




DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2025.01.03



Revisions
Bubbled areas indicate revisions compared to the previously submitted plans
Received Date
February 4, 2025

Design Team

CLIENT: BC Housing Sean Rorison PHONE: N/A EMAIL: srorison@bchousing.org	ARCHITECT: S2 Architecture Michael Defina PHONE: 403.670.7000 EMAIL: m.defina@s2architecture.com	LANDSCAPE: WSP Michael Holm PHONE: 604.631.9637 EMAIL: michael.holm@wsp.com	CIVIL: Lawson Engineering & Development Stuart Purves PHONE: 250.832.3220 EMAIL: stuart@lawsondevelopments.com	ELECTRICAL: HPF Engineering Neil Rogers PHONE: 250.828.7992 EMAIL: neal@hpfengineering.com	MECHANICAL: Falcon Engineering Loic Letailleur PHONE: 778.313.0407 EMAIL: loic.letailleur@falcon.ca
---	---	--	---	---	--



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

COVER SHEET

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22 | 243

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

SCALE	1/3/2025 2:47:07 PM
DATE	MD/AN/KM
DRAWN BY	CZ
CHECKED BY	

DRAWING NO.

DP0.0

C:\Revit\Projects\22\243-A-Base_c.plt\m0001.rvt



Drawing List

DP0.0	COVER SHEET
DP0.1	PROJECT STATISTICS & SITE PHOTOS
DP0.3	SITE SURVEY
DP1.0	SITE PLAN
DP1.1	W&R ACCESS AND FIRE CONNECTION PLAN
DP1.2	ENLARGED W&R
DP1.4	SHADOW STUDY
DP2.0	LEVEL 1 & 2 FLOOR PLANS
DP2.1	LEVEL 3 & 4 FLOOR PLANS
DP2.2	LEVEL 5 & 6 FLOOR PLANS
DP2.3	LEVEL 7 & 8 FLOOR PLANS
DP2.4	ROOF PLAN
DP2.5	UNIT PLANS
DP4.0	BUILDING ELEVATIONS
DP4.1	BUILDING ELEVATIONS
DP5.0	BUILDING SECTIONS
DP5.1	BUILDING SECTIONS
C000	TITLE
C101	SITE SERVICING PLAN
C102	SITE GRADING PLAN
C103	STORMWATER MANAGEMENT PLAN
C201	OFFSITE SURFACE WORKS, LINE PAINTING & SIGN LAYOUT PLAN
C501	GENERAL NOTES & DETAILS
L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLAN
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAILS
L-08	FENCING DETAILS

Municipal Address

722 and 726 DISCOVERY STREET
VICTORIA, B.C.
CANADA

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING
PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA: 1,348.6m² (0.33 ac)
PROPOSED BUILDING FOOTPRINT: 573.00 m²
PROPOSED BICYCLE ENCLOSURE: 62.00 m²
TOTAL FOOTPRINT: 635.00m²

Site Coverage

SITE AREA: 1,348.6m² (0.33 ac)
SITE COVERAGE: 613.00m² (45.4%)
OPEN SITE SPACE: 735.6m² (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACKS:
FRONT (DISCOVERY STREET): 10.0m
REAR (NORTH): 4.0m
SIDE (EAST): 2.5m
SIDE (WEST): 3.0m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING)
BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE:
BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m
MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:
• PARAPETS: 1.0m
• ROOFTOP STRUCTURES: 5.0m
PROPOSED BUILDING HEIGHT: +/-27.0m
PROPOSED PARAPET HEIGHT: +/-1.0m
PROPOSED ROOFTOP STRUCTURE HEIGHT: +/-2.1m
TOTAL PROPOSED BUILDING HEIGHT: 30.27m

Floor Space Ratio

MAXIMUM PERMITTED F.S.R.	PROPOSED F.S.R.
3.5	3.47

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,680

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME	UNIT TYPE	UNIT AREA	QUANTITY	% OF TOTAL
A1/A2	STUDIO	33-36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL			90	100.0%

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	UNIT COUNT	AREA (m2)	FACTOR	REQUIRED	PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m2	1	0
TOTAL PARKING				28	0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPORTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIAL - LONG TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90		1 PER UNIT	90	30

NOTE: LONG TERM PARKING COUNT INCLUDES:
25 WALL MOUNTED BIKE STALLS
5 FLOOR MOUNTED BIKE STALLS

RESIDENTIAL - SHORT TERM PARKING					
DESCRIPTION	UNIT COUNT	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90		0.1	9	9

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

- 4yd³ WASTE BIN
- 4yd³ RECYCLE BIN
- TWO 189L ORGANICS BINS

NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West
DP0.1



2 Looking North
DP0.1



3 Looking North-East
DP0.1



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

PROJECT STATISTICS & SITE PHOTOS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22 | 243

NOT FOR
CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

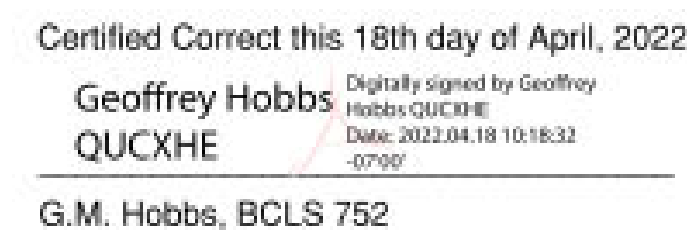
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

SCALE 1 : 50
DATE 1/3/2025 2:47:23 PM
DRAWN BY MO/AN/KM
CHECKED BY CZ

DRAWING NO.

DP0.1



SITE SURVEY

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.

BC HOUSING

22/12/24

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	1 : 1
DATE	1/3/2025 2:47:26 PM
DRAWN BY	MD/AN
CHECKED BY	CZ

DRAWING NO.

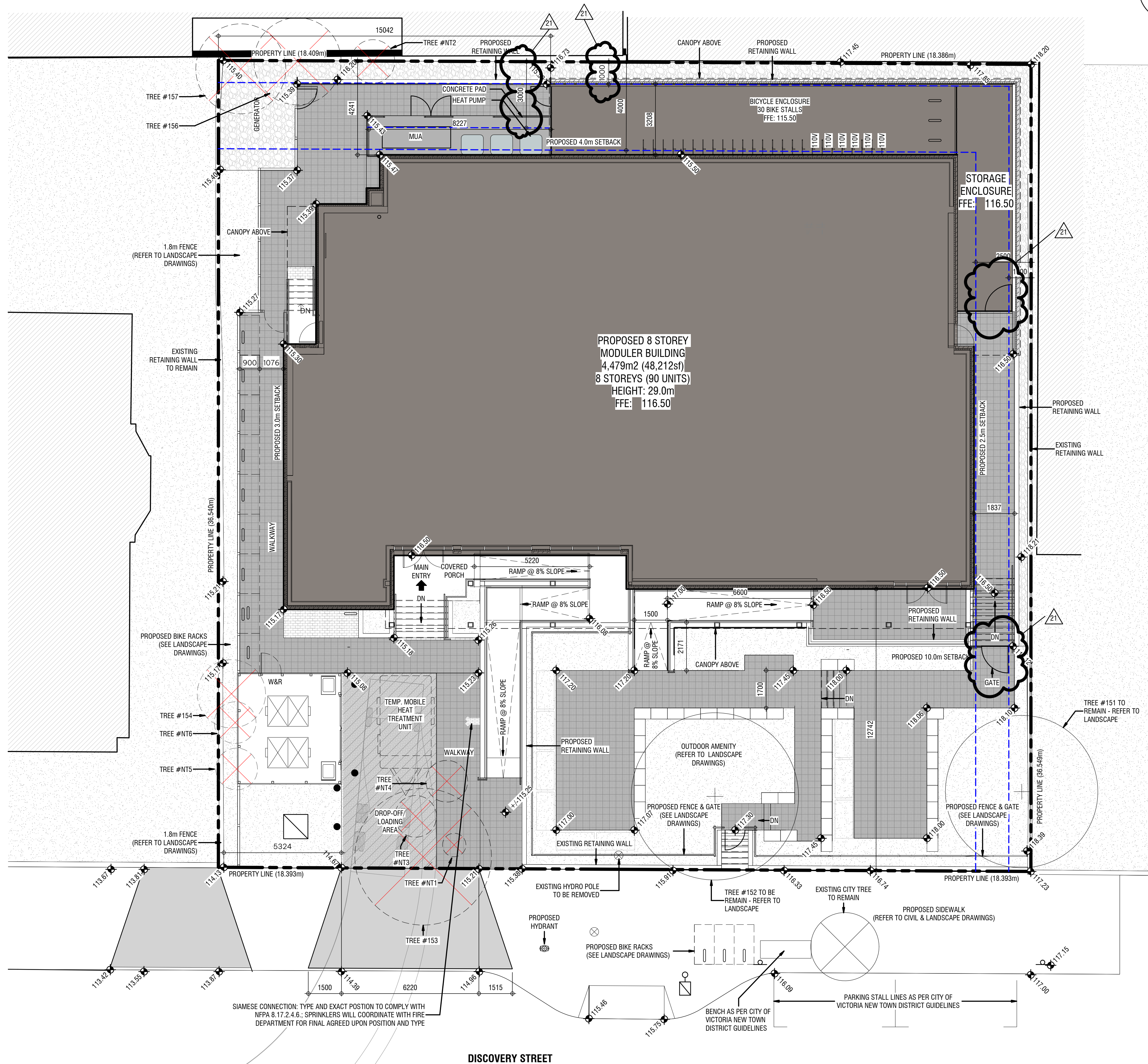
DP0.3

Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

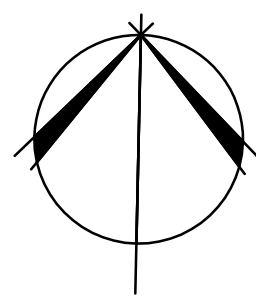
Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



1 Site Plan

DPI.O SCALE: 1:100



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.1000
www.s2architecture.com

SITE PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

SCALE As Indicated
DATE 1/21/2025 11:41:58 AM
DRAWN BY MD/AN/KM
CHECKED BY CZ

DRAWING NO.

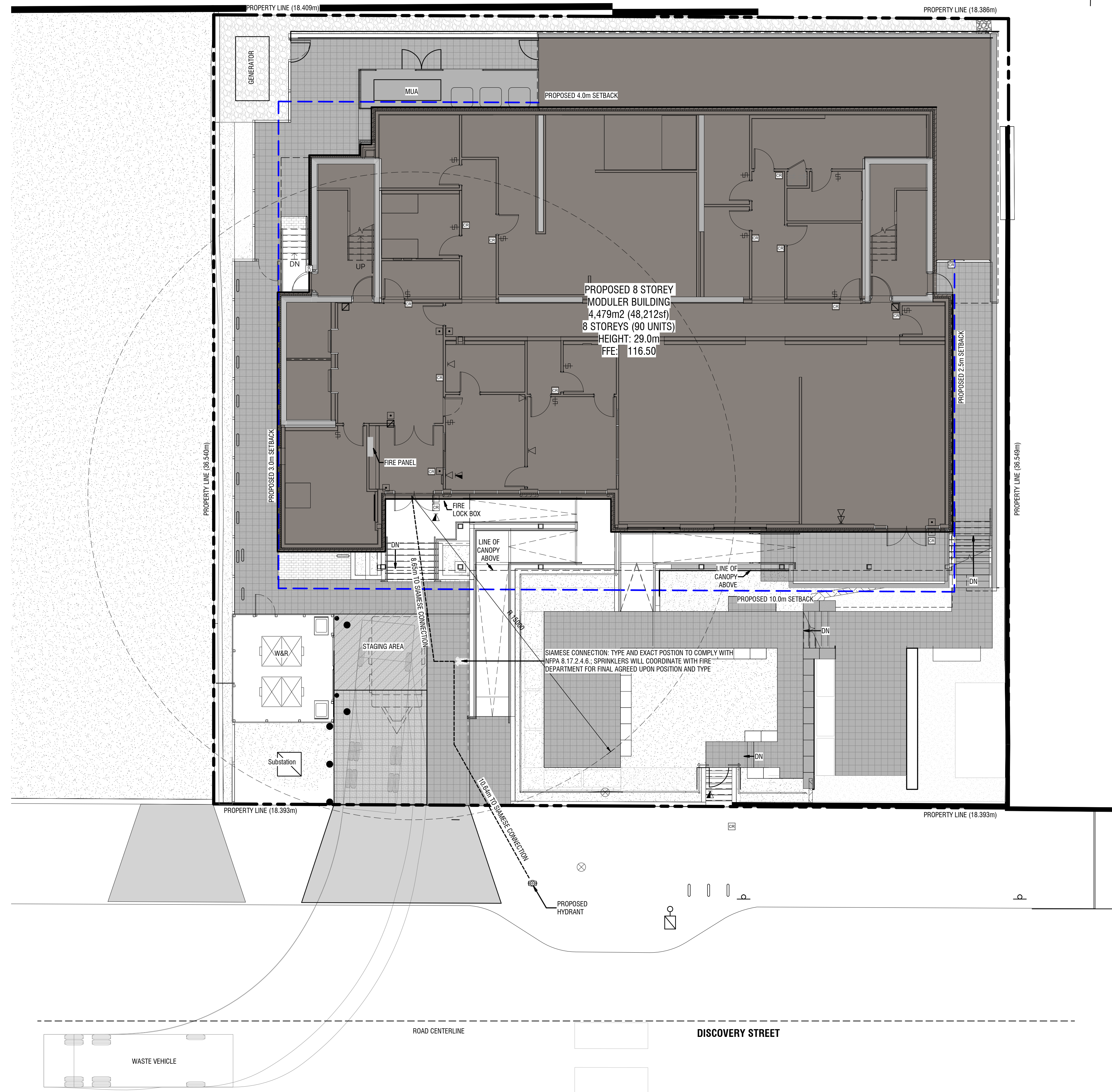
DP1.0

Site Plan - General Notes

1. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES

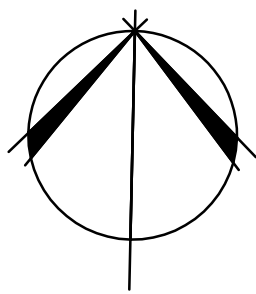
Site Plan - Symbol Legend

- INDICATES EXTENT AND LOCATION OF PROPOSED BUILDING
- INDICATES EXTENT AND LOCATION OF CONCRETE
- INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY
- INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE
- INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA - REFER TO LANDSCAPING
- INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY)
- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)
- INDICATES LINE OF FENCE
- INDICATES LOCATION OF PROPOSED FIRE HYDRANT
- INDICATES LOCATION OF BUILDING SIAMESE CONNECTION
- INDICATES LOCATION OF PROPOSED TRANSFORMER / PEDESTAL
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF EXISTING LIGHT STANDARD
- INDICATES LOCATION OF PROPOSED POWER POLE
- INDICATES LOCATION OF EXISTING POWER POLE
- INDICATES LOCATION OF PROPOSED GUARD BOLLARD
- INDICATES LOCATION OF BIKE RACK
- INDICATES NO PARKING SIGN
- INDICATES EXISTING GEODETIC SPOT ELEVATION
- INDICATES PROPOSED GEODETIC SPOT ELEVATION
- INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS



1 Site Access Plan

DP1.1 SCALE: 1:100



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

W&R ACCESS AND FIRE CONNECTION PLAN

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
6 RE-ISSUED FOR DEVELOPMENT PERMIT	09.18.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE	As Indicated
DATE	1/3/2025 2:47:54 PM
DRAWN BY	MO/AN/KM
CHECKED BY	CZ

DRAWING NO.	DP1.1
-------------	-------



DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221 1243

This drawing supercedes previous issues. Do not scale these drawings.

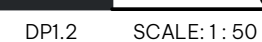
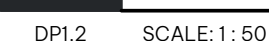
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

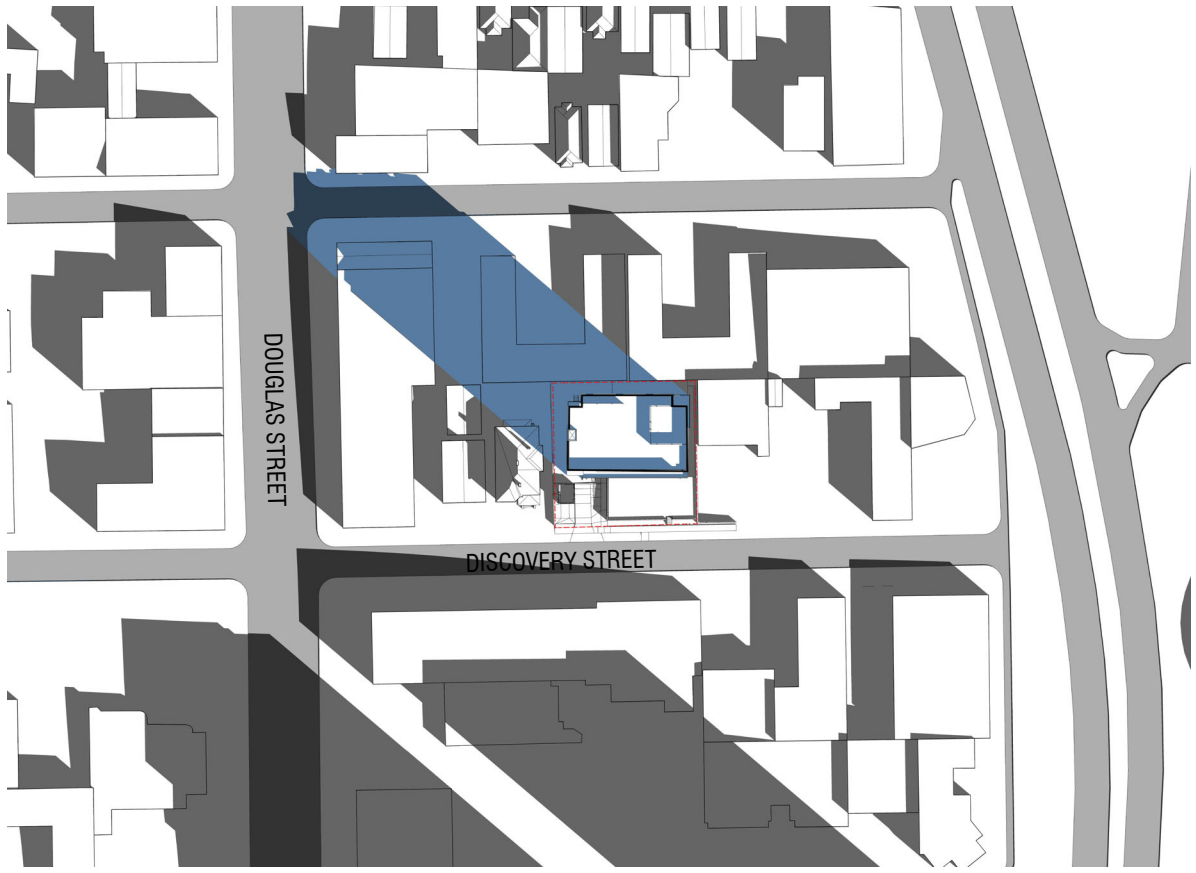
SCALE	1 : 50
DATE	1/3/2025 3:12:48 PM
DRAWN BY	MD/KM
CHECKED BY	CZ

DRAWING NO.

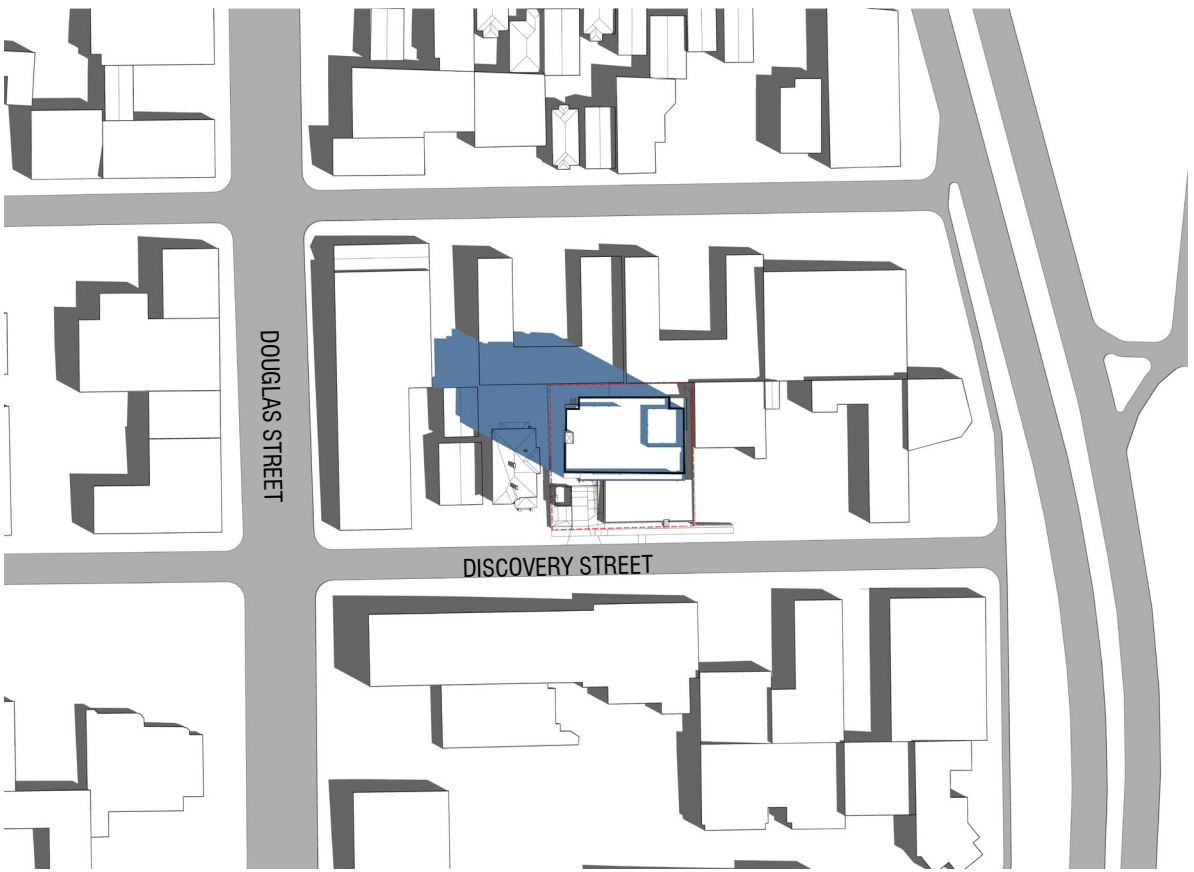
DP1.2



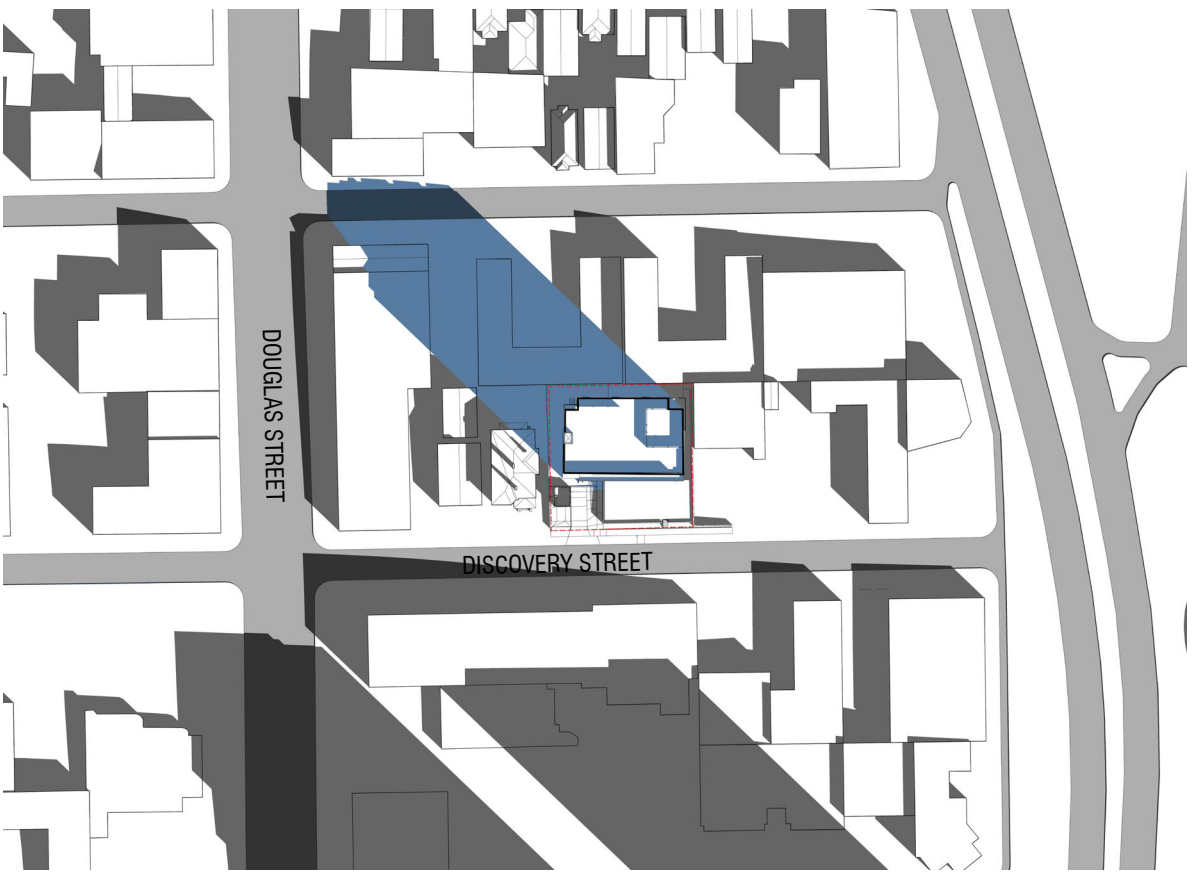
C:\Bovitt Projects\221242-A-Bass - estimate.rvt



MARCH 21 - 10:00 AM



JUNE 21 - 10:00 AM



SEPTEMBER 21 - 10:00 AM



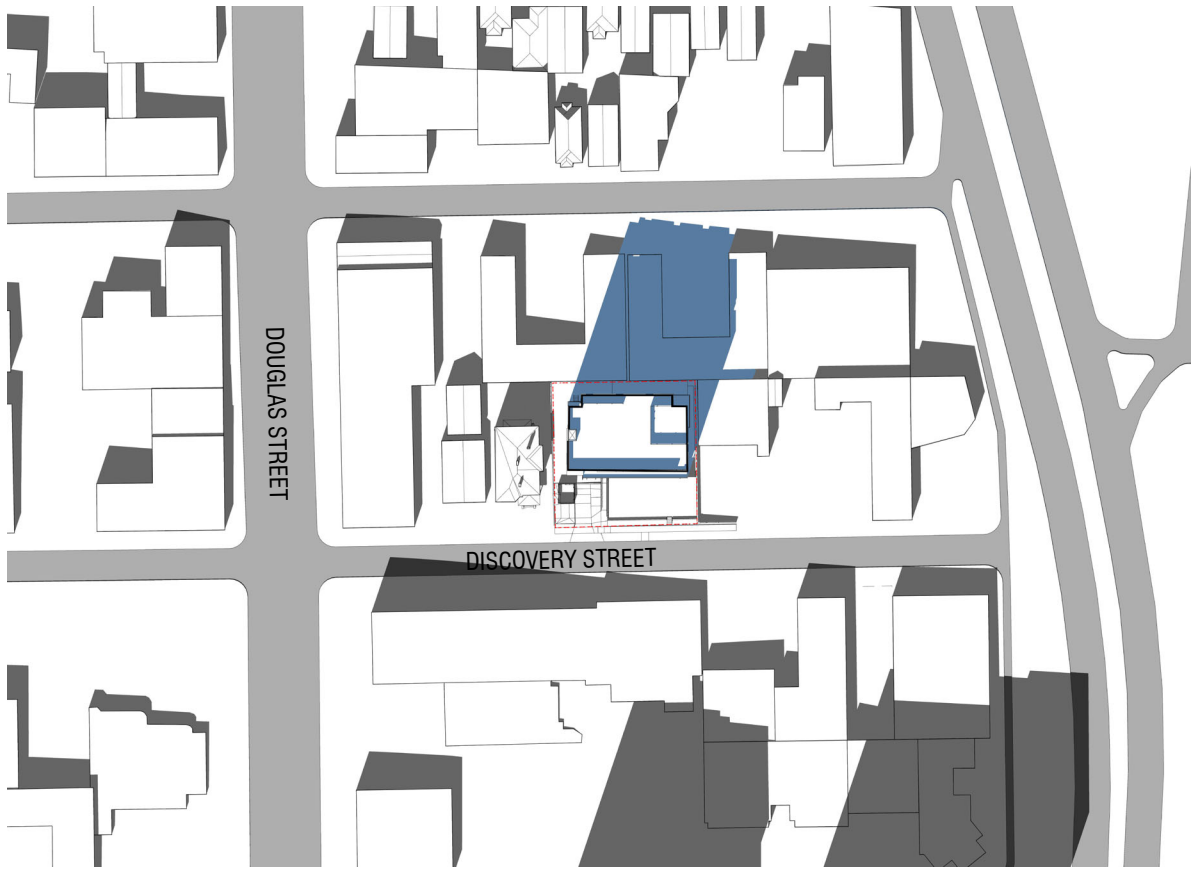
MARCH 21 - 12:00 PM



JUNE 21 - 12:00 PM



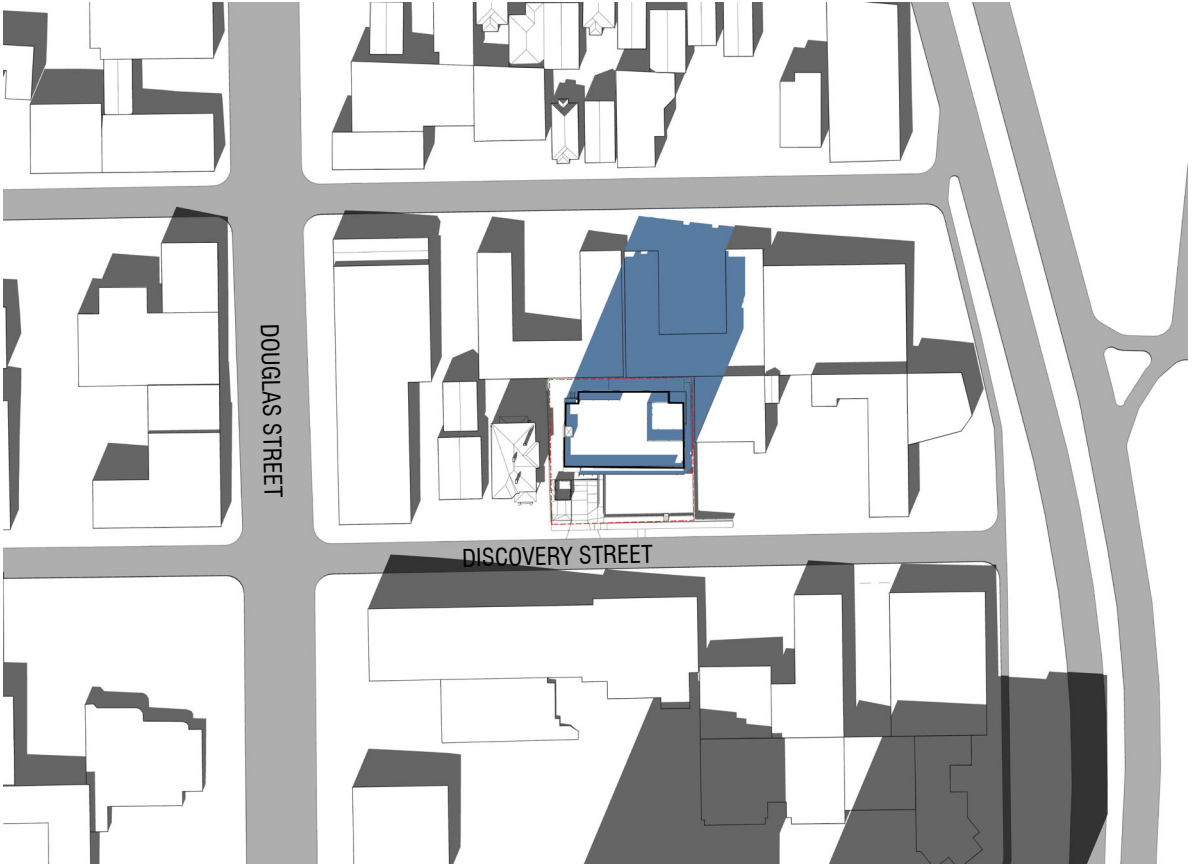
SEPTEMBER 21 - 12:00 PM



MARCH 21 - 2:00 PM



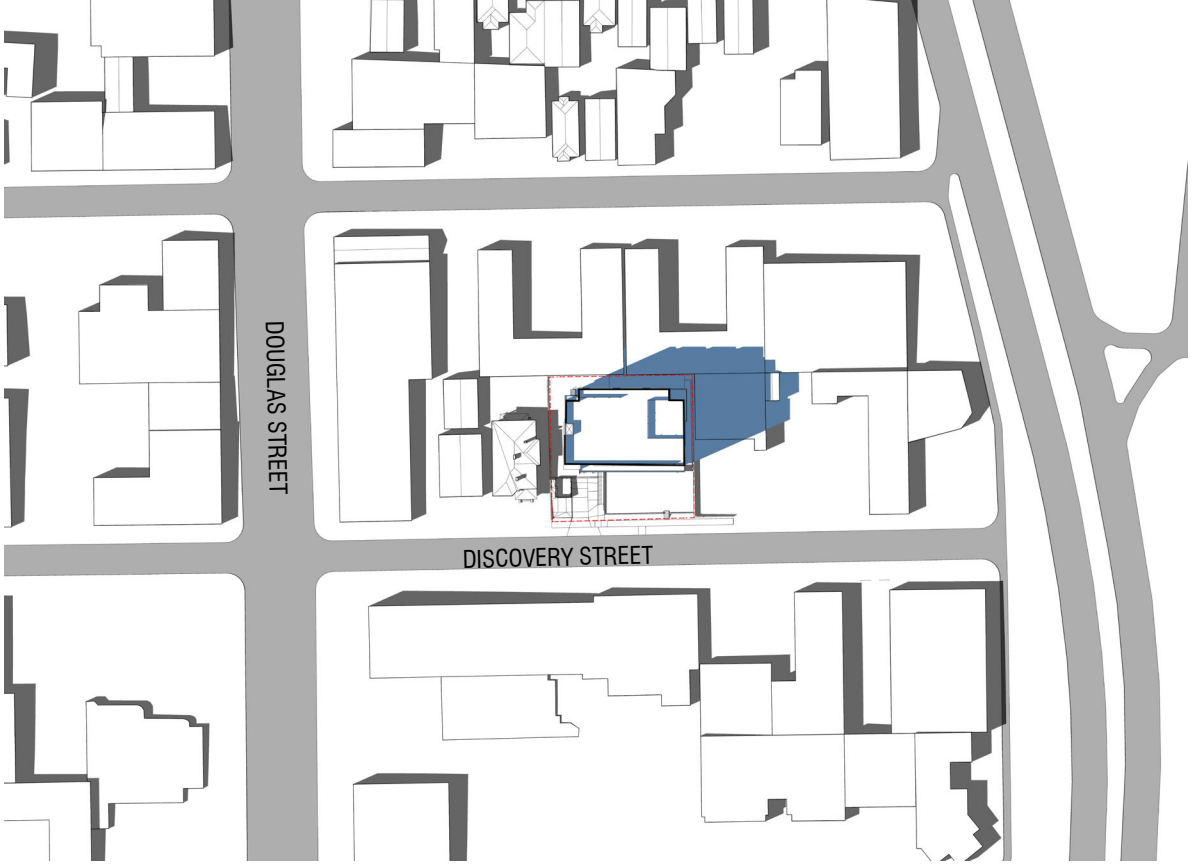
JUNE 21 - 2:00 PM



SEPTEMBER 21 - 2:00 PM



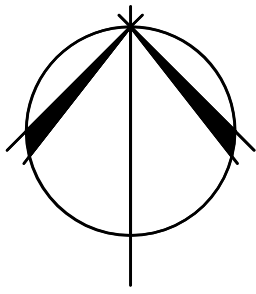
MARCH 21 - 4:00PM



JUNE 21 - 4:00PM



SEPTEMBER 21 - 4:00PM



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.610.7000
www.s2architecture.com

SHADOW STUDY

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

NOT FOR CONSTRUCTION

This drawing supercedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

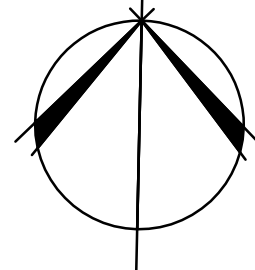
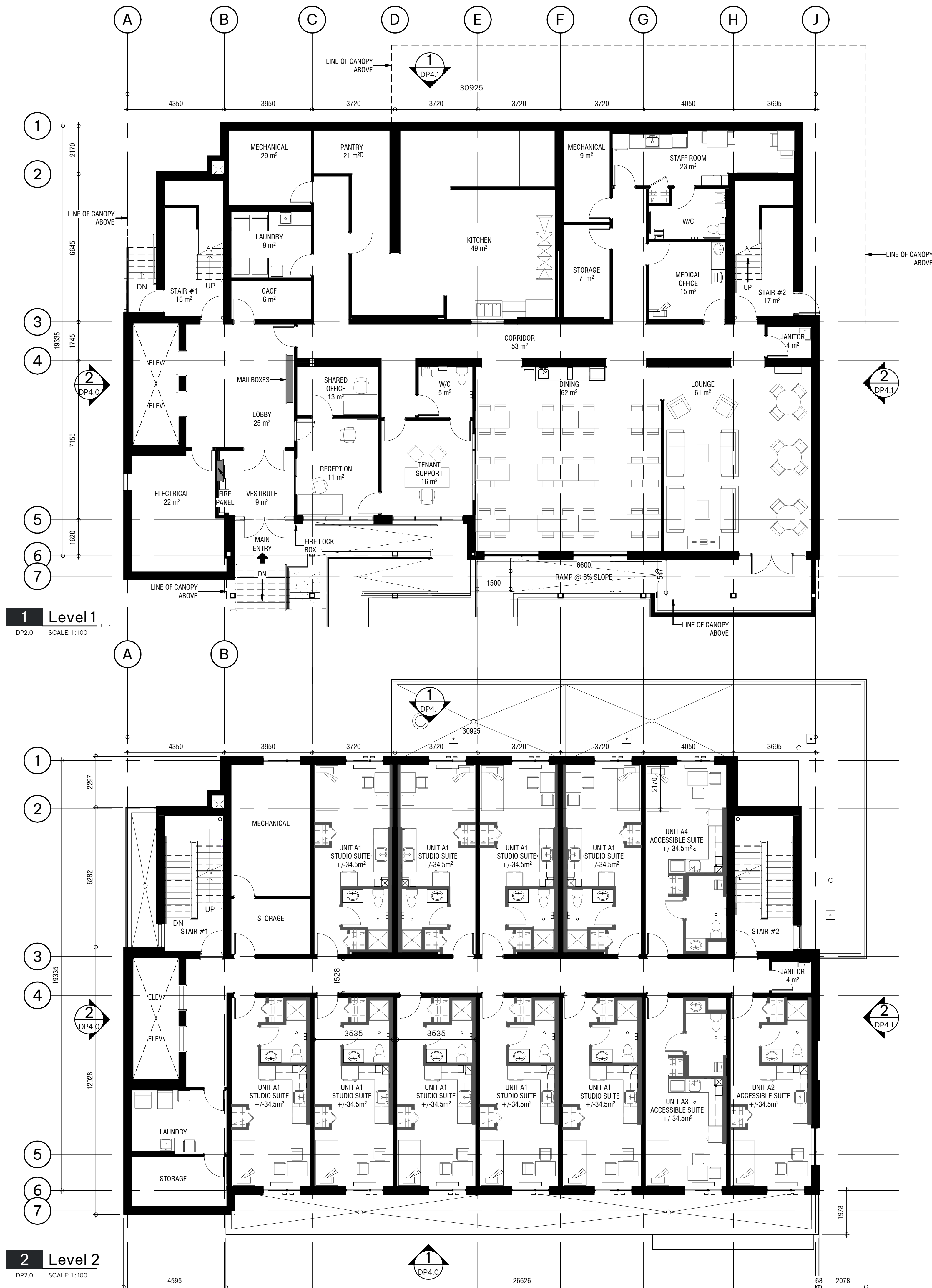
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE
DATE 1/3/2025 3:03:30 PM
DRAWN BY KM
CHECKED BY CZ

DRAWING NO.

DP1.4



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.610.7000
www.s2architecture.com

LEVEL 1 & 2 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

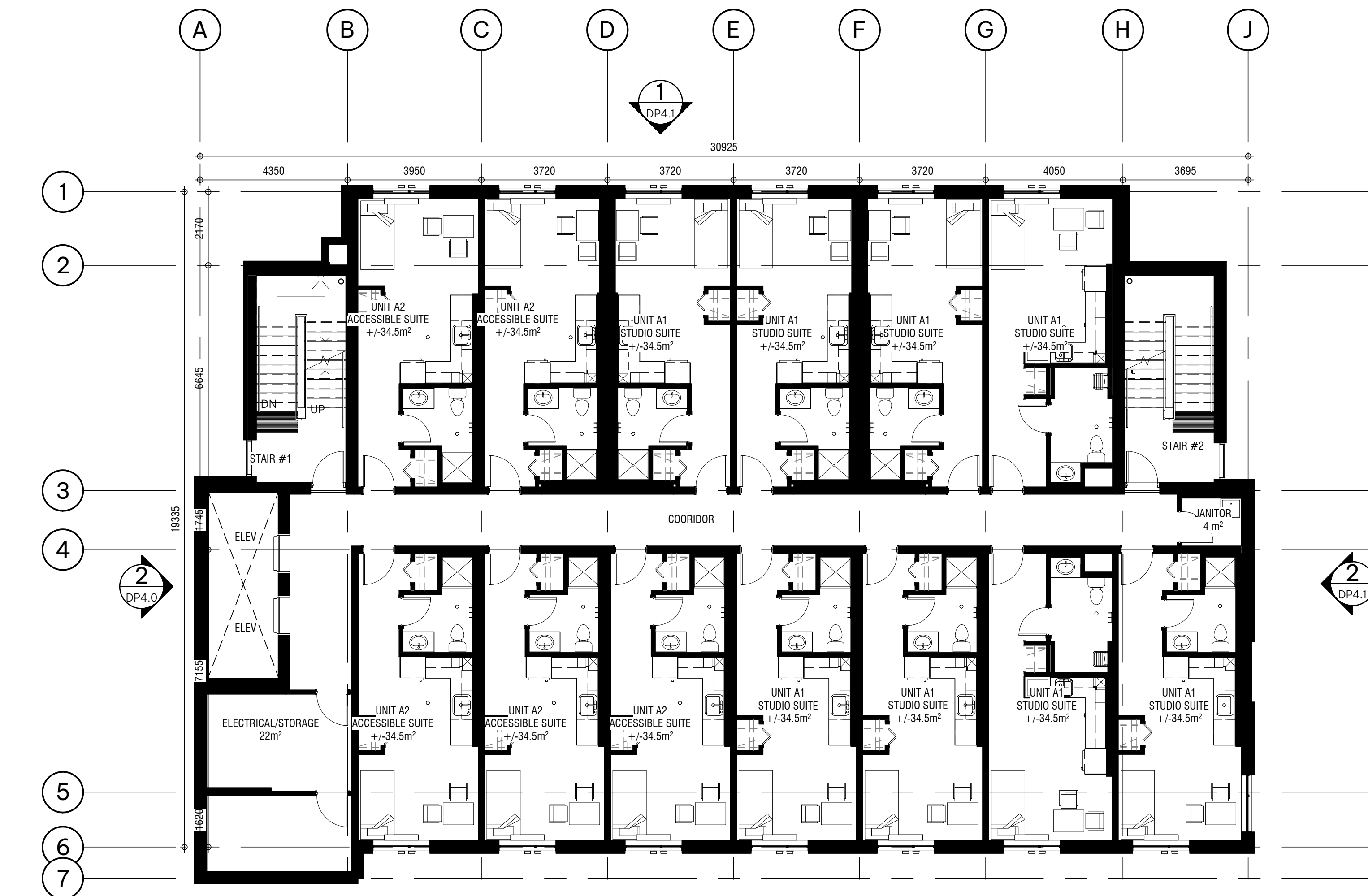
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

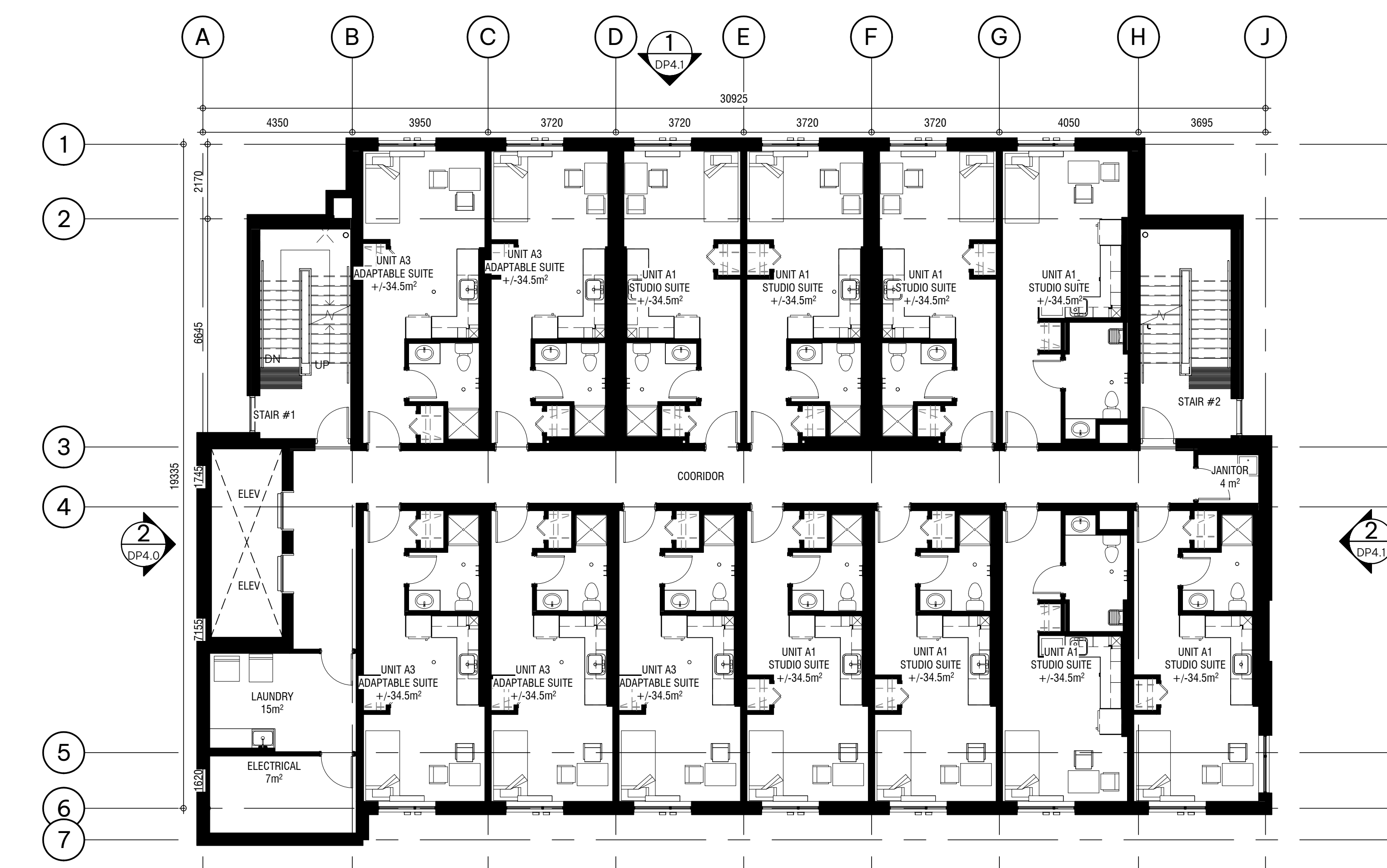
REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

SCALE	1:100
DATE	1/3/2025 3:03:41 PM
DRAWN BY	MO/AN/KM
CHECKED BY	CZ

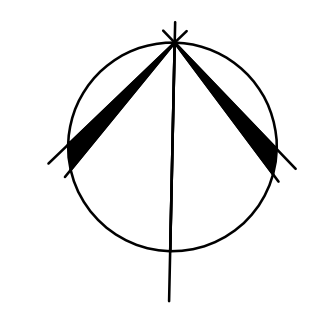
DRAWING NO.	DP2.0
-------------	-------



1 Level 3
DP2.1 SCALE: 1:100



2 Level 4
DP2.1 SCALE: 1:100



LEVEL 3 & 4 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

NOT FOR CONSTRUCTION

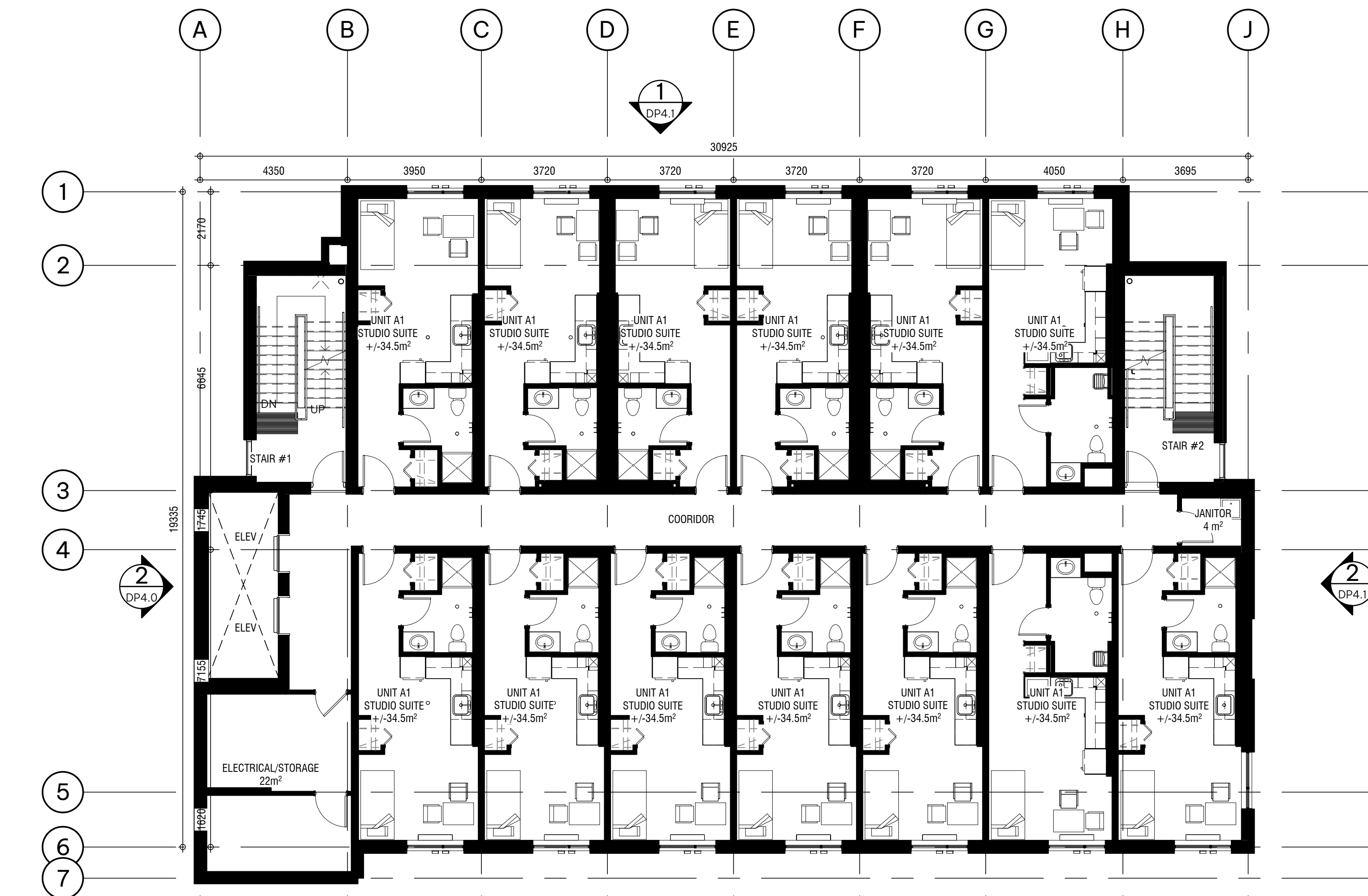
This drawing supersedes previous issues. Do not scale these drawings.
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

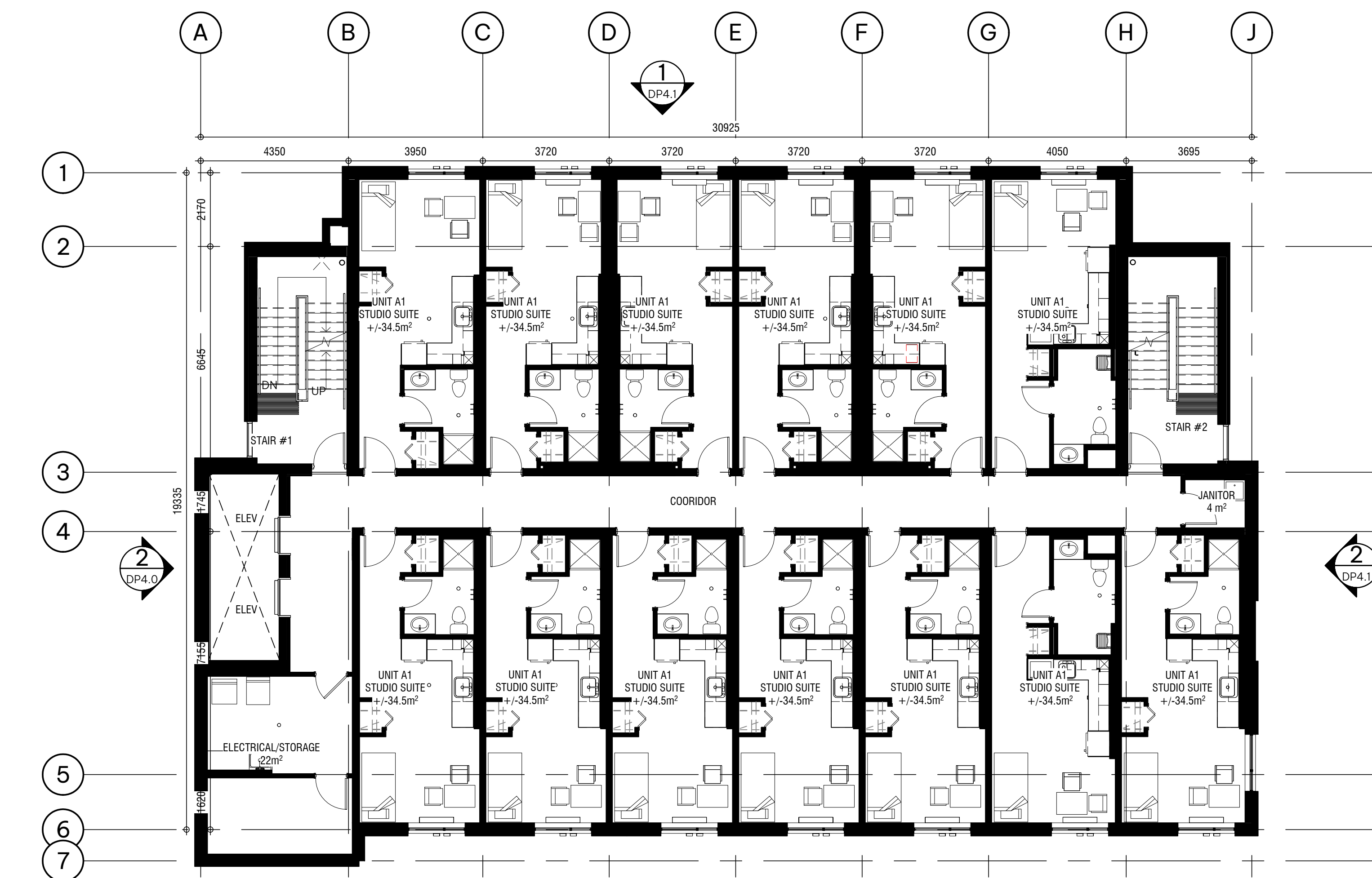
SCALE 1:100
DATE 1/3/2025 3:04:57 PM
DRAWN BY MD/AN/KM
CHECKED BY CZ

DRAWING NO. **DP2.1**

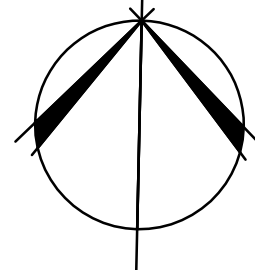
C:\Revit Projects\221243-4-Bsgg_c.plt\more.mtl



1 Level 5
DP2.2 SCALE: 1:100



2 Level 6
DP2.2 SCALE: 1:100



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

LEVEL 5 & 6 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

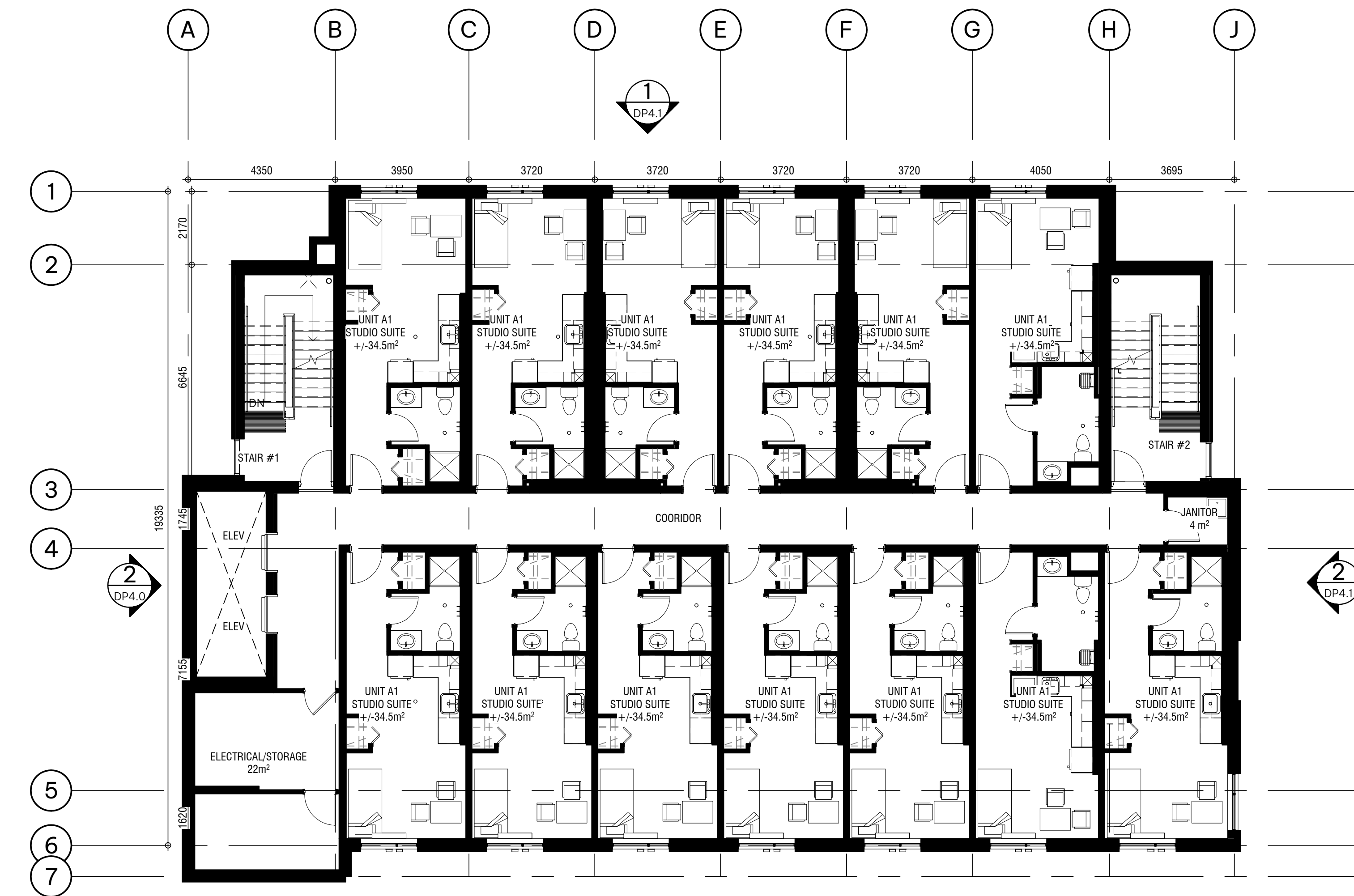
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

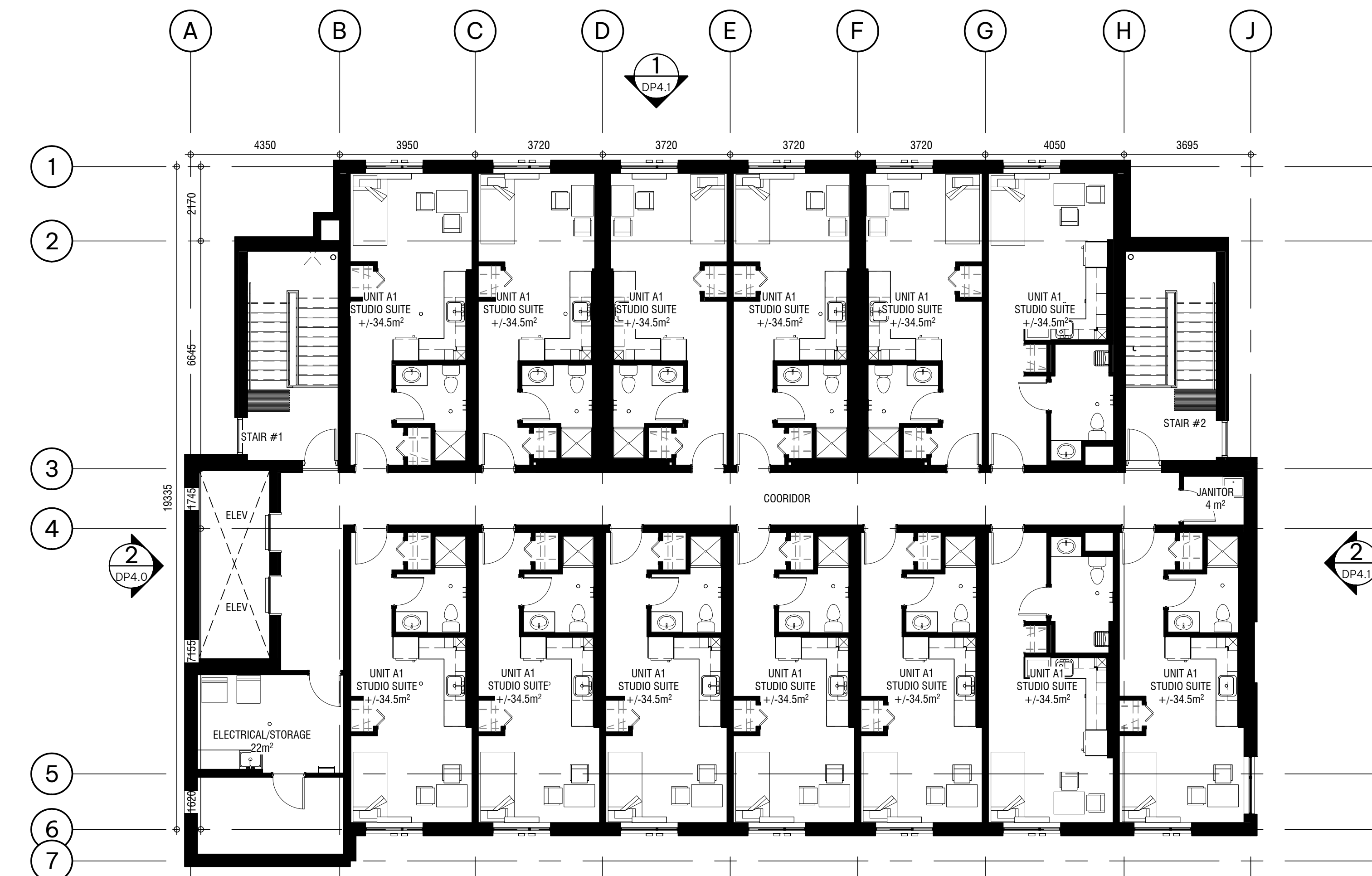
SCALE	1:100
DATE	1/3/2025 3:05:02 PM
DRAWN BY	MO/AN/KM
CHECKED BY	CZ

DRAWING NO.

DP2.2



1 Level 7
DP2.3 SCALE: 1:100



2 Level 8
DP2.3 SCALE: 1:100



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.7000
www.s2architecture.com

LEVEL 7 & 8 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
10 LAND USE & D.P. SUBMISSION	04.29.2022

SCALE 1:100
DATE 1/3/2025 3:05:13 PM
DRAWN BY MD/AN/KM
CHECKED BY CZ

DRAWING NO.

DP2.3

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

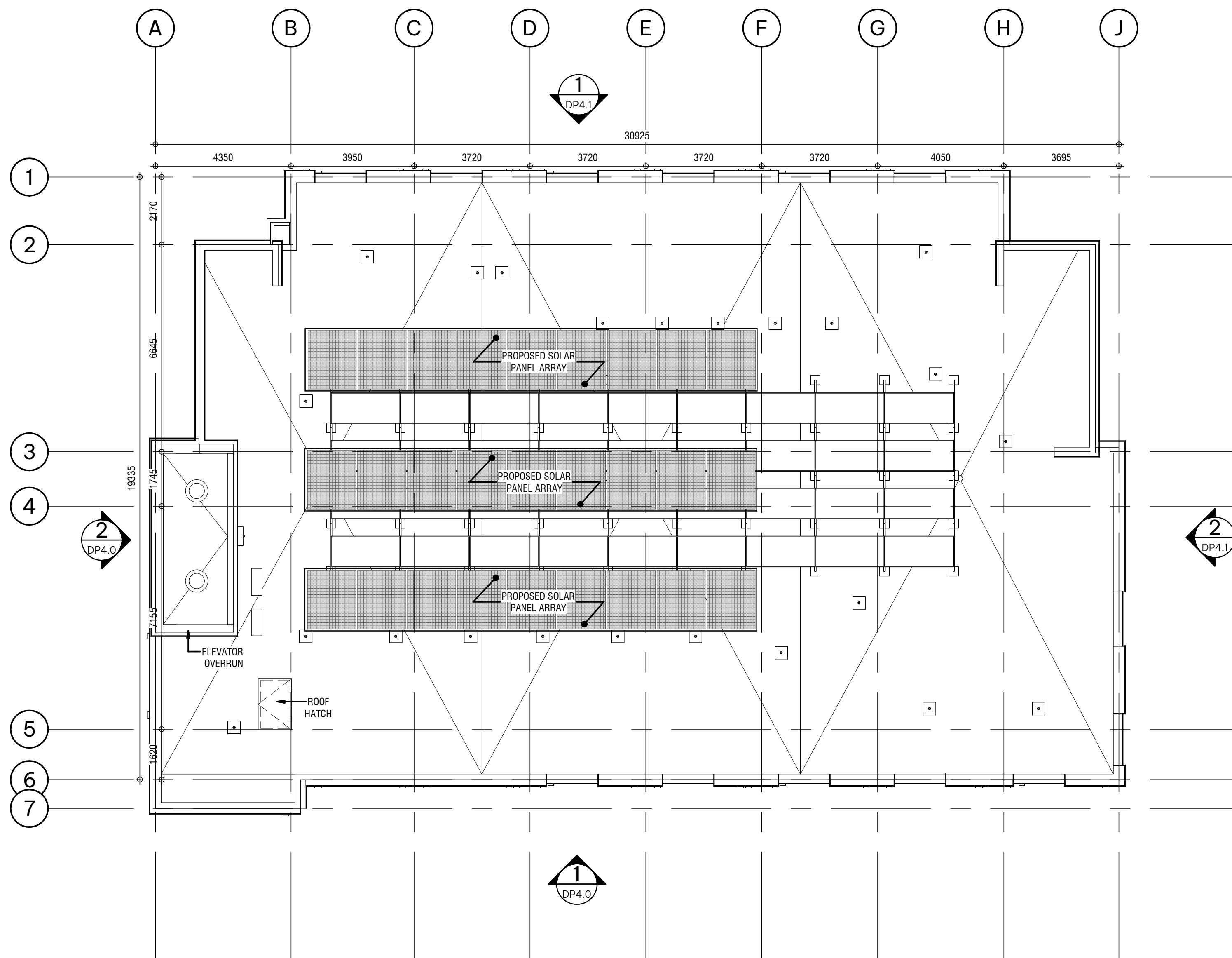
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
10 LAND USE & D.P. SUBMISSION	04.29.2022
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

SCALE 1 : 100
DATE 1/3/2025 3:05:18 PM
DRAWN BY MD/AN
CHECKED BY CZ

DRAWING NO.

DP2.4



1 Roof Plan

DP2.4 SCALE: 1:100

NOTE: Dimensions are for reference only and are subject to changed based on construction documentation.



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.610.7000
www.s2architecture.com

UNIT PLANS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

221243

NOT FOR CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

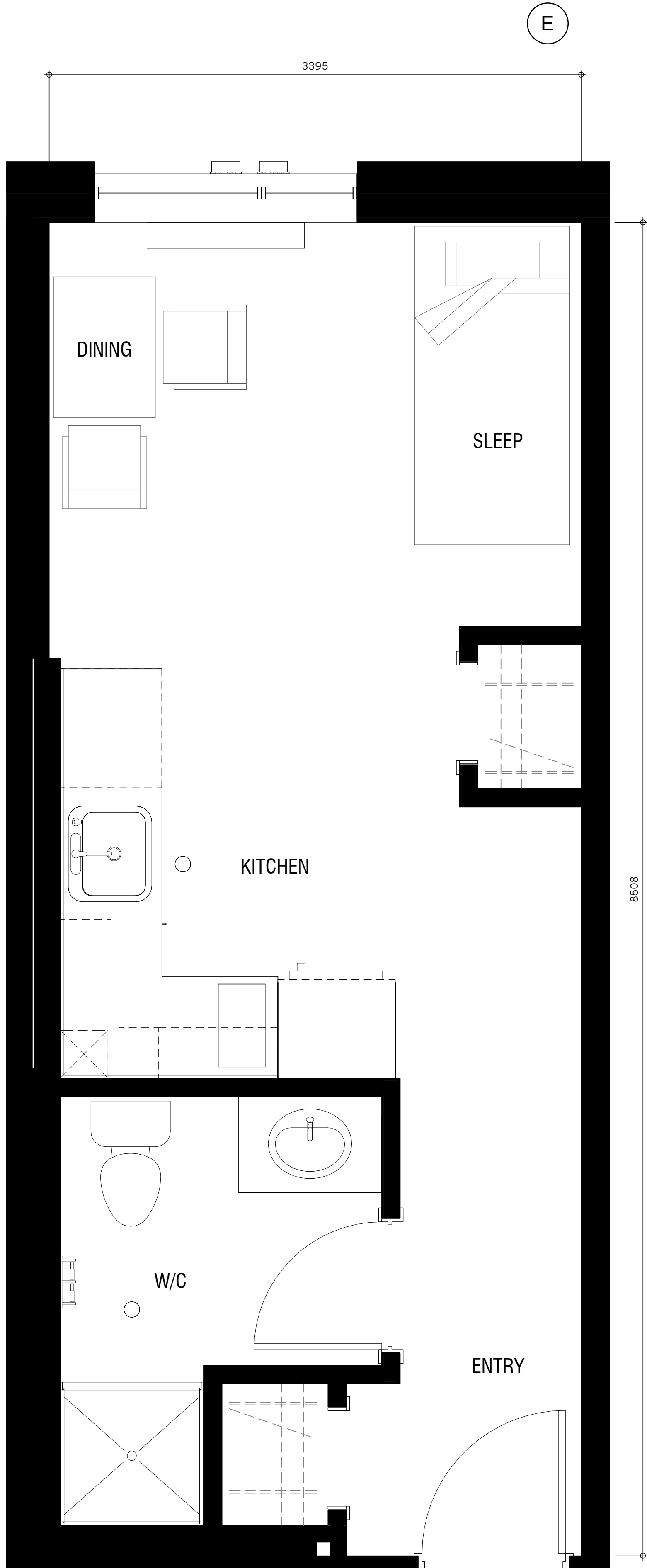
REVISION	DATE
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023

SCALE 1 : 20
DATE 1/3/2025 3:05:25 PM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

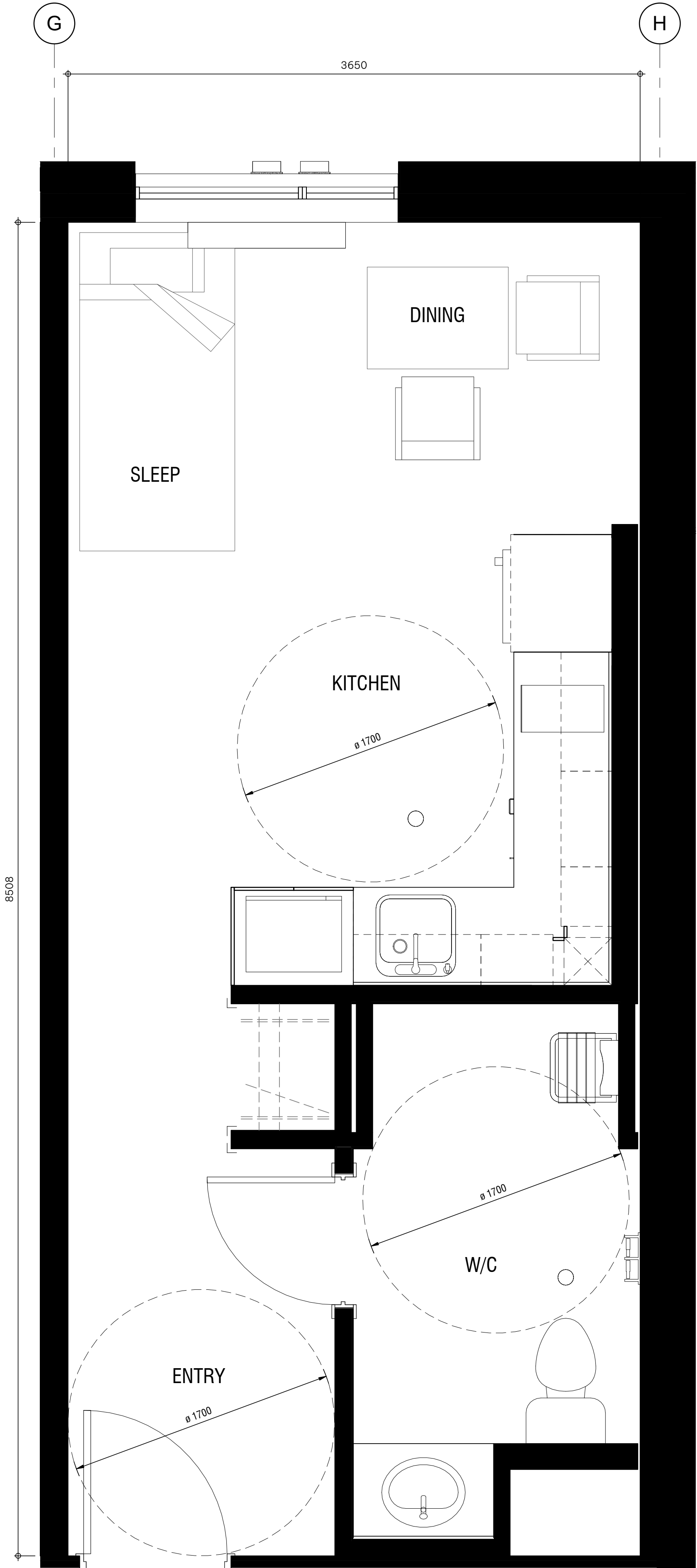
DP2.5

C:\Revit Projects\221243-A-Bsgg_c.plt\m001.rvt



1 Unit A1 - Typical Studio Unit | ±34.5sqm

DP2.5 SCALE:1:20



2 Unit A2/A3 - Accessible & Adaptable Units | ±34.5sqm

DP2.5 SCALE:1:20



6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.670.1000
www.s2architecture.com

BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
22/243

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

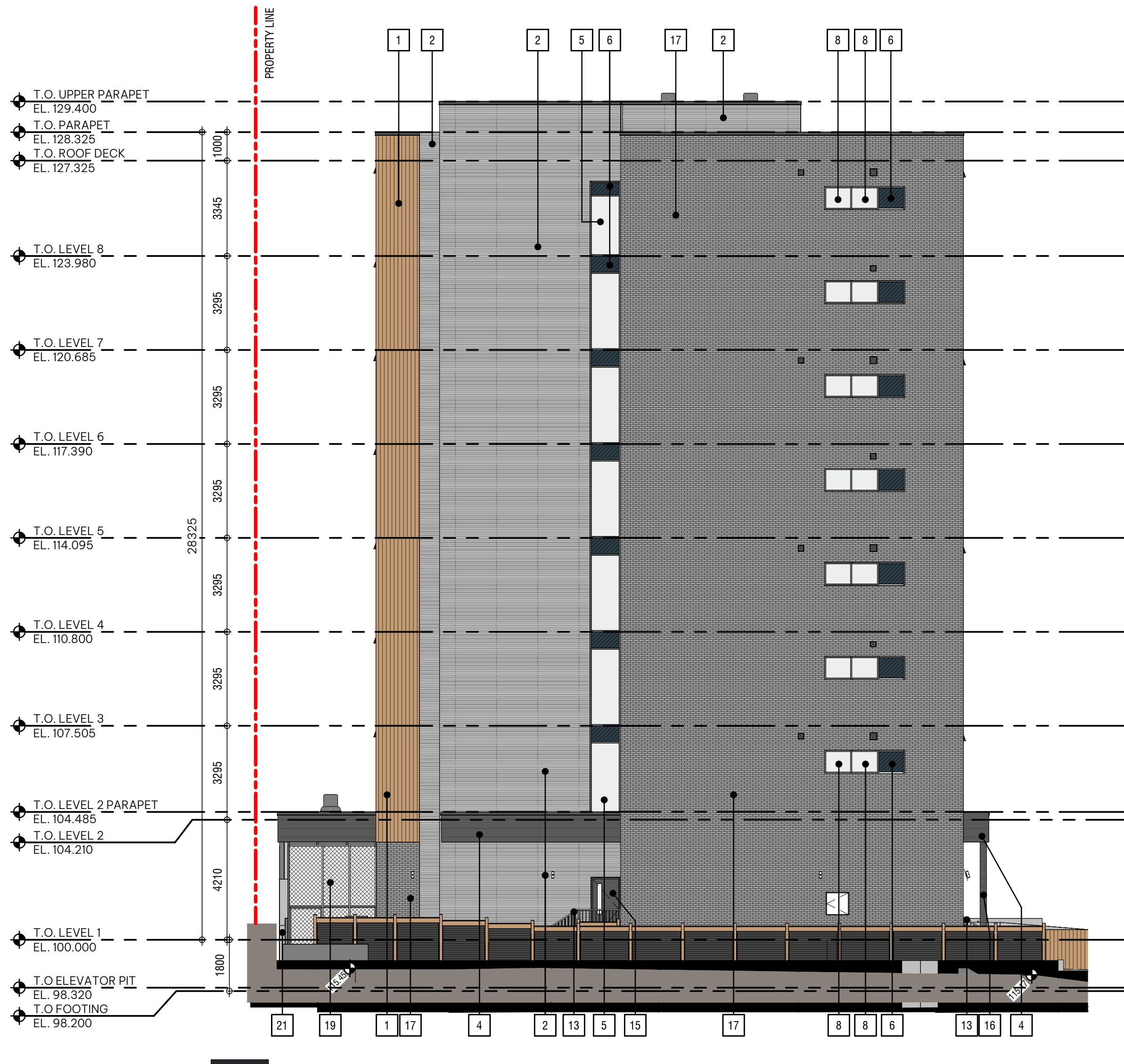
SCALE As Indicated
DATE 1/3/2025 3:05:40 PM
DRAWN BY MD/AN/KM
CHECKED BY CZ

DRAWING NO.

DP4.0

Elevation - Code Legend

- 1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- 2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- 3 PVC WINDOW - FROSTED GLASS - BLACK FRAME
- 4 METAL PANEL - CHARCOAL
- 5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- 6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- 7 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- 8 PVC WINDOW - VISION GLASS - BLACK FRAME
- 9 CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- 10 P.T. DECK SKIRTING - GOLDEN OAK TONE
- 11 P.T. WOOD DECKING - GOLDEN OAK TONE
- 12 P.T. WOOD STAIRS - GOLDEN OAK TONE
- 13 METAL HANDRAIL/GUARD - BLACK
- 14 DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- 15 HOLLOW FRAME STEEL DOOR - CHARCOAL
- 16 PAINTED HEAVY TIMBER COLUMNS - BLACK
- 17 MODULAR BRICK - MIXED GREY
- 18 POTENTIAL SOLAR PANEL ARRAY
- 19 CHAIN LINK FENCE
- 20 CONCRETE MASONRY UNIT
- 21 CONCRETE RETAINING WALL





6th Floor, 220 - 12th Avenue SW
Calgary, AB, Canada T2P 0E9
T 403.610.1000
www.s2architecture.com

BUILDING ELEVATIONS

DISCOVERY STREET SUPPORTIVE HOUSING
722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING
221243

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

REVISION	DATE
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
18 RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2024.11.22

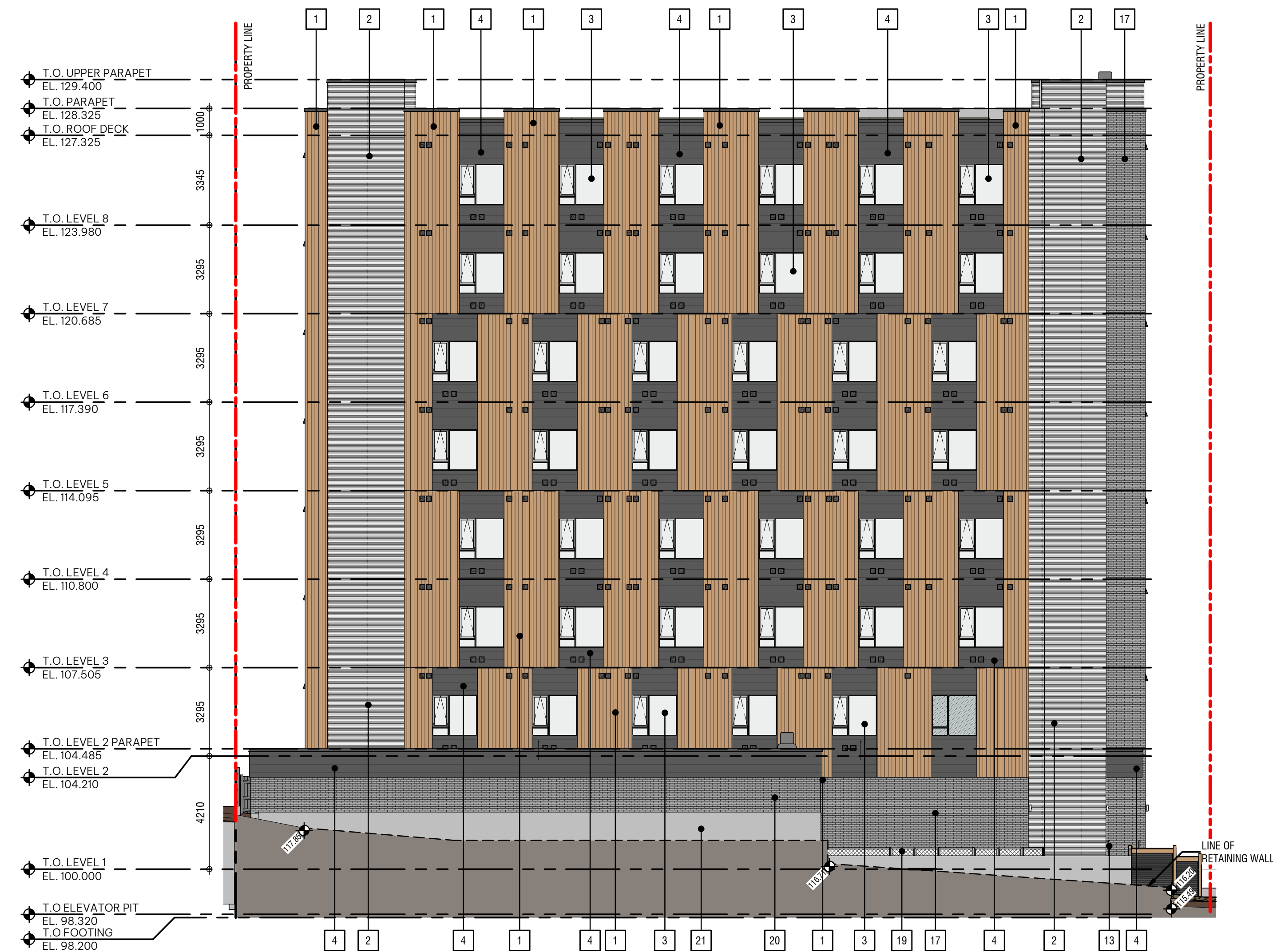
SCALE As Indicated
DATE 1/3/2025 3:06:00 PM
DRAWN BY MO/AN/KM
CHECKED BY CZ

DRAWING NO.

DP4.1

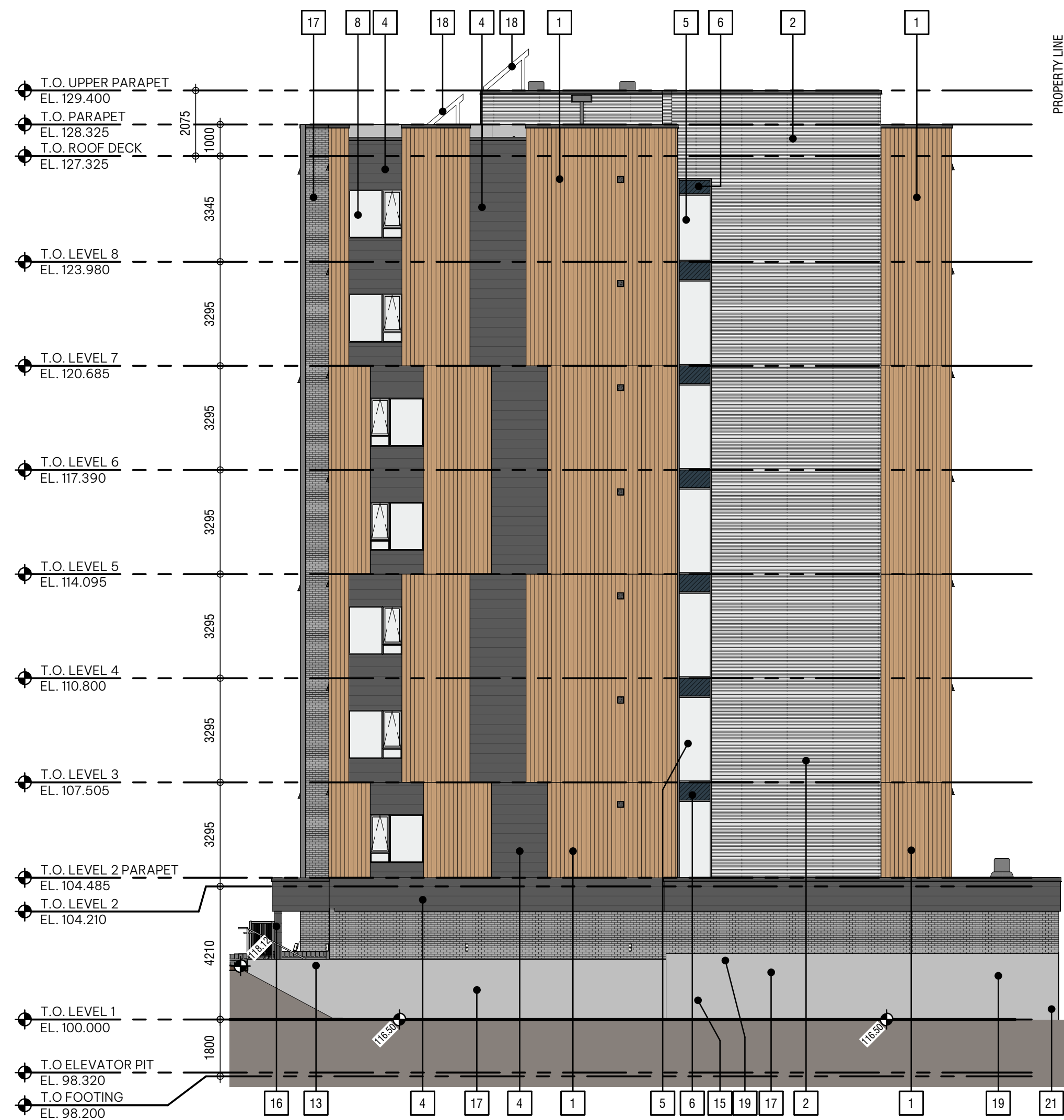
Elevation - Code Legend

- VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE
- COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)
- PVC WINDOW - FROSTED GLASS - BLACK FRAME
- METAL PANEL - CHARCOAL
- SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS
- METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL
- SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - DOUBLE DOORS
- PVC WINDOW - VISION GLASS - BLACK FRAME
- CONCRETE UPSTAND C/W COMPOSIT METAL CLADDING - DARK GREY
- P.T. DECK SKIRTING - GOLDEN OAK TONE
- P.T. WOOD DECKING - GOLDEN OAK TONE
- P.T. WOOD STAIRS - GOLDEN OAK TONE
- METAL HANDRAIL/GUARD - BLACK
- DOUBLE DOOR C/W CHARCOAL FRAME, GLASS INSERT AND DOUBLE SIDELIGHTS
- HOLLOW FRAME STEEL DOOR - CHARCOAL
- PAINTED HEAVY TIMBER COLUMNS - BLACK
- MODULAR BRICK - MIXED GREY
- POTENTIAL SOLAR PANEL ARRAY
- CHAIN LINK FENCE
- CONCRETE MASONRY UNIT
- CONCRETE RETAINING WALL



1 North Elevation

DP4.1 SCALE:1:125



2 East Elevation

DP4.1 SCALE:1:125



DISCOVERY STREET SUPPORTIVE HOUSING

VICTORIA, B.C.
BC HOUSING

021243

This drawing supercedes previous issues. Do not scale these drawings.

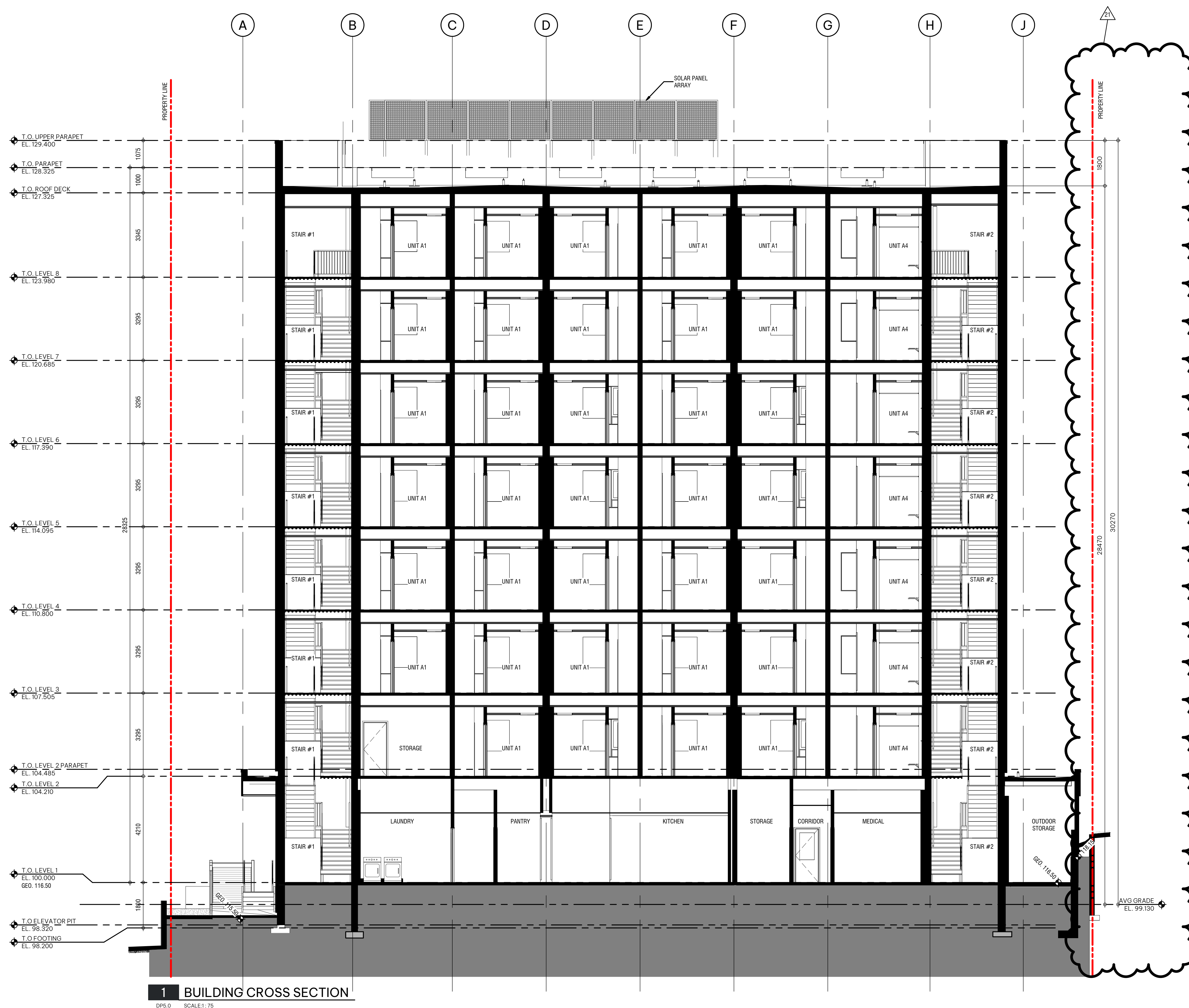
Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

SCALE	1 : 75
DATE	1/3/2025 3:07:07 PM
DRAWN BY	MD/AN
CHECKED BY	CZ

DRAWING NO.

DP5.0



DP5.0 SCALE:1:75

	-
	-
	C
	A
	C
	C
	-
	-
	C
	-
	C

BUILDING SECTIONS

DISCOVERY STREET SUPPORTIVE HOUSING

722 and 726 DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

22/243

NOT FOR
CONSTRUCTION

This drawing supersedes previous issues. Do not scale these drawings.

Verify all dimensions, elevations and datums, and report any discrepancies to the Architect prior to construction. Dimensions are taken to face of exterior sheathing, face of concrete block, face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing.

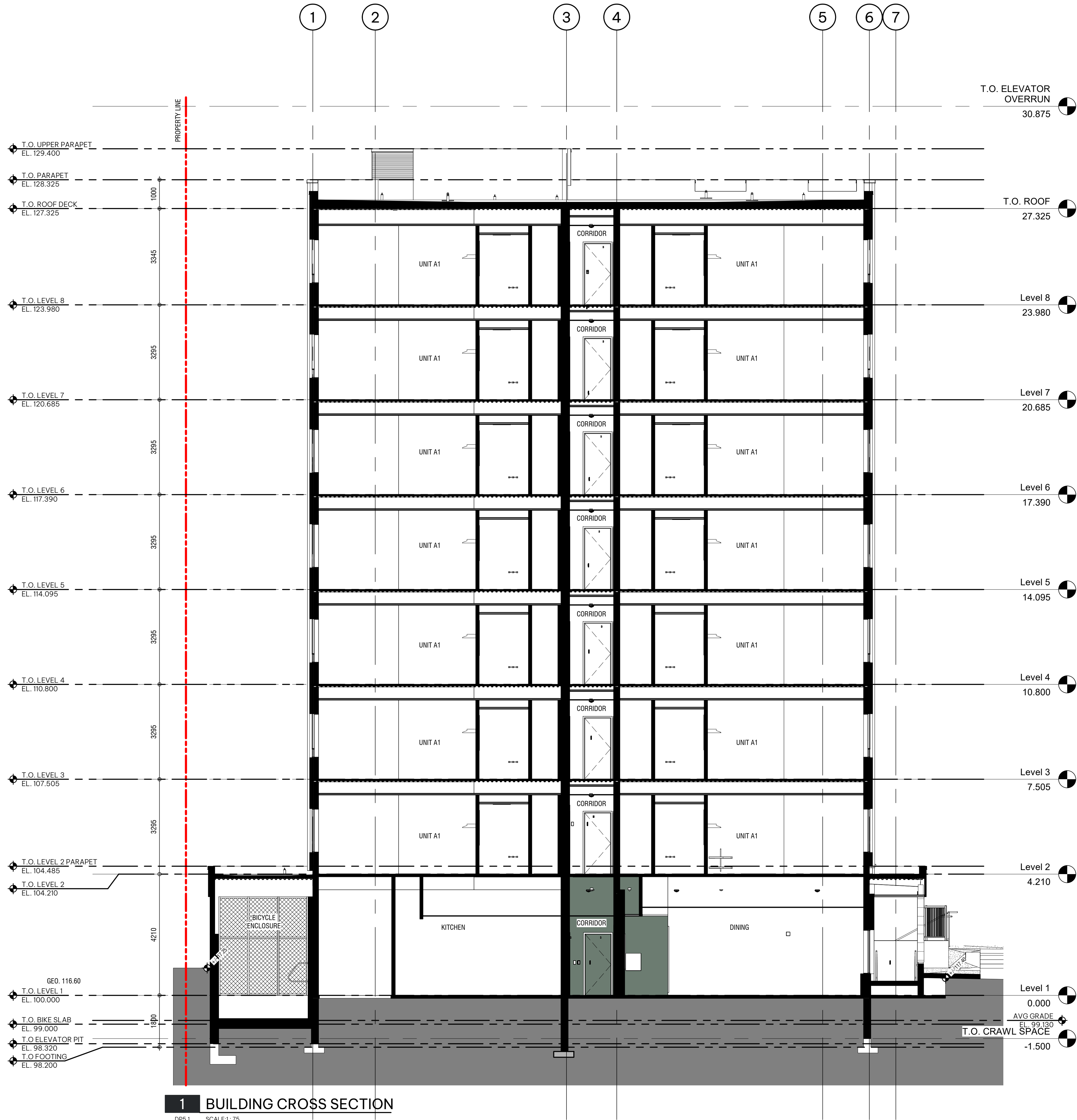
All drawings remain the property of the Architect. These drawings are Copyright 2024, S2 Architecture. These drawings may not be reproduced without the permission of the Architect.

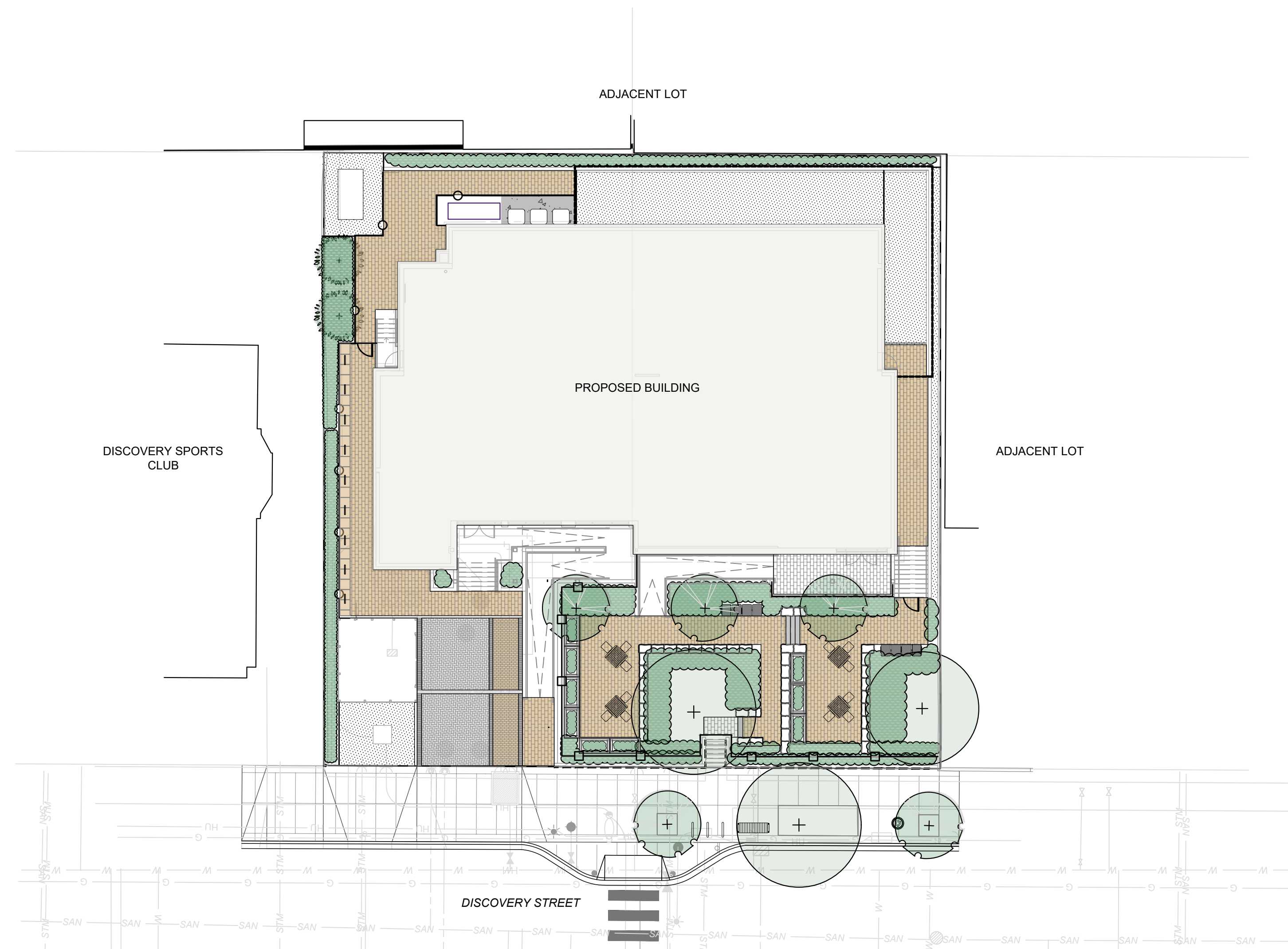
REVISION	DATE
4 DP RE-SUBMISSION	07.04.2023
5 ISSUED FOR SCHEMATIC TENDER	07.10.2023
14 ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15

SCALE 1 : 75
DATE 1/3/2025 3:07:13 PM
DRAWN BY Author
CHECKED BY Checker

DRAWING NO.

DP5.1





BCH DISCOVERY STREET

722, 726 / 732 Discovery Street, Victoria, B.C.

RESPONSE TO DDP COMMENTS

DRAWING LIST

L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLAN
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAILS
L-08	FENCING DETAILS
L-09	SOIL CELL SECTION

WSP LANDSCAPE ARCHITECTURE

GURPREETH SINGH
PROJECT MANAGER
Email: Gurpreeth.Singh@wsp.com
Phone: (778) 940 - 1327

RENZO CORTES
Landscape Designer
Email: glennrenzo.cortes@wsp.com
Phone: (226) 203-8444

PROJECT NOTES

CANADIAN LANDSCAPE STANDARD:

Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Contractors will have a current copy of the document (digital or hardcopy) present with them on site.

RFI'S:

Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

AS-BUILTS:

Contractor is expected to provide a copy of marked up as-builts noting any construction changes at the time of substantial performance of the project.

SUBMITTALS:

Submittals on landscape include but are not limited to:

- a. Shop drawings on all specified furnishings including notes on colour and dimensions
- b. Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions
- c. A growing medium (or amended soil report, if required) submittal compliant with the Canadian Landscape Standard
- d. Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape Standards
- e. A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate.
- f. ORGAC Mix 10:1 to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase.
- g. Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction.
- h. Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including base preparation materials and affiliated compaction testing
- i. Primer and paint submittals, if required for project

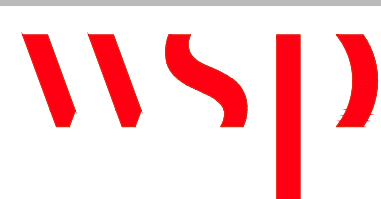
LANDSCAPE SCHEDULE

The contractor is to supply a schedule outlining the intended dates for landscape installation. The contractor is to request (with 72h notice) a review for tree protection fencing, tree stake layout, and substantial completion. Additional key meetings identified for requested by the landscape architect at project kick-off or in construction are to be provided with 72h notice. Examples of critical reviews are outlined below. The contractor is expected to provide weekly emails summarizing progress on landscape and the 'look ahead' of the intended schedule for the following week.

LANDSCAPE CRITICAL REVIEWS:

Landscape critical review meetings include (but are not limited to):

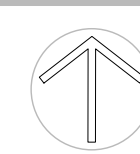
- a. Tree protection fencing setup requires a review by the arborist prior to construction.
- b. Project kick-off on landscape, and review of stockpile and preservation of existing materials
- c. Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape drawings
- d. Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- e. Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- f. Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections.
- g. Delivery of the plant material to site (mobilization of planting works)
- h. General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- i. Substantial and total performance of the landscape
- j. Commissioning reviews, if required



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

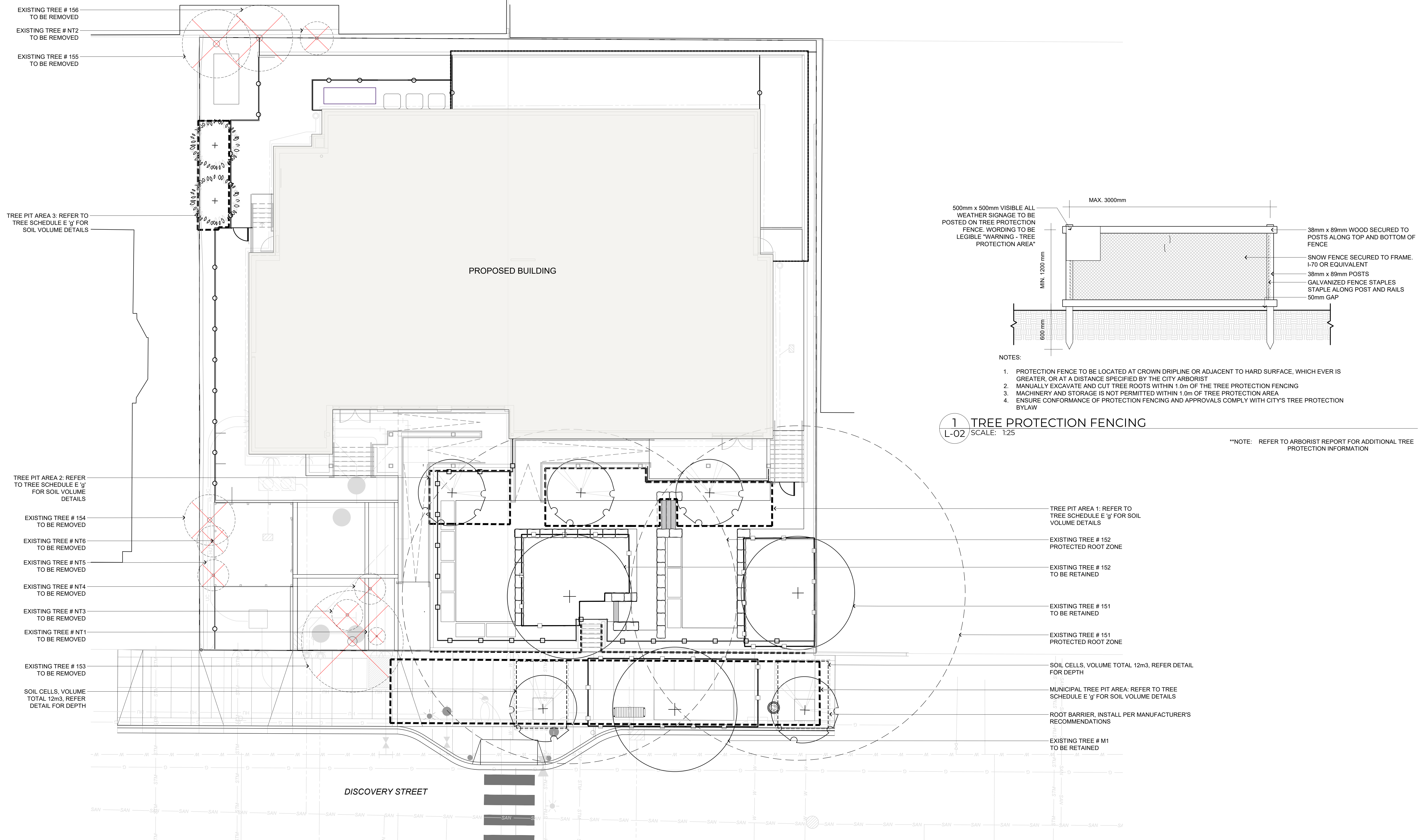
PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

CLIENT
BC Housing

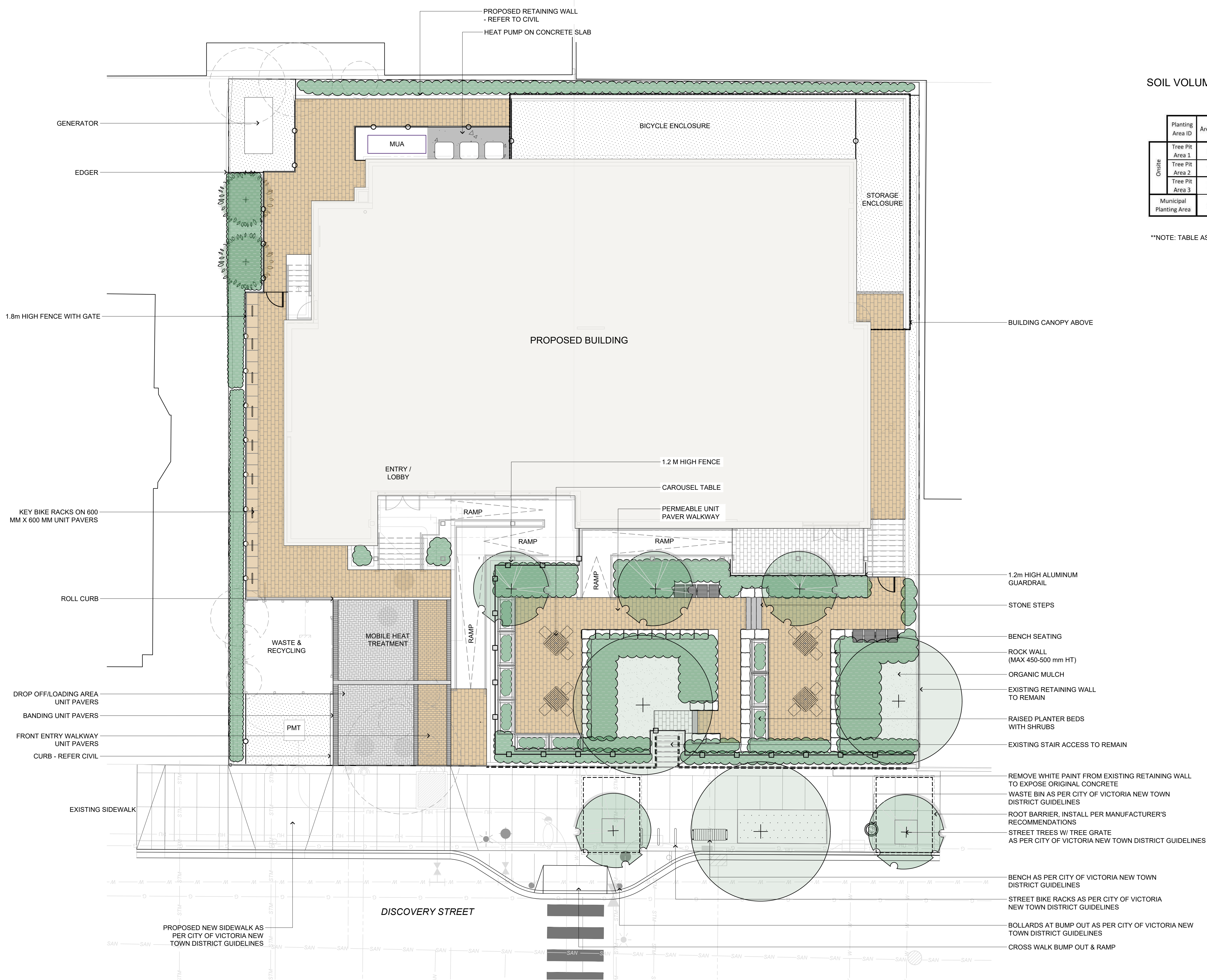
CONSULTANT
WSP

ORIGINAL SIZE 60.96cm x 91.44cm [24" x 36"]				SEALED	DESIGN BY	MJH	SHEET TITLE	COVER
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC		DRAWN BY	ER / RC		
13	25/01/06	RESPONSE TO DDP COMMENTS			CHECKED BY	GS / TC		
12	24/12/20	REISSUED FOR BP	RC		PROJECT #	211-01847-00	SHEET NO.	
11	24/11/22	RESPONSE TO DDP COMMENTS			SCALE			
NO.	DATE	DESCRIPTION	BY			N/A		
							L-00	

L-01



P:\PROJECTS\2022\2021-08\4-00 BCH DISCOVERY STREET\02 - PRODUCTION\02 - DRAWINGS\02 - CURRENT\BCH DISCOVERY STREET_LAYOUTS.DWG



SOIL VOLUME SCHEDULE E 'g'

	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Proposed Replacement Trees			Soil Volume Required			
					Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Total (m3)
Onsite	Tree Pit Area 1	38	1	38 m3		2			30		30
	Tree Pit Area 2	15	1	15 m3		1			15		15
	Tree Pit Area 3	12	1	12 m3	1			12			12
Municipal Planting Area		97	0.92	89 m3	2	1		12	15		27

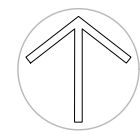
**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING
1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE REPRODUCED OR REVERSED WITHOUT WRITTEN PERMISSION BY WSP CANADA GROUP LTD. THE CONSULTANT GROUP HAS ACCEPTED ALL RESPONSIBILITIES AND VULNERABILITY LOCATIONS AND IMMEDIATELY REPORT ANY ERRORS OR OMISSIONS TO THE PROJECT TEAM. THE DRAWING SUPERSEDES ALL PREVIOUS VERSIONS.
BY USING OR REFERRING TO THIS DIGITAL DATA, THE RECIPIENT OR THEIR SUB-CONTRACTORS WILL OBLIGE TO THE FOLLOWING TERMS:
1. ALL INFORMATION STORED IN ELECTRONIC FORM SHALL NOT BE REPRODUCED OR REVERSED WITHOUT WRITTEN PERMISSION BY WSP CANADA GROUP LTD. OR ANY OTHER PARTY FOR USE IN ANY OTHER PROJECTS, ADDITIONAL TO THE CURRENT PROJECT, OR FOR ANY OTHER PURPOSE FOR WHICH THE MATERIAL WAS NOT SPECIFICALLY INTENDED OR FOR WHICH THE RECIPIENT HAS NOT OBTAINED WRITTEN PERMISSION FROM WSP CANADA GROUP LTD. OR ANY OTHER PARTY.
2. THE RECIPIENT UNDERSTANDS THAT THE USE OF ANY PROJECT RELATED COMPUTER DATA CONSTITUTES ACCEPTANCE OF THE ABOVE CONDITIONS.

PROJECT
BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.
CLIENT
BC Housing
CONSULTANT
WSP

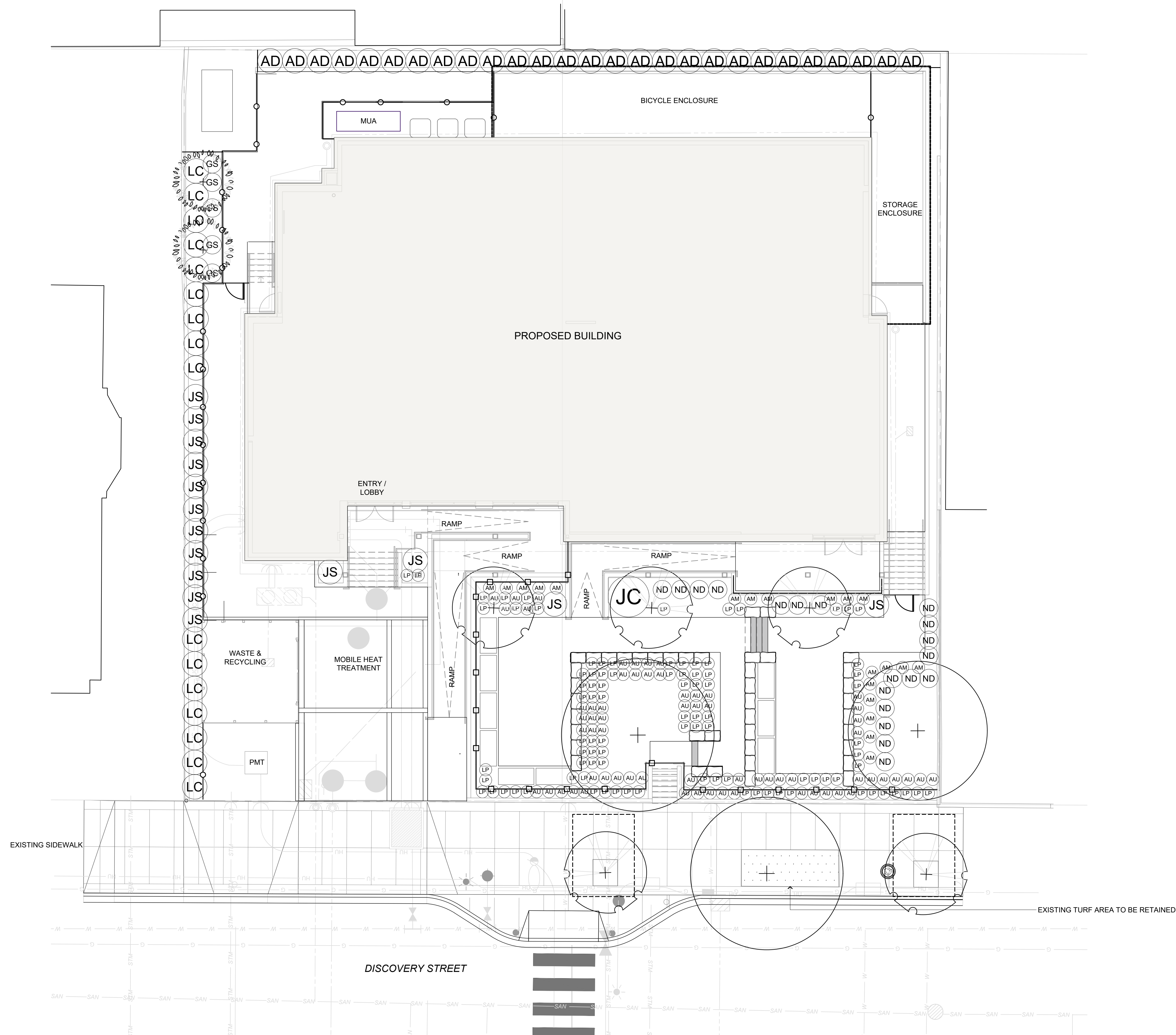


Scale: 1:100
Metres

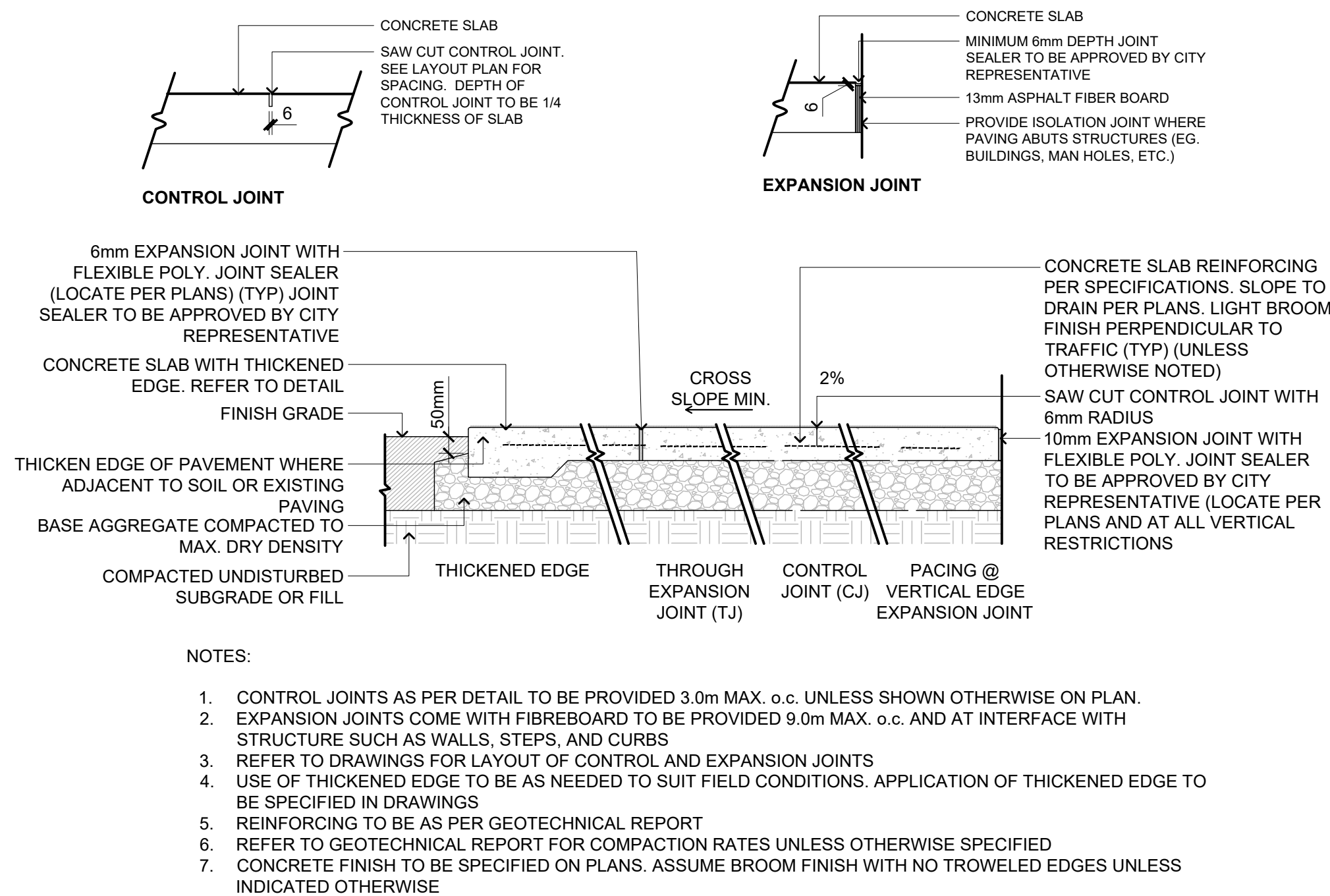
ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")			
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC
13	25/01/06	RESPONSE TO DDP COMMENTS	RC
12	24/12/20	REISSUED FOR BP	RC
11	24/11/22	RESPONSE TO DDP COMMENTS	RC
NO.	DATE	DESCRIPTION	BY

SEALED		DESIGN BY	MJH	SHEET TITLE
		DRAWN BY	ER / RC	
		CHECKED BY	GS / TC	SHEET NO.
		PROJECT #	211-01841-00	
		SCALE	1:100	

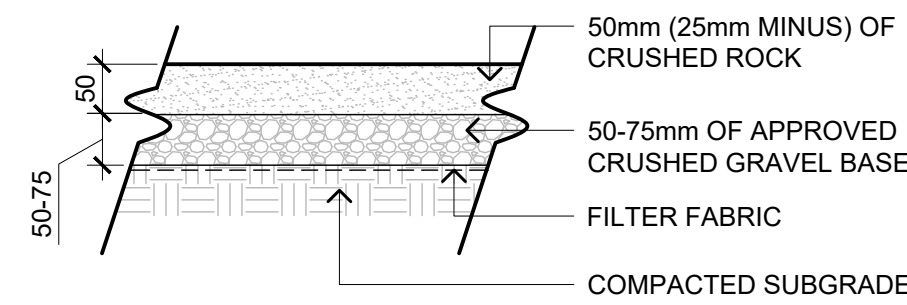
LANDSCAPE PLAN



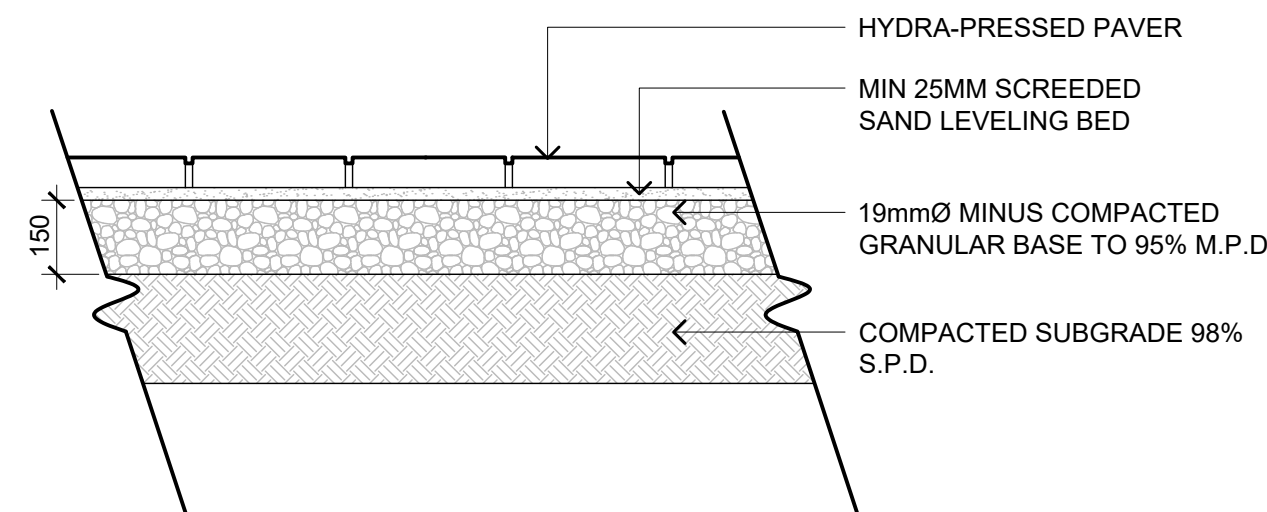
PI\PROJECTS\2022\2021-01841-00 BCH DISCOVERY STREET\02 - DRAWINGS\02 - CURRENT\DISCOVERY STREET DETAILS ROTATED BASE BROWWG



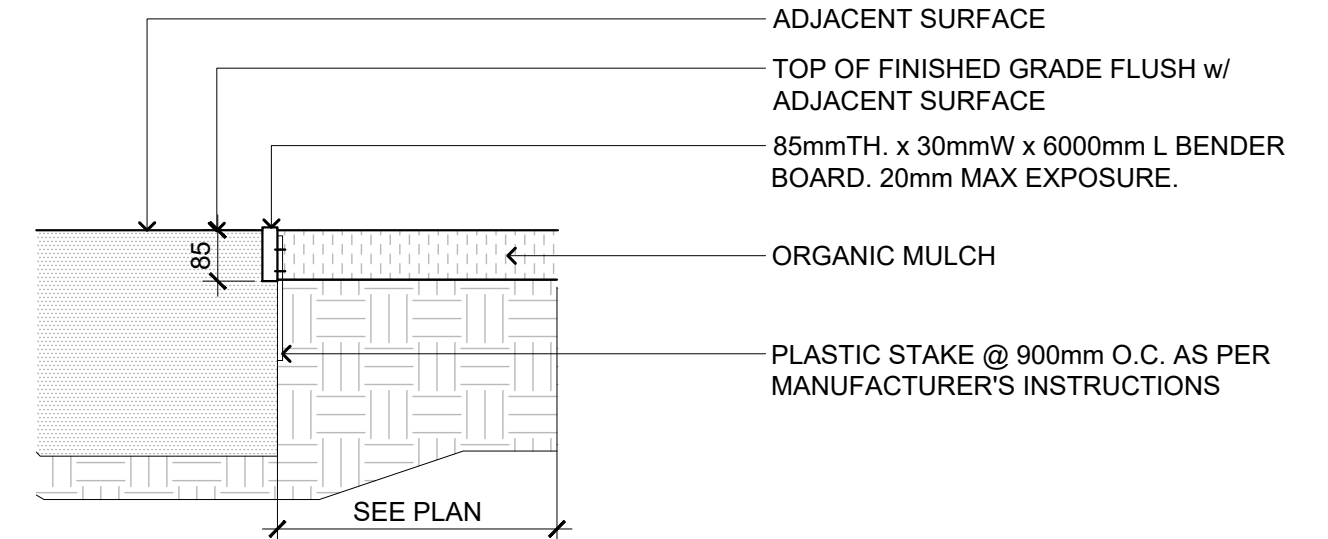
1 CONCRETE
L-06 SCALE: 1:10 / 1:15



2 GRAVEL
L-06 SCALE: 1:15

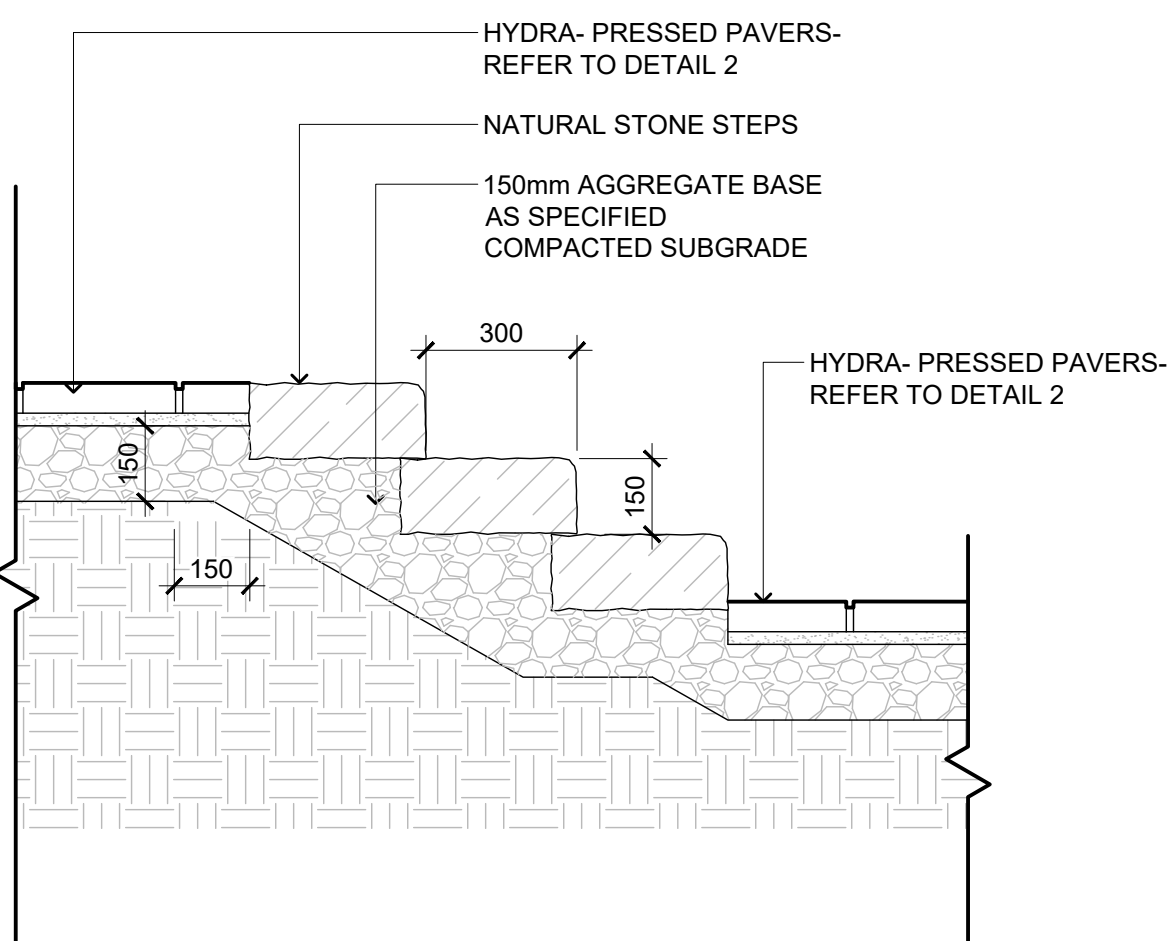


3 HYDRA PRESSED PAVER
L-06 SCALE: 1:15

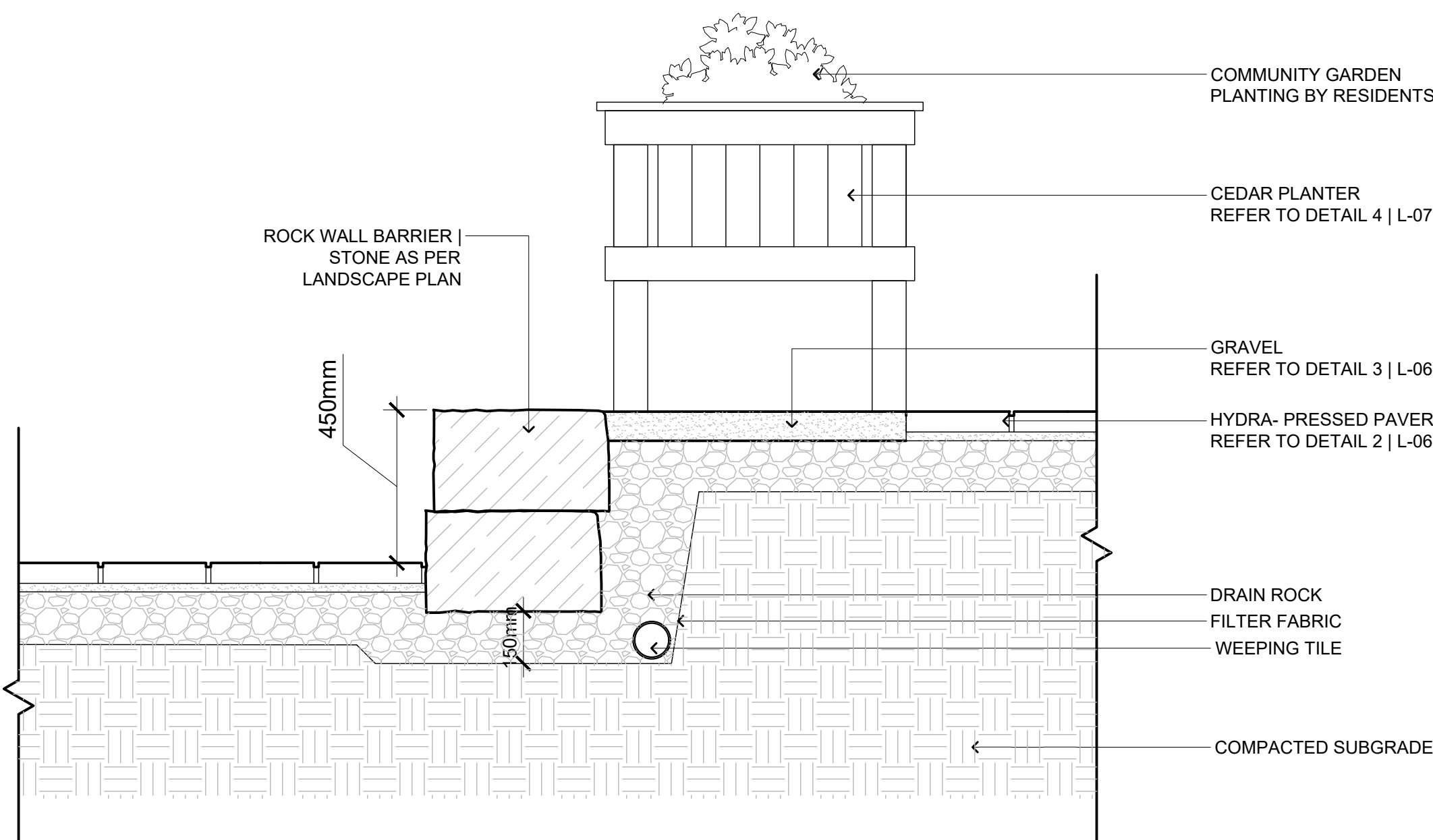


- NOTE:**
- SLIP JOINTS MUST BE ABLE TO EXPAND AND CONTACT AS TEMPERATURES CHANGE.
 - DON'T SCREW THROUGH THE SLIP JOINT.
 - COLOUR BROWN.
 - USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING.
 - USE PLATED SCREWS TO JOIN BOARD TO STAKE.

4 EDGER
L-06 SCALE: 1:15

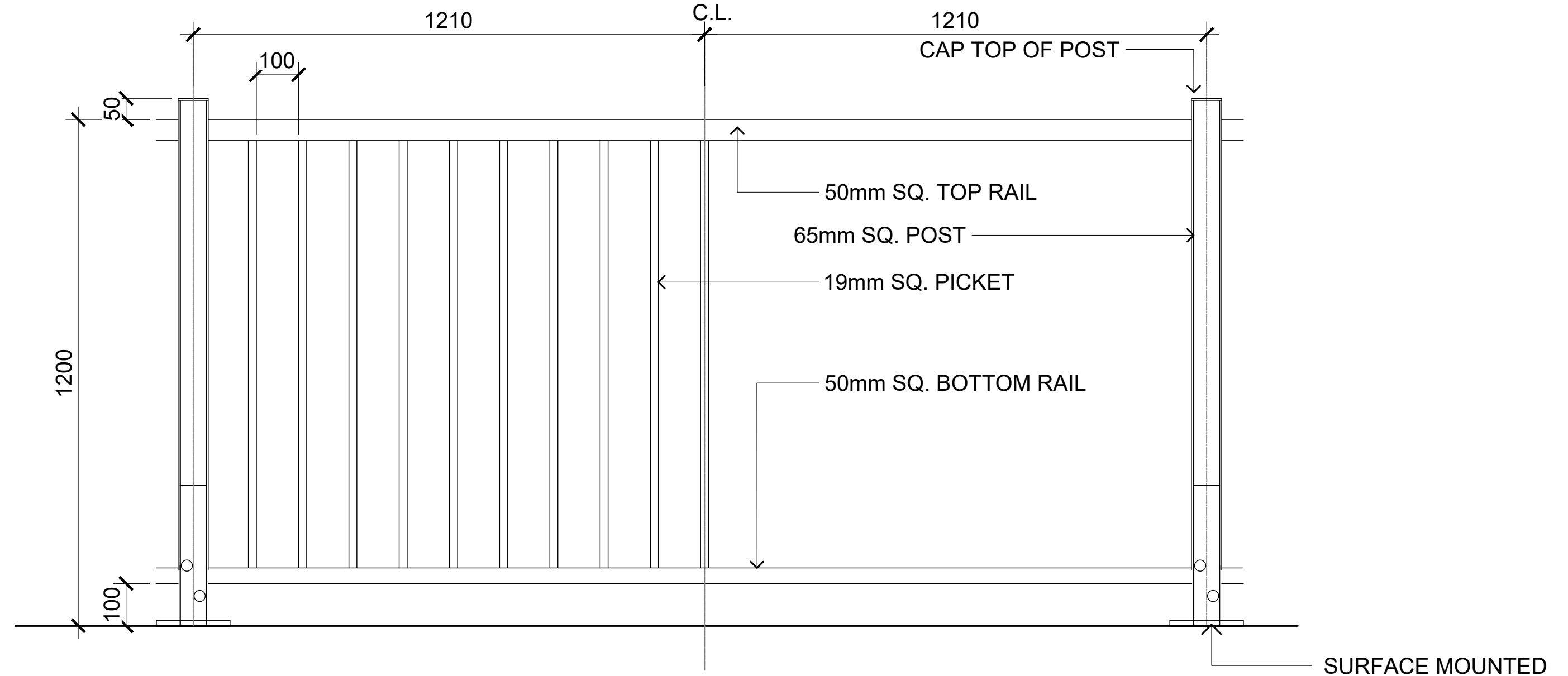


5 STONE STEPS
L-06 SCALE: 1:15



- NOTES:**
- ALL VOID SPACES TO BE FILLED WITH CLEAR CRUSHED AGGREGATE & CONSOLIDATED TO PREVENT MIGRATION OF FILL MATERIALS
 - ALL ROCKS TO BE STRUCTURALLY SOUND & FREE OF ANY SPALLING, CRACKS, CREVICES OF SPLINTERS.
 - PLACE ROCKS TO FACILITATE SLOPE STABILITY
 - ROCK TO BE BURIED 150MM DEPTH INTO GROUND

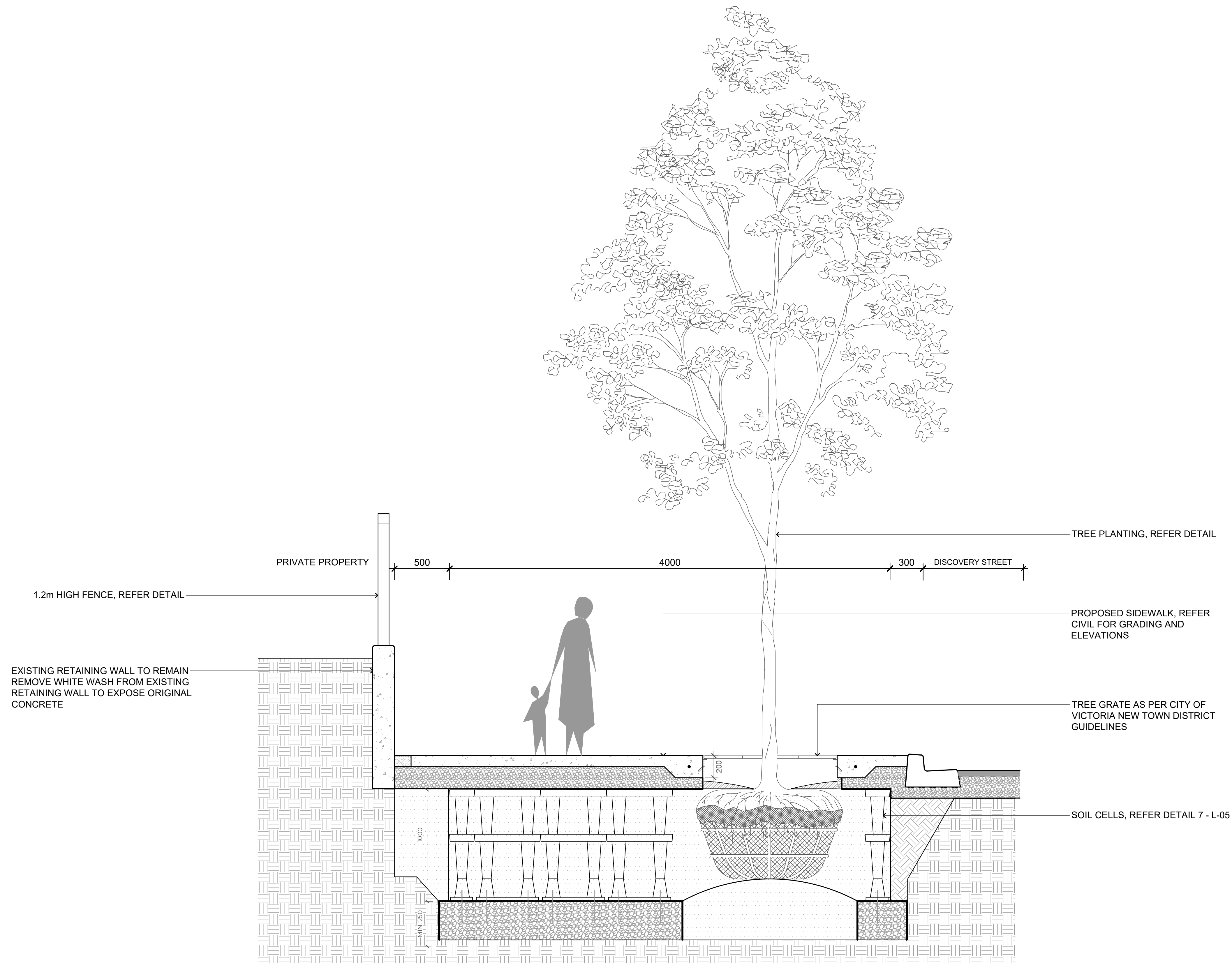
6 ROCK EDGE SEAT WALL
L-06 SCALE: 1:15



- NOTES:**
- METAL GUARDRAIL TO BE ALUMINUM.POWDER COAT FINISH. COLOR: BLACK.SURFACE MOUNTED.
 - SHOP DWGS TO BE PROVIDED FOR CONSULTANT APPROVAL PRIOR TO FABRICATION.

7 1.2m HIGH ALUMINUM GUARDRAIL
L-06 SCALE: 1:15





1 TYPICAL SOIL SECTION - SOIL CELLS
L-09 SCALE: 1:20