

235 RUSSELL STREET MIXED USE



25-07-21 RZ+DP RESUBMISSION 04



BC LAND SURVEYORS SITE PLAN OF:

Civic: 247 Russell Street

Legal Lot A, Section 31,
Esquimalt District, Plan 29271
AND
Lot 39, Section 31,
Esquimalt District, Plan 549

Parcel Identifier (Lot A) : 001-422-294 in the City of Victoria
Parcel Identifier (Lot 39): 003-391-426 in the City of Victoria



All distances are shown in metres.
The intended plot size of this plan
is 609.6mm in width by 457.2mm in height
(Arch C size) when plotted at a scale of 1:250.



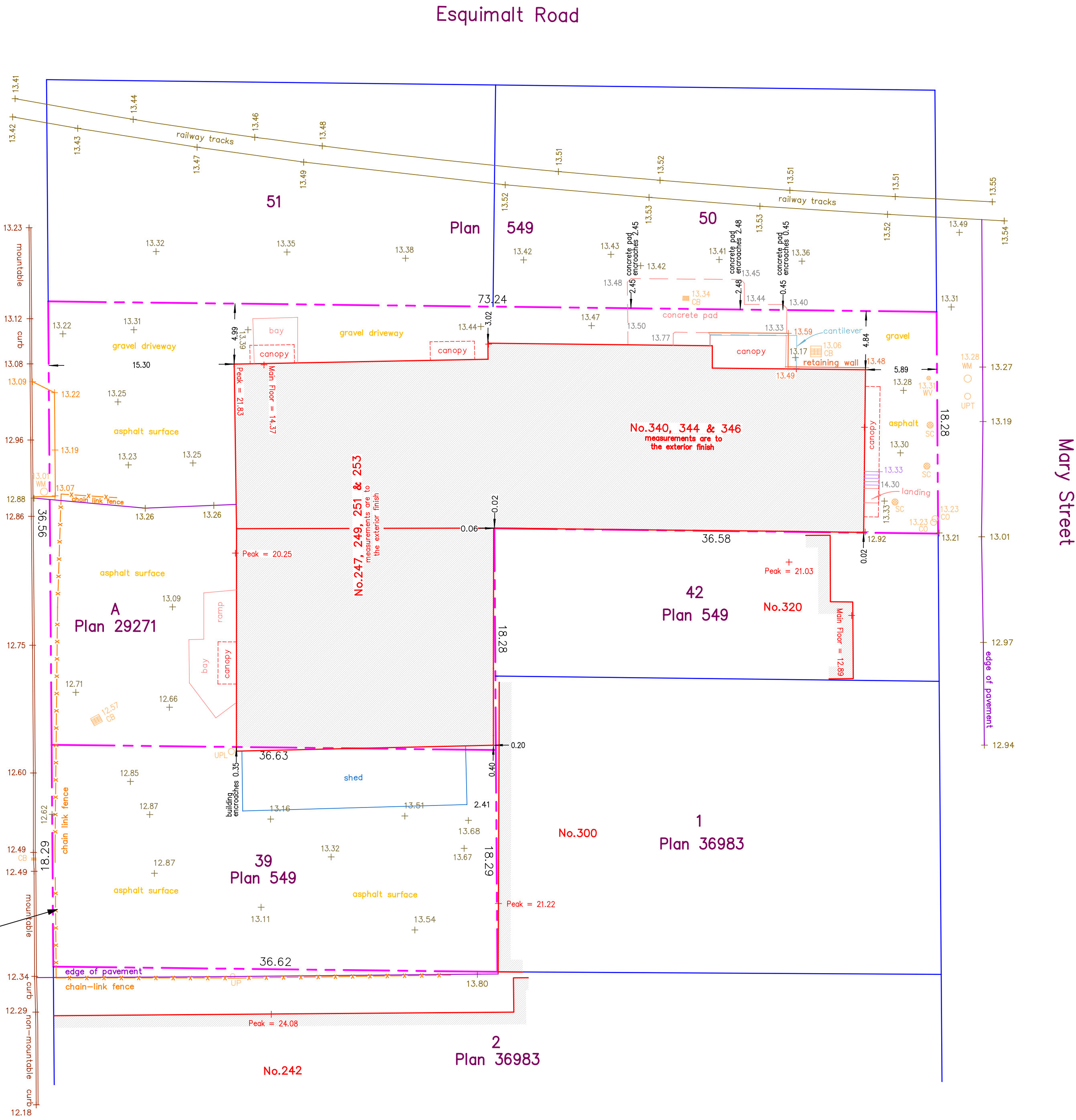
LEGEND
Elevations are to geodetic datum.
##+ - denotes - existing elevation
CB - denotes - Catch Basin
CD - denotes - Clean Out
UPT - denotes - Utility Pole with Transformer
WV - denotes - Water Valve
WM - denotes - Water Meter
SC - denotes - Service Cover

Lot A Area = 2008.0 m2
Lot 39 Area = 669.6 m2

235 RUSSELL - SUBJECT PROPERTY

October 03, 2018

File : 12,843 - 18
POWELL & ASSOCIATES
B C Land Surveyors
250-2950 Douglas Street
Victoria, BC V8T 4N4
phone (250) 382-8855



The following non-financial charges are shown on
the current title and may affect the property.
Lot A: M76300 - Exceptions and Reservations
Lot A: 318792G - Exceptions and Reservations
Lot 39: M76301 - Undersurface Rights

Setbacks are derived from field survey.

Parcel dimensions shown hereon are
derived from Land Title Office records.

This document shows the relative location
of the surveyed features and shall not be
used to define property boundaries.

ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

Rev	Date	Description
plot date	25-07-21	drawing file
drawn by	CRK	checked by CRK
scale	1:100	project number 2017

NOTE: All dimensions are shown in millimeters. Room Dims are inside clear to GWB.

Russell MX

235 Russell Street
Victoria BC

Survey Plan

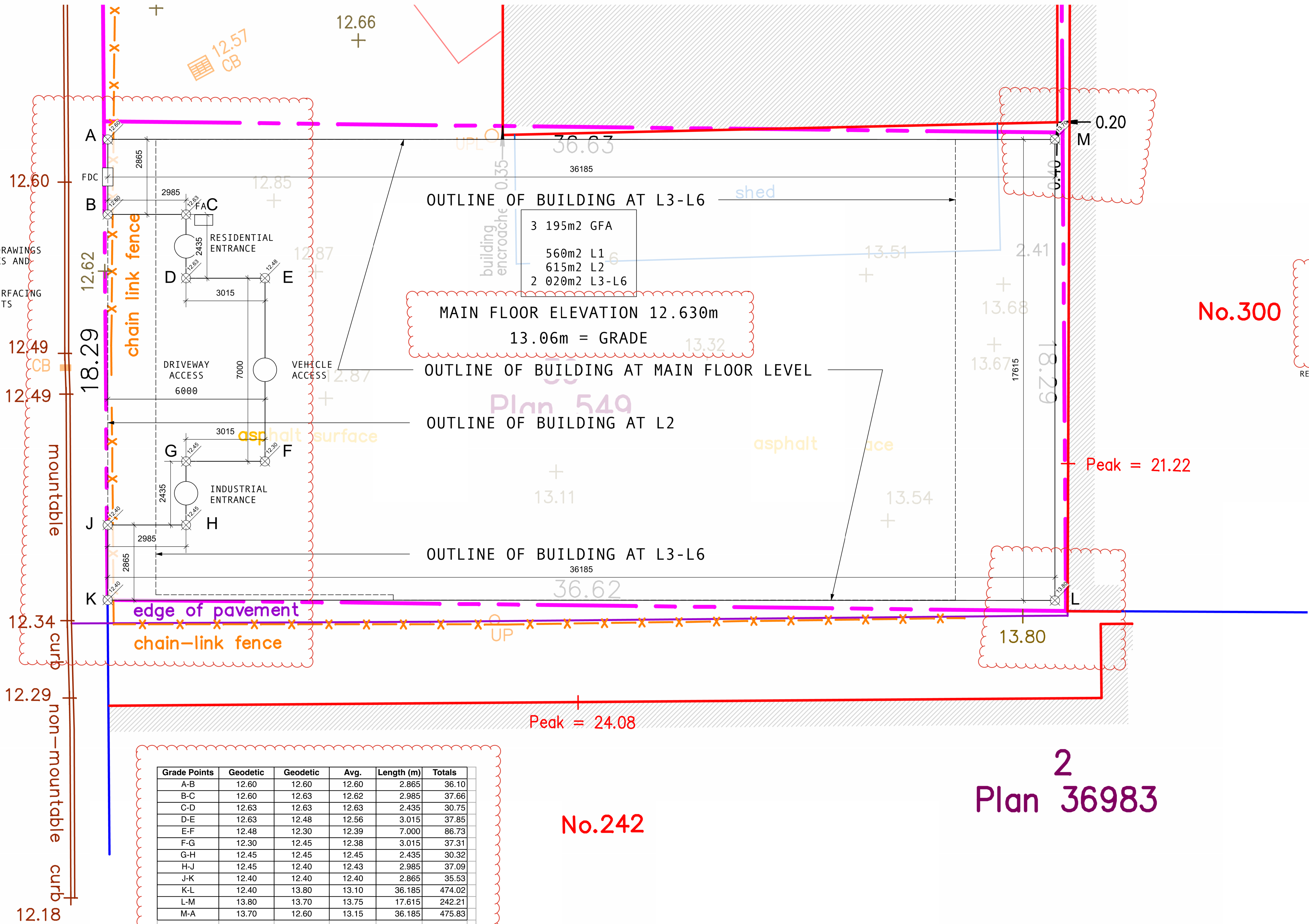


A100

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THE PROPERTY OF dHKARCHITECTS TO BE USED FOR THE PROJECT SHOWN AND
MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.

REFER TO CIVIL ENG. DRAWINGS
FOR ALL FRONTAGE WORKS AND
SERVICE CONNECTIONS

FRONTAGE 100% HARD SURFACING
NO LANDSCAPE TREATMENTS



PROJECT DATA - BCBC		
APPLICABLE BCBC	2024 PART 3 AND RELATED PARTS	
MAJOR OCCUPANCY	F3 INDUSTRIAL (L1-L2) C RESIDENTIAL (L3-L6)	
CONSTRUCTION REQMTS	3.3.3.50 GROUP C 6 STOREYS SPRINKLERED COMBUSTIBLE OR NON-COMBUSTIBLE 1HR FIRE SEP FLOORS 1HR FIRE RESISTANCE ROOF 1HR FIRE RISISTANCE LOADBEARING APPLIED TO L3 AND ABOVE 3.2.2.80 GROUP F3 ANY HEIGHT ANY AREA SPRINKLERED NON-COMBUSTIBLE 2HR FIRE SEPARATION FLOORS 2HR FIRE RESISTANCE LOADBEARING APPLIED TO L2 AND L1	
EXITS	2 EXITS REQUIRED AND PROVIDED FROM ALL FLOOR AREAS	
PROJECT DATA - ZONING		
ZONE	M-1	
SITE AREA	669.50	
INDUSTRIAL USE	1175.00	
RESIDENTIAL USE	2020.00	
TOTAL FLOOR AREA	3195.00	
FSR	4.77	
SITE COVERAGE	92%	
BUILDING HEIGHT	19.805m	
STOREYS	Six (6)	
VEHICLE PARKING	7 stalls	
BICYCLE PARKING	38 LT spaces incl 4 cargo 12 ST spaces	
FRONT SB	0.00	
REAR SB	0.00 (0.30m seismic gap)	
NORTH SIDE SB	0.00 (0.250 seismic gap)	
SOUTH SIDE SB	0.00	
RESIDENTIAL SUITES	30 total	
STUDIO	4	
1BR	16	
2BR	8	
3BR	2	
SUITE AREAS	m2	
STUDIO	33.00	
1BR	43.00	
2BR	63.00	
3BR	95.00	
PROJECT DATA - LEGAL		
LEGAL	LOT 39 SECTION 31 ESQUIMALT DISTRICT PLAN 549	
ADDRESS	235 RUSSELL STREET	
OWNER	235 RUSSELL HOLDINGS LTD.	
ARCHITECT	DHKARCHITECTS 977 FORT STREET VICTORIA BC V8V 3K3 250-658-3367	
CIVIL	WESTBROOK CONSULTING LTD. 115-866 GOLDSTREAM AVENUE VICTORIA BC V9B 0J3 250-391-8592	
ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION
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drawn by	CRK	checked by CRK
scale	1:100	project number 2017
NOTE: All dimensions are shown in millimeters. Room Dims are inside clear to GWB.		

Russell MX

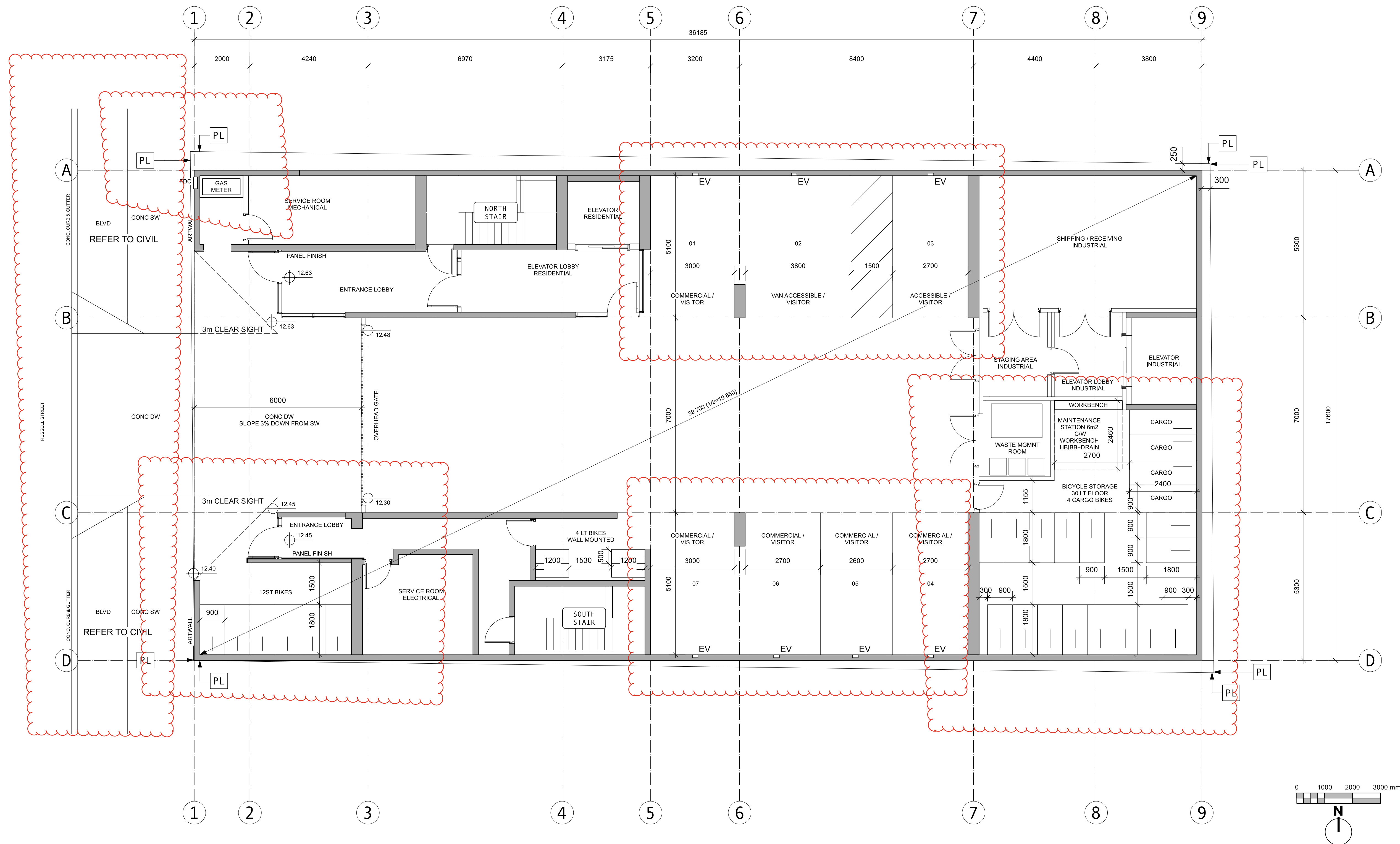
235 Russell Street
Victoria BC

Site Plan & Project Data



A101

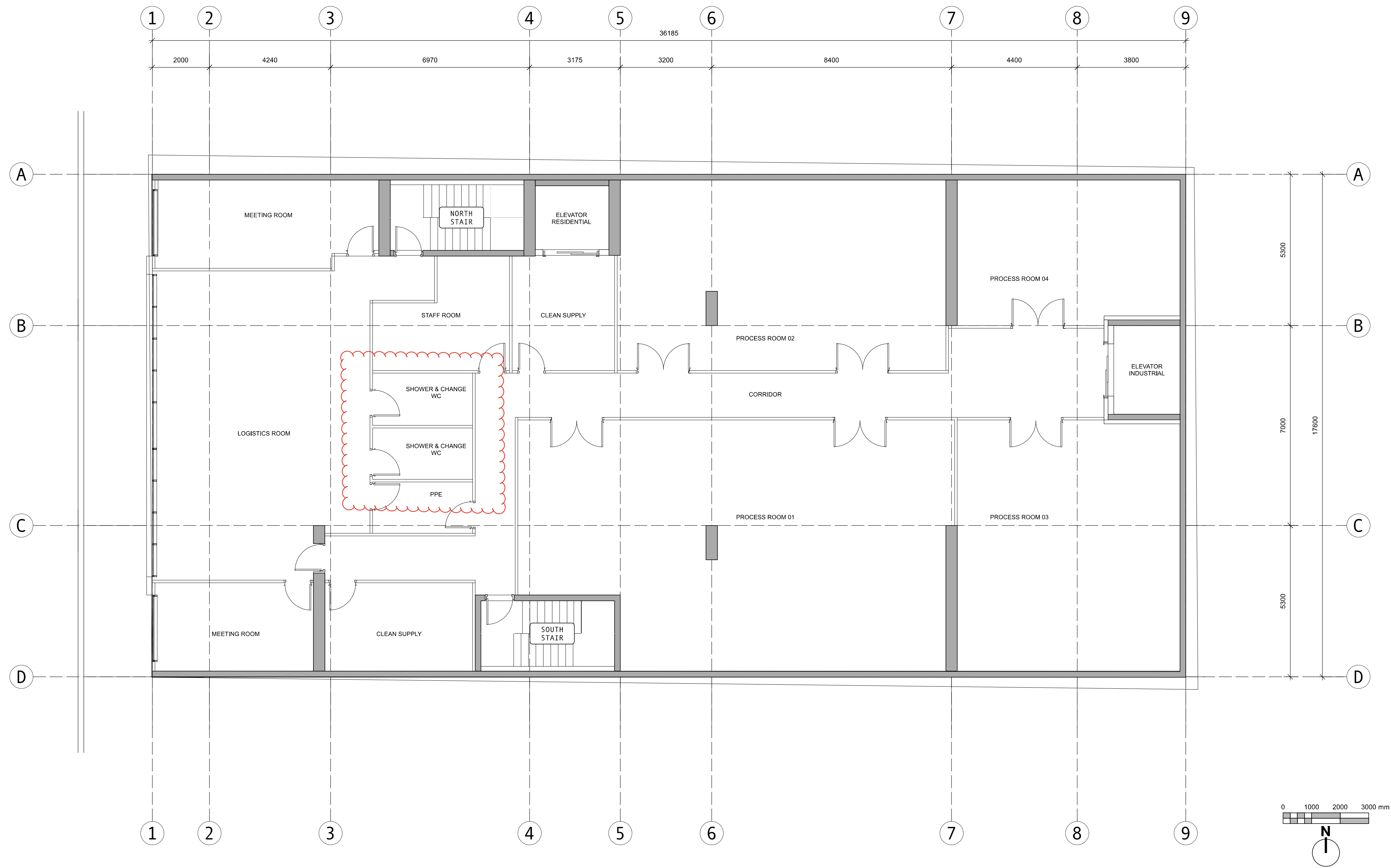
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235 Russell Street
Victoria BC
L1 PLAN

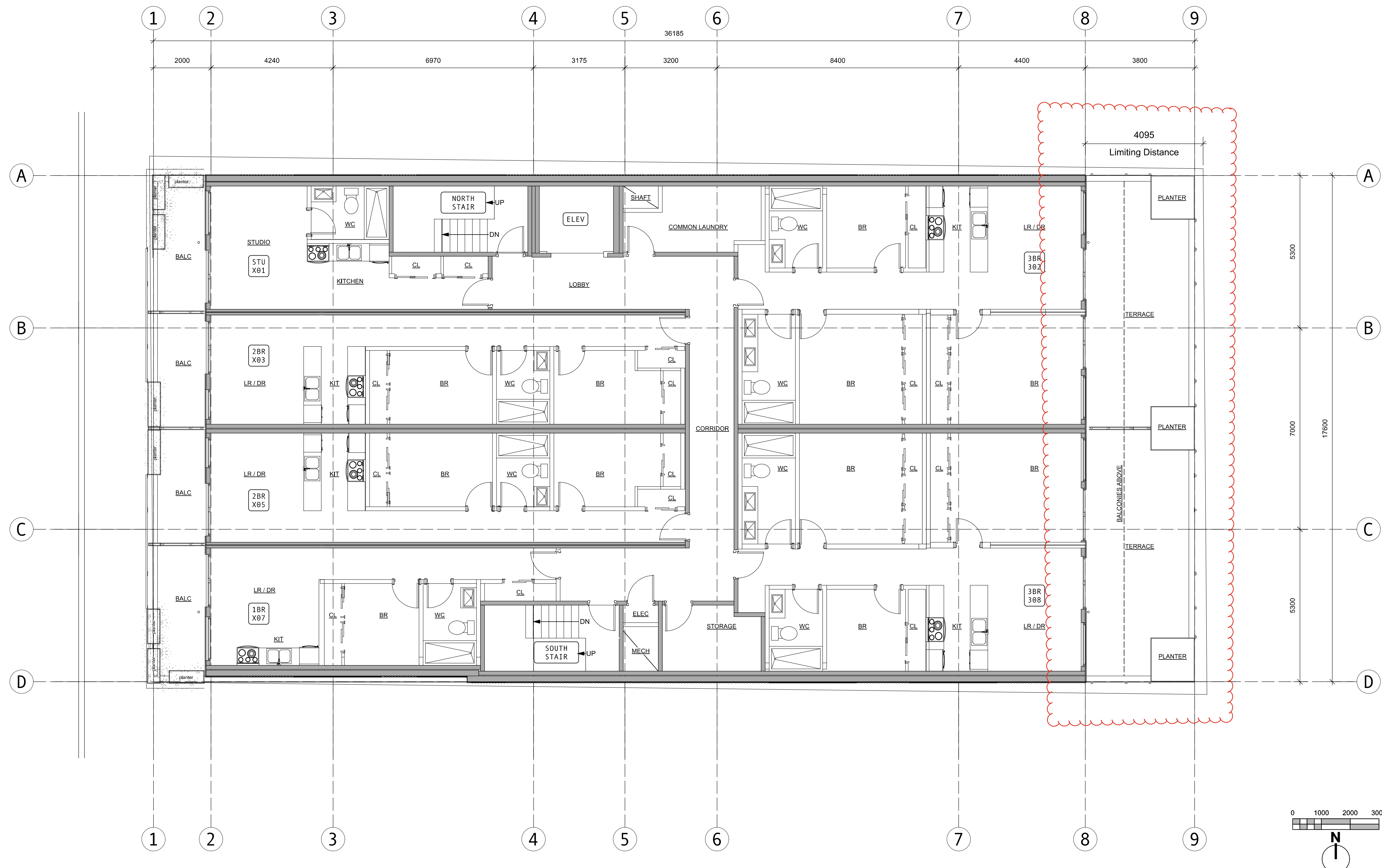


ISSUED	25-07-21	RZ+DP RESUB 04
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ISSUED	25-03-12	RZDP RESUB 02
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION

Rev	Date	Description
pk1	25-07-21	drawing file
drawn by	CRK	checked by CRK
scale	1:100	project number 2017

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235 Russell Street
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L2 PLAN

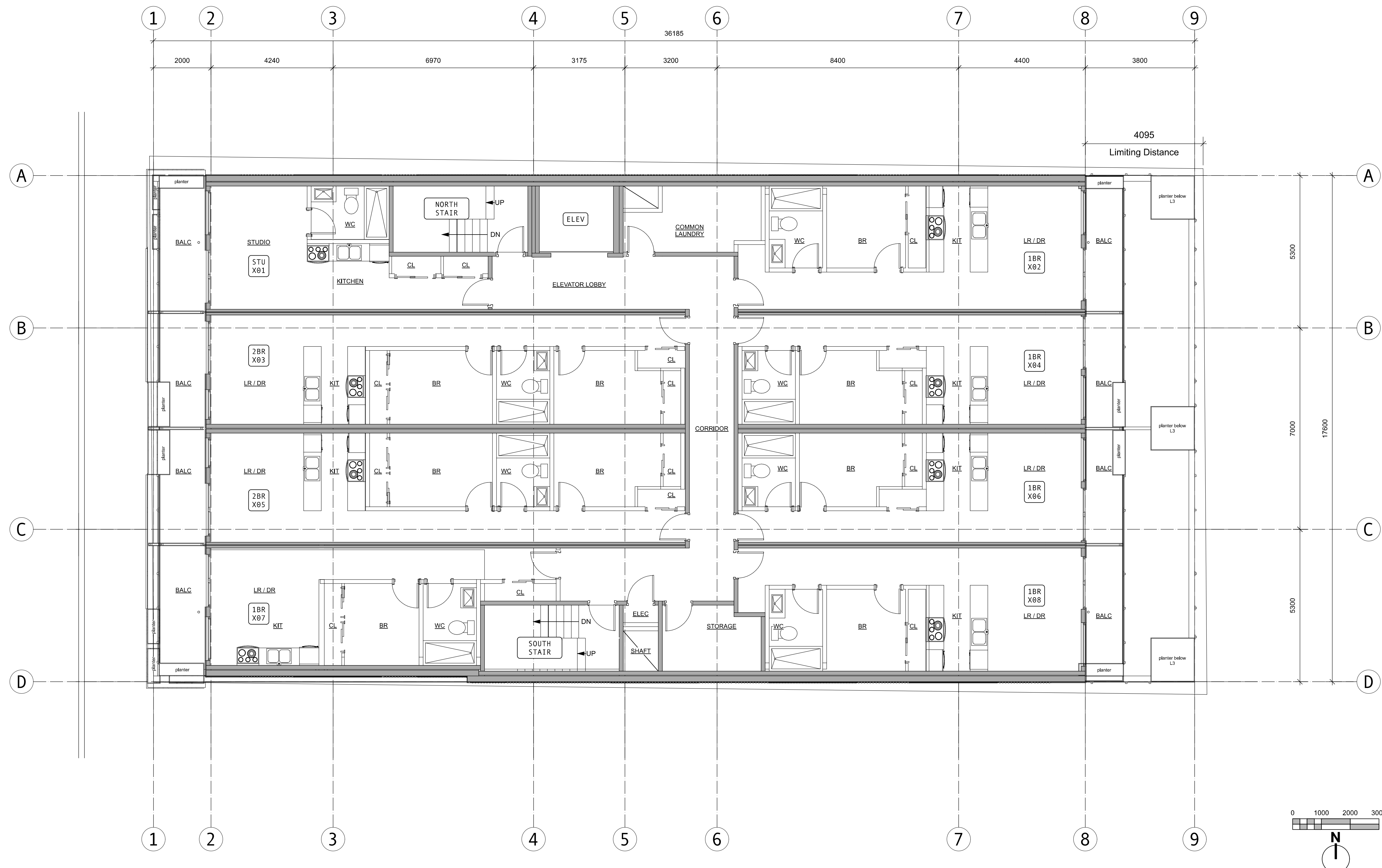


ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION
Rev	Date	Description
pkd date	25-07-21	drawing file
drawn by	CRK	checked by CRK
scale	1:75	project number 2017

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Russell MX
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L3 PLAN

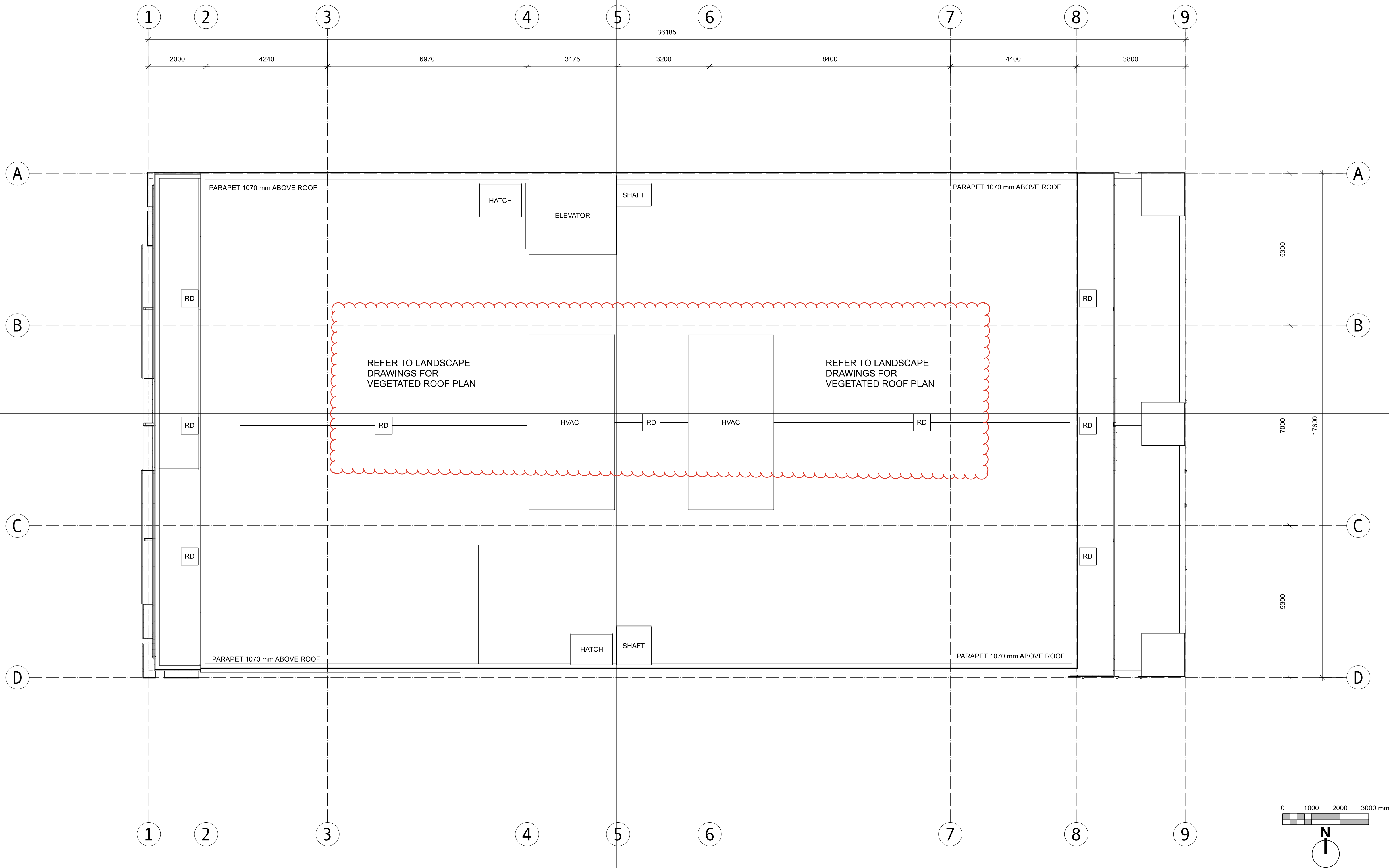




ISSUED	25-07-21	RZ+DP RESUB 04
ISSUED	25-05-13	RZDP RESUB 03
ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION
Rev	Date	Description
pk1 date	25-07-21	drawing file
drawn by	CRK	checked by CRK
scale	1:75	project number 2017

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Victoria BC
L4-6 PLAN



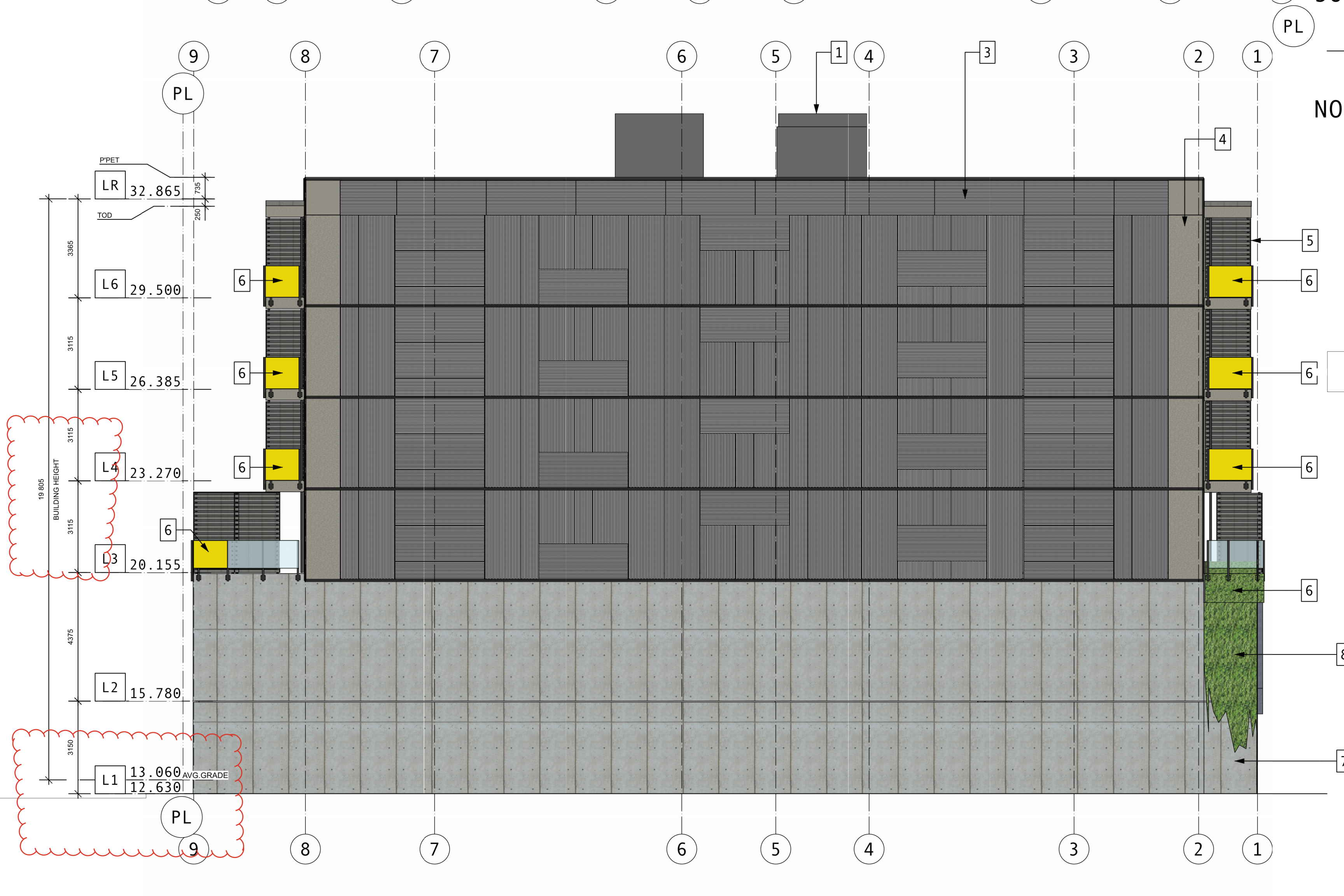
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ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-06-25	RZDP SUBMISSION
Rev	Date	Description
pkst date	25-07-21	drawing file
drawn by	CRK	checked by CRK
scale	1:100	project number 2017

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235 Russell Street
Victoria BC
LR PLAN



A205

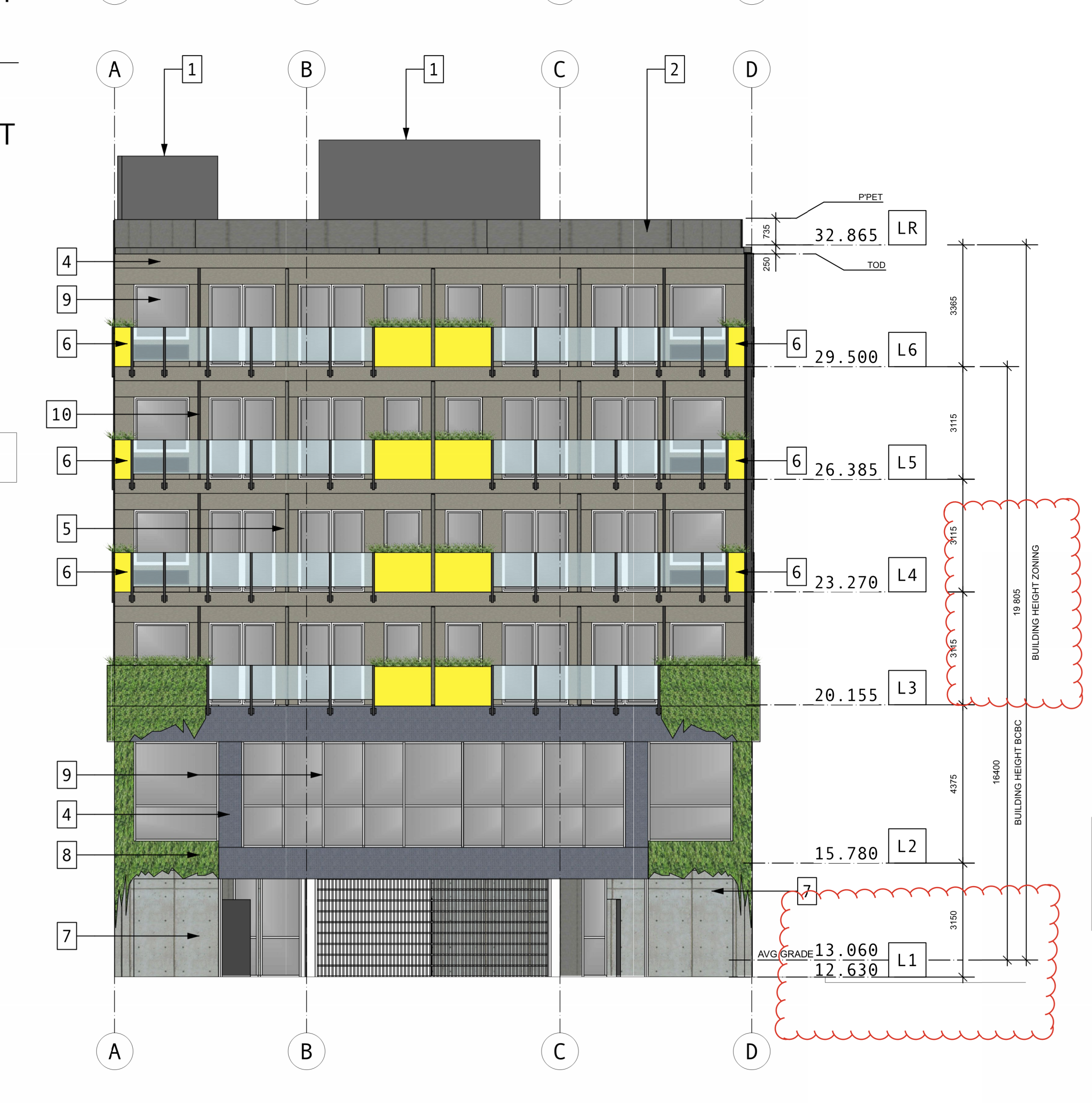


SPATIAL SEPARATION CALCS:
% UPO Shown = 51.10%
% UPO Max = 56% = OK
3.2.3.1-D ; 50m2@4mLD
Combustible or non-combustible
construction and cladding with
45 min FRR

UNPROTECTED
OPENINGS 24.795 m2
FIRE COMPARTMENT
48.525 m2

All visible soffits
wood-finish metal
linear cladding

SOUTH EAST
NORTH WEST



- MATERIALS LEGEND**
1. FIBRE CEMENT CLADDING - CHARCOAL
 2. PREFINISHED METAL CLADDING / FLASHING
 3. CORRUGATED METAL CLADDING
 4. FIBRE CEMENT CLADDING
 5. ALUM + WOOD PRIVACY SCREEN
 6. ALUM AND GLASS GUARDS WITH PLANTER BOXES
 7. PAINTED CONCRETE
 8. TRAILING PLANTS
 9. HIGH PERFORMANCE WINDOWS AND DOORS
 10. RAIN WATER LEADERS

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ISSUED	24-09-11	RZDP RESUBMISSION
ISSUED	24-08-07	CALUC MTG
ISSUED	24-06-25	RZDP SUBMISSION

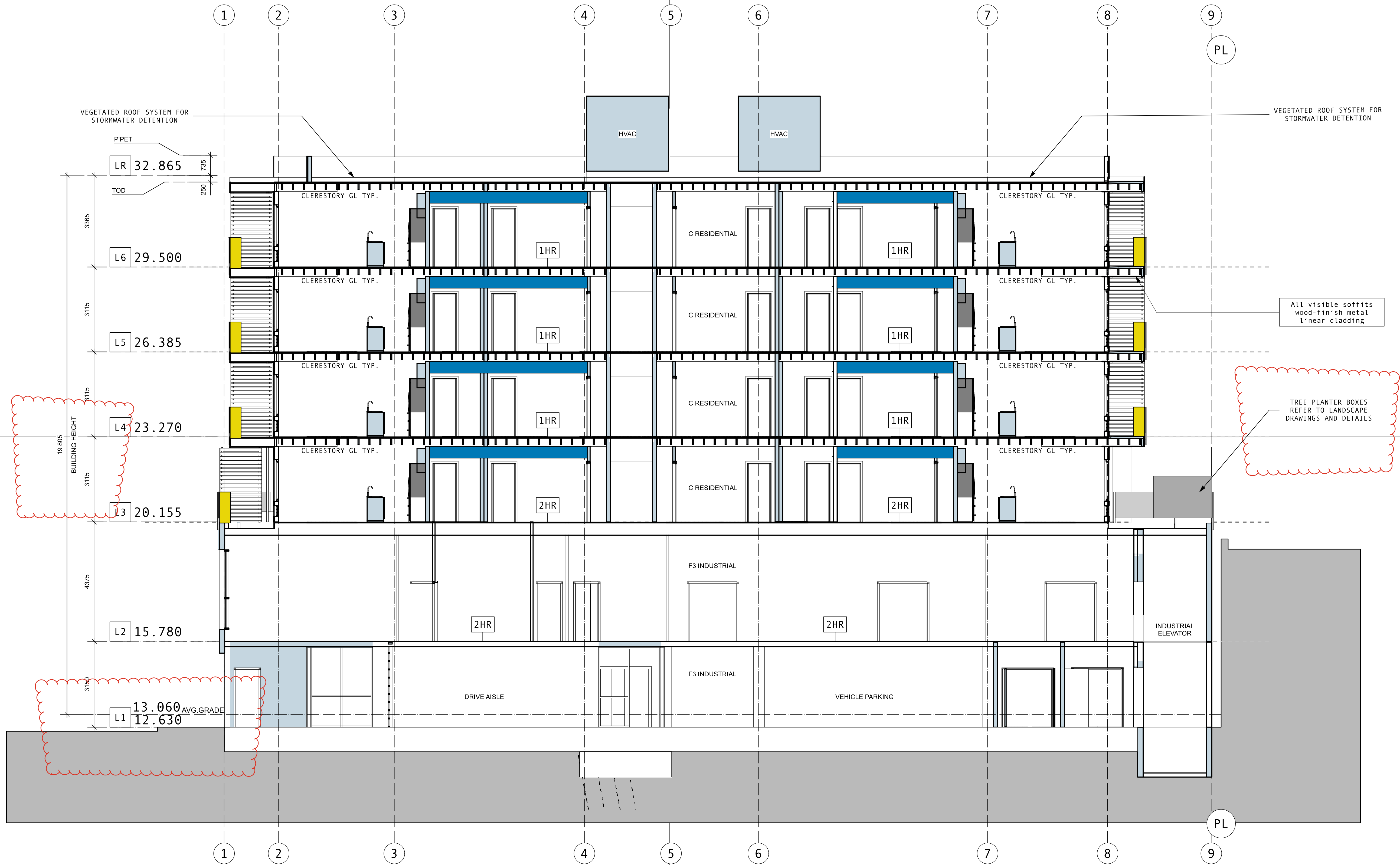
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scale	1:100	project number 2017

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Elevations

dHka A301

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pk1 date	25-07-21	drawing file
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SECTION



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VIEW FROM RUSSELL STREET

ISSUED	25-07-21	RZ+DP RESUB
ISSUED	24-08-07	CALUC MTG
Rev	Date	Description
plot date	25-07-21	drawing file
drawn by	SJJ	checked by
scale	1:100	project number
		2017

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Russell MX

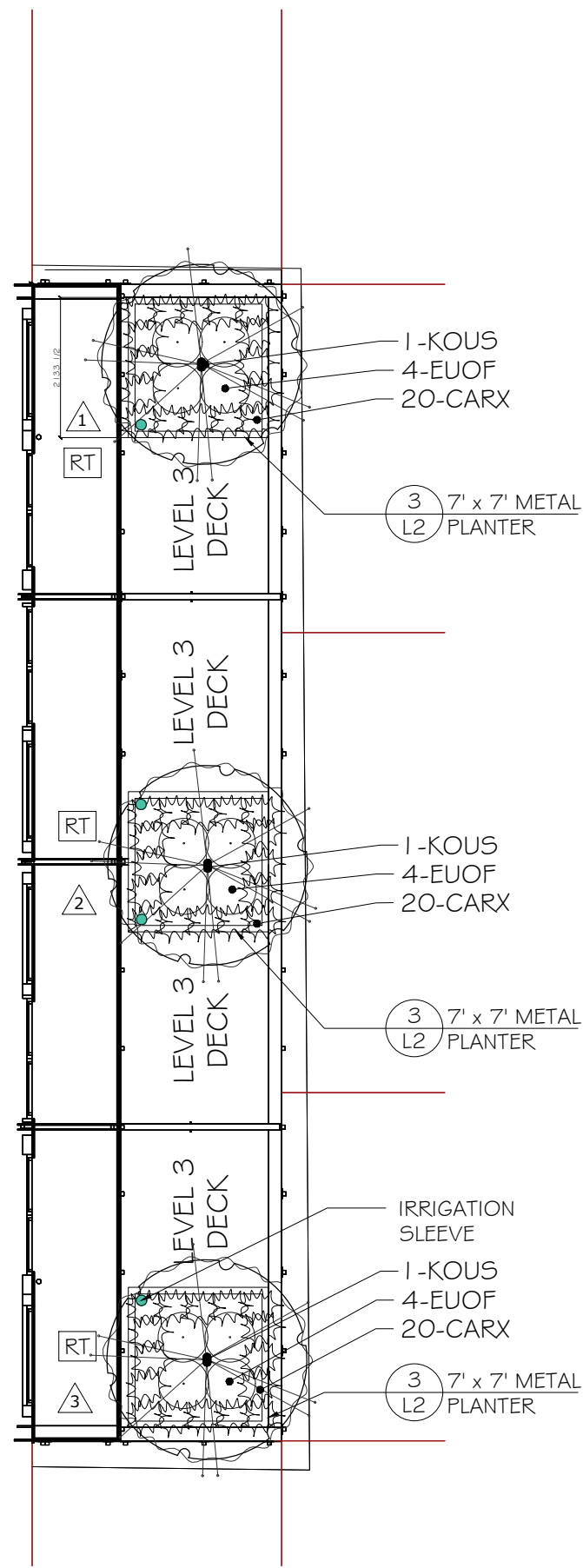
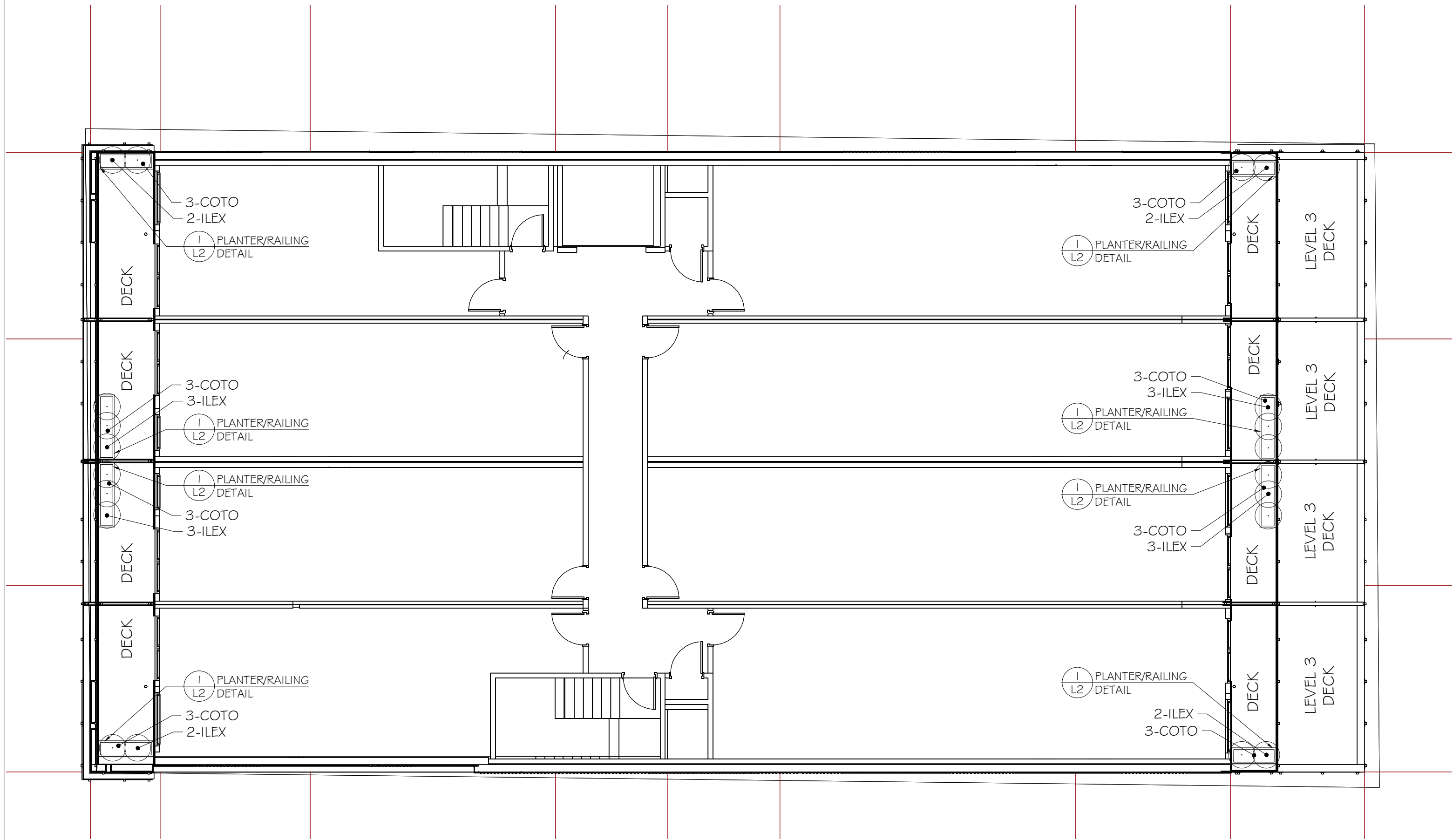
235 Russell Street
Victoria BC

Street View



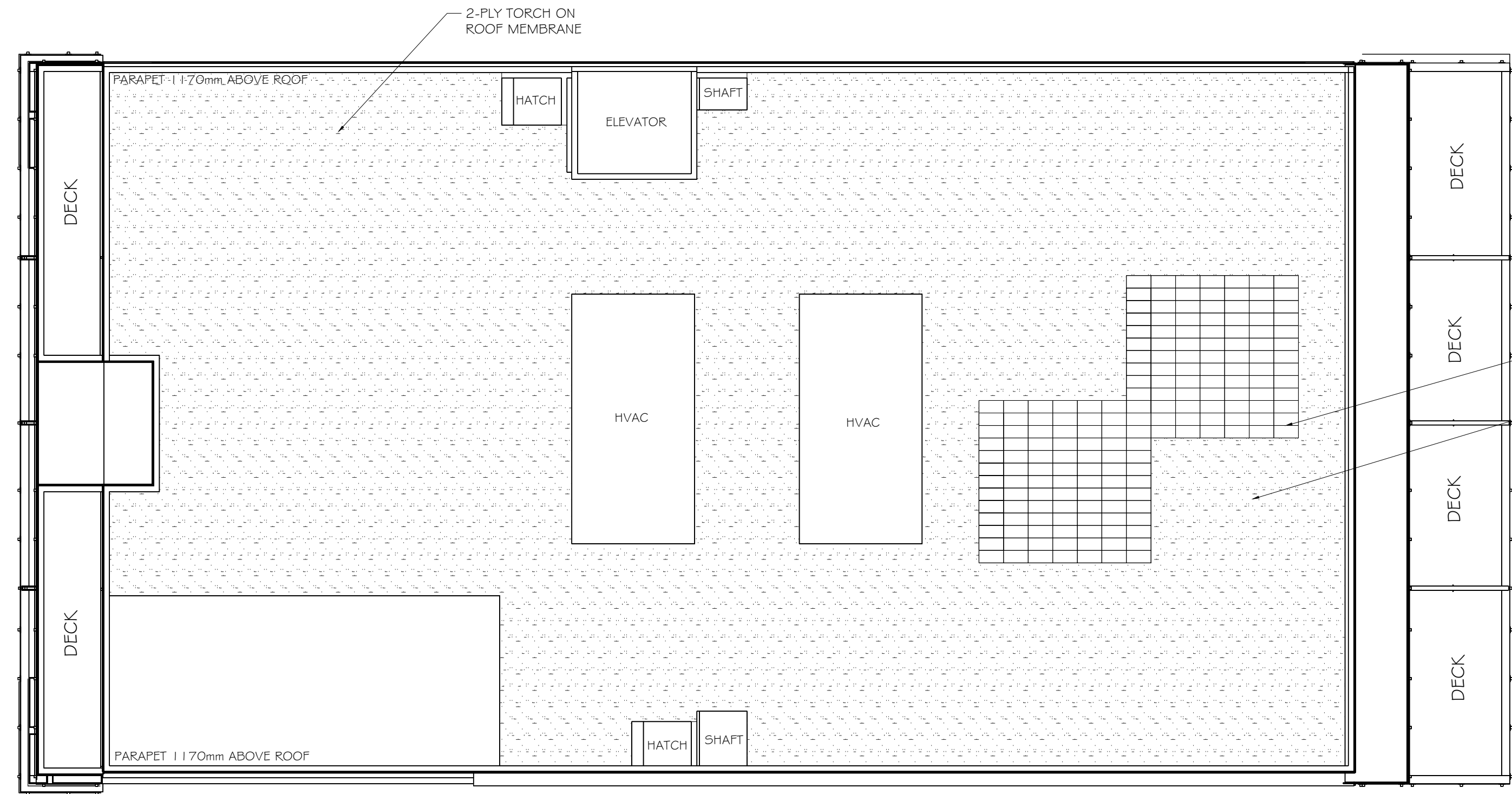
A500

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LEVELS 2, 4, 5 & 6

LEVEL 3 PLAN



GREEN ROOF PLANTINGS

CONTACT:
NATS NURSERY
ADDRESS: 17127 FRASER HWY,
SURREY BC V4N 0E5
604-576-1300

NUMBER OF 1' x 2' LIVEROOF TRAYS = 200

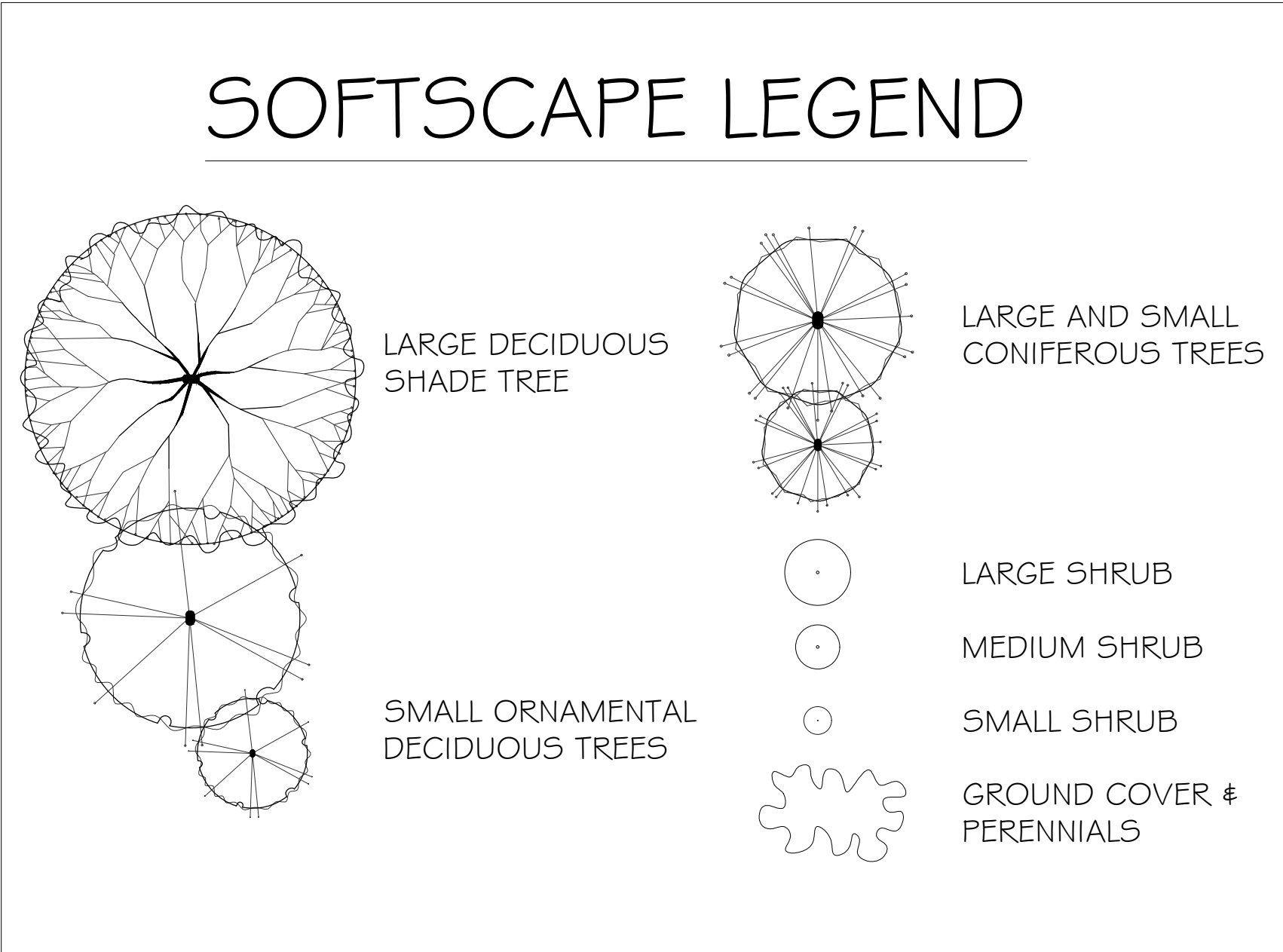
GREENROOF PLAN

SCALE BAR



PLANT LIST - LEVELS 2, 4, 5 & 6						
	KEY	QUANTITY (PER LEVEL)	QUANTITY (TOTAL)	COMMON NAME	BOTANICAL NAME	SIZE
SMALL SHRUBS	ILEX	20	80	False Holly	Ilex crenata convexa	#1 Pot
GROUND COVERS	COTO	24	96	Trailing Cotoneaster	Cotoneaster dammeri	SP5

PLANT LIST - LEVEL 3 DECK ONLY						
	KEY	QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE	
TREES	KOUS	3	Satomi Dogwood	Kousa Satomi	6cm Cal.	
SMALL SHRUBS	EUOF	30	Creeping Euonymus	Euonymus fortunei var. 'Emerald & Gold'	#1 Pot	
GROUND COVERS	CARX	96	Variegated Sedge	Carex morrowii var. 'Aureoanegata'	SP5	



SOIL VOLUME REQUIREMENTS*			
ROW #	TREE SIZE	MIN. SOIL VOLUME (M3)	SHARED OR IRRIGATED SOIL VOLUME (M3)
1	SMALL TREE (SCHEDULE "E", PART 2)	8.0M	6.0
2	MEDIUM TREES (SCHEDULE "E", PART 1)	20.0M	15.0
3	LARGE TREES (SCHEDULE "E", PART 1)	35.0M	30.0

<div><div>RT</div></div> DENOTES REPLACEMENT TREE				Replacement Trees Proposed			Soil Volume Required (m ³)			
Planting Area ID	Area (m ²)	Soil Volume Multiplier*	A Estimated Soil Vol. (m ³)	B # Small	C # Medium	D # Large	B # Small	C # Medium	D # Large	Total**
ONSITE										
<div>1</div>	6.94	1.0M	6.94		1		6			6.0
<div>2</div>	6.94	1.0M	6.94		1		6			6.0
<div>3</div>	6.94	1.0M	6.94		1		6			6.0

Notes:

(1) All soil volume calculations are for replacement trees only
(2) All replacement trees are ONSITE
(3) Soil volumes are calculated based on 'shared or irrigated soil volumes' numbers shown on table
(4) All replacement trees meet soil volume requirements for this project.

IRRIGATION SLEEVE

NOTE: ALL PLANTERS W/ TREES TO BE IRRIGATED

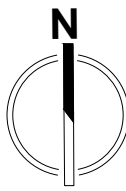
TREE REPLACEMENT PLAN:

- 3 REPLACEMENT TREES REQUIRED ON SITE
- 3 (2:1) REPLACEMENT TREES TOTAL SHOWN IN ROOF TOP PLANTERS. THIS COUNTS AS 1.5 REPLACEMENT TREES PROVIDED. CASH-IN-LIEU REQUIRED FOR 1.5 TREES.
- EACH PLANTER HAS A SOIL VOLUME OF OVER 6m³
- PLANTER SIZE (DECK 3 EAST): 2.13m (L) x 2.13m (W) x 1.52m (D)
- REPLACEMENT TREES FOR EACH PLANTER CHOSEN FROM THE CITY OF VICTORIA TREE REPLACEMENT REQUIREMENTS, SCHEDULE E, SECTION C, PART 2 FOR 2:1 REPLACEMENT TREES.

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NOTES:

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4★SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING 250.508.7885

project north:

issue / revisions:

No.	Issued / Revisions	Date
05	REVISED	07.14.2025
04	REVISED	07.08.2025
03	REVISED	07.07.2025
02	REVISED	03.04.2025
01	ISSUED FOR REVIEW	02.25.2025

seal:

project title:

235 RUSSELL STREET

drawing title:

LANDSCAPE
CONCEPT & DETAIL
PLANS

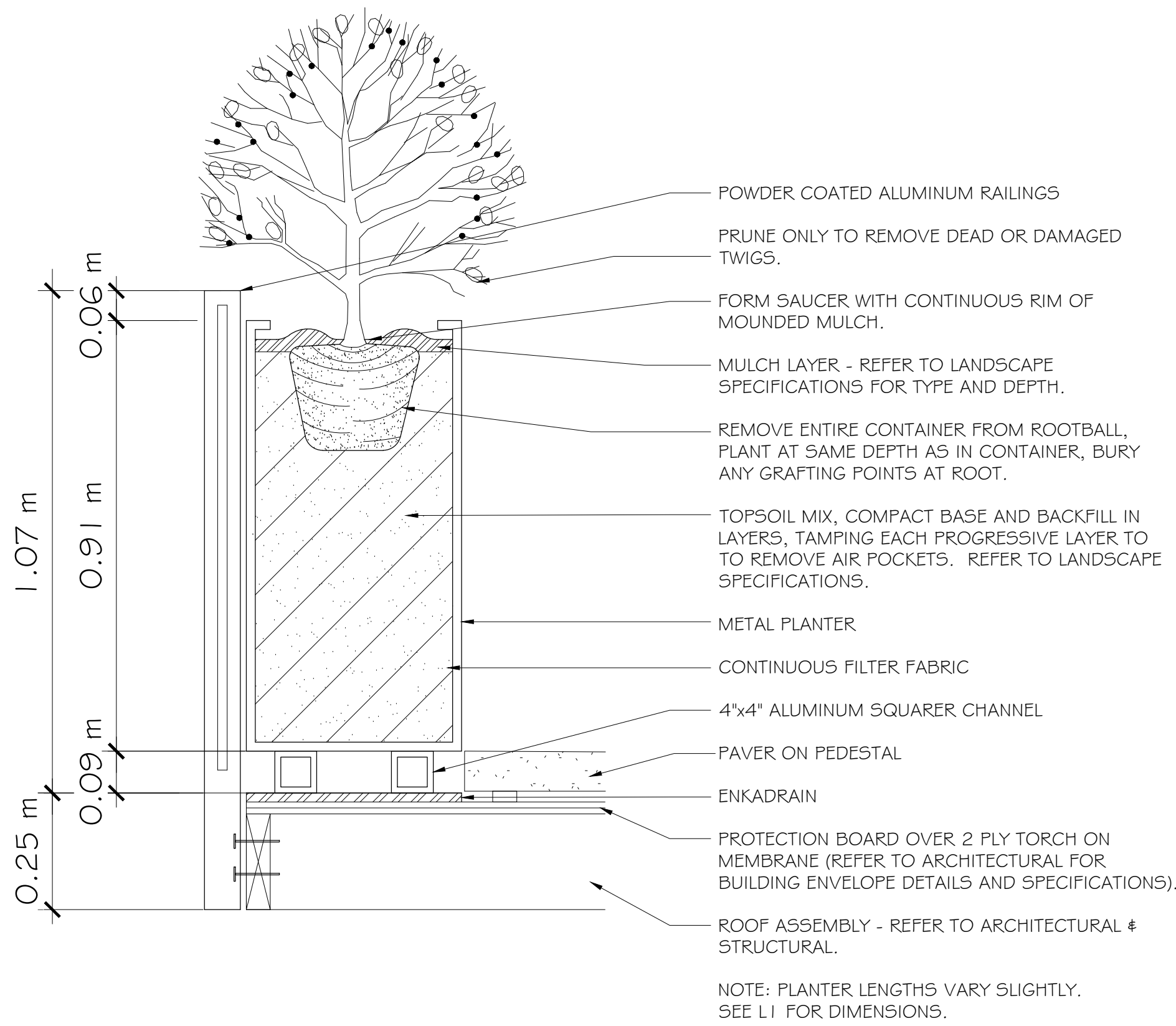
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date: 14 JULY 2025 scale: 1:100

checked by: FORTH drawn by: BF, RF

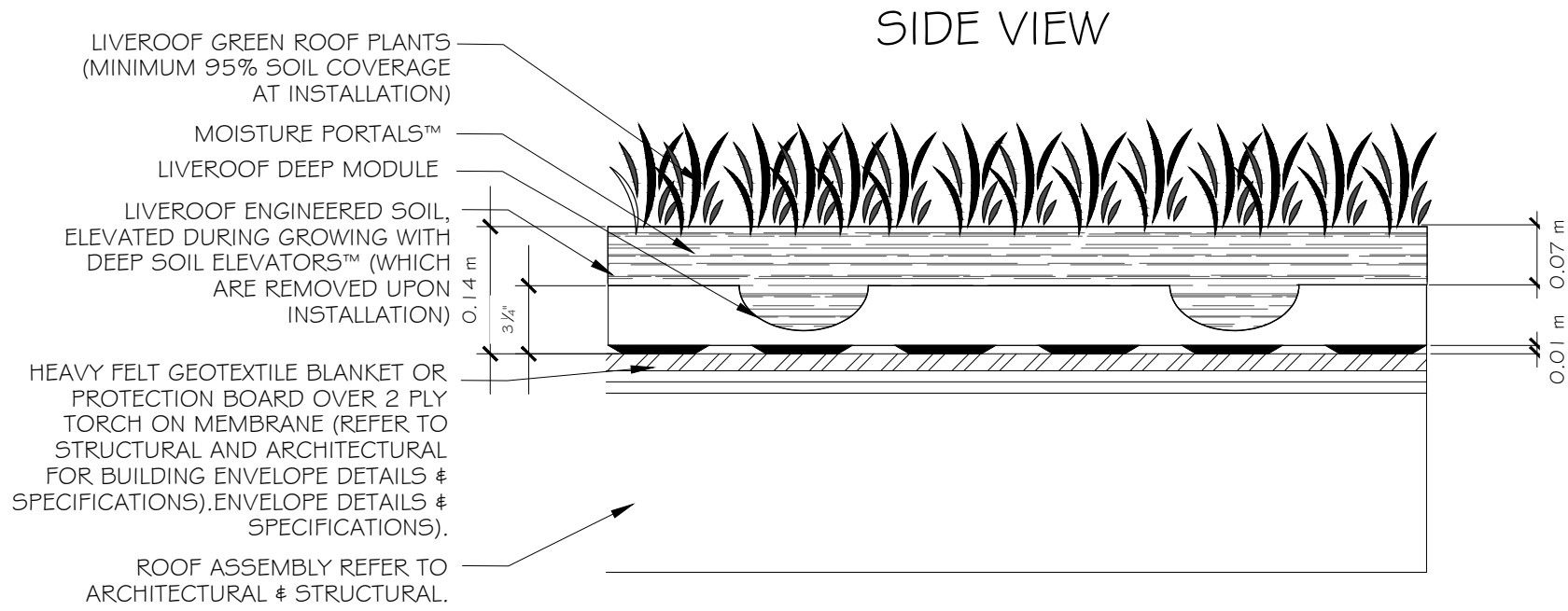
sheet no.:

L1.00

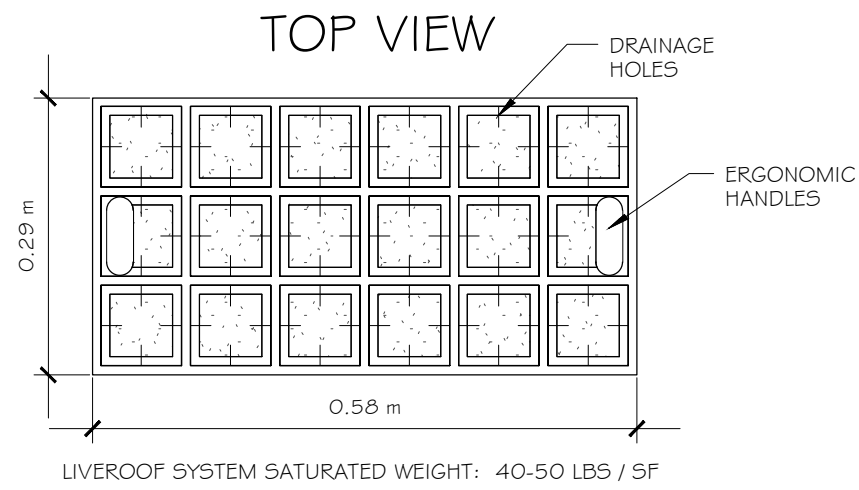


1 PLANTER/RAILING DETAIL
L2 SCALE 1:10

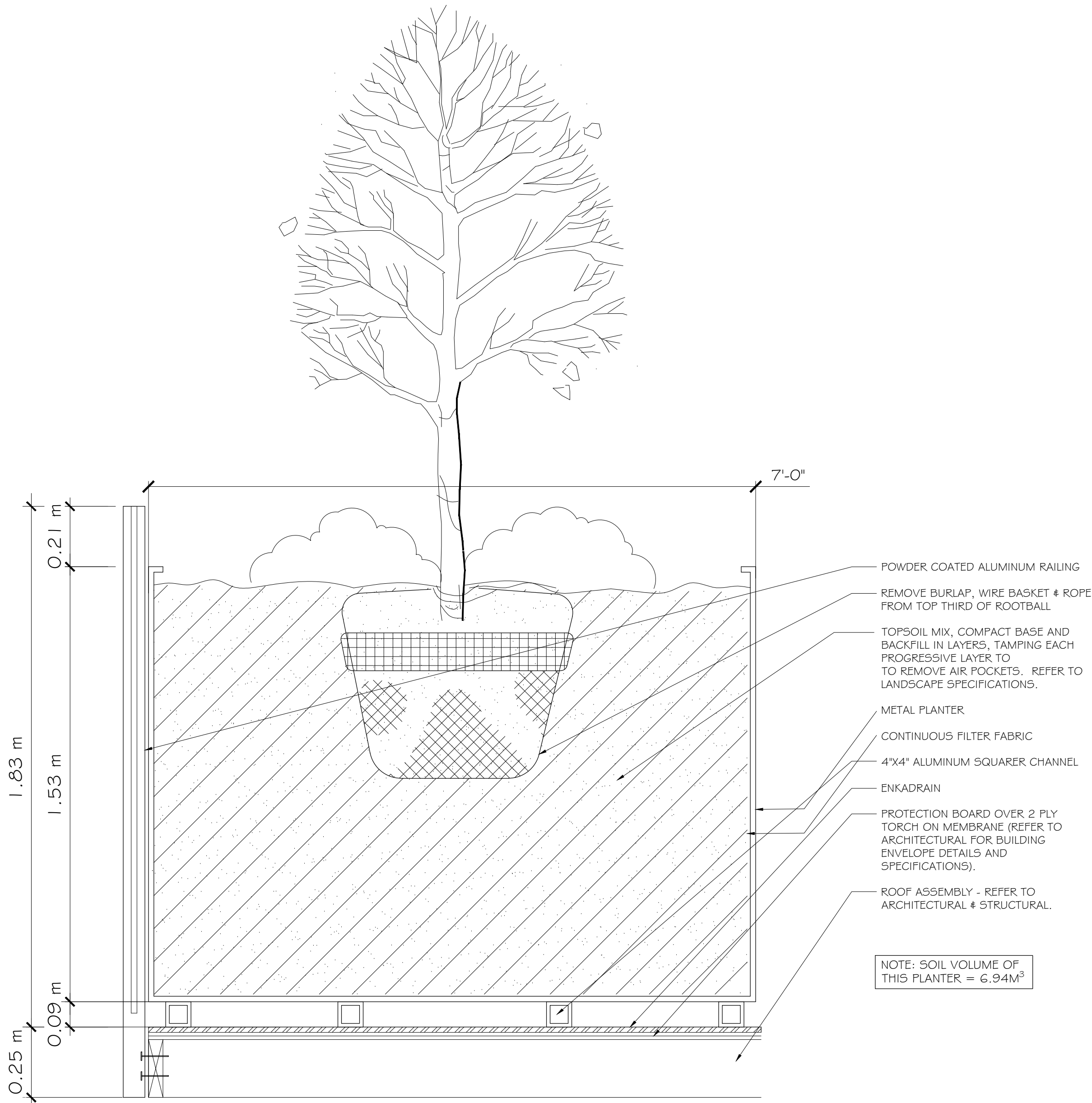
LiveRoof DEEP SYSTEM
Over Conventional Roofing
Assembly



CONTACT:
NATS NURSERY
ADDRESS: 17127
FRASER HWY, SURREY
BC V4N 0E5
604-576-1300



2 GREENROOF PLANTING OVER ROOF
L2 SCALE 1:8

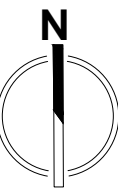


3 7' x 7' METAL PLANTER
L2 SCALE 1:12

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4★SITE
LANDSCAPE ARCHITECTURE
AND SITE PLANNING 250.508.7885

project north:

Issue / revisions:

No.	Issued / Revisions	Date
05	REVISED	07.14.2025
04	REVISED	07.08.2025
03	REVISED	07.07.2025
02	REVISED	03.04.2025
01	ISSUED FOR REVIEW	02.25.2025

seal:

project title:

235 RUSSELL STREET

drawing title:

LANDSCAPE DETAILS
& SPECIFICATIONS

project no.:

1

date: 14 JULY 2025

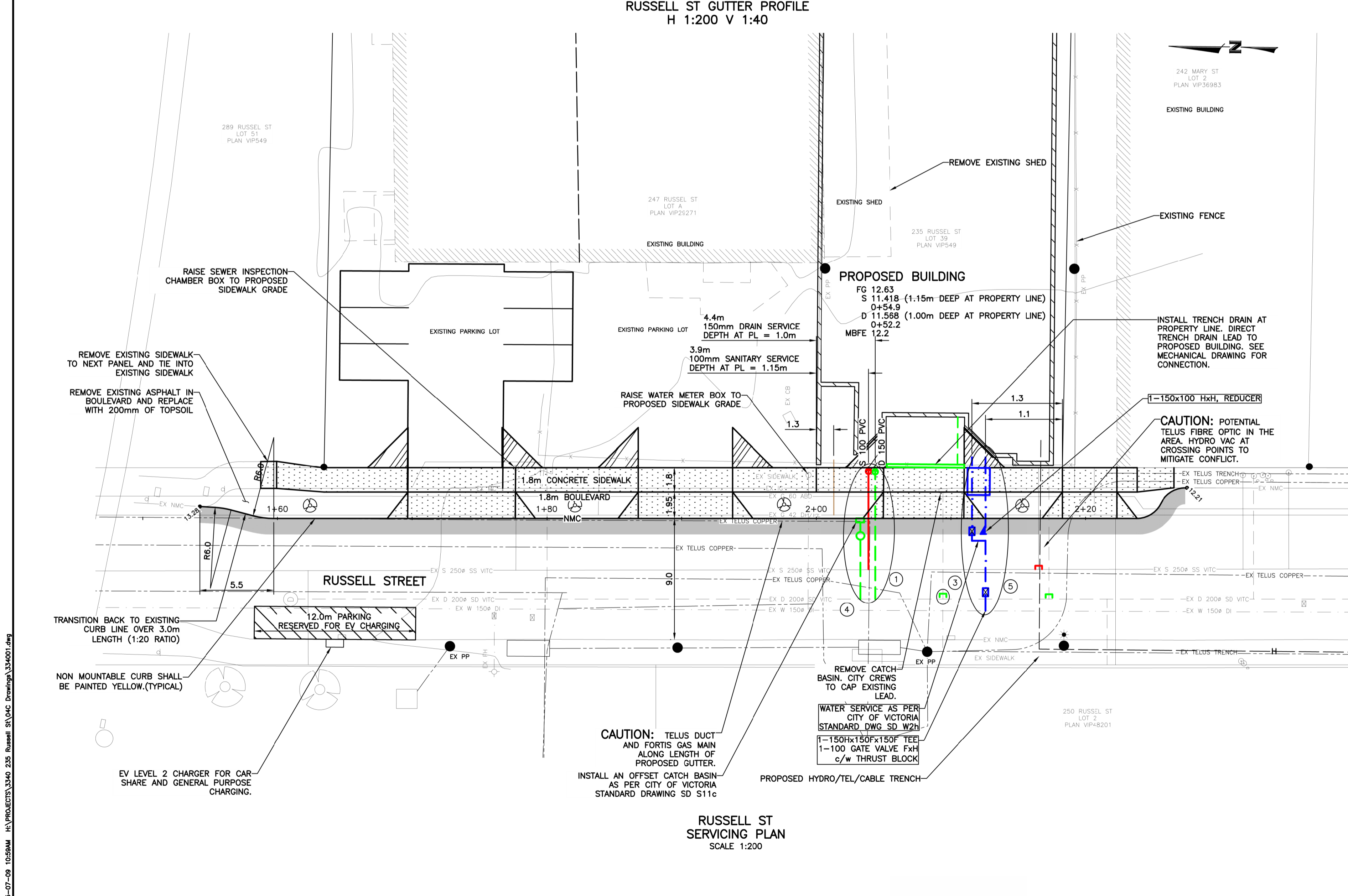
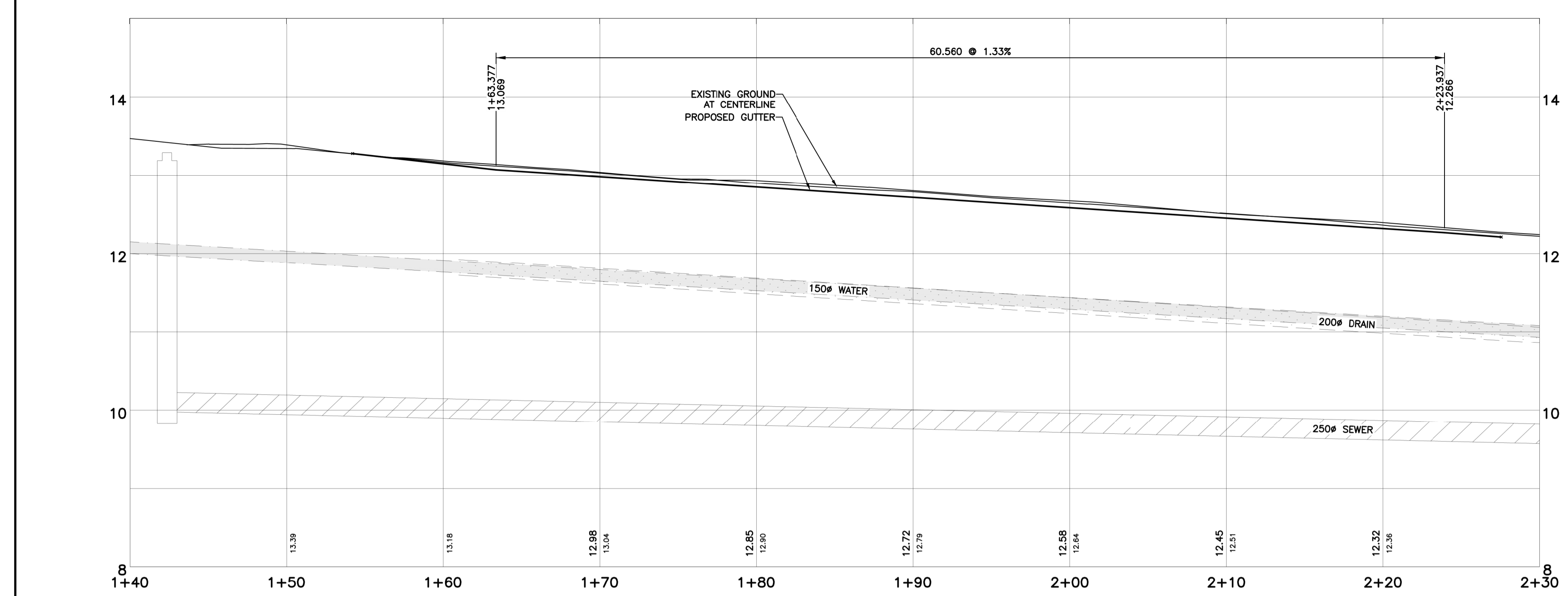
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checked by: FORTH

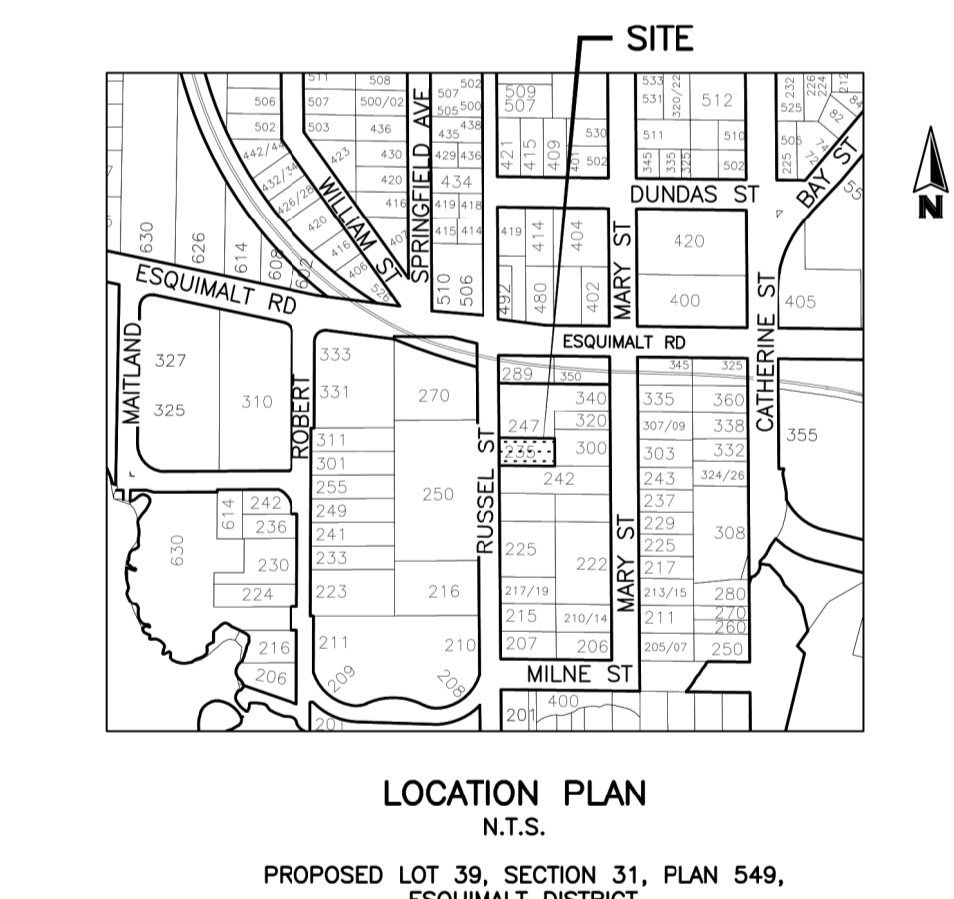
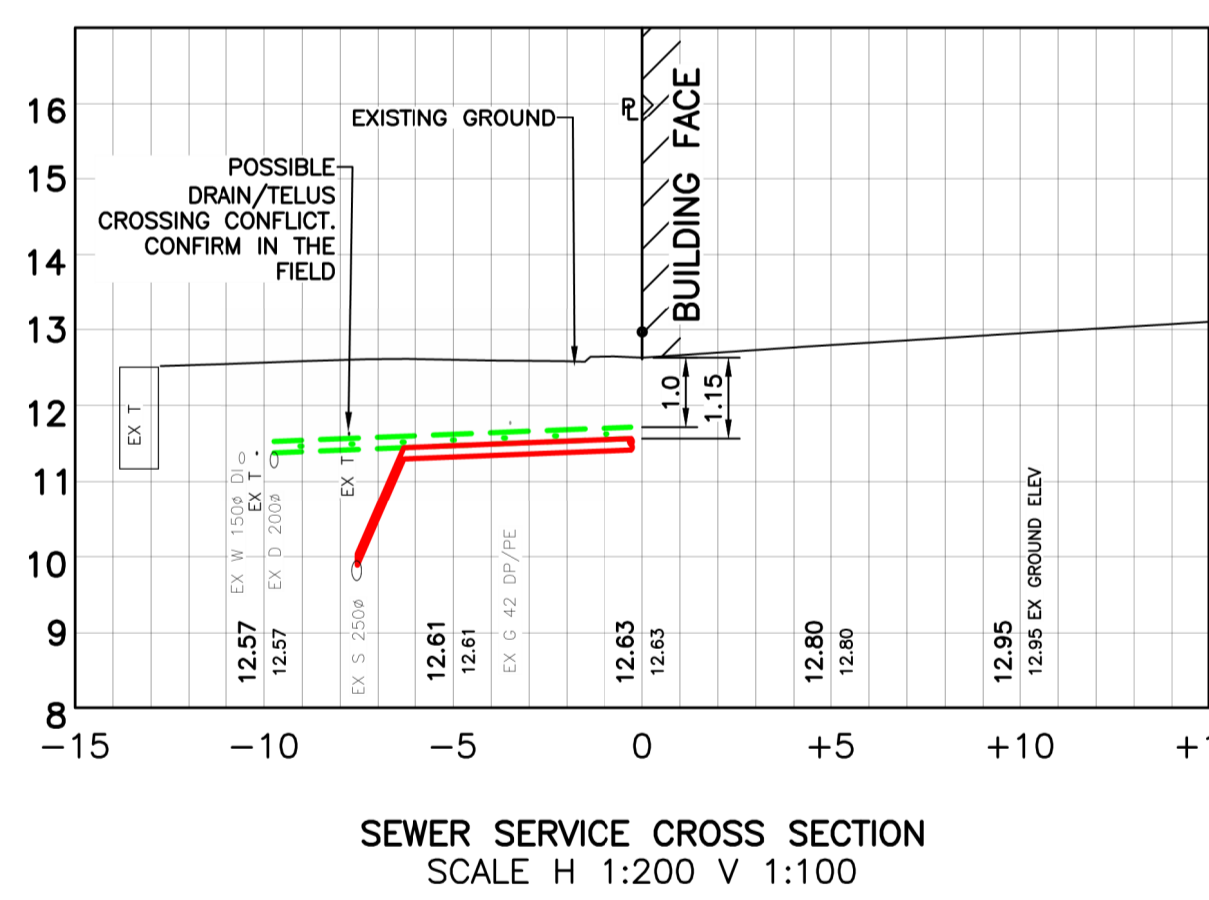
drawn by: BF, RF

sheet no.:

L2.00



- ### GENERAL NOTES
- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH MMCD, PLATINUM EDITION, AND THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS UNLESS OTHERWISE NOTED.
 - WHEN A CONFLICT BETWEEN THE SPECIFICATIONS ARISES, THE MOST STRINGENT SHALL APPLY.
 - OBTAIN A PERMIT TO CONSTRUCT WORKS ON A MUNICIPAL RIGHT OF WAY FROM THE CITY OF VICTORIA ENGINEERING DEPARTMENT TWO WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION.
 - OBTAIN A DEMO PERMIT PRIOR TO REMOVAL OF ANY NON-CONFORMING STRUCTURES.
 - CONTACT BC HYDRO, TELUS, SHAW CABLE AND FORTISBC GAS TWO WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - EXPOSE ALL EXISTING SERVICES AT CONNECTION AND CROSSING POINTS TWO WORKING DAYS PRIOR STARTING CONSTRUCTION ON ANY SUCH SERVICES. ENSURE ENGINEER HAS CONFIRMED THE HORIZONTAL AND VERTICAL LOCATION.
 - BED ALL PIPE USING CLASS "B" BEDDING.
 - WHERE A TRENCH IS UNDER OR WITHIN 1.0m OF THE EDGE OF A ROAD OR DRIVEWAY, USE PIT RUN GRAVEL BACKFILL FROM THE TOP OF THE PIPE BEDDING TO THE TOP OF THE ROAD, PARKING OR DRIVEWAY SUBGRADE.
 - DO NOT START ANY BACKFILL OPERATION UNTIL THE WORKS HAVE BEEN INSPECTED BY THE ENGINEER.
 - AFTER CONSTRUCTION, RESTORE WORK AREAS AND ALL EXISTING FEATURES TO THEIR ORIGINAL CONDITION OR BETTER.
 - MAINTAIN VEHICULAR AND PEDESTRIAN ACCESS ALONG RUSSELL STREET DURING CONSTRUCTION.
 - COMPACT TRENCH BACKFILL, ROAD BASE AND DRIVEWAY BASE TO 95% MODIFIED PROCTOR DENSITY.
 - ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET THE FINAL DESIGN GRADES.
 - ENSURE THAT ALL SERVICES TO THE EXISTING HOUSE REMAIN USABLE DURING CONSTRUCTION AND ARE CONNECTED TO ALL NEW SERVICES. ENSURE THESE SERVICES ARE INSPECTED BY THE CITY OF VICTORIA WORKS INSPECTOR.
 - CONSTRUCT SEWER, DRAIN, WATER AND ROADS WITHIN PRIVATE PROPERTY IN ACCORDANCE WITH THE BC PLUMBING CODE AND BC BUILDING CODE. CONSTRUCTION SHALL BE INSPECTED AND APPROVED BY THE CITY OF VICTORIA INSPECTORS.
- ### SEWER AND DRAIN
- SEWER AND DRAIN SERVICE CONNECTIONS TO BE 100mm PVC DR28 AT A MINIMUM GRADE OF 2.0% COMPLETE WITH INSPECTION CHAMBERS. CATCH BASIN LEADS TO BE 150mm PVC DR28 UNLESS OTHERWISE NOTED. IF COVER IS LESS THAN 750mm, USE DUCTILE IRON PIPE.
 - SEWER AND DRAIN PIPE UP TO AND INCLUDING 150mm DIAMETER TO BE PVC DR28 AND DR35 FOR 200mm DIAMETER AND OVER. PIPE TO BE C.S.A. APPROVED PVC.
 - THE CITY OF VICTORIA SHALL INSTALL 100mm SEWER AND 150mm DRAIN CONNECTIONS c/w INSPECTION CHAMBERS TO THE PROPERTY LINE OF THE LOT AT THE DEVELOPER'S EXPENSE.
 - THE CITY OF VICTORIA SHALL CAP AND REMOVE EXISTING SEWER AND DRAIN SERVICES AT THE DEVELOPER'S EXPENSE.
 - CONNECT ALL ENCOUNTERED DRAINS TO THE PROPOSED SERVICE CONNECTION. CONTRACTOR TO RECORD THE LOCATION, ELEVATION, PIPE MATERIAL AND SIZE FOR THE AS CONSTRUCTED DRAWINGS.
 - VIDEO INSPECT ALL INSTALLED SANITARY SEWER AND STORM DRAIN MAINS ON PUBLIC AND PRIVATE PROPERTY.
 - CITY OF VICTORIA FORCES SHALL CAP THE EXISTING CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
 - CITY OF VICTORIA FORCES SHALL SUPPLY AND INSTALL A 150mm CATCH BASIN LEAD AT THE DEVELOPER'S EXPENSE.
- ### WATER
- THE CITY OF VICTORIA SHALL INSTALL THE PROVISIONAL 50mm DOMESTIC WATER c/w METER AND 100mm FIRE CONNECTIONS TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE AS PER CITY STANDARD #SDW2h.
 - ENSURE A MINIMUM 300mm HORIZONTAL CLEARANCE AND A 150mm VERTICAL CLEARANCE FROM TELUS DUCTS AND GAS MAIN.
- ### ROAD
- CONSTRUCT ALL ROADWAYS AND CUL DE SACS IN ACCORDANCE WITH THE CITY OF VICTORIA STANDARD SPECIFICATIONS AND DRAWINGS ON THE TYPICAL SECTION AND DETAIL DRAWINGS.
 - CONTRACTOR TO ENSURE EXISTING MONUMENTS ARE NOT DISTURBED DURING CONSTRUCTION. ANY MONUMENTS IN DANGER OF DISTURBANCE ARE TO BE REFERENCED BY AND, IF DISTURBED, BE REPLACED BY A B.C.L.S. AT THE CONTRACTOR'S EXPENSE.
 - DRIVEWAY CROSSING AS PER CITY STANDARD SDG7c.
- ### HYDRO, TELEPHONE, CABLE, STREET LIGHTING AND GAS
- CONTACT "B.C. ONE CALL" AT 1-800-474-8888 A MINIMUM OF THREE WORKING DAYS PRIOR TO PROPOSED BUILDING TO BE SERVICED UNDERGROUND.
 - BC HYDRO, TELUS, SHAW CABLE AND FORTISBC FACILITIES ARE SHOWN SCHEMATICALLY ON THIS DRAWING. REFER TO UTILITY COMPANY DRAWINGS FOR CONSTRUCTION DETAILS.
 - CONSTRUCT UNDERGROUND HYDRO, TELEPHONE AND CABLEVISION AS SPECIFIED AND IN ACCORDANCE WITH BC HYDRO, TELUS AND SHAW CABLE STANDARD SPECIFICATIONS AND DRAWINGS.
 - IF GAS IS REQUIRED, THE DEVELOPER IS TO CONTACT FORTISBC AT 1-888-224-2710 A MINIMUM OF 90 DAYS PRIOR TO INSTALL FORTISBC SHALL INSTALL GAS SERVICE TO THE PROPERTY LINE.



LEGEND

	APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
	100mm THICK CONCRETE SIDEWALK 200mm THICK AT DRIVEWAY CROSSING
	PROPOSED ELEVATION
	PROPOSED GUTTER ELEVATION
	PROPOSED TOP OF CURB ELEVATION
	EXISTING GUTTER ELEVATION
	PROPOSED TREE

WORKS AND SERVICES CHECK TABLE

PLAN CHECKER	AUTHORIZED REPRESENTATIVE		DATE
	COMPANY NAME	SIGNATURE	
UTILITY	HYDRO ELECTRIC CO.	Mike Dunham - BC Hydro	Oct 19, 2018
	TELEPHONE CO.	Wei Feng	Nov 14, 2018
	GAS CO.	Arnold May	Nov 15, 2018
	CABLE CO.	Arnold May	Nov 15, 2018
MUNICIPAL	FIBRE OPTIC CO.		
	UNDERGROUND UTILITIES		
	TRANSPORTATION DESIGN & INFRASTRUCTURE		
LAND DEVELOPMENT			

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND

WATER	W	GAS	G	EXISTING U/G UTL.	MANHOLE	HYDRANT	MONUMENT
SEWER	S	CURB	C	PROPOSED U/G UTL.	CLEANOUT	VALVE	LOT PIN
DRAIN	D	SIDEWALK	S/W	LIGHT STANDARD	CATCHBASIN	METER	LEAD PLUG
DITCH	D	EDGE PAVE.	E/P	POWER POLE	ROAD SIGN	REDUCER	
CULVERT	C	BUSHLINE	B/L	ANCHOR			
HEADWALL	H	TREE	T				

REVISIONS

NO.	DESCRIPTION	DATE	SIGN.
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25.07.07	PC
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN	24.05.03	PC
8	REISSUED FOR BUILDING PERMIT	24.02.26	PC
7	REVISED WATER SERVICE	23.04.03	PC
6	REVISED WATER SERVICE LOCATION	23.03.27	PC

DESIGNED BC/WR
DRAWN WR/IY
CHECKED
DATE JANUARY 2021
B.M. OCM 18-20
ELEV. 13.382
SCALE Horiz. 1:200
Vert. 1:20

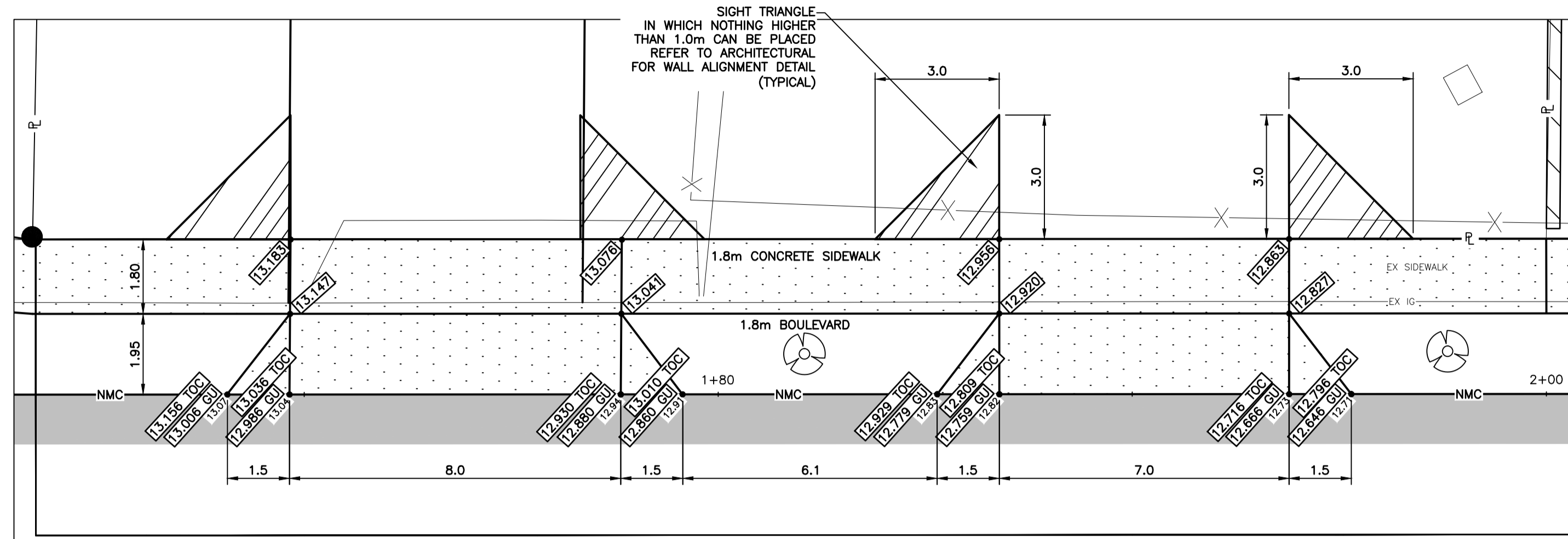
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

WESTBROOK Consulting Ltd.

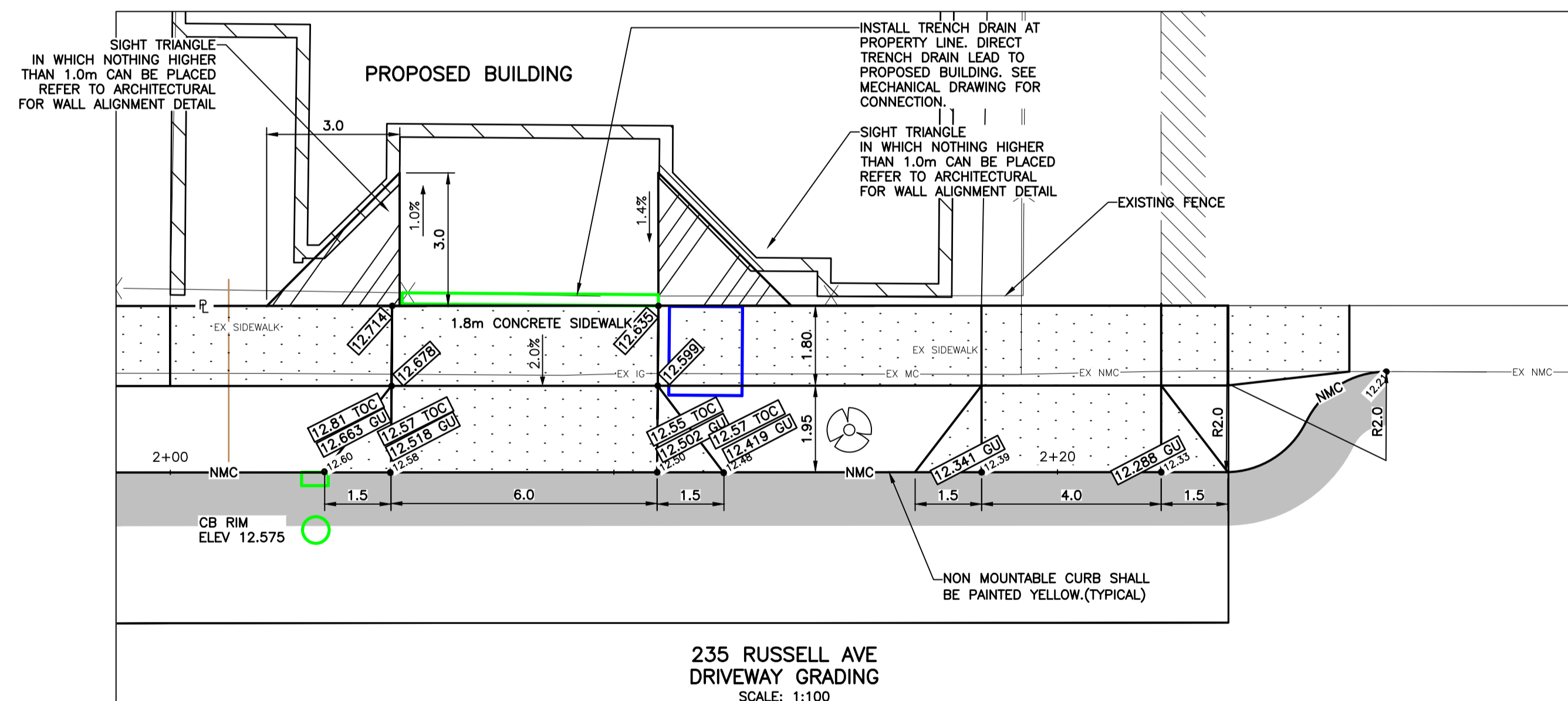
PROJECT
235 RUSSELL STREET
SAKURA PROJECT MANAGEMENT

SITE SERVICING PLAN

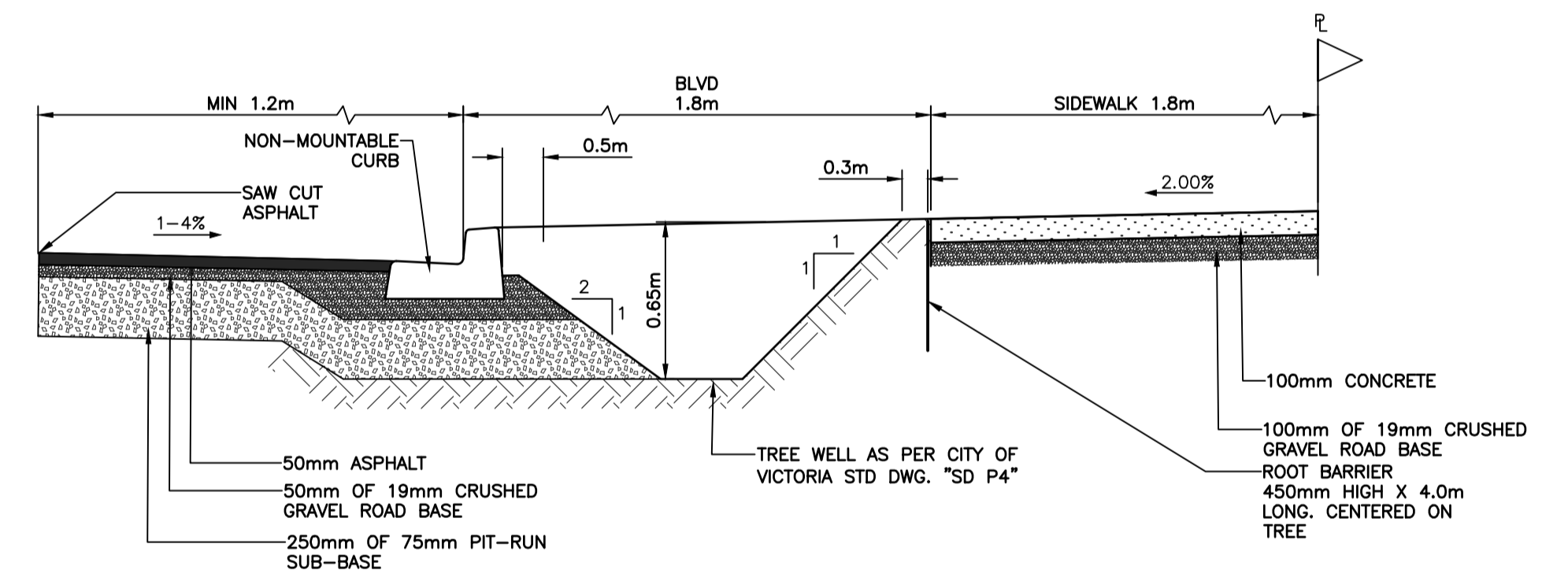
WESTBROOK PROJECT No. 3340
GOVERNING AUTHORITY FILE No.
SHEET 1 OF 2
REV. 10
WESTBROOK DRAWING No. 334001



247 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100

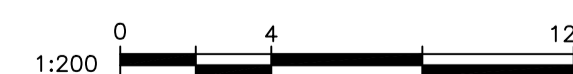


235 RUSSELL AVE
DRIVEWAY GRADING
SCALE: 1:100



RUSSELL ST
TYPICAL ROAD SECTION
NTS

LEGEND	
	APPROXIMATE EXTENT OF ASPHALT PAVING FOR CURB REPLACEMENT
	100mm THICK CONCRETE SIDEWALK 200mm THICK AT DRIVEWAY CROSSINGS
• XX.XX	PROPOSED ELEVATION
• XX.XX GU	PROPOSED GUTTER ELEVATION
• XX.XX TOC	PROPOSED TOP OF CURB ELEVATION
• XX.XX	EXISTING GUTTER ELEVATION
	PROPOSED TREE



WESTBROOK CONSULTING LTD. - 2025-07-29 10:59AM H:\PROJECTS\3340 235 Russell St\Drawings\334002.dwg

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND SERVICES ON THIS DRAWING MAY NOT BE ACCURATE OR COMPLETE. THE ACTUAL HORIZONTAL AND VERTICAL LOCATIONS MUST BE CONFIRMED BY UTILITY COMPANIES AND THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATIONS

LEGEND			
WATER	W	GAS	G
SEWER	S	CURB	C
DRAIN	D	SIDEWALK	S/W
DITCH	D	EDGE PAVE.	
CULVERT	C	BUSHLINE	
HEADWALL	H	TREE	
EXISTING U/G UTL.		PROPOSED U/G UTL.	
LIGHT STANDARD		POWER POLE	
ANCHOR			
MANHOLE		CLEANOUT	
HYDRANT		METER	
REDUCER			
MONUMENT		LOT PIN	
LEAD PLUG			

REVISIONS			
10	REVISE GUTTER ALIGNMENT AND ELEVATION	25.07.07	PC
9	REVISE BUILDING ELEVATION ADD TRENCH DRAIN	24.05.03	PC
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7	REVISED WATER SERVICE	23.04.03	PC
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No.	DESCRIPTION	DATE	SIGN

WESTBROOK Consulting Ltd.
#115 - 866 Goldstream Ave., Victoria, BC V9B 0J3
Telephone: 250-391-8592 Facsimile: 250-391-8593

PROJECT		WESTBROOK PROJECT No.	
247 RUSSELL STREET SAKURA PROJECT MANAGEMENT		3340	
OFFSITE SIDEWALK PLAN		GOVERNING AUTHORITY FILE No.	
SHEET	OF	REV.	
2	2	10	
WESTBROOK DRAWING No.		3340-02	