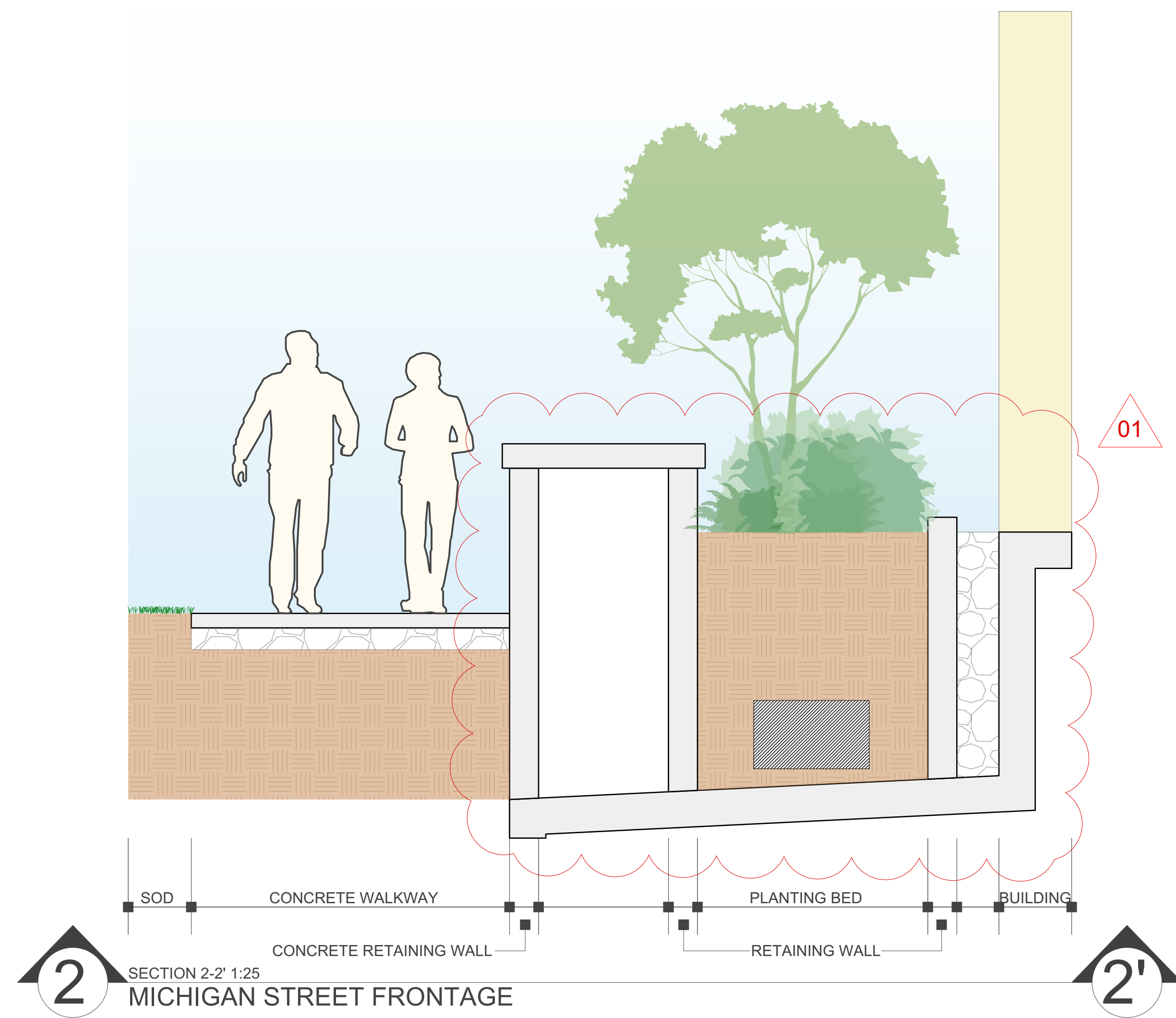
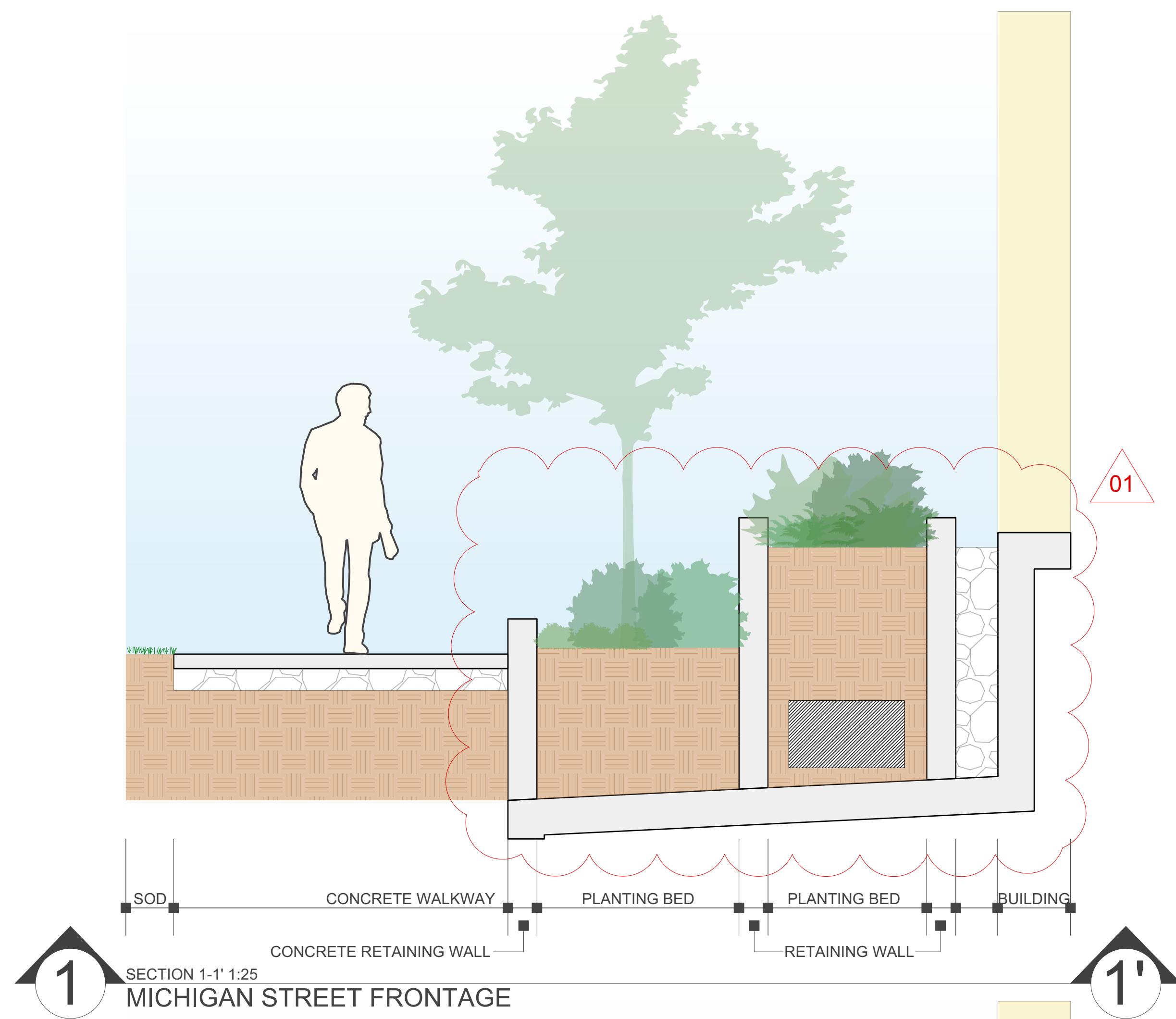
- Layout of trees and plants in terrace planters revised in coordination with Civil and Architecture
- Street trees added on Government Street and Young Street
- Replacement tree table revised

	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected trees removed	5	X 1	A. 5
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement trees proposed from Schedule "E", Part 2	5	X 0.5	C. 2.5
D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 2
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 3
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot			G. 6
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I)) Record 0 if negative number			J. 4
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	2	X 1	K. 2
L. Replacement trees proposed per Schedule "E", Part 1 or Part 2	0	X 1	L. 0
M. Replacement trees proposed from Schedule "E", Part 2	4	X 0.5	M. 2
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 4
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$ 8,000

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L3/8

443 Government Street | Soil Volume Plan

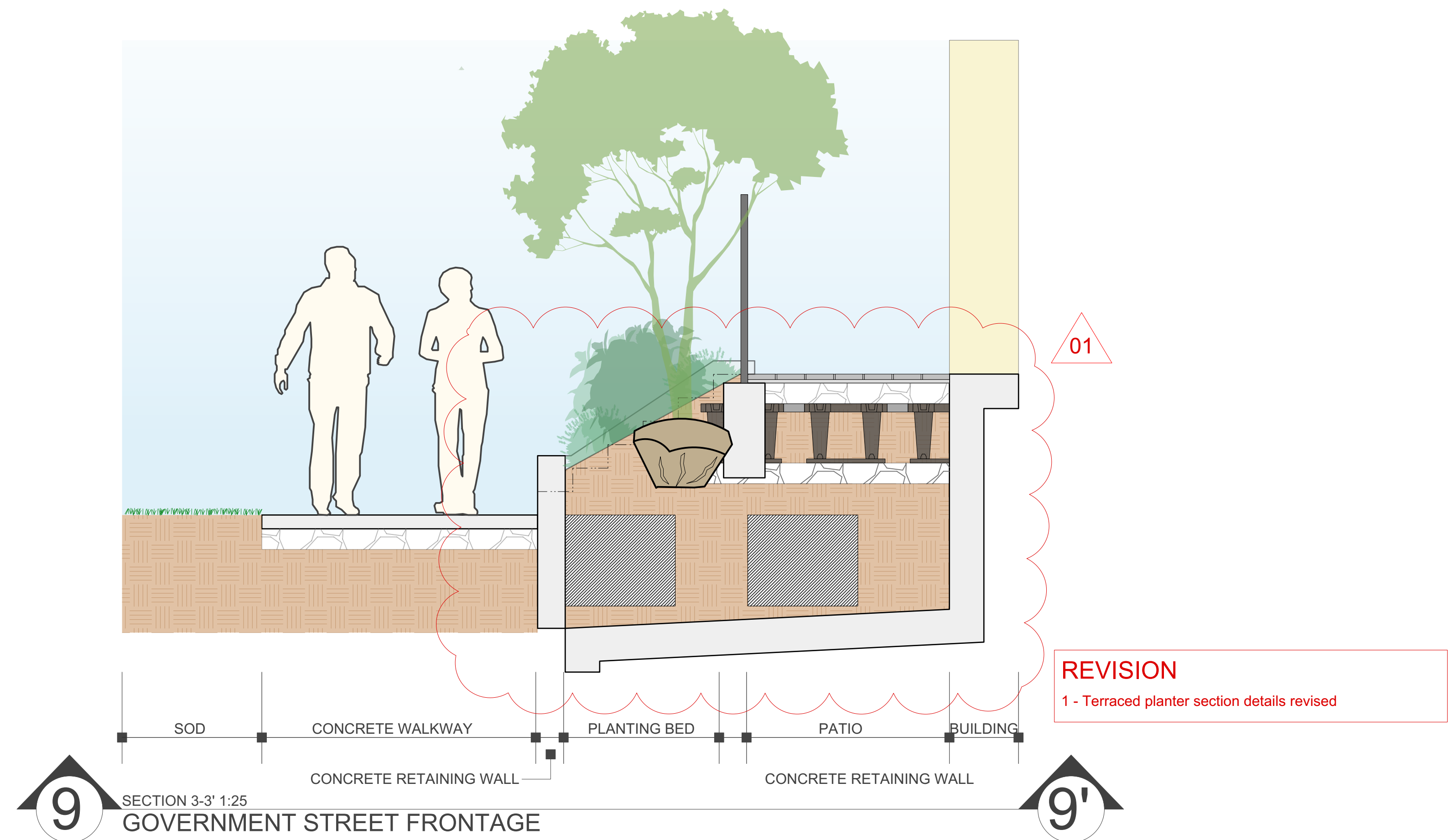
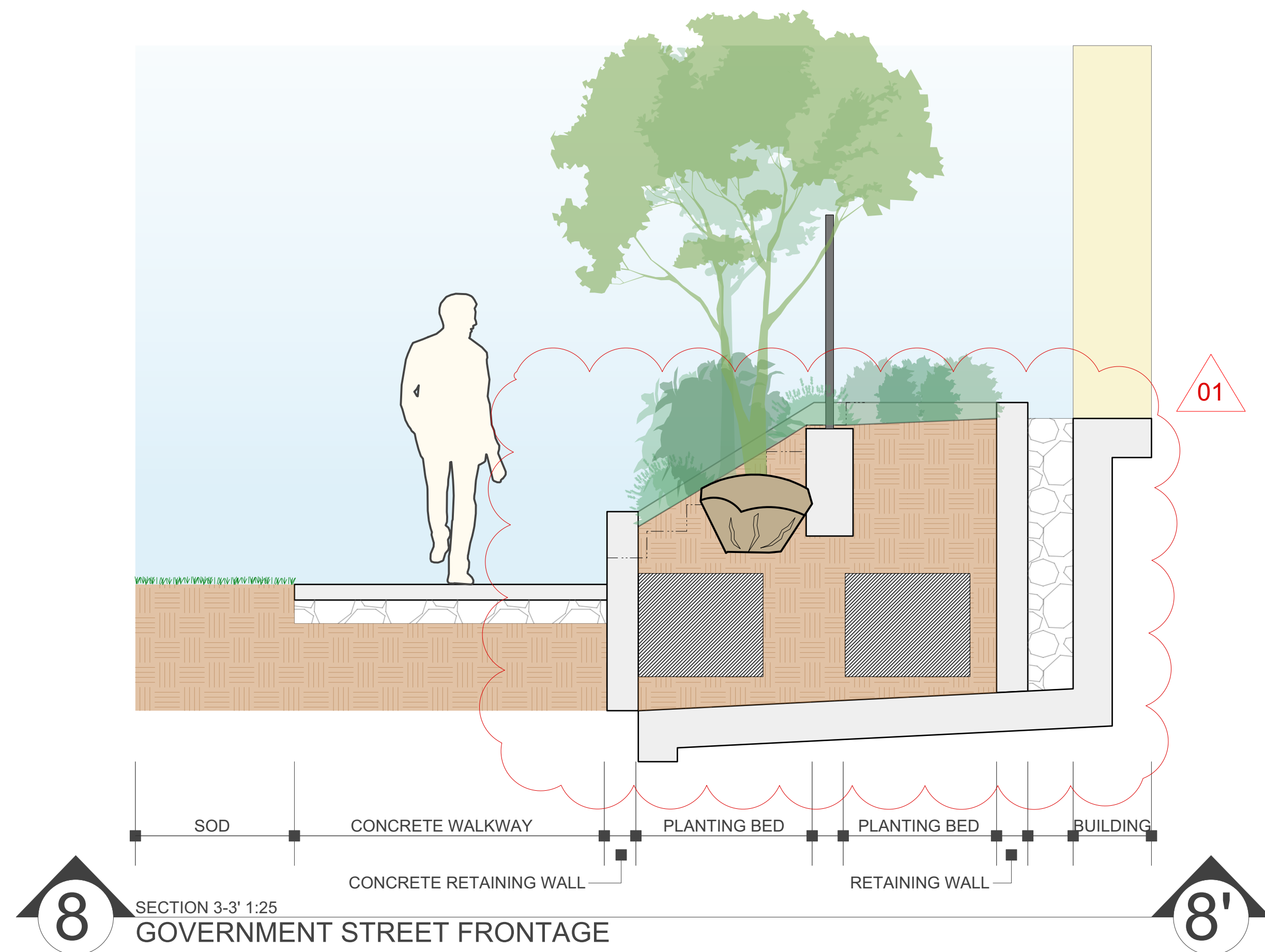
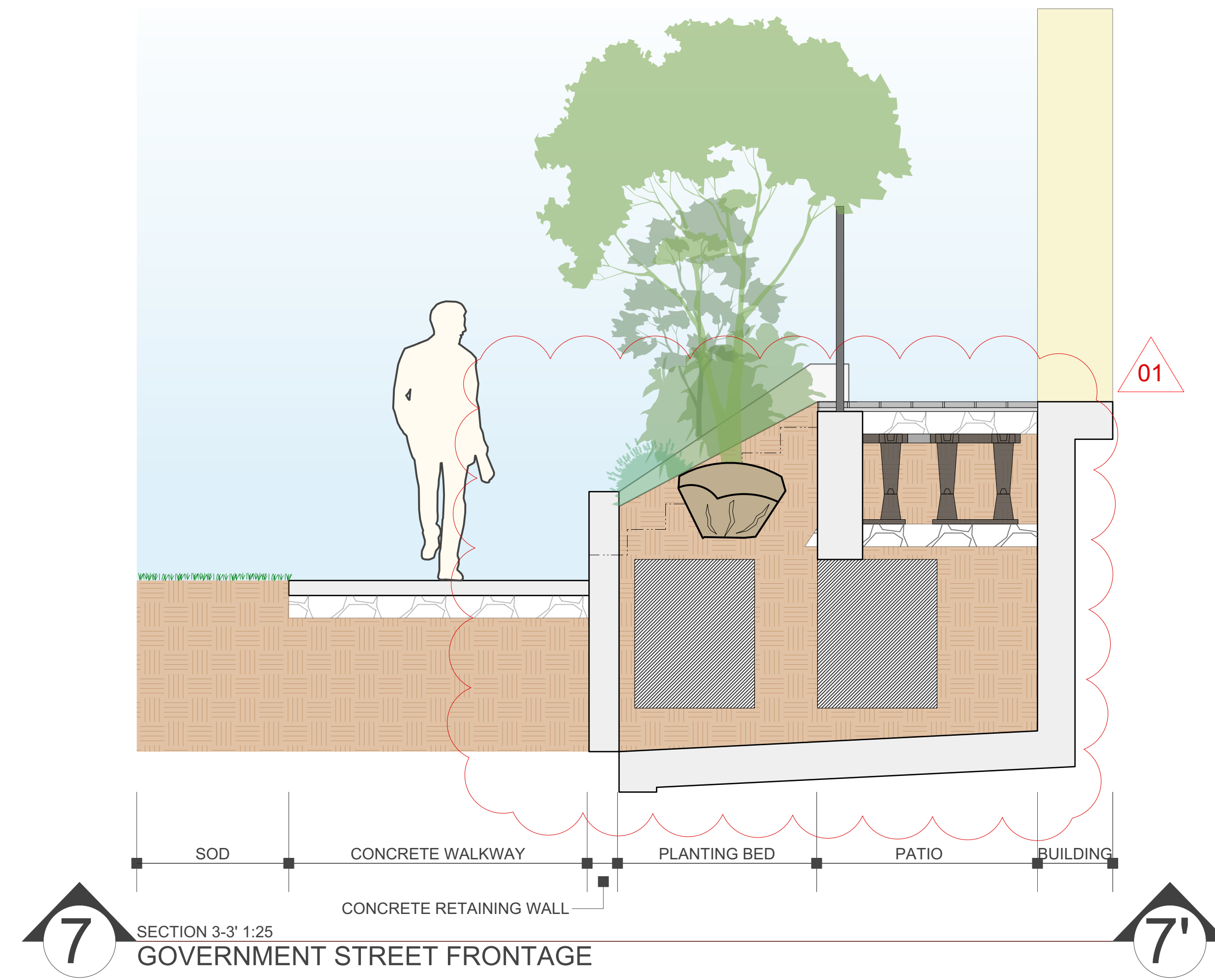
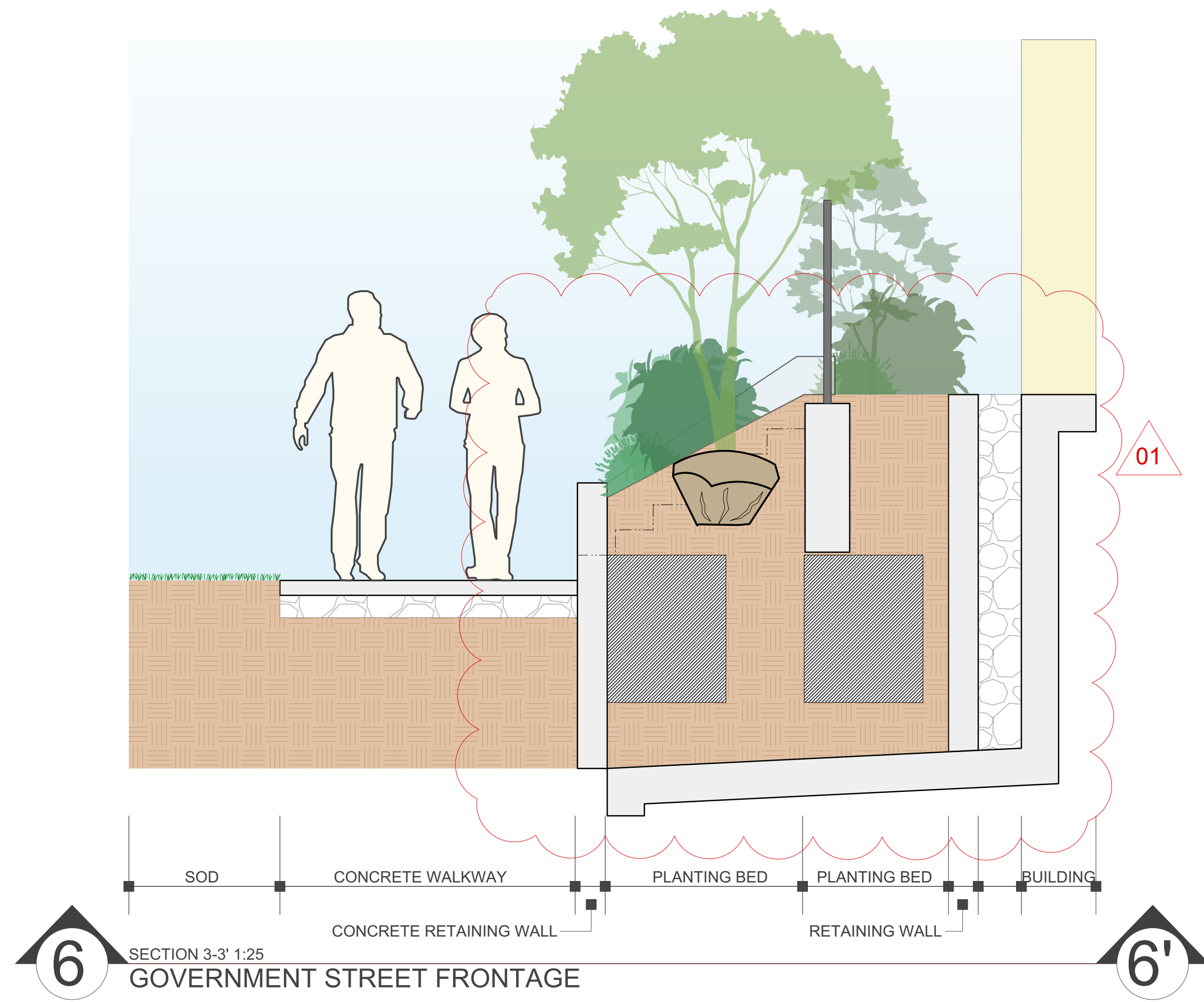


REVISION
1 - Terraced planter section details revised

Rev. 07: Apr 17-26
Rev. 06: Mar 23-26
Rev. 05: Mar 11-26
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Rev. 03: Mar 14-25
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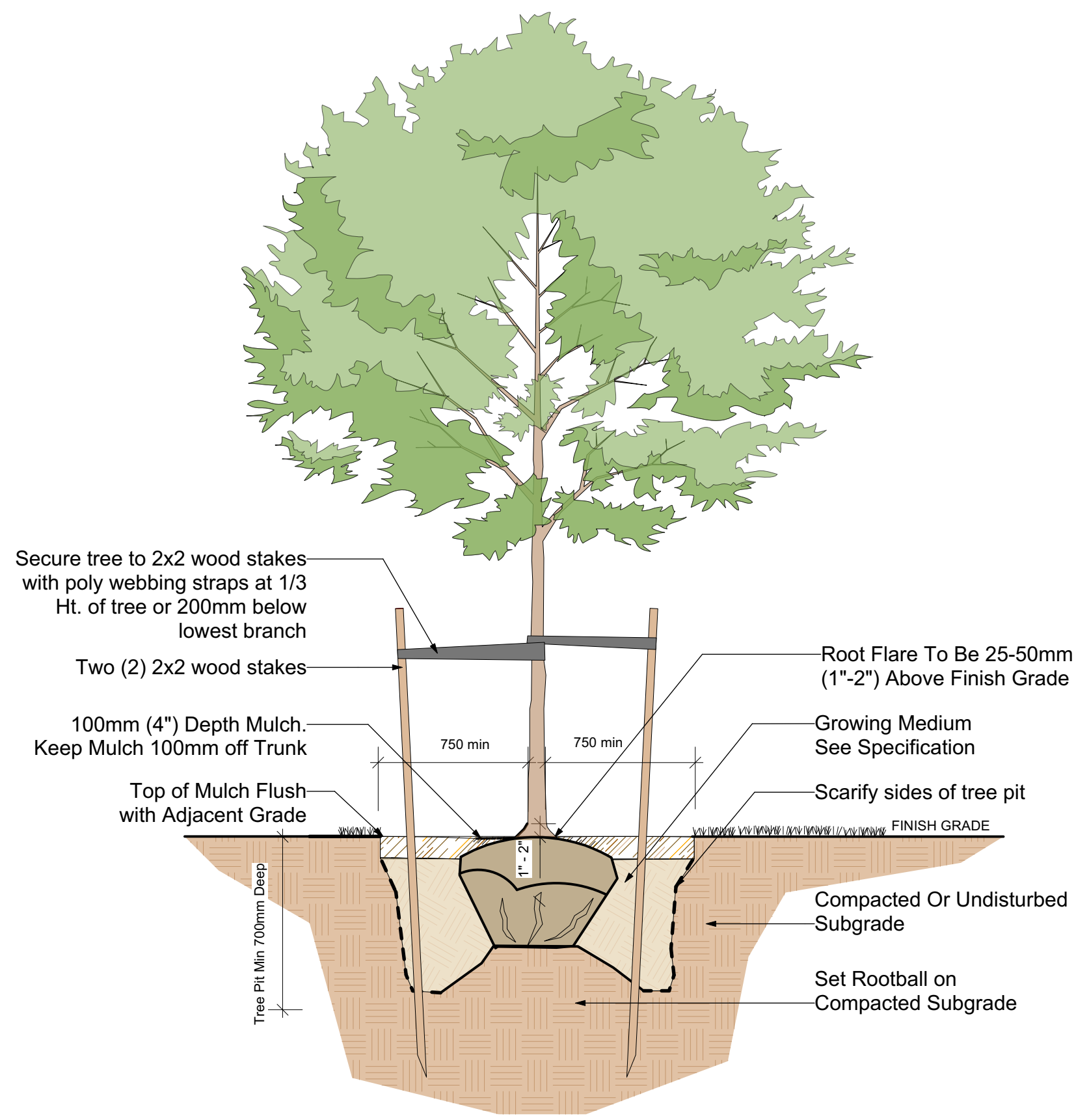
443 Government Street | Landscape Sections



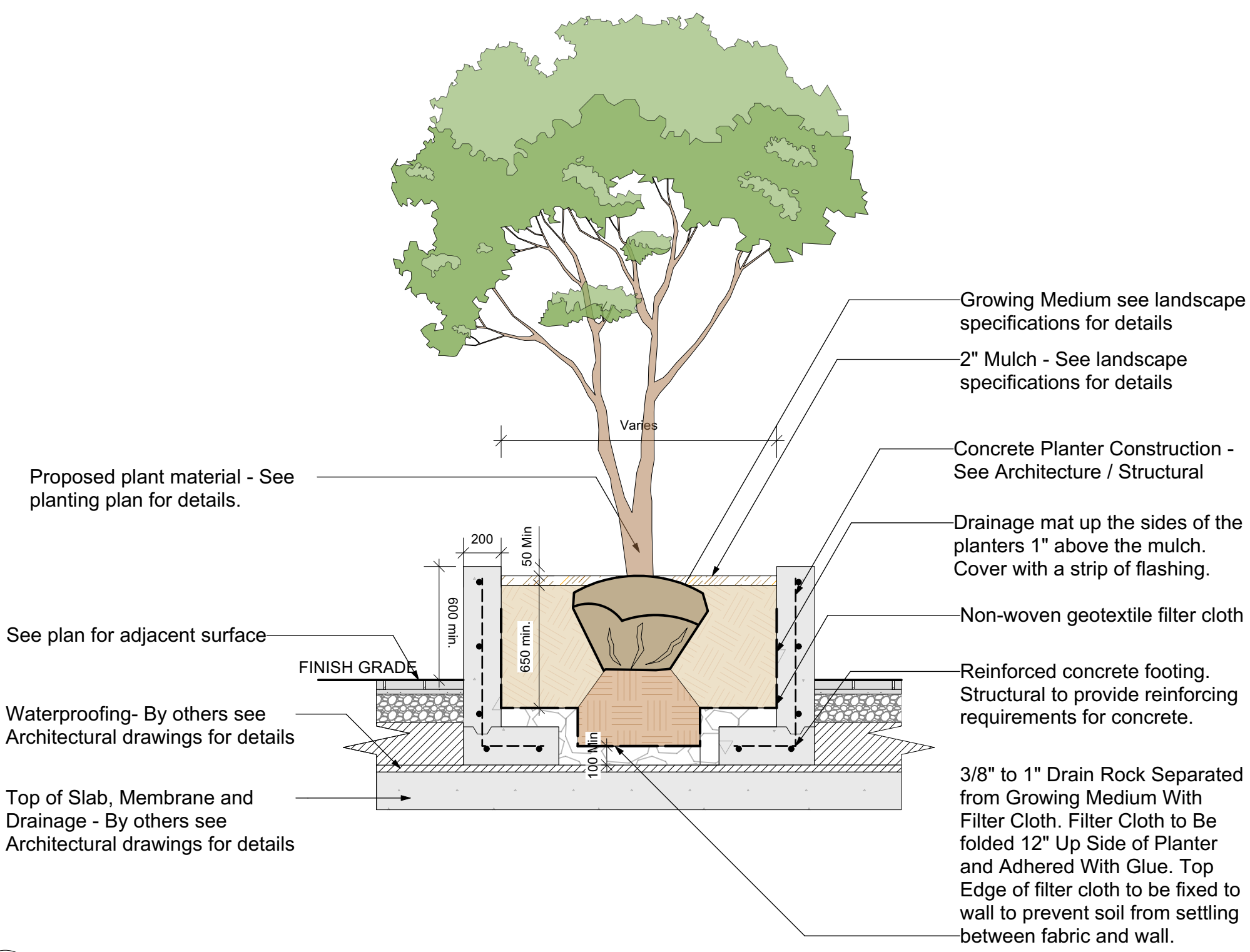
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L5/8

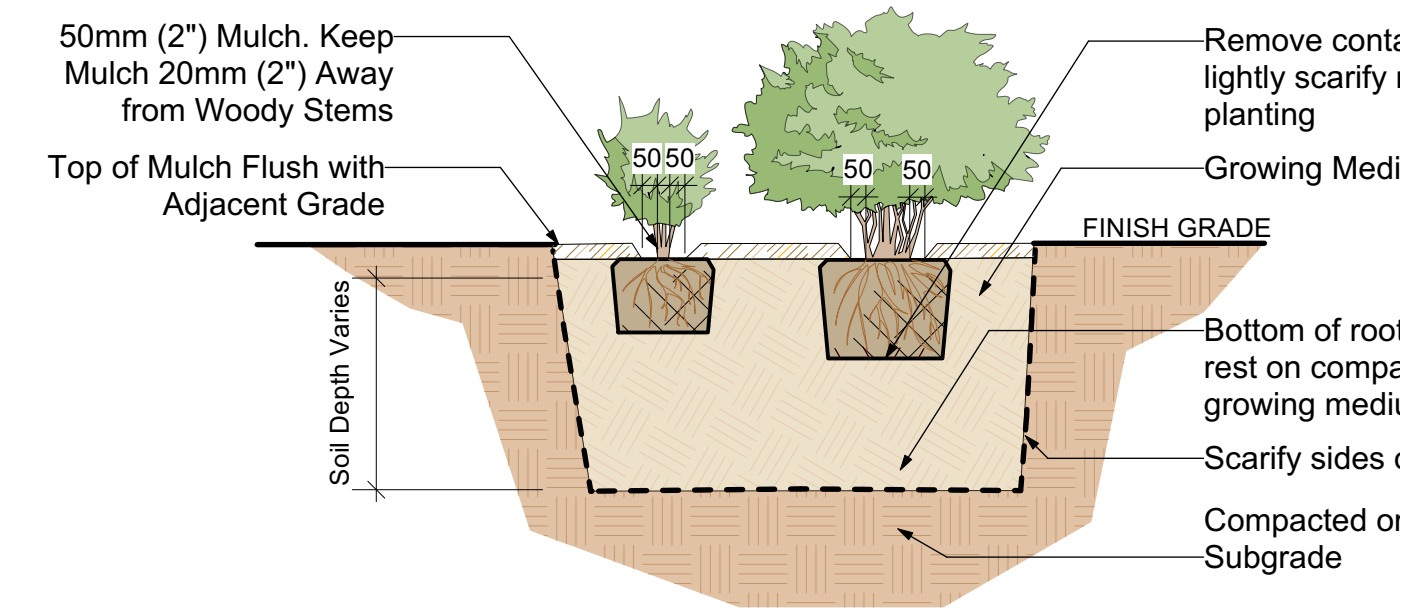
443 Government Street | Landscape Sections



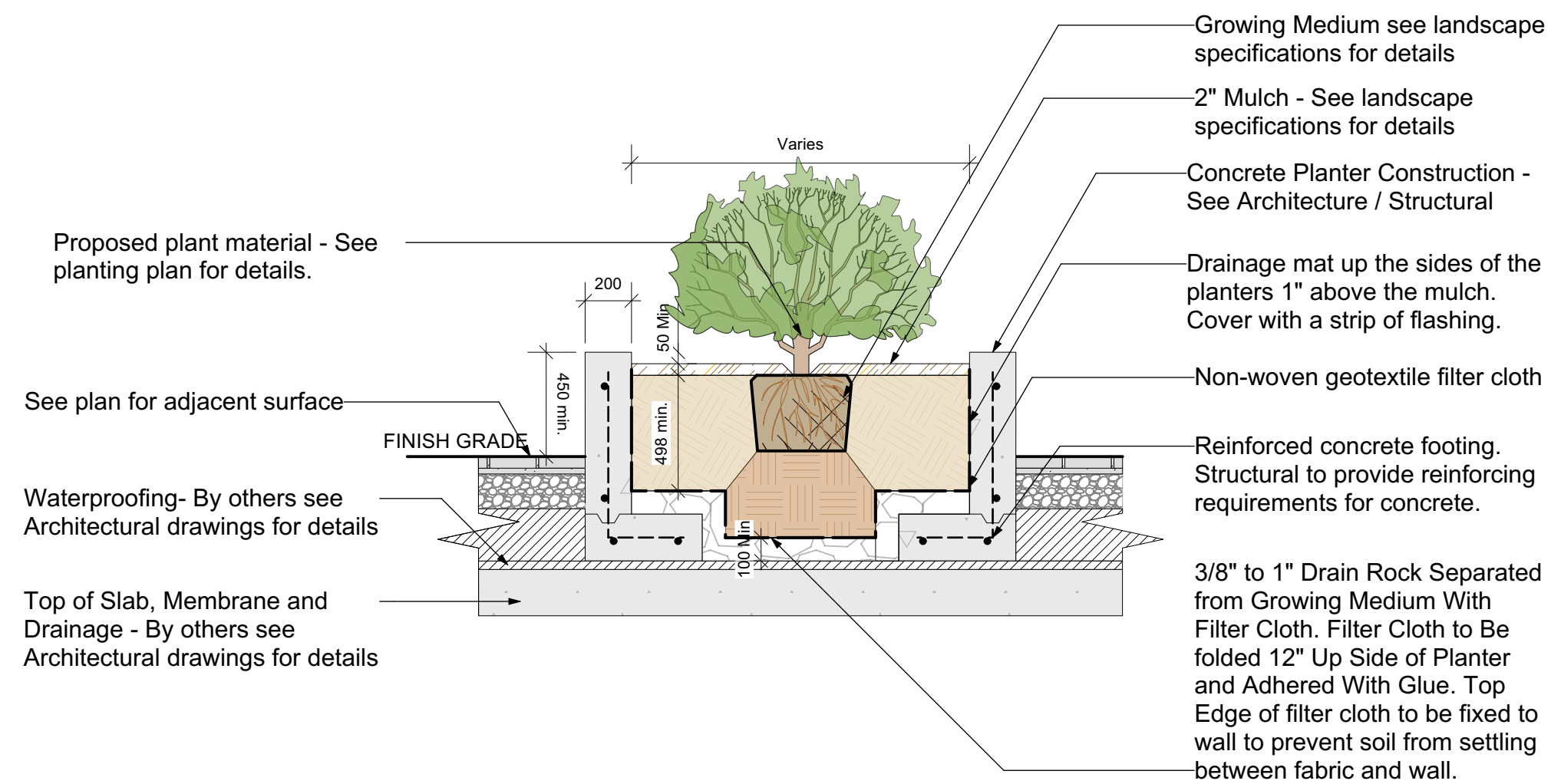
1 Typical Deciduous Tree Planting Detail
D1 Scale: 1:25



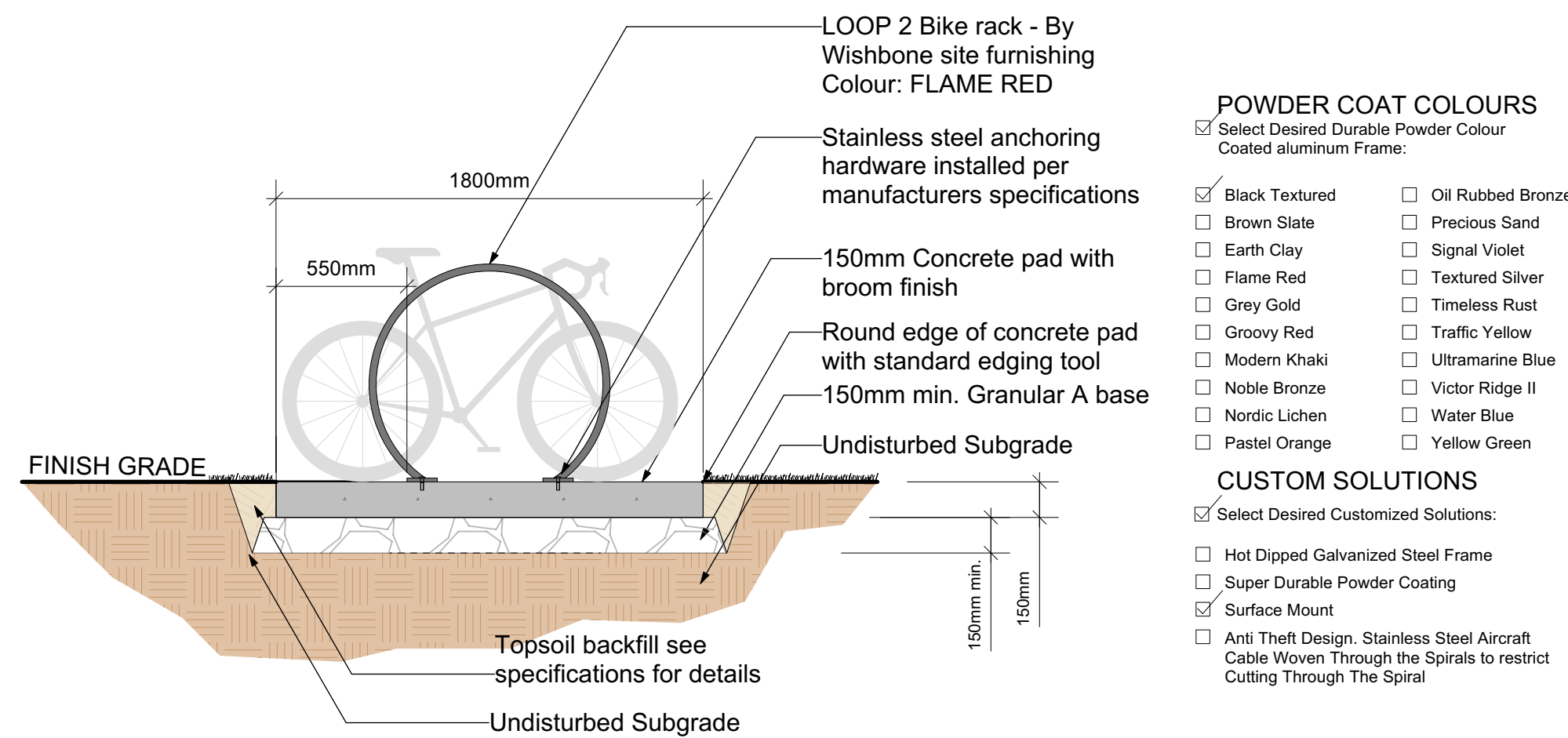
2 Tree Planting in Concrete Planter Over Slab Detail
D1 Scale: 1:25



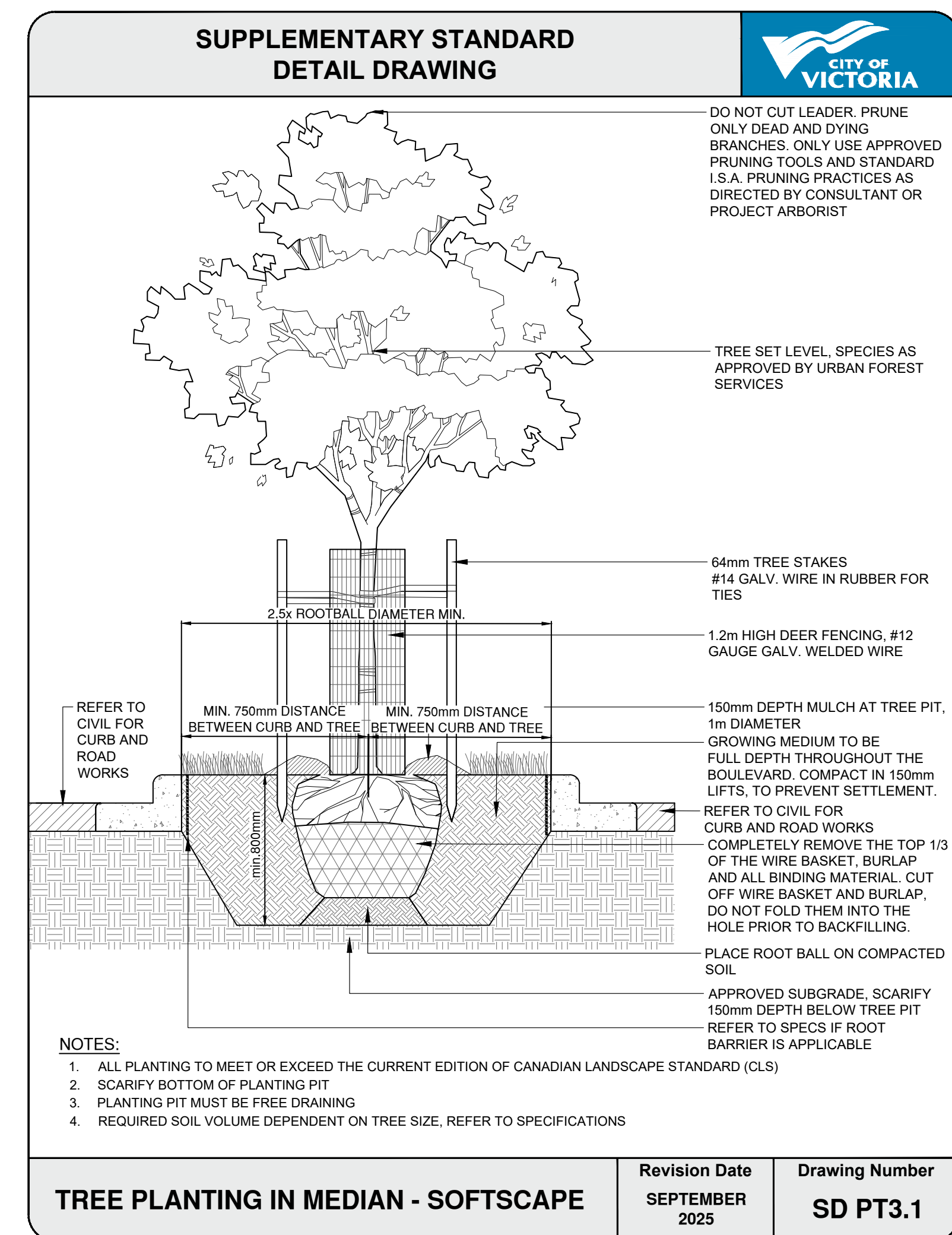
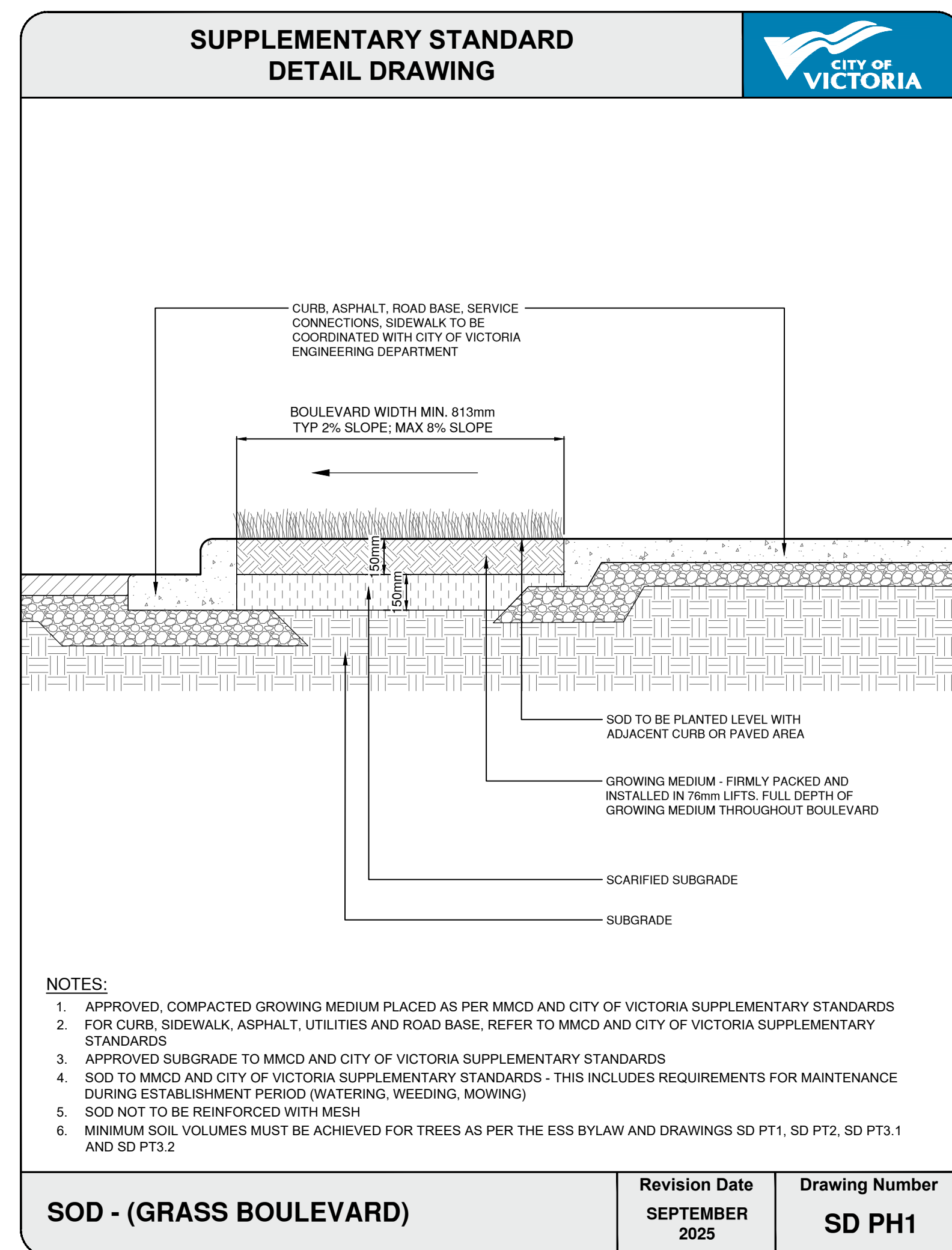
3 Typical Shrub Planting Detail
D1 Scale: 1:25



4 Shrub Planting in Concrete Planter Over Slab Detail
D1 Scale: 1:25



5 Concrete pad with LOOP 2 bike rack - By Wishbone
D1 Scale: 1:25

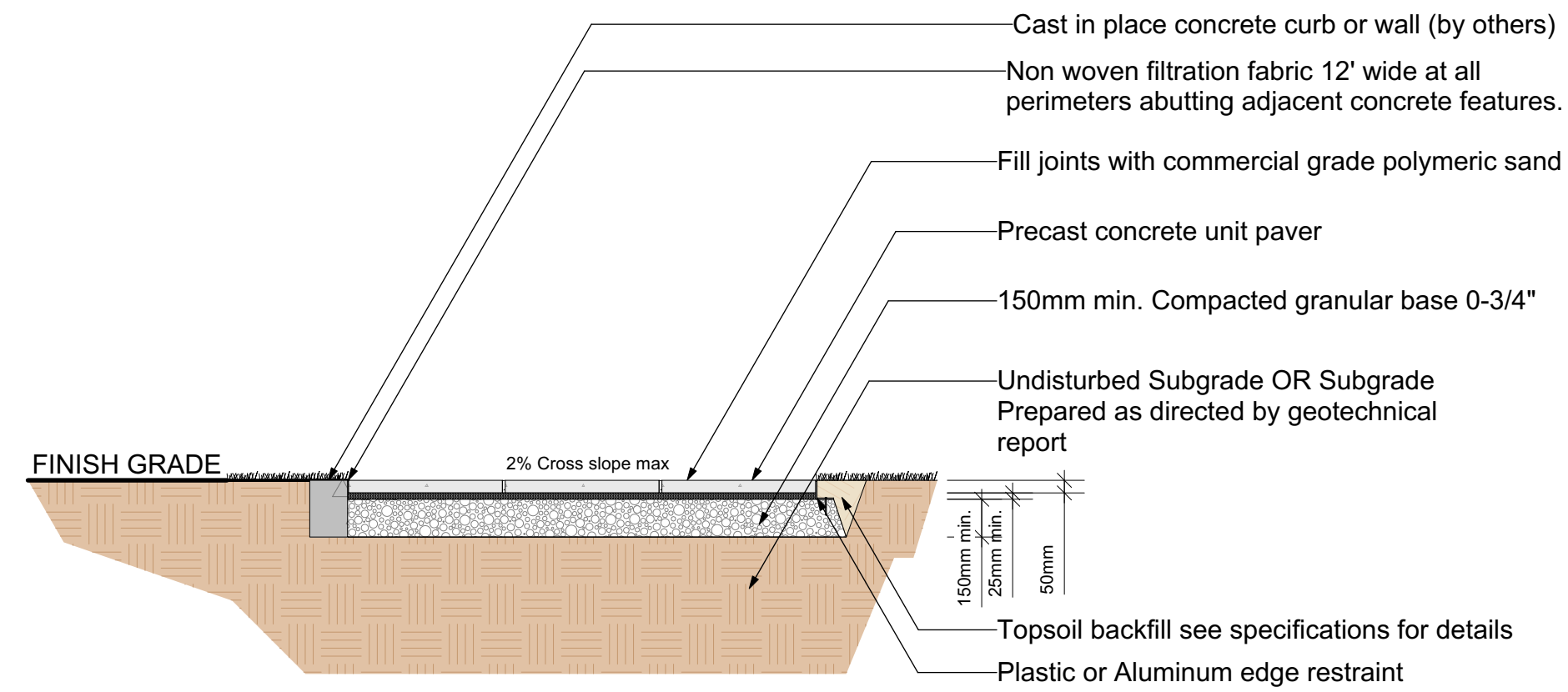


REVISION
1 - Municipal details updated

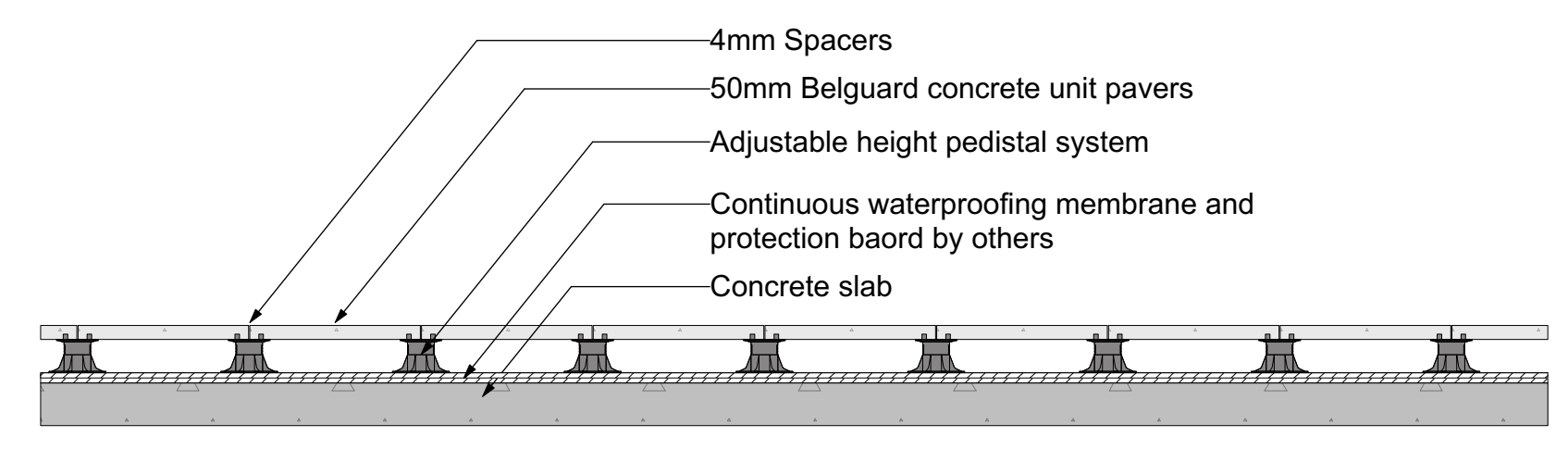
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L6/8

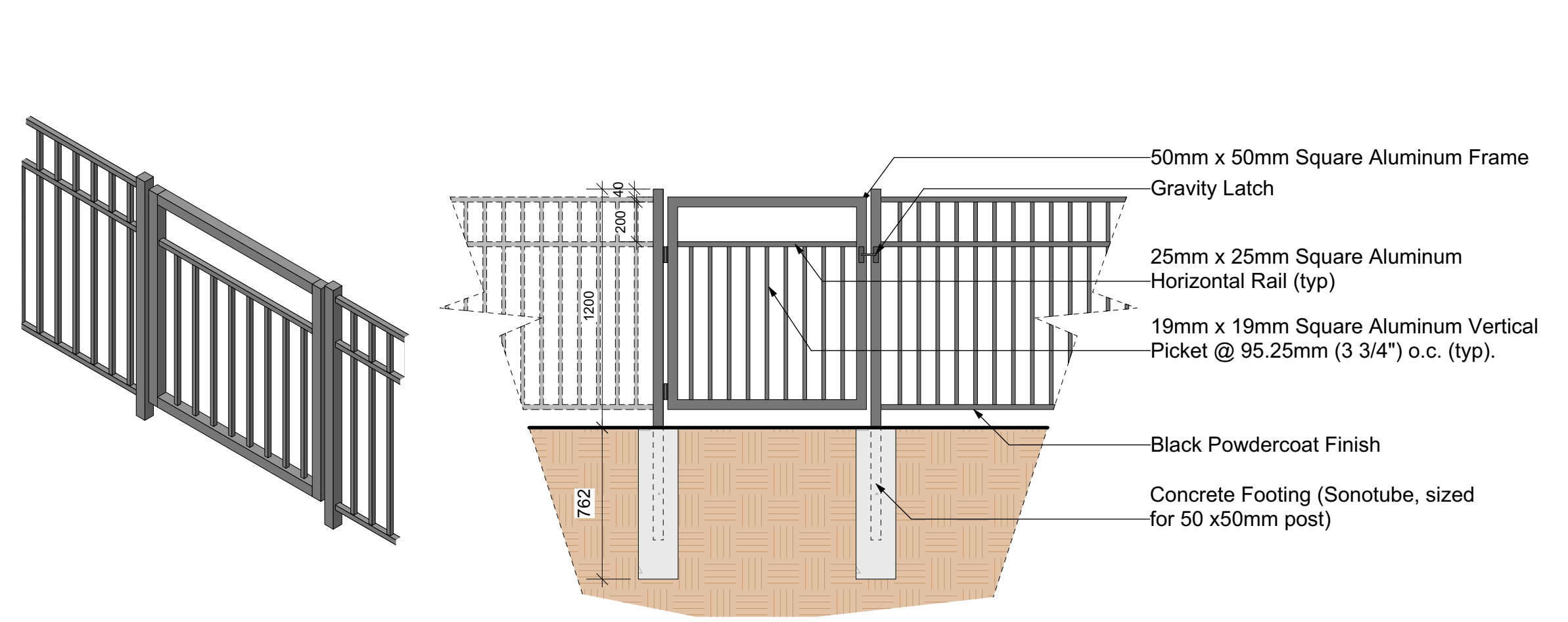
443 Government Street | Details 1



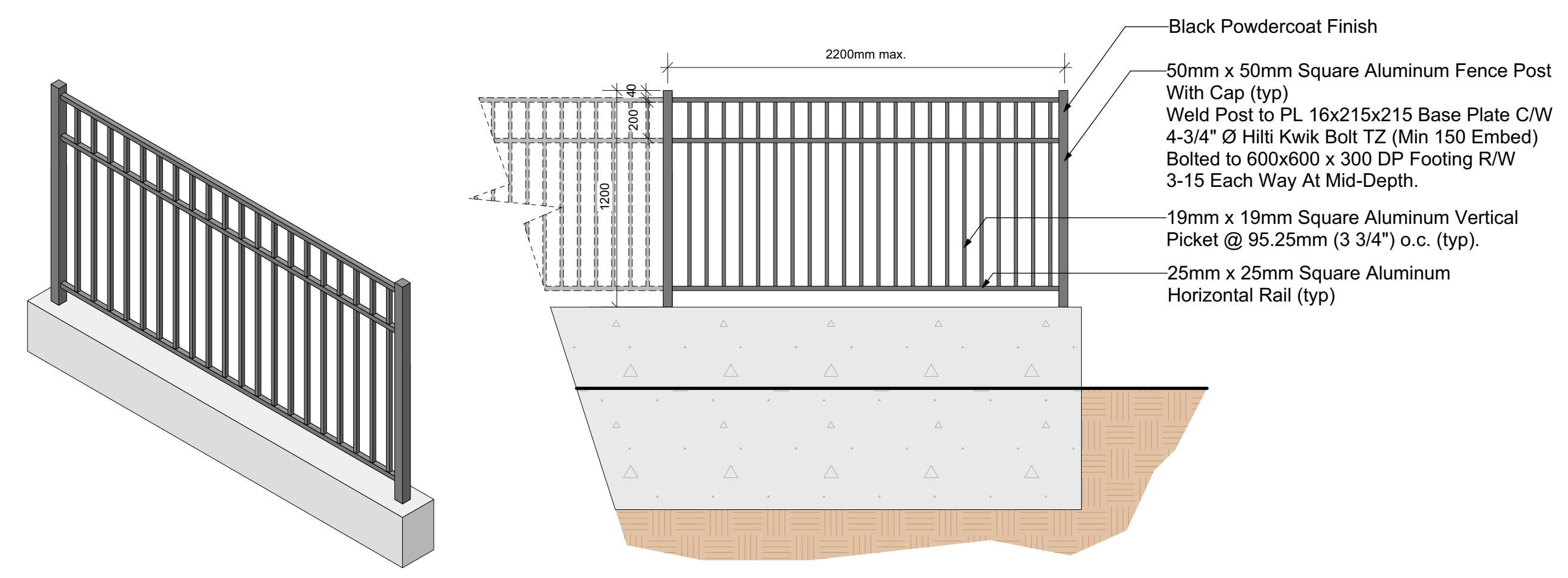
6 Pedestrian Precast concrete unit pavers
D2 Scale: 1:25



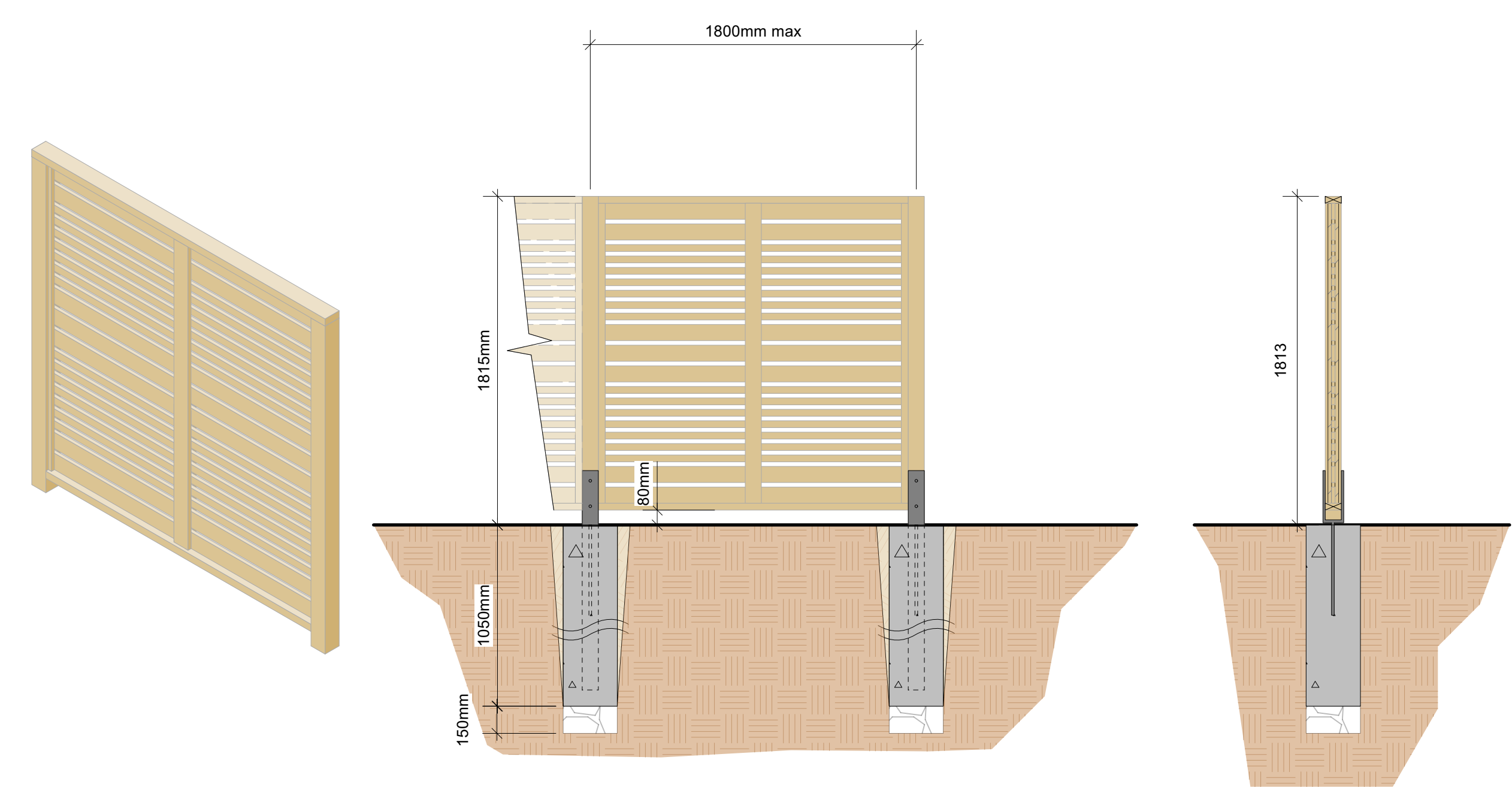
7 Concrete unit pavers on pedestal standard detail
D1 1:50



8 1.2m Ht Ornamental Aluminum Gate with Gravity Latch
D2 Scale: 1:25



9 0.75m Ht Ornamental Aluminum Fence on Concrete Retaining Wall
D2 Scale: 1:25

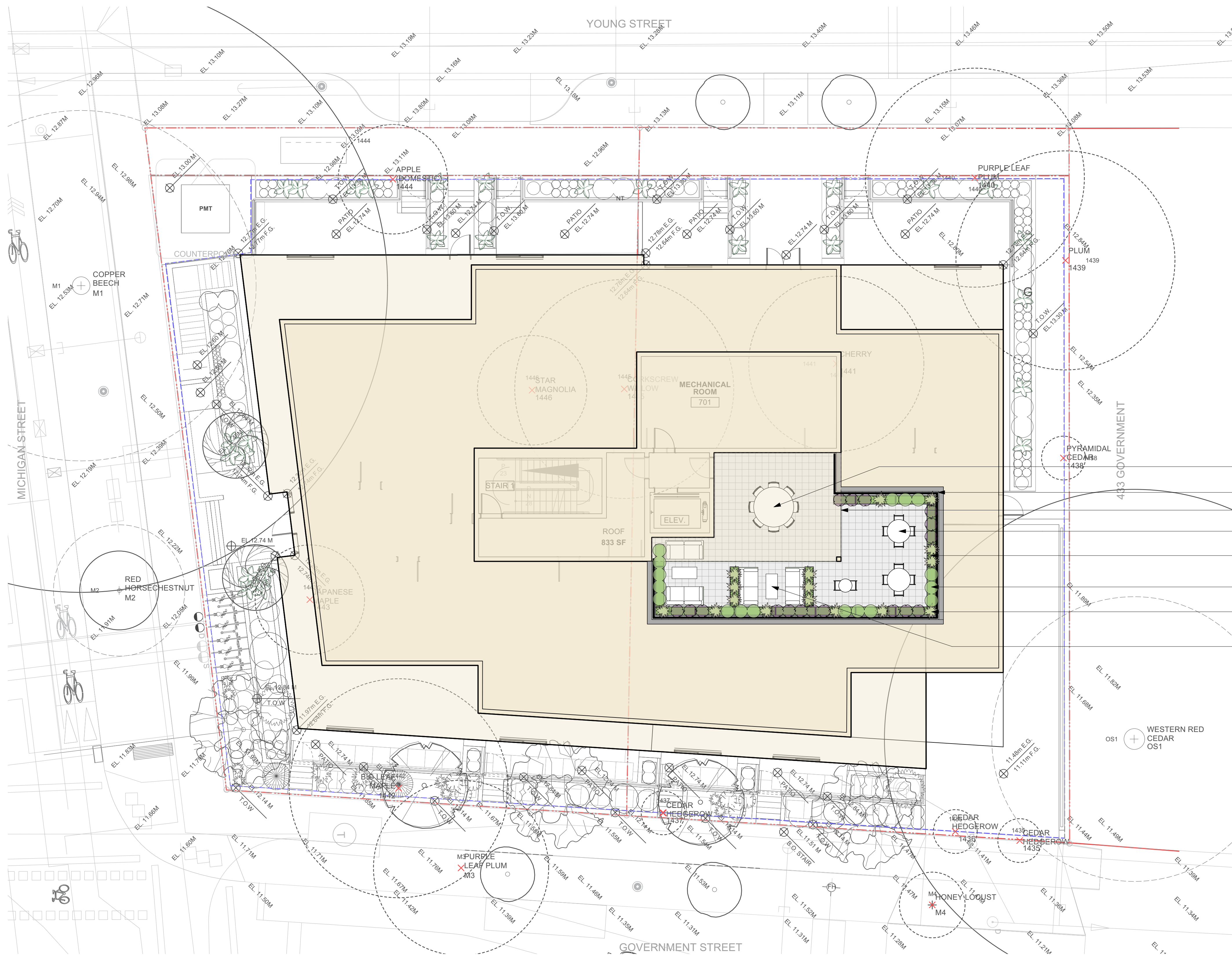


6 1.8m Ht Wood Privacy fence with 4x4 post
D2 Scale: 1:25

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Rev. 06: Mar 23-26
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Rev. 04: Apr 16-25
Rev. 03: Mar 14-25
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L7/8

443 Government Street | Details 2



ROOF PLAN RECOMMENDED PLANT SPECIES LIST

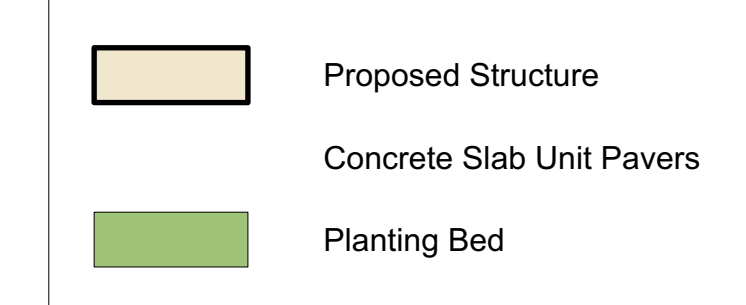
Total: 50

Botanical Name	Common Name	Size
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
Gaultheria shallon	Salal	#1 pot
Lavandula stoechas 'Anouk'	Anouk Lavender	#1 pot

PLANTING IMAGES

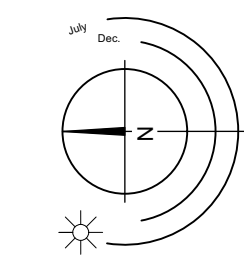


LANDSCAPE LEGEND

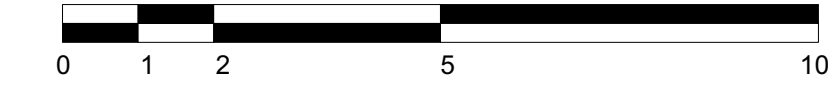


Partition Planter by C3 Planters

- Large Seating Area
- Railing, See Arch.
- Roof Overhang, See Arch.
- Medium / Small Seating Area
- (3) - L 1015mm (40") x W 405mm (16") x H 1065mm (42") Partition Planters by C3 Planters.
- (14) - L 1830mm (72") x W 405mm (16") x H 1065mm (42") Partition Planters by C3 Planters.
- Planters to have native & adaptive full sun, drought tolerant shrubs and perennials. Salal, Karl Foerster Feather Reed Grass, Anouk Lavender
- Lounge Area (typ.)



SCALE 1:100



443 Government Street | Roof Level

Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L8/8



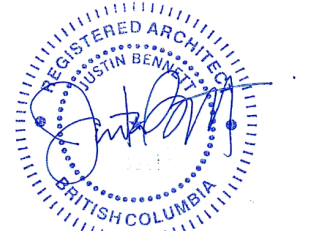


- TREE LEGEND:**
- XXX EXISTING TREE TO BE REMOVED
 - XXX EXISTING TREE TO REMAIN
 - CRITICAL ROOT ZONE (CRZ)
 - PROPOSED NEW TREE
 - EXISTING POWER POLES

OWNER / CLIENT



SEAL:



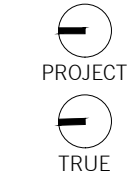
2026-04-17

RZ	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING
NO. DATE:	DESCRIPTION:	

UWA
URBAN WEST ARCHITECTURE
 VANCOUVER 102-1688 WEST 1ST AVE
 VANCOUVER BC V6J 1G1
 T 604 603 1332
 VICTORIA 2822 PRIOR ST
 VICTORIA BC V8T 3Y3
 T 604 603 1332

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DATE: 2026-04-17
 PROJECT NO: 2024-004
 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

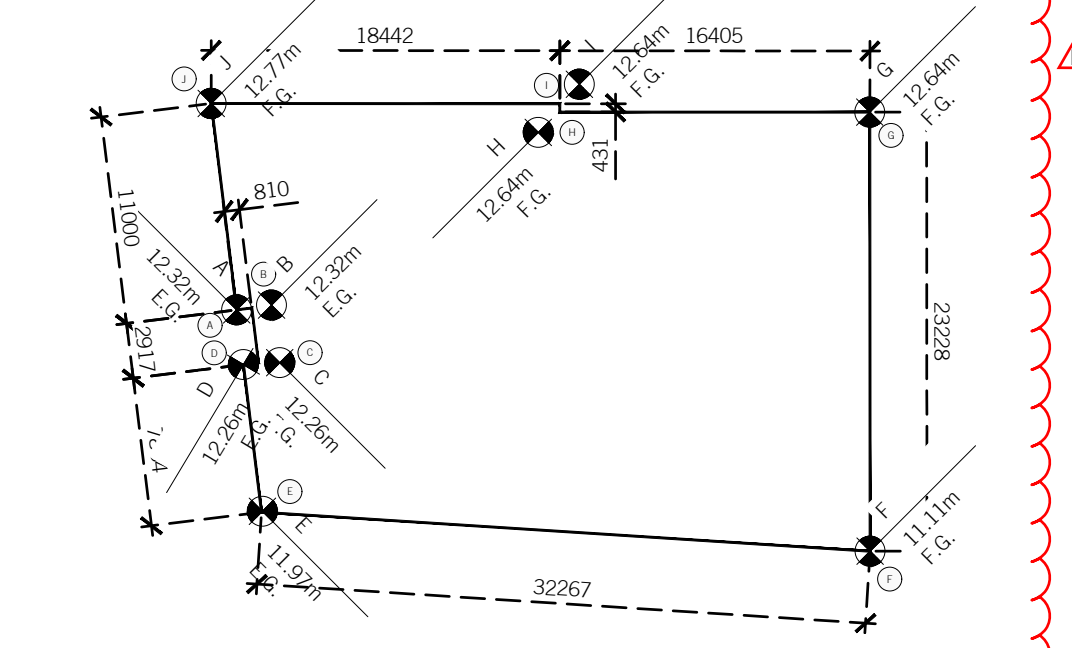
A012
 SITE PLAN

1 SITE PLAN
 A012 1:100

Point	Elevation	Points	Avg. of Points (M)	Distance Between Points (M)	Total	Grade= Total/Perimeter
A	12.32	A+B	12.32	0.810	9.98	
B	12.32	B+C	12.29	2.917	35.85	
C	12.26	C+D	12.26	0.810	9.93	
D	12.26	D+E	12.115	7.864	95.27	
E	11.97	E+F	11.94	32.267	372.36	
F	11.11	F+G	11.875	23.228	275.83	
G	12.64	G+H	12.64	16.405	207.36	
H	12.64	H+I	12.64	0.431	5.45	
I	12.64	I+J	12.705	18.442	234.31	
J	12.77	J+A	12.545	11.000	138.00	
				114.174	1384.33	12.125

2 GRADE CALCULATION
 A012 1:400

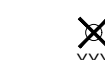




Point	Elevation	Points	Avg. of Points (M)	Distance Between Points (M)	Total	Grade= Total/Perimeter
A	12.32	A+B	12.32	0.810	9.98	
B	12.32	B+C	12.29	2.917	35.85	
C	12.26	C+D	12.26	0.810	9.93	
D	12.26	D+E	12.115	7.864	95.27	
E	11.97	E+F	11.94	32.267	372.36	
F	11.11	F+G	11.875	23.228	275.83	
G	12.64	G+H	12.64	16.405	207.36	
H	12.64	H+I	12.64	0.431	5.45	
I	12.64	I+J	12.705	18.442	234.31	
J	12.77	J+A	12.545	11.000	138.00	
				114.174	1384.33	12.125

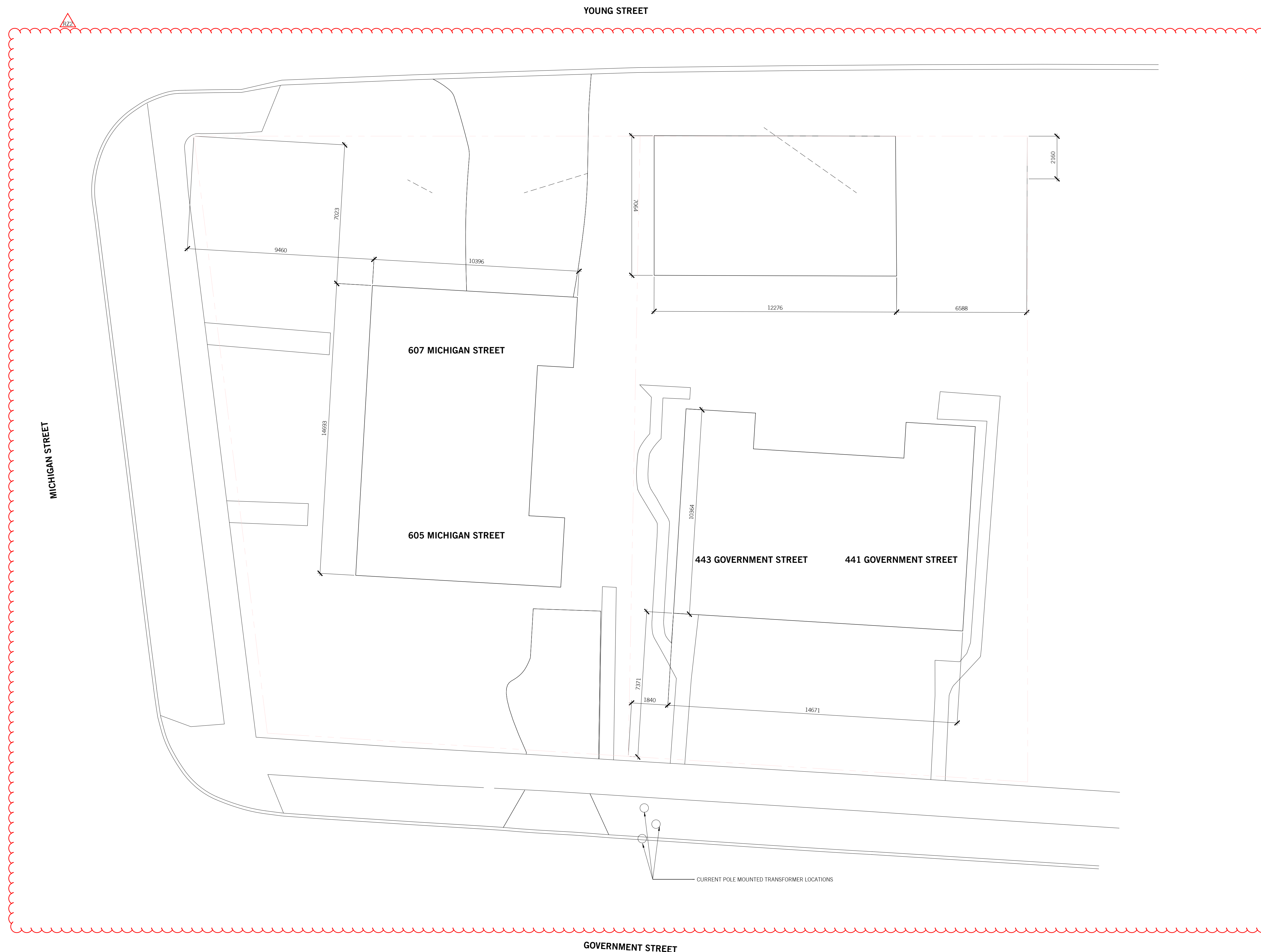


CLASS 2 HORIZONTAL STALL
 1.8m X 0.6m

3 BIKE STALLS
 A012 1:100

TREE LEGEND:

-  EXISTING TREE TO BE REMOVED
-  EXISTING TREE TO REMAIN
-  CRITICAL ROOT ZONE (CRZ)
-  PROPOSED NEW TREE
-  EXISTING POWER POLES



OWNER / CLIENT



SEAL:



2026-04-17

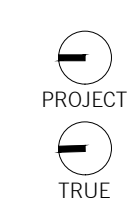
RZ	DATE	DESCRIPTION
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE

VANCOUVER **VICTORIA**
102-1688 WEST 1ST AVE 2822 PRIOR ST
VANCOUVER BC V6J 1G1 VICTORIA BC V8T 3Y3
T 604 603 1332 T 604 603 1332

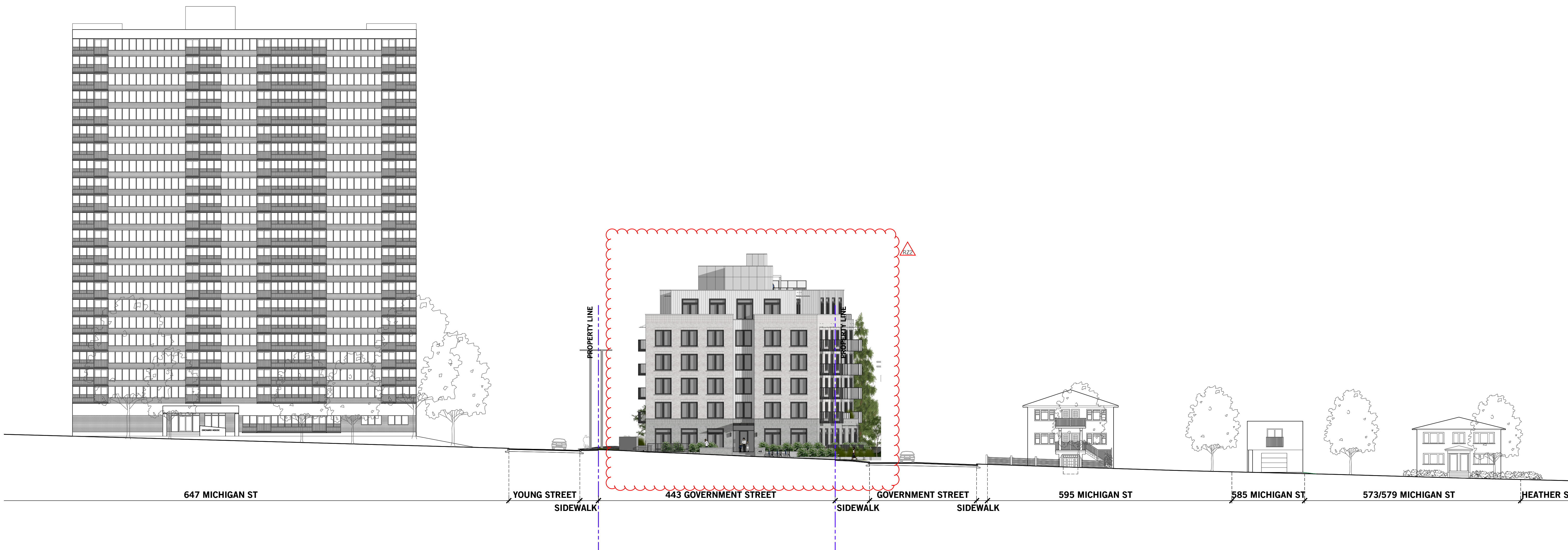
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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE: 1,100
SCALE: BC
DRAWN BY: JB
CHECKED BY:



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A013
EXISTING SITE PLAN



2 MICHIGAN STREET ELEVATION
A020 1:250



1 GOVERNMENT STREET ELEVATION
A020 1:250

OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
RZ2	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

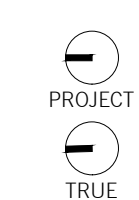
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332

VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:250
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A020

STREET ELEVATIONS



1 VIEW FROM CORNER OF MICHIGAN ST. AND GOVERNMENT ST.

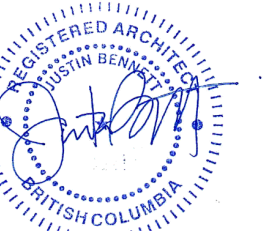
A030



OWNER / CLIENT



SEAL:



2026-04-17

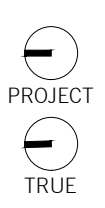
RZ: 2026 03 27 RE-ISSUED FOR REZONING
 RZ: 2025 04 17 ISSUED FOR REZONING
 NO. DATE: DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1698 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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DATE: 2026-04-17
 PROJECT NO.: 2024-004
 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A030

PROJECT IMAGES



1 VIEW TO FRONT ENTRY ALONG MICHIGAN ST.

A031



OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
BZ	2026 03 27	RF-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

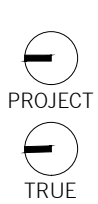
URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A031

PROJECT IMAGES



1 VIEW ALONG GOVERNMENT STREET

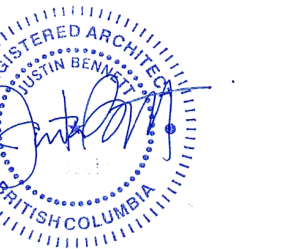
A032



OWNER / CLIENT



SEAL:



2026-04-17

RZ:	2026-03-27	RE-ISSUED FOR REZONING
RZ:	2025-04-17	ISSUED FOR REZONING
NO.:	DATE:	DESCRIPTION:

UWA

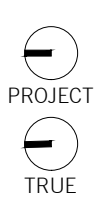
URBAN WEST ARCHITECTURE

VANCOUVER 102-1698 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332

VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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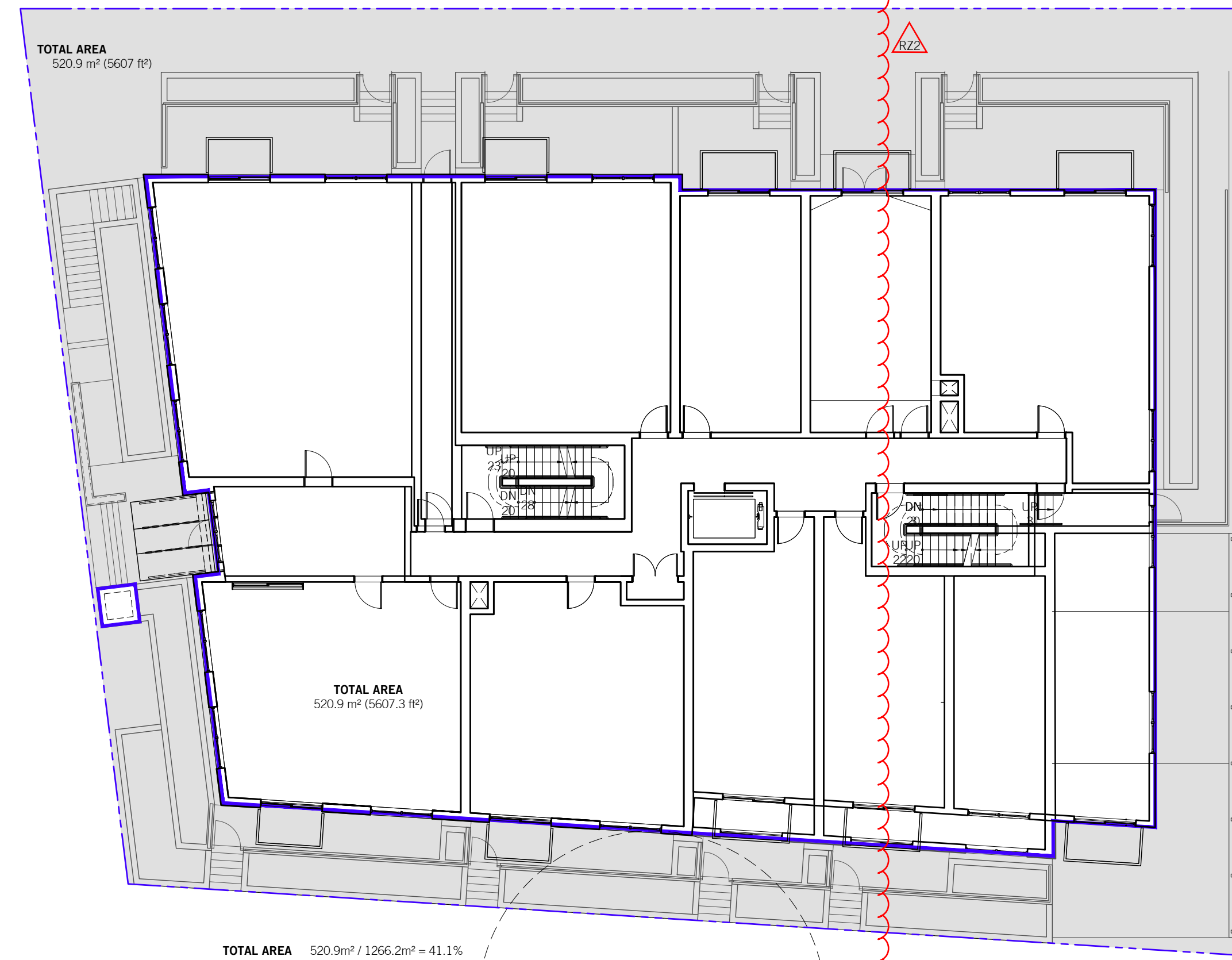
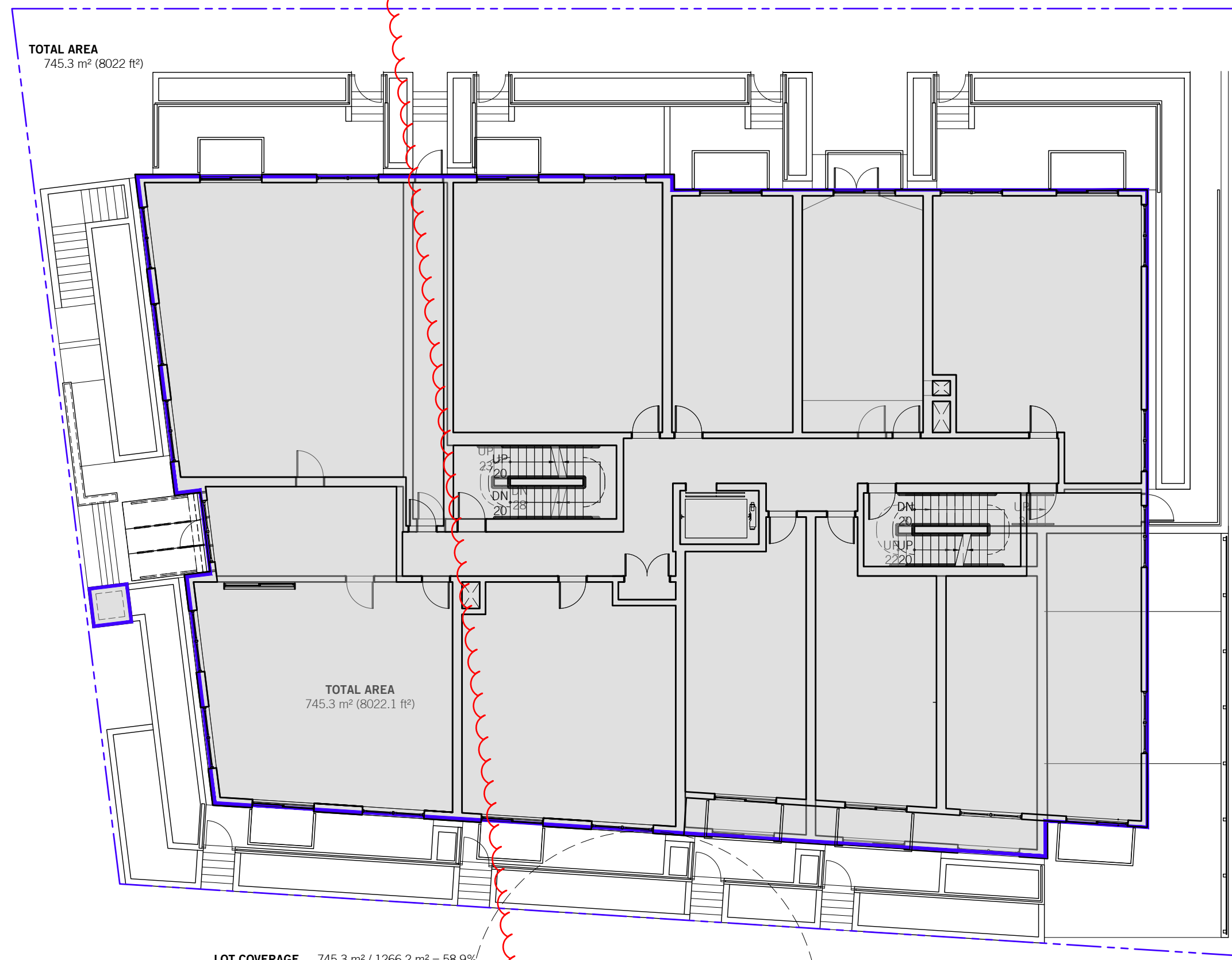
DATE:	2026-04-17
PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:100
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A032

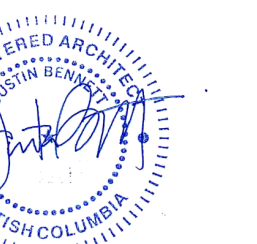
PROJECT IMAGES



OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
RZ	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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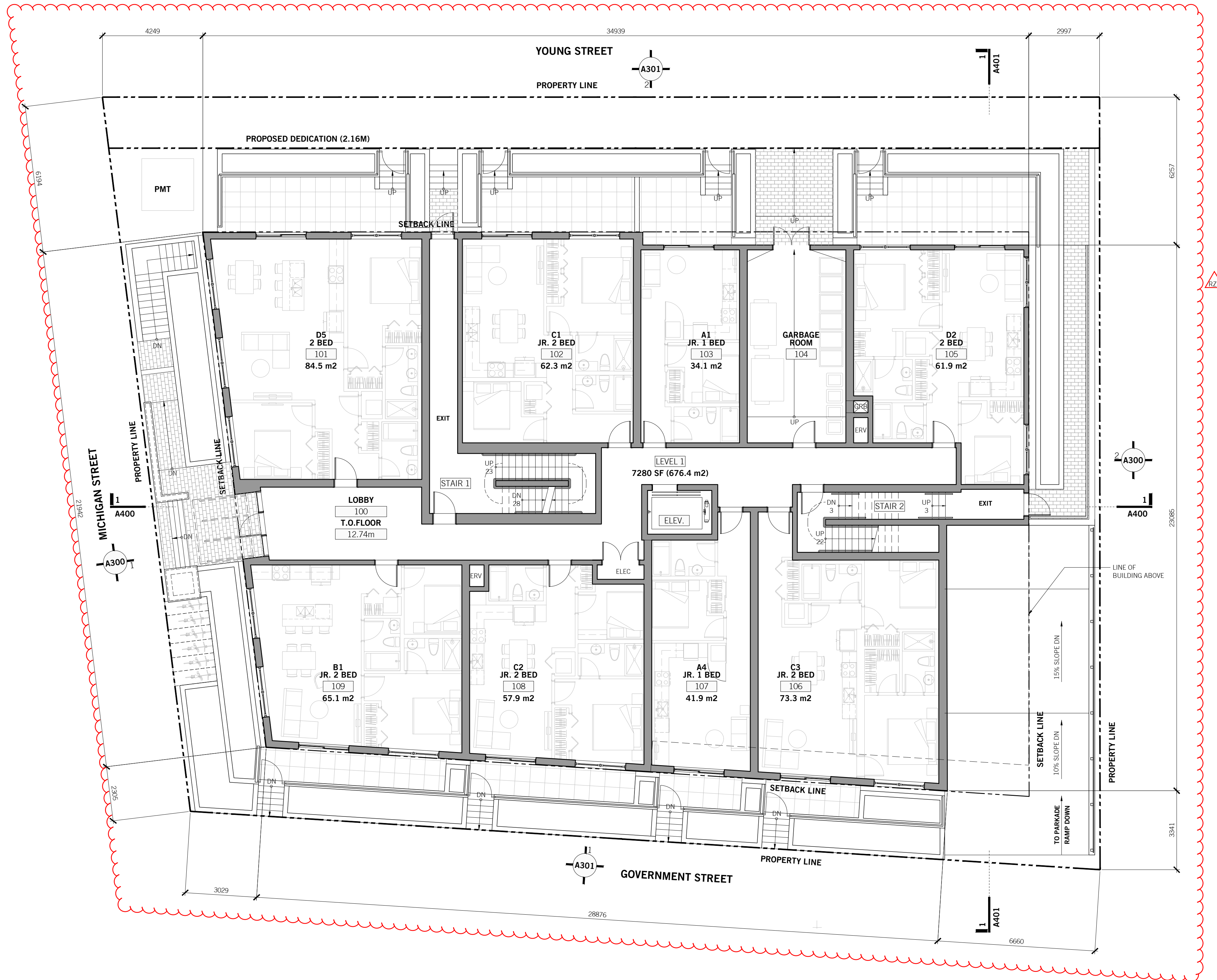
DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A040

LOT COVERAGE & OPEN SITE SPACE



OWNER / CLIENT



SEAL:



2026-04-17

R22: 2026 03 27	RE-ISSUED FOR REZONING
RZ: 2025 04 17	ISSUED FOR REZONING
NO. DATE:	DESCRIPTION:

UWA

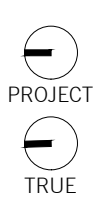
URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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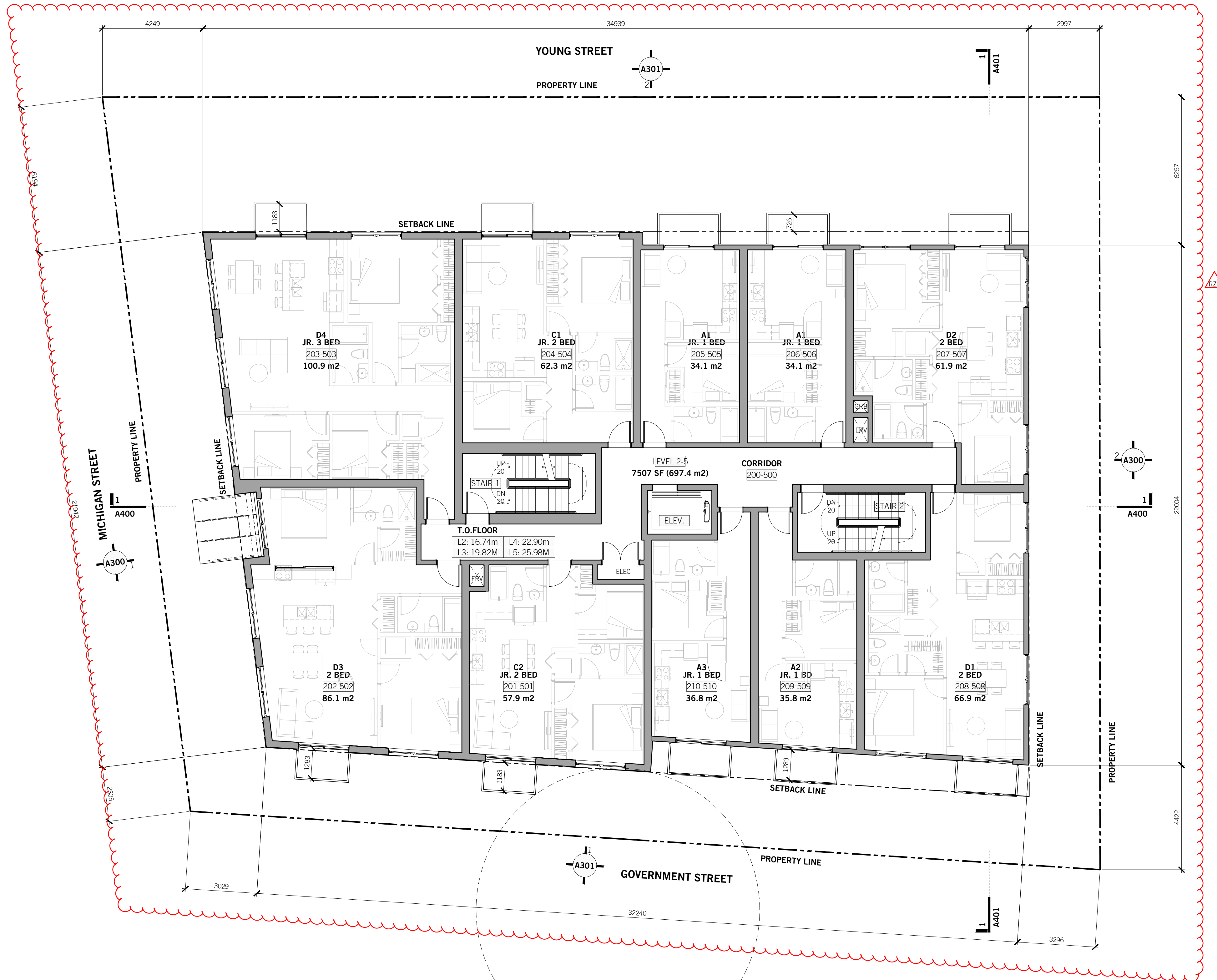
DATE:	2026-04-17
PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:100
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A201

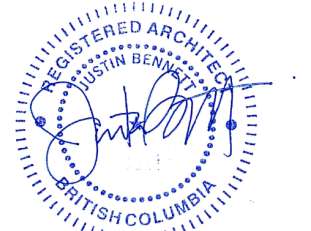
LEVEL 1 FLOOR PLAN



OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE

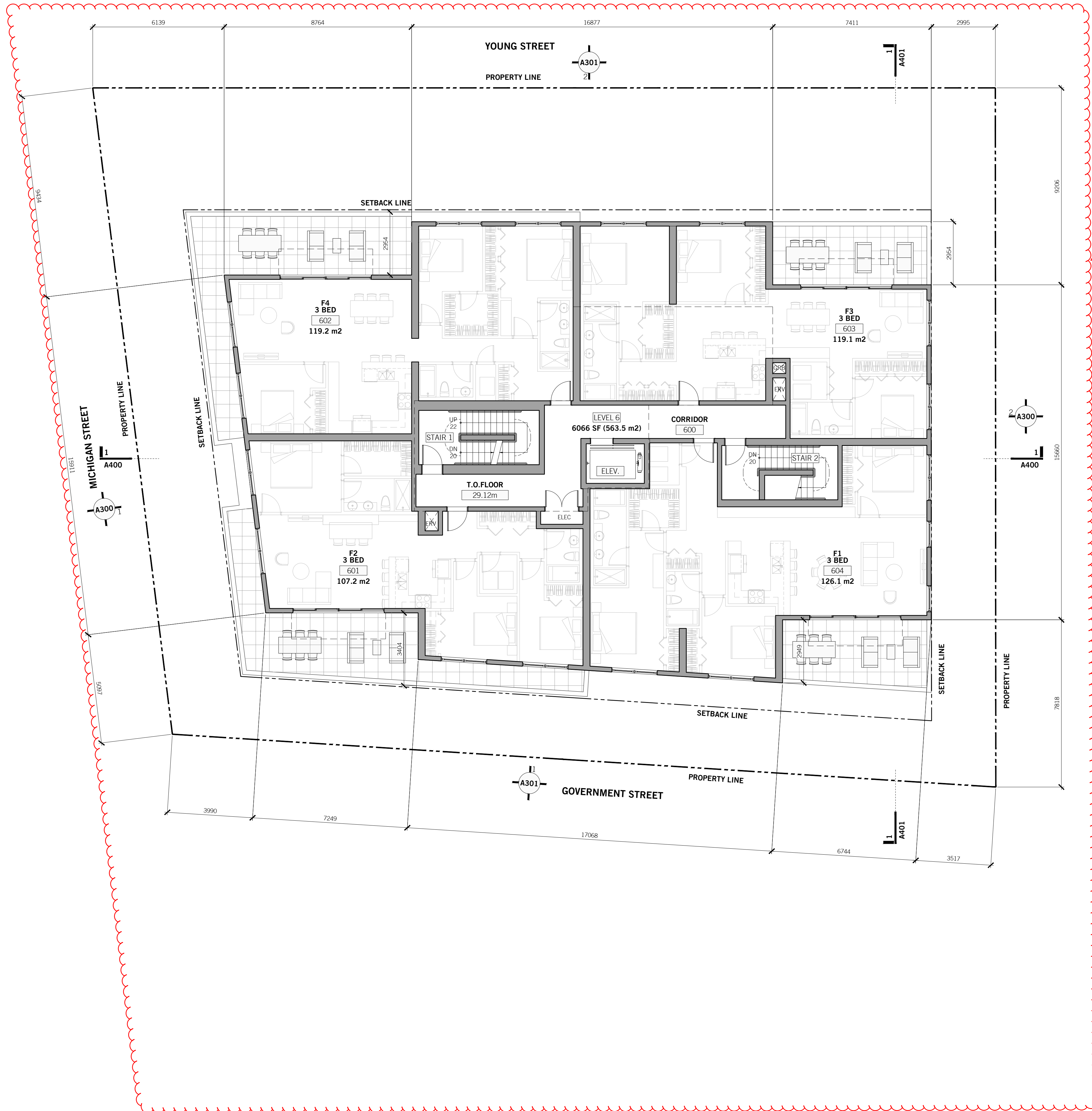
VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE:	2026-04-17	PROJECT TRUE
PROJECT NO.:	2024-004	
ISSUE:		
SCALE:	1:100	
CHECKED BY:	JB	

443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC
A202
LEVEL 2-5 FLOOR PLAN



OWNER / CLIENT



SEAL:



2026-04-17

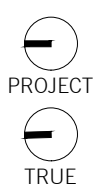
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING
NO. DATE:	DESCRIPTION:	

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332	VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332
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DATE:	2026-04-17
PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:100
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A203
LEVEL 6 FLOOR PLAN

MATERIAL LEGEND

- 01 BRICK CLADDING
COLOUR: OFF-WHITE
- 02 BRICK CLADDING
COLOUR: MEDIUM / DARK GREY
- 03 PAINTED VERTICAL SHIPLAP SIDING
(HARDIE ARTISAN) 9" EXPOSURE
COLOUR: OFF-WHITE
- 04 PAINTED FIBRE CEMENT PANEL
(HARDIE PANEL)
COLOUR: OFF-WHITE
- 05 DELETED
- 06 VINYL WINDOW & DOOR:
COLOUR: DARK GREY
- 07 ALUMINUM PICKET GUARDRAIL
COLOUR: DARK GREY
- 08 ALUMINUM AND GLASS
GUARDRAIL FRAME
COLOUR: DARK GREY
GLASS: CLEAR WITH FROSTED
BALCONY FASCIA
- 09 STEEL & GLASS ENTRY CANOPY
COLOUR: DARK GREY
- 10 ARCHITECTURAL CONCRETE
- 11 ALUMINUM WINDBREAK FRAME
WITH GLASS INFILL
COLOUR: DARK GREY
GLASS: CLEAR
- 12 GLASS CANOPY WITH CABLE STAYS
COLOUR: CLEAR

OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
RZ	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING

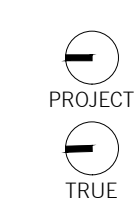
UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
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VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE: 1:100
SCALE: BC
DRAWN BY: JB
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A300
ELEVATIONS



1 NORTH ELEVATION (MICHIGAN ST.)

A300 1:100



2 SOUTH ELEVATION

A300 1:100

MATERIAL LEGEND

- 01 BRICK CLADDING
COLOUR: OFF-WHITE
- 02 BRICK CLADDING
COLOUR: MEDIUM / DARK GREY
- 03 PAINTED VERTICAL SHIPLAP SIDING
(HARDIE ARTISAN) 9" EXPOSURE
COLOUR: OFF-WHITE
- 04 PAINTED FIBRE CEMENT PANEL
(HARDIE PANEL)
COLOUR: OFF-WHITE
- 05 DELETED
- 06 VINYL WINDOW & DOOR:
COLOUR: DARK GREY
- 07 ALUMINUM PICKET GUARDRAIL
COLOUR: DARK GREY
- 08 ALUMINUM AND GLASS
GUARDRAIL FRAME
COLOUR: DARK GREY
GLASS: CLEAR WITH FROSTED
BALCONY FASCIA
- 09 STEEL & GLASS ENTRY CANOPY
COLOUR: DARK GREY
- 10 ARCHITECTURAL CONCRETE
- 11 ALUMINUM WINDBREAK FRAME
WITH GLASS INFILL
COLOUR: DARK GREY
GLASS: CLEAR
- 12 GLASS CANOPY WITH CABLE STAYS
COLOUR: CLEAR

OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
R22	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING

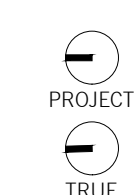
UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A301
ELEVATIONS



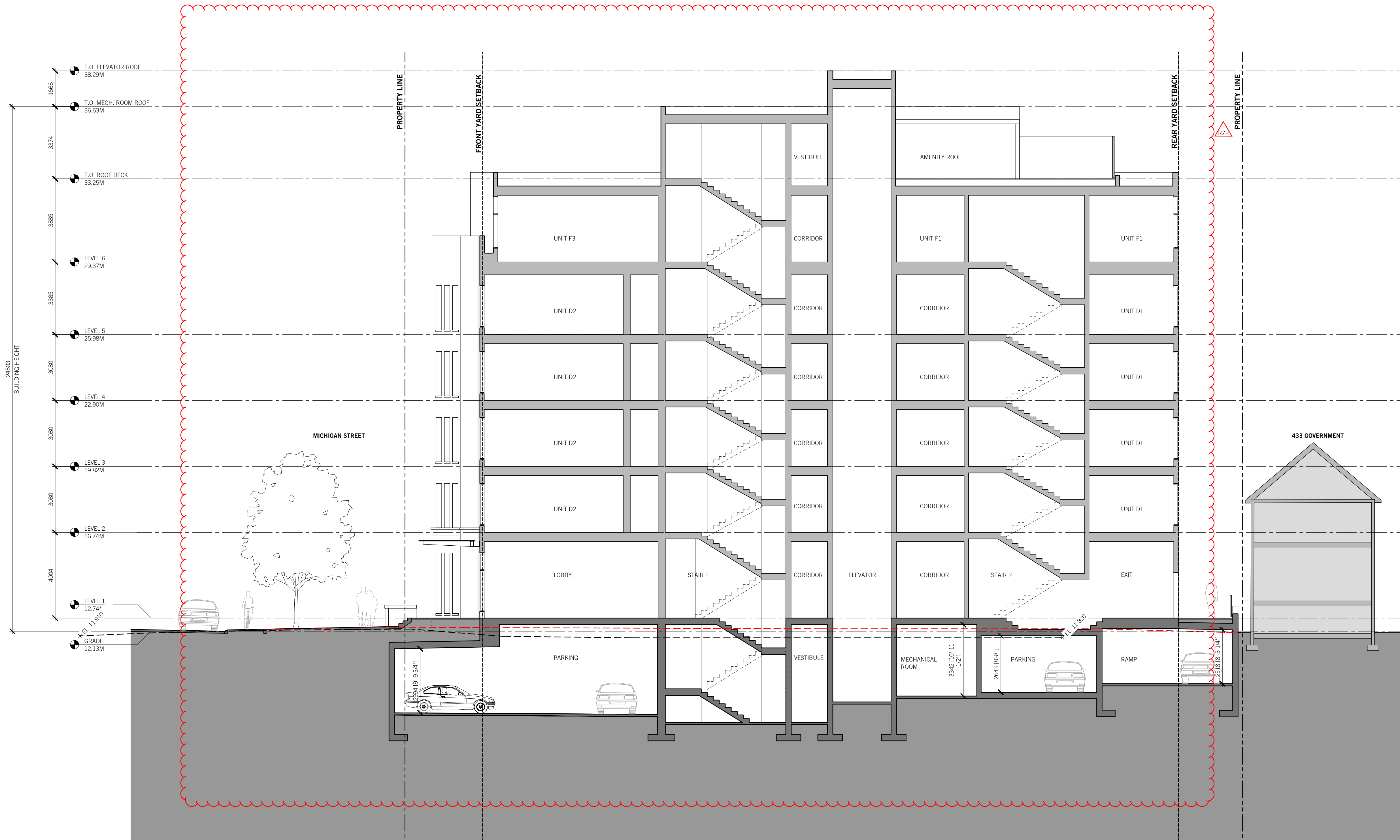
1 WEST ELEVATION (GOVERNMENT ST.)

A301 1:100



2 EAST ELEVATION (YOUNG ST.)

A301 1:100



OWNER / CLIENT



SEAL:



2026-04-17

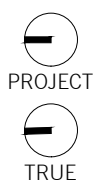
RZ 2026 03 27 RE-ISSUED FOR REZONING
RZ 2025 04 17 ISSUED FOR REZONING
NO. DATE DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A400
SECTIONS



OWNER / CLIENT



SEAL:



2026-04-17

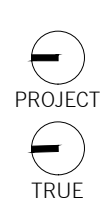
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING
NO.	DATE:	DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332	VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332
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443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A401

SECTIONS