



PROJECT INFORMATION

PROJECT STATS
 ZONE - CURRENT GRD-1
 ZONE - PROPOSED CD
 PROPOSED USE RESIDENTIAL MULTIPLE DWELLING STRATA HOTEL

TOTAL NUMBER OF UNITS 52
 UNIT TYPES 1, 2, & 3 BEDROOMS
 UNITS < 45m2 17
 UNITS ≥ 45m2 & ≤ 70m2 16
 UNITS > 70m2 19
 GROUND-ORIENTED UNITS 8
 MINIMUM UNIT FLOOR AREA (m2) 38.1
 TOTAL RESIDENTIAL FLOOR AREA (m2) 1,266.2
 TOTAL FLOOR AREA (m2) 4,029.6

LOCATION & SITING OF USES AND STRUCTURES
 TRANSIT PRIORITY NETWORK 400m
 PRIORITY GROWTH AREA YES

DENSITY OF DEVELOPMENT	PROPOSED	PERMITTED / REQUIRED
FLOOR SPACE RATIO	3.2	1.6

HEIGHT	PROPOSED	PERMITTED / REQUIRED
HEIGHT OF BUILDING (m)	24.5	20.5
NUMBER OF STOREYS	6	6
PROJECTIONS FROM ROOFTOP STRUCTURES (m)	1.7	3.0

SETBACKS & PROJECTIONS (m)	PROPOSED	PERMITTED / REQUIRED
FRONT LOT LINE (MICHIGAN ST)	3.5	4.0
REAR LOT LINE	3.0	8.0
FLANKING STREET LOT LINE (GOVERNMENT ST)	2.9	4.0
FLANKING STREET LOT LINE (YOUNG ST)	5.7	4.0
PROJECTIONS - BALCONY	1.2	2.0
PROJECTIONS - STEPS	3.0	4.0
PROJECTIONS - EAVES	0.00	0.75
PROJECTIONS - PARKADE - FRONT	3.4	4.0
PROJECTIONS - PARKADE - BACK	6.35	0.75

MOTOR VEHICLE & BICYCLE PARKING	PROPOSED	PERMITTED / REQUIRED
PARKING STALLS ON SITE (INCL. ACCESSIBLE)	26	58, REDUCED TO 0*
0.85 FOR UNITS < 45m2		0.85*17=14.45
1.00 FOR UNITS ≥ 45m2 & ≤ 70m2		1.00*16=16
1.45 FOR UNITS > 70m2		1.45*19=27.55

ACCESSIBLE PARKING STALLS	1	2
VAN ACCESSIBLE STALLS	1	1
VISITOR PARKING STALLS (0.10 PER UNIT)	2	0.10*52=5.2
VISITOR ACCESSIBLE PARKING STALLS	0	N/A
VISITOR VAN ACCESSIBLE STALLS	0	N/A
TOTAL STALLS	28	
ENERGIZED ELECTRIC VEHICLE OUTLETS	28	1 PER STALL

DRIVEWAY SLOPE	15%	15%
PARKING SLOPE	5%	8%
BICYCLE PARKING SPACES - CLASS 1	64	61
1 FOR UNITS < 45m2		1*17=17
1.25 FOR UNITS ≥ 45m2		35*1.25=43.75
PERCENTAGE GROUND MOUNTED SPACES	56	50
BICYCLE PARKING SPACES - CLASS 2	6	6 > 5.2
GREATER OF 0.10 PER UNIT OR 6		

LOT COVERAGE & OPEN SPACE	PROPOSED	PERMITTED / REQUIRED
LOT COVERAGE	58.9% (745.3/1266.2)	55% MAX
OPEN SITE SPACE	41.1% (620.9/1266.2)	30% MIN
LANDSCAPE AREA	0%	10% MIN

LOT DIMENSION & AREA	PROPOSED	PERMITTED / REQUIRED
LOT AREA (m2) MIN	1,266.2	540
STREET FRONTAGE (m) MIN	30.4	36.0

DRAWING LIST

A000	COVER PAGE & PROJECT DATA	A200	LEVEL P1 FLOOR PLAN
A010	SITE SURVEY	A201	LEVEL 1 FLOOR PLAN
A011	CONTEXT PLAN	A202	LEVEL 2-5 FLOOR PLAN
A012	SITE PLAN	A203	LEVEL 6 FLOOR PLAN
A013	EXISTING SITE PLAN	A204	ROOF PLAN
A020	STREET ELEVATIONS	A300	ELEVATIONS
		A301	ELEVATIONS
A030	PROJECT IMAGES	A400	SECTIONS
A031	PROJECT IMAGES	A401	SECTIONS
A032	PROJECT IMAGES		
A040	LOT COVERAGE & OPEN SITE SPACE		



443 GOVERNMENT STREET

PROJECT TEAM

OWNER
 443 GOVERNMENT DEVELOPMENTS LTD.
 301 - 1106 COOK STREET
 VICTORIA, BC V8V 3Z9
 CONTACT: NICHOLAS STANDEVEN
 T. 250.883.5579
 E. standeven@abstractdevelopments.com

ARCHITECTURAL
 URBAN WEST ARCHITECTURE
 102-1688 W 1ST AVE.
 VANCOUVER, BC
 CONTACT: JUSTIN BENNETT
 T. 604.603.1332
 E. justin@uwarchitecture.com

STRUCTURAL
 RJC ENGINEERS
 330-1515 DOUGLAS STREET
 VICTORIA, BC V8Z 6T8
 CONTACT: LEON PLETT
 T. 604.685.9533 (201)
 E. lplet@rjc.ca

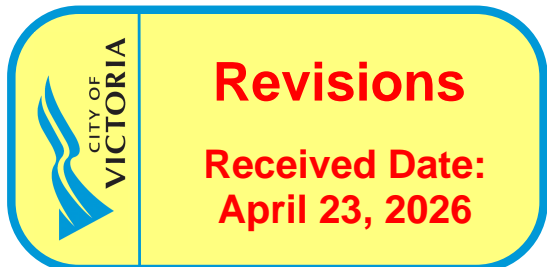
ELECTRICAL
 AES ENGINEERING
 500-3795 CAREY RD
 VICTORIA, BC V8Z 6T8
 CONTACT: JORDAN CLEAR
 T. 250.940.3487
 E. jordan.clear@aesengr.com

CIVIL
 WESTBROOK CONSULTING LTD.
 115-866 GOLDSTREAM AVENUE
 VICTORIA, BC
 CONTACT: BRUCE CRAWSHAW
 T. 250.391.8592 (223)
 E. bcrawshaw@wbrock.ca

LANDSCAPE
 LADR LANDSCAPE ARCHITECTS INC.
 3-864 QUEENS AVENUE
 VICTORIA, BC
 CONTACT: CHRISTOPHER WINDJACK
 T. 250.998.0105
 E. cwindjack@ladra.ca

ARBORIST
 TALMACK URBAN FORESTRY
 BOX 48153 - 3575 DOUGLAS STREET
 VICTORIA, BC V8Z 7H6
 CONTACT: ROBERT MACRAE
 T. 250.479.8733
 E. robbie@talmack.ca

SURVEYOR
 POWELL & ASSOCIATES
 250-2950 DOUGLAS STREET
 VICTORIA, BC
 CONTACT: JAMES WORTON
 T. 250.382.8855
 E. james@powellsurveys.com



OWNER / CLIENT



SEAL:



2026-04-17

RZ 2026 03 27	RE-ISSUED FOR REZONING
RZ 2025 04 17	ISSUED FOR REZONING
NO. DATE:	DESCRIPTION:

UWA
 URBAN WEST ARCHITECTURE

VANCOUVER
 102-1688 WEST 1ST AVE
 VANCOUVER BC V6J 1G1
 T 604 603 1332

VICTORIA
 2822 PRIOR ST
 VICTORIA BC V8T 3Y3
 T 604 603 1332

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF URBAN WEST ARCHITECTURE INC. AND MAY NOT BE REPRODUCED, COPIED OR GRANTED WITHOUT WRITTEN PERMISSION FROM URBAN WEST ARCHITECTURE INC. THIS DRAWING MUST NOT BE SEaled. THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL ERRORS AND OMISSIONS MUST BE REPORTED IMMEDIATELY TO URBAN WEST ARCHITECTURE INC. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS AND SPECIFICATIONS. THESE DRAWINGS ARE NOT VALID FOR CONSTRUCTION UNLESS REVISION DESCRIPTION INDICATES. ISSUED FOR CONSTRUCTION. ALL WORK TO COMPLY WITH MUNICIPAL STANDARDS.

DATE:	2026-04-17	
PROJECT NO.:	2024-004	
ISSUE:	NTS	
SCALE:	BC	
DRAWN BY:	JB	TRUE
CHECKED BY:		

443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A000

COVER PAGE & PROJECT DATA

BC LAND SURVEYORS SITE PLAN OF:

**Civic: 441,443 Government street
and 605/607 Michigan Street**

Legal Strata Lots A and B of Lots 1766 and 1767,
Victoria City, Strata Plan 3168 and Lot 2 of Lots
1766 and 1767 Victoria City Plan 27744

Parcel Identifier: 002-182-882
Parcel Identifier: 018-700-217
Parcel Identifier: 018-700-225
in the City of Victoria

LEGEND

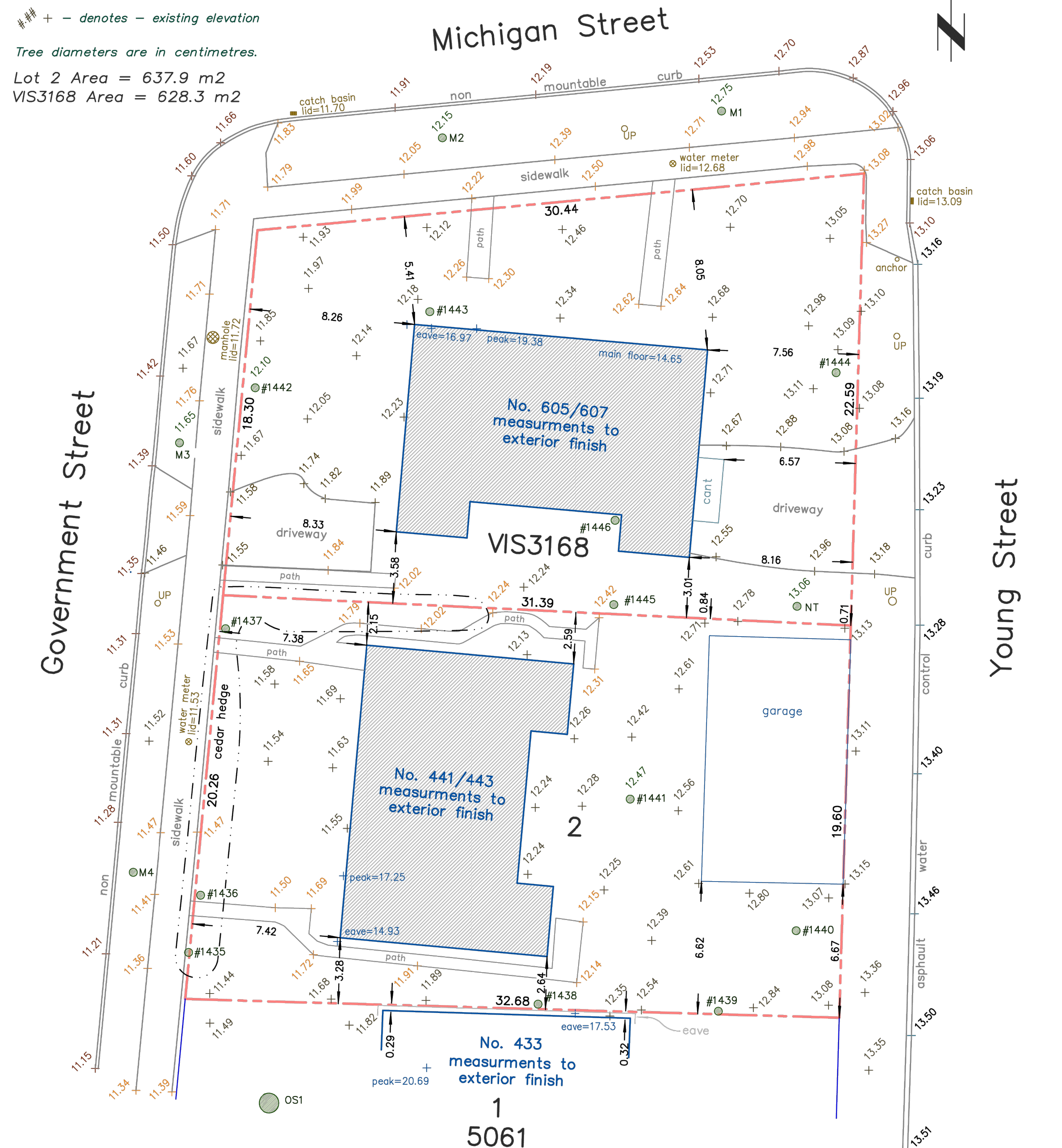
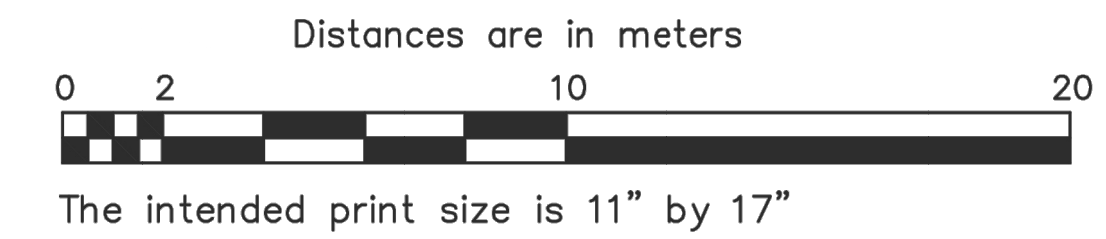
Elevations are geodetic and referenced
to the CVD28BC datum.

+ - denotes - existing elevation

Tree diameters are in centimetres.

Lot 2 Area = 637.9 m2

VIS3168 Area = 628.3 m2



Date	November 26, 2024
File	14271-8
V.I. POWELL & ASSOCIATES BC Land Surveying 250-2950 Douglas Street Victoria, BC V8T 4N4 phone (250) 382-8855	

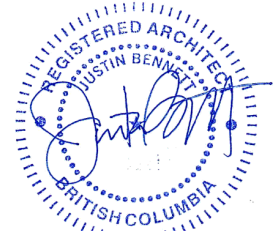
The following non-financial charges are shown on the current title and may affect the property.
92162G - Easement
Setbacks are derived from field survey.
Parcel dimensions shown hereon are derived from Land Title Office records.

Property Lines and setbacks shown may vary upon completion of a lot reposting and preparation of a legal survey plan. used to define property boundaries. This document shows the relative location of the surveyed features and shall not be

OWNER / CLIENT



SEAL:



2026-04-17

R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING
NO. DATE:	DESCRIPTION:	

UWA
URBAN WEST ARCHITECTURE

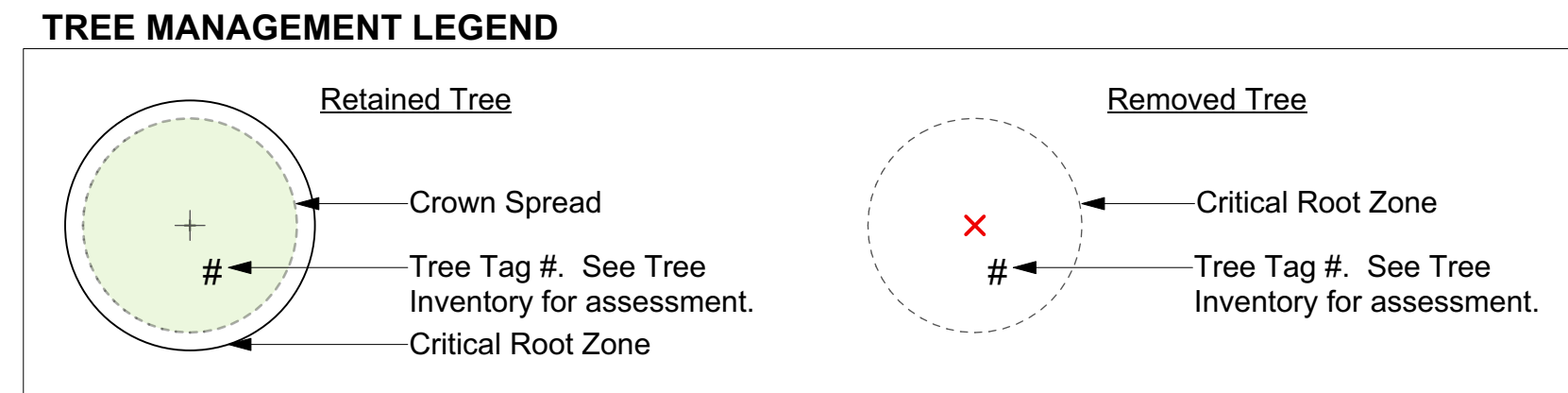
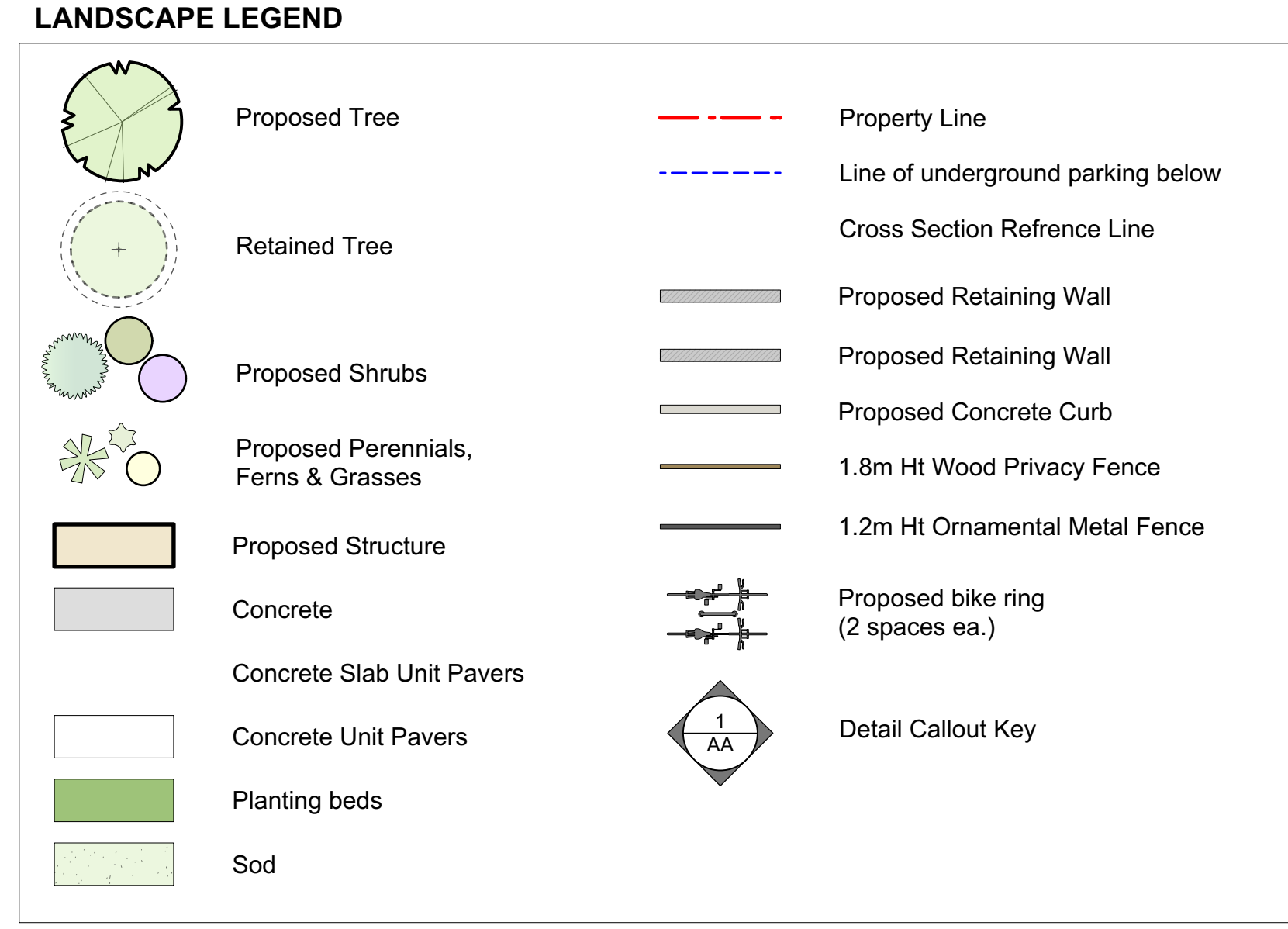
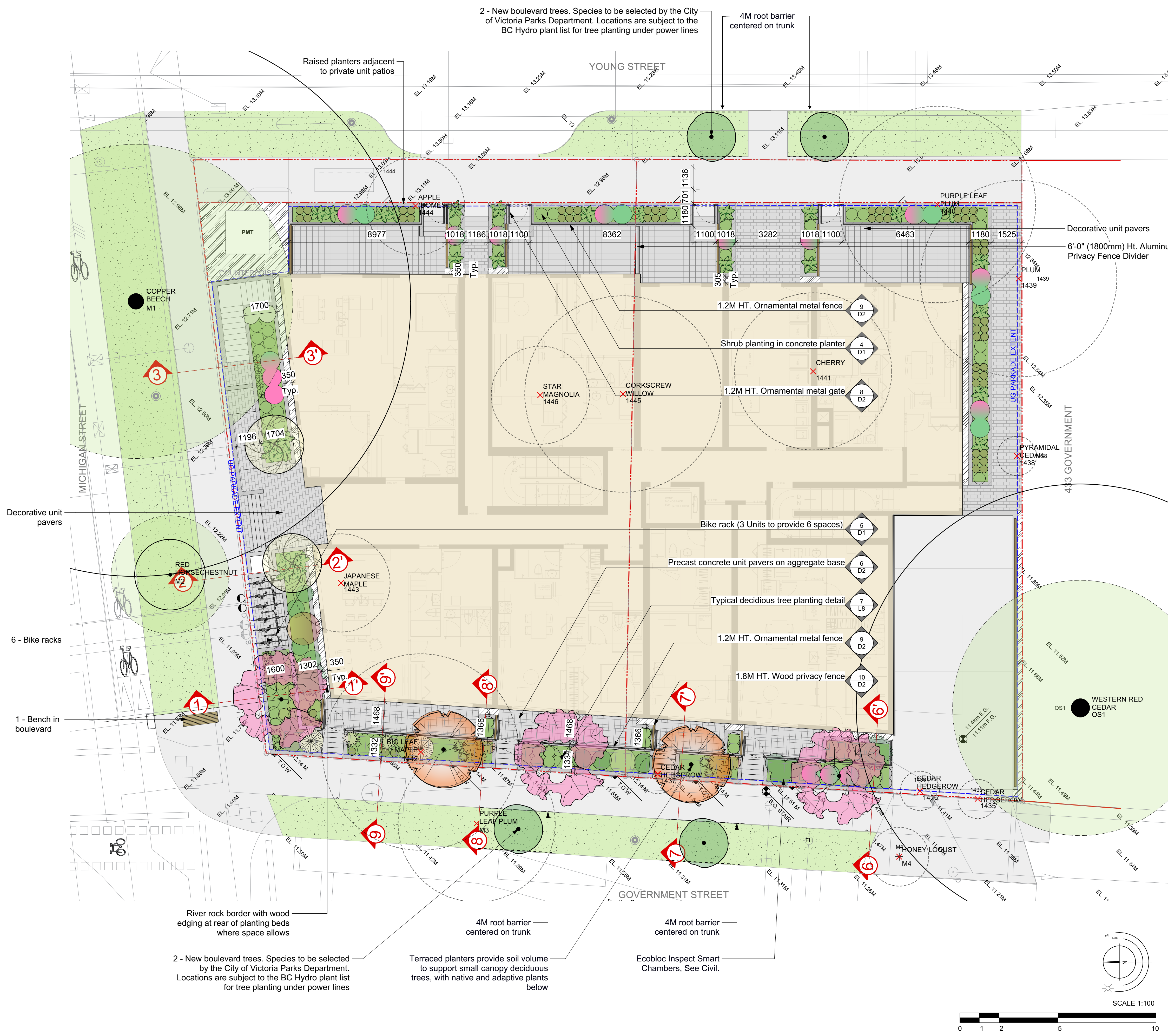
VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE:	2026-04-17	PROJECT TRUE
PROJECT NO.:	2024-004	
ISSUE:	1:200	
SCALE:	BC	
DRAWN BY:	JB	CHECKED BY:

443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC
A010
SITE SURVEY



RECOMMENDED PLANT SPECIES LIST

Trees	Botanical Name	Common Name	Size
Total: 7 Onsite	PN Amelanchier alnifolia	Saskatoon Serviceberry	4cm cal.
	PN Cornus kousa 'Satomi'	Red flowering Kousa Dogwood	5cm cal
	Parrotia persica	Persian Ironwood	6cm cal.
	(4) Boulevard trees - Species selected by City of Victoria Parks Dept		
Large Shrubs	Botanical Name	Common Name	Size
Total: 18	N Cornus sericea 'Flaviramea'	Yellowtwig Dogwood	#3 pot
	PN Holodiscus discolor	Oceanspray	#5 pot
	FBPN Mahonia aquifolium	Tall Oregon Grape	#5 pot
	PN Ribes sanguineum	Red Flowering Currant	#5 pot
	FBPN Rosa gymnocarpa	Baldhip Rose	#3 pot
	P Rosemarinus officinalis 'Blue Spire'	Blue Spire Rosemary	#5 pot
Medium Shrubs	Botanical Name	Common Name	Size
Total: 20	PN Cornus sanguinea 'Midwinter Fire'	Red Twig Dogwood	#5 pot
	FBPN Rosa gymnocarpa	Baldhip Rose	#3 pot
	N Symphoricarpos albus	Snowberry	#3 pot
Small Shrubs	Botanical Name	Common Name	Size
Total: 66	PN Cornus sericea 'Kelsey'	Dwarf Red Osier Dogwood	#3 pot
	FBPN Gaultheria shallon	Salal	#1 pot
	FBPN Mahonia nervosa	Low Oregon Grape	#1 pot
Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 73	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	FBPN Camassia quamash	Common Camas	#1 pot
	P Perovskia atriplicifolia	Russian Sage	#1 pot
	N Polystichum munitum	Sword Fern	#1 pot
	P Salvia officinalis	Common Sage	#1 pot
	P Stipa tenuissima	Mexican Feather Grass	#1 pot
Groundcovers	Botanical Name	Common Name	Size
Total: 67	PN Arctostaphylos uva ursi 'Vancouver Jade'	Vancouver Jade Kinnickinnick	#1 pot
	FBPN Fragaria chiloensis	Coastal Strawberry	#1 pot

STREET TREE PLANTING NOTES
 Street trees must have one dominant central leader or single straight trunk, 6-8cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.

Required Parks inspections for street tree planting:
 1. Inspection of soil and planting area prior to planting.
 2. Inspection of tree stock prior to planting.
 3. Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.

Please contact Ross Wilkinson - rwilkinson@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

GRASS BOULEVARD PLANTING NOTES
 Required Parks inspections for seed and sod boulevard:
 1. Inspection of excavated and scarified subgrade prior to backfill.
 2. Inspection of installed, rolled and prepared growing media prior to sodding.
 3. Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.

Please contact Tom Sherbo, tsherbo@victoria.ca and also copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection.

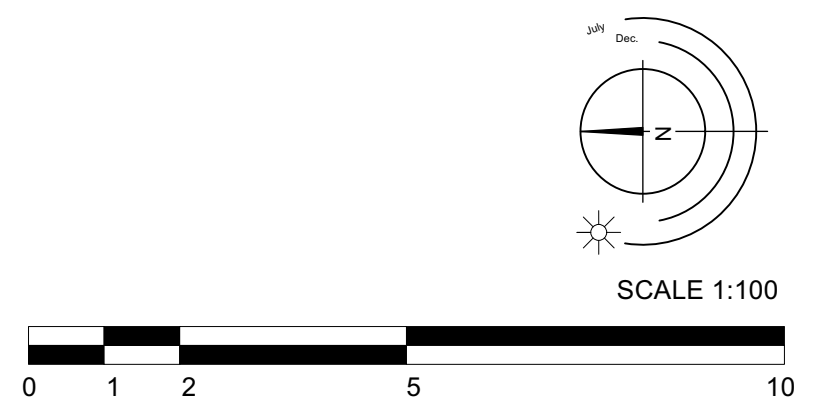
SOIL TESTING & GROWING MEDIUM NOTES
 A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.

SCHEDULES B3-4 AND C NOTES
 The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Notes:
 1. All work to be completed to current Canadian Landscape Standard
 2. All soft landscape to be irrigated with an automatic irrigation system

FB - Denotes a Food-bearing Species
 P - Denotes a Pollinator Supporting Species - 88.8% (223 of 251)
 N - Denotes a BC Native Species

IRRIGATION NOTES
 A) All irrigation work, including required inspections, shall follow the Supplementary Specifications for Street Trees and Irrigation, Schedule C, to the Victoria Subdivision and Development Servicing Bylaw 12-042, and comply with the Irrigation Industry Association of BC standards.
 B) Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.
 C) Contact Parks at tsherbo@victoria.ca or 250-361-0600 with at least 48 hours (2 business days) notice to arrange for irrigation inspections.
 D) Required Parks inspections for irrigation:
 1. Irrigation sleeving prior to backfilling.
 2. Open trench mainline and lateral lines.
 3. Pressure test.
 4. Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly (incl. inspection tag and testing report).



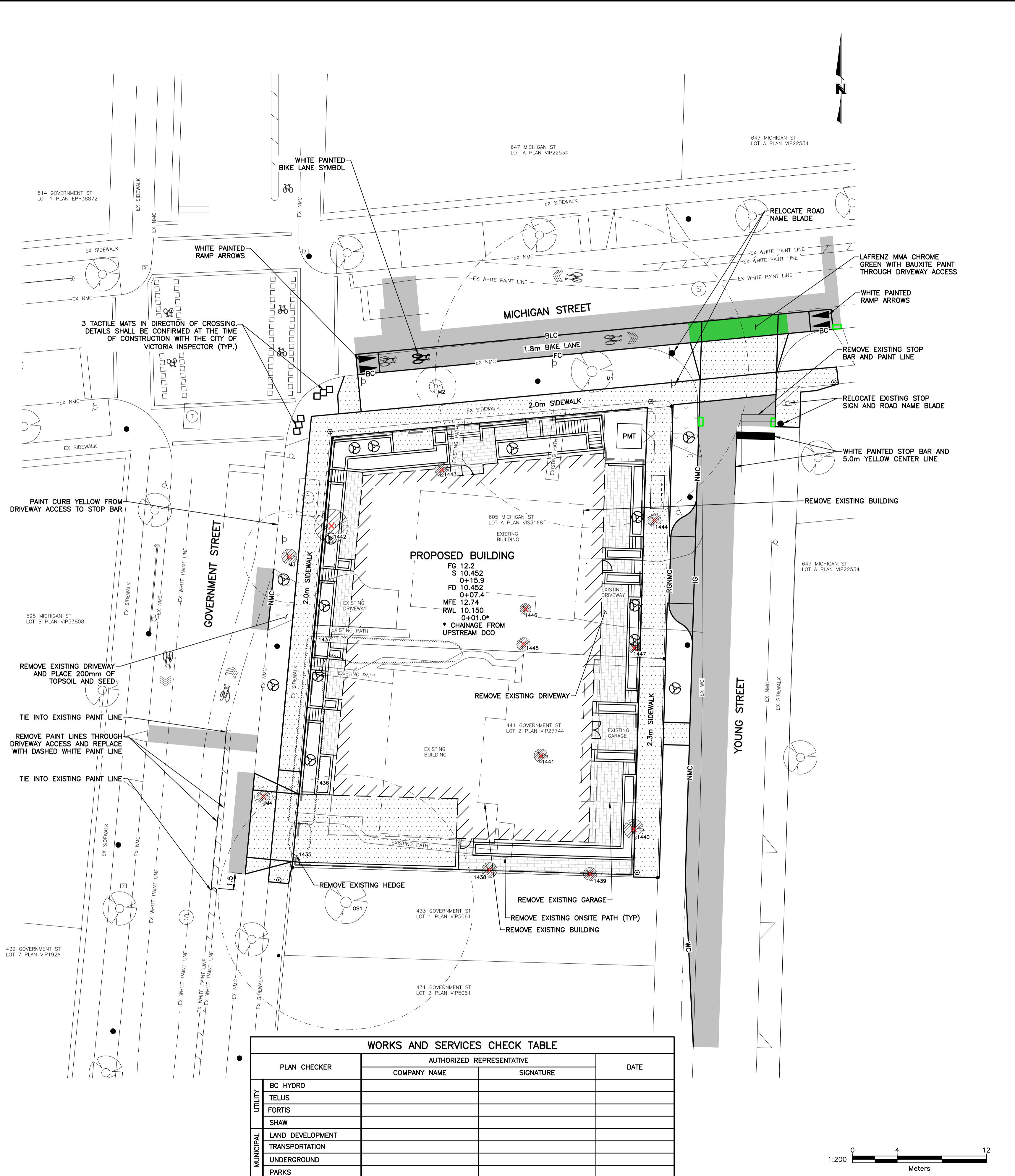
Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L1/8

443 Government Street | Landscape Concept Plan



Project No: 2415 NOV-15-24 #3-864 Queens Ave. Victoria B.C. V8T 1M5 Phone: (250) 598-0105 Fax: (250) 412-0696



- GENERAL NOTES**
- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS 'B' BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG GOVERNMENT, MICHIGAN STREET, AND YOUNG STREET DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRAPES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
 - DRIVEWAY SHALL BE TYPE 'B' PER SCHEDULE B BYLAW 91-38; AND AS PER DRAWING SD-C7b.
 - PRE-CONSTRUCTION MEETING REQUIRED PRIOR TO OFFSITE WORKS AND A SEPARATE PRE-CONSTRUCTION MEETING REQUIRED WITH BC HYDRO, TELUS AND SHAW PRIOR TO THE START OF THEIR WORKS. IN ATTENDANCE, CIVIL CONTRACTOR, CIVIL CONSULTANT, UTILITIES CONSULTANTS, CITY ENGINEERING AND PARKS REPRESENTATIVES AT A MINIMUM.

- SEWER AND DRAIN**
- SEWER AND DRAIN SERVICE CONNECTIONS SHALL BE 150# PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASINS, LEADS SHALL BE 150# PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER SHALL BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE SHALL BE C.S.A. APPROVED PVC.
 - THE CITY OF VICTORIA SHALL UPGRADE EXISTING SEWER AND DRAIN CONNECTIONS TO 150# TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
 - VIDEO INSPECT ALL INSTALLED SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
 - THE CITY OF VICTORIA SHALL INSTALL 150# DRAIN CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CAP AND ABANDON THE EXISTING SEWER AND DRAIN SERVICES.

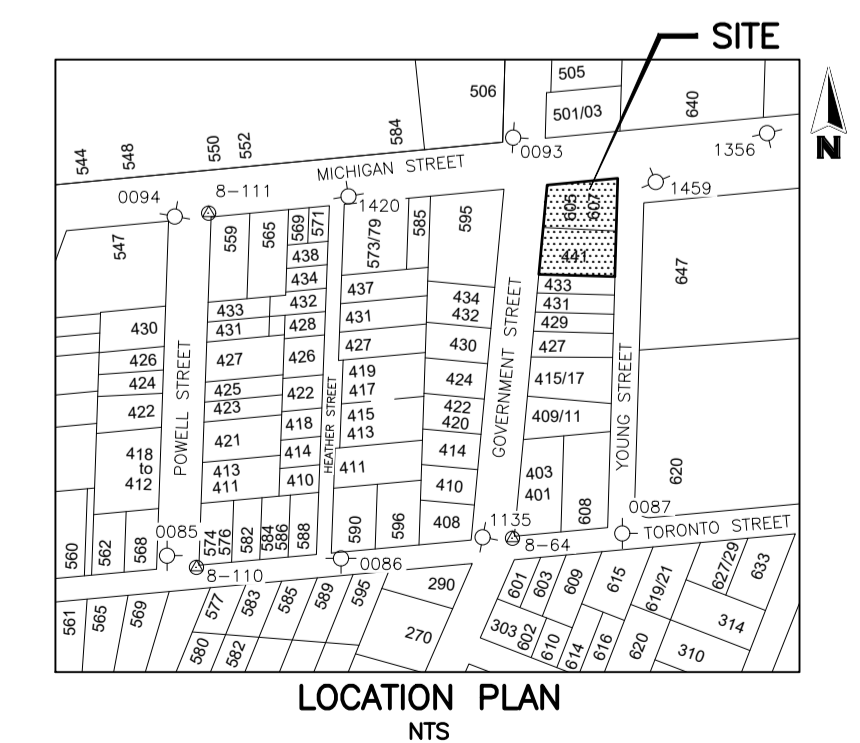
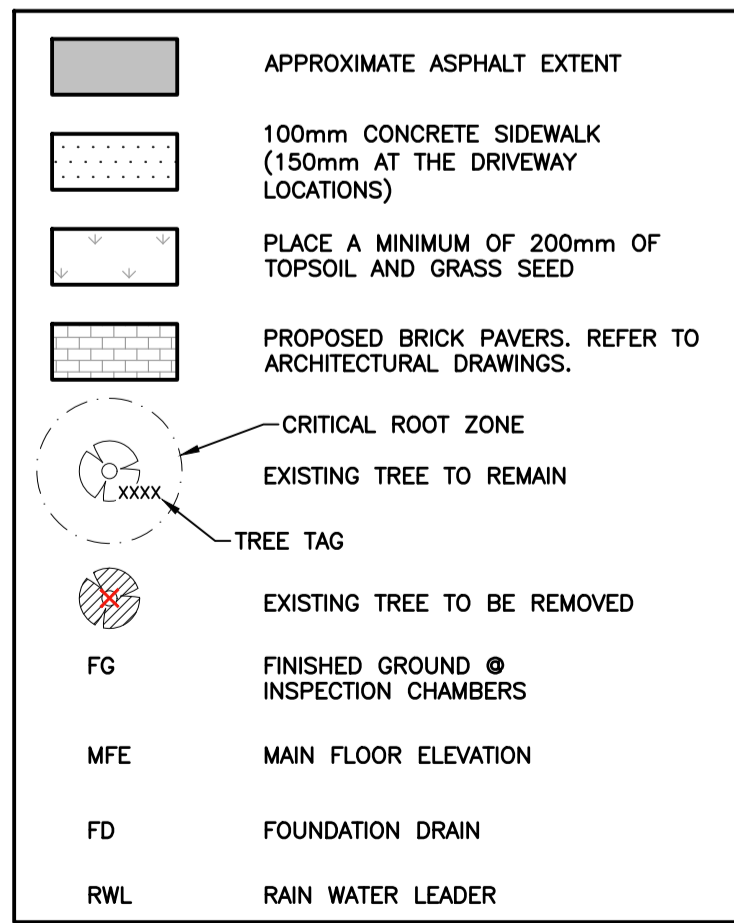
- WATER**
- WATER MAIN PIPE SHALL BE PVC DR18 AWWA STANDARD C900 FOR ALL WATER MAINS 100mm TO 350mm DIAMETER AND PVC SERIES 200 FOR ALL WATER MAINS LESS THAN 100mm DIAMETER. PROVIDE 1.0m MINIMUM COVER.
 - CONTRACTOR SHALL TEST, FLUSH AND CONNECT THE WATER MAINS UNDER THE DIRECTION OF THE ENGINEER. CHLORINATION AND DISINFECTION TO AWWA C651.
 - CONTRACTOR SHALL ENSURE CHLORINE SOLUTIONS ARE NEUTRALIZED IN ACCORDANCE WITH THE MINISTRY OF ENVIRONMENT AND DEPARTMENT OF FISHERIES AND OCEANS CANADA REGULATIONS PRIOR TO DISCHARGING TO ANY DRAINAGE COURSE.
 - CAP THE EXISTING SERVICES AND REPLACE THE WATER METER.
 - THE CITY OF VICTORIA SHALL UPGRADE EXISTING WATER SERVICE TO 150mm FIRE CONNECTION AND 100mm DOMESTIC WATER CONNECTION c/w 50mm METER AS PER CITY OF VICTORIA STANDARD DWG "SD W2F REVISED 20151202" TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL FIRE HYDRANT ASSEMBLY AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL 50mm IRRIGATION SERVICE c/w 50mm METER AND 50mm WATTS DOUBLE CHECK VALVE ASSEMBLY AT THE DEVELOPER'S EXPENSE.

- ROAD**
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND AS SHOWN ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR SHALL ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
 - ALL EXISTING PAVEMENT MARKINGS IMPACTED BY CONSTRUCTION WORKS ARE TO BE REINSTATED.
 - RESTORE PAINT MARKINGS IF DAMAGED.

- PARKS**
- OBTAIN A PARKS PERMIT FROM THE CITY OF VICTORIA PARKS DEPARTMENT PRIOR TO THE START OF ANY CONSTRUCTION.
 - VICTORIA PARKS TO BE INVITED TO THE PRE-CONSTRUCTION MEETINGS WITH VICTORIA ENGINEERING.
 - PROTECT ALL TREES EXCEPT THOSE SHALL BE REMOVED FROM DAMAGE DURING CONSTRUCTION.
 - HAND DIG WHERE ROOTS OVER 50mm ARE ENCOUNTERED.
 - OBTAIN PERMISSION FROM THE ENGINEER, DEVELOPER AND THE CITY OF VICTORIA PRIOR TO REMOVAL OF ANY TREES ON PRIVATE OR PUBLIC PROPERTY. A COPY OF THE TREE PERMIT SHALL BE PRESENTED TO THE CITY OF VICTORIA WORKS INSPECTOR PRIOR TO THE START OF ANY CONSTRUCTION.
 - THE PROJECT ARBORIST (TALMACK URBAN FORESTRY CONSULTANTS - 250-479-8733) SHALL BE RESPONSIBLE FOR SUPERVISING THE INSTALLATION OF BARRIER FENCING AT APPROPRIATE LOCATIONS.
 - THE ARBORIST SHALL DIRECT THE REMOVAL OF TREES WITHIN THE SEWER AND DRAIN EASEMENTS AND RIGHT OF WAYS AND SHALL PRUNE ROOTS ENCOUNTERED DURING TRENCHING TO ENSURE THE PRESERVATION OF THE OAK TREES.
 - THE ARBORIST SHALL DETERMINE THE SENSITIVE ROOT ZONES AREAS AND BE ONSITE TO SUPERVISE TRENCHING AND ROAD CONSTRUCTION.
 - IRRIGATION SHOWN SCHEMATICALLY.
 - IRRIGATION INSPECTIONS REQUIRED FOR SLEEVING PRIOR TO BACKFILL, OPEN TRENCH FOR MAINLINE AND LATERALS, PRESSURE TESTS, AS WELL AS TESTING FOR IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST. SUBMIT BACKFLOW TEST REPORT BY CRD CERTIFIED BACKFLOW INSPECTOR. CALL PARKS AT 250-361-0600 OR EMAIL T.SHERB@VICTORIA.CA AT LEAST 2 WORKING DAYS IN ADVANCE TO ARRANGE FOR IRRIGATION INSPECTIONS.
 - ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
 - IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
 - IRRIGATION AS-BUILT DRAWING SUBMITTALS (.DWG AND .PDF FILES), COVERAGE ADJUSTMENTS AND DEFICIENCIES CORRECTED PRIOR TO ACCEPTANCE.
 - IRRIGATION SLEEVES SHALL BE 100# SCHD 40 PVC AT MINIMUM 450mm DEPTH OF COVER.
 - THE CITY OF VICTORIA FORCES SHALL INSTALL 25mm IRRIGATION SERVICE c/w WATER METER AT DEVELOPER'S EXPENSE.
 - BENCHES SHALL BE - MAGLUM 800 SERIES MBE-0870-00025

- HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS**
- CONTACT "B.C. ONE CALL" AT 1-800-474-6886 A MINIMUM OF THREE WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - JUNCTION BOXES TO BE DFW DFW37C4-18-4DP (21x15x18h) INTERCONNECTED BY 2 x 53 RPVC CONDUITS.
 - EMPTY RPVC CONDUITS ARE TO BE INSTALLED WITH PULL STRINGS AND CAPS AT BOTH ENDS.
 - FORTIS BC SHALL CAP AND ABANDON EXISTING GAS SERVICES AT THE DEVELOPER'S EXPENSE.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTIS BC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL.

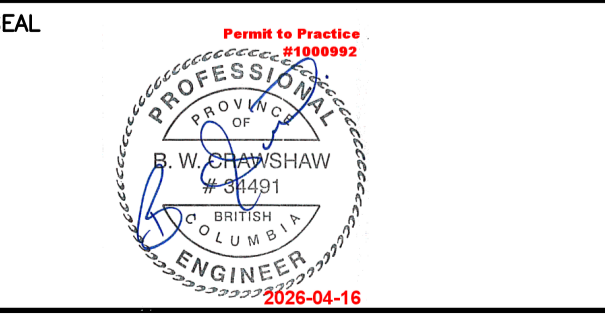
PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
BC HYDRO			
TELUS			
FORTIS			
SHAW			
LAND DEVELOPMENT			
TRANSPORTATION			
UNDERGROUND			
PARKS			



ISLAND HEALTH PERMIT # W-S-_____

LEGEND - PROPOSED SERVICES SHOWN BOLD

WATER	EDGE PAVE.	GAS	MANHOLE	METER	LOT PIN
SEWER	NON-MTLE CURB	UNDERGROUND UTL.	CLEANOUT	REDUCER	LEAD PLUG
DRAIN	MOUNTABLE CURB	COBRA/DAVIT LIGHT	VENT	HYDRANT	ASPHALT
DITCH/SWALE	FLAT CURB	ORNAMENTAL STREETLIGHT	CATCHBASIN	BUSHLINE	CONCRETE
CULVERT	BARRIER CURB	POWER POLE	ROAD SIGN	TREE	GRAVEL
HEADWALL	INVERT GUTTER	ANCHOR	VALVE	MONUMENT	BRICK



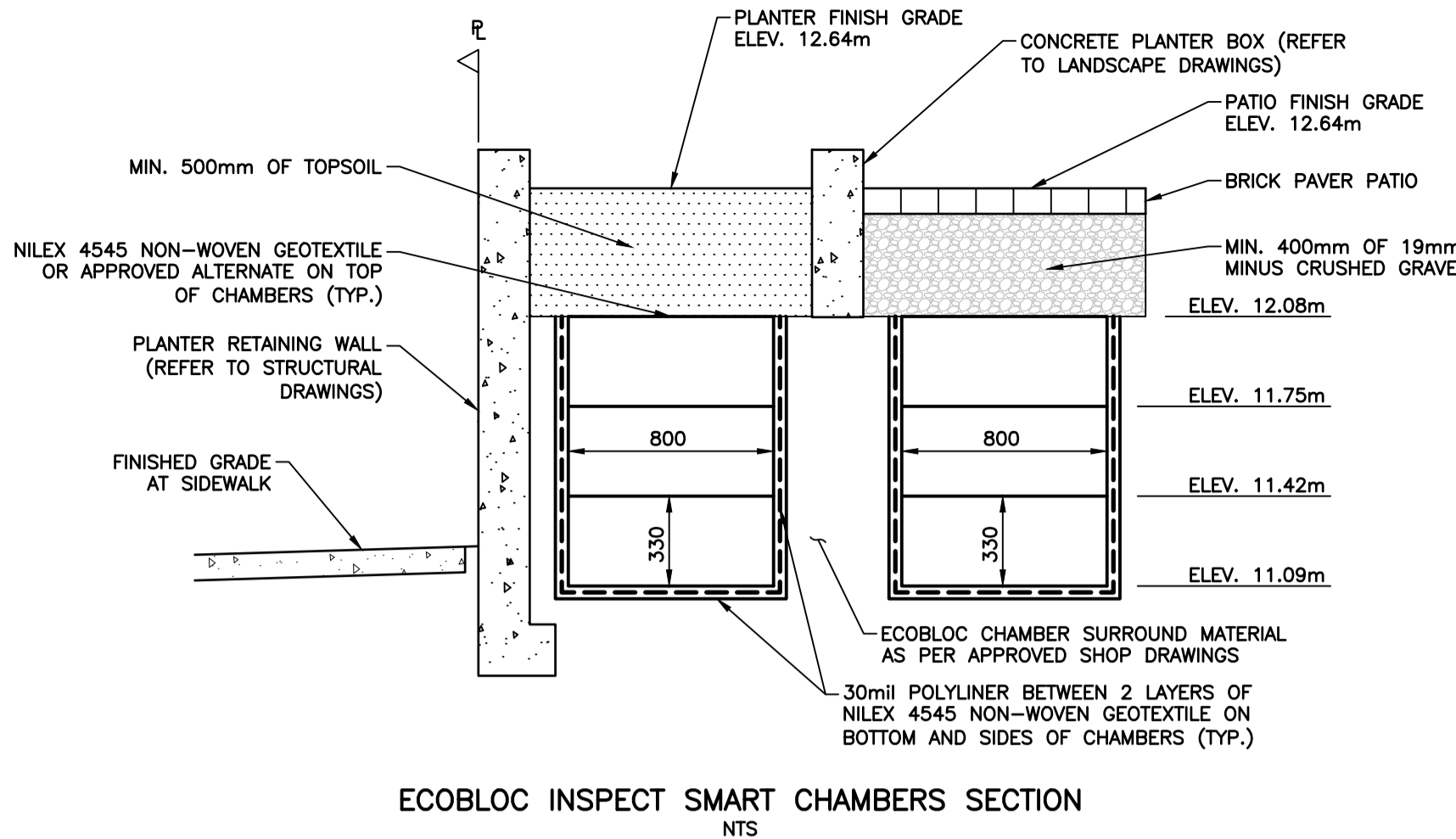
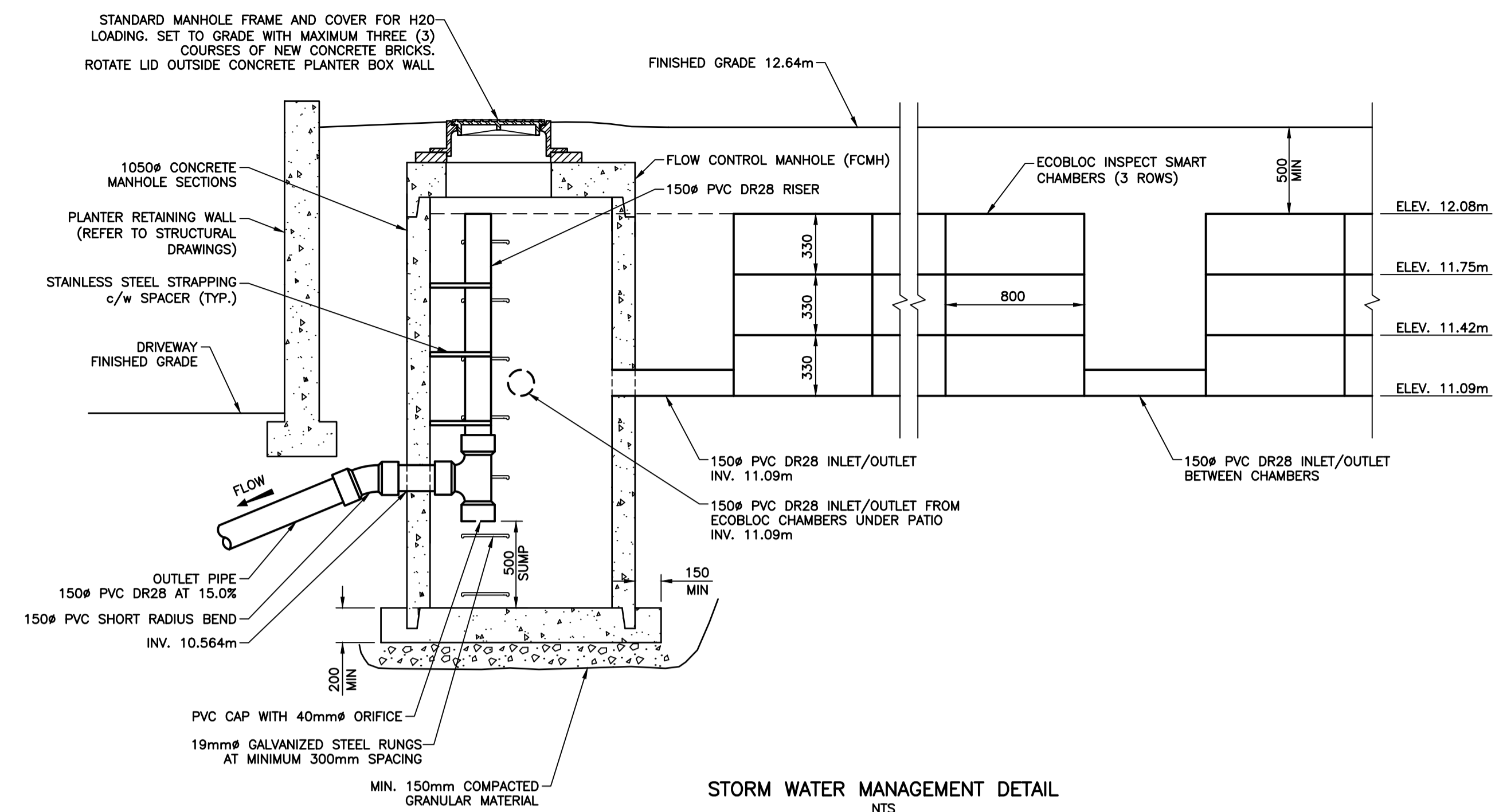
REVISIONS

No.	DESCRIPTION	YMMDD	SIGN
4	REISSUED FOR DEVELOPMENT PERMIT	260415	JR
3	ISSUED FOR DEVELOPMENT PERMIT	260327	JR
2	REVISED PER ARCHITECTURAL AND CoV CONCEPT	251113	JR
1	ISSUED FOR DEVELOPMENT PERMIT	241219	YF

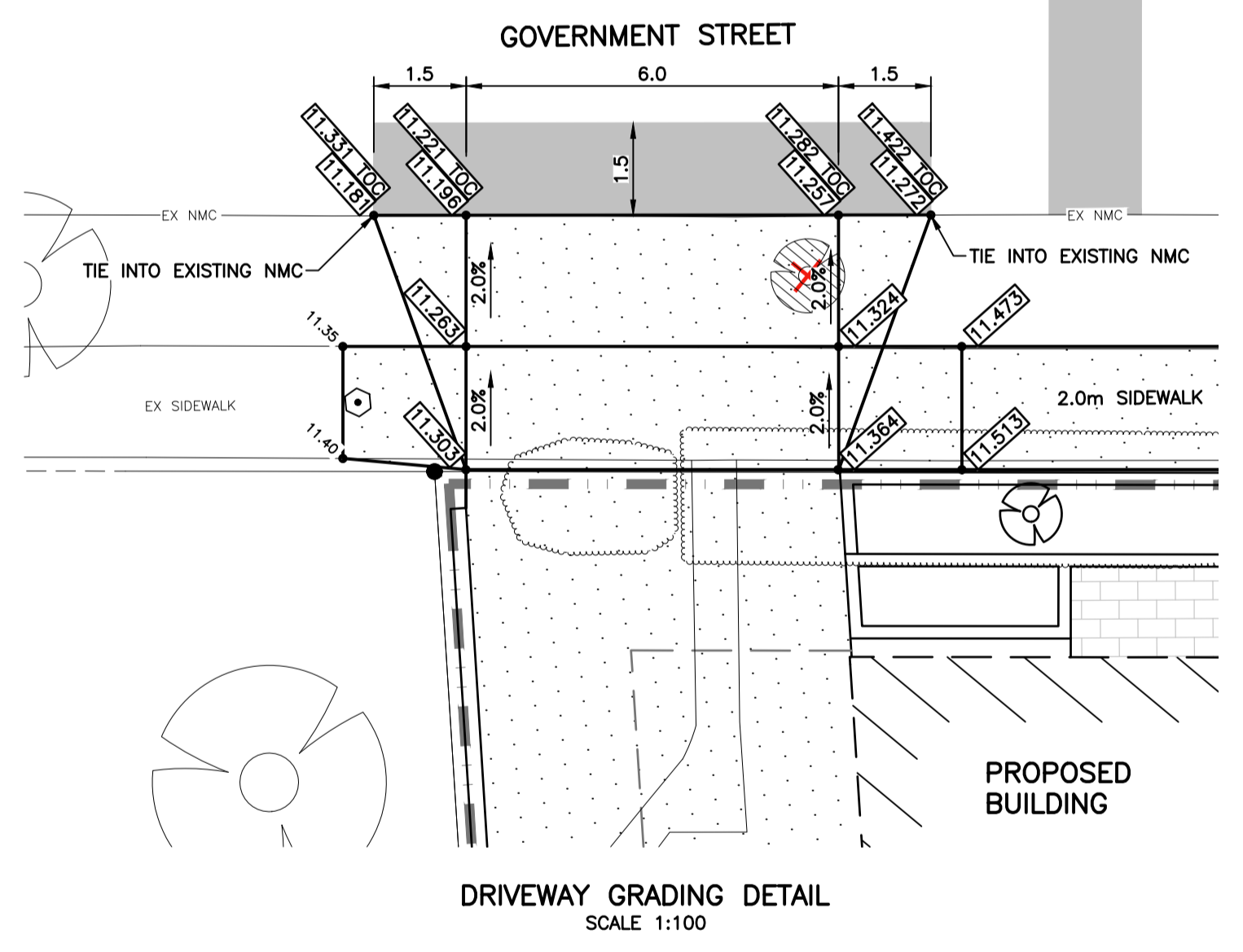
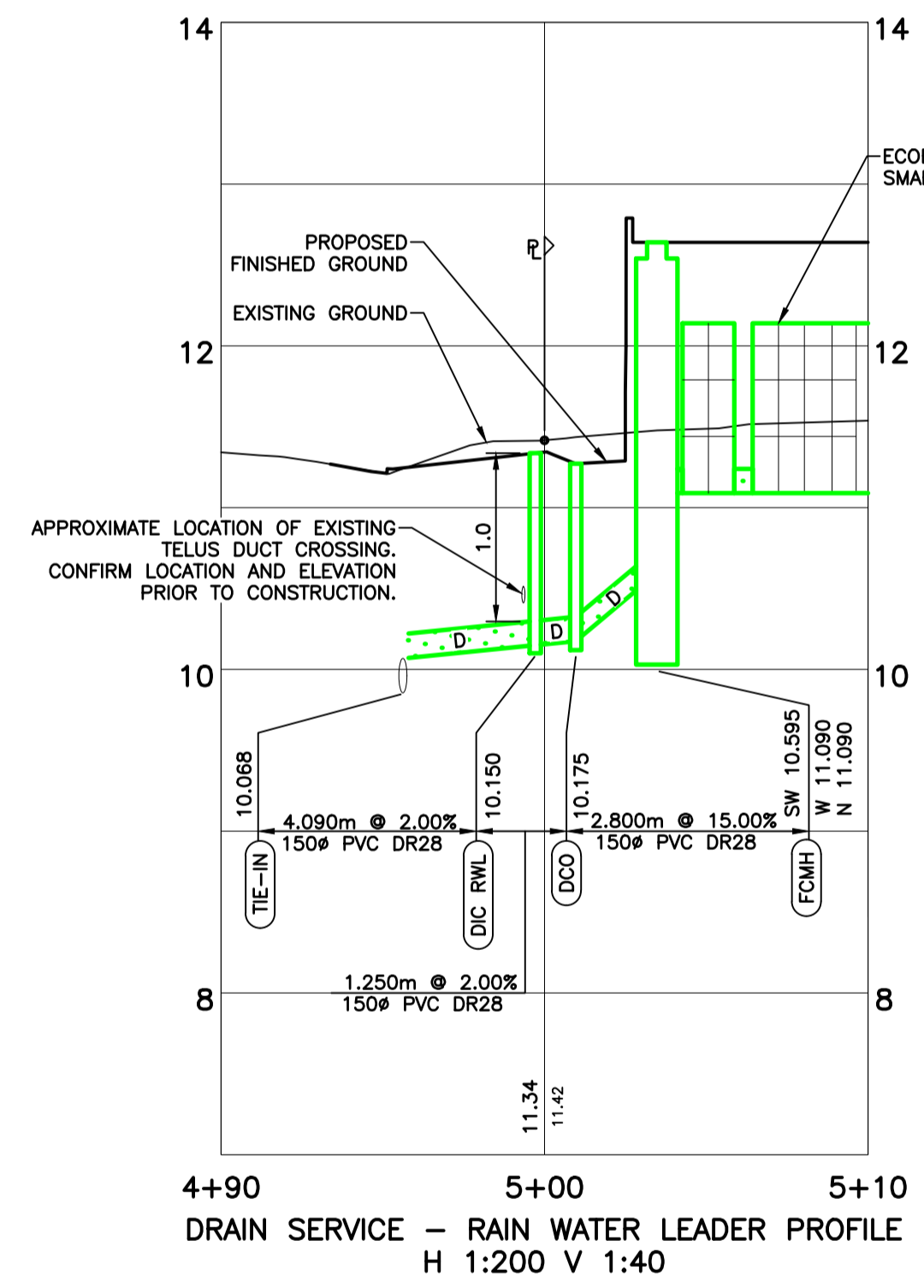
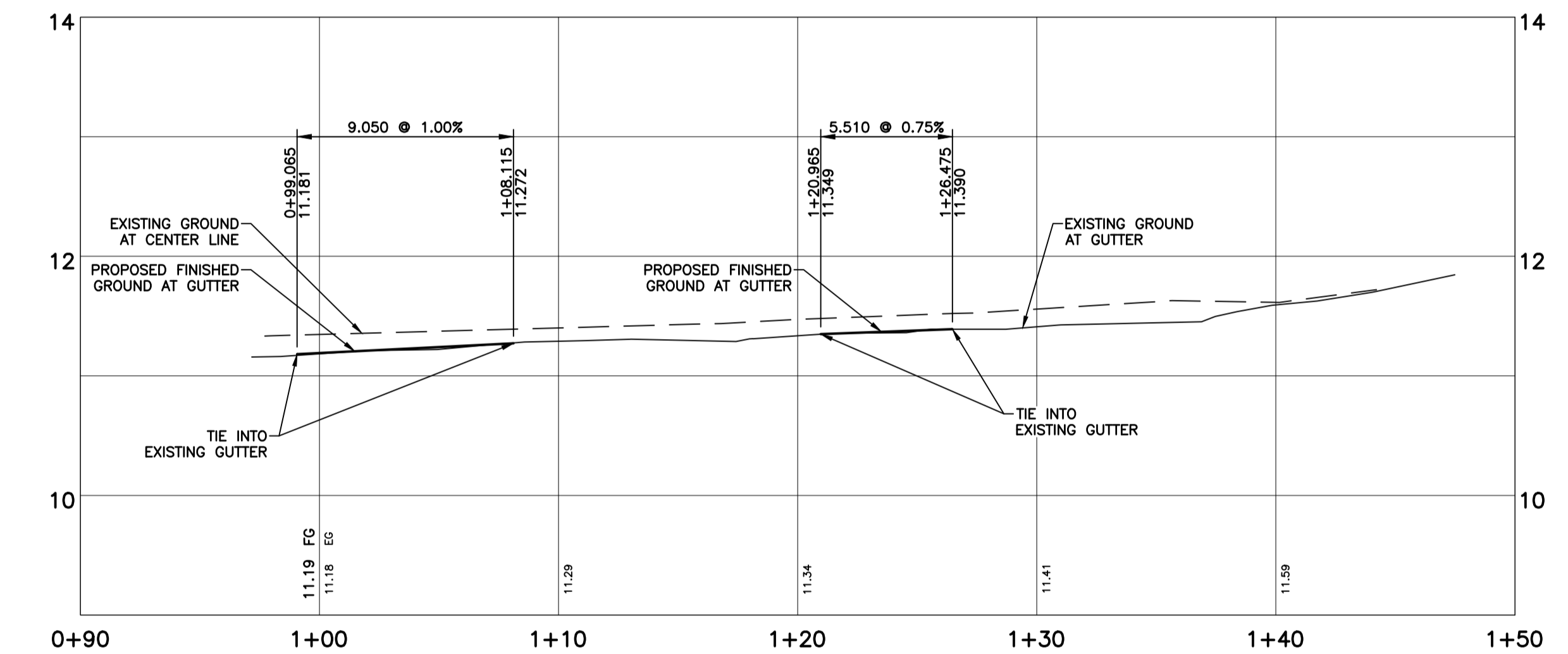
WESTBROOK Consulting Ltd.
 #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
 Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
 443 GOVERNMENT ST
 443 GOVERNMENT DEV. LTD.
 SITE PLAN, SECTIONS AND LOCATION PLAN

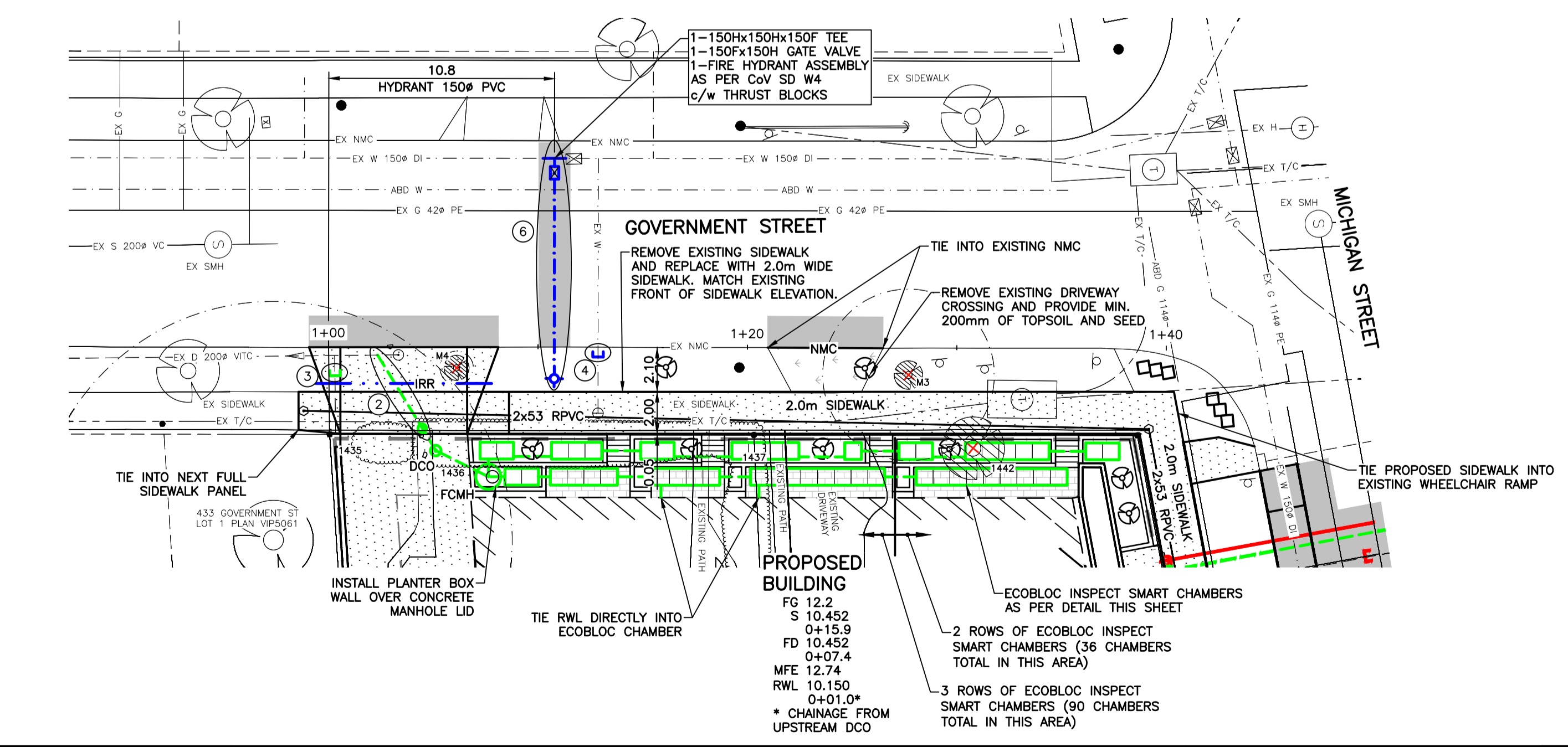
WESTBROOK PROJECT No.
 4006
GOVERNING AUTHORITY FILE No.
 SHEET 1 OF 4 REV. 4
WESTBROOK DRAWING No.
 400601



	APPROXIMATE ASPHALT EXTENT
	100mm CONCRETE SIDEWALK (150mm AT THE DRIVEWAY LOCATIONS)
	PLACE A MINIMUM OF 200mm OF TOPSOIL AND GRASS SEED
	PROPOSED BRICK PAVERS. REFER TO ARCHITECTURAL DRAWINGS.
	CRITICAL ROOT ZONE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	FG FINISHED GROUND @ INSPECTION CHAMBERS
	MFE MAIN FLOOR ELEVATION
	FD FOUNDATION DRAIN
	RWL RAIN WATER LEADER
	• XX.XXX PROPOSED ELEVATION
	• XX.XXX TOC PROPOSED ELEVATION @ TOP OF CURB



- NOTES
- THE CITY OF VICTORIA SHALL UPGRADE EXISTING SEWER AND DRAIN CONNECTIONS TO 150mm TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL 150mm DRAIN CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - CAP AND ABANDON THE EXISTING SEWER AND DRAIN SERVICES.
 - CAP EXISTING WATER SERVICES AND REMOVE THE WATER METER.
 - THE CITY OF VICTORIA SHALL UPGRADE EXISTING WATER SERVICE TO 150mm FIRE CONNECTION AND 100mm DOMESTIC WATER CONNECTION c/w 50mm METER AS PER CITY OF VICTORIA STANDARD DWG "SD W21 REVISED 20151202" TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL FIRE HYDRANT ASSEMBLY AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL INSTALL A 50mm IRRIGATION SERVICE c/w 50mm METER AND 50mm WATTS DOUBLE CHECK VALVE ASSEMBLY AT THE DEVELOPER'S EXPENSE.
 - FORTIS BC SHALL CAP AND ABANDON EXISTING GAS SERVICES AT THE DEVELOPER'S EXPENSE.



LEGEND - PROPOSED SERVICES SHOWN BOLD			
WATER	W	EDGE PAVE.	—
SEWER	S	NON-MTBLE CURB	MC
DRAIN	D	MOUNTABLE CURB	MC
DITCH/SWALE	—	FLAT CURB	FC
CULVERT	—	BARRIER CURB	BC
HEADWALL	—	INVERT GUTTER	IG
GAS	G	UNDERGROUND UTL.	H/T/C
ROAD SIGN	—	ASPHALT	—
CONCRETE	—	CONCRETE	—
GRAVEL	—	GRAVEL	—
BRICK	—	BRICK	—
TREE	—	TREE	—
HYDRANT	—	MANHOLE	—
VALVE	—	CLEANOUT	—
METER	—	CATCHBASIN	—
REDUCER	—	MONUMENT	—
FLUSH	—	LOT PIN	—
BUSHLINE	—	LEAD PLUG	—

REVISIONS			
No.	DESCRIPTION	YMMDD	SIGN
4	REISSUED FOR DEVELOPMENT PERMIT	260415	JR
3	ISSUED FOR DEVELOPMENT PERMIT	260327	JR
2	REVISED PER ARCHITECTURAL AND CoV CONCEPT	251113	JR
1	ISSUED FOR DEVELOPMENT PERMIT	241219	IY

DESIGNED BC
DRAWN IY
CHECKED

WESTBROOK Consulting Ltd.

#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT

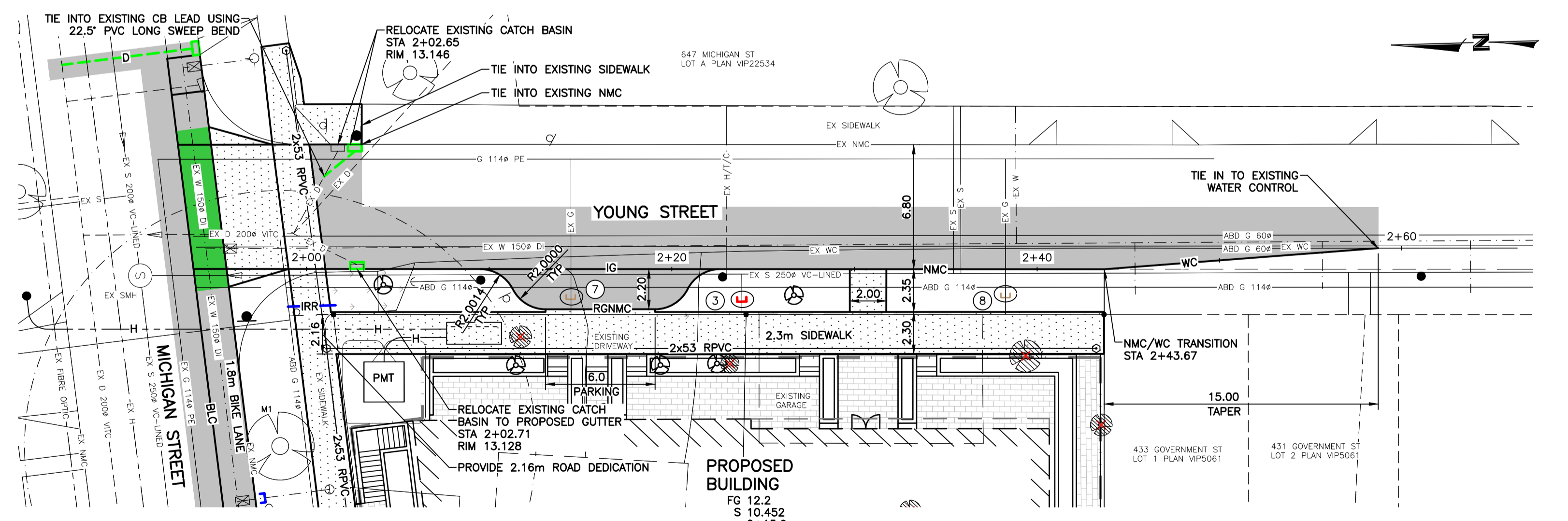
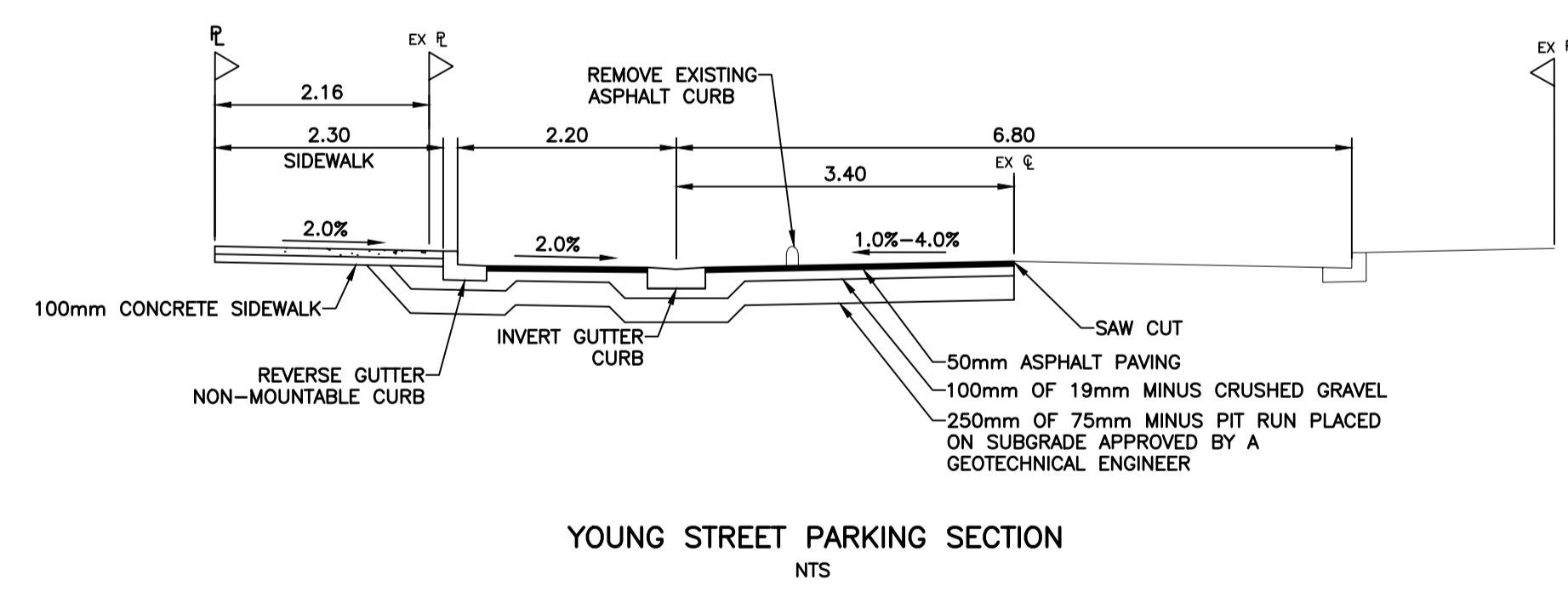
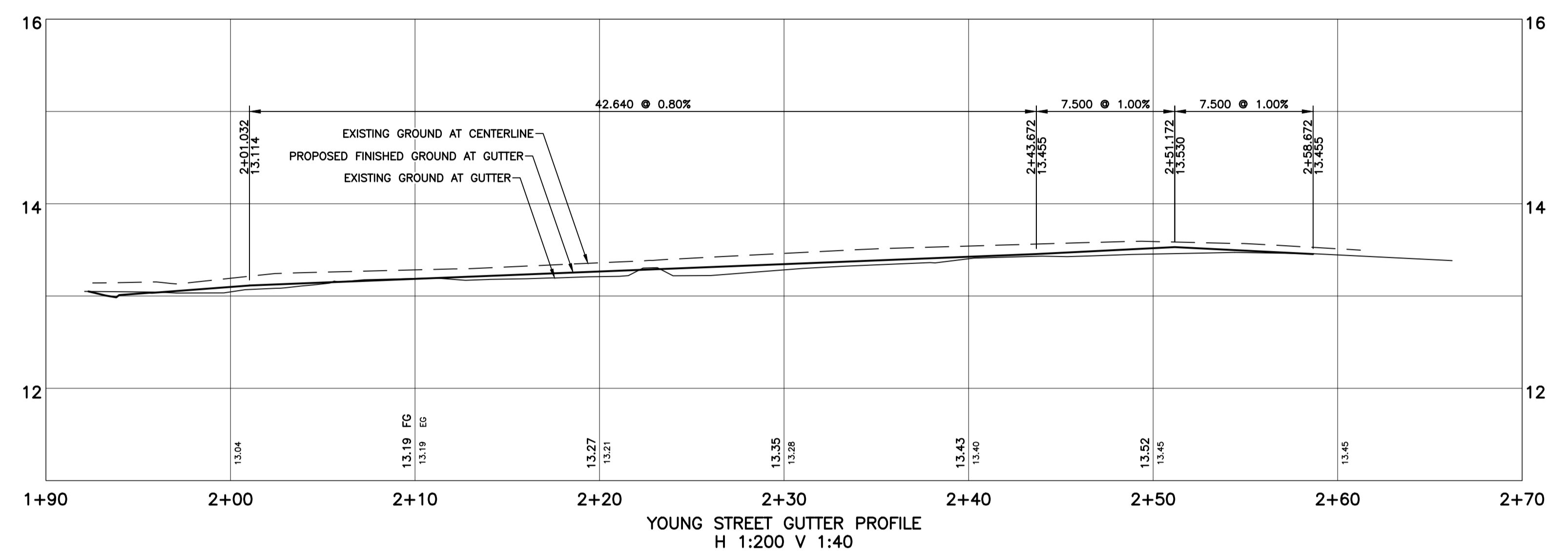
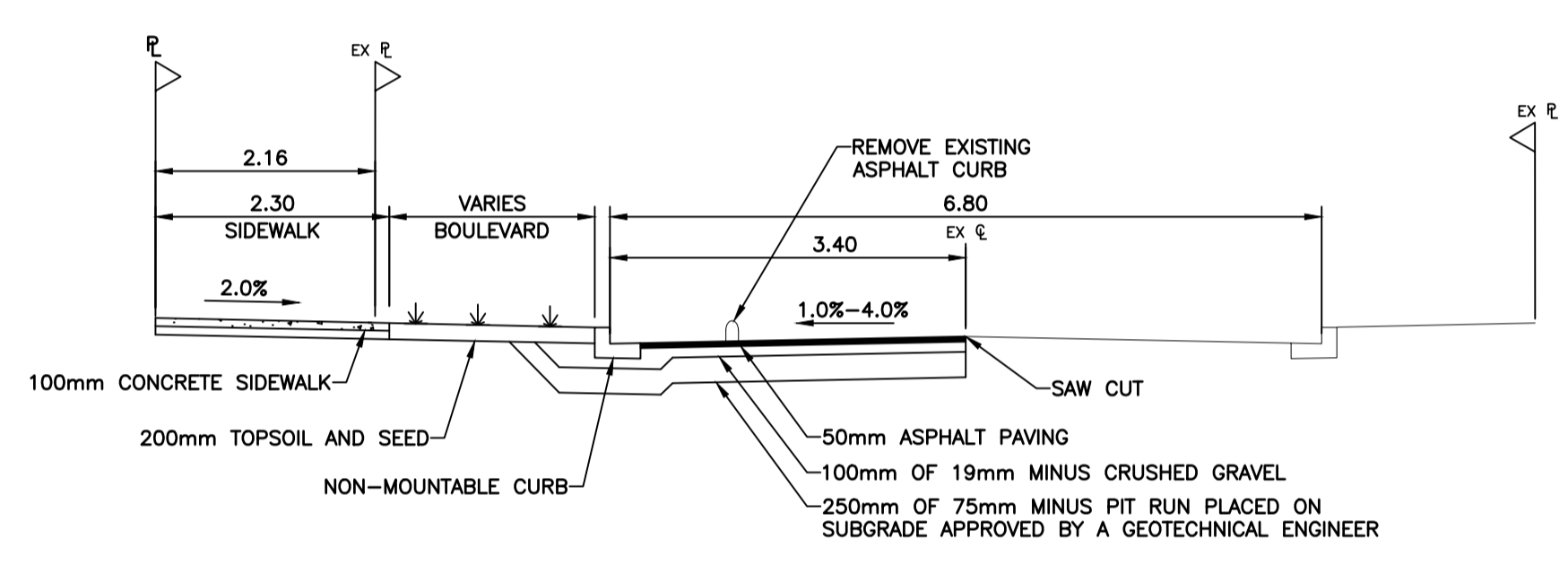
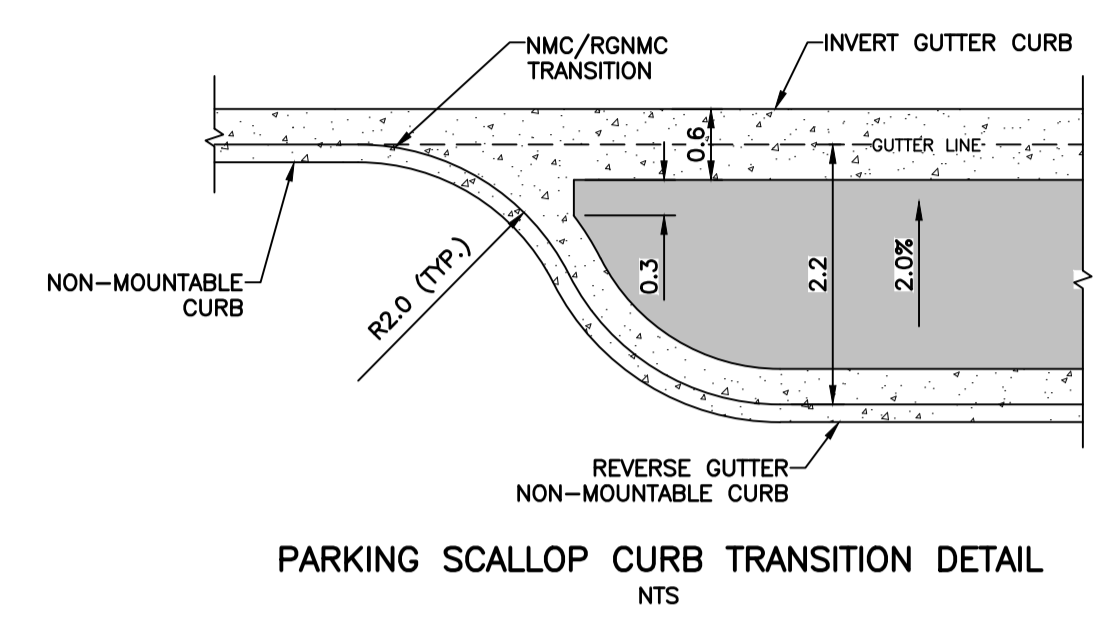
443 GOVERNMENT ST
443 GOVERNMENT DEV. LTD.
GOVERNMENT STREET
PLAN, PROFILE, AND DETAILS

WESTBROOK PROJECT No. 4006
GOVERNING AUTHORITY FILE No.
SHEET 2 OF 4 REV. 4
WESTBROOK DRAWING No. 400602

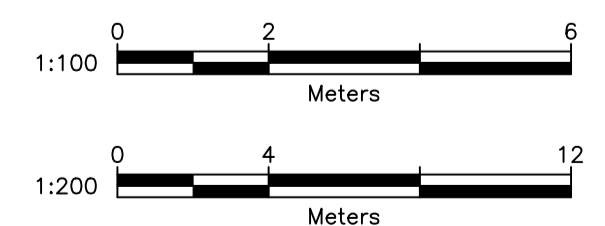
NOTES

1. THE CITY OF VICTORIA SHALL UPGRADE EXISTING SEWER AND DRAIN CONNECTIONS TO 150mm TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
2. THE CITY OF VICTORIA SHALL INSTALL 150mm DRAIN CONNECTION TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
3. CAP AND ABANDON THE EXISTING SEWER AND DRAIN SERVICES.
4. CAP EXISTING WATER SERVICES AND REMOVE THE WATER METER.
5. THE CITY OF VICTORIA SHALL UPGRADE EXISTING WATER SERVICE TO 150mm FIRE CONNECTION AND 100mm DOMESTIC WATER CONNECTION c/w 50mm METER AS PER CITY OF VICTORIA STANDARD DWG "SD W2f REVISED 20151202" TO PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
6. THE CITY OF VICTORIA SHALL INSTALL FIRE HYDRANT ASSEMBLY AT THE DEVELOPER'S EXPENSE.
7. THE CITY OF VICTORIA SHALL INSTALL A 50mm IRRIGATION SERVICE c/w 50mm METER AND 50mm WATTS DOUBLE CHECK VALVE ASSEMBLY AT THE DEVELOPER'S EXPENSE.
8. FORTIS BC SHALL CAP AND ABANDON EXISTING GAS SERVICES AT THE DEVELOPER'S EXPENSE.

	APPROXIMATE ASPHALT EXTENT
	100mm CONCRETE SIDEWALK (150mm AT THE DRIVEWAY LOCATIONS)
	PLACE A MINIMUM OF 200mm OF TOPSOIL AND GRASS SEED
	PROPOSED BRICK PAVERS. REFER TO ARCHITECTURAL DRAWINGS.
	CRITICAL ROOT ZONE
	EXISTING TREE TO REMAIN
	TREE TAG
	EXISTING TREE TO BE REMOVED
	FG FINISHED GROUND
	INSPECTION CHAMBERS
	MFE MAIN FLOOR ELEVATION
	FD FOUNDATION DRAIN
	RWL RAIN WATER LEADER
	PROPOSED ELEVATION
	PROPOSED ELEVATION
	TOP OF CURB



PROPOSED BUILDING
 FG 12.2
 S 10.452
 0+15.9
 FD 10.452
 0+07.4
 MFE 12.74
 RWL 10.150
 0+01.0
 * CHANGE FROM UPSTREAM DCO



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION

LEGEND - PROPOSED SERVICES SHOWN BOLD			
WATER	EDGE PAVE.	GAS	ROAD SIGN
SEWER	NON-MOUNTABLE CURB	UNDERGROUND UTILITY	HYDRANT
DRAIN	MOUNTABLE CURB	COBRA/DAVIT LIGHT	MANHOLE
DITCH/SWALE	FLAT CURB	ORNAMENTAL STREETLIGHT	CLEANOUT
CULVERT	BARRIER CURB	POWER POLE	CATCHBASIN
HEADWALL	INVERT GUTTER	ANCHOR	MONUMENT
			LOT PIN
			LEAD PLUG

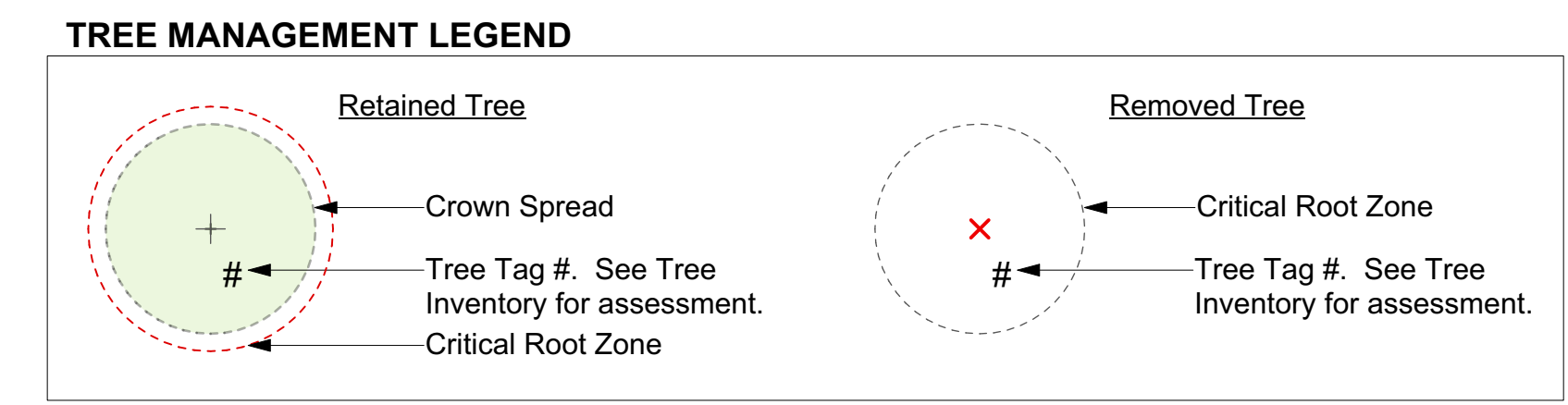
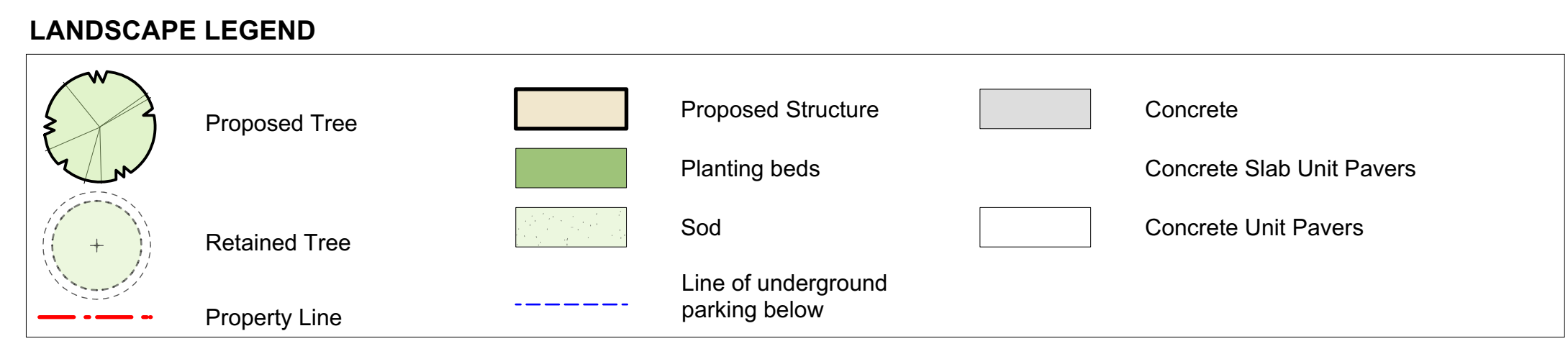
REVISIONS			
No.	DESCRIPTION	YMMDD	SIGN
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3	ISSUED FOR DEVELOPMENT PERMIT	260327	JR
2	REVISED PER ARCHITECTURAL AND CoV CONCEPT	251113	JR
1	ISSUED FOR DEVELOPMENT PERMIT	241219	IY

DESIGNED BC
DRAWN IY
CHECKED
DATE SEPT. 2024
B.M. 8-64
ELEV. 10.844
SCALE Horiz. 1:200
Vert. 1:40

WESTBROOK Consulting Ltd.
 #115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
 Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT
 433 GOVERNMENT ST
 443 GOVERNMENT DEV. LTD.
 YOUNG STREET
 PLAN, PROFILE, AND SECTIONS

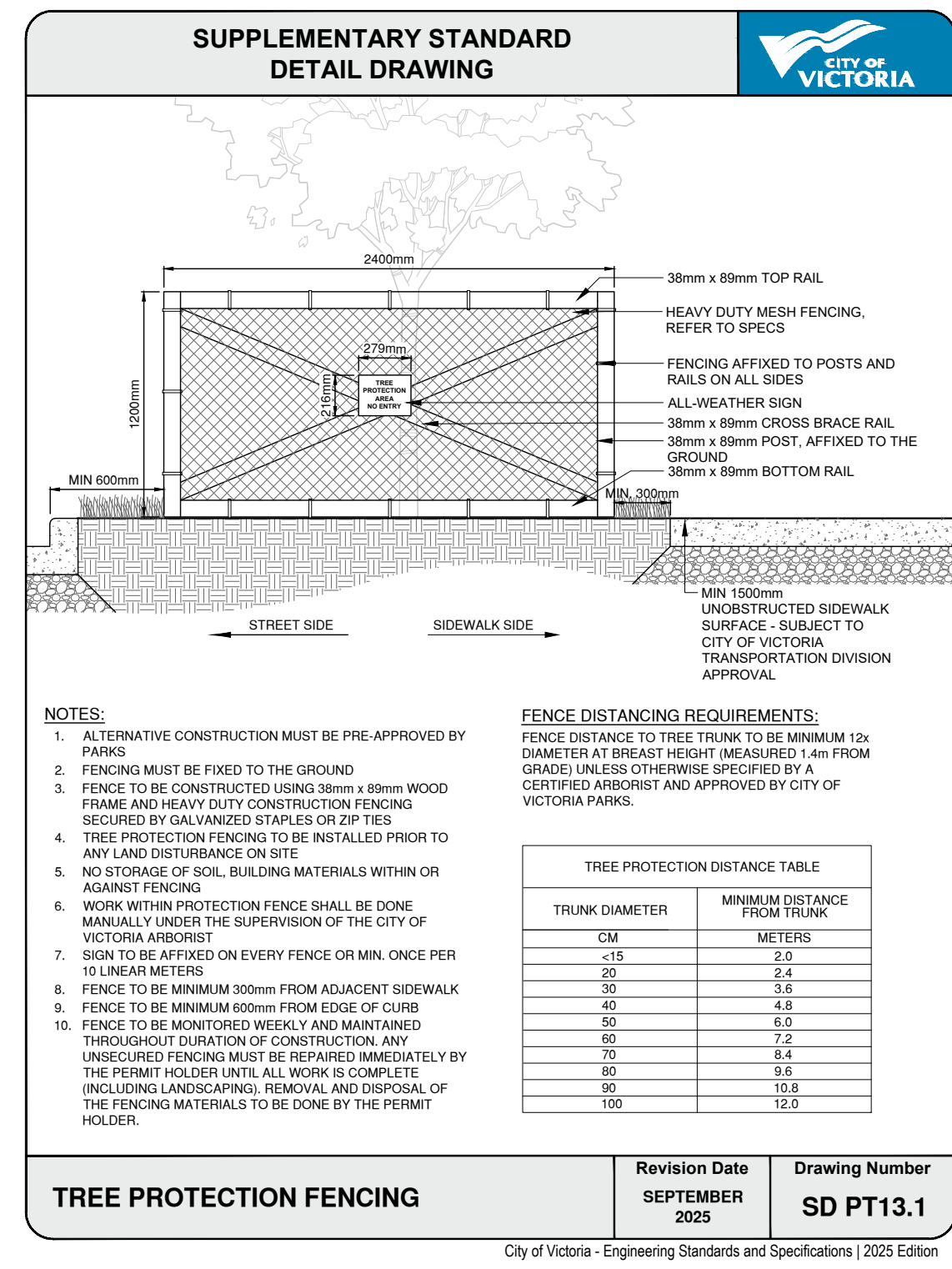
WESTBROOK PROJECT No.
 4006
GOVERNING AUTHORITY FILE No.
 SHEET 4 OF 4 REV. 4
WESTBROOK DRAWING No.
 400604



Inventory date: July 11, 2024

441 and 443 Government Street, 605 and 607 Michigan Street - Tree Resource Spreadsheet

Tag #	Surveyed (Y/N)	Location (DN, EC, Street, City)	Native (Y/N)	Name	Common Name	Abundance	DBH (cm)	Crown radius (m)	Critical root radius (m)	Condition Health	Structure	Relative Importance	General field observations/remarks
M1	Yes	Municipal	Municipal	Copper Beech	Fagus sylvatica Purpurea	1	15	8	14	Good	Good	Poor	Good/standard (included), small deadwood, somewhat restricted root area, slight infestation, exposed root flare.
M2	Yes	Municipal	Municipal	Red horsechestnut	Aesculus x glabra	1	18	3	1.8	Good	Good	Good	Scale infestation, included union.
M3	Yes	Municipal	Municipal	Purple leaf plum	Prunus pissardi	1	34	4	4.1	Fair	Poor	Moderate	Pruned (epicorms), canopy mostly comprised of epicorms, small granivorous feeding holes at base, mechanical injuries on road side of trunk, canopy consists mainly of epicorms, crack in east facing scaffold limb (slightly decay), eastern scaffold limb arched weighted.
M4	Yes	Municipal	Municipal	Honey locust	Gleditsia inornata	1	7	1.5	0.8	Good	Good	Moderate	Minor deadwood, socket located on north side of stem (2m high), inclusion in central leader.
1435	Yes	On	No	Cedar hedgerow	Thuja occidentalis	1	Avg 10cm	1	1	Good	Fair	Good	Tag on southern most stem, hedgerow 3m long, tops falling over.
1436	Yes	On	No	Cedar hedgerow	Thuja occidentalis	1	Avg 10cm	1	1	Good	Fair	Good	Tag on southern most stem, hedgerow 12m long, tops falling over.
1437	Yes	On	No	Cedar hedgerow	Thuja occidentalis	1	Avg 10cm	1	1	Good	Fair	Good	Tag on southern most stem, hedgerow is 14m long, some tops falling over.
1438	Yes	On	No	Pyramidal cedar	Thuja occidentalis	1	15, 11	1	2	Fair	Fair-poor	Good	Original leader historically removed, leaves to the west (mostly removed), lateral stem going up.
1439	Yes	Possibly present	Yes	Plum	Prunus sp.	1	19, 16, 18	5	4.6	Good	Fair-poor	Moderate	Multiple stems from base, epicorms, included union, leads to the west, likely a sucker from adjacent purple leaf plum.
1440	Yes	On	Yes	Purple leaf plum	Prunus pissardi	1	44 below union	5	5.3	Fair-poor	Poor	Moderate	Canopy area at base of trunk on north side, old pruning wound with decay at primary placement, grading signs on northern most scaffold limb, deadback, deadwood, epicorms, possible break in east facing scaffold limb.
1441	Yes	On	Yes	Cherry	Prunus sp.	1	17, 17	4	3.3	Fair	Fair	Moderate	Third stem at base historically removed, included union at base, cherry bark staining damage.
1442	Yes	On	Yes	Big leaf maple	Acer macrophyllum	1	25	5	9	Fair-poor	Fair-poor	Moderate	Irregular bulging at base, secondary midline on epicorms at base, granivorous feeding holes at base, mechanical injuries on road side of trunk, canopy consists mainly of epicorms, crack in east facing scaffold limb (slightly decay), eastern scaffold limb arched weighted.
1443	No	On	No	Japanese maple	Acer palmatum	1	7, 7, 7, 5	2.5	1.9	Good	Good	Moderate	Scale infestation, included bark.
1444	No	On	No	Apple (domestic)	Malus sp.	1	9, 9, 6	2.5	2.1	Good	Fair	Moderate	Multistemmed form base, pruned for fruit production.
1445	Yes	On	Yes	Corkscrew willow	Salix rosmarinoidea	1	28 below union, 23, 13	2	6	Good	Fair-poor	Moderate	Severe included unions, deadwood, stems grafted to each other, history of failures, top deadback.
1446	Yes	On	No	Star magnolia	Magnolia stellata	1	9, 5, 4	2.5	1.8	Good	Fair	Moderate	Suckering on lower stem, included bark.
1448	Yes	On	No	Fig	Ficus carica	1	23	1.5	2.3	Good	Fair-poor	Good	Canopy mostly comprised of epicorms, top deadback, restricted root area, suckers at base.
OS1	No	Off	Yes	Western red cedar	Thuja plicata	1	56	6.5	11.4	Good	Fair-poor	Moderate	Likely topped at ~7m ago (multiple leaders), 4m south of existing fence line.



	Count	Multiplier	Total
ONSITE Minimum replacement tree requirement			
A. Protected trees removed	5	X 1	A. 5
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
C. Replacement trees proposed from Schedule "E", Part 2	5	X 0.5	C. 2.5
D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number			E. 2
F. Onsite replacement tree deficit (A-E) Record 0 if negative number			F. 3
ONSITE Minimum trees per lot requirement (onsite trees)			
G. Tree minimum on lot			G. 6
H. Protected trees retained (other than specimen trees)	0	X 1	H. 0
I. Specimen trees retained	0	X 3	I. 0
J. Trees per lot deficit (G-(B+C+H+I)) Record 0 if negative number			J. 4
OFFSITE Minimum replacement tree requirement (offsite trees)			
K. Protected trees removed	2	X 1	K. 2
L. Replacement trees proposed per Schedule "E", Part 1 or Part 3	0	X 1	L. 0
M. Replacement trees proposed from Schedule "E", Part 2	4	X 0.5	M. 2
N. Total replacement trees proposed (L+M) Round down to nearest whole number			N. 0
O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 4
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$ 8,000

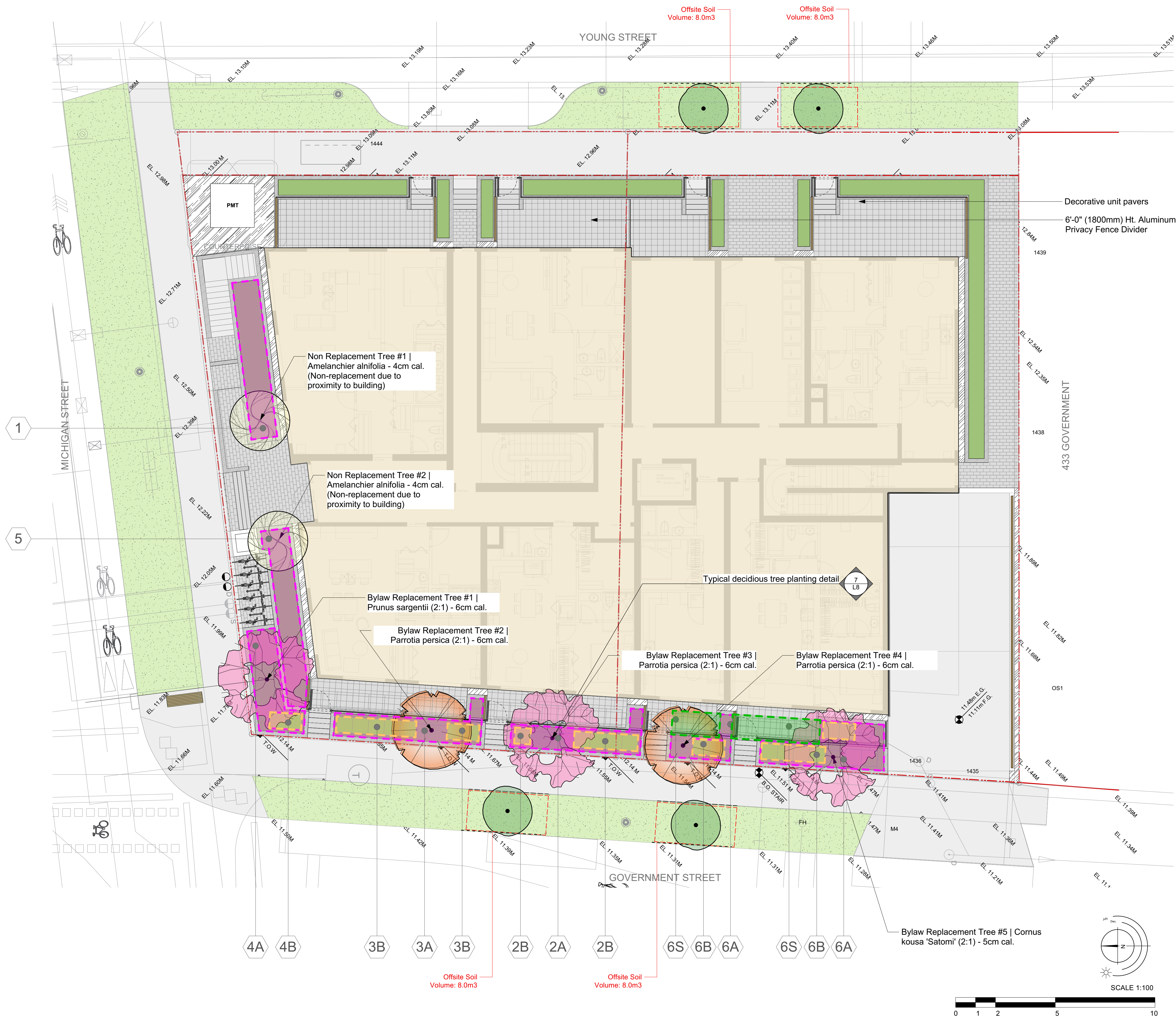
443 Government Street | Tree Replacement Plan



Project No: 2415 NOV-18-24 #3-864 Queens Ave. Victoria B.C. V8T 1M5 Phone: (250) 598-0105 Fax: (250) 412-0696

Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L2/8



LANDSCAPE LEGEND

- Proposed Tree
- Retained Tree
- Proposed Structure
- Concrete
- Concrete Slab Unit Pavers
- Concrete Unit Pavers
- Planting beds
- Sod
- Soil Volume Area Tag
- Soil Volume area
- Soil Volume area Over Tank
- Property Line
- Line of underground parking below
- Cross Section Reference Line
- Proposed Retaining Wall
- Proposed Retaining Wall
- Proposed Concrete Curb
- 1.8m Ht Wood Privacy Fence
- 1.2m Ht Ornamental Metal Fence
- Proposed bike ring (2 spaces ea.)
- Detail Callout Key
- Soil Cell Volume area

TREE MANAGEMENT LEGEND

- Retained Tree
 - Crown Spread
 - Tree Tag #. See Tree Inventory for assessment.
 - Critical Root Zone
- Removed Tree
 - Critical Root Zone
 - Tree Tag #. See Tree Inventory for assessment.

SOIL VOLUME CHART
 Soil Volume Chart Note: Aread noted as 'A', 'B' and 'S' indicate a shared soil volume area where A represents the regular planting area and B indicates Soil over storage tank and S indicates soil cell area

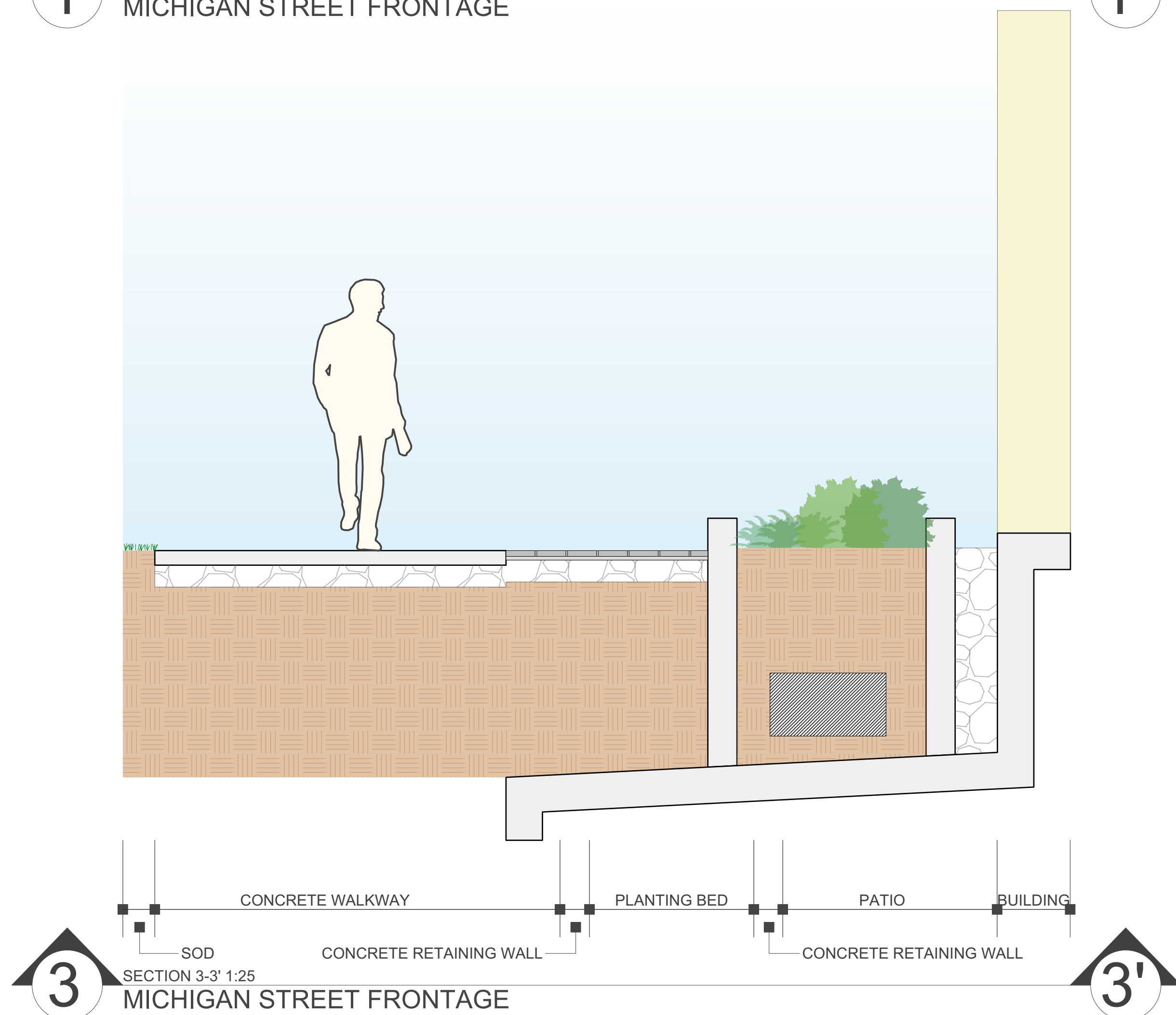
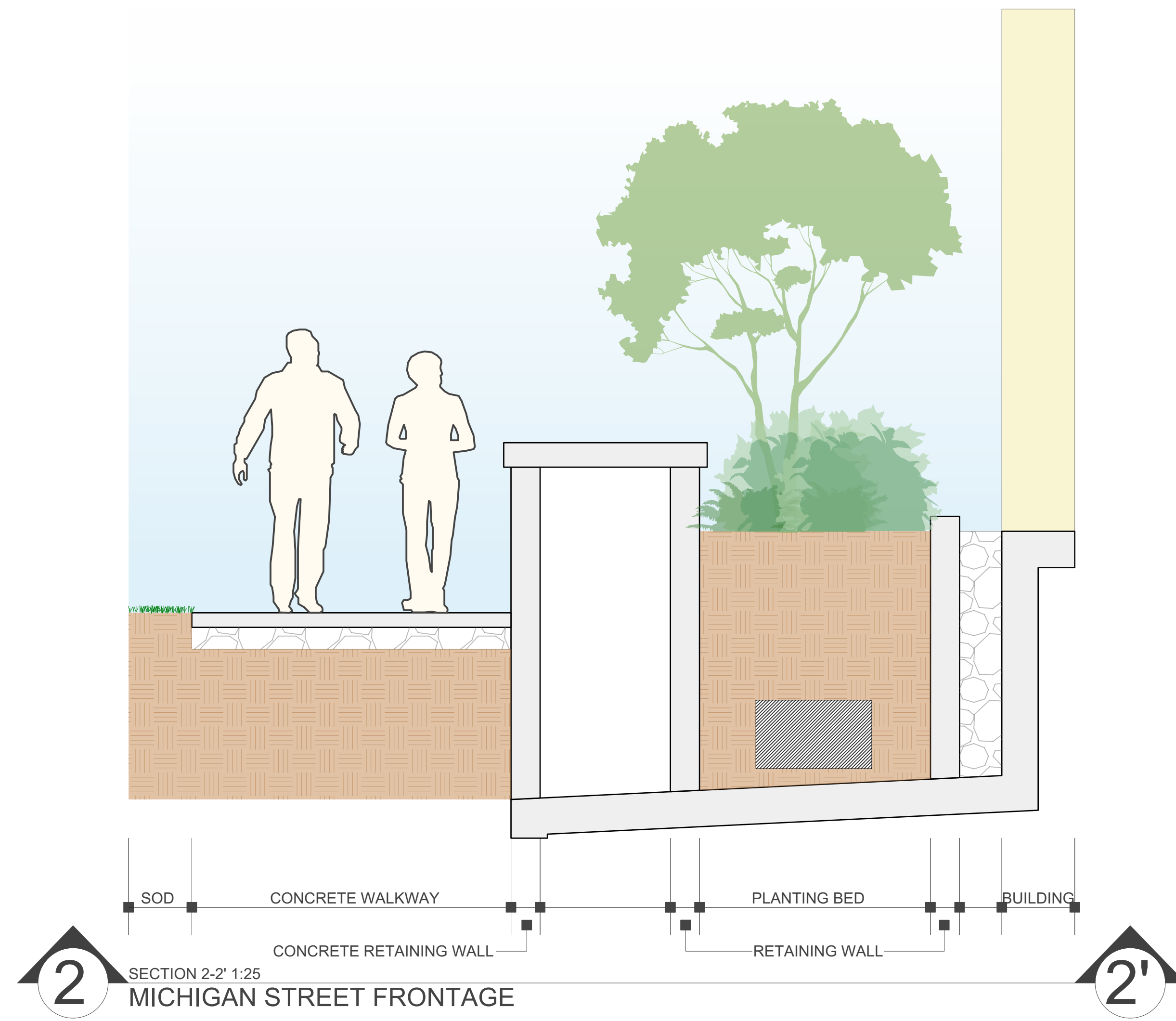
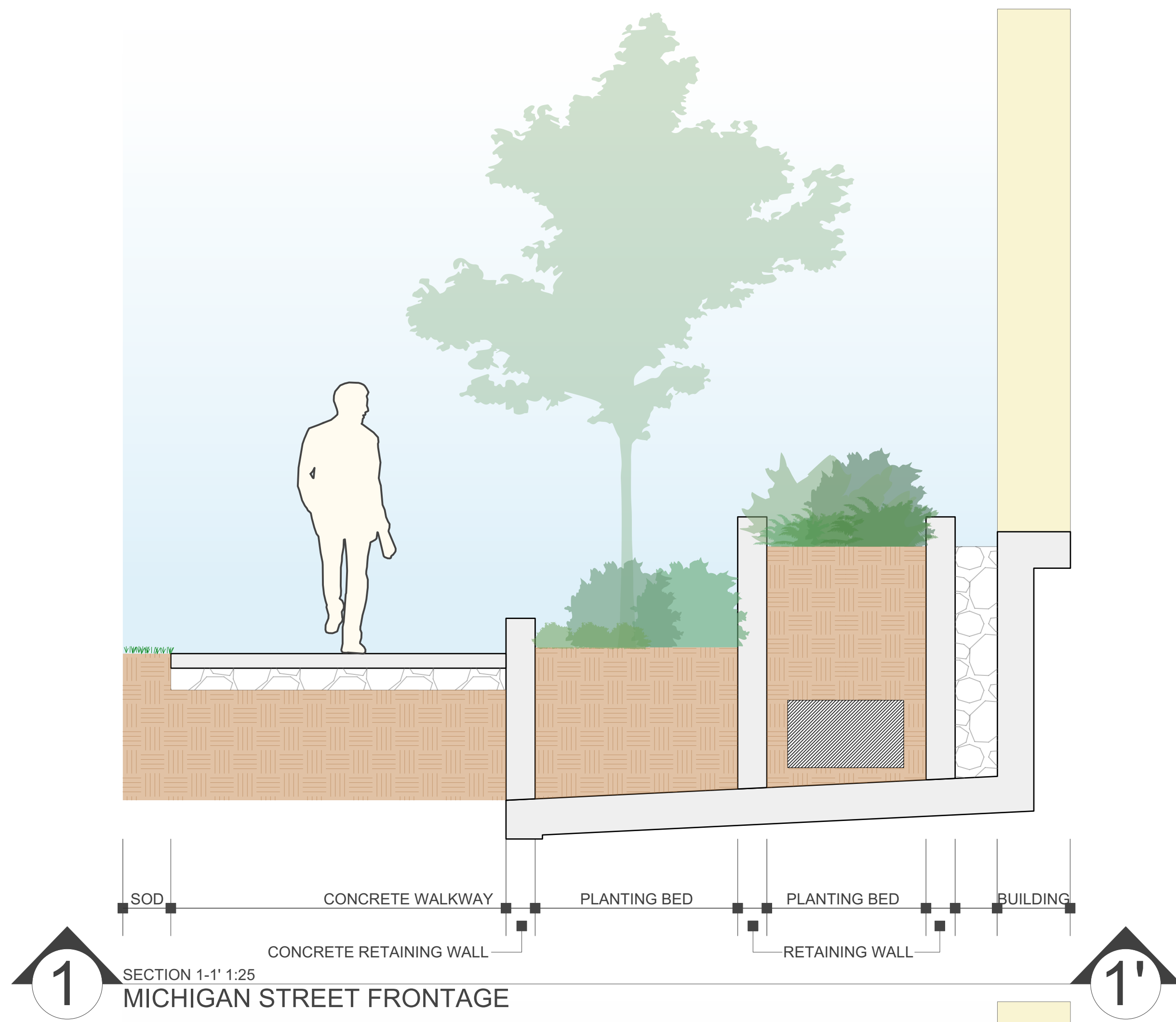
Planting Area ID	Area (M2)	Soil Volume multiplier*	Replacement Tree Proposed				Soil Volume Required (M3)			
			A	B	C	D	E	F	G	Total
Onsite										
1	10.29	1	10.29	1				6		6
2A	4.89	1	4.89				See Below			N/A
2B	3.2	0.5	1.6				See Below			N/A
2 TOTAL	8.09	Varies	6.49				6			6
3A	4.5	1	4.5				See Below			N/A
3B	4.48	0.5	2.24				See Below			N/A
3 TOTAL	8.98	Varies	6.74	1			6			6
4A	6.93	1	6.93				See Below			N/A
4B	1.28	0.5	0.64				See Below			N/A
4 TOTAL	8.21	Varies	7.57	1			6			6
5	9.89	1	9.89	1						6
6A	9.78	1	9.78				See Below			N/A
6B	5.2	0.5	2.6				See Below			N/A
6S	8.7	0.4	3.48				See Below			N/A
6 TOTAL	23.68	Varies	15.86	2			12			12
Offsite (Excluding City Property)										
Planting Area OSA X (Excluding City Property)							E	F	G	TOTAL
Calculation							IF B=1,BX8 IF B=1,BX6	IF C=1,CX20 IF C=1,CX15	IF B=1,BX35 IF B=1,BX30	E+F+G

	Count	Multiplier	Total
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A. Protected trees removed	5	X 1	A. 5
B. Replacement trees proposed per Schedule "E", Part 1	0	X 1	B. 0
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D. Replacement trees proposed per Schedule "E", Part 3	0	X 1	D. 0
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O. Offsite replacement tree deficit (K-N) Record 0 if negative number			O. 0
Cash-in-lieu requirement			
P. Onsite trees proposed for cash-in-lieu Enter F. or J., whichever is the greater number			P. 4
Q. Offsite trees proposed for cash-in-lieu Enter O.			Q. 0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)			R. \$ 8,000

Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L3/8

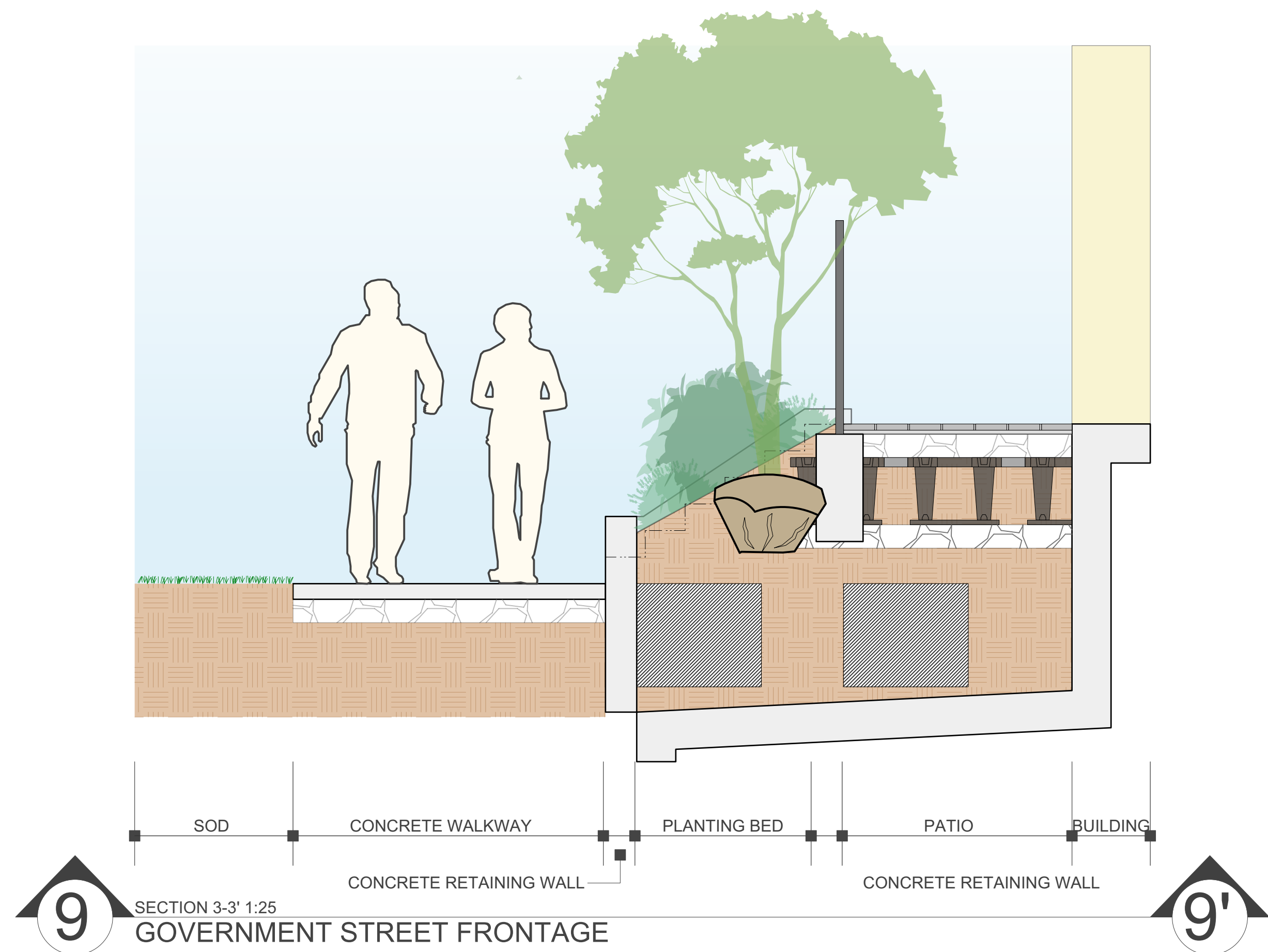
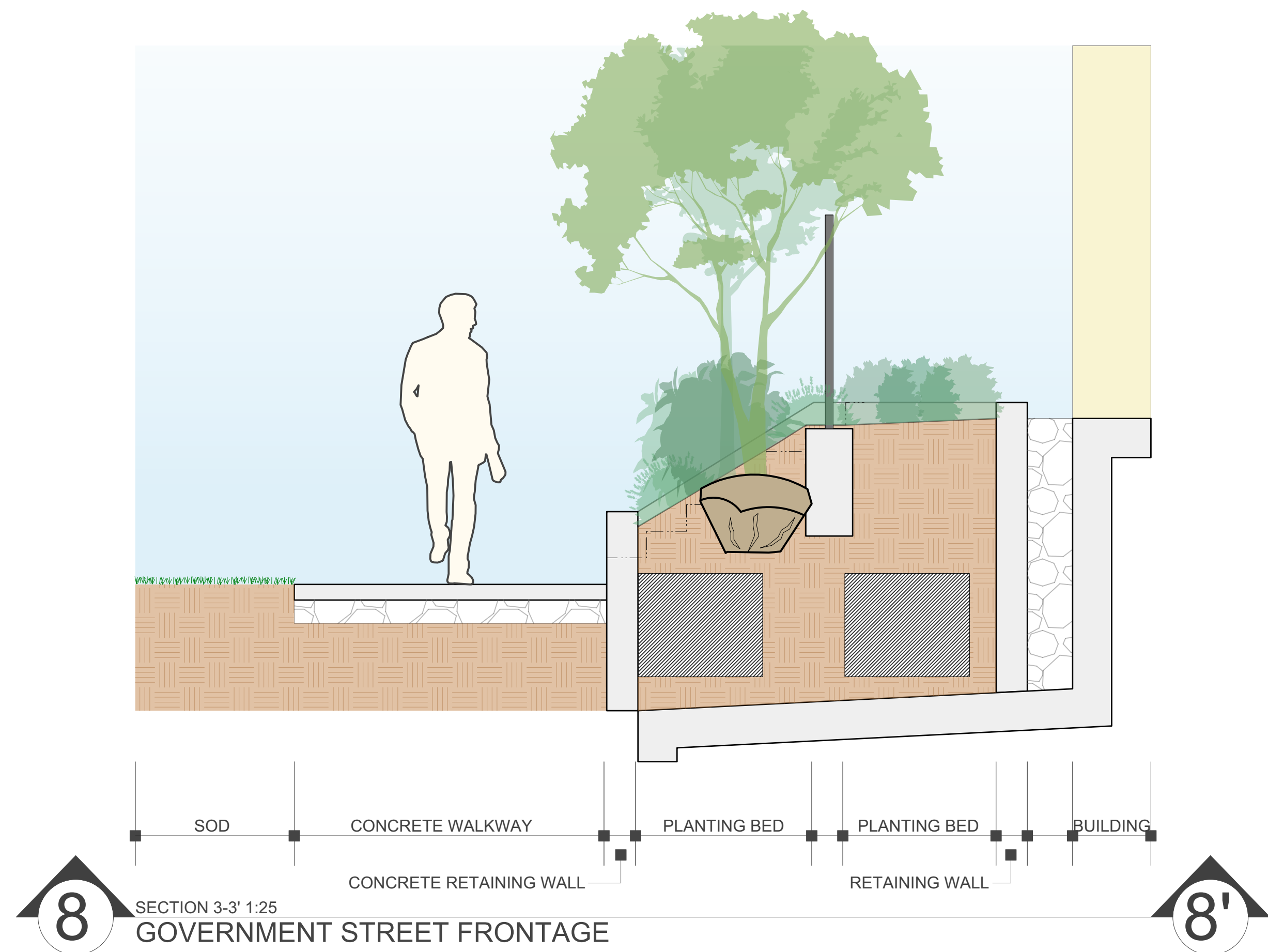
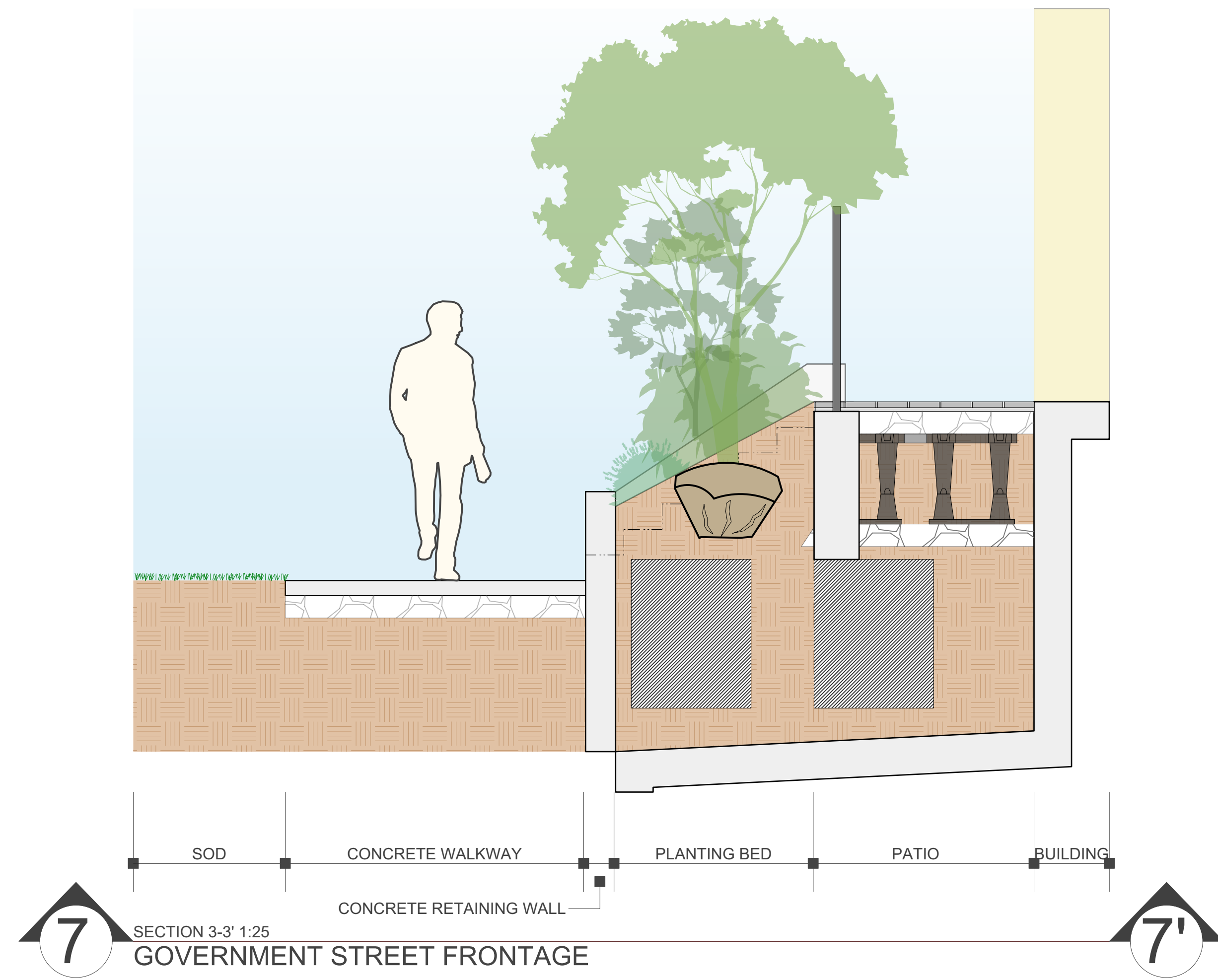
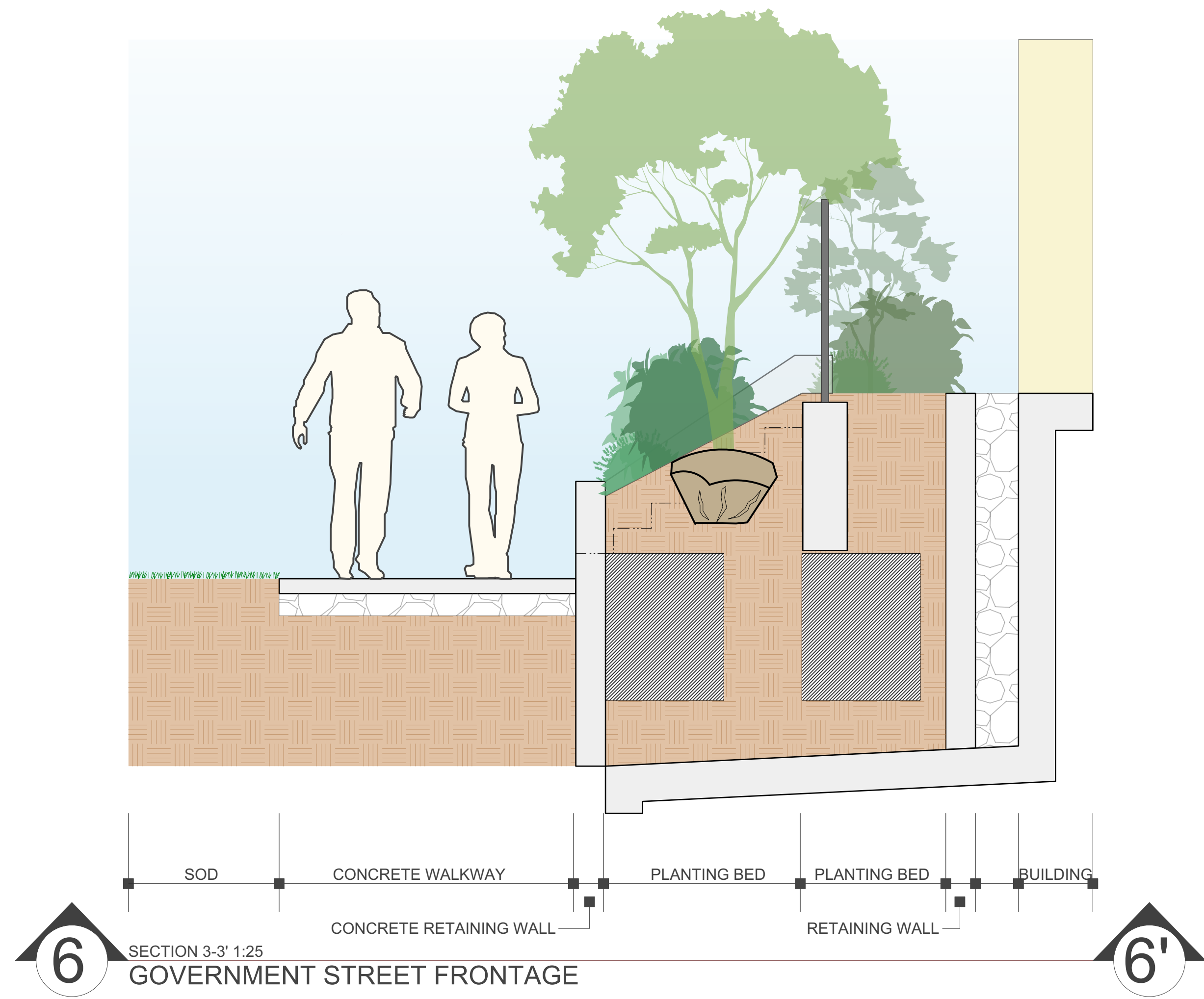
443 Government Street | Soil Volume Plan



Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L4/8

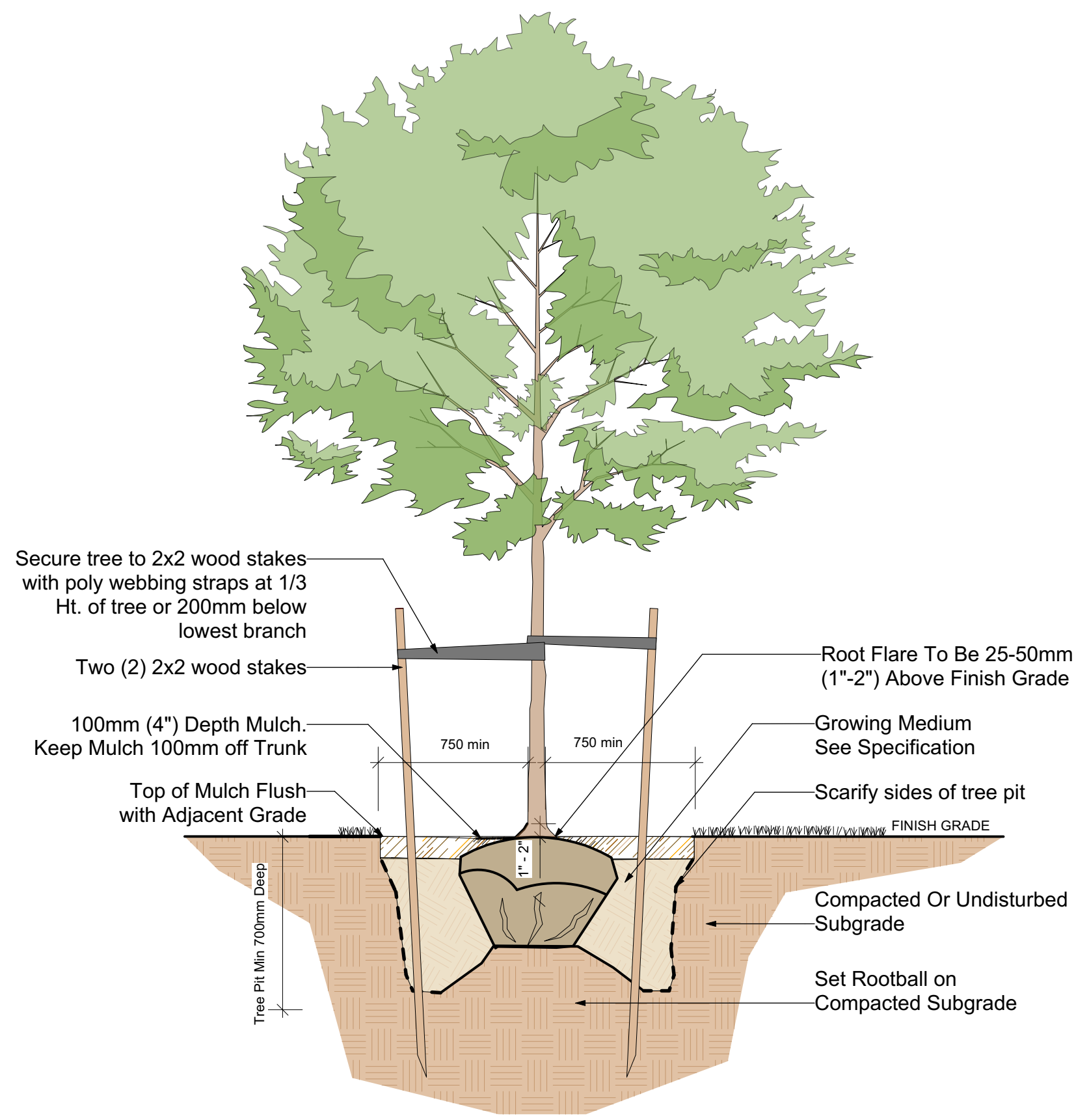
443 Government Street | Landscape Sections



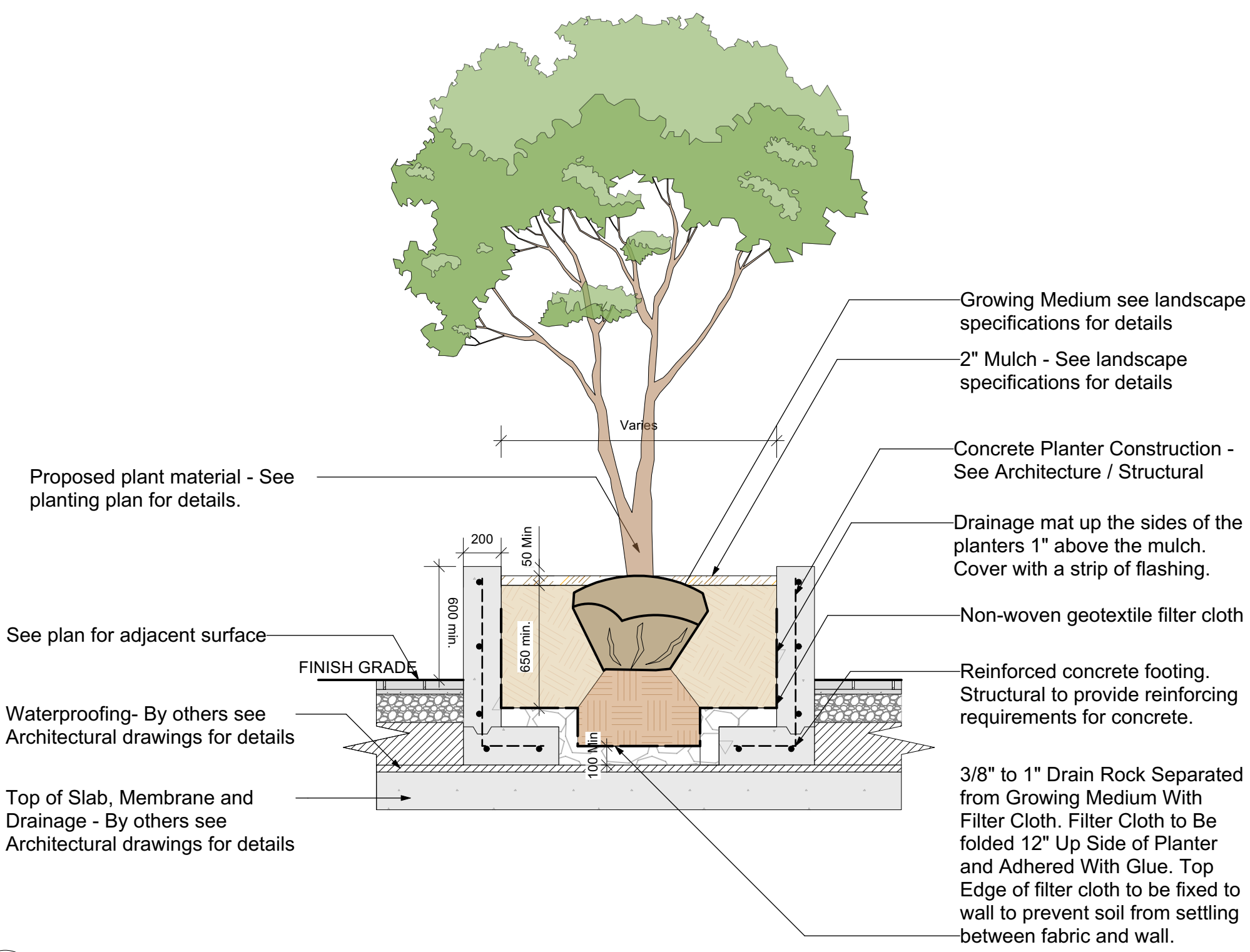
Rev. 07: Apr 17-26
Rev. 06: Mar 23-26
Rev. 05: Mar 11-26
Rev. 04: Apr 16-25
Rev. 03: Mar 14-25
Rev. 02: Dec 13-24
Rev. 01: Nov 18-24

L5/8

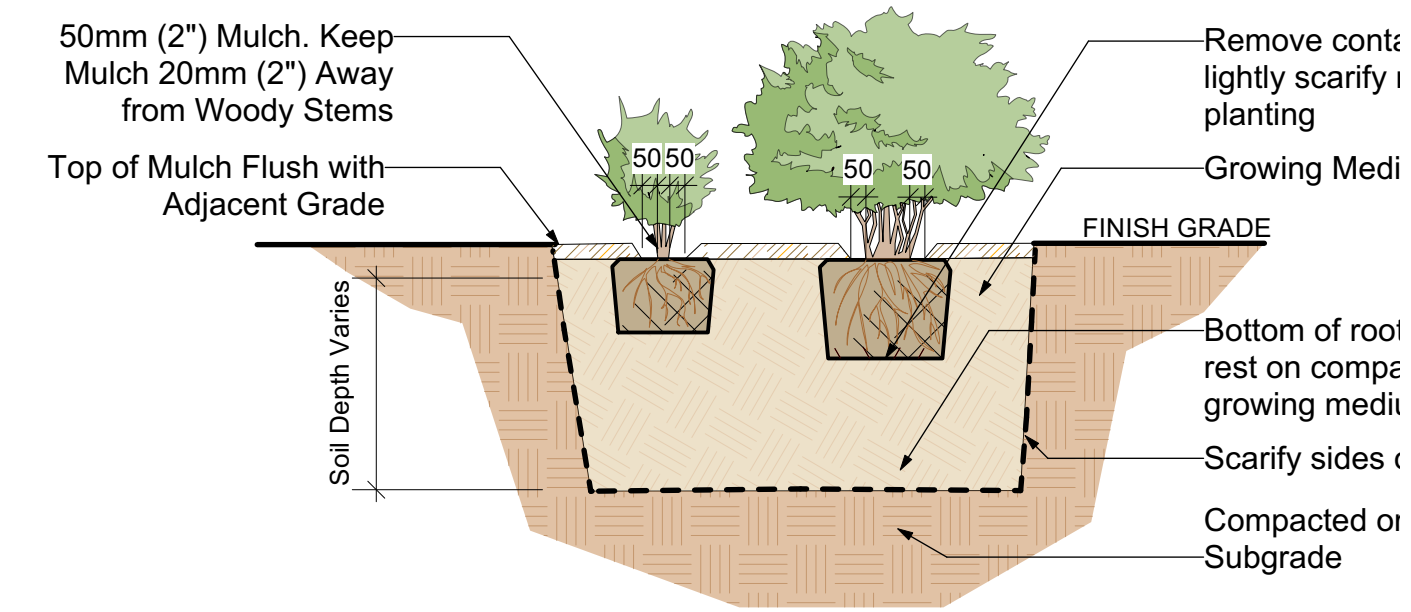
443 Government Street | Landscape Sections



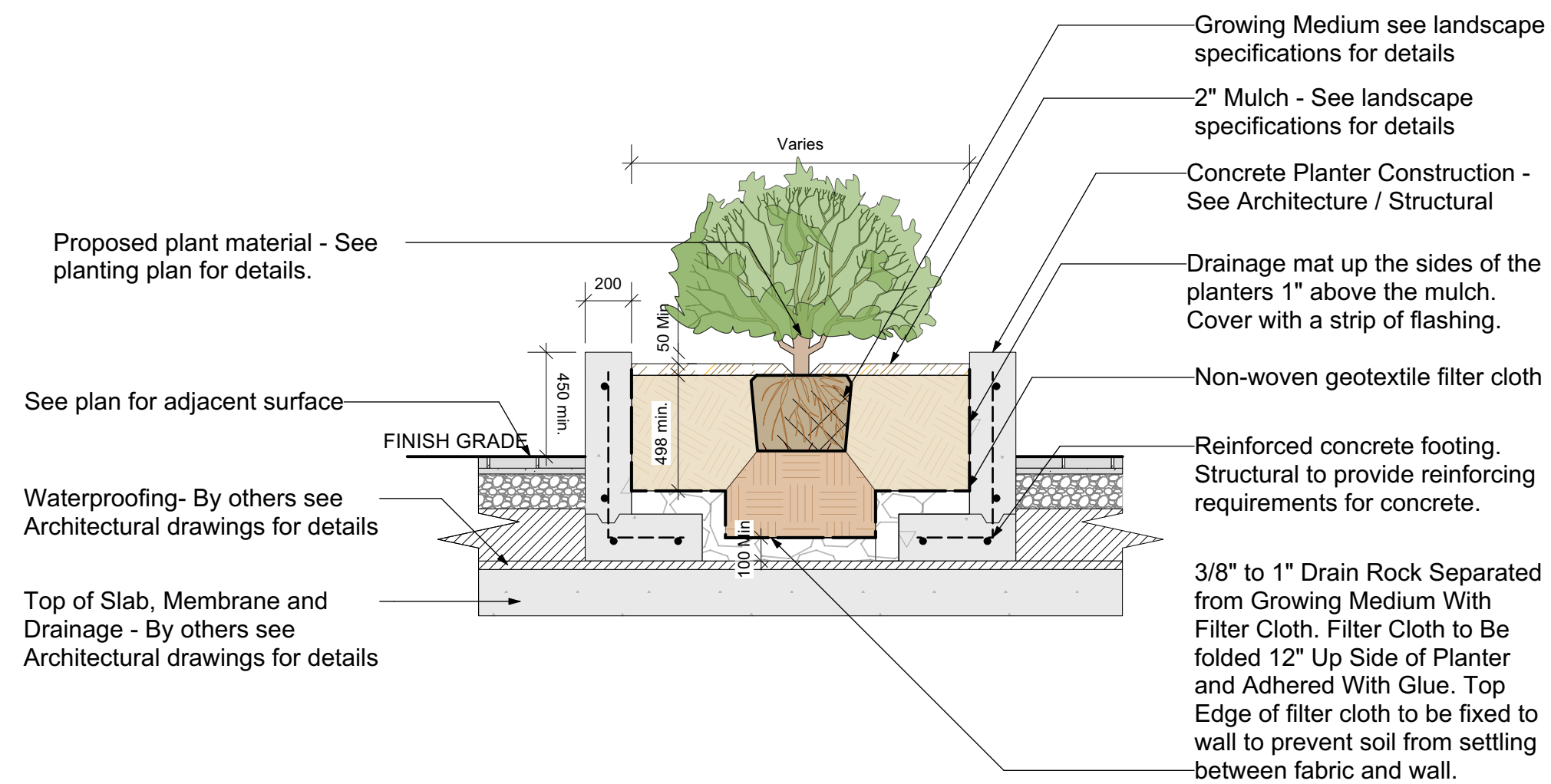
1 Typical Deciduous Tree Planting Detail
D1 Scale: 1:25



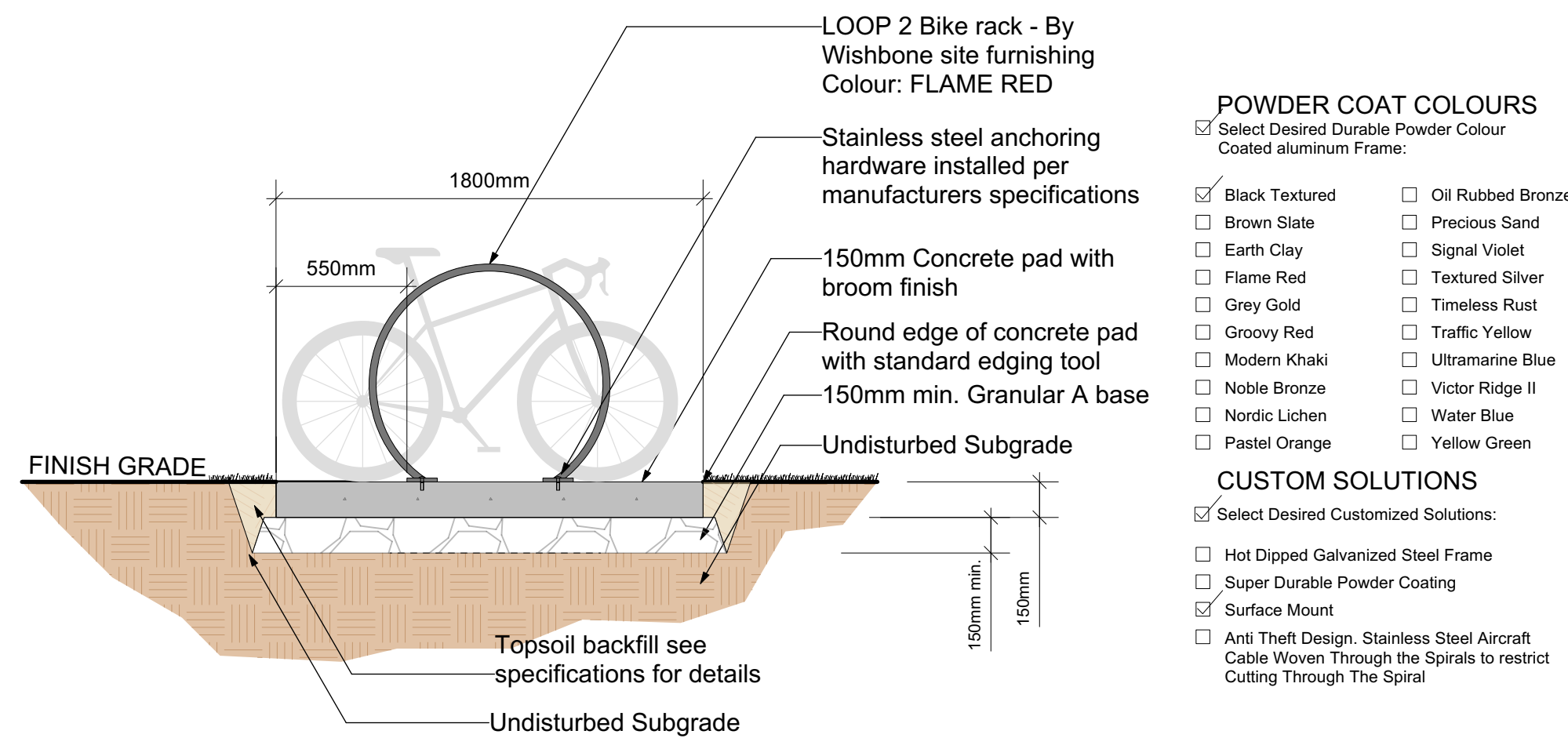
2 Tree Planting in Concrete Planter Over Slab Detail
D1 Scale: 1:25



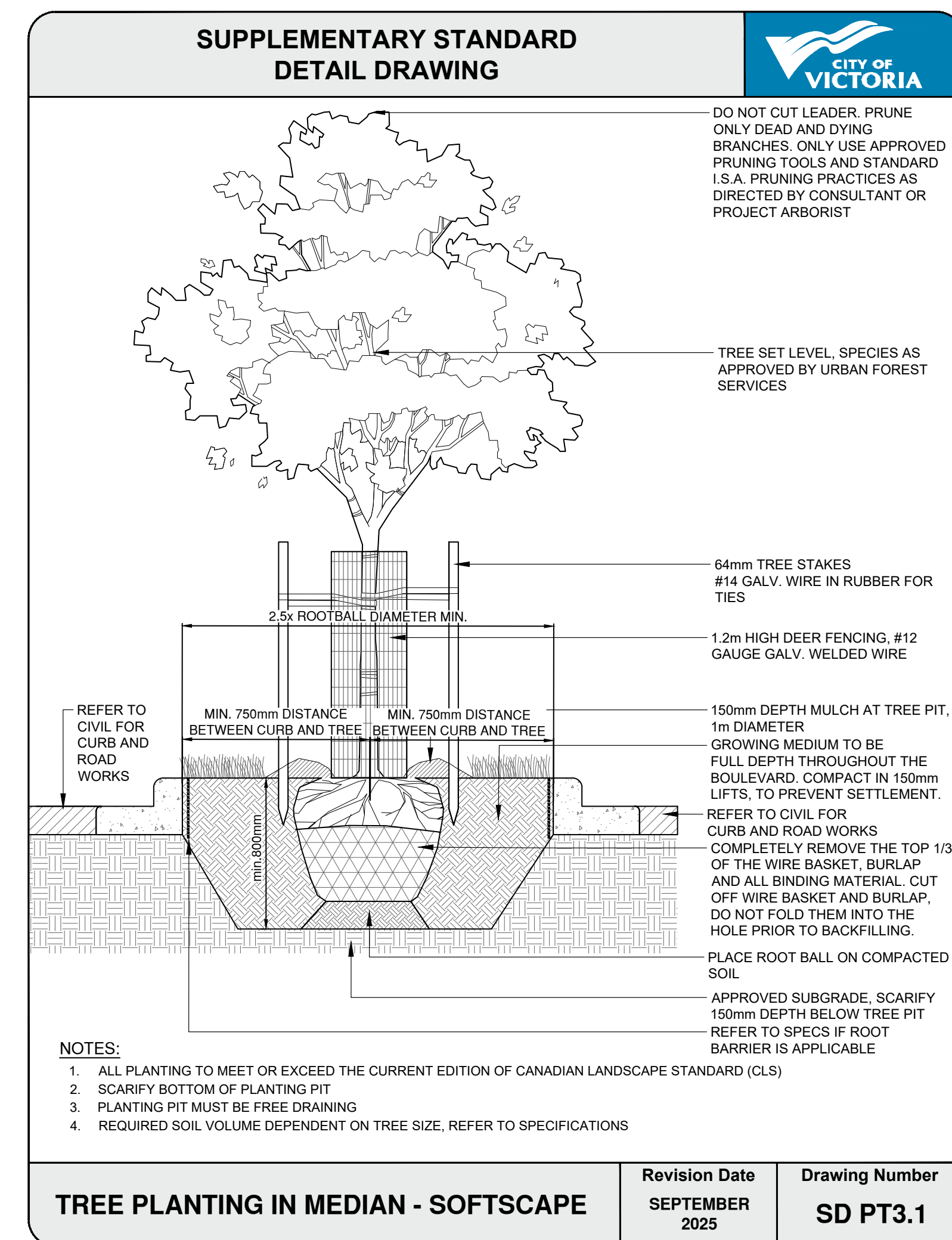
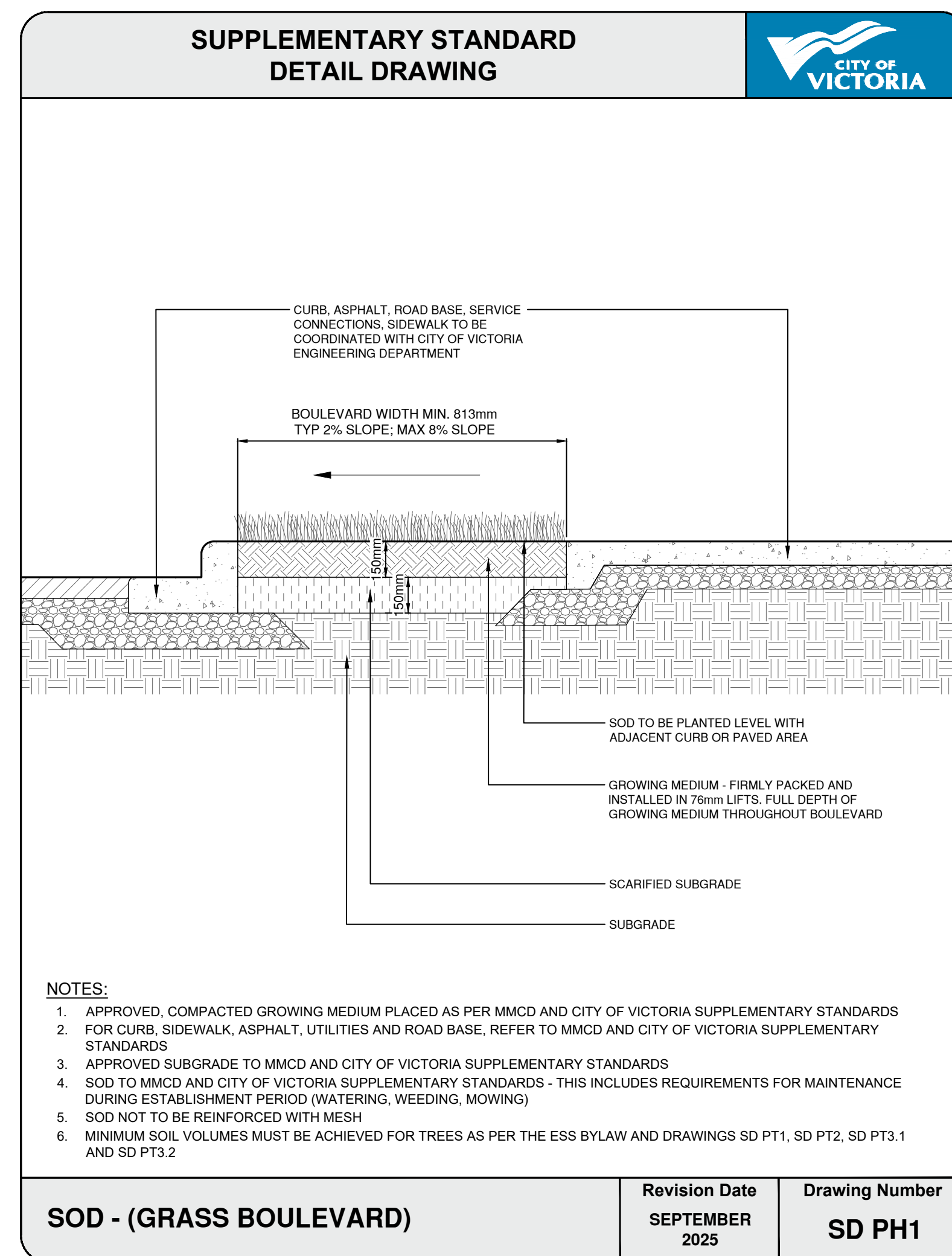
3 Typical Shrub Planting Detail
D1 Scale: 1:25



4 Shrub Planting in Concrete Planter Over Slab Detail
D1 Scale: 1:25

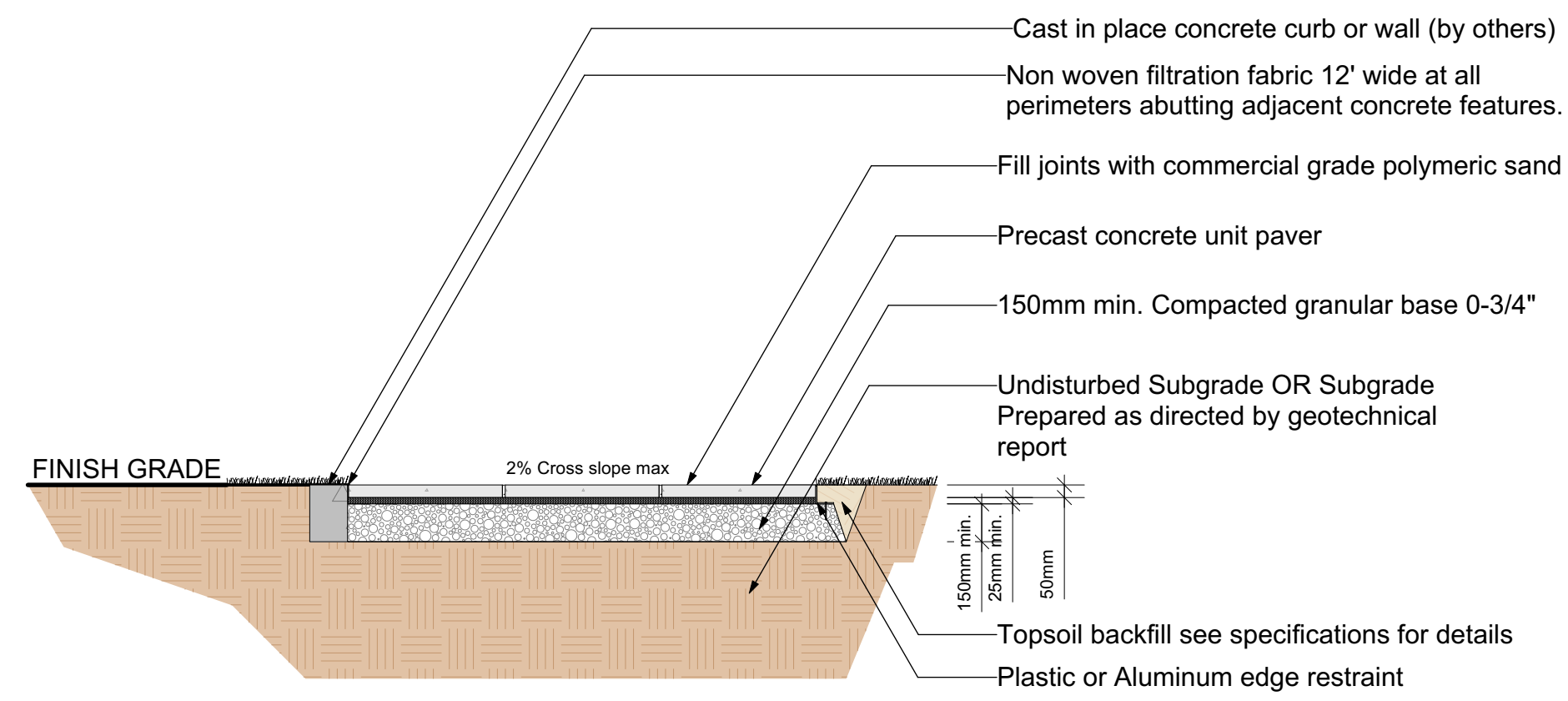


5 Concrete pad with LOOP 2 bike rack - By Wishbone
D1 Scale: 1:25

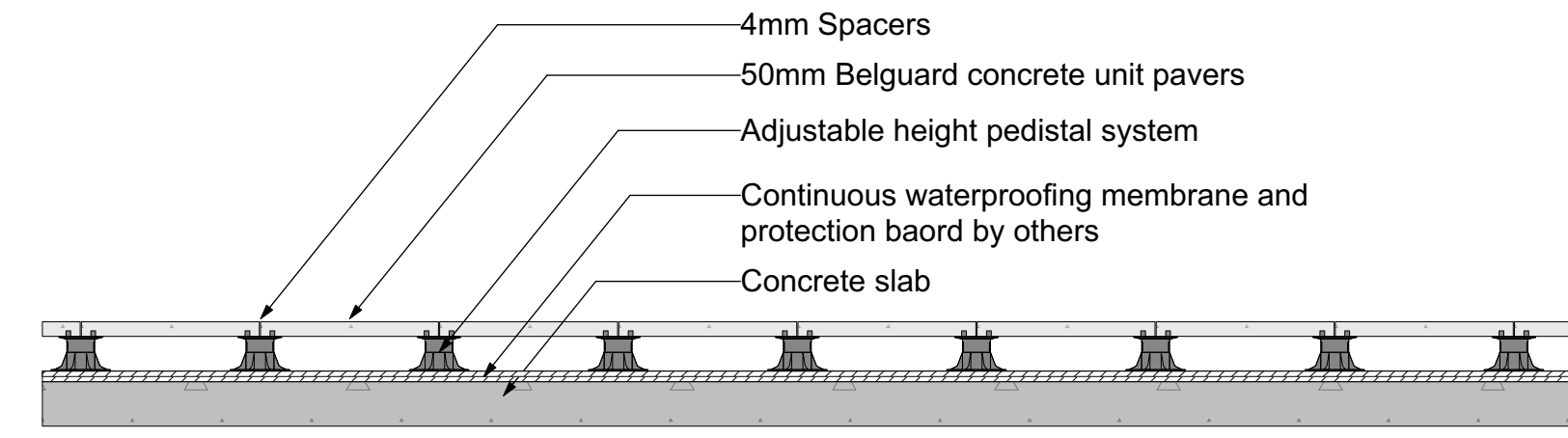


Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
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 Rev. 04: Apr 16-25
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 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

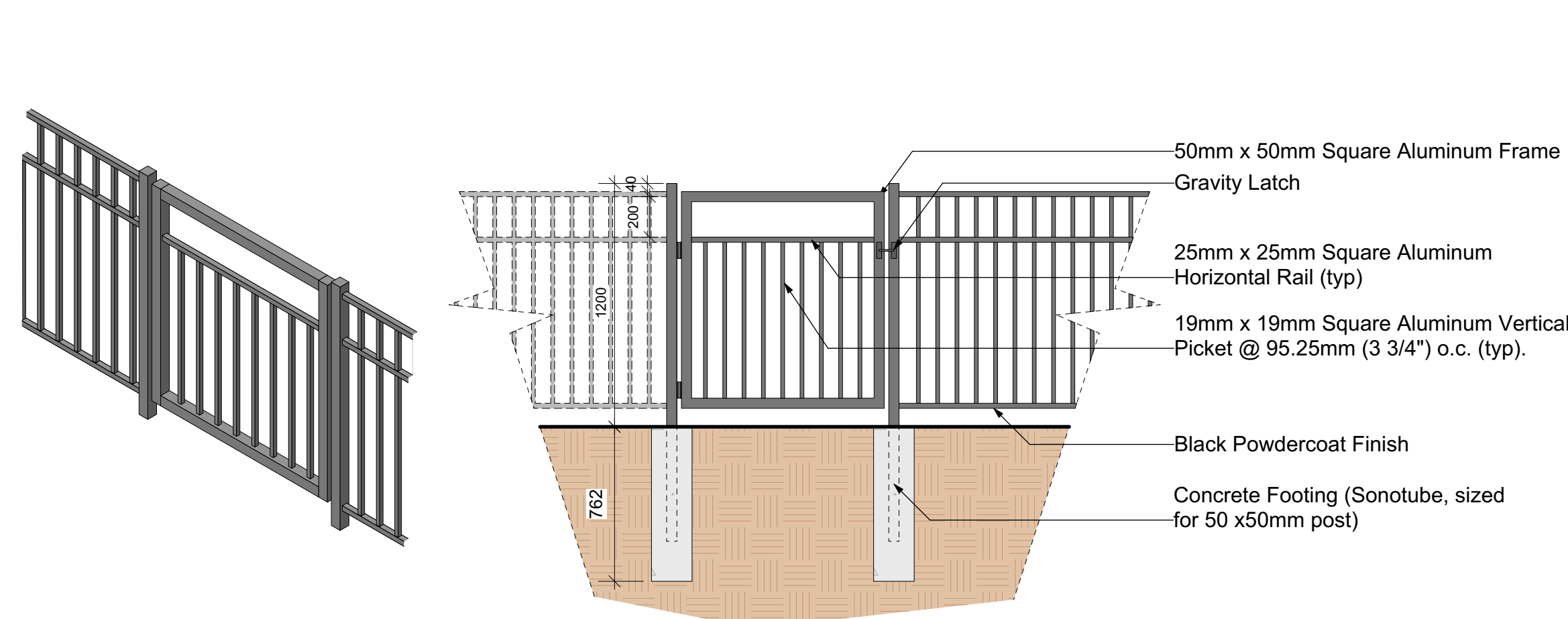
443 Government Street | Details 1



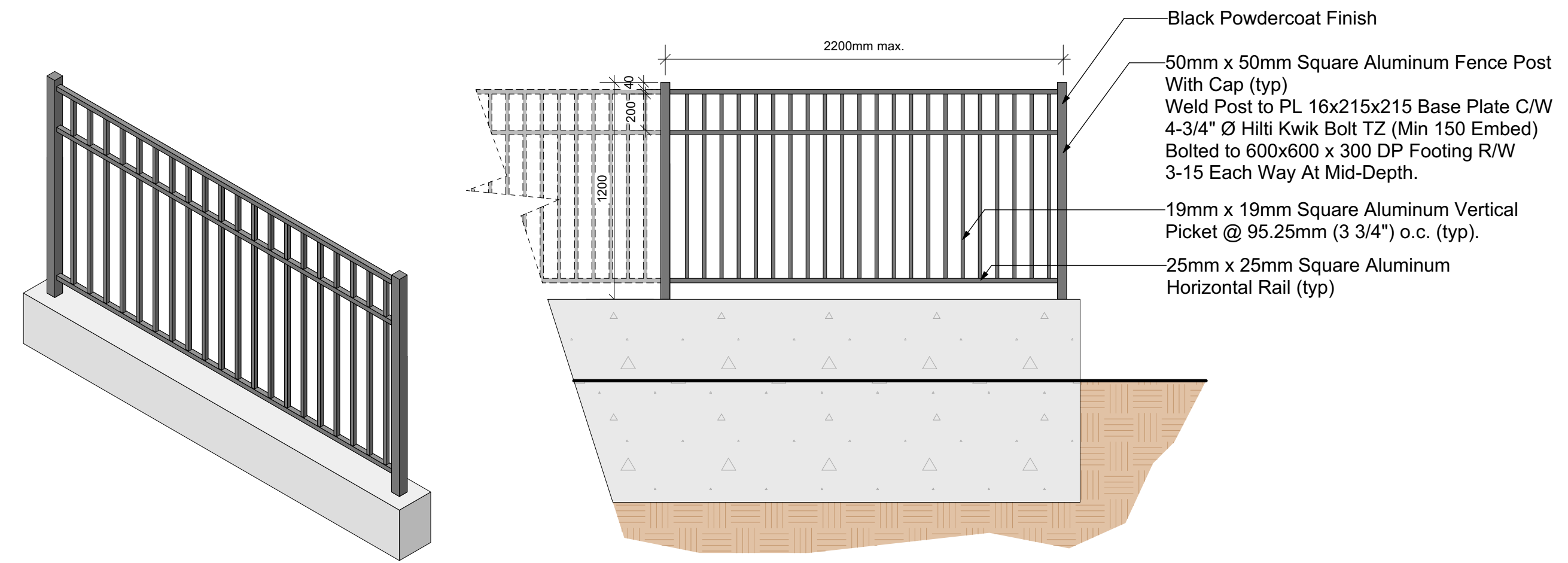
6 Pedestrian Precast concrete unit pavers
D2 Scale: 1:25



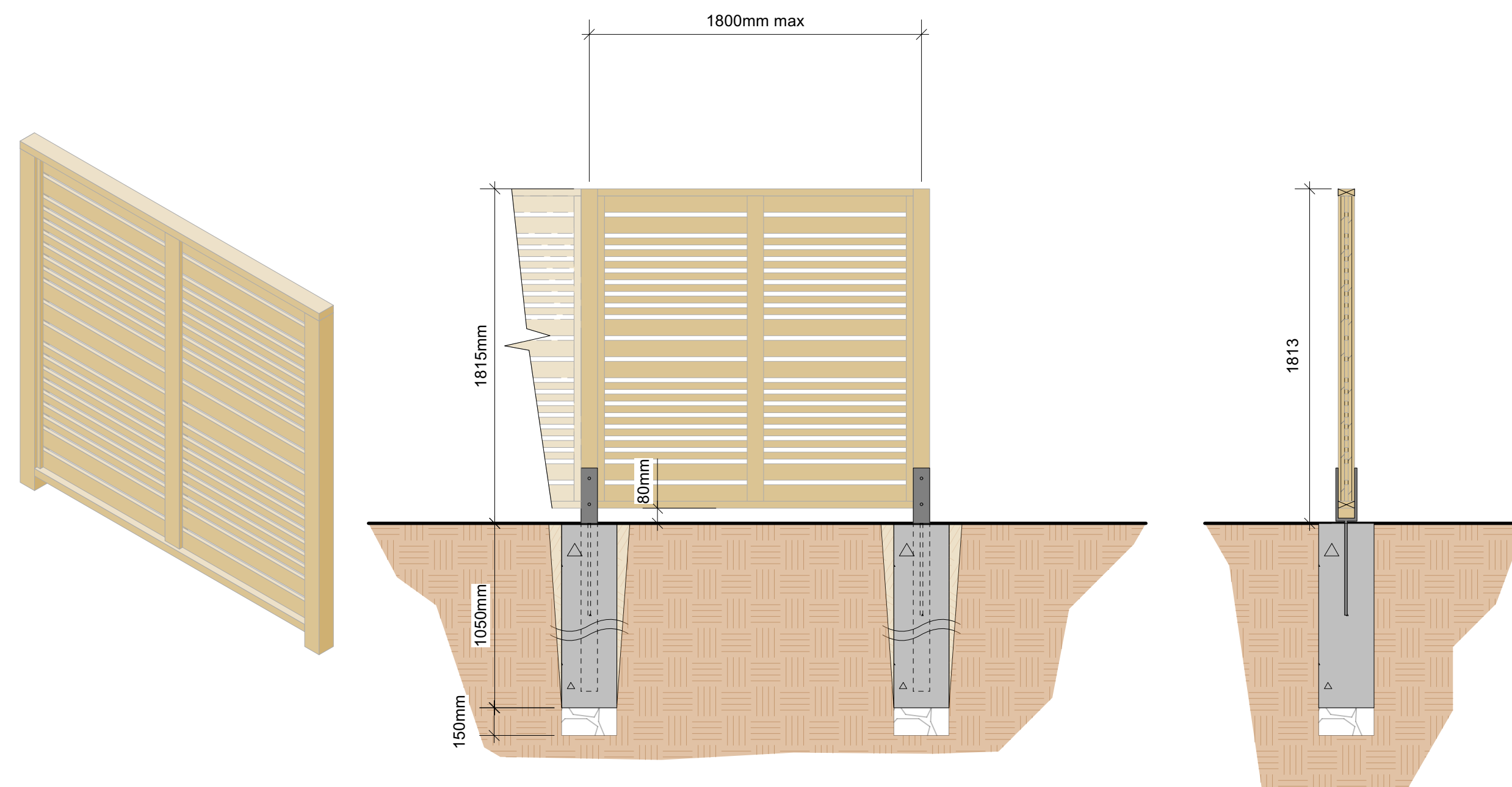
7 Concrete unit pavers on pedestal standard detail
D1 1:50



8 1.2m Ht Ornamental Aluminum Gate with Gravity Latch
D2 Scale: 1:25



9 0.75m Ht Ornamental Aluminum Fence on Concrete Retaining Wall
D2 Scale: 1:25

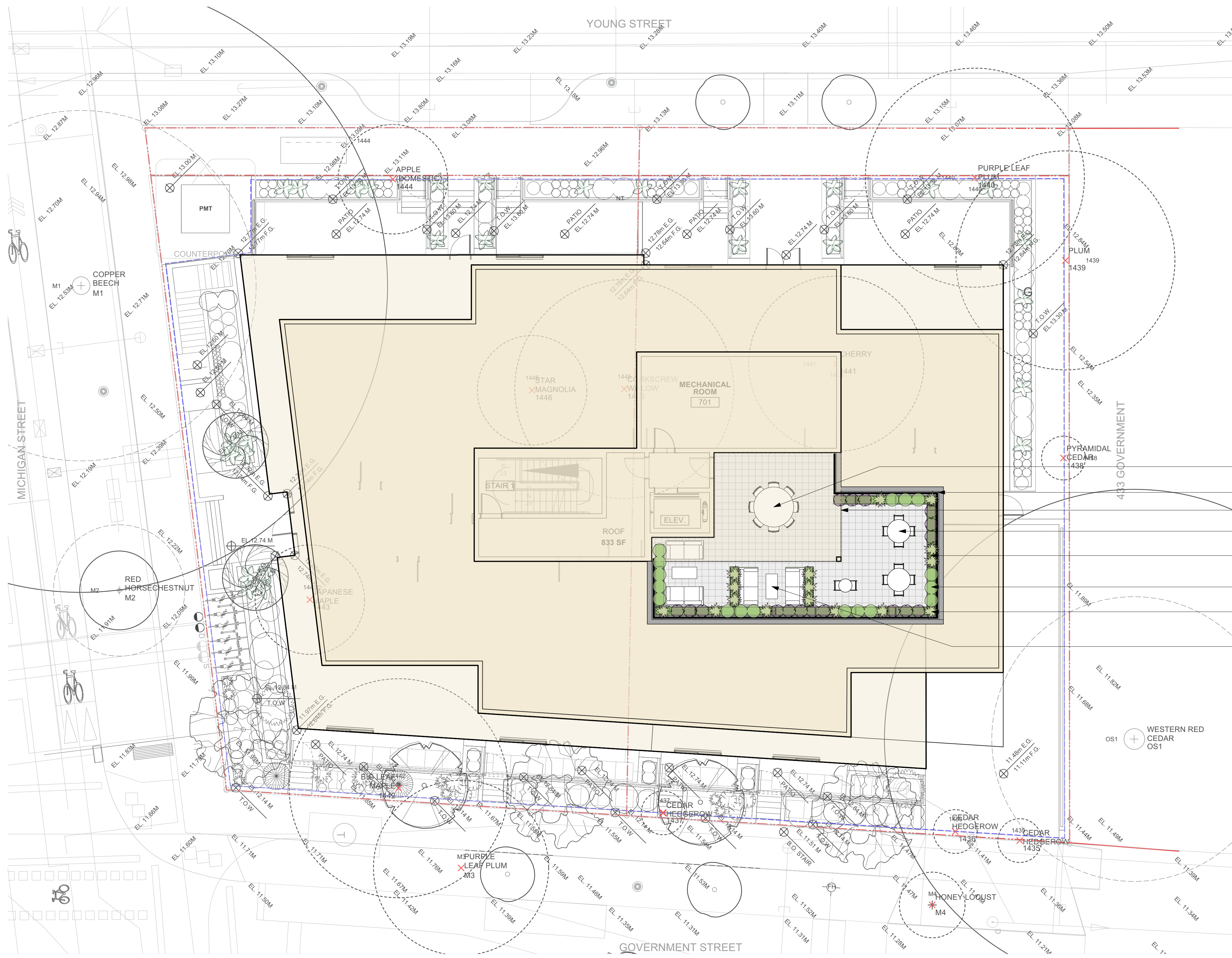


6 1.8m Ht Wood Privacy fence with 4x4 post
D2 Scale: 1:25

Rev. 07: Apr 17-26
Rev. 06: Mar 23-26
Rev. 05: Mar 11-26
Rev. 04: Apr 16-25
Rev. 03: Mar 14-25
Rev. 02: Dec 13-24
Rev. 01: Nov 18-24

L7/8

443 Government Street | Details 2



ROOF PLAN RECOMMENDED PLANT SPECIES LIST

Total: 50

Botanical Name	Common Name	Size
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
Gaultheria shallon	Salal	#1 pot
Lavandula stoechas 'Anouk'	Anouk Lavender	#1 pot

PLANTING IMAGES



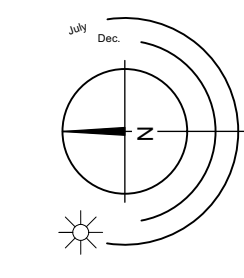
LANDSCAPE LEGEND

	Proposed Structure
	Concrete Slab Unit Pavers
	Planting Bed

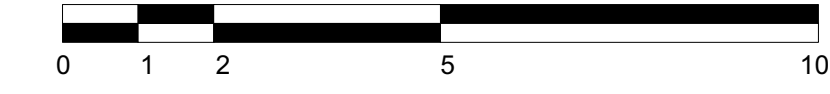


Partition Planter by C3 Planters

- Large Seating Area
- Railing, See Arch.
- Roof Overhang, See Arch.
- Medium / Small Seating Area
- (3) - L 1015mm (40") x W 405mm (16") x H 1065mm (42") Partition Planters by C3 Planters.
- (14) - L 1830mm (72") x W 405mm (16") x H 1065mm (42") Partition Planters by C3 Planters.
- Planters to have native & adaptive full sun, drought tolerant shrubs and perennials. Salal, Karl Foerster Feather Reed Grass, Anouk Lavender
- Lounge Area (typ.)



SCALE 1:100



443 Government Street | Roof Level

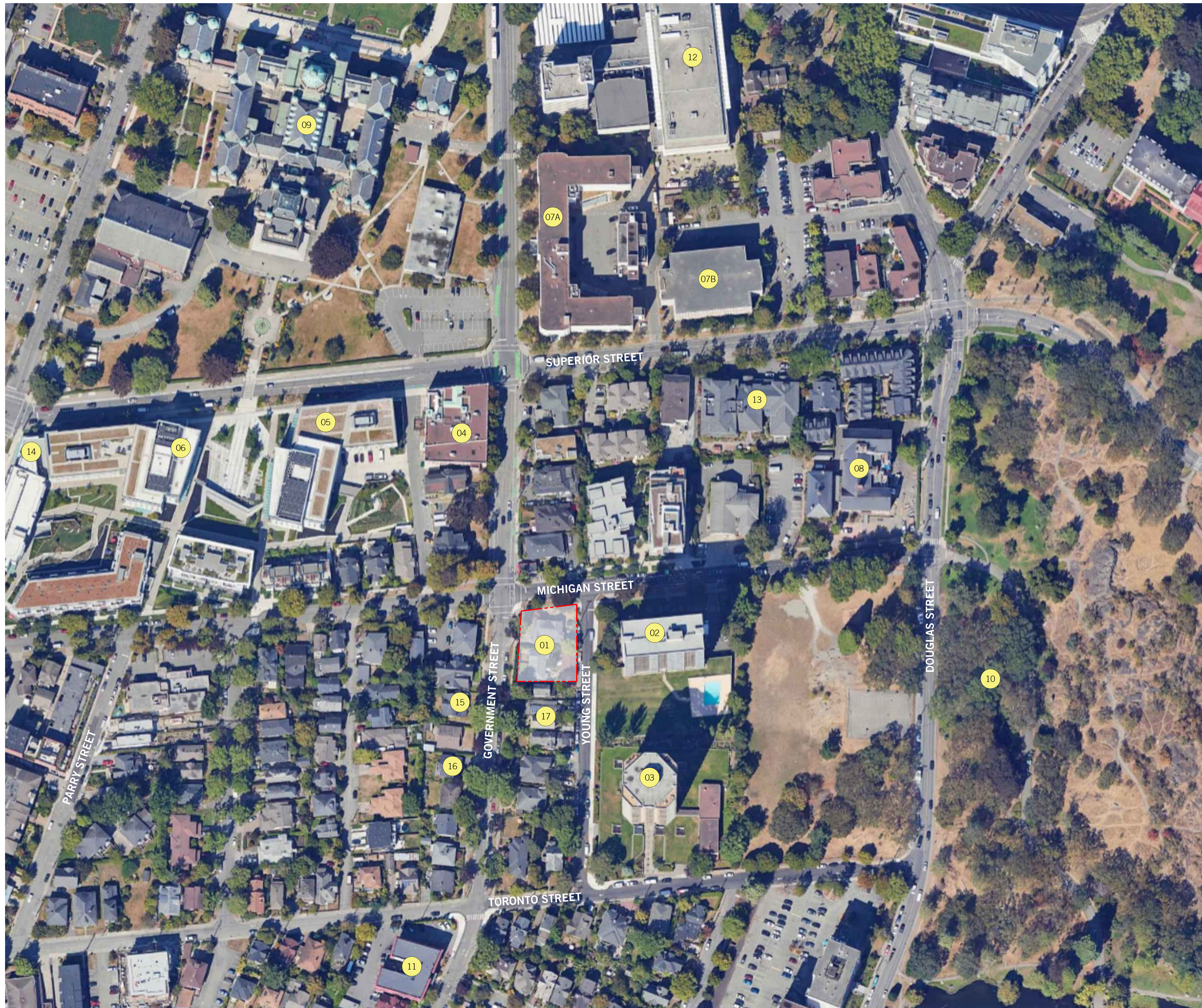
Rev. 07: Apr 17-26
 Rev. 06: Mar 23-26
 Rev. 05: Mar 11-26
 Rev. 04: Apr 16-25
 Rev. 03: Mar 14-25
 Rev. 02: Dec 13-24
 Rev. 01: Nov 18-24

L8/8



Project No: 2415 NOV-15-24

#3-864 Queens Ave. Victoria B.C. V8T 1M5
 Phone: (250) 598-0105 Fax: (250) 412-0696



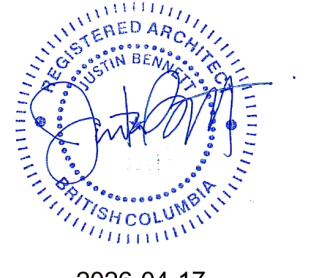
LEGEND

- 01 PROPOSED BUILDING
- 02 ORCHARD HOUSE - 22 STOREY RESIDENTIAL
- 03 ROBERTS HOUSE - 21 STOREY RESIDENTIAL
- 04 GOV. COMM. AND PUBLIC ENGAGEMENT
- 05 CANADIAN ARMED FORCES
- 06 BC MINISTRY OF ENVIRONMENT
- 07A DOUGLAS BUILDING
- 07B DOUGLAS BUILDING ANNEX - BC MINISTRY OF EDUCATION
- 08 SOUTH PARK FAMILY SCHOOL
- 09 LEGISLATIVE ASSEMBLY OF BC
- 10 BEACON HILL PARK
- 11 JAMES BAY INN
- 12 ROYAL BC MUSEUM
- 13 BEACON HILL VILLA
- 14 VICTORIA PUBLIC LIBRARY
- 15 432-34 GOVERNMENT STREET
- 16 424 GOVERNMENT STREET
- 17 433, 429, 427 GOVERNMENT STREET

OWNER / CLIENT



SEAL:



RZ	DATE	DESCRIPTION
RZ2	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE
 VANCOUVER 102-1698 WEST 1ST AVE
 VANCOUVER BC V6J 1G1
 T 604 603 1332
 VICTORIA 2822 PRIOR ST
 VICTORIA BC V8T 3Y3
 T 604 603 1332

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DATE:	2026-04-17	
PROJECT NO.:	2024-004	
ISSUE:		
SCALE:	1:100	
DRAWN BY:	BC	
CHECKED BY:	JB	TRUE

443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC
A011
 CONTEXT PLAN



- TREE LEGEND:**
- XXX EXISTING TREE TO BE REMOVED
 - XXX EXISTING TREE TO REMAIN
 - CRITICAL ROOT ZONE (CRZ)
 - PROPOSED NEW TREE
 - EXISTING POWER POLES

OWNER / CLIENT



SEAL:



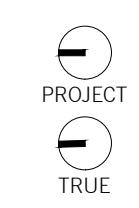
2026-04-17

RZ 2026 03 27 RE-ISSUED FOR REZONING
 RZ 2025 04 17 ISSUED FOR REZONING
 NO. DATE: DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE
 VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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DATE: 2026-04-17
 PROJECT NO.: 2024-004
 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB

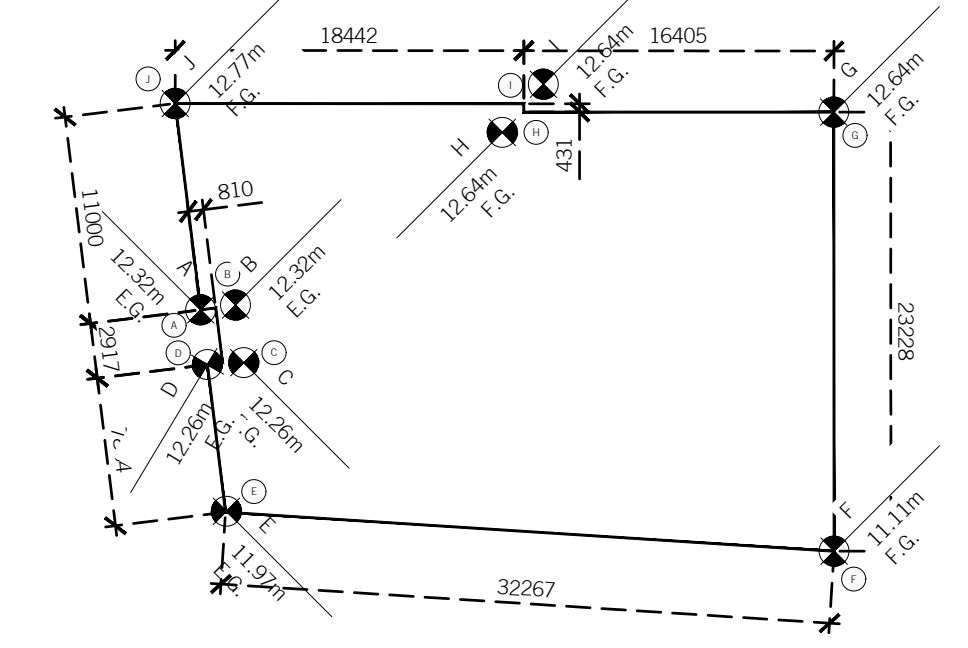


443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC
A012
 SITE PLAN

1 SITE PLAN
 A012 1:100

Point	Elevation	Points	Avg. of Points (M)	Distance Between Points (M)	Total	Grade= Total/Perimeter
A	12.32	A+B	12.32	0.810	9.98	
B	12.32	B+C	12.29	2.917	35.85	
C	12.26	C+D	12.26	0.810	9.93	
D	12.26	D+E	12.115	7.864	95.27	
E	11.97	E+F	11.94	32.267	372.36	
F	11.11	F+G	11.875	23.228	275.83	
G	12.64	G+H	12.64	16.405	207.36	
H	12.64	H+I	12.64	0.431	5.45	
I	12.64	I+J	12.705	18.442	234.31	
J	12.77	J+A	12.545	11.000	138.00	
				114.174	1384.33	12.125

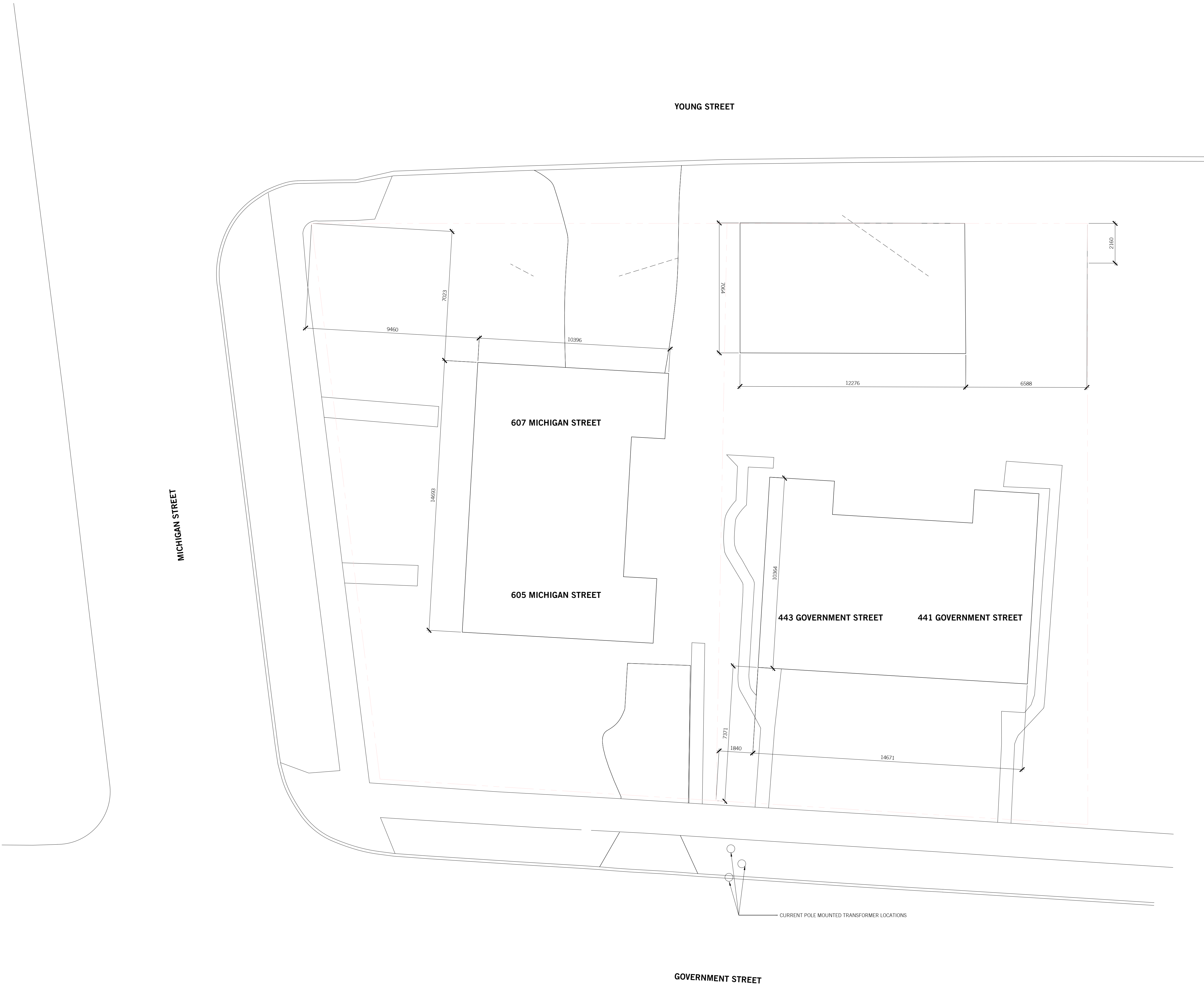
2 GRADE CALCULATION
 A012 1:400



3 BIKE STALLS
 A012 1:100

1:400

1:100



TREE LEGEND:

- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- CRITICAL ROOT ZONE (CRZ)
- PROPOSED NEW TREE
- EXISTING POWER POLES

OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

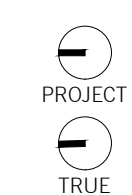
UWA
URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A013

EXISTING SITE PLAN



647 MICHIGAN ST

YOUNG STREET
SIDEWALK

443 GOVERNMENT STREET

GOVERNMENT STREET
SIDEWALK

GOVERNMENT STREET
SIDEWALK

595 MICHIGAN ST

585 MICHIGAN ST

573/579 MICHIGAN ST

HEATHER ST

2 MICHIGAN STREET ELEVATION

A020 1:250



505 GOV. ST

501/503 GOV. ST

SIDEWALK

SIDEWALK

443 GOVERNMENT STREET

433 GOV. ST.

431 GOV. ST.

431 GOV. ST.

431 GOV. ST.

MICHIGAN STREET

1 GOVERNMENT STREET ELEVATION

A020 1:250

OWNER / CLIENT



SEAL:



2026-04-17

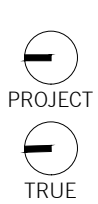
NO.	DATE	DESCRIPTION
RZ2	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

DATE:	2026-04-17
PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:250
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A020
STREET ELEVATIONS

STREET ELEVATIONS



1 VIEW FROM CORNER OF MICHIGAN ST. AND GOVERNMENT ST.

A030

OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
BZ	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1698 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
 VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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DATE: 2026-04-17
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 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A030

PROJECT IMAGES



1 VIEW TO FRONT ENTRY ALONG MICHIGAN ST.

A031

OWNER / CLIENT



SEAL:



2026-04-17

RZ: 2026 03 27 RE-ISSUED FOR REZONING
 RZ: 2025 04 17 ISSUED FOR REZONING
 NO. DATE: DESCRIPTION:

UWA

URBAN WEST ARCHITECTURE

VANCOUVER
 102-1688 WEST 1ST AVE
 VANCOUVER BC V6J 1G1
 T 604 603 1332

VICTORIA
 2822 PRIOR ST
 VICTORIA BC V8T 3Y3
 T 604 603 1332

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 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A031

PROJECT IMAGES



1 VIEW ALONG GOVERNMENT STREET

A032

OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
B22	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING

UWA

URBAN WEST ARCHITECTURE

VANCOUVER 102-1698 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332

VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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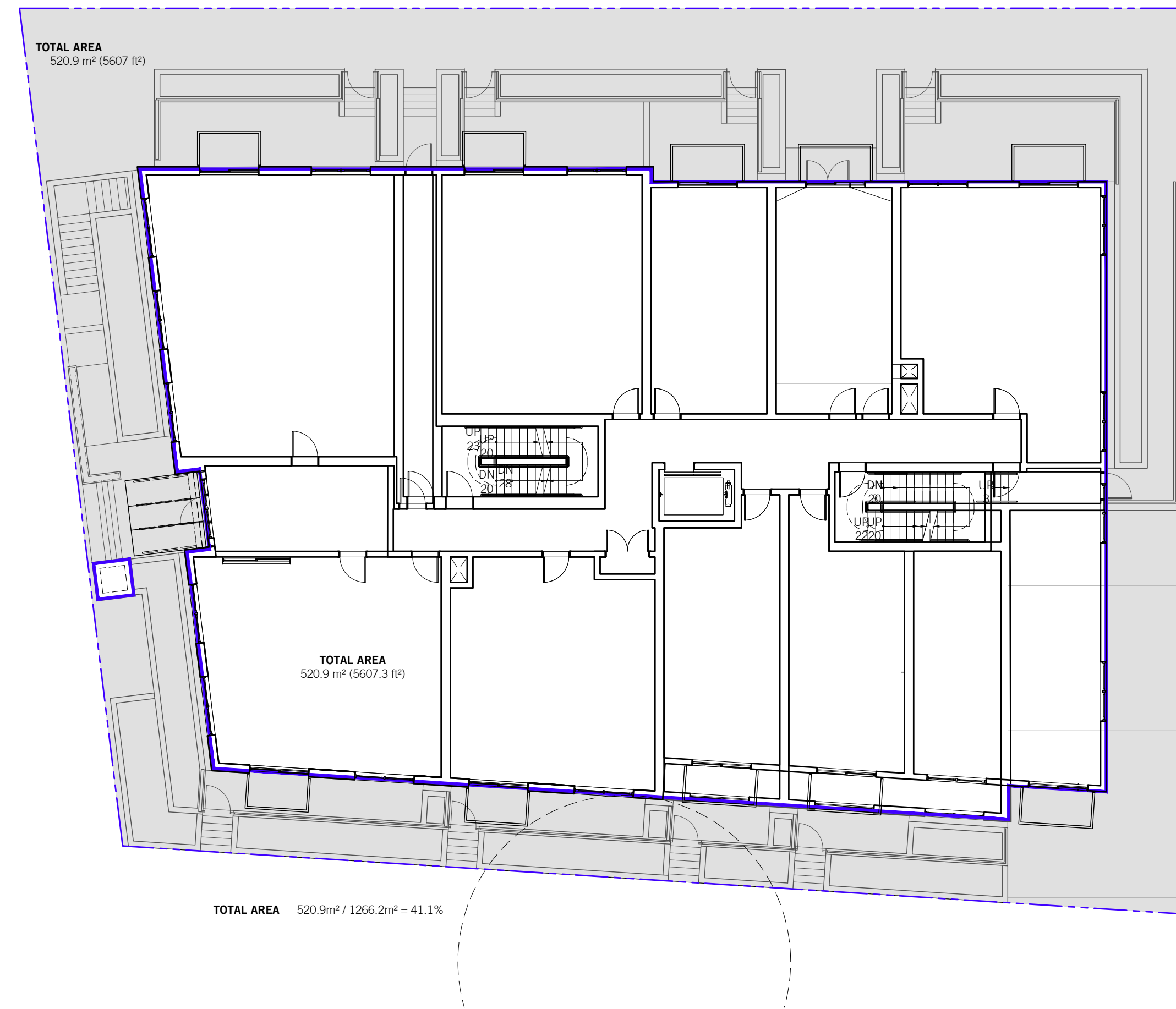
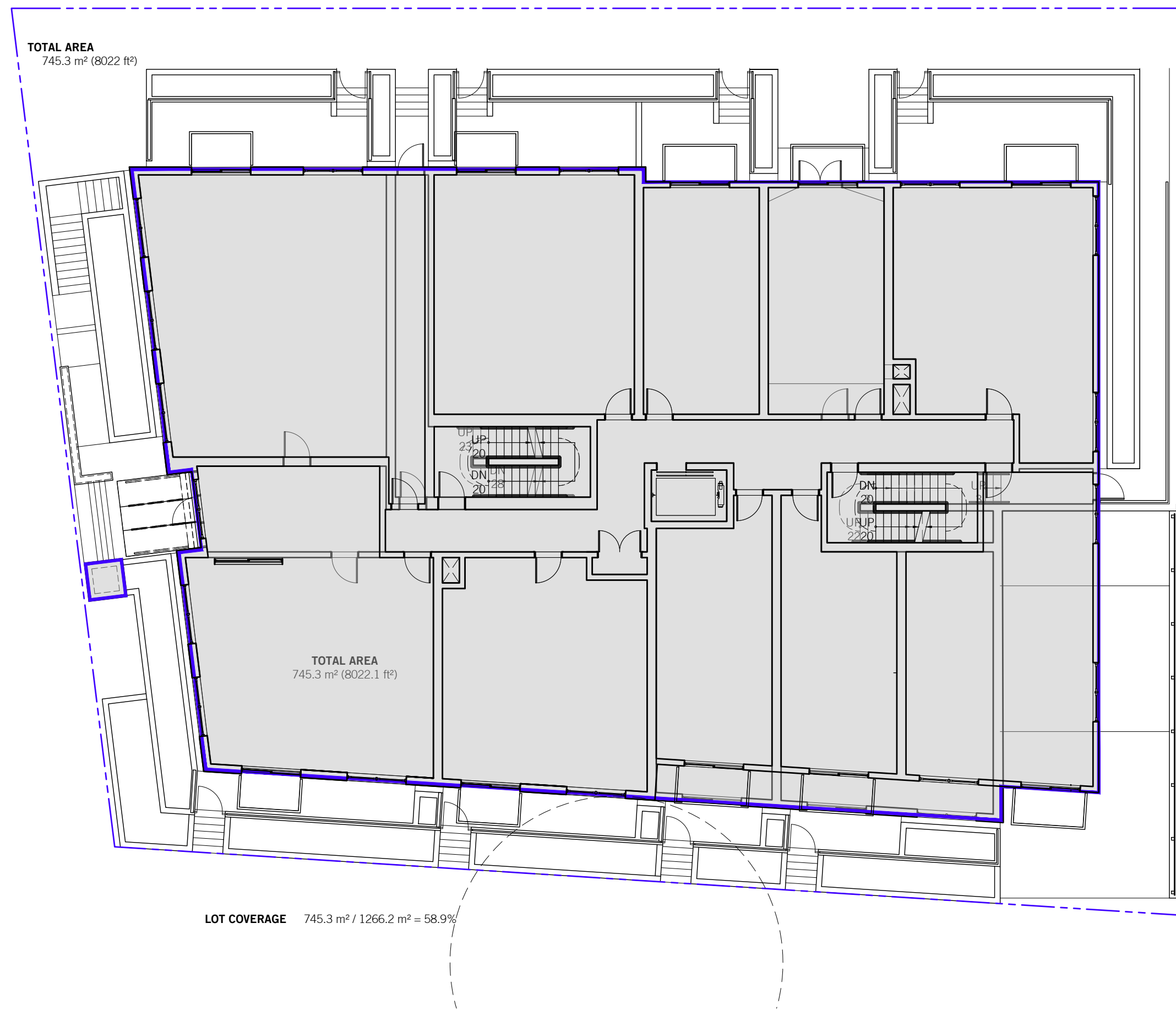
DATE: 2026-04-17
 PROJECT NO.: 2024-004
 ISSUE:
 SCALE: 1:100
 DRAWN BY: BC
 CHECKED BY: JB



443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC

A032

PROJECT IMAGES



OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
RZ2	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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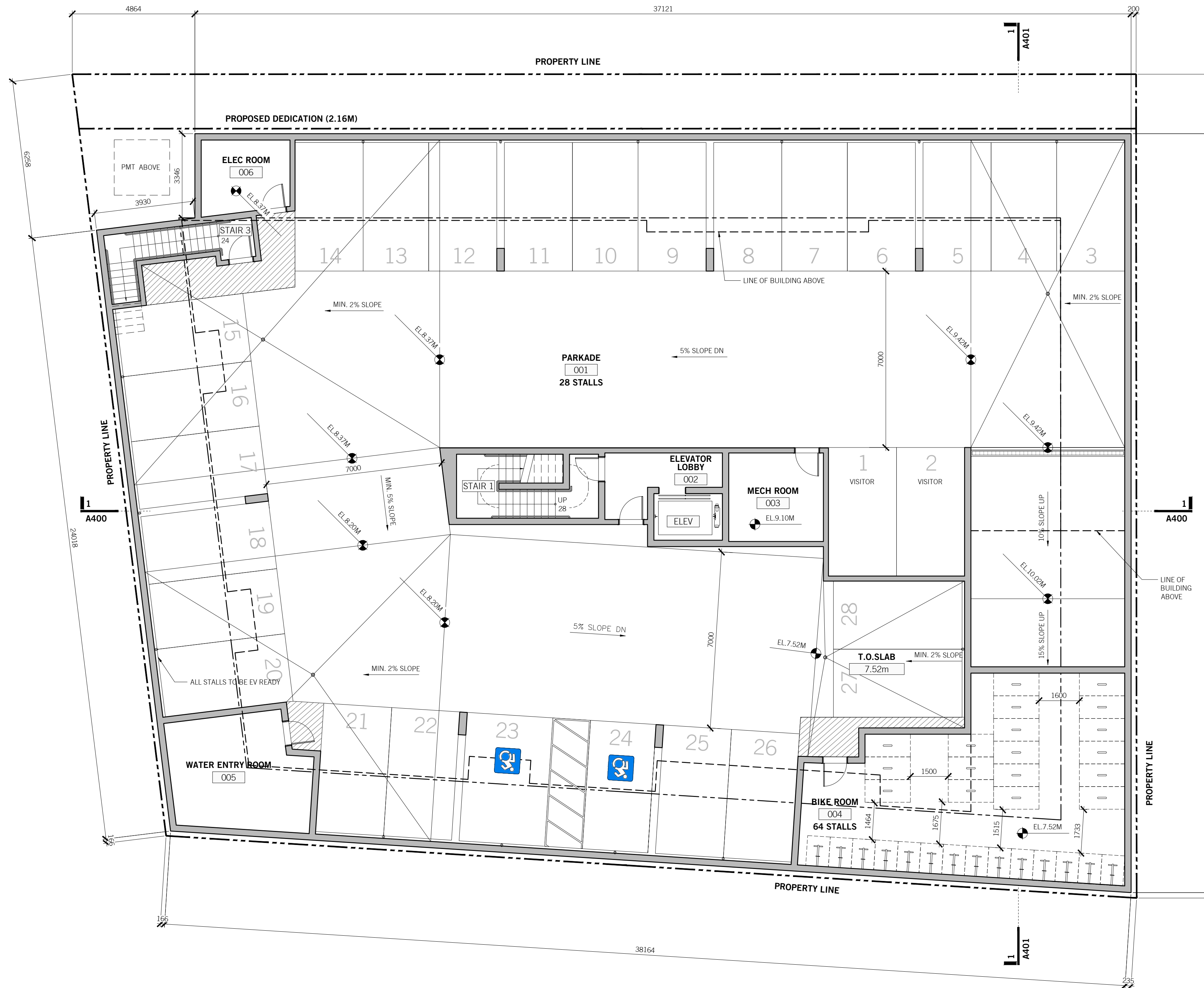
DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

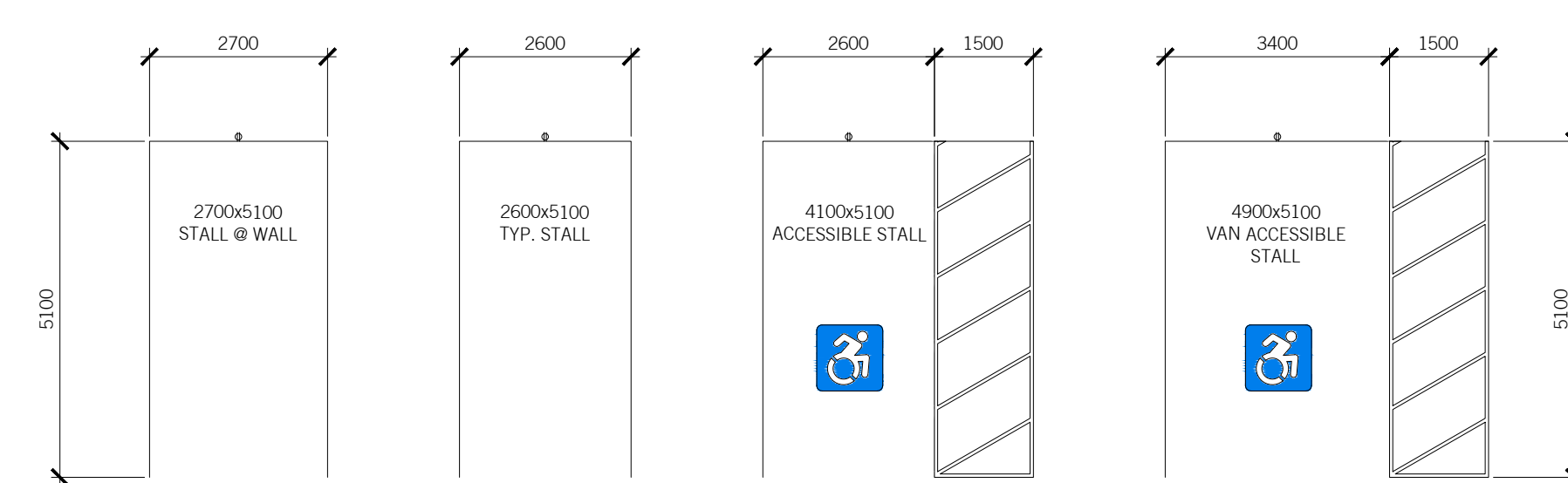
A040

LOT COVERAGE &
OPEN SITE SPACE



1 LEVEL P1 FLOOR PLAN
A200 1:100

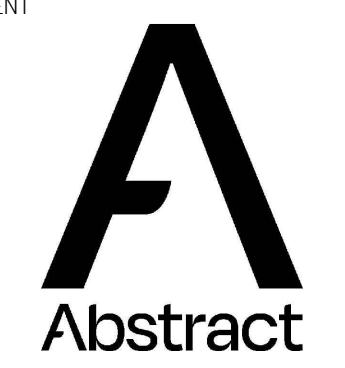
2 TYP. PARKING STALLS
A200 1:100



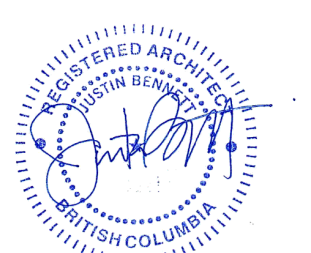
CLASS J HORIZONTAL STALL
1.8m X 0.9m
*PROVIDE MIN. ONE ELECTRICAL
RECEPTACLE PER CLASS A
BICYCLE STALLS, TYP.

CLASS J VERTICAL STALL
1.2m X 0.9m
NOTE: BICYCLE SPACE RACKS
SHALL SUPPORT THE BICYCLE
WITHOUT THE BICYCLE BEING
SUSPENDED ON THE WHEELS
*PROVIDE MIN. ONE ELECTRICAL
RECEPTACLE PER CLASS A
BICYCLE STALLS, TYP.

OWNER / CLIENT



SEAL:



2026-04-17

R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING
NO.	DATE:	DESCRIPTION:

UWA

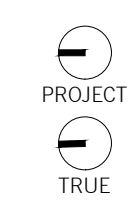
URBAN WEST ARCHITECTURE

VANCOUVER
102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA
2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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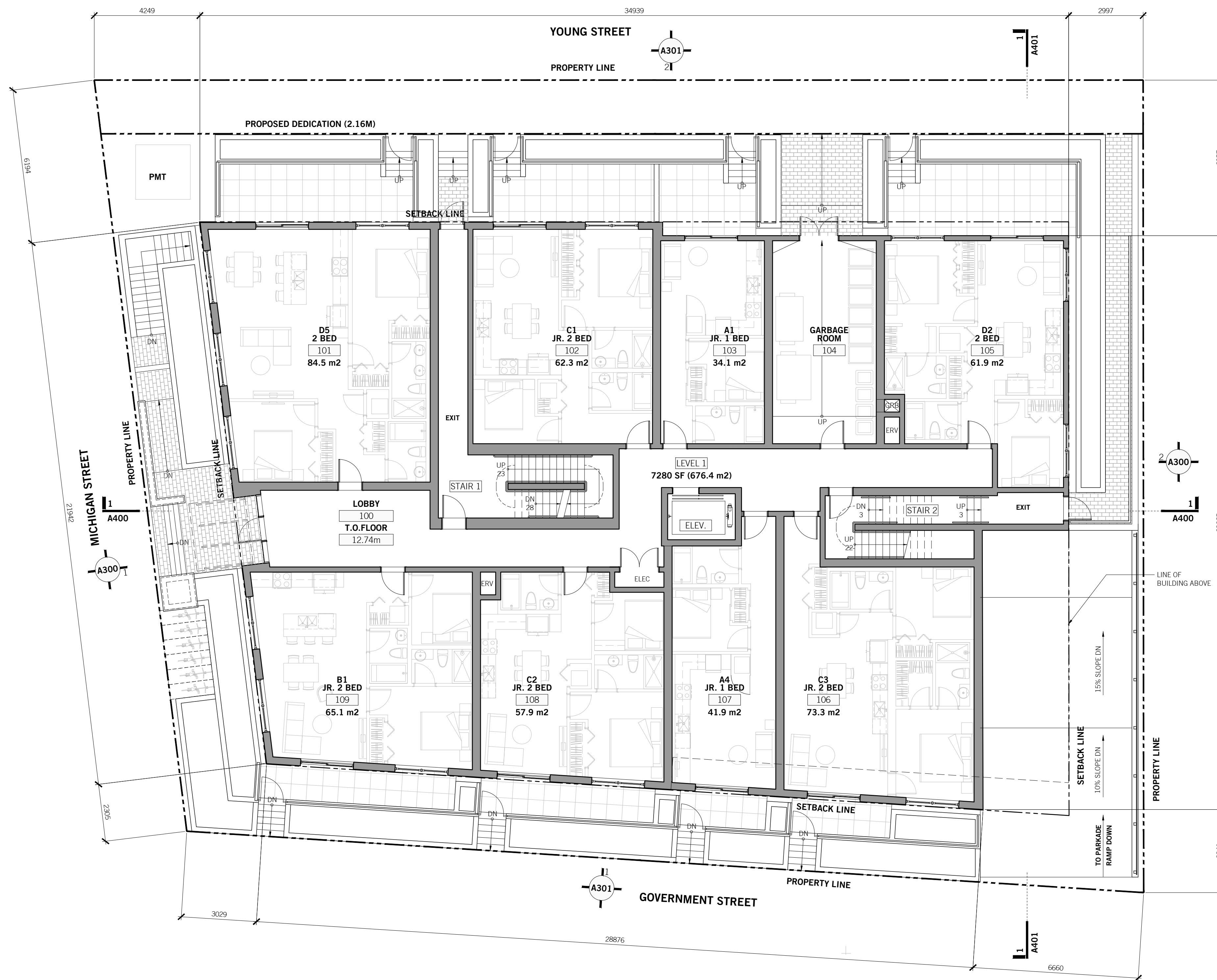
DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A200

LEVEL P1 FLOOR PLAN



OWNER / CLIENT



SEAL:



2026-04-17

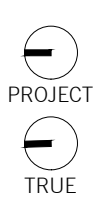
R22: 2026 03 27 RE-ISSUED FOR REZONING
RZ: 2025 04 17 ISSUED FOR REZONING
NO. DATE: DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

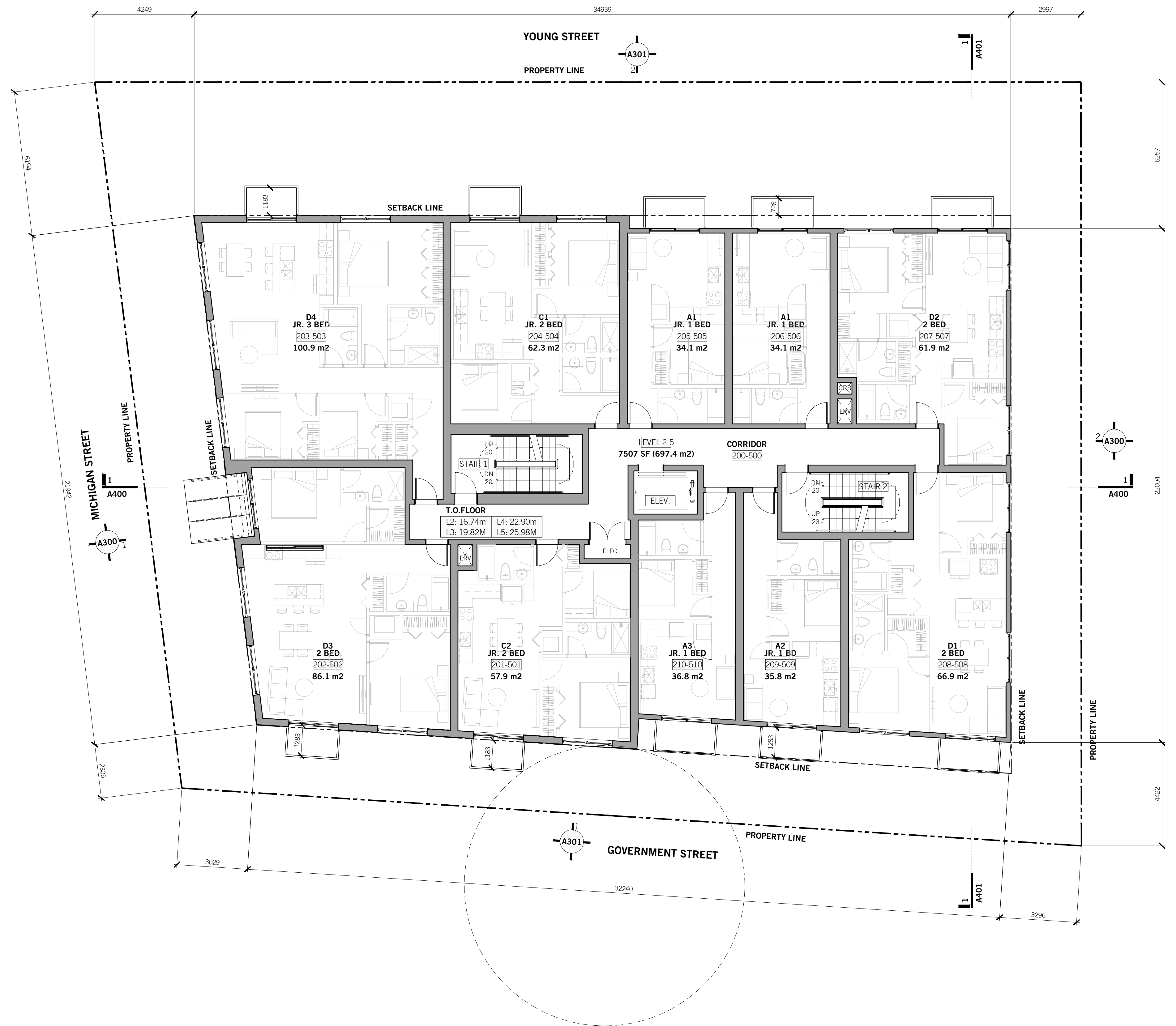
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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

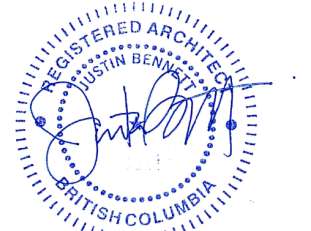
A201
LEVEL 1 FLOOR PLAN



OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA

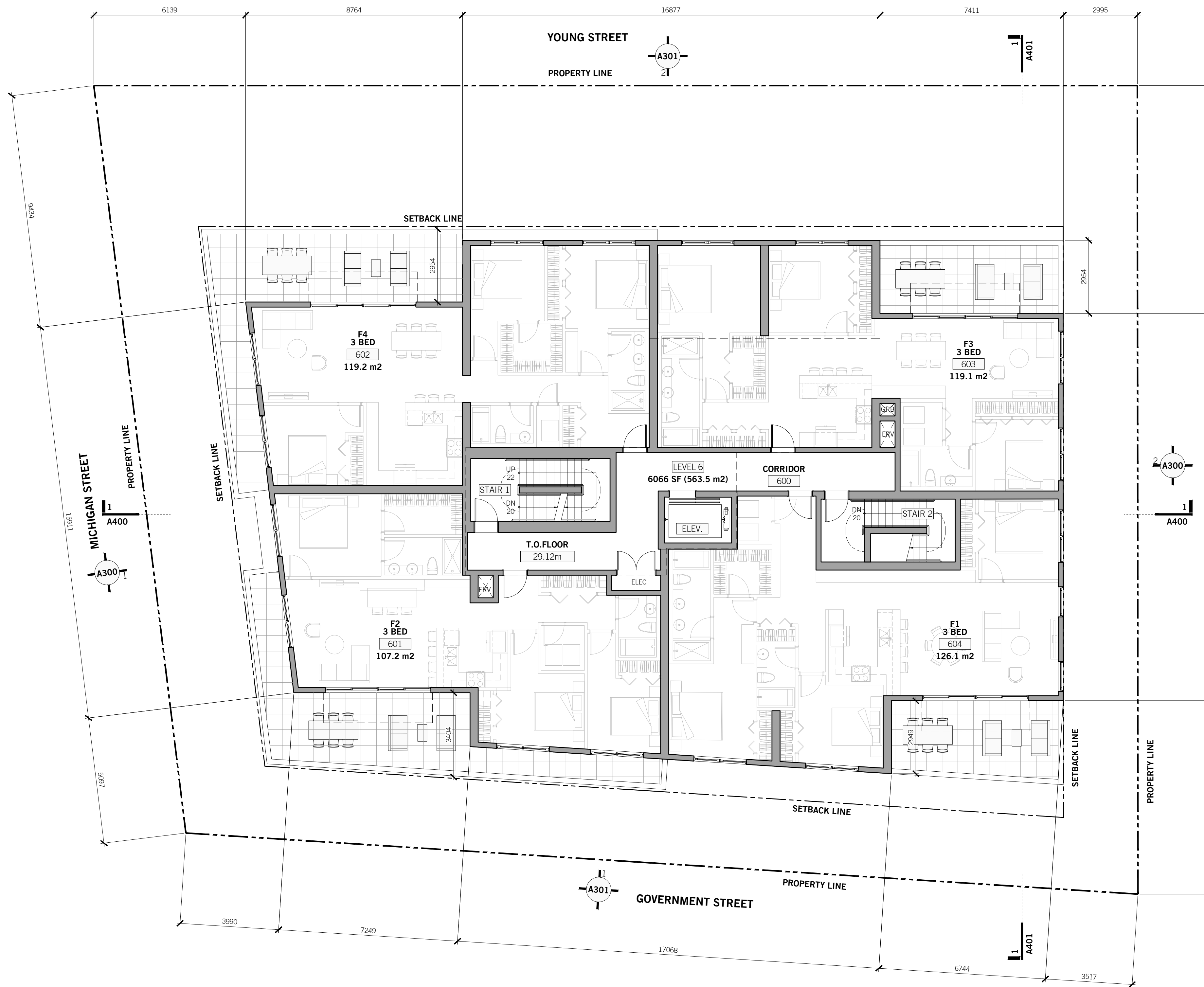
URBAN WEST ARCHITECTURE

VANCOUVER: 102-1688 WEST 1ST AVE, VANCOUVER BC V6J 1G1, T 604 603 1332
 VICTORIA: 2822 PRIOR ST, VICTORIA BC V8T 3Y3, T 604 603 1332

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DATE:	2026-04-17	PROJECT TRUE
PROJECT NO.:	2024-004	
ISSUE:		
SCALE:	1:100	
CHECKED BY:	JB	

443 GOVERNMENT
 443 GOVERNMENT STREET
 VICTORIA, BC
A202
 LEVEL 2-5 FLOOR PLAN



OWNER / CLIENT



SEAL:



2026-04-17

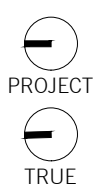
RZ	DATE	DESCRIPTION
RZ	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE VANCOUVER BC V6J 1G1 T 604 603 1332
VICTORIA 2822 PRIOR ST VICTORIA BC V8T 3Y3 T 604 603 1332

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PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:100
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A203
LEVEL 6 FLOOR PLAN

MATERIAL LEGEND

- 01 BRICK CLADDING
COLOUR: OFF-WHITE
- 02 BRICK CLADDING
COLOUR: MEDIUM / DARK GREY
- 03 PAINTED VERTICAL SHIPLAP SIDING
(HARDIE ARTISAN) 9" EXPOSURE
COLOUR: OFF-WHITE
- 04 PAINTED FIBRE CEMENT PANEL
(HARDIE PANEL)
COLOUR: OFF-WHITE
- 05 DELETED
- 06 VINYL WINDOW & DOOR:
COLOUR: DARK GREY
- 07 ALUMINUM PICKET GUARDRAIL
COLOUR: DARK GREY
- 08 ALUMINUM AND GLASS
GUARDRAIL FRAME
COLOUR: DARK GREY
GLASS: CLEAR WITH FROSTED
BALCONY FASCIA
- 09 STEEL & GLASS ENTRY CANOPY
COLOUR: DARK GREY
- 10 ARCHITECTURAL CONCRETE
- 11 ALUMINUM WINDBREAK FRAME
WITH GLASS INFILL
COLOUR: DARK GREY
GLASS: CLEAR
- 12 GLASS CANOPY WITH CABLE STAYS
COLOUR: CLEAR

OWNER / CLIENT



SEAL:



2026-04-17

RZ	DATE	DESCRIPTION
R22	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING

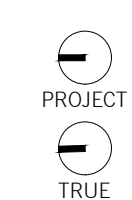
UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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PROJECT NO.:	2024-004
ISSUE:	
SCALE:	1:100
DRAWN BY:	BC
CHECKED BY:	JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A300
ELEVATIONS



1 NORTH ELEVATION (MICHIGAN ST.)

A300 1:100



2 SOUTH ELEVATION

A300 1:100

MATERIAL LEGEND

- 01 BRICK CLADDING
COLOUR: OFF-WHITE
- 02 BRICK CLADDING
COLOUR: MEDIUM / DARK GREY
- 03 PAINTED VERTICAL SHIPLAP SIDING
(HARDIE ARTISAN) 9" EXPOSURE
COLOUR: OFF-WHITE
- 04 PAINTED FIBRE CEMENT PANEL
(HARDIE PANEL)
COLOUR: OFF-WHITE
- 05 DELETED
- 06 VINYL WINDOW & DOOR:
COLOUR: DARK GREY
- 07 ALUMINUM PICKET GUARDRAIL
COLOUR: DARK GREY
- 08 ALUMINUM AND GLASS
GUARDRAIL FRAME
COLOUR: DARK GREY
GLASS: CLEAR WITH FROSTED
BALCONY FASCIA
- 09 STEEL & GLASS ENTRY CANOPY
COLOUR: DARK GREY
- 10 ARCHITECTURAL CONCRETE
- 11 ALUMINUM WINDBREAK FRAME
WITH GLASS INFILL
COLOUR: DARK GREY
GLASS: CLEAR
- 12 GLASS CANOPY WITH CABLE STAYS
COLOUR: CLEAR

OWNER / CLIENT



SEAL:



2026-04-17

NO.	DATE	DESCRIPTION
R22	2026-03-27	RE-ISSUED FOR REZONING
RZ	2025-04-17	ISSUED FOR REZONING

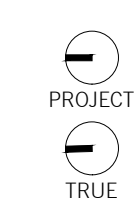
UWA
URBAN WEST ARCHITECTURE

VANCOUVER 102-1688 WEST 1ST AVE
VANCOUVER BC V6J 1G1
T 604 603 1332

VICTORIA 2822 PRIOR ST
VICTORIA BC V8T 3Y3
T 604 603 1332

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DATE: 2026-04-17
PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
DRAWN BY: BC
CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A301
ELEVATIONS



1 WEST ELEVATION (GOVERNMENT ST.)

A301 1:100



2 EAST ELEVATION (YOUNG ST.)

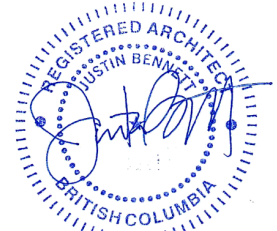
A301 1:100



OWNER / CLIENT



SEAL:



2026-04-17

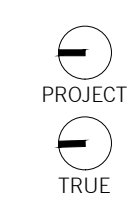
R22 2026 03 27 RE-ISSUED FOR REZONING
RZ 2025 04 17 ISSUED FOR REZONING
NO. DATE DESCRIPTION:

UWA
URBAN WEST ARCHITECTURE

VANCOUVER VICTORIA
102-1688 WEST 1ST AVE 2822 PRIOR ST
VANCOUVER BC V6J 1G1 VICTORIA BC V8T 3Y3
T 604 603 1332 T 604 603 1332

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PROJECT NO.: 2024-004
ISSUE:
SCALE: 1:100
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CHECKED BY: JB



443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A400
SECTIONS



OWNER / CLIENT



SEAL:



2026-04-17

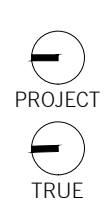
RZ	DATE	DESCRIPTION
R22	2026 03 27	RE-ISSUED FOR REZONING
RZ	2025 04 17	ISSUED FOR REZONING

UWA
URBAN WEST ARCHITECTURE

VANCOUVER VICTORIA
102-1688 WEST 1ST AVE 2822 PRIOR ST
VANCOUVER BC V6J 1G1 VICTORIA BC V8T 3Y3
T 604 603 1332 T 604 603 1332

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443 GOVERNMENT
443 GOVERNMENT STREET
VICTORIA, BC

A401
SECTIONS