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walls, unless noted otherwise on the drawing.

21 RESPONSE TO DELEGATED DEVELOPMENT PERMIT

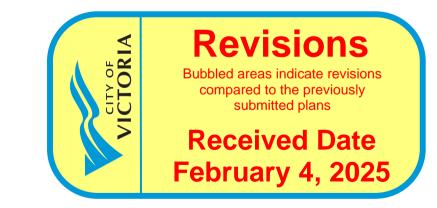
REVISION

SCALE



DISCOVERY STREET SUPPORTIVE HOUSING

RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS - 2025.01.03



Design Team

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S2ARCHITECTURE







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CHECKED BY CZ DRAWING NO.

DP0.0

PROJECT STATISTICS & SITE PHOTOS

W&R ACCESS AND FIRE CONNECTION PLAN

Municipal Address 722 and 726 DISCOVERY STREET

Legal Address

LOT 755 & 756, VICTORIA CITY, PID 009-382-119 & 009-382-151

By-Law Zoning

CURRENT ZONING: R-108 MULTIPLE DWELLING

PROPOSED ZONING: SITE-SPECIFIC ZONE (RESIDENTIAL RENTAL TENURE)

Site Summary

SITE AREA:	1,348.6m ² (0.33 ac)
PROPOSED BUILDING FOOTPRINT PROPOSED BICYCLE ENCLOSURE TOTAL FOOTPRINT	573.00 m2 62.00 m2 635.00m ²

Site Coverage

SITE AREA:	1,348.6m ² (0.33 ac)
SITE COVERAGE:	613.00m ² (45.4%)
OPEN SITE SPACE:	735.6m² (54.6%)

By-Law Setback

PROPOSED BUILDING SETBACK	S
FRONT (DISCOVERY STREET):	10.0m
REAR (NORTH):	4.0m
SIDE (EAST):	2.5m
SIDE (WEST):	3.0m

Proposed Development

REST HOME - CLASS C (SUPPORTIVE HOUSING)

BUILDING CLASSIFICATION AS PER B.C. BUILDING CODE: BUILDING 'C': GROUP C, ANY HEIGHT, ANY AREA, SPRINKLERED

Building Height

MAXIMUM PRINCIPAL BUILDING HEIGHT: 31.0m

MAXIMUM ALLOWABLE PROJECTIONS ABOVE PRINCIPAL BUILDING HEIGHT:

• PARAPETS: 1.0m

MAXIMUM PERMITTED F.S.R.

3.5

• ROOFTOP STRUCTURES: 5.0m

PROPOSED BUILDING HEIGHT: +/-27.0m PROPOSED PARAPET HEIGHT: +/-1.0m PROPOSED ROOFTON STRUCTUPES: +/-2.1pr

TOTAL PROPOSED BUILDING HEIGHT: 30.27m

Floor Space Ratio

STORMWATER MANAGEMENT PLAN OFFSITE SURFACE WORKS, LINE PAINTING & SIGN

LAYOUT PLAN

Drawing List

DP0.1

DP0.3

DP1.0

DP1.2

DP2.1

DP2.2

DP2.4

DP2.5

C102

COVER SHEET

SITE SURVEY

ENLARGED W&R

SHADOW STUDY

ROOF PLAN

UNIT PLANS

LEVEL 1 & 2 FLOOR PLANS

LEVEL 3 & 4 FLOOR PLANS

LEVEL 5 & 6 FLOOR PLANS LEVEL 7 & 8 FLOOR PLANS

BUILDING ELEVATIONS

BUILDING ELEVATIONS

BUILDING SECTIONS

BUILDING SECTIONS

SITE SERVICING PLAN

SITE GRADING PLAN

SITE PLAN

C501 GENERAL NOTES & DETAILS

COVER L-00

L-01

L-02 TREE REPLACEMENT & STORMWATER AREA PLAN

L-03 LANDSCAPE PLAN L-04 PLANTING PLAN L-05 PLANTING DETAILS

L-06 HARDSCAPE DETAILS

L-07 SITE FURNISHING DETAILS FENCING DETAILS L-08

Area Summary

NOTE: BALCONY, PATIO, TERRACE, AND DECK AREAS; MECHANICAL PENTHOUSES; AND ABOVE GRADE PARKING AREAS ARE NOT INCLUDED.

GROSS FLOOR AREA	GFA (SQM)
LEVEL 1	613
LEVEL 2	581
LEVEL 3	581
LEVEL 4	581
LEVEL 5	581
LEVEL 6	581
LEVEL 7	581
LEVEL 8	581
TOTAL GFA	4,680

Dwelling Unit Count

UNIT SUMMARY				
UNIT NAME UNIT TYPE UNIT AREA		QUANTITY	% OF TOTAL	
A1/A2	STUDIO	33-36	74	82%
A3	ACCESSIBLE STUDIO	34	8	8%
A3	ADAPTABLE STUDIO	34	8	8%
TOTAL		90	100.0%	

Motor Vehicle Parking Requirements

RESIDENTIAL - UNIT PARKING					
DESCRIPTION	DESCRIPTION UNIT AREA COUNT (m2) FACTOR				PROVIDED
UNITS - RESIDENTIAL	90	N/A	0.2 STALLS PER UNIT	18	0
UNITS - VISITOR	90	N/A	0.1 STALLS PER UNIT	9	0
EMPLOYEE AREAS	N/A	86	1 STALL PER 80 m2	1	0
TOTAL PARKING					0

NOTE: PARKING CALCULATIONS PROVIDED BY CITY OF VICTORIA PLANNING ON JUNE 15, 2022.

NOTE: THE PURPOSE OF THIS DEVELOPMENT IS FOR SUPPOPRTIVE HOUSING IN WHICH THE RESIDENTS TYPICALLY DO NOT OWN VEHICLES OR DRIVE. BASED UPON PREVIOUS PROJECT EXPERIENCE AND SUBSEQUENT TRAFFIC AND PARKING ANALYSIS, NO PARKING IS TO BE REQUIRED OR PROVIDED ON SITE.

Bicycle Parking Requirements

RESIDENTIA	L - LONG TER	RM PARKING		
DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	1 PER UNIT	90	30

NOTE: LONG TERM PARKING COUNT INCLUDES: 25 WALL MOUNTED BIKE STALLS 5 FLOOR MOUNTED BIKE STALLS

RESIDENTIAL - SHORT TERM PARKING				
DESCRIPTION	QUANTITY	FACTOR	REQUIRED	PROVIDED
UNIT COUNT	90	0.1	9	9

Waste & Recycling Requirements

SUFFICIENT SPACE HAS BEEN PROVIDED FOR A MIN. OF ONE COLLECTION CONTAINER FOR GARBAGE, ONE COLLECTION CONTAINER FOR RECYCABLE MATERIALS, AND TWO COLLECTION CONTAINERS FOR FOOD AND YARD WASTE MATERIALS TO ACCOMMODATE THE TOTAL WASTE VOLUME. THE FOLLOWING IS A LIST OF CONTAINERS PROVIDED:

 4yd³ WASTE BIN 4yd³ RECYCLE BIN

PROPOSED F.S.R

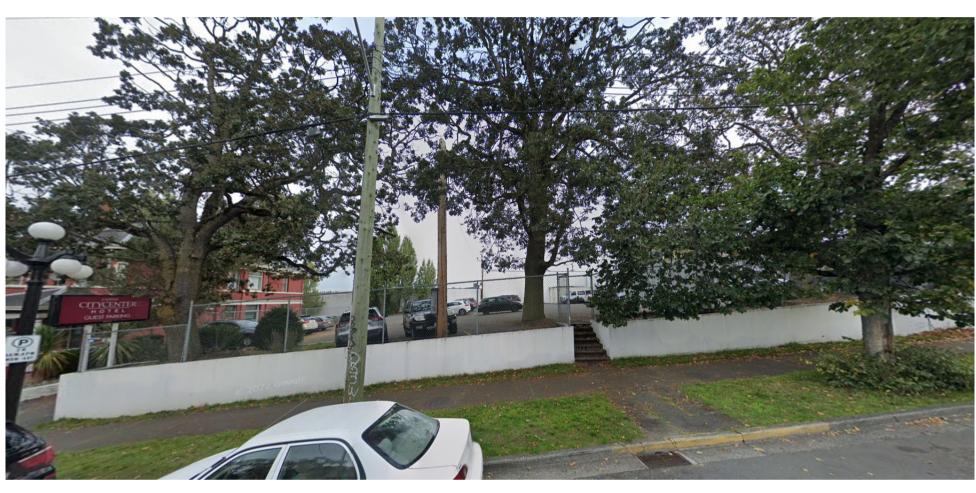
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TWO 189L ORGANICS BINS

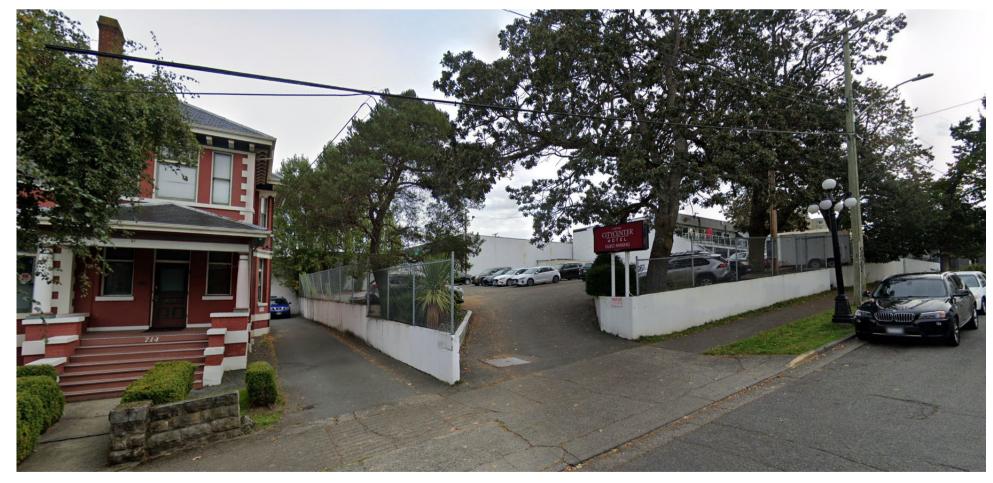
NOTE: DUE TO THE SIZE OF THE DEVELOPMENT, BI-WEEKLY WASTE PICK-UP IS BEING PROPOSED.



1 Looking North-West



2 Looking North



3 Looking North-East



HOUSING

SITE

VICTORIA, B.C. BC HOUSING

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face of stud for interior partitions, and centreline of demising walls, unless noted otherwise on the drawing. All drawings remain the property of the Architect. These

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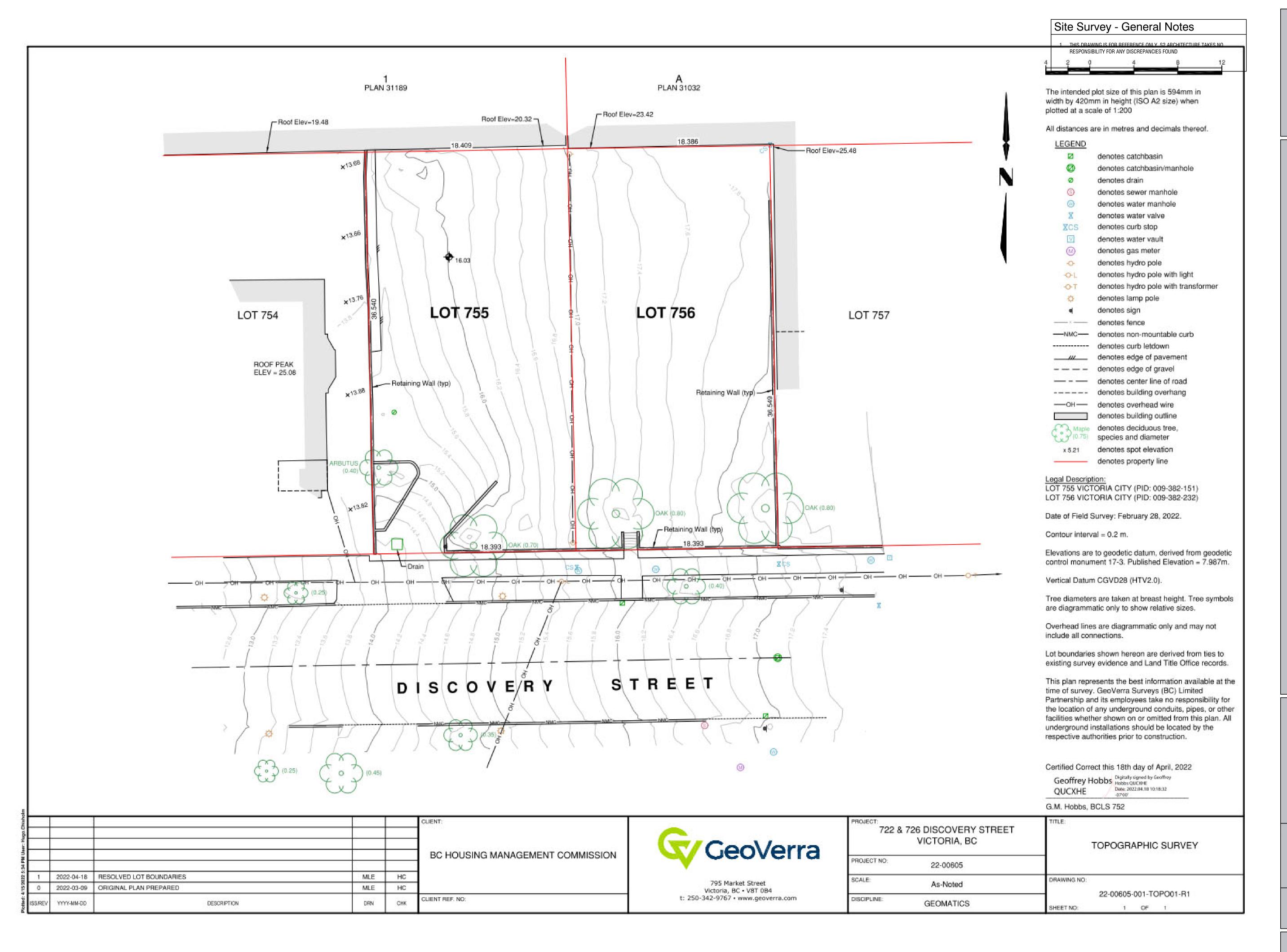
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ITE SURVEY

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EET, VICTORIA, B.C.
BC HOUSING

COVERY STREET SUPPORTING TO STATE ST

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4	DP RE-SUBMISSON	07.04.2023			
5	ISSUED FOR SCHEMATIC TENDER	07.10.2023			
10	LAND USE & D.P. SUBMISSION	04.29.2022			

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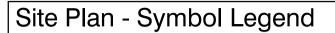
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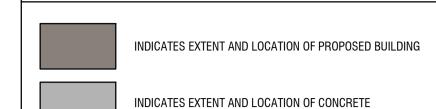
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Site Plan - General Notes

- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE
- REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES





INDICATES EXTENT AND LOCATION OF UNIT PAVERS - REFER

INDICATES EXTENT AND LOCATION OF HEAVY DUTY UNIT PAVERS - REFER TO LANDSCAPE

INDICATES EXTENT AND LOCATION OF CONCRETE DRIVEWAY

INDICATES EXTENT AND LOCATION OF SHALE GRAVEL - REFER TO LANDSCAPE

INDICATES EXTENT AND LOCATION OF LANDSCAPED AREA -REFER TO LANDSCAPING

INDICATES PROPERTY LINE (SCALED DOWN FOR CLARITY) ---- INDICATES SETBACK LINE (SCALED DOWN FOR CLARITY)

•—•—• INDICATES LINE OF FENCE

INDICATES LOCATION OF PROPOSED FIRE HYDRANT

INDICATES LOCATION OF BUILDING SIAMESE CONNECTION

INDICATES LOCATION OF PROPOSED TRANSFORMER /

INDICATES LOCATION OF EXISTING LIGHT STANDARD

INDICATES LOCATION OF EXISTING LIGHT STANDARD

INDICATES LOCATION OF PROPOSED POWER POLE

INDICATES LOCATION OF EXISTING POWER POLE

INDICATES LOCATION OF PROPOSED GUARD BOLLARD

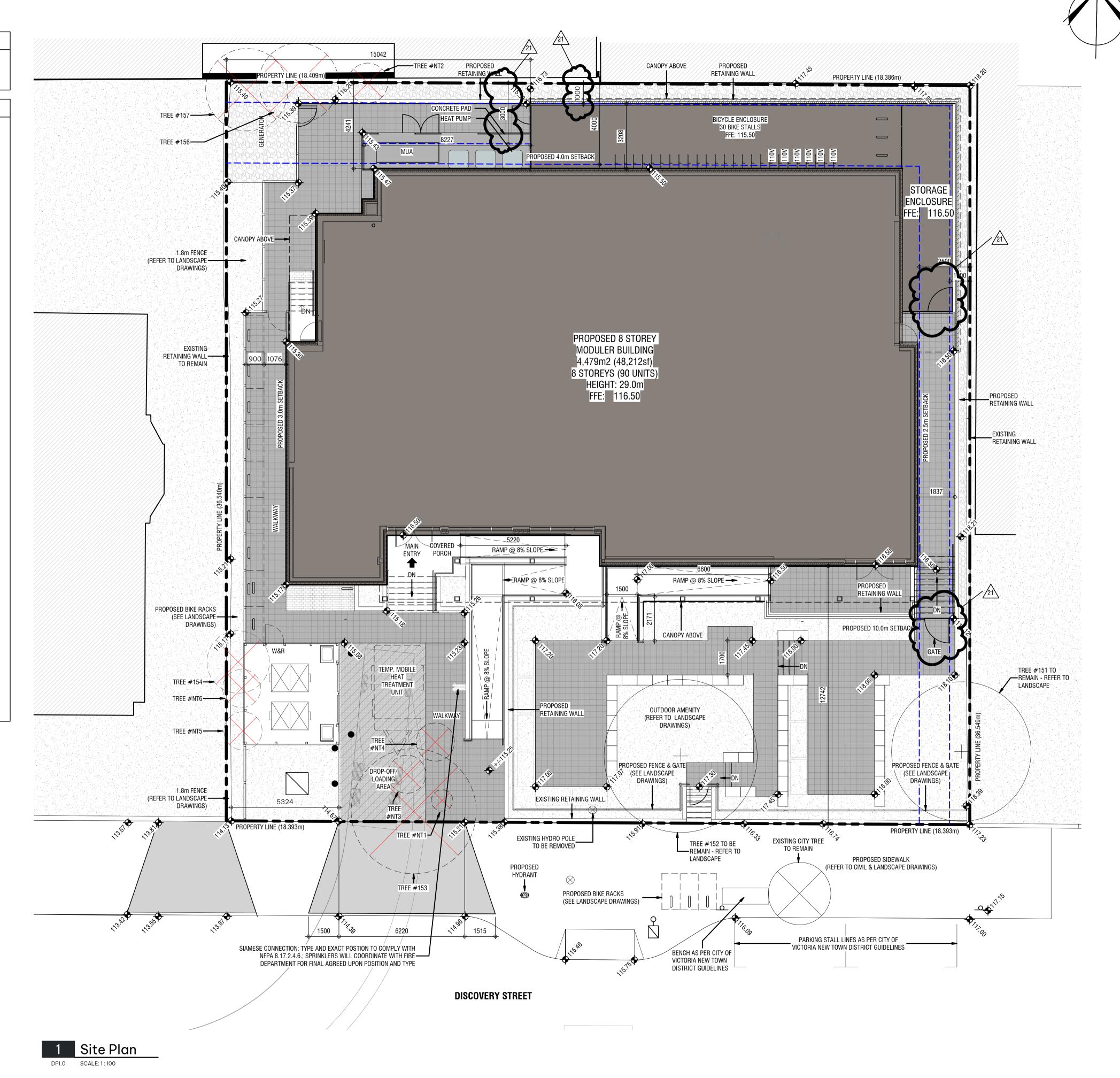
[] INDICATES LOCATION OF BIKE RACK

INDICATES NO PARKING SIGN

INDICATES EXISTING GEODETIC SPOT ELEVATION

INDICATES PROPOSED GEODETIC SPOT ELEVATION

INDICATES TREE TO BE REMOVED - REFER TO LANDSCAPE FOR DETAILS





6th Floor, 220 - 12th Avenue SW Calgary, AB, Canada T2R 0E9 T 403.670.7000 www.s2architecture.com

VICTORIA, B.C. BC HOUSING HOUSING

SUPPORTIVE STRE

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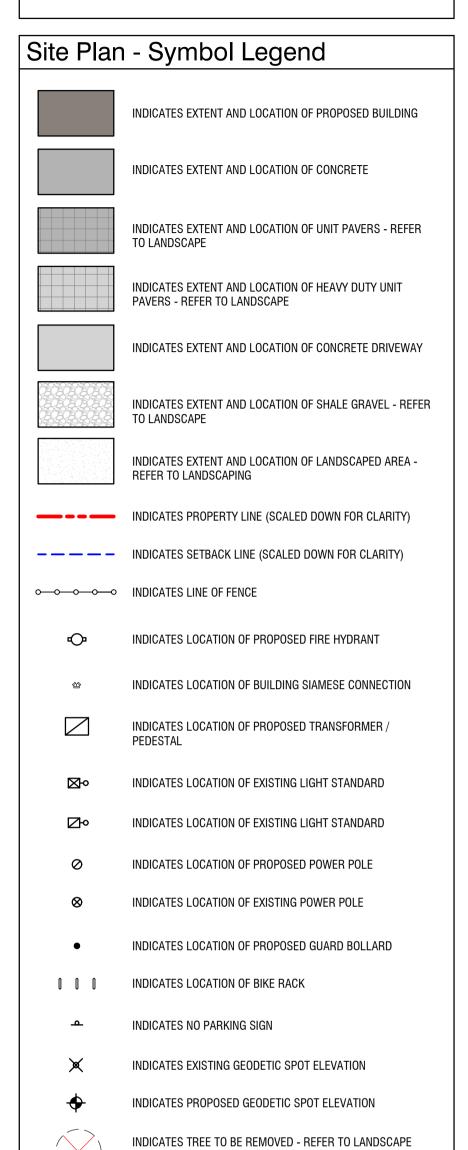
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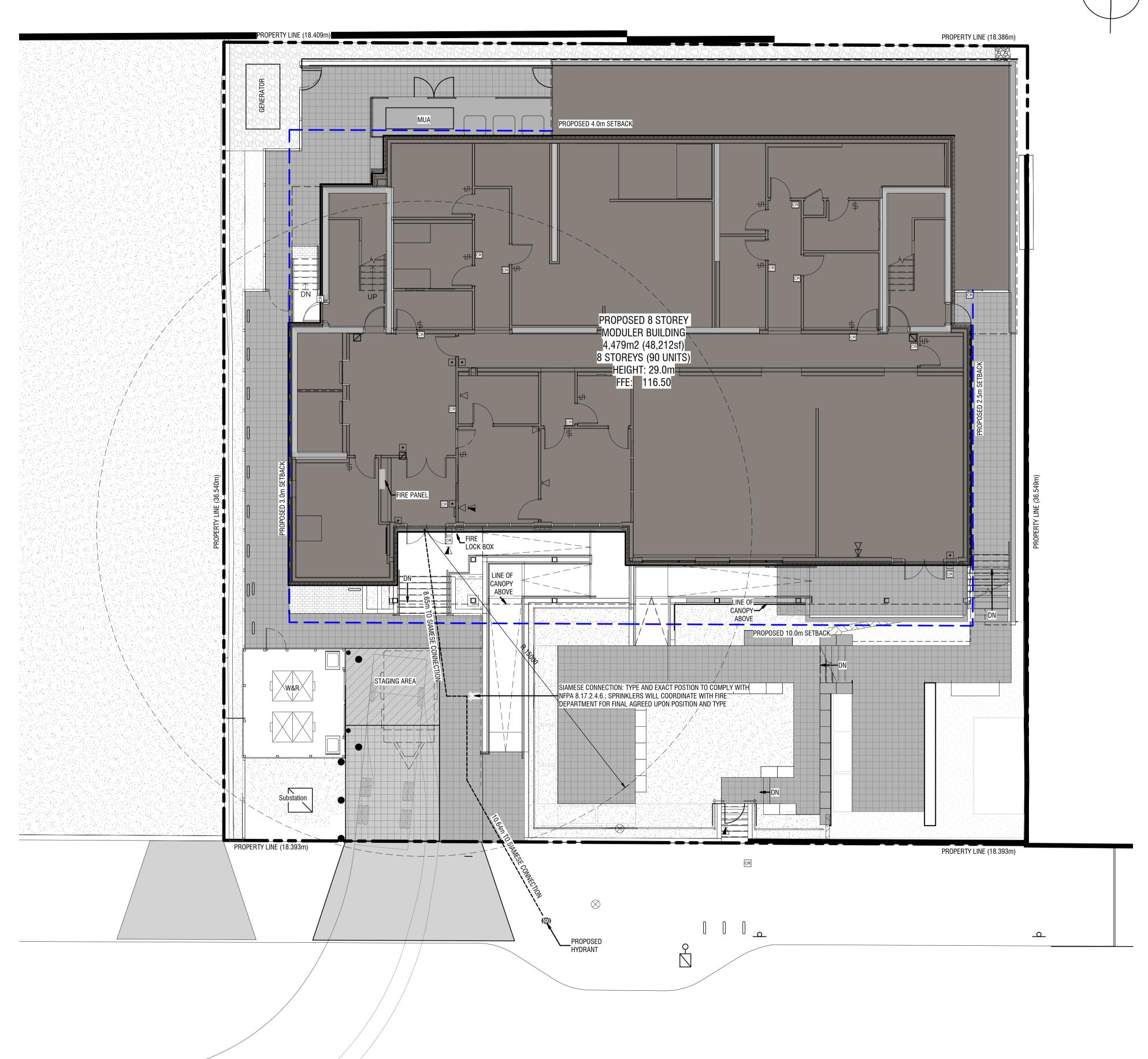
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Site Plan - General Notes

- REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL DISCIPLINE RELATED INFORMATION.
- 2. REFER TO LANDSCAPE PLAN FOR LOCATION OF PROPOSED TREES



FOR DETAILS

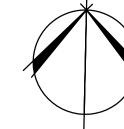


DISCOVERY STREET

ROAD CENTERLINE

WASTE VEHICLE

1 Site Access Plan
DP1.1 SCALE: 1: 100





VICTORIA, B.C. BC HOUSING

HOUSING

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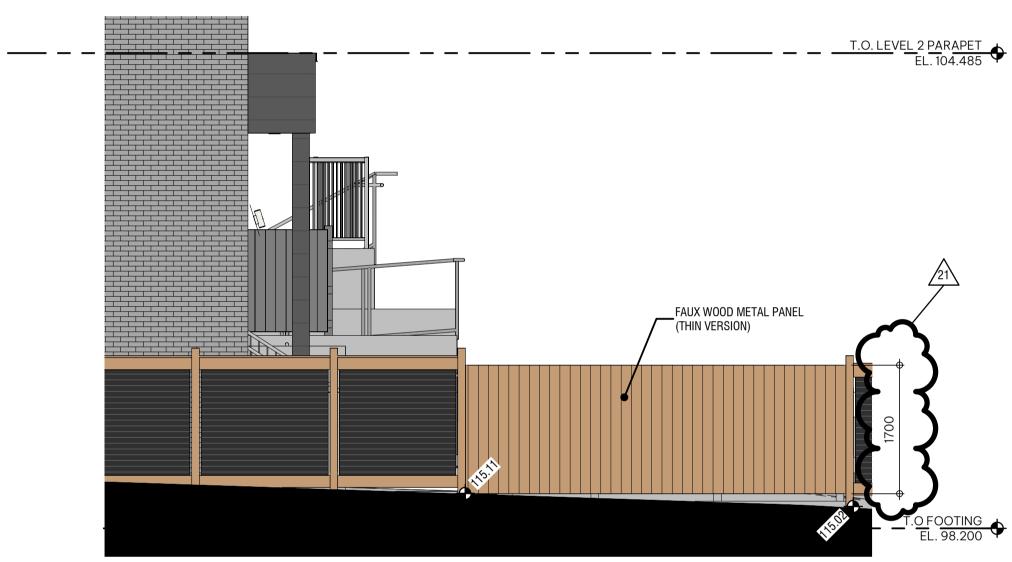
6 RE-ISSUED FOR 09.18.2023 DEVELOPMENT PERMIT 10 LAND USE & D.P. 04.29.2022 SUBMISSION

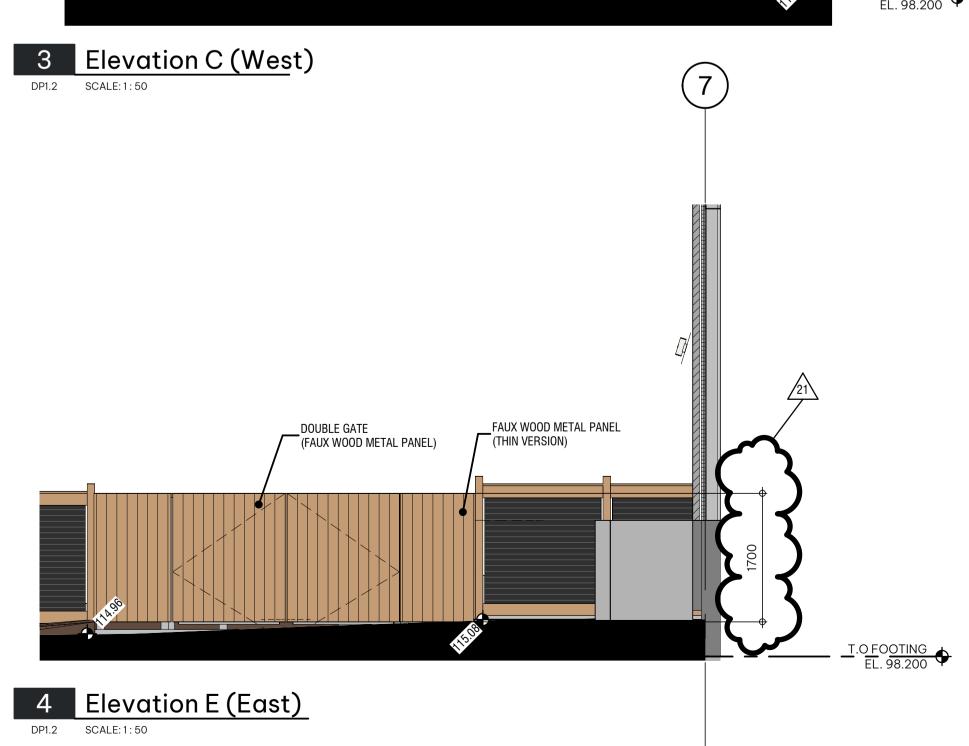
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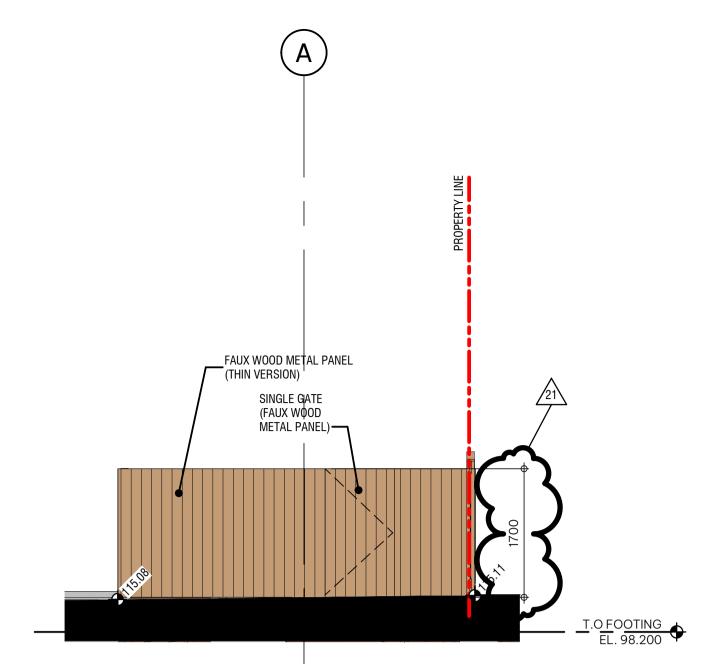
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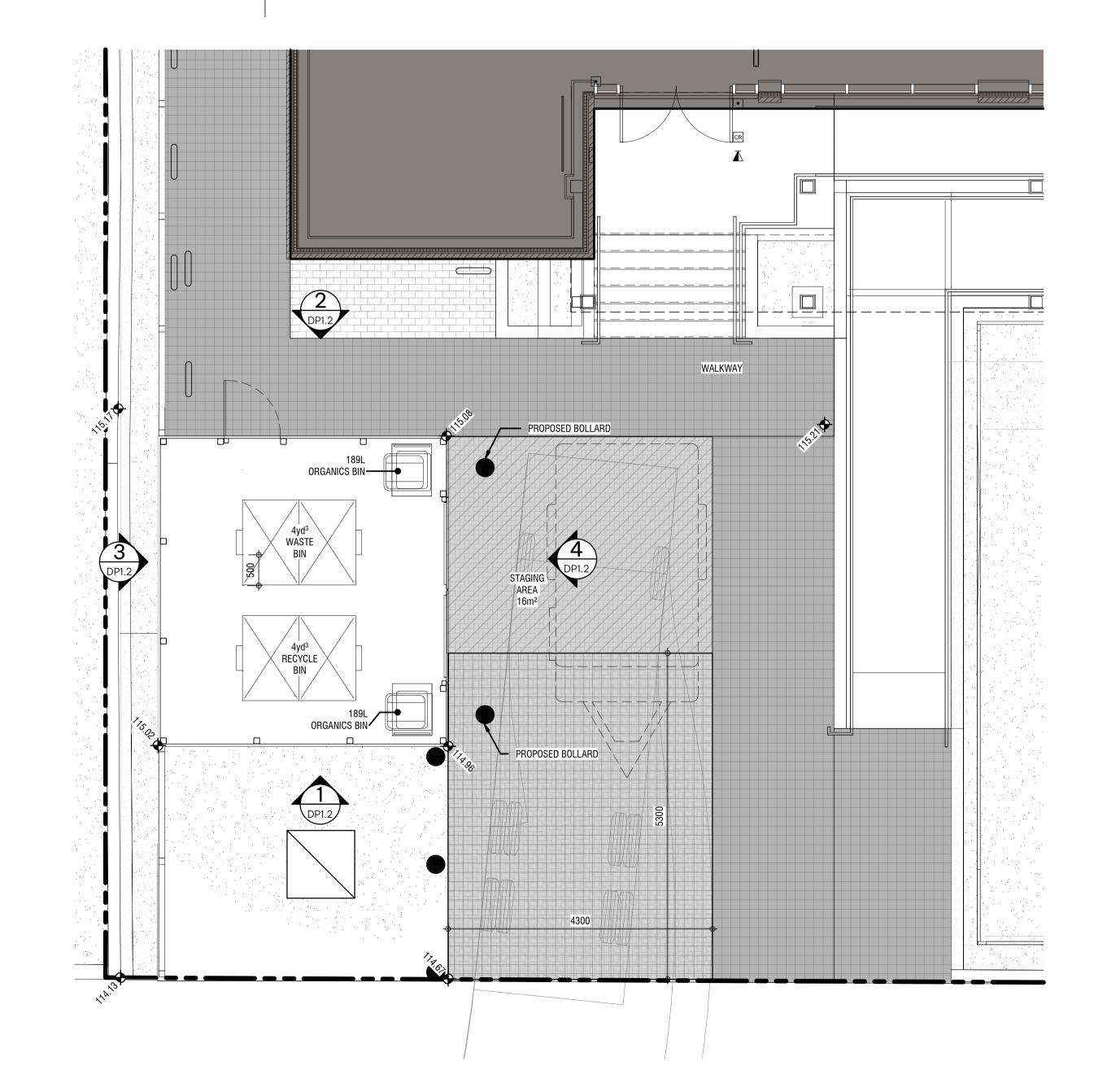
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2 Elevation B (North)
DP1.2 SCALE: 1: 50



5 Enlarged W&R & Bicycle Enclosure

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> VICTORIA, B.C. BC HOUSING HOUSING

ENLARGED W&R

SUPPORTIVE STREET **ISCOVERY**

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14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION 21 RESPONSE TO DELEGATED 2025.01.03
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SHADOW STUDY

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4 DP RE-SUBMISSON
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10 LAND USE & D.P.

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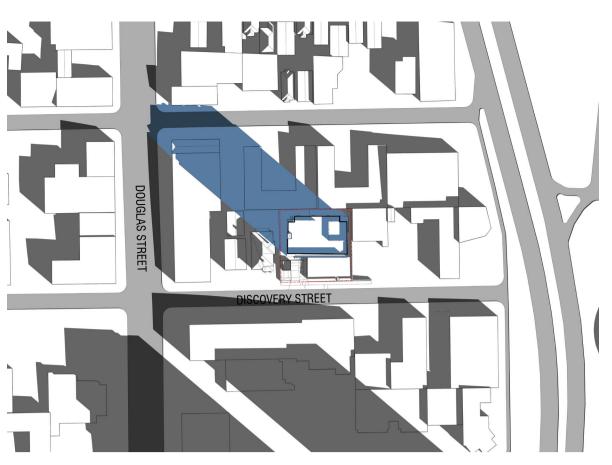
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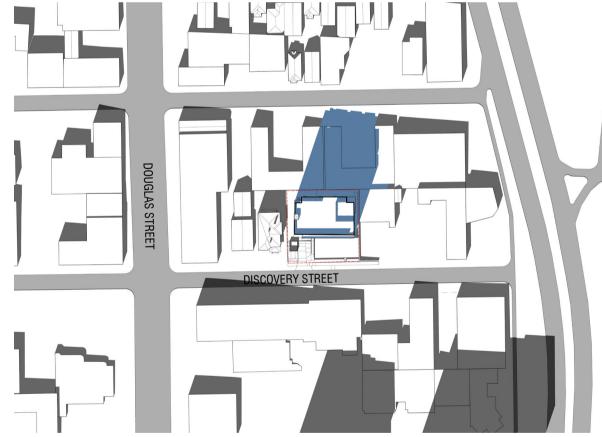
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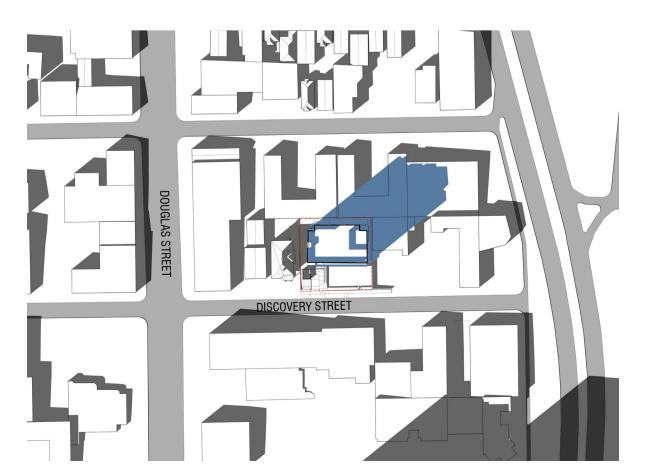
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MARCH 21 - 12:00 PM



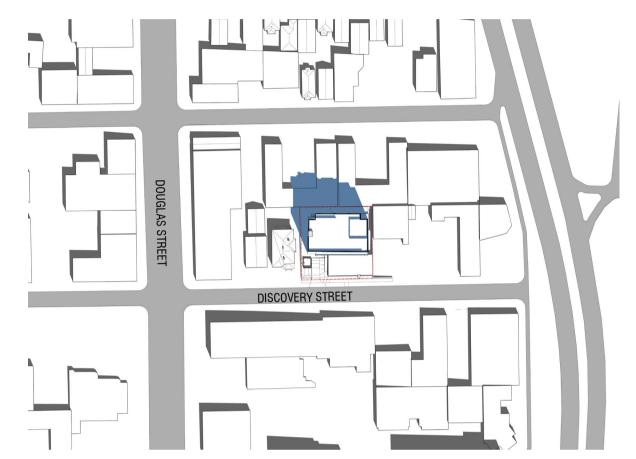
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MARCH 21 - 4:00PM



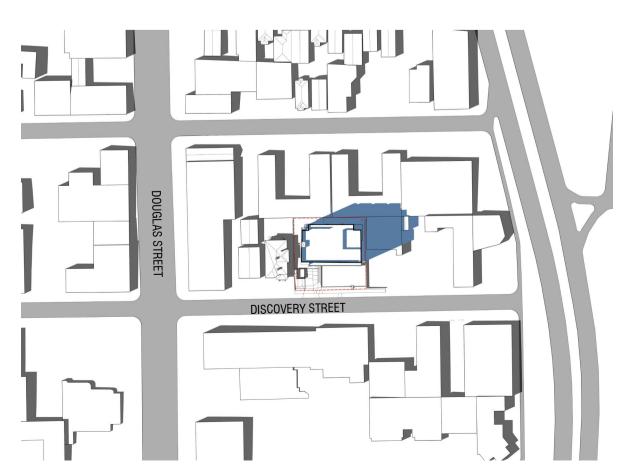
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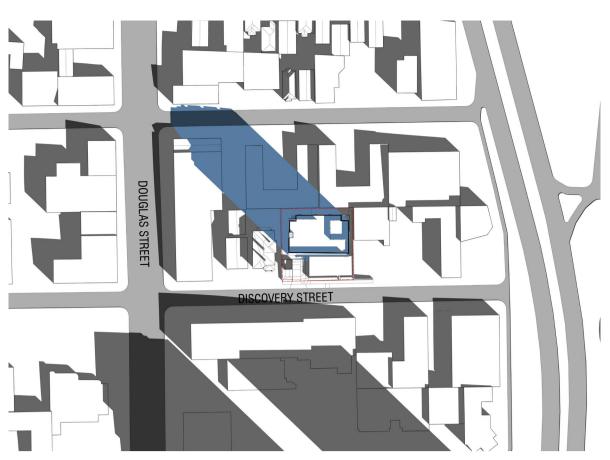
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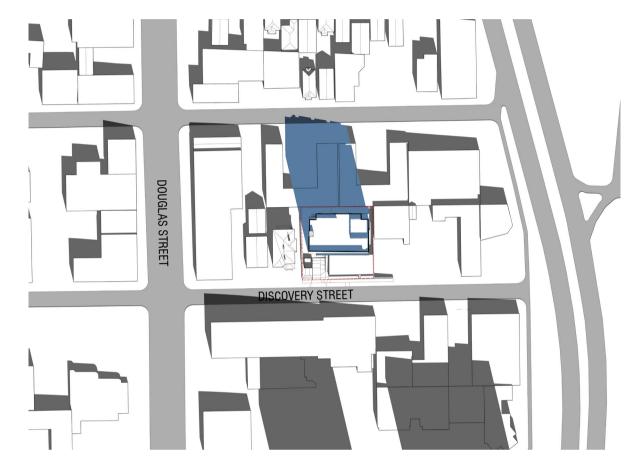
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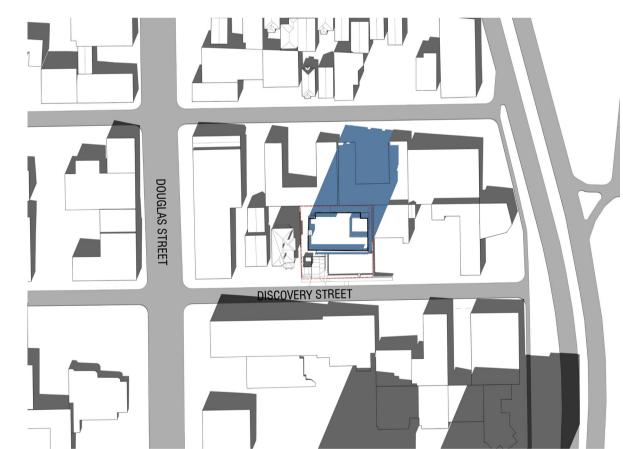
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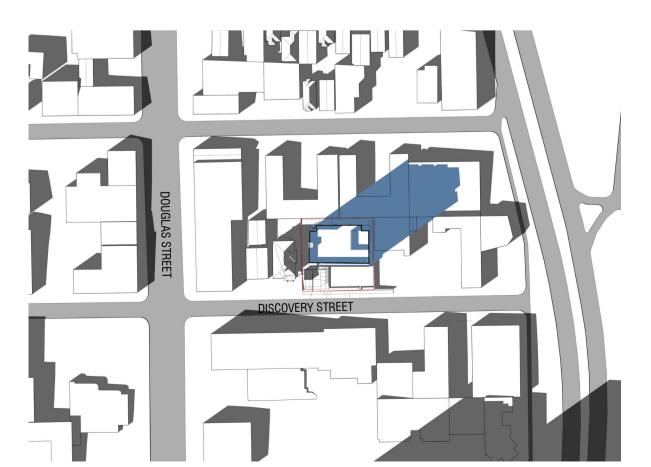
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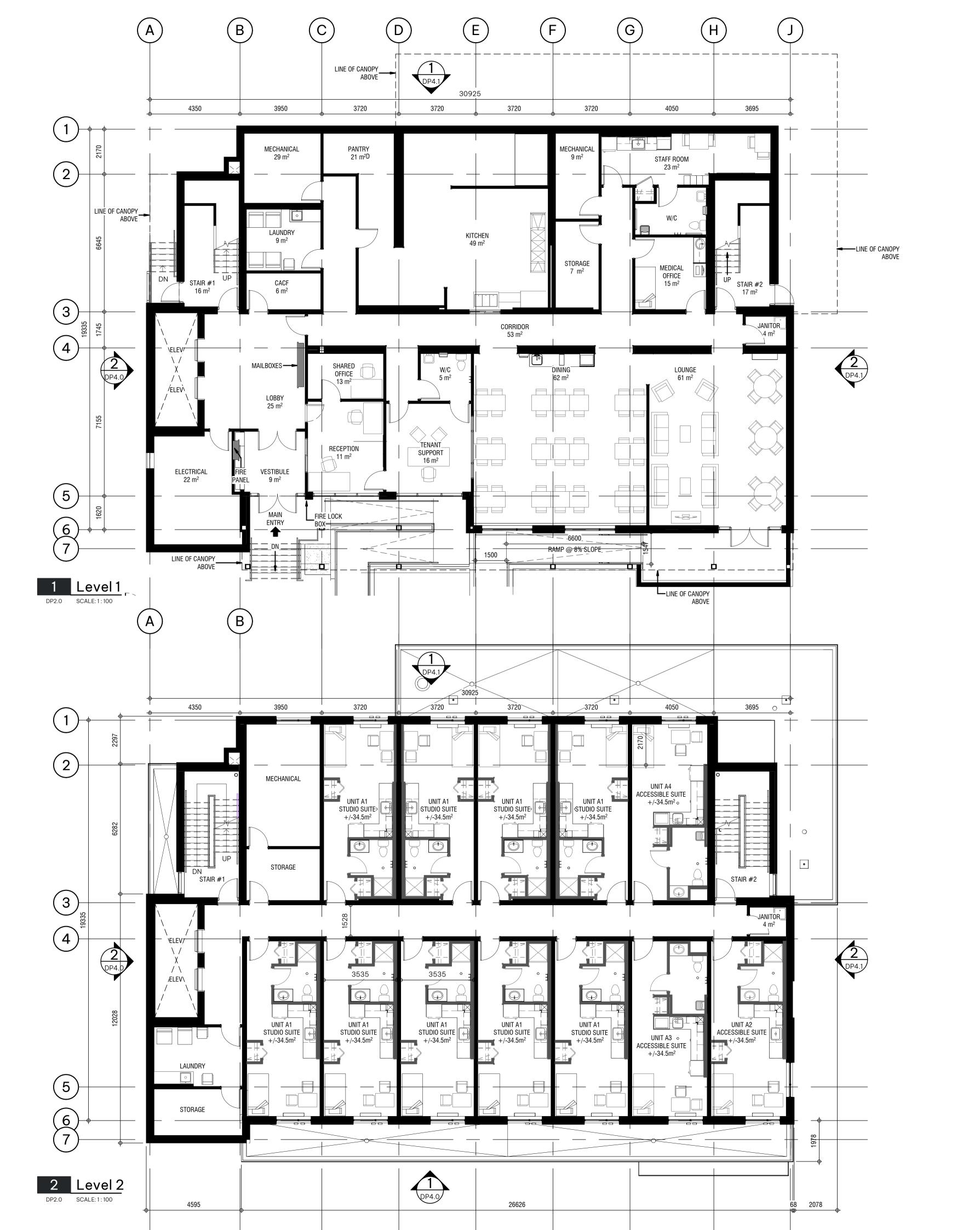
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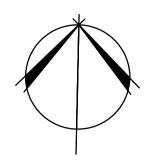


SEPTEMBER 21 - 2:00 PM



SEPTEMBER 21 - 4:00PM







SUPPORTIVE HOUSING
DISCOVERY STREET, VICTORIA, B.C.
BC HOUSING

2 FLOOR PLANS

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DISCOVERY STREET SUPPORTIVE HO

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14	ISSUED FOR DELEGATED DP SUBMISSION	2024.0
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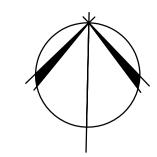
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VICTORIA, B.C. BC HOUSING HOUSING SUPPORTIVE STREET **ISCOVERY**

DISCOVERY

4 FLOOR PLANS

LEVEL 3 & 4

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4 DP RE-SUBMISSON 5 ISSUED FOR SCHEMATIC TENDER 10 LAND USE & D.P. SUBMISSION

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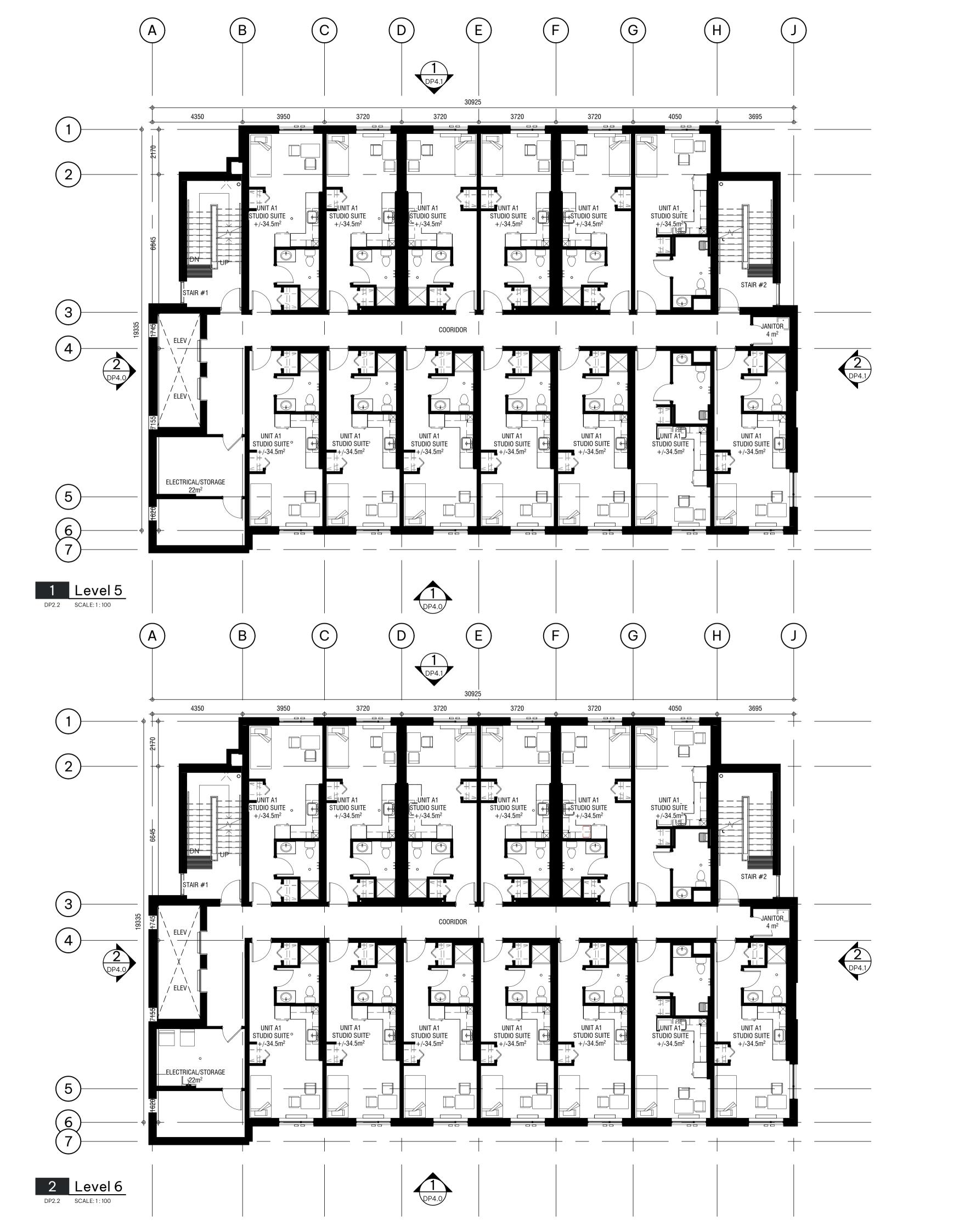
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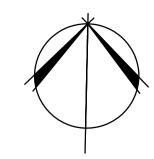
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5 & 6 FLOOR PLANS

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VICTORIA, B.C. BC HOUSING

DISCOVERY

HOUSING SUPPORTIVE STREET **ISCOVERY**

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4	DP RE-SUBMISSON
5	ISSUED FOR SCHEMATIC
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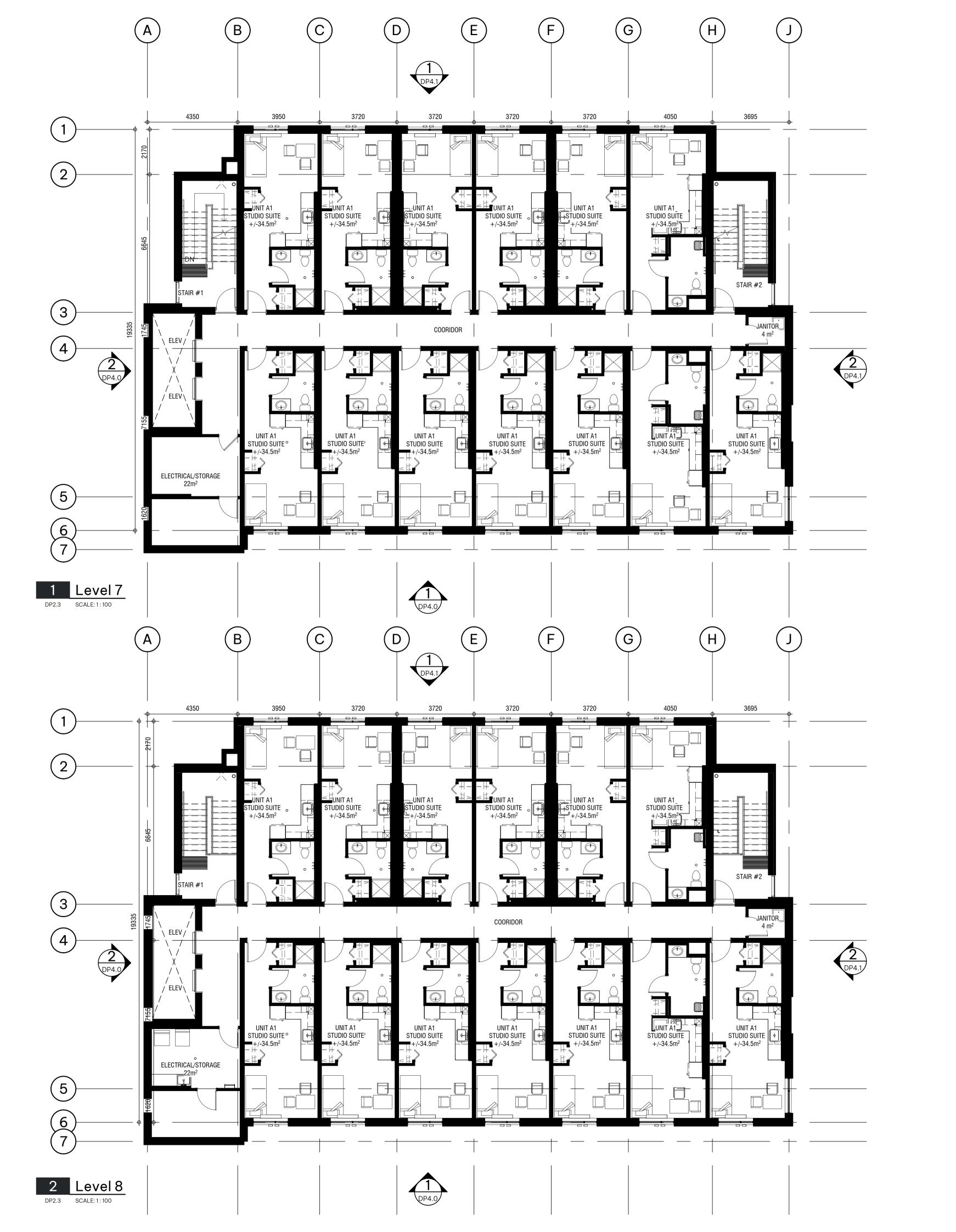
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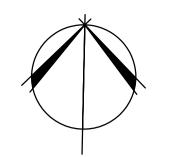
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07.04.2023 07.10.2023

04.29.2022







7 & 8 FLOOR PLANS

DISCOVERY STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING

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DATE

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DISCOVERY STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING 221243

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10	LAND USE & D.P. SUBMISSION	04.29.202
14	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.1

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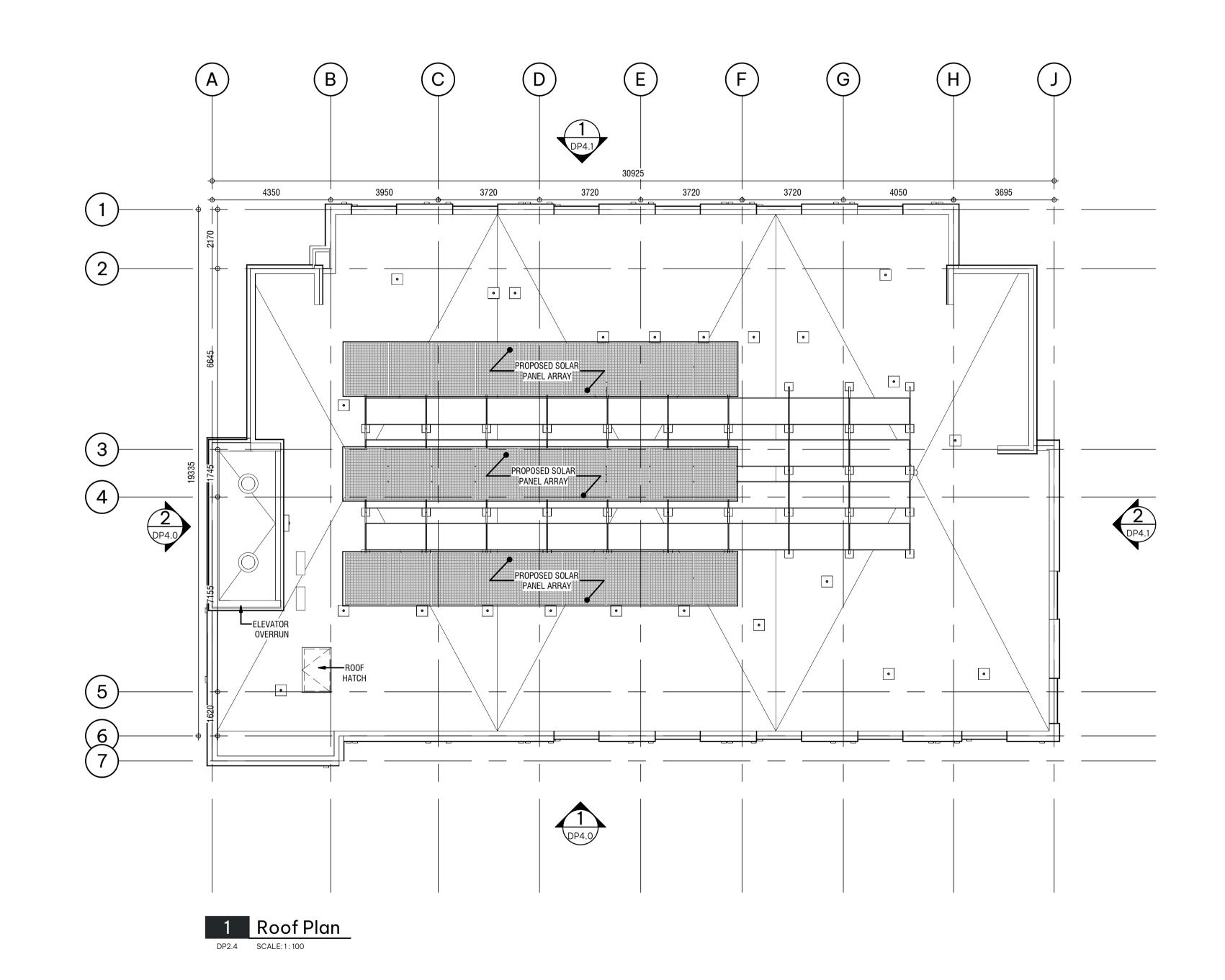
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DRAWING NO.

DP2.4



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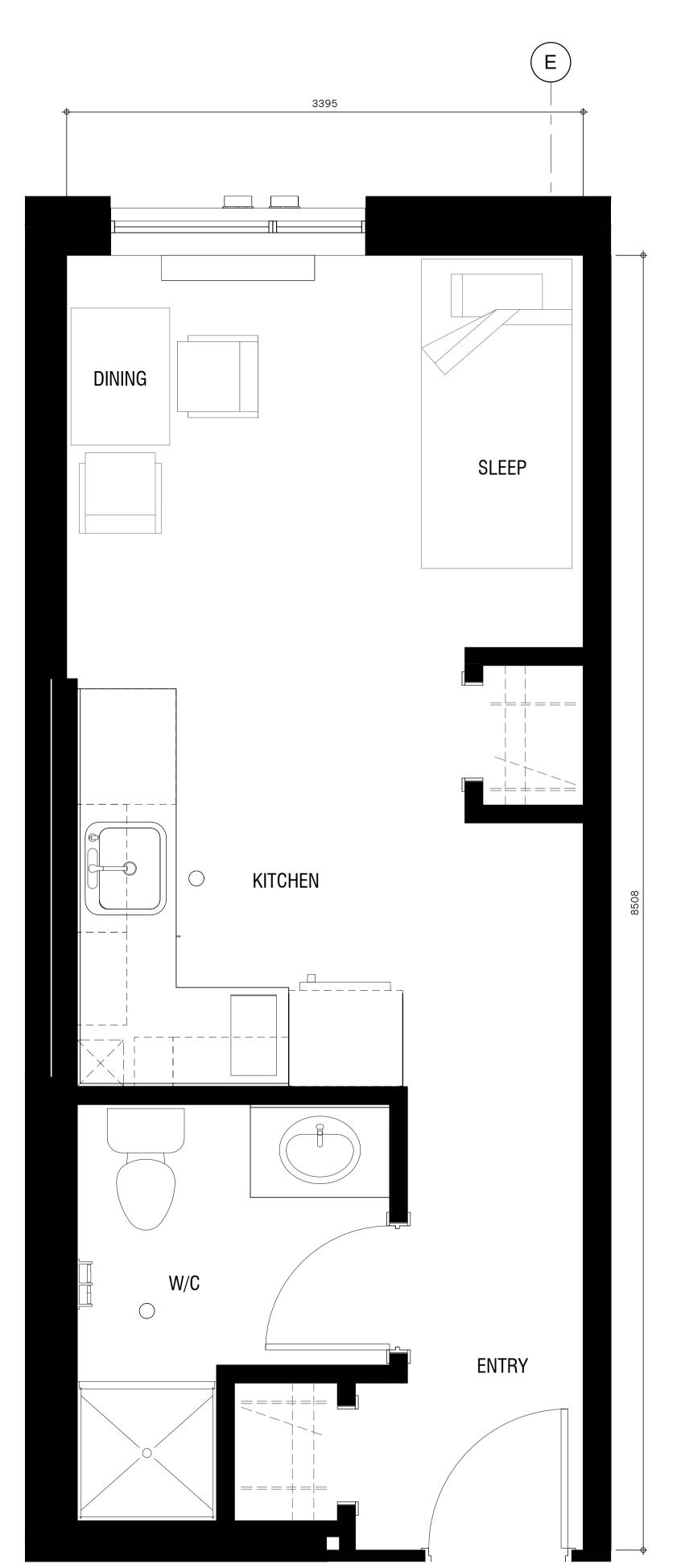
5 ISSUED FOR SCHEMATIC 07.10.2023 TENDER

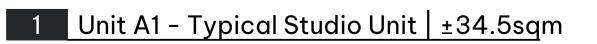
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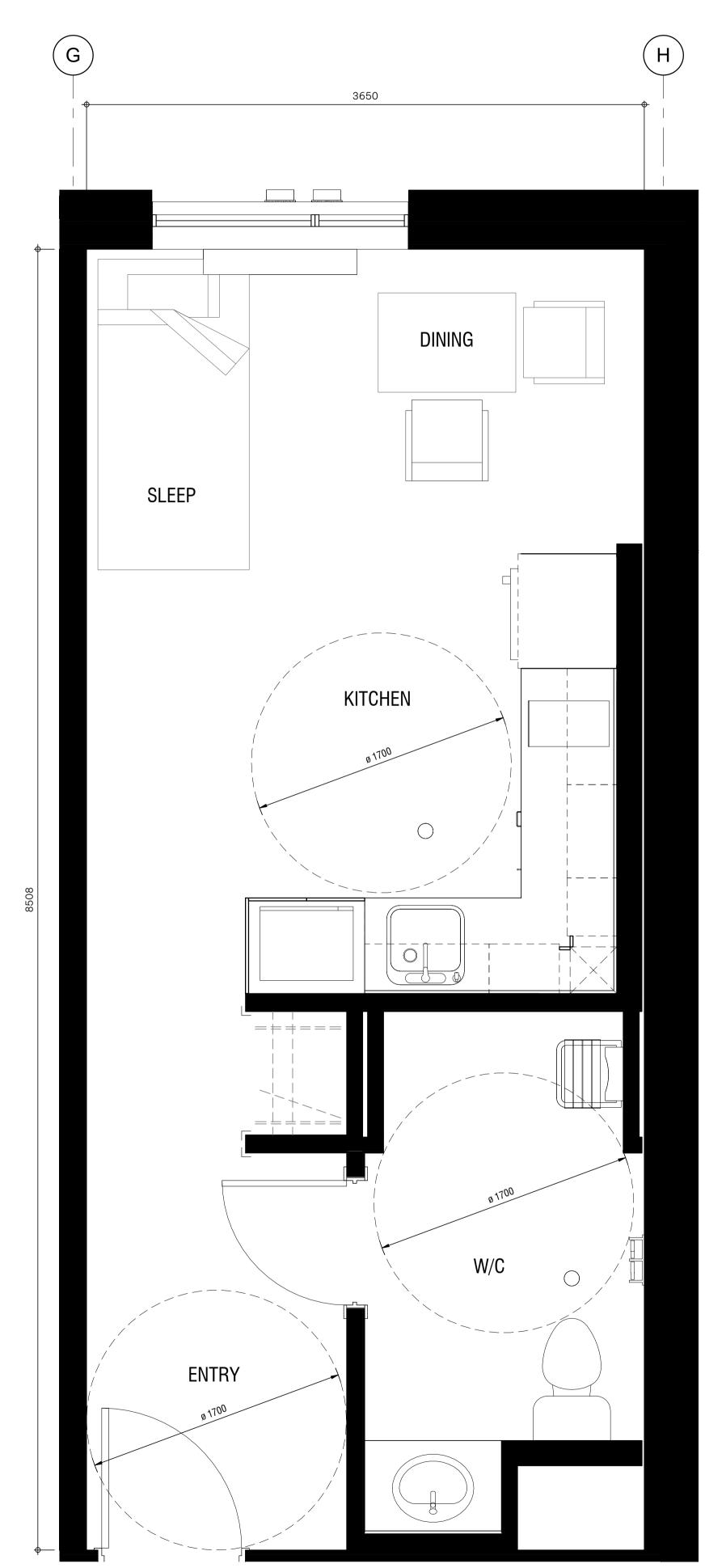
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DP2.5







Unit A2/A3 - Accessible & Adaptable Units ±34.5 sqm



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Elevation - Code Legend

1 VERTICAL METAL PANEL (WOOD LOOK) - GOLDEN OAK TONE

5 SEALED GLAZING UNIT C/W CHARCOAL MULLIONS - VISION GLASS

6 METAL PLATE SPANDREL PANEL C/W CHARCOAL MULLIONS - CHARCOAL

2 COMPOSITE METAL PANEL - CHARCOAL (CORRUGATED)

3 PVC WINDOW - FROSTED GLASS - BLACK FRAME

4 METAL PANEL - CHARCOAL

HOUSING

VICTORIA, B.C. BC HOUSING

DISCOVERY

SUPPORTIVE

STREE

ISCOVERY

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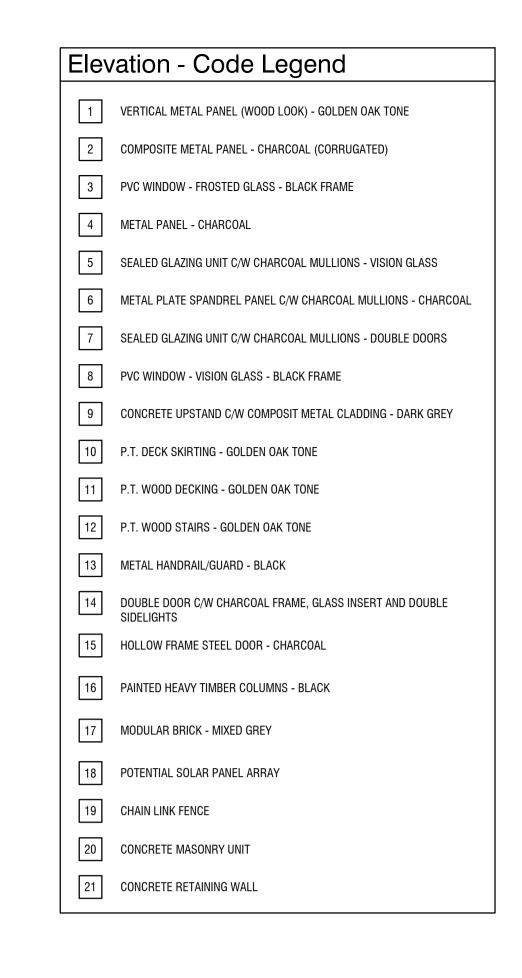
14 ISSUED FOR DELEGATED DP 2024.08.15 SUBMISSION

21 RESPONSE TO DELEGATED 2025.01.03
DEVELOPMENT PERMIT
COMMENTS

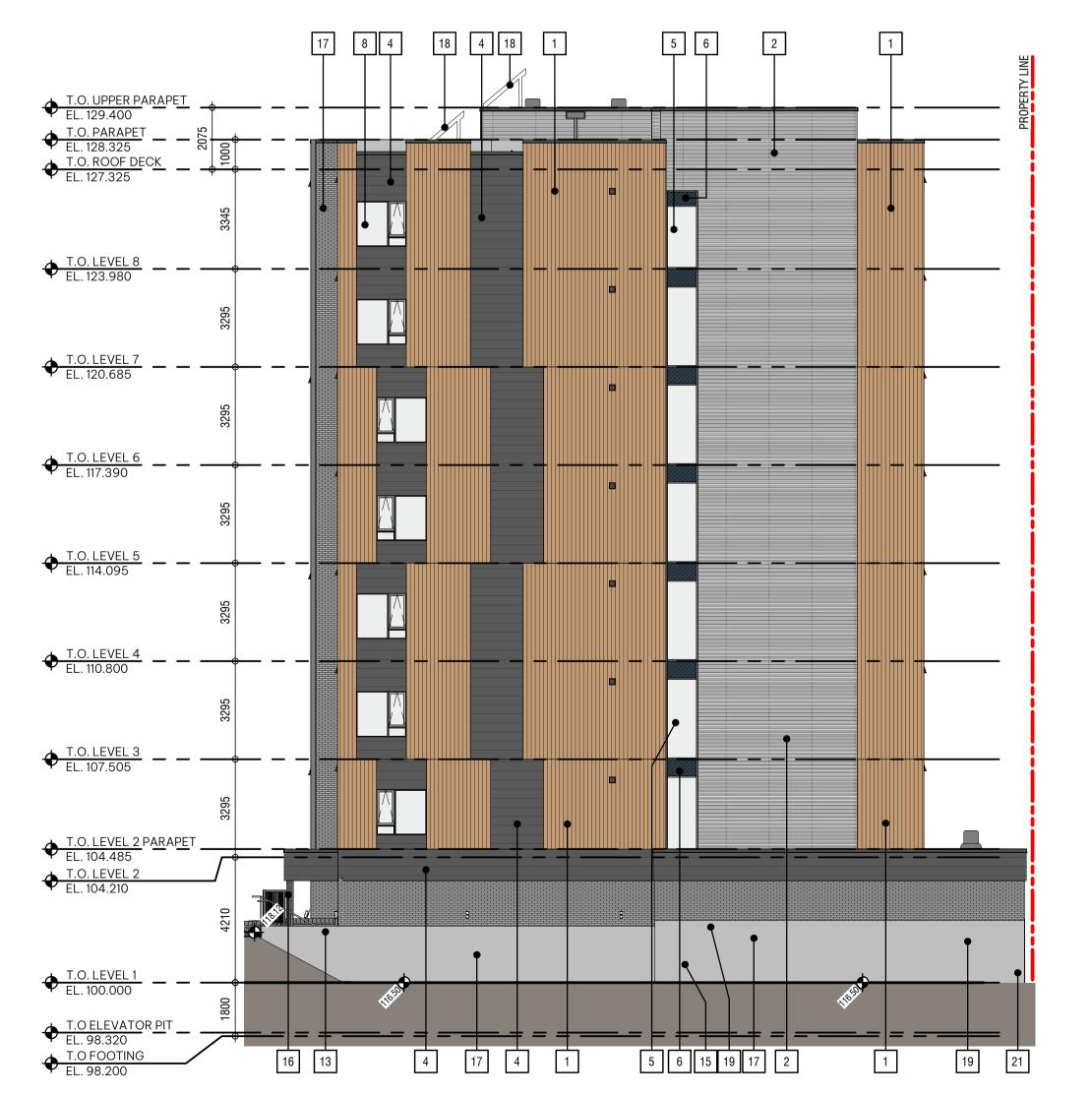
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CHECKED BY CZ DRAWING NO.

DP4.0







2 East Elevation
DP4.1 SCALE:1:125

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> VICTORIA, B.C. BC HOUSING HOUSING

BUILDING ELEVATIONS

SUPPORTIVE DISCOVERY STRE

ISCOVERY

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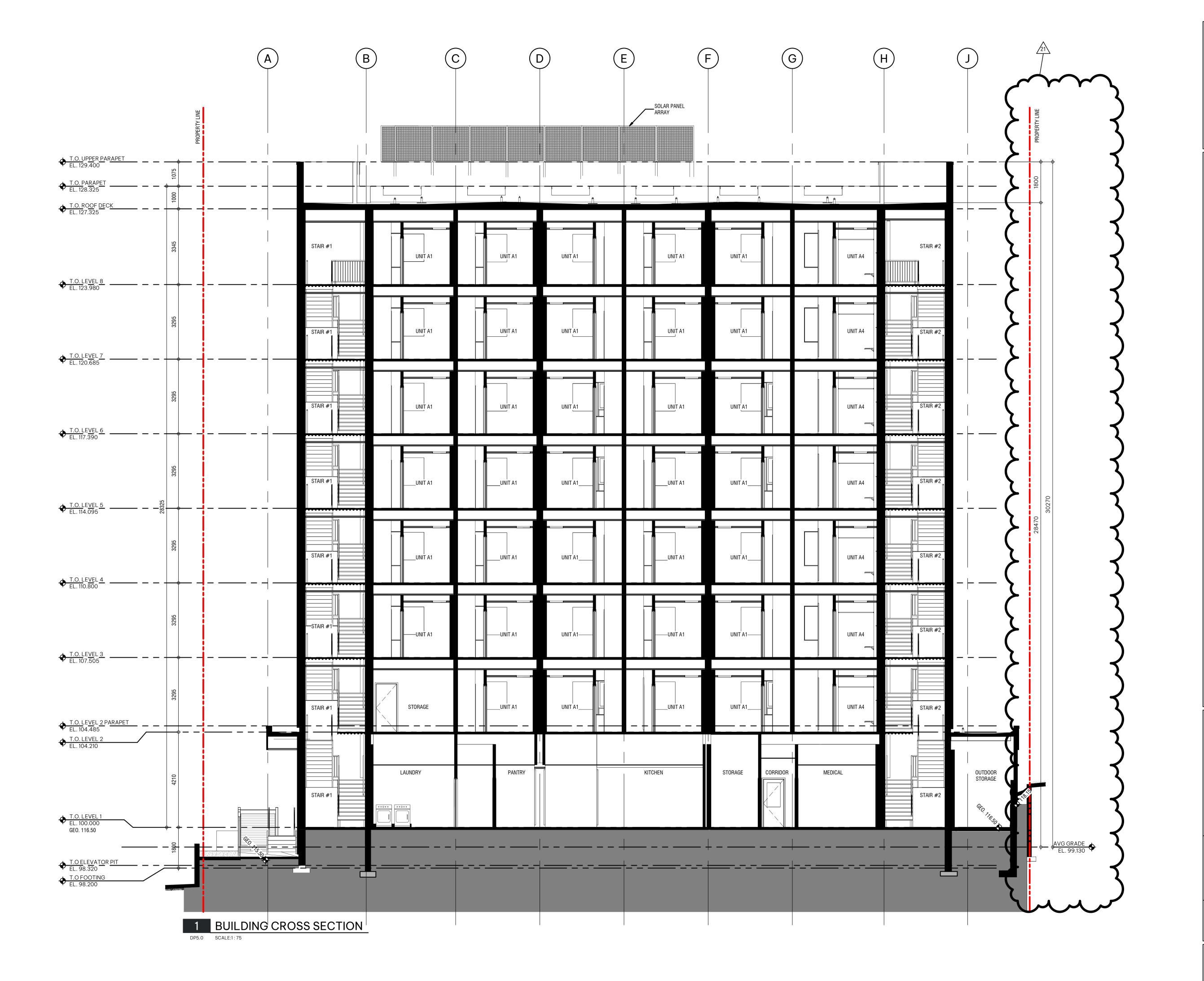
14 ISSUED FOR DELEGATED DP 2024.08.15 18 RESPONSE TO DELEGATED 2024.11.22 DEVELOPMENT PERMIT COMMENTS

REVISION

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DP4.1





VICTORIA, B.C. BC HOUSING

DISCOVERY

BUILDING SECTIONS

ISCOVERY STREET SUPPORTIVE HOUSING

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4	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.15
1	RESPONSE TO DELEGATED DEVELOPMENT PERMIT COMMENTS	2025.01.03

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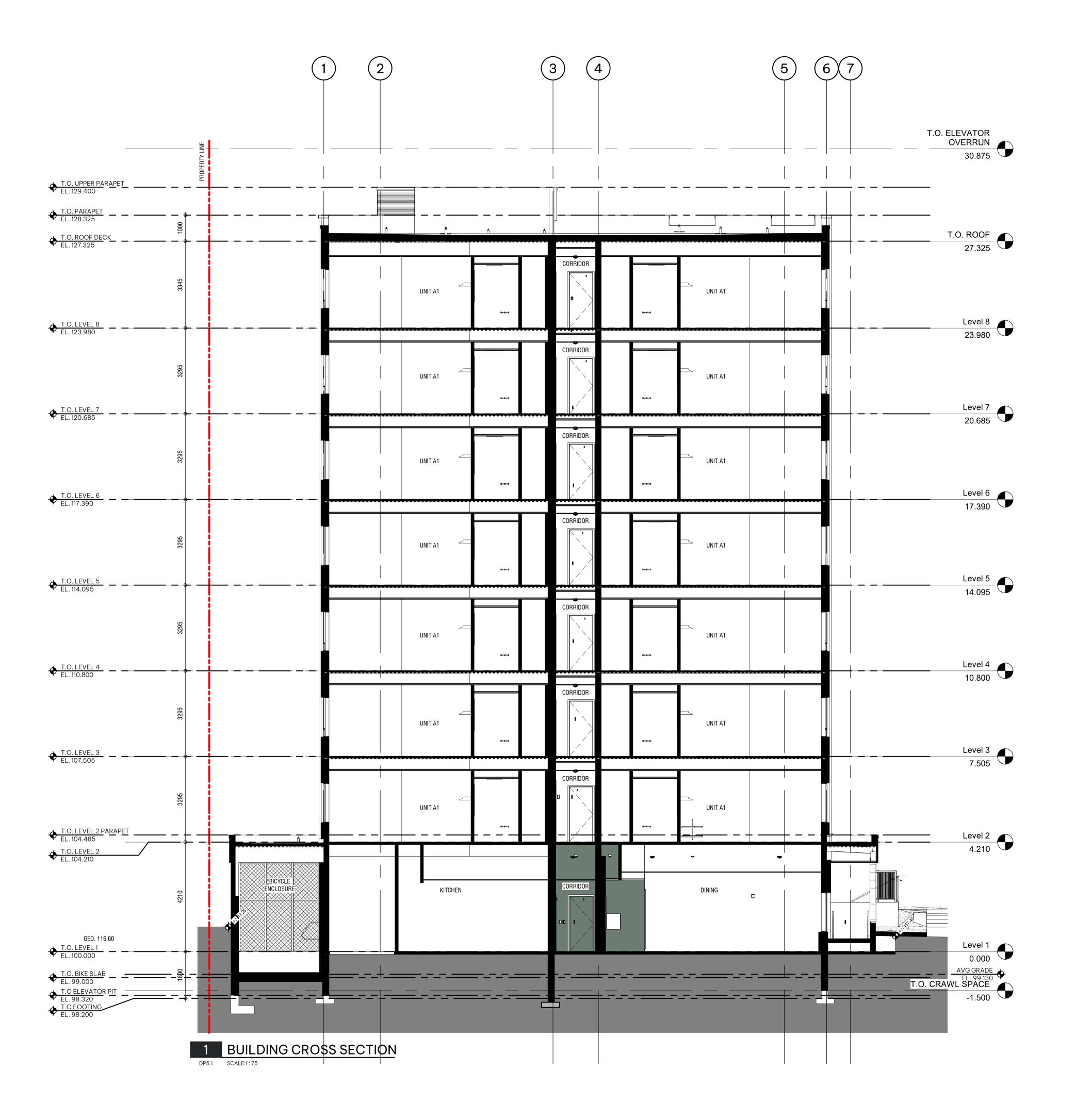
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DRAWING NO.

REVISION

DP5.0





BUILDING SECTIONS

ISCOVERY STREET SUPPORTIVE HOUSING 722 and 726 DISCOVERY STREET, VICTORIA, B.C. BC HOUSING

NOT FOR CONSTRUCTION

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	REV	ISION	DATI			
	4	DP RE-SUBMISSON	07.04.2023			
	5	ISSUED FOR SCHEMATIC TENDER	07.10.2023			
	14	ISSUED FOR DELEGATED DP SUBMISSION	2024.08.1			
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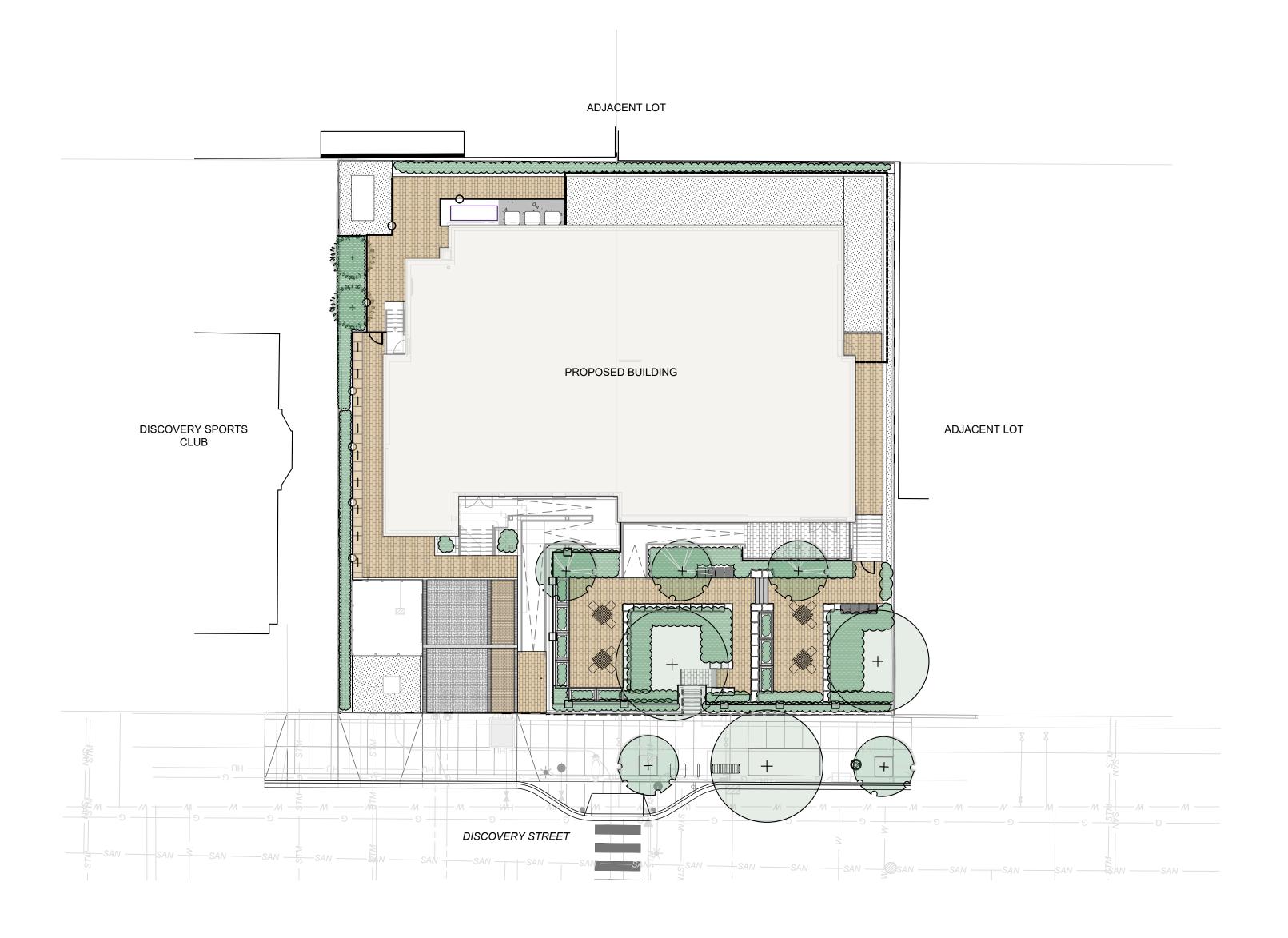
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DP5.1



PROJECT NOTES

CANADIAN LANDSCAPE STANDARD:

Landscape installation to be compliant with Canadian Landscape Standards (full document applies). It is expected that Landscape Contractors will have a current copy of the document (digital or hardcopy) present with them on site.

Questions (RFI's) pertaining to landscape to be immediately submitted to Contract Administrator for clarification whom will contact Landscape Architect for response.

Contractor is expected to provide a copy of marked up as-builts noting any construction changes at the time of substantial performance of the project.

SUBMITTALS:

Submittals on landscape include but are not limited to:

- a. Shop drawings on all specified furnishings including notes on colour and dimensions
- b. Shop drawings on all custom site elements (i.e. walls, railings, fences, etc.) including notes on colour, finishes and dimensions
- c. A growing medium (or amended soil report, if required) submittal compliant with the Canadian Landscape Standard d. Seed or sod mix designs (Canada No. 1 grade) as defined within with drawings and in compliance with Canadian Landscape
- e. A request for the Landscape Architect to pre-review trees/shrubs for the project at the nursery in advance of delivery to site. Note that the Landscape Architect requires this process for reviews to occur immediately upon award as to prevent issues
- with timeline. If quantities of a shrub or tree are minimal, photo submittals will be reviewed as an alternate. ORGANIC MULCH to be organic composted mulch, compliant with Canadian Landscape Standards (dark brown colour). Submit 1L sample or website information prior to purchase
- Unit paving and hard-surface materials to be submitted for verification on colour, size and pattern, and compaction. Mix design and supplier information of hard surface poured or placed materials (i.e. aggregates, concrete, asphalt), including
- base preparation materials and affiliated compaction testing i. Primer and paint submittals, if required for project

LANDSCAPE SCHEDULE

The contractor is to supply a schedule outlining the intended dates for landscape installation. The contractor is to request (with 72h notice) a review for tree protection fencing, tree stake layout, and substantial completion. Additional key meetings identified for requested by the landscape architect at project kick-off or in construction are to be provided with 72h notice. Examples of critical reviews are outlined below. The contractor is expected to provide weekly emails summarizing progress on landscape and the 'look ahead' of the intended schedule for the following week.

LANDSCAPE CRITICAL REVIEWS:

- Landscape critical review meetings include (but are not limited to):
- a. Tree protection fencing setup requires a review by the arborist prior to construction. Project kick-off on landscape, and review of stockpile and preservation of existing materials
- Mobilization and preparation/installation of hard surfaces or drainage features (i.e. raingardens), if specified within landscape
- Tree stakes to be provided for review of tree placements to demonstrate compliance and offsets from utilities. Alignment of tree plantings to be reviewed.
- Mobilization of soils and furnishing works (requires furnishings to be reviewed after delivery to site to review for damages). Note that soils may be tested up to 2 times for verification of compliancy of mix at the Contractor's cost, if material is suspected to be non-compliant. See notes above on submittals.
- Mobilization of custom works (i.e. wooden walkways or custom benches), if applicable to contract, will be required for a critical review meeting of proposed layout and connections.
- Delivery of the plant material to site (mobilization of planting works)
- General progress reviews for installation of soft landscape materials (trees, ground covers, shrubs, lawns, etc).
- Substantial and total performance of the landscape
- Commissioning reviews, if required

BCH DISCOVERY STREET

722, 726 / 732 Discovery Street, Victoria, B.C.

RESPONSE TO DDP COMMENTS

DRAWING LIST

L-00	COVER
L-01	NOTES
L-02	TREE REPLACEMENT & STORMWATER AREA PLA
L-03	LANDSCAPE PLAN
L-04	PLANTING PLAN
L-05	PLANTING DETAILS
L-06	HARDSCAPE DETAILS
L-07	SITE FURNISHING DETAIL
L-08	FENCING DETAILS
L-09	SOIL CELL SECTION

WSP LANDSCAPE ARCHITECTURE

GURPREETH SINGH
PROJECT MANAGER
Email: Gurpreeth.Singh@wsp.coi
Phone: (778) 940 - 1327

RENZO CORTES Landscape Designer Email: glennrenzo.cortes@wsp.com Phone: (226) 203-8444

LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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BCH Discovery Street | 722, 726 / 732 Discovery Street, Victoria, B.C.

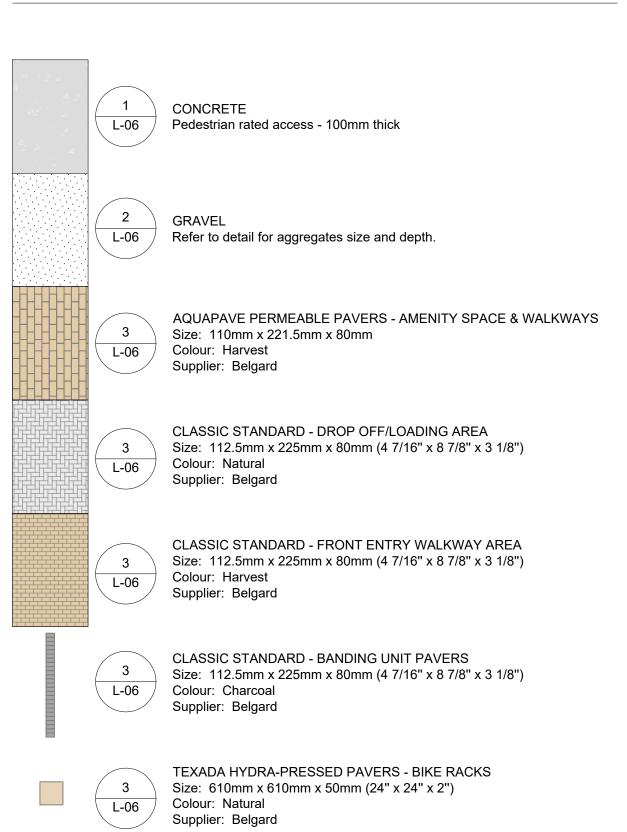
BC Housing

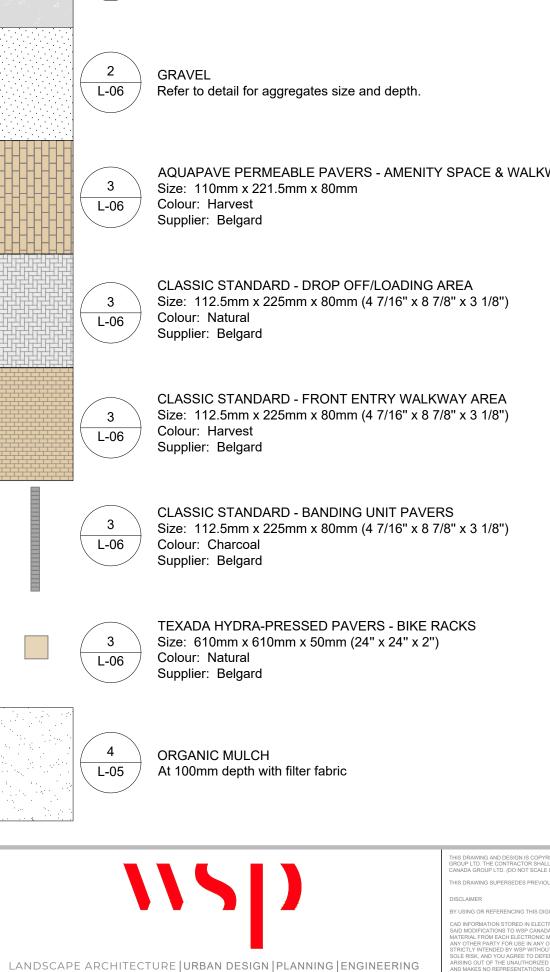


ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")					
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC		
13	25/01/06	RESPONSE TO DDP COMMENTS	RC		
12	24/12/20	REISSUED FOR BP	RC		
11	24/11/22	RESPONSE TO DDP COMMENTS	RC		
NO	DATE	DESCRIPTION	RV		

MjH SHEET TITLE **DESIGN BY** COVER DRAWN BY ER/RC CHECKED BY GS/TC PROJECT# 211-01841-00 SHEET NO. SCALE L-00 N/A

SITE LEGEND & LANDSCAPE MATERIALS LEGEND SITE LEGEND PROPERTY LINE _____ EXISTING FENCE TO BE REMOVED TREE PROTECTION FENCING Refer to detail and arborist report. TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report. REPLACEMENT / PROPOSED TREE L-05 REPLACEMENT TREE SOIL VOLUME (m³) SOIL CELLS _____ TREE TO BE REMOVED HARDSCAPE LEGEND





1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

SITE FURNISHINGS LEGEND

SITE FURNISHING LEGEND

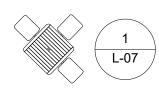
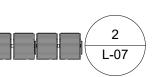
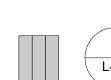
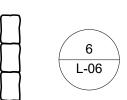


TABLE SEATING Refer to detail for product specifications and sizes.

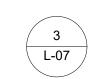


BENCH SEATING Refer to detail for product specifications and sizes.





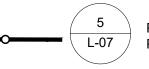
ROCK EDGE SEAT WALL- 0.50m W x 0.75m L x 0.45 m H.



KEY BIKE RACK Refer to detail for product specifications and sizes.



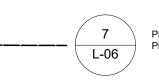
STREET BIKE RACK Model: Standard Bike Rack Mount: Sleeve Material: 1.5" Galvanized Steel Pipe Colour: Glossy Black (RAL 917) Baked-on Power Coat Dimensions: 12" Length, 3' Height Manufacurer: City of Victoria



PROPOSED 1.8m HIGH FENCE Provide shop drawing of fence prior to fabrication. Refer to detail.



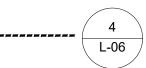
PROPOSED 1.2m HIGH FENCE L-08 Provide shop drawing of fence prior to fabrication. Refer to detail.



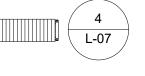
PROPOSED 1.2m HIGH ALUMINUM GUARDRAIL Provide shop drawing of fence prior to fabrication. Refer to detail.



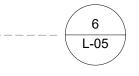
CEDAR PLANTER Refer to detail for product specifications and sizes.



EDGER Refer to detail



MODERN STREET BENCH Refer to detail for product specifications and sizes.



ROOT BARRIER Refer to detail for product specifications and sizes.



STREET WASTE BIN Type: Type A Litter Bin with Recycling Component Material: Metal Frame Colour: Glossy Black (RAL 917) Baked-on Power Coat Dimensions: 42" Height Manufacurer: City of Victoria

STORM WATER AREAS & PLANTING PLAN LEGEND

STORM WATER INFILTRATION AREAS



SHRUB BED AREAS = 170m2

Drainage Composition.

Min. 450mm Depth

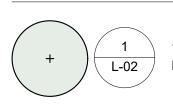


BELGARD PERMEABLE PAVERS AREAS : (refer to L-02 for material info)

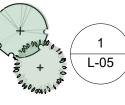
Refer to Canadian Landscape Standard for Growing Medium - 2P for Soil &

ORGANIC MULCH AREA = 27m2 At 100mm depth with filter fabric

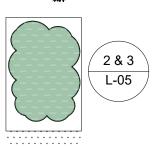
SOFTSCAPE LEGEND



TREE TO BE RETAINED Provide tree protection fencing. Refer to detail and arborist report.



PROPOSED / REPLACEMENT TREE Provide tree protection fencing. Refer to detail and arborist report.



SHRUB PLANTING Minimum 450mm import growing medium complete with mulch. Refer to details. Installed as per Canadian Landscape Standards

EXISTING TURF AREA TO BE RETAINED

TREE SPECIES

SYM	QTY	BOTANTICAL NAME	COMMON NAME	SIZE	SPACING
	3	Magnolia Kobus	Kobus magnolia	B&B, 6cm cal., 1.8m ht standard	As shown
04000010 to 4	3	Magnolia Stellata 'Royal Star'	Star Magnolia	B&B, 6cm cal., 1.8m ht standard	As shown

SHRUB SPECIES

SYM	QTY	BOTANTICAL NAME	COMMON NAME	SIZE	SPACING
AD	27	Aruncus dioicus * ***	Goat's Beard	#2 Pot, full	1200mm o.c.
AM	20	Achillea millefolium ***	Common yarrow	#2 Pot, full	600mm o.c.
AU	65	Arctostaphylos uva-ursi * ** ***	Kinnikinnick	#2 Pot, full	600mm o.c.
GS	6	Gaultheria shallon * ** ***	Salal	#2 Pot, full	900mm o.c.
JC	1	Juniperus communis **	Common juniper	#2 Pot, full	2200mm o.c.
JS	15	Juniperus scopulorum 'Blue Arrow' **	'Blue Arrow' juniper	#2 Pot, full	1200mm o.c.
LP	92	Lavandula x intermedia 'Provence' ***	Provence lavender	#2 Pot, full	600mm o.c.
LC	19	Lonicera ciliosa * ***	Orange honeysuckle	#2 Pot, full	1200mm o.c.
ND	19	Nandina domestica 'Gulf Stream' ***	'Gulf Stream' dwarf nandina	#2 Pot, full	900mm o.c.

81% of total proposed species are either native, food-bearing and/or pollinator habitat.

- ** Food-bearing Species

TREE PROTECTION NOTES & PLANTING NOTES

TREE PROTECTION NOTES:

- Refer to arborist report prepared by Capital Tree Service Inc.. Refernce made to Arborist report for all Tree Numbers, Diameters and Canopy sizes. - Existing trees to remain protected as indicated on drawings. Contractor to provide tree protection fencing in accordance with the arborist report, and City of Victoria Tree By-law and request review from project arborist prior to mobilization. Arborist will provide any cut-back or health management to trees as deemed required from a public health and safety perspective. Contractor to be present for tree protection fencing review with arborist, and make any adjustments to protection fencing requested under arborist supervision.

PLANTING NOTES

The following are core requirements of plant selection and installation:

- a. Plants are to be regionally sourced, with preference on local nurseries. Key plants or tree species that cannot be locally sourced should be explored for regional availability within the cascade region,
- complete from BC south through Washington, Oregon and California. b. Preparation and fine grading of soft landscapes (lawns, planting beds, trees) to be in accordance with
- Canadian Landscape Standards Composted ORGANIC MULCH to be continuously be provided within plantings beds (unless stated otherwise), at a 50mm depth, increasing to 100mm depth in tree watering well locations. Watering wells
- to be 1m diameter around trees, in accordance with Canadian Landscape Standards. d. Plant materials are to be protected and stored to prevent damage from freezing or weather events prior to installation. Protect and insulate material in accordance with Canadian Landscape Standards as
- e. Depths of growing medium to be as follows: 900mm depth required for trees and 450mm depth required for shrubs within all new planting beds, in accordance with 'Level 2P' mix design as defined in the Canadian Landscape Standard. New lawn spaces are to receive 150mm depth growing medium, in
- accordance with 'Level 2L' mix design as defined in the Canadian Landscape Standard. f. Lawn restoration, if required, to meet flush with existing and demonstrate even blend and complete establishment and integration with existing lawn.
- Lawn material (i.e. sod or seed/over-seed or hydroseed) to be provided in accordance with drawing notes. Ensure mix design submittal is provided of product. Sod (if required) is to be non-netted. Seed (if required) is to be evenly distributed. Hydroseed (if required) is to be applied in even distribution in accordance with manufacturer's specifications. Hydroseed to include tackifier in accordance with manufacturer's blend. Incidentally increase tackifier under the guidance of the supplier in winter months in applications where slope stability is required.
- h. Parks shall be contacted prior to planting the trees to inspect the planting areas, growing medium, root barriers, and trees. Trees shall be inspected for pests, diseases and defects. Following completed
- planting, mulching, staking, and installation of tree grates a final inspection is required. i. Applicant is responsible for procuring and planting the proposed municipal trees.

ESTABLISHMENT MAINTENANCE FOR PLANTING BEDS

Landscape Maintenance to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Maintenance to be compliant with 'Level 2' (weeds no larger than 2" diameter) in accordance with Canadian Landscape Standard.

ESTABLISHMENT MAINTENANCE FOR LAWN SPACES

Lawns that are constructed with sod are to be 100% established and in accordance with Canadian Landscape Standards. Sodded lawns should appear evenly integrated with adjacent rolls and non-visible for edges or lifts in finish. Seeded lawns are to be evenly covered and established with vigorous growth. All lawns to appear with vigorous growth and maintenance with a minimum of 2 cuttings to a 60mm height for substantial review. Incidentally mow to a continued 60mm height until the time of substantial completion. Do not allow lawns to exceed an 80mm height between cuttings.

Landscape watering to be provided complete through substantial completion and until all deficiencies are amended (whichever is longer). Establishment watering to be compliant with Canadian Landscape Standards. Landscapes to be maintained at 75% moisture content availability in soils; as defined in 'Establishment Watering' requirements of the Canadian Landscape Standard. Ensure landscape is watered adequately to prevent detriment to plant health prior to use of irrigation system. If a water ban is in place within the city, notify Contract Administrator.

TREE REPLACEMENT SCHEDULES "C"

TREE IMPACT SUMMARY

Tree Status	Protected Trees	Trees to be removed	New or replacement trees to be planted	Non-protected trees counted as replacements	Net change
Onsite Trees	8	10	5	0	-2
Offsite Trees	0	2	0	0	0
Municipal Trees	1	2	N/A	N/A	0
Total	9	10	5	0	-2

		Count	Multiplier	Total	
	Protected trees removed	6	1	6	
	Replacement trees proposed per Schedule "E", Part 1		1	0	
	Replacement trees proposed per Schedule "E", Part 2	5	0.5	2.5	
	Replacement trees proposed per Schedule "E", Part 3	1	0		
Onsite minimum replacement tree	Total replacement trees proposed				
	Onsite replacement tree deficiency				
j	Tree minimum on lot			7	
Onsite tree minimum	Protected trees retained (other than specimen trees)	2	1	2	
	Specimen trees retained		3	0	
	Tree per lot deficiency			5	

0	ee N	Replacement trees		
	Offsite Tree	proposed per Schedule "E", part 2	0.5	
2.5	Offs	Total Replacement trees proposed		
		Offsite replacement tree deficiency		
0	lieu	Onsite trees proposed of cash-in-lieu		
2	Cash-in-lieu	Offsite trees proposed for cash-in-lieu		
4	Cash	Proposed cash-in-lieu		\$8
7		1		
_				
2				

Protected trees removed

proposed per Schedule "E",

Replacement trees

part 1 or 3

Native Species

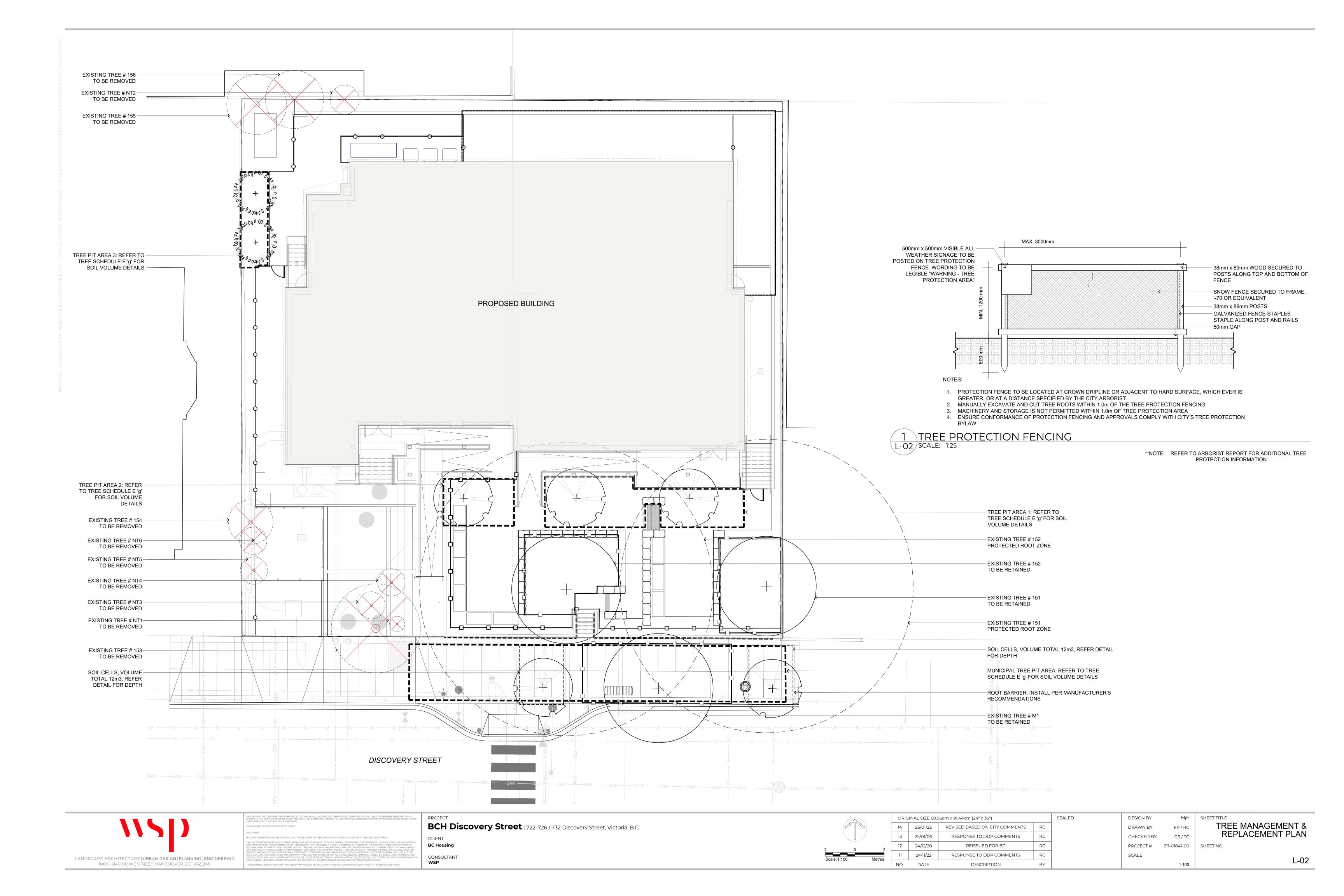
*** Pollinator Species

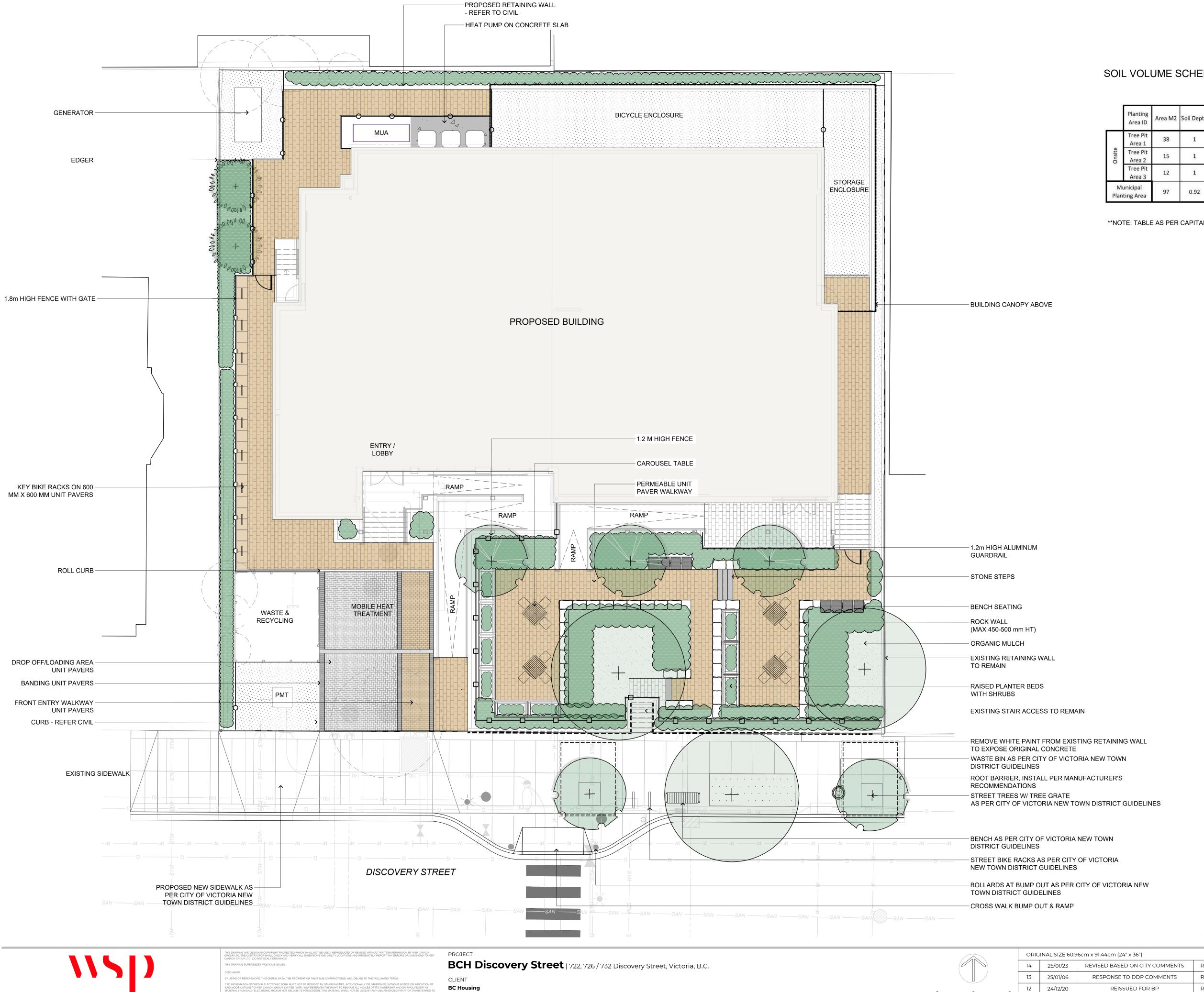
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ORIG	SINAL SIZE 60.9	96cm x 91.44cm (24" x 36")		SEALED	DESIGN BY	МјН	SHEET TITLE	NOTES
14	25/01/23	REVISED BASED ON CITY COMMENTS	RC		DRAWN BY	ER/RC		NOTES
13	25/01/06	RESPONSE TO DDP COMMENTS	RC		CHECKED BY	GS/TC		
12	24/12/20	REISSUED FOR BP	RC		PROJECT#	211-01841-00	SHEET NO.	
11	24/11/22	RESPONSE TO DDP COMMENTS	RC		SCALE			L-01
NO	DATE	DESCRIPTION	BV			N/A		201

^{**}NOTE: TABLES AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST





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LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

SOIL VOLUME SCHEDULE E 'g'

					Propose	Proposed Replacement Trees			Soil Volume Required			
	Planting Area ID	Area M2	Soil Depth	Estimated soil volume	Small (ea)	Medium (ea)	Large (ea)	Small (m3)	Medium (m3)	Large (m3)	Tota (m3)	
	Tree Pit Area 1	38	1	38 m3		2			30		30	
Onsite	Tree Pit Area 2	15	1	15 m3		1			15		15	
1584	Tree Pit Area 3	12	1	12 m3	1			12			12	
	unicipal ting Area	97	0.92	89 m3	2	1		12	15		27	

MjH SHEET TITLE

ER/RC

211-01841-00 SHEET NO.

1:100

LANDSCAPE PLAN

L-03

DESIGN BY

DRAWN BY

CHECKED BY

PROJECT#

SCALE

**NOTE: TABLE AS PER CAPITAL TREE SERVICES CERTIFIED ARBORIST

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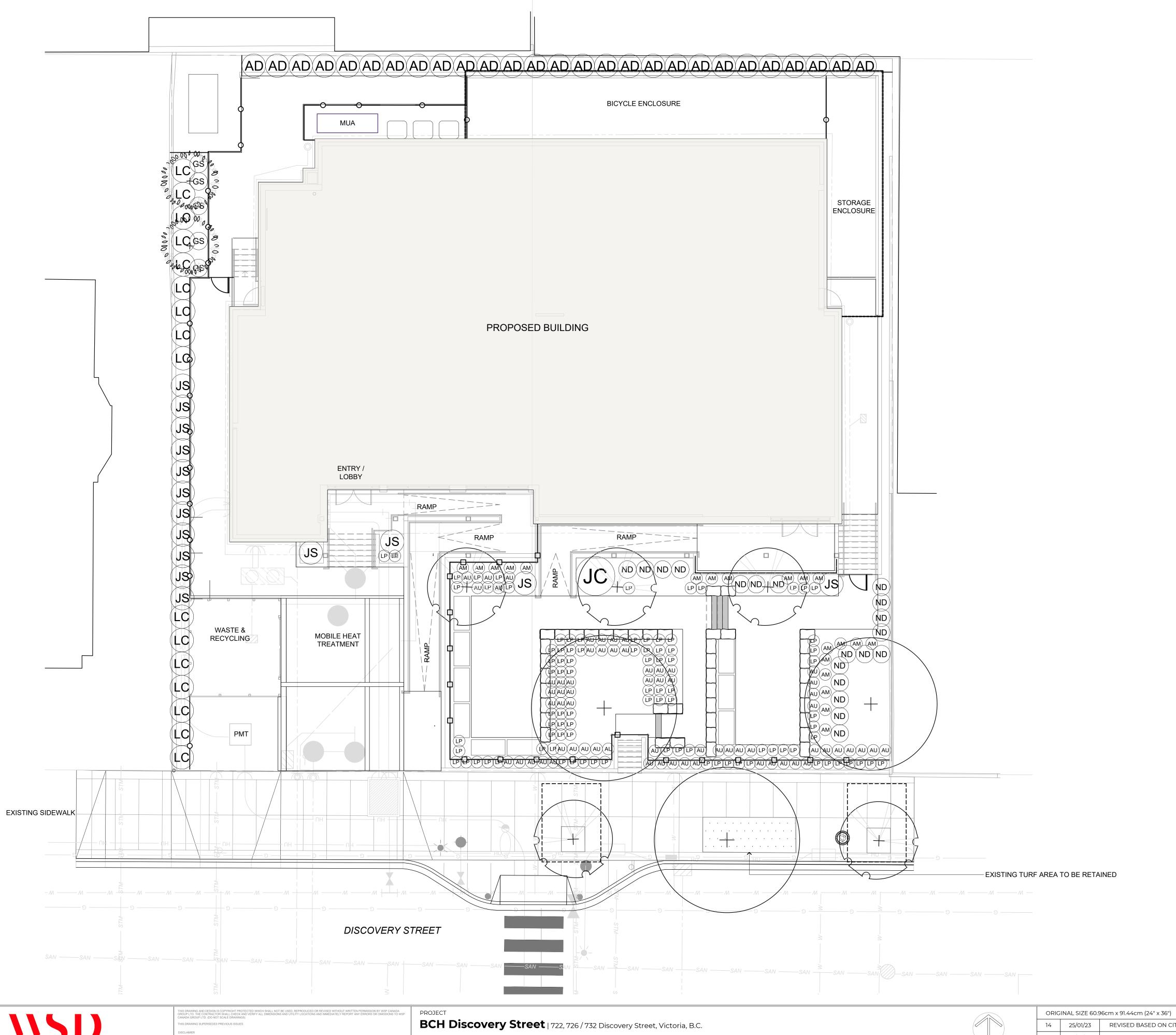
24/11/22

DATE

NO.

RESPONSE TO DDP COMMENTS

DESCRIPTION



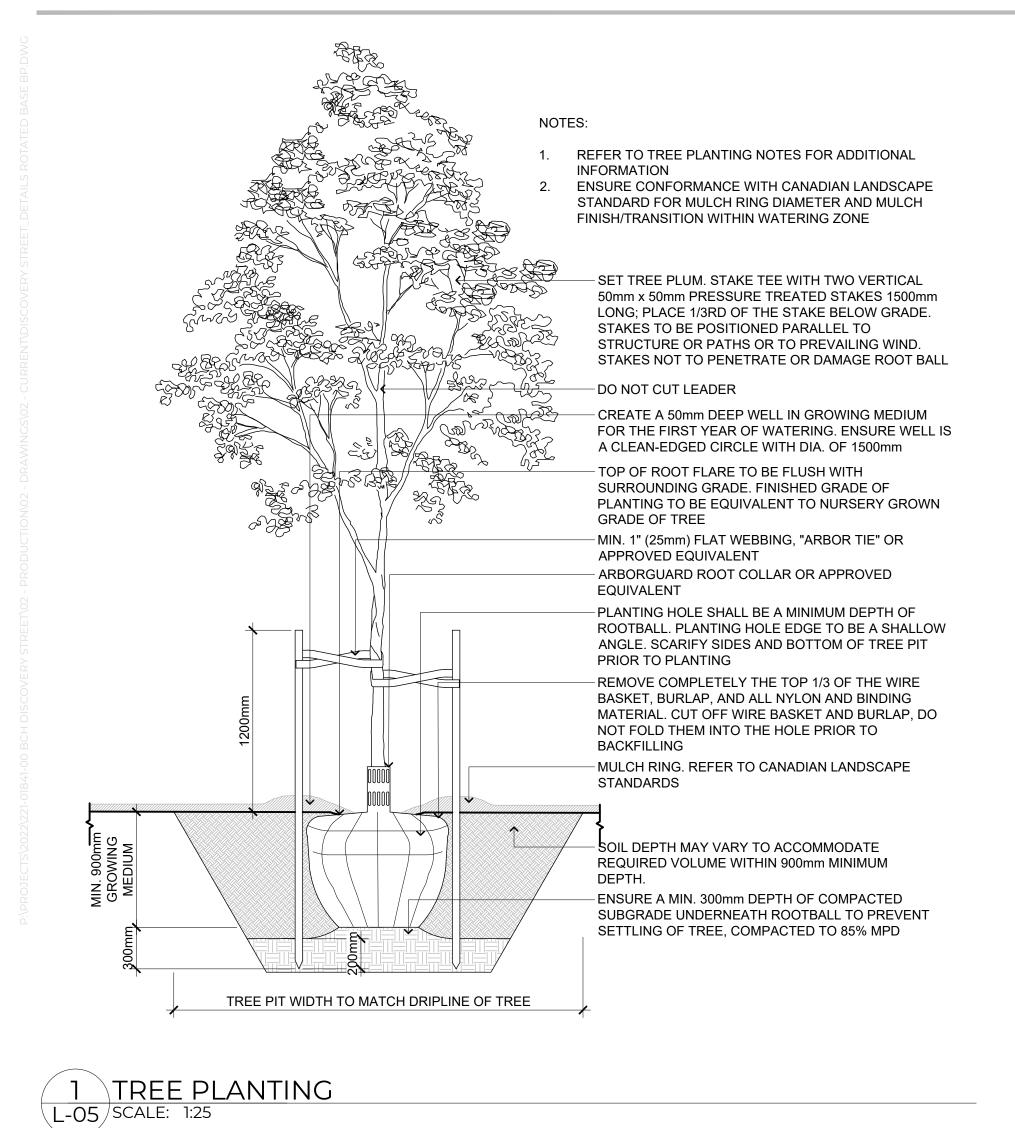
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

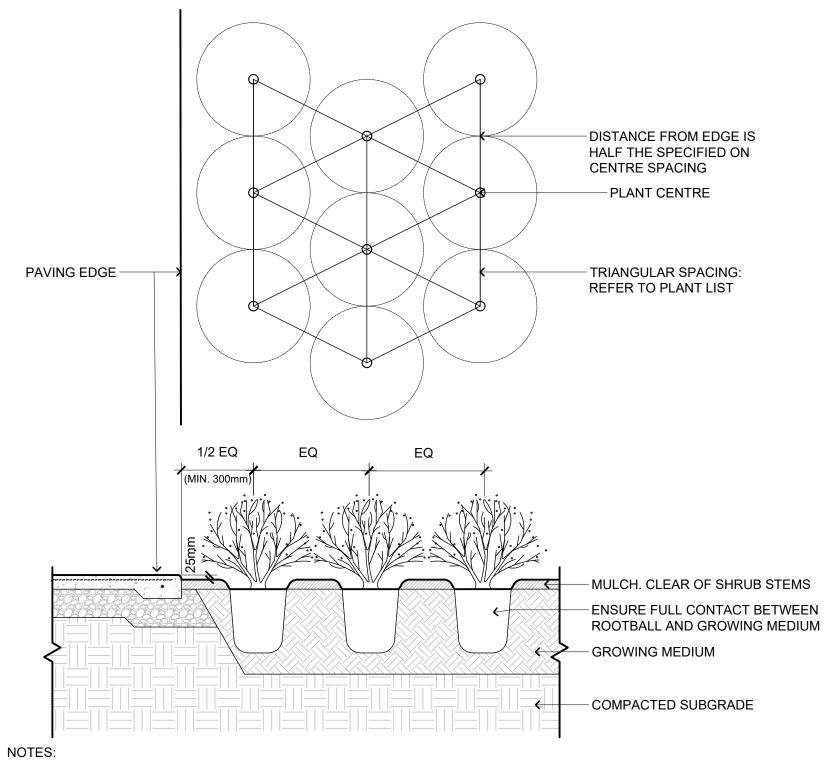
CLIENT **BC Housing**

2	Q	2
Scale:1:	:100	Metres

	ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36")						
	14	25/01/23	REVISED BASED ON CITY COMMENTS	RC			
2 etres	13	25/01/06	RESPONSE TO DDP COMMENTS	RC			
	12	24/12/20	REISSUED FOR BP	RC			
	11	24/11/22	RESPONSE TO DDP COMMENTS	RC			
	NO.	DATE	DESCRIPTION	BY			

MjH SHEET TITLE DESIGN BY PLANTING PLAN DRAWN BY CHECKED BY PROJECT# 211-01841-00 SHEET NO. SCALE L-04 1:100

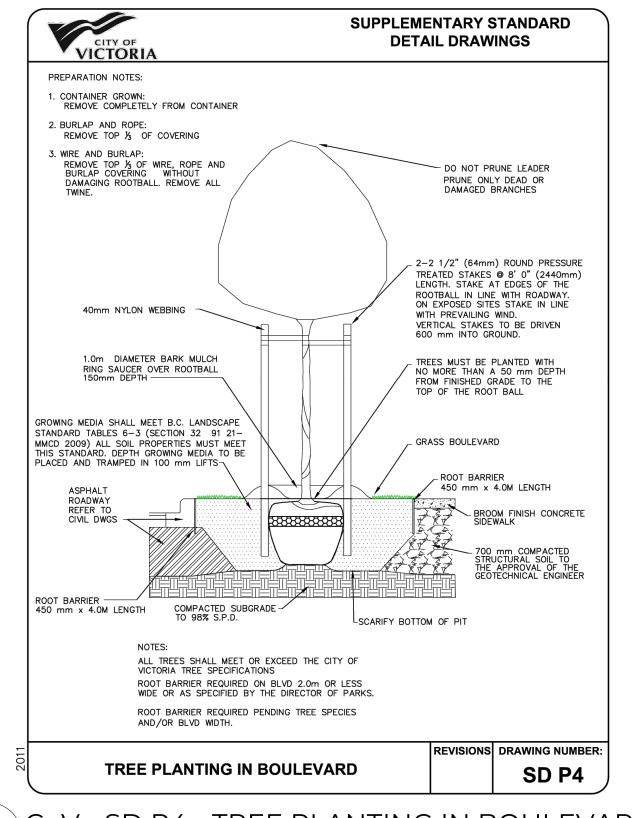


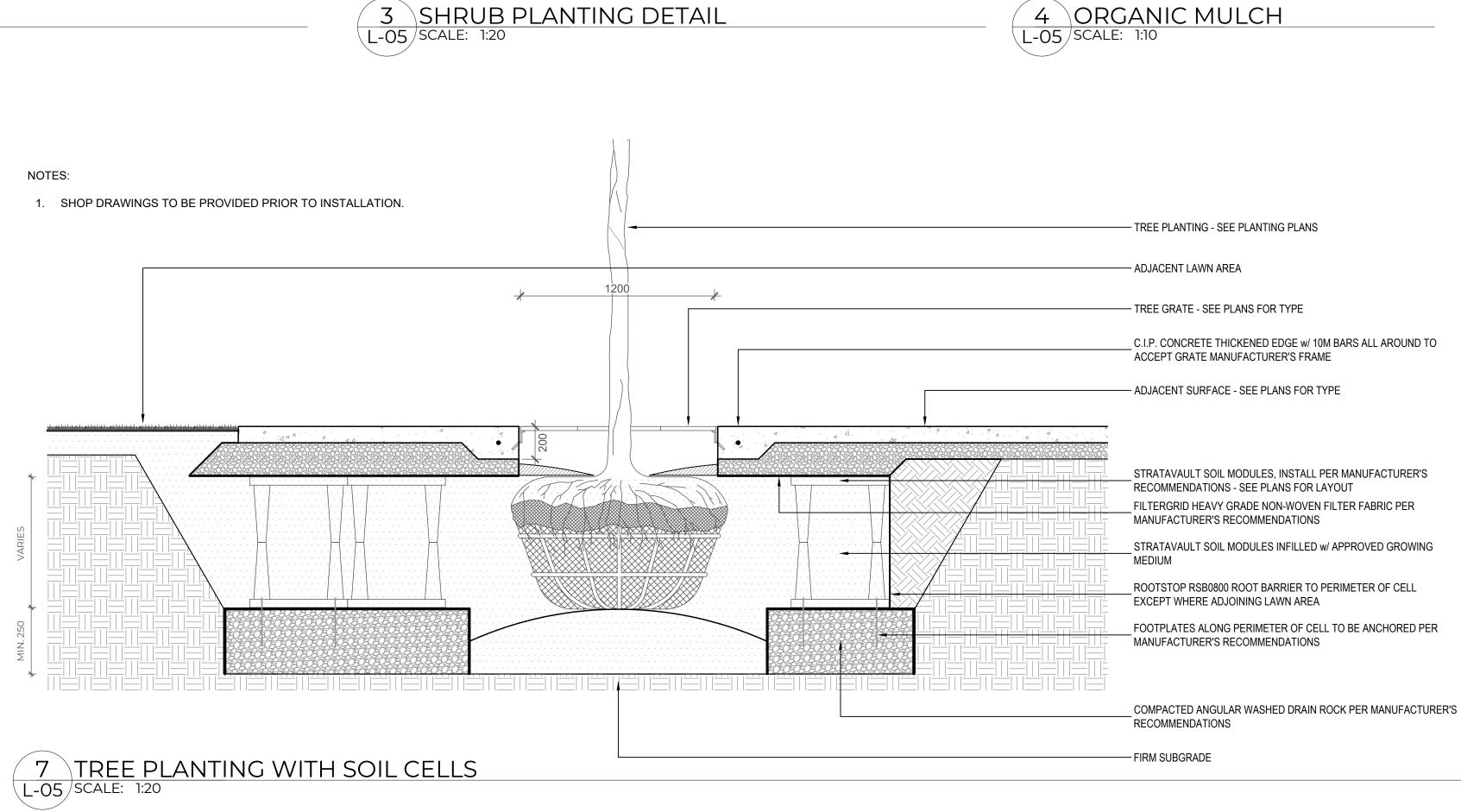


1. REFER TO CANADIAN LANDSCAPE STANDARD FOR COMPACTION AND PREPARATION REQUIREMENTS FOR PLANTING BEDS 2. REFER TO TYPICAL SHRUB PLANTING DETAILS FOR INFORMATION ON MULCH AND GROWING MEDIUM

3. ENSURE MATURE SHRUB FORM WILL NOT OVERHANG WALKWAY 4. COMPACTION RATE TO BE 95% MPD UNLESS OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT







- REMOVE BURLAP AND ROPE FROM

AROUND BASE OF SHRUB. REMOVE

ALL 'ORGANIC' POTS PRIOR TO PLANTING. LIGHTLY LOOSEN OR

PLACEMENT. DO NOT DAMAGE OR

- 450mm IMPORT GROWING MEDIUM

ACCORDANCE WITH THE CANADIAN

- COMPACTED SUBGRADE OR NATIVE

MATERIAL. SCARIFY SURFACE

PRIOR TO PLACEMENT OF SHRUB

SLOPE SURFACE TO DRAIN AWAY

TO STANDARDS IN LEVEL 2P IN

LANDSCAPE STANDARD

MASSAGE ROOTS PRIOR TO

TEAR ROOTS

FINISH GRADE

NOTES:

1. SHRUB TO BE PLANTED LEVEL WITH FINISH GRADE

3. PLANTING PIT MUST BE FREE DRAINING

ORGANIC MULCH

FROM ROOTBALL

2. COMPOSTED BARK MULCH AT 50mm DEPTH TO BE KEPT AT LEAST 50mm AWAY FROM STEMS OF

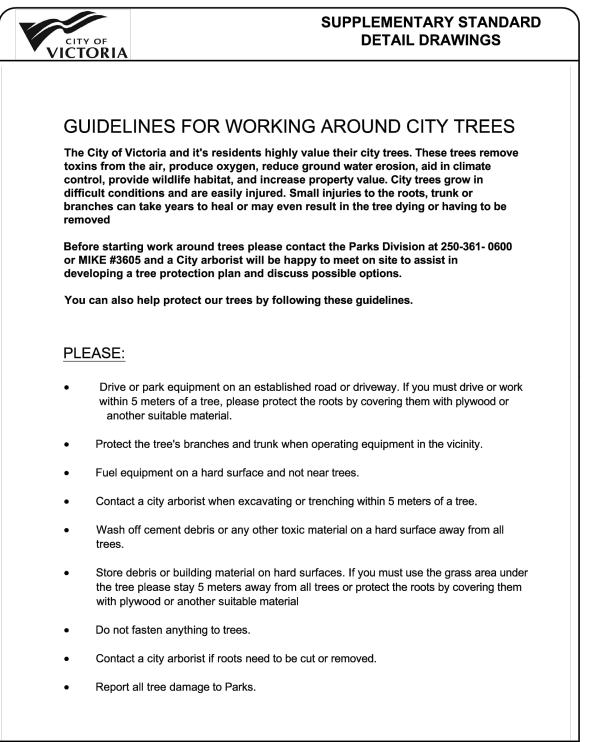
4. DISTURBED SUBGRADE, NATIVE MATERIAL, OR IMPORT FILL TO BE SUITABLY COMPACTED IN

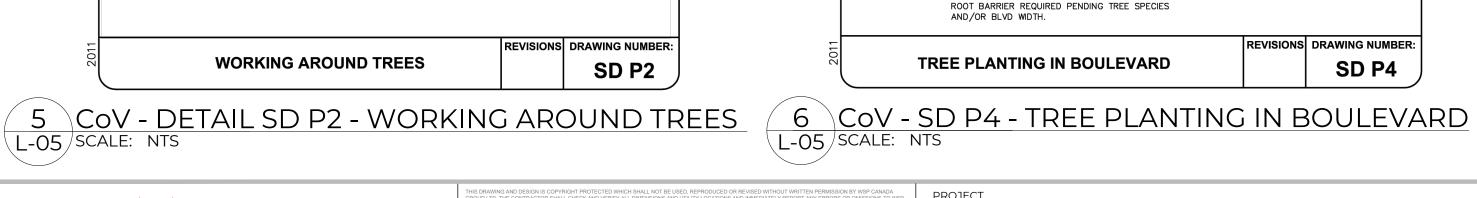
OR DEFECTIVE BRANCHES IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD

6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED

ACCORDANCE WITH CANADIAN LANDSCAPE STANDARDS TO PREVENT SETTLEMENT OF ROOTBALL

PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD, DISEASED, DAMAGED,





LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36") SEALED REVISED BASED ON CITY COMMENTS 25/01/06 RESPONSE TO DDP COMMENTS 24/12/20 REISSUED FOR BP 24/11/22 RESPONSE TO DDP COMMENTS NO. DATE DESCRIPTION

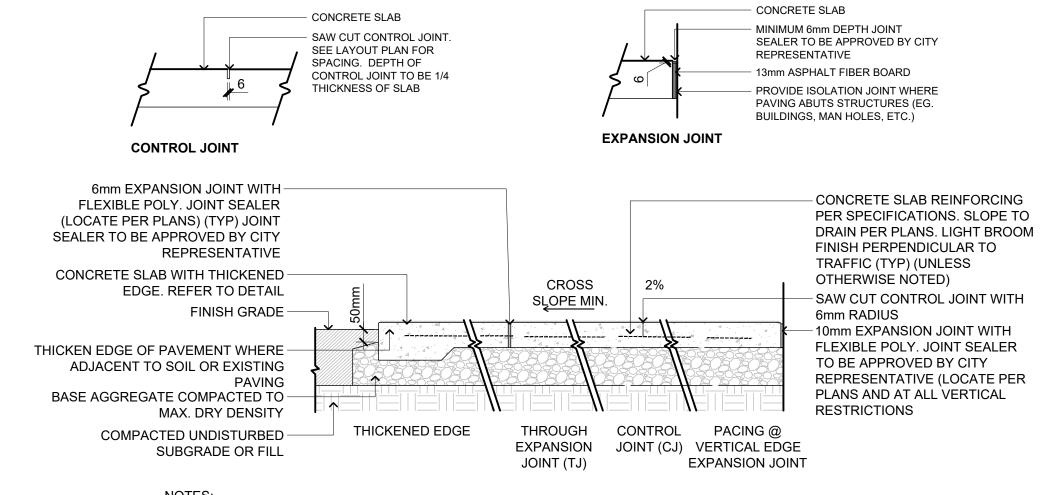
DESIGN BY MjH SHEET TITLE PLANTING DETAILS DRAWN BY ER/RC CHECKED BY GS/TC PROJECT# 211-01841-00 SCALE L-05

AS SHOWN

- ORGANIC MULCH

- FILTER CLOTH

COMPACTED SUBGRADE



NOTES:

- 1. CONTROL JOINTS AS PER DETAIL TO BE PROVIDED 3.0m MAX. o.c. UNLESS SHOWN OTHERWISE ON PLAN.
- 2. EXPANSION JOINTS COME WITH FIBREBOARD TO BE PROVIDED 9.0m MAX. o.c. AND AT INTERFACE WITH STRUCTURE SUCH AS WALLS, STEPS, AND CURBS
- 3. REFER TO DRAWINGS FOR LAYOUT OF CONTROL AND EXPANSION JOINTS
- 4. USE OF THICKENED EDGE TO BE AS NEEDED TO SUIT FIELD CONDITIONS. APPLICATION OF THICKENED EDGE TO BE SPECIFIED IN DRAWINGS
- REINFORCING TO BE AS PER GEOTECHNICAL REPORT

HYDRA- PRESSED PAVERS-

- NATURAL STONE STEPS

150mm AGGREGATE BASE

COMPACTED SUBGRADE

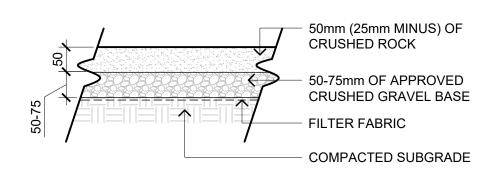
REFER TO DETAIL 2

REFER TO DETAIL 2

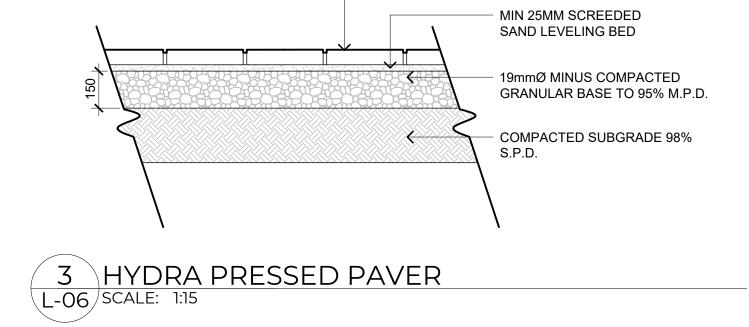
AS SPECIFIED

- 6. REFER TO GEOTECHNICAL REPORT FOR COMPACTION RATES UNLESS OTHERWISE SPECIFIED
- 7. CONCRETE FINISH TO BE SPECIFIED ON PLANS. ASSUME BROOM FINISH WITH NO TROWELED EDGES UNLESS

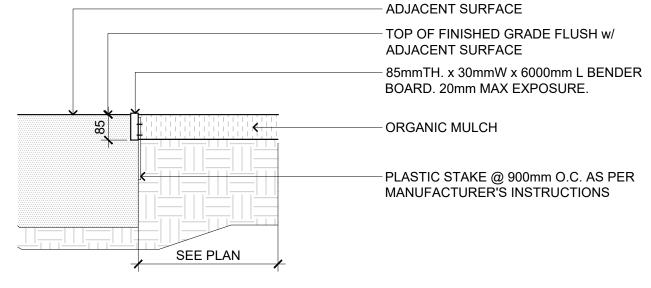






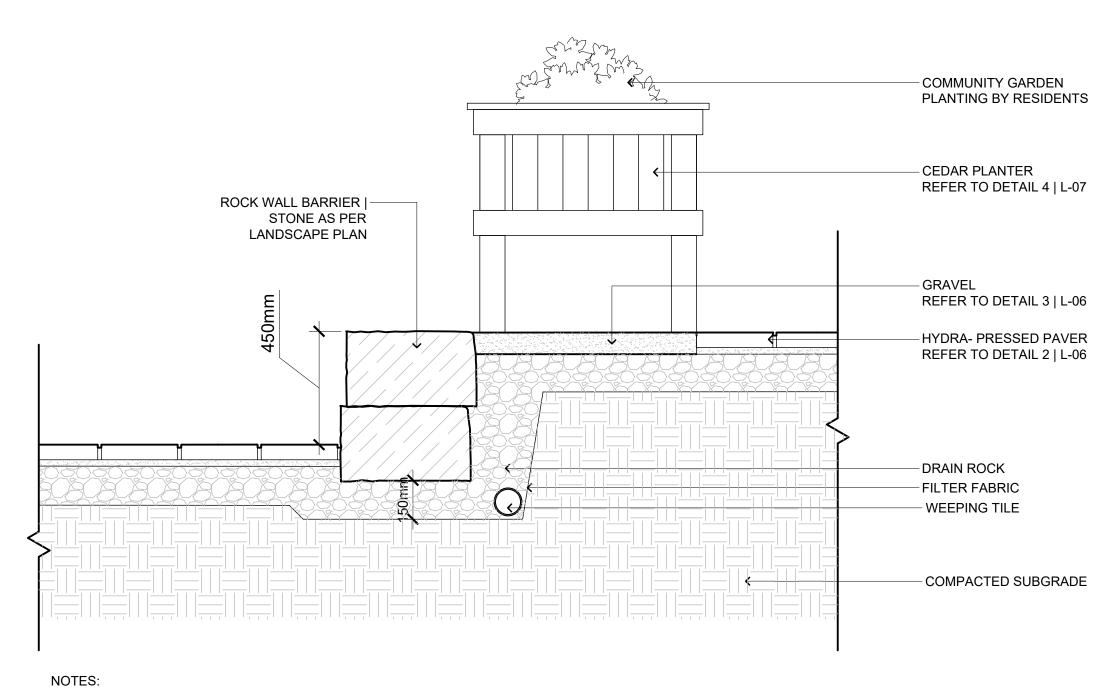


HYDRA-PRESSED PAVER



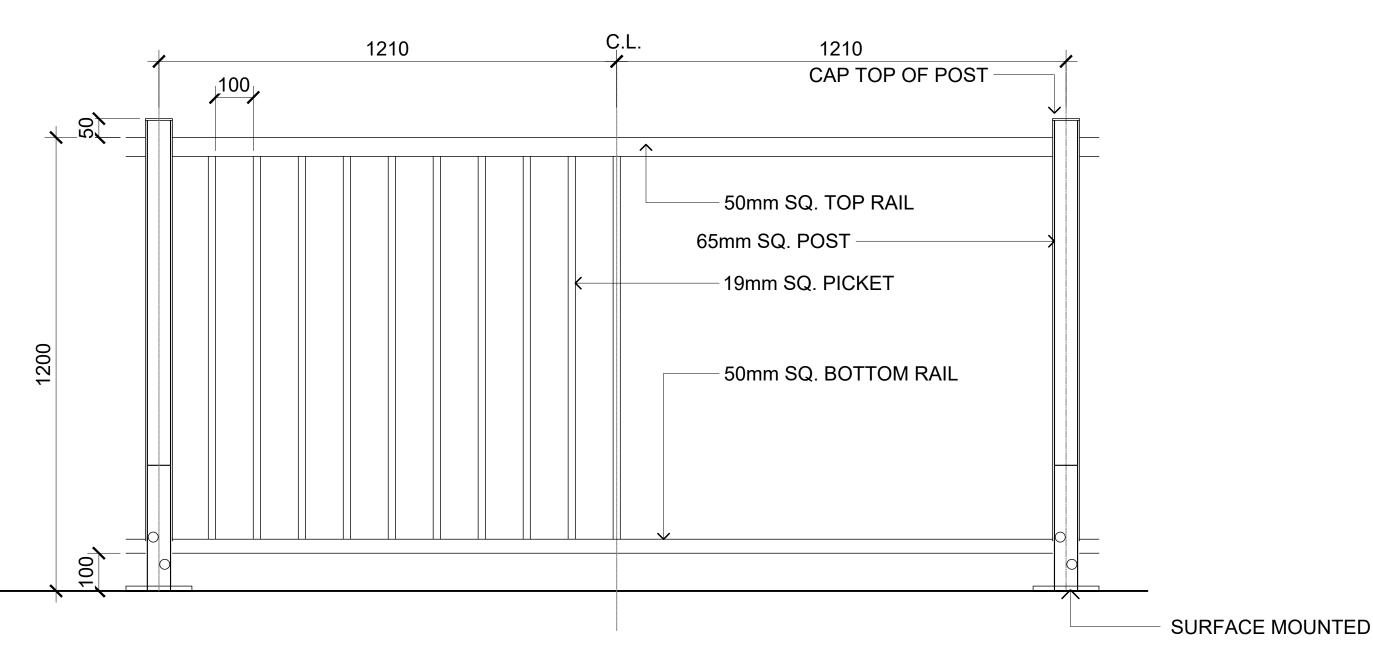
- 1. SLIP JOINTS MUST BE ABLE TO EXPAND AND CONTACT AS
- TEMPERATURES CHANGE. DON'T SCREW THROUGH THE SLIP JOINT.
- COLOUR BROWN.
- USE COARSE WOOD WORKING TOOLS FOR CUTTING & DRILLING.
- 5. USE PLATED SCREWS TO JOIN BOARD TO STAKE.





HYDRA- PRESSED PAVERS-

- ALL VOID SPACES TO BE FILLED WITH CLEAR CRUSHED AGGREGATE & CONSOLIDATED TO PREVENT MIGRATION OF FILL MATERIALS
- ALL ROCKS TO BE STRUCTURALLY SOUND & FREE OF ANY SPALLING, CRACKS, CREVICES OF SPLINTERS.
- PLACE ROCKS TO FACILITATE SLOPE STABILITY - ROCK TO BE BURIED 150MM DEPTH INTO GROUND
- 6 ROCK EDGE SEAT WALL
 L-06 SCALE: 1:15



- 1. METAL GUARDRAIL TO BE ALUMINUM.POWDER COAT FINISH. COLOR: BLACK.SURFACE MOUNTED.
- 2. SHOP DWGS TO BE PROVIDED FOR CONSULTANT APPROVAL PRIOR TO FABRICATION.

7 1.2m HIGH ALUMINUM GUARDRAIL L-06 SCALE: 1:15



5 STONE STEPS L-06 SCALE: 1:15

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ORIGINAL SIZE 60.96cm x 91.44cm (24" x 36") SEALED REVISED BASED ON CITY COMMENTS 13 25/01/06 RESPONSE TO DDP COMMENTS 24/12/20 REISSUED FOR BP 24/11/22 RESPONSE TO DDP COMMENTS NO. DATE

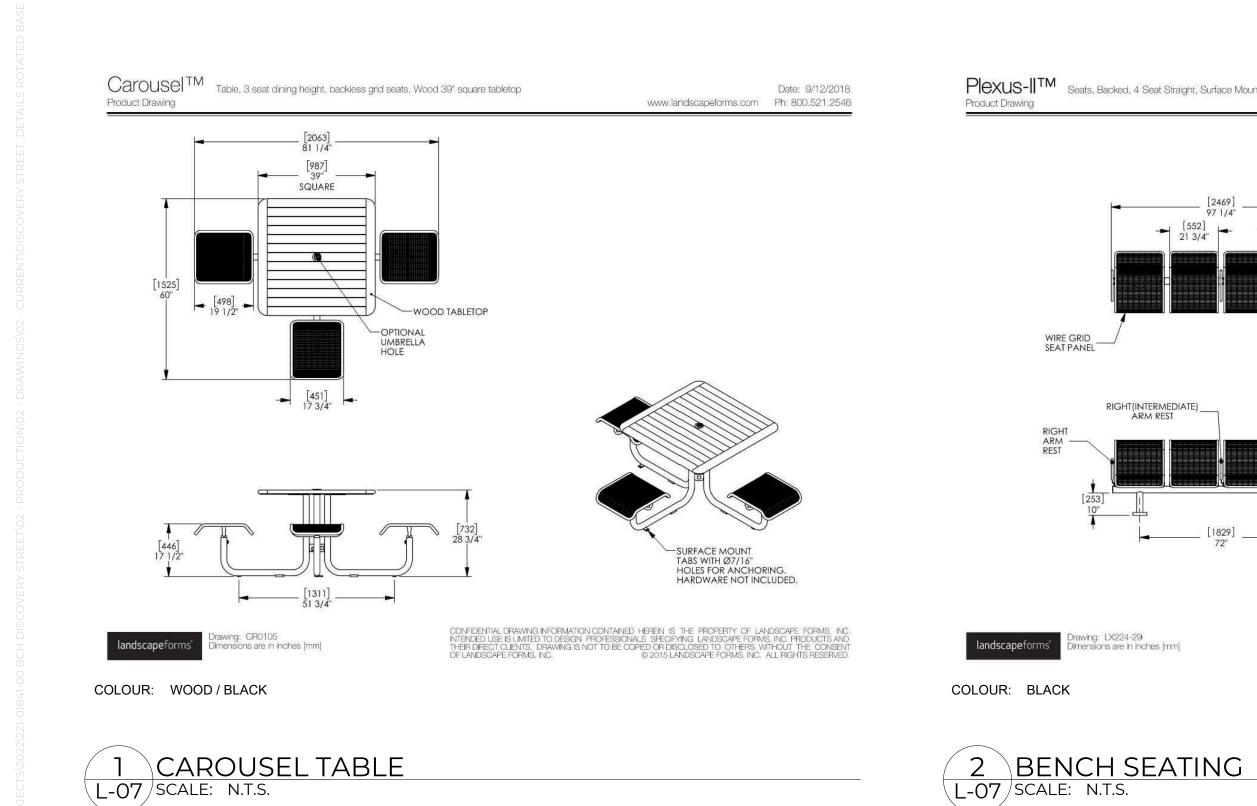
MjH SHEET TITLE **DESIGN BY** HARDSCAPE DETAILS DRAWN BY CHECKED BY PROJECT# 211-01841-00

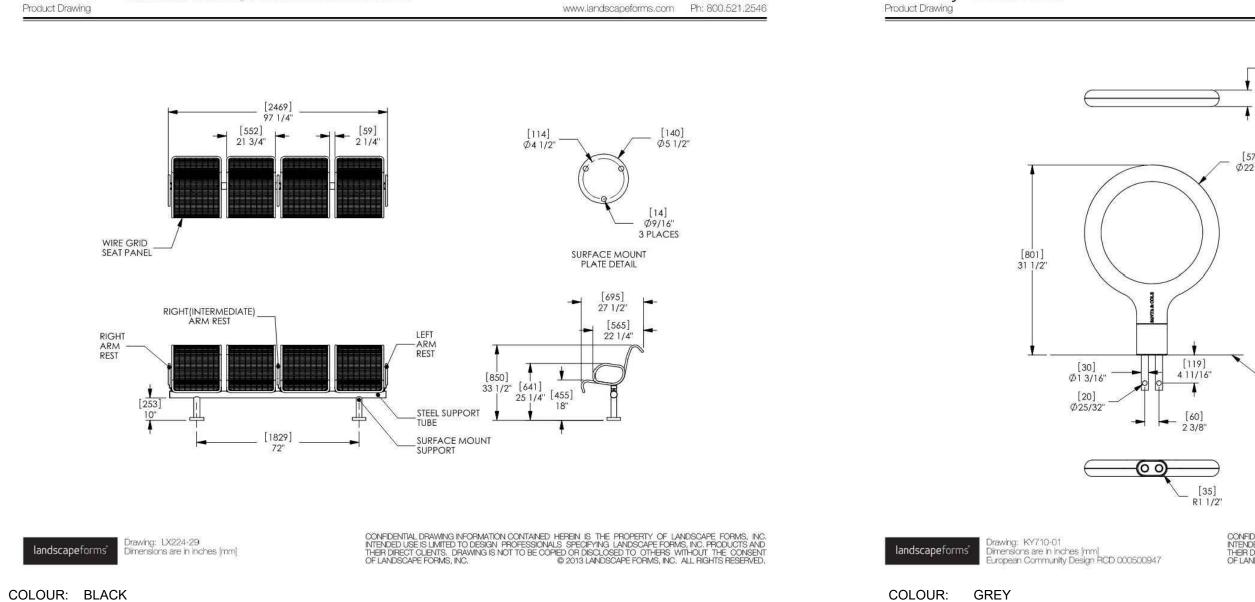
L-06

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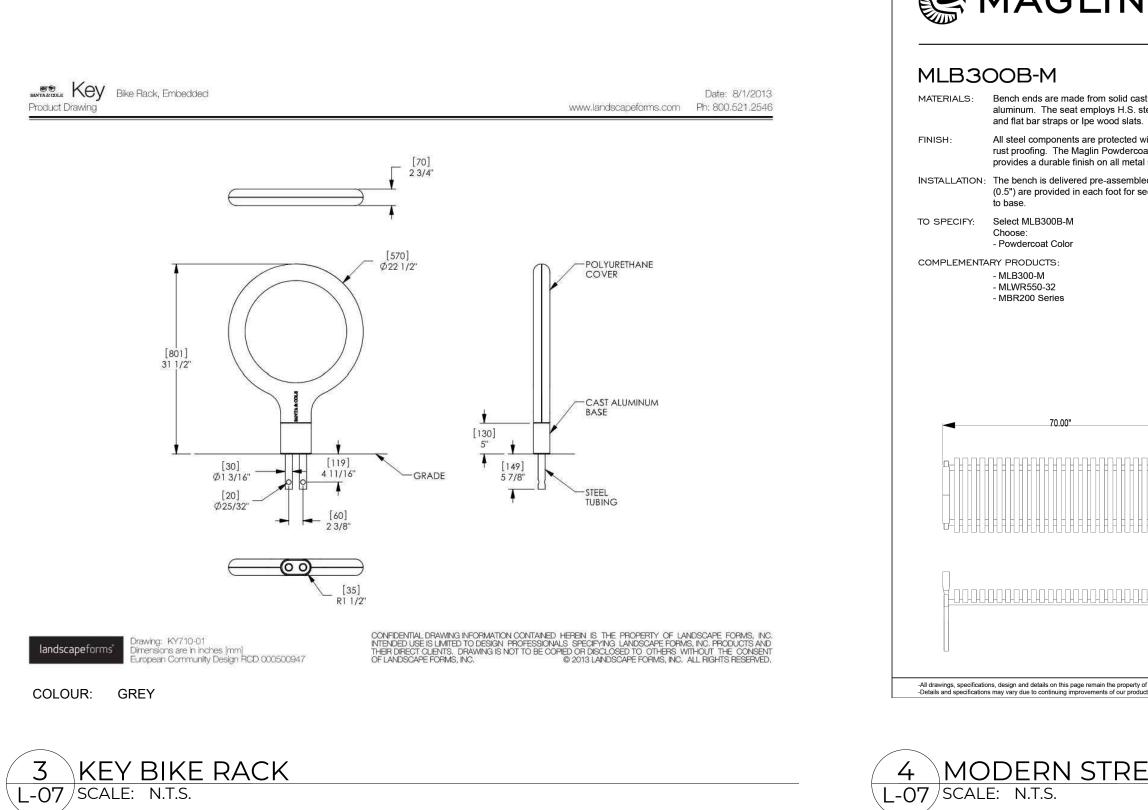
CONSULTANT

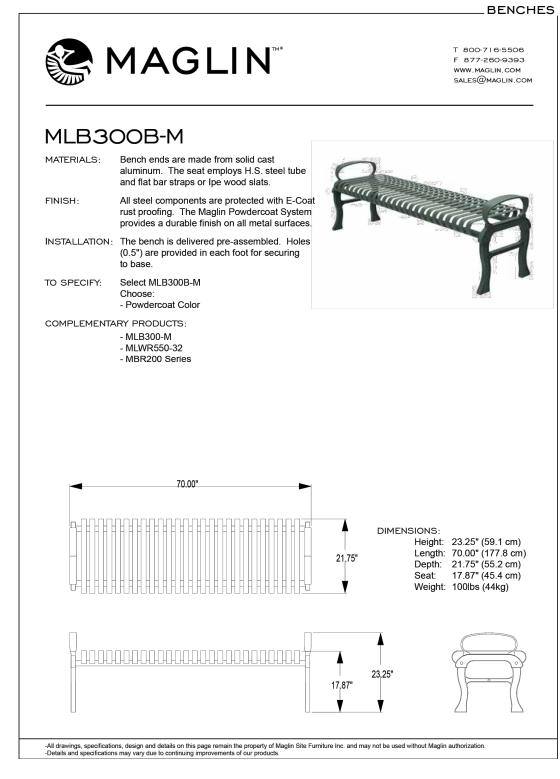
SCALE AS SHOWN DESCRIPTION



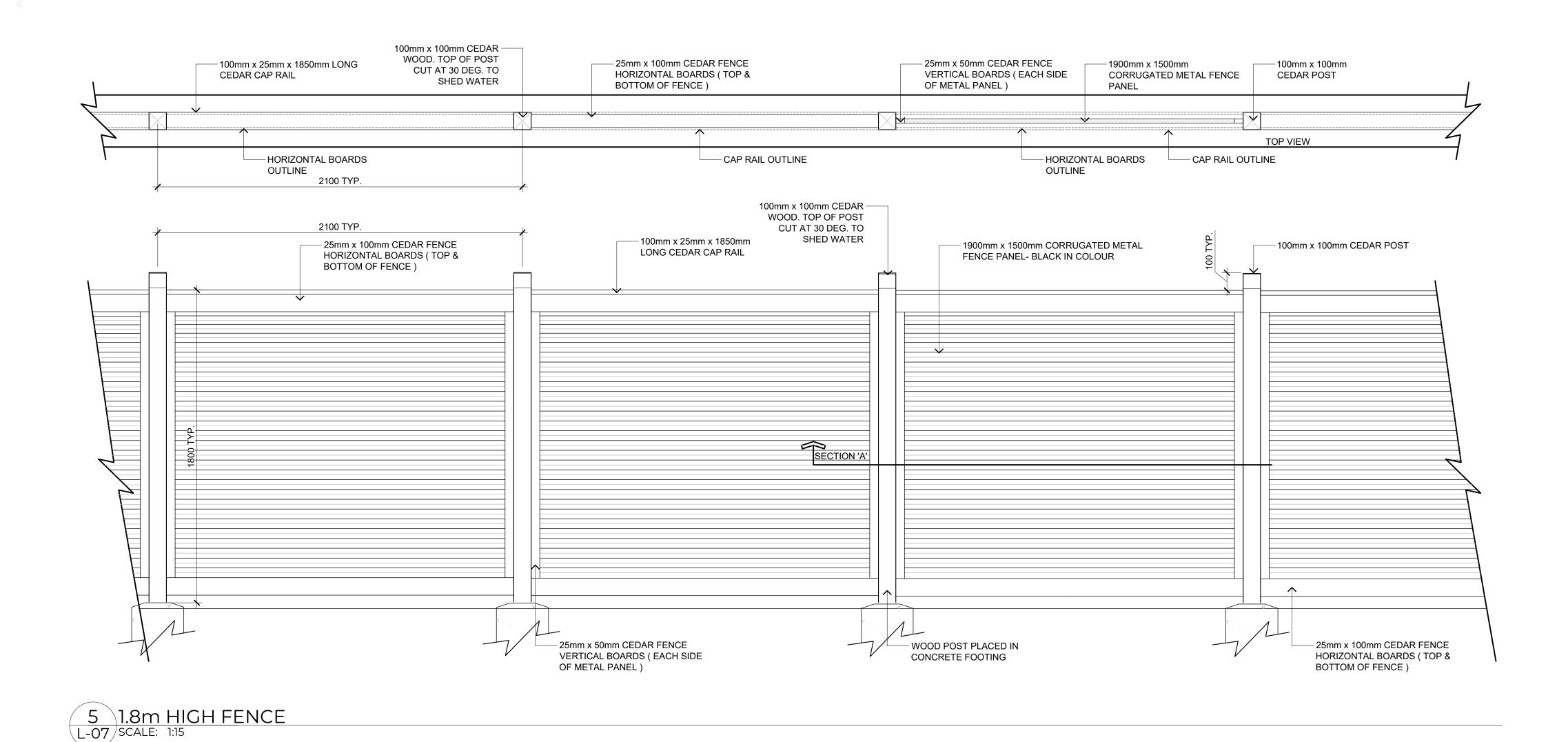


Date: 6/14/2010









Plexus-IITM Seats, Backed, 4 Seat Straight, Surface Mount, Center and End Arms



MODEL: RAISED PLANTER 6' L X 3' W X 3' H SUPPLIER: ZOFF'S GREENHOUSE PLANTER Install as per manufacturer's standard. Each planter requires the

manufacturer's staining package and poly liner.



LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

1 CAROUSEL TABLE

L-07 SCALE: N.T.S.

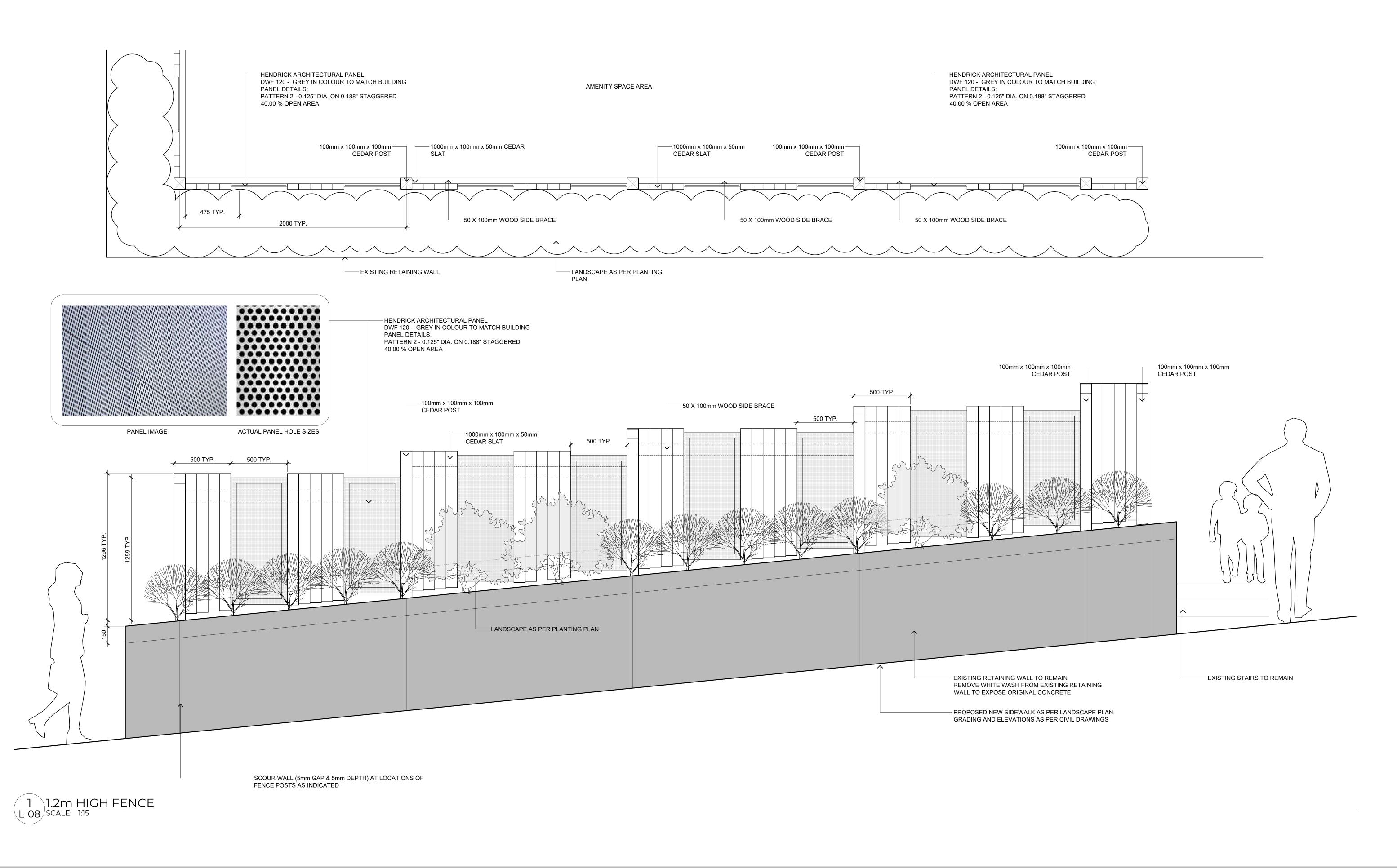
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14	25/01/23	REVISED BASED ON CITY COMMENTS	RC			
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11	24/11/22	RESPONSE TO DDP COMMENTS	RC			
NO.	DATE	DESCRIPTION	BY			

DESIGN BY SITE FURNISHING DETAILS DRAWN BY CHECKED BY GS/TC PROJECT# 211-01841-00 SCALE

AS SHOWN

L-07



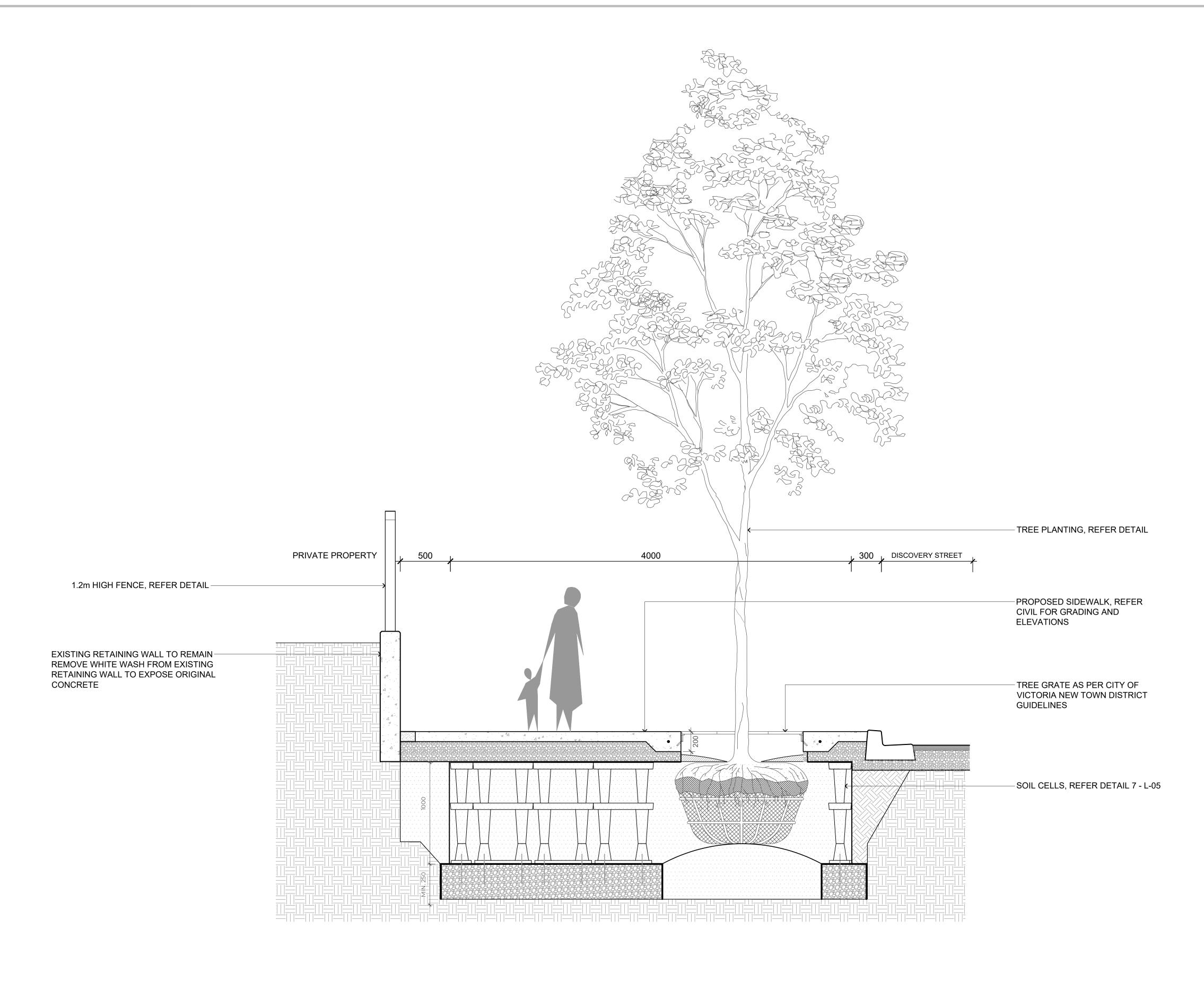
LANDSCAPE ARCHITECTURE | URBAN DESIGN | PLANNING | ENGINEERING 1000 - 840 HOWE STREET, VANCOUVER B.C. V6Z 2M1

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DESIGN BY MjH SHEET TITLE FENCING DETAILS DRAWN BY CHECKED BY PROJECT# 211-01841-00 SCALE AS SHOWN

L-08



1 TYPICAL SOIL SECTION - SOIL CELLS
L-09 SCALE: 1:20

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NO.	DATE	DESCRIPTION	BY			

DESIGN BY MjH

DRAWN BY ER/RC

CHECKED BY GS/TC

PROJECT# 211-01841-00 SHEET NO.

SCALE

AS SHOWN

SHEET TITLE

SOIL CELL SECTION

SHEET NO.

L-09