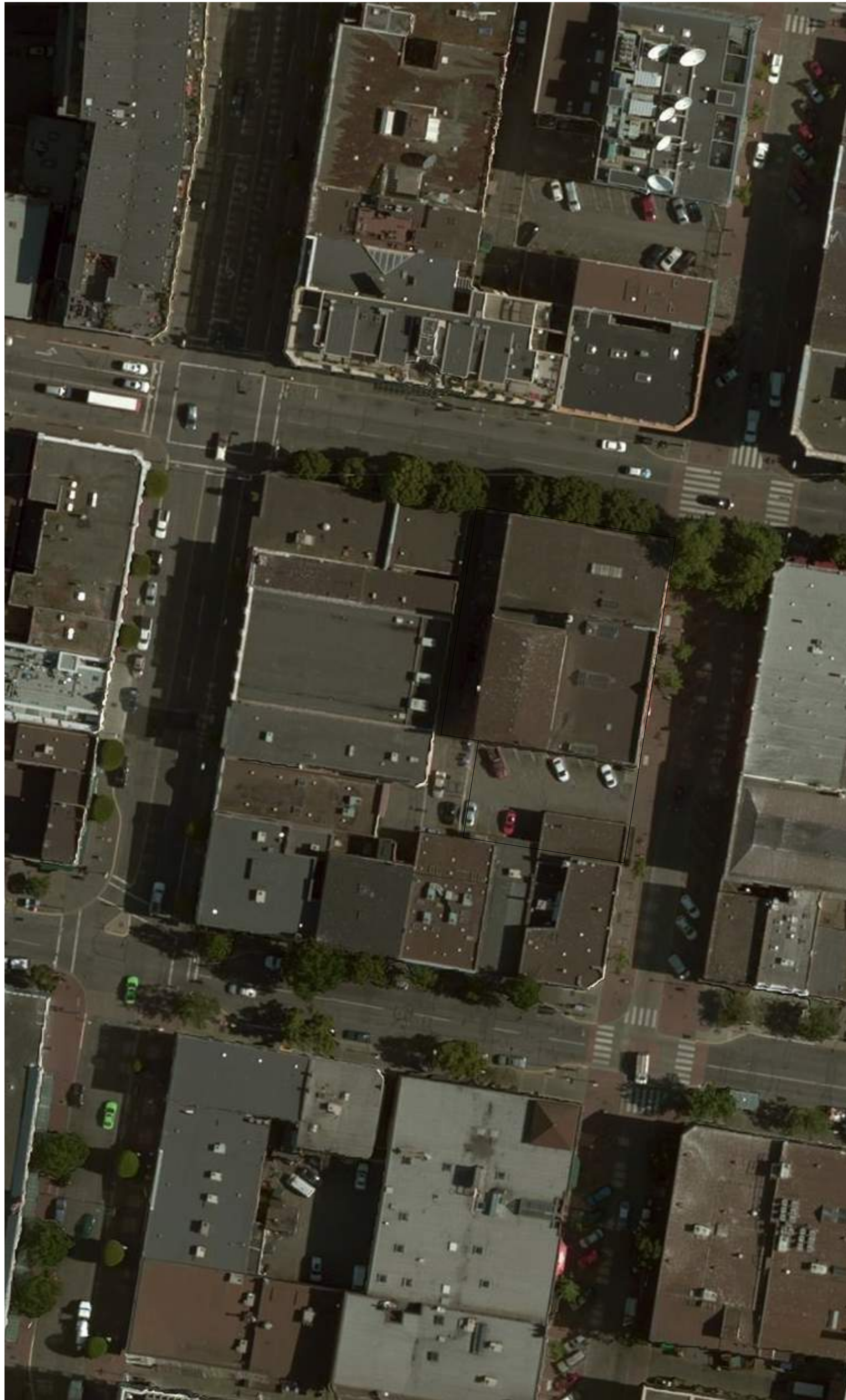
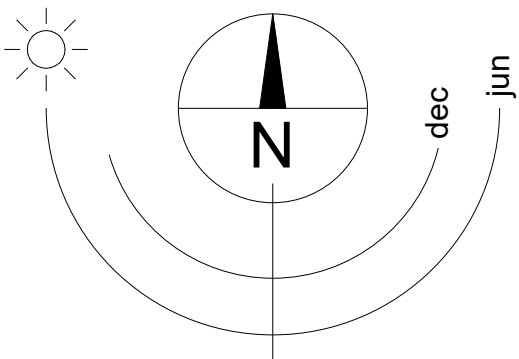




1 Context Aerial
A001 SCALE: N.T.S.



2 Context Survey Plan
A001 SCALE: N.T.S.



PROJECT DESCRIPTION

CIVIC ADDRESS:
1312-1324 BROAD STREET, VICTORIA, BC.

LEGAL DESCRIPTION:
LOT A OF PLAN 3564, LOT 1 AND LOT 2 OF PLAN 5500, AND
REM. LOT 160A ABD REM. LOT 160A.
VICTORIA DISTRICT

REGISTERED OWNER
University of Victoria
3800 Finnerty Rd
P.O. Box 3040 STN. SCC
Victoria, BC
V8W 3N7

DEVELOPER
CHARD DEVELOPMENT LTD
#500, 509 Richards Street
Victoria, BC
V6B 2Z6

ARCHITECT
de Hoog & Kierulf architects
977 Fort Street
Victoria, BC
V8V 3K3

STRUCTURAL CONSULTANT
RJC
220 - 645 Tye Road
Victoria, BC
V9A 6X5

MECHANICAL CONSULTANT
AME Consulting Group
721 Johnson St.
Victoria, BC
V8W 1M8

ELECTRICAL CONSULTANT
Applied Engineering Solutions Ltd.
3rd Floor - 1815 Blanshard Street
Victoria, BC
V8T 5A4

LANDSCAPE ARCHITECT
Murdoch de Greeff Inc.
200-524 Cudthel Rd.
Victoria, BC
V8Z 1G1

CIVIL CONSULTANT
JE Anderson
4212 Glanford Ave.
Victoria, BC
V8Z 4B7

GEOTECHNICAL
Ryzuk Geotechnical
28 Crease Avenue
Victoria, BC
V8Z 1S3

SURVEYOR
Explorer Land Survey Inc.
101 - 2610 Douglas St.
Victoria, BC
V8T 4M1

ENVELOPE
RJC
220 - 645 Tye Road
Victoria, BC
V9A 6X5

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chris@charddevelopment.com

Charles Kierulf AIBC
tel: 250.658-3367
fax: 250.658-3397
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Clint Plett
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Isabelle Maltais
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isabelle@ryzuk.com

Kenneth Ng
tel: 250
fax: 250
kennet@explorersurvey.com

Kevin Pickwick
tel: 250.386-7794
fax: 250.381-7900
kpickwick@rjc.ca

VICTORIA ZONING

BUILDING DESCRIPTION:
6 STOREY HOTEL BUILDING

USES: RESIDENTIAL OCCUPANCY (HOTEL)

EXISTING ZONE: OTD-1 (2018)

PROPOSED ZONE: SITE SPECIFIC

DEVELOPMENT PERMIT AREA: DPA1 (HC) HISTORIC CORE

Broad Street Redevelopment

	Site 1
Civic Address	1312-1324 Broad St, Victoria, BC.
Legal Address	Rem Lot 159A + Rem Lot 160A + Lot 2 Plan VIP5500 + Part Part Lot A Plan VIP3564
Final Site Area (sm)	1,889
Final Gross Floor Area (sm)	7,462
Final FAR	3.95
Duck's Building Current Floor Area	2346
Duck's Building Retained Floor Area	2346
Total Floor Area (@ ground)	1361
Commercial Floor Area	670
Building Area Over City Property	
Site Coverage	90%
Open Site Space	10%
Average Grade	16.30
Height of Building	18.81
Roof Top Structures	1.68 from top of roof / 10.7 min from PL / 6.7 from roof edge / 5% Total Coverage
Number of Storeys	6
Parking Stalls on Site (Req'd)(Provided)	(34)(16)
Bicycle Parking Long Term (Req'd)(Provided)	(26)(26)
Bicycle Parking Short Term (Req'd)(Provided)	(0)(10)
Building Setbacks	
Front Yard	0 M
Rear Yard	0 M
Side Yard	0 M
Side Yard	0 M
Combined Side Yard	0 M
Residential Use Details	
Total Number of Units	135
Unit Type	Hotel
Ground-Orientated Units	0
Min Unit Floor Area	21
Total Residential Floor Area	4416

Revisions

Received Date:
February 20, 2020
Deemed Date:
February 5, 2020

Final

Approved Plans

Adopted Date:
September 23, 2021

LIST OF DRAWINGS

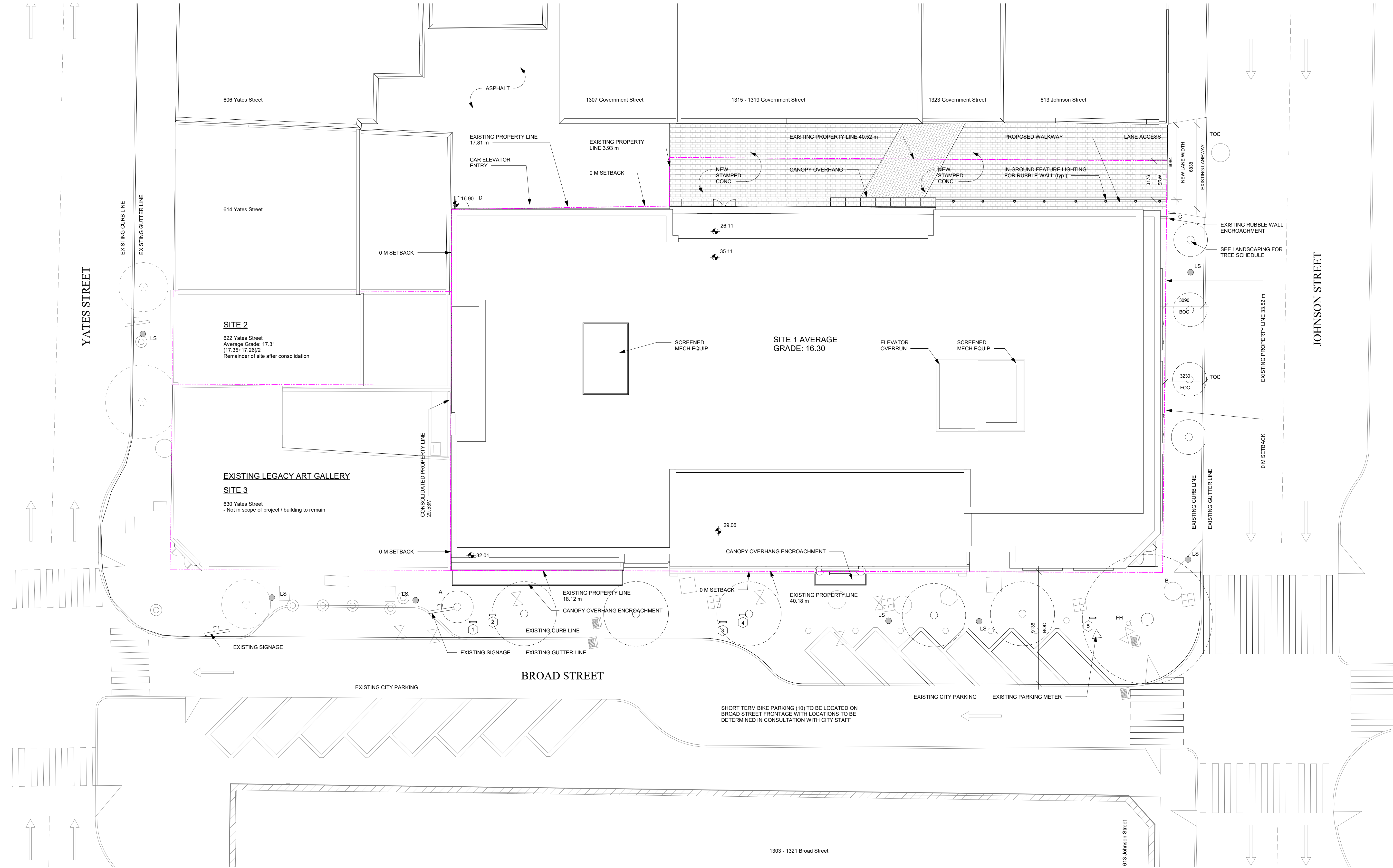
A001	Project Data	A401	Building Sections E-W
A100	Site Survey	A501	Site Context
A101	Site Plan	A502	Site Context
A202	P1 Parking Plan	A503	Shadow Studies
A203	Level 1	A504	Urban Context
A204	Level 2	A505	Urban Context
A205	Level 2A	A506	Perspective Studies
A206	Level 3	A507	Perspective Studies
A207	Level 4	A508	Perspective Studies
A208	Level 5	A510	Stone Wall
A209	Level 6		
A210	Roof Plan		
A301	North Elevation		
A302	South Elevation		
A303	East Elevation		
A304	West Elevations		

Rev	Date	Description	Revision
6	Feb-20-20	Revision 6	
5	Feb-04-20	Revision 5	
3	Nov-01-19	Revision 3	
2	Oct-08-19	Revision 2	

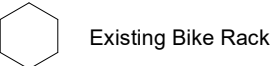
NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367	NANAIMO OFFICE 102-5180 Dublin Way Nanaimo BC V9T 2K3 T 1-250-585-5810
project name The Duck's Building 1312-1324 Broad Street Victoria, BC V8W 3N7	
Project Data	
drawing no. A001	revision no. 6

A100



Site Notes:



Average Grade					
The Duck's Building Redevelopment					
Point	Point Value	Grade Points	Average of Points	Distance	
A	17.33	A+B	16.60	57.70	957.53
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	16.01	57.70	923.78
D	16.90	D+A	17.12	29.30	501.47
Average Grade	16.30			Perimeter	Sum
				174.00	2836.64

Existing Duck's Building					
Point	Point Value	Grade Points	Average of Points	Distance	
A	17.02	A+B	16.44	40.31	662.70
B	15.86	B+C	15.49	29.30	453.86
C	15.12	C+D	15.74	40.31	634.48
D	16.36	D+A	16.69	29.30	489.02
Average Grade	16.09			Perimeter	Sum
				139.22	2240.05

Rev	S	Date	Issue Date	Description	Revision
5		Feb-04-20			Revision 5
3		Nov-01-19			Revision 3
2		Oct-08-19			Revision 2
1		Sept-05-19			Revision 1

drawn by	SW	checked by	CRK
scale	As indicated	project number	1721

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3367

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102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

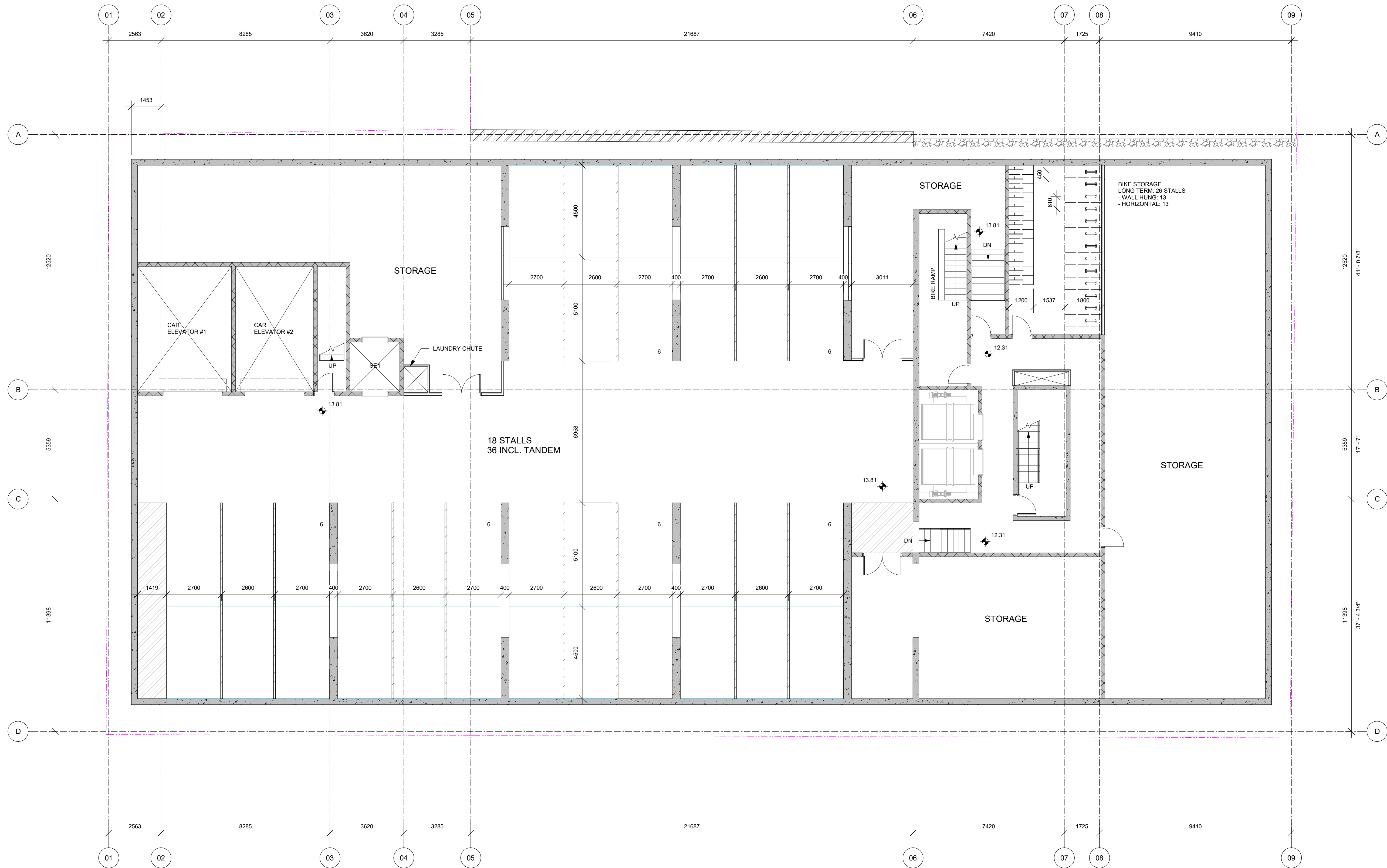
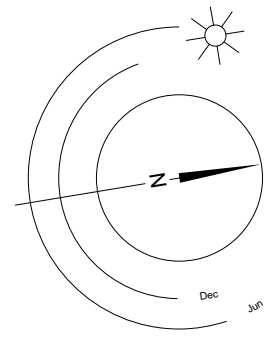
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 2E1

Site Plan

drawing no.
A101

revision no.
5

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1 Parkade Lv 1 - Overall
A202 SCALE: 1 : 100

6	Feb-20-20	Revision 6			
5	Feb-04-20	Revision 5			
4	Jan-08-20	Revision 4			
3	Nov-01-19	Revision 3			
2	Oct-08-19	Revision 2			
Rev	6	Date	Feb-20-20	Description	Revision 6
plot date	Issue Date		drawing file		
drawn by	Author		checked by	Checker	
scale	1 : 100		project number		1721

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3367

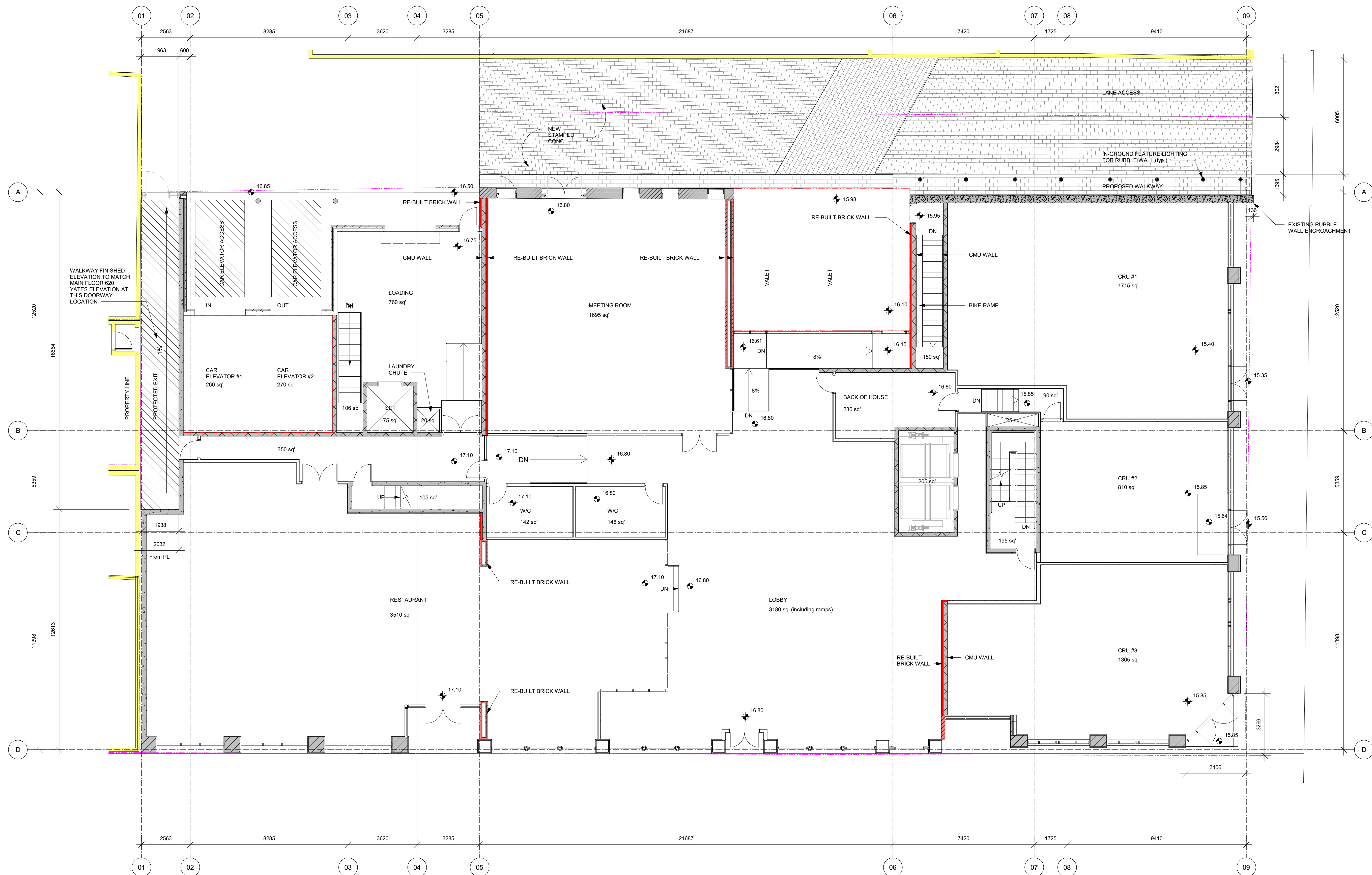
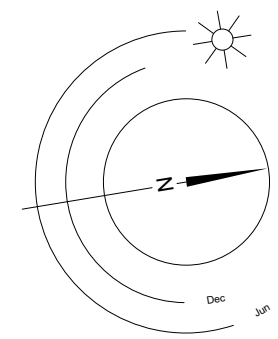
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing
P1 Parking Plan

revision no.
A202

sheet no.
6



NOTE:
RE-BUILT BRICK WALL

1 Level 1 - Overall
A203 SCALE: 1 : 100

Rev	Date	Description	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Nov-01-19	Revision 3	
2	Oct-08-19	Revision 2	
Rev	5	Date	Feb-04-20
Issue Date	Issued By	Author	Checked By
As Indicated	As Indicated	As Indicated	As Indicated
Scale	As Indicated	Project Number	1721

NOTE: All dimensions are shown in millimeters.

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102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 2R1

revision
Level 1

author
A203

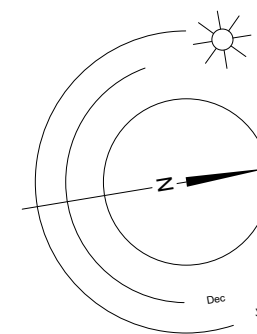
revision
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drawn by
A203

checked by
A203

revision no.
5



1 Level 2 - Overall
A204 SCALE: 1 : 100

Rev	Date	Issue Date	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Oct-08-19	Revision 3	
2		Revision 2	
1		Revision 1	
0		Revision 0	
Rev	Date	Issue Date	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Oct-08-19	Revision 3	
2		Revision 2	
1		Revision 1	
0		Revision 0	
Rev	Date	Issue Date	Revision
5	Feb-04-20	Revision 5	
4	Jan-08-20	Revision 4	
3	Oct-08-19	Revision 3	
2		Revision 2	
1		Revision 1	
0		Revision 0	

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
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NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 2

author
A204

checker
5



NOTE: All dimensions are shown in millimeters.

	dHKAarchitects	
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T: +1-250-658-3887	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K1 T: +1-250-885-5810	
project name The Duck's Building 1312-1324 Broad Street Victoria, BC ⁸_{V8P 1R1}		



NOTE: All dimensions are shown in millimeters.



NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-688-3387

NANAIMO OFFICE
102-5190 Dublin Way
Nanaimo BC V8T 2K8
T 1-250-685-0812

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC **UPPER**

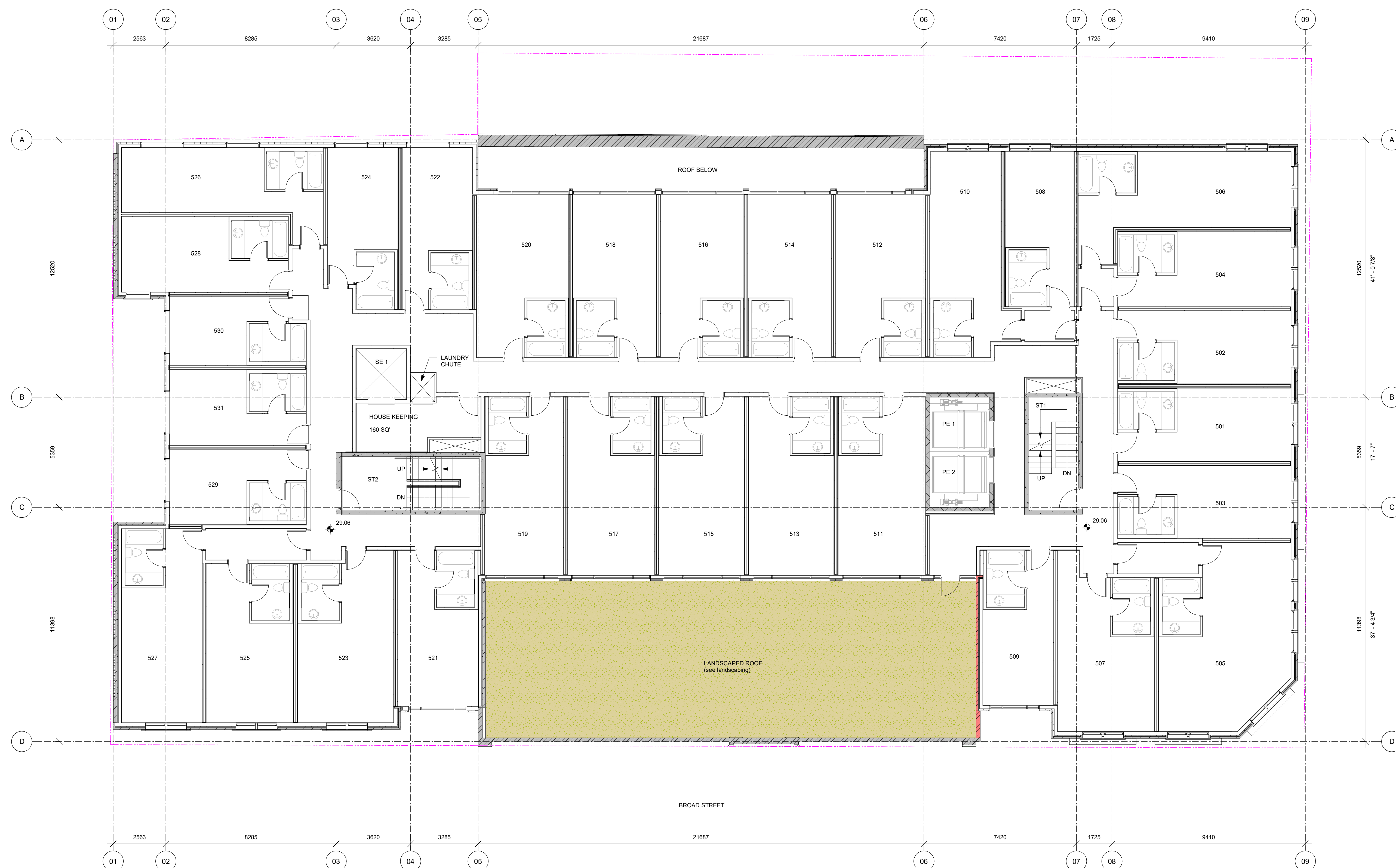
drawing title

Level 4

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drawing no. **A207**

revision no. **5**



NOTE: All dimensions are shown in millimeters



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 Victoria B.C. V8V 3K3
 T 1-250-558-3367

NANAIMO OFFICE
 102-5100 Dublin Way
 Nanaimo B.C. V9T 3K5
 T 1-250-585-5810

project name

The Duck's Building
 1312-1324 Broad Street
 Victoria, B.C.

drawing title

Level 5

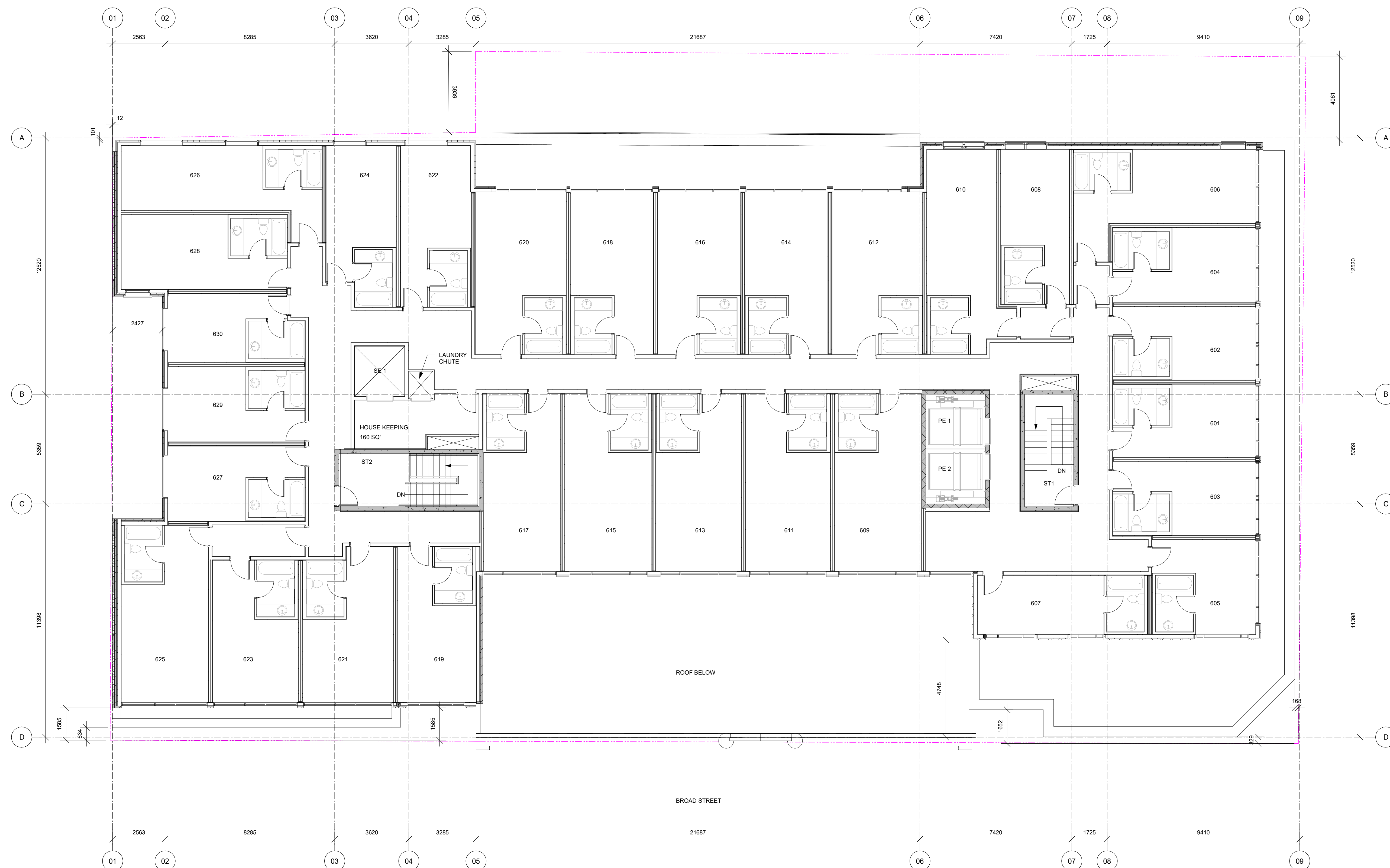
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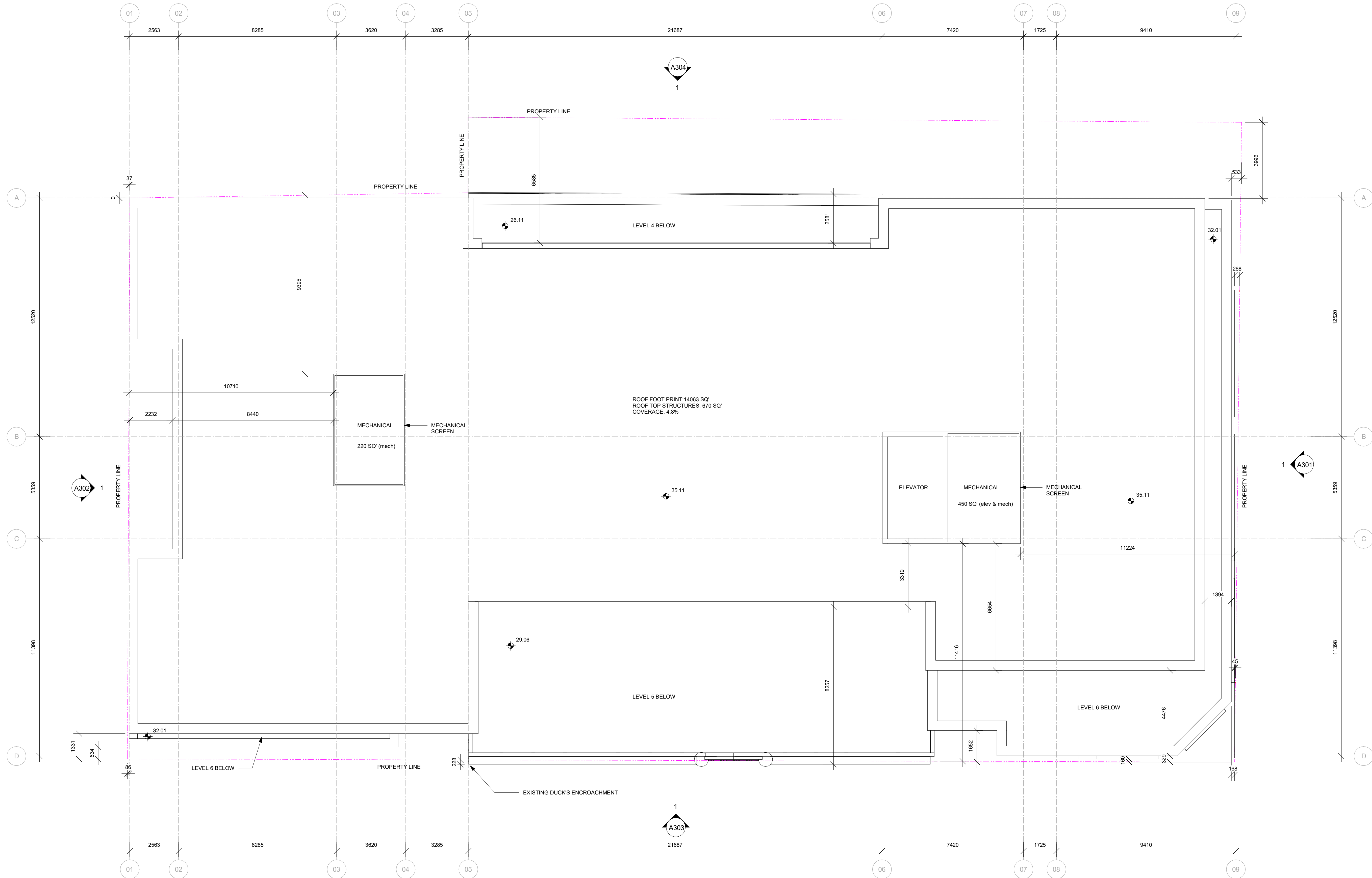
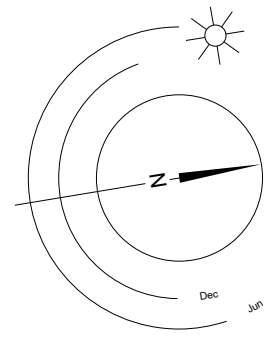
drawing no.

A208

revision no.

5





1 T.o.Roof - Overall
A210 SCALE: 1 : 100

Rev	Date	Issue Date	Description	Revision
6	Feb-20-20	Revision 6		
5	Feb-04-20	Revision 5		
4	Jan-08-20	Revision 4		
3	Nov-01-19	Revision 3		

NOTE: All dimensions are shown in millimeters.

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T 1-250-658-3367

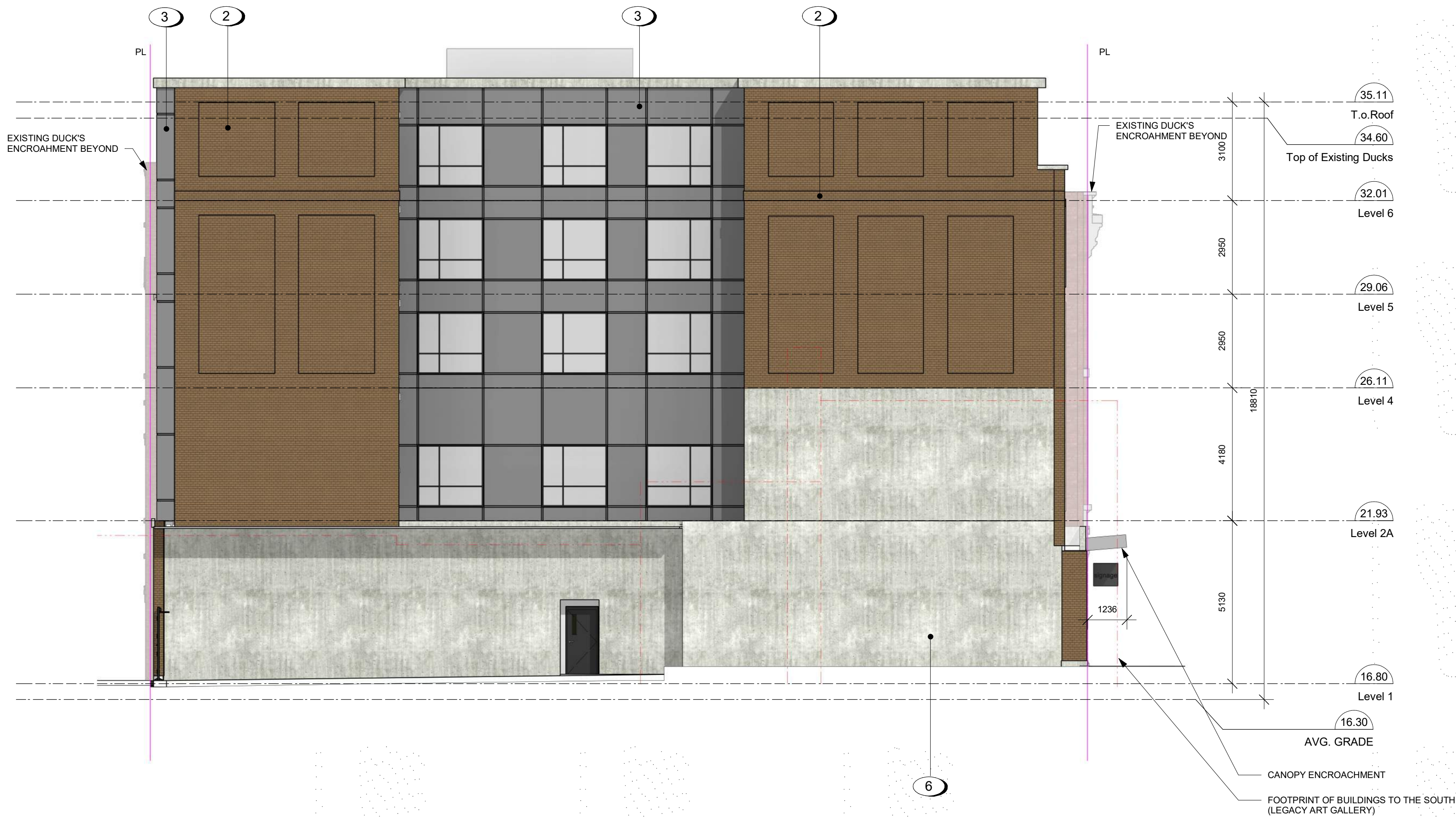
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

Roof Plan

sheet no.
A210

revision no.
6



1 South Elevation
A302 SCALE: 1 : 100

Material Schedule South

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

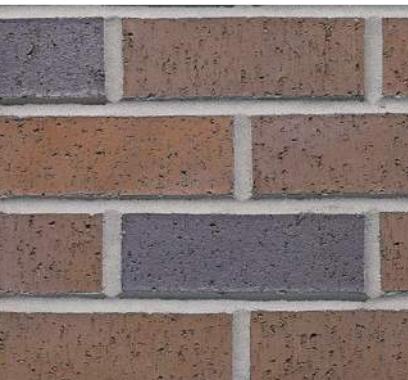
- 2 BRICK MASONRY VENEER CLADDING - WHEAT



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			
4		Jan-08-20	Revision 4			
3		Nov-01-19	Revision 3			
Rev	S	Date	Feb-04-20	Author	Checked by	Project Number
Issue Date	Author	Checked by	Project Number	1721		

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Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 2K3

drawing title
South Elevation

drawing no.
A302

revision no.
5

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1 East Elevation
A303 / SCALE: 1 : 100

CONSERVATION STRATEGY

- BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)
- EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)
- EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)
- IRON COLUMNS TO BE RETAINED (typ.)
- ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)
- PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)
- RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)
- NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)
- STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule East

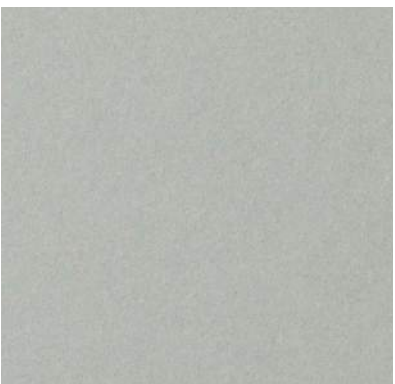
- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

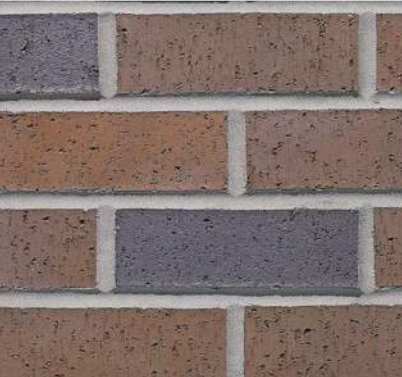
- 2 BRICK MASONRY VENEER CLADDING - GOLDEN ROD



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	5	4	3
Date	Feb-04-20	Jan-08-20	Nov-01-19
Revision	Revision 5	Revision 4	Revision 3
Rev	5	4	3
Date	Feb-04-20	Jan-08-20	Nov-01-19
Revision	Revision 5	Revision 4	Revision 3
Rev	5	4	3
Date	Feb-04-20	Jan-08-20	Nov-01-19
Revision	Revision 5	Revision 4	Revision 3
Rev	5	4	3
Date	Feb-04-20	Jan-08-20	Nov-01-19
Revision	Revision 5	Revision 4	Revision 3

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing title
East Elevation

drawing no.
A303

revision no.
5

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1 West Elevation
A304 / SCALE: 1 : 100

CONSERVATION STRATEGY

BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)

EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)

EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)

IRON COLUMNS TO BE RETAINED (typ.)

ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)

PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)

RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)

NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)

STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

- 1 Brick Masonry Veneer Cladding - Forest Blend
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Canopy - Steel & Glass
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door
- 14 Hollow Metal Door

BRICK AND TILE COLOUR

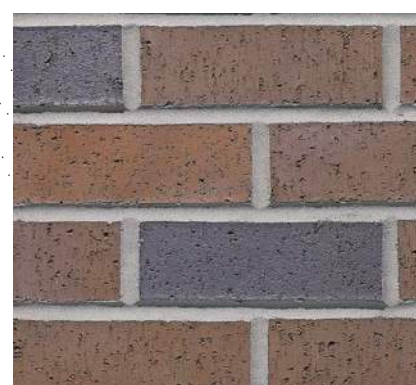
- 2 BRICK MASONRY VENEER CLADDING - WHEAT



- 3 METAL PANEL - LT GREY



- 1 BRICK MASONRY VENEER CLADDING - FOREST BLEND



- 4 METAL PANEL - DK GREY



Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			
3		Nov-01-19	Revision 3			
2		Oct-08-19	Revision 2			
Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			1721

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

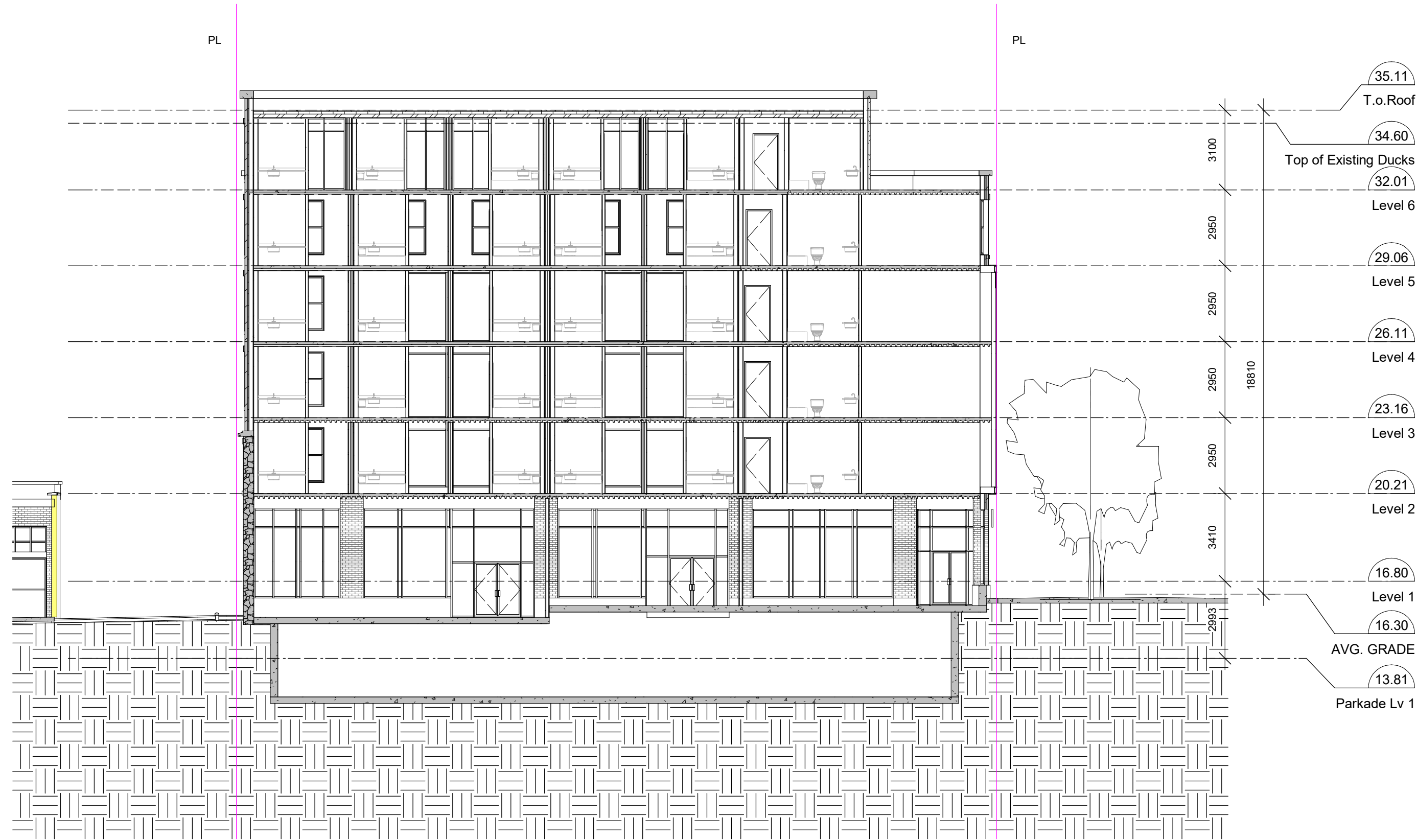
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision no.
A304

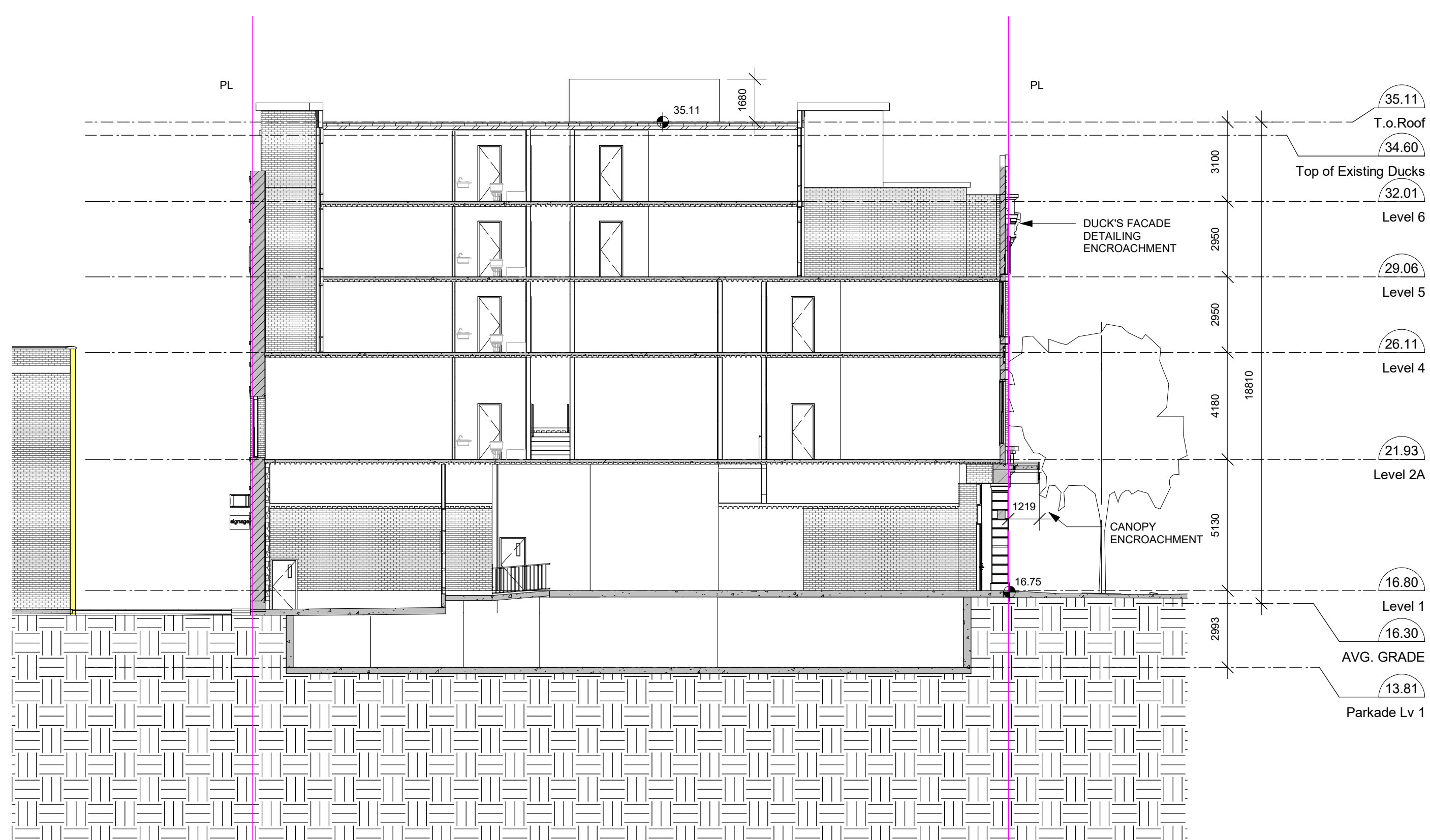
revision no.
5

West Elevations

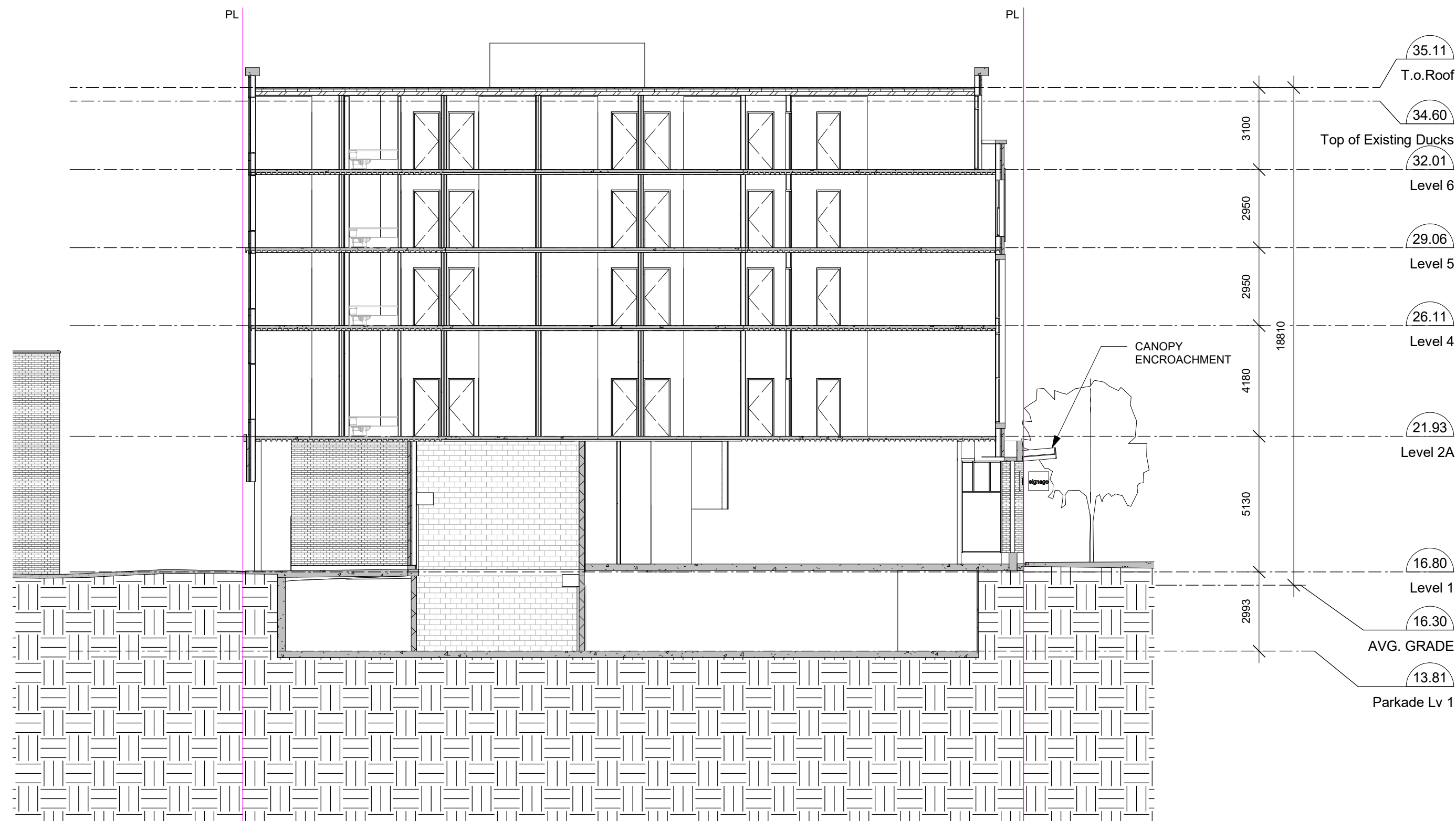
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1 Section E-W North
A401 SCALE: 1 : 150



2 Section E-W Ducks
A401 SCALE: 1 : 150



3 Section E-W South
A401 SCALE: 1 : 150

Rev	S	Date	Issue Date	Author	Checked by	Project Number
5		Feb-04-20	Revision 5			
4		Jan-08-20	Revision 4			
3		Feb-04-20	Revision 3			
2		Feb-04-20	Revision 2			
1		Feb-04-20	Revision 1			

NOTE: All dimensions are shown in millimeters.

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Victoria BC V8V 3K3
T 1-250-658-3367

NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

Building Sections E-W

A401

5

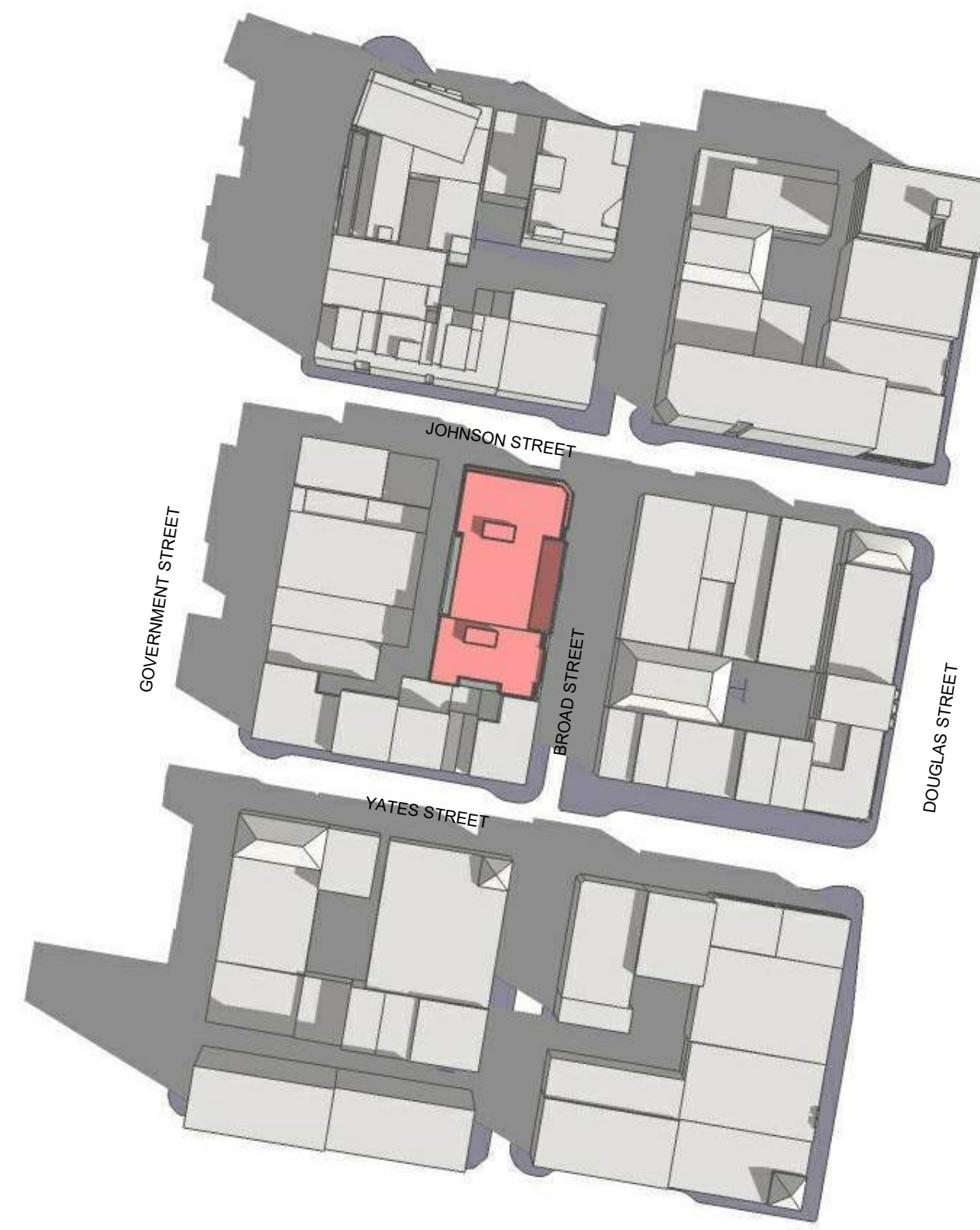


AUDIO VIDEO REPLAY
620 JOHNSON STREET

605 - 613 JOHNSON STREET

605 - 613 JOHNSON STREET

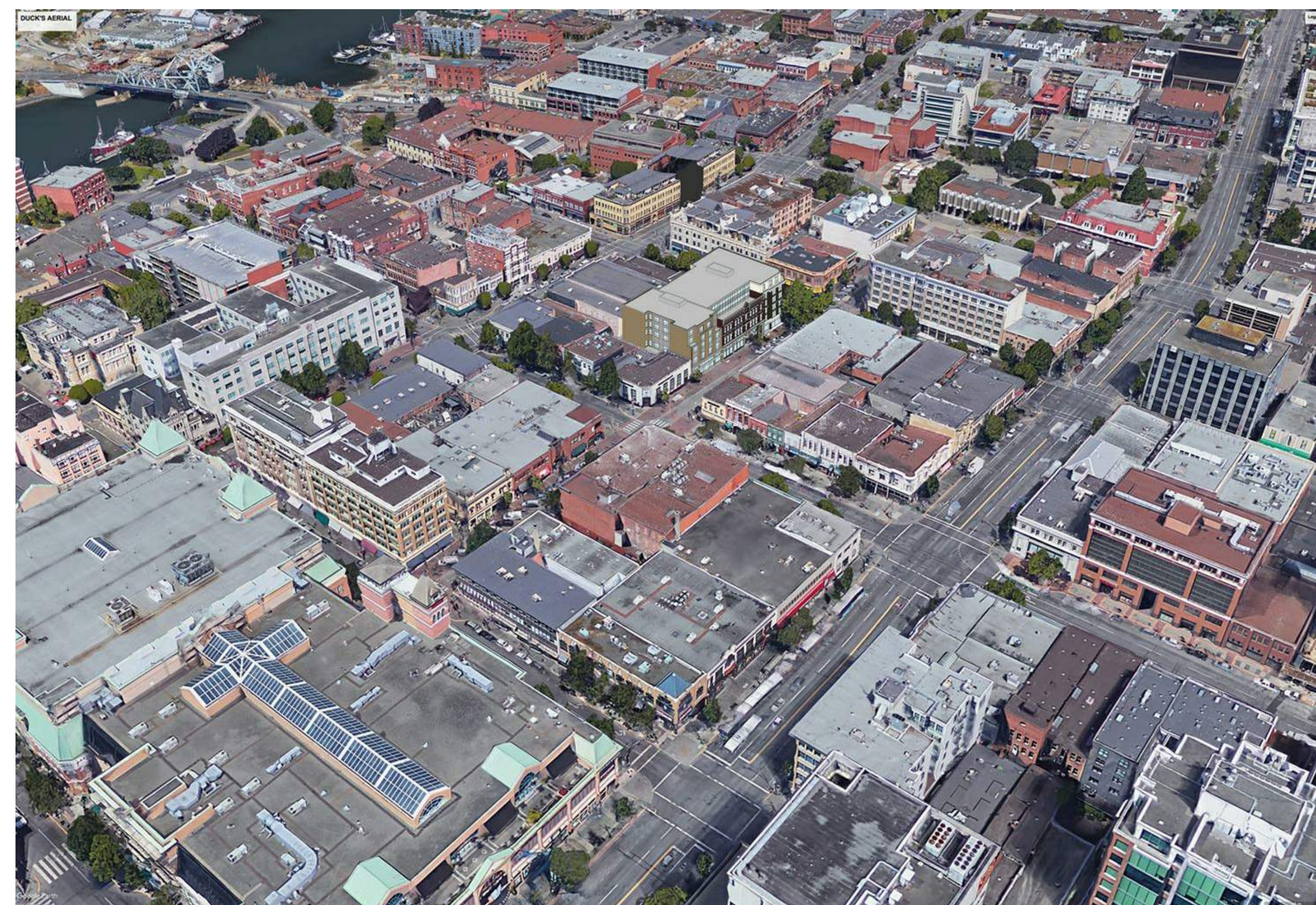




Equinox 9am

Equinox Noon

Equinox 3pm



Rev.	Date	Description

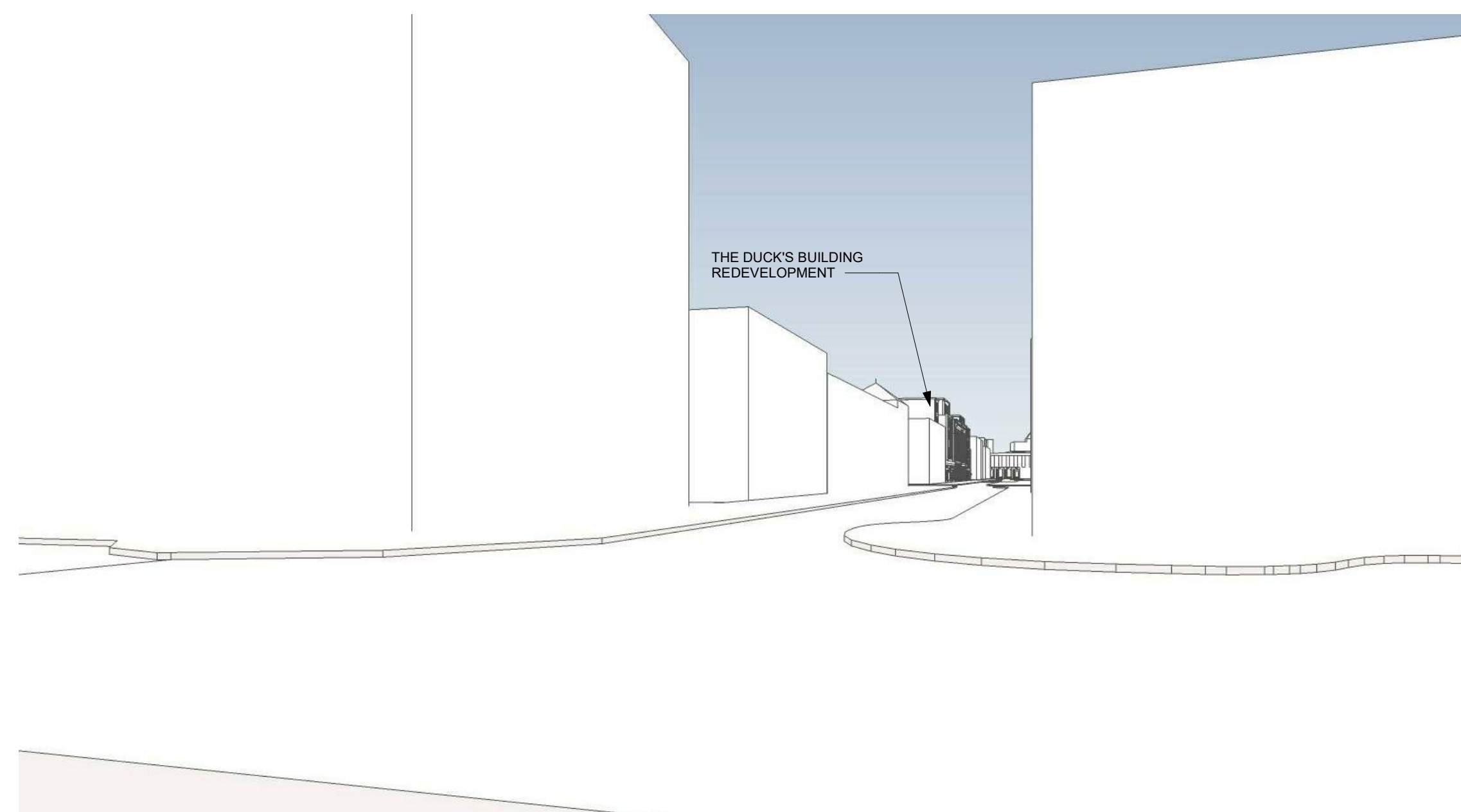
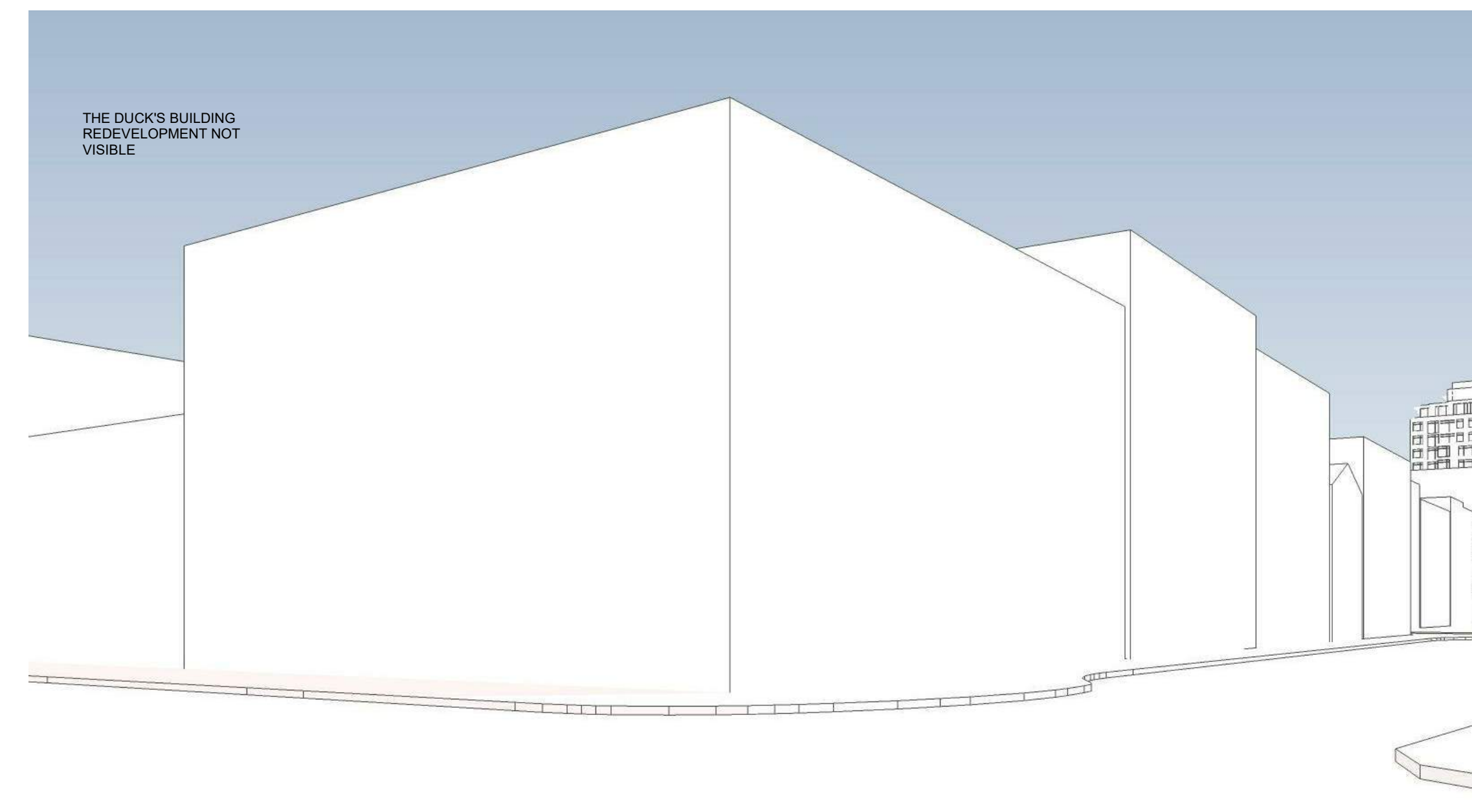
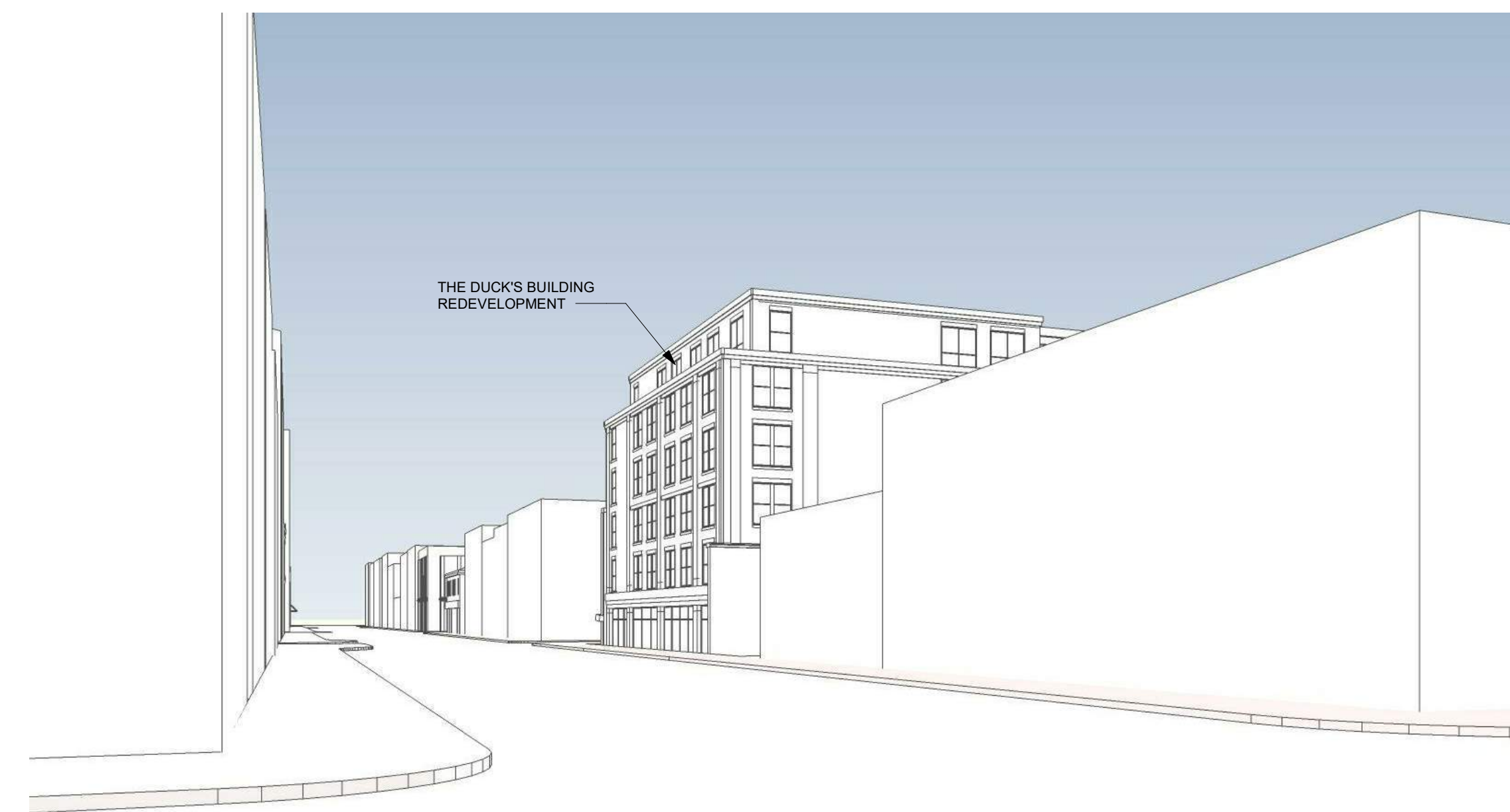
plot date	Issue Date	drawing file
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drawn by	Author	checked by	Checker
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scale	As indicated	project number	1721
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NOTE: All dimensions are shown in millimeters.

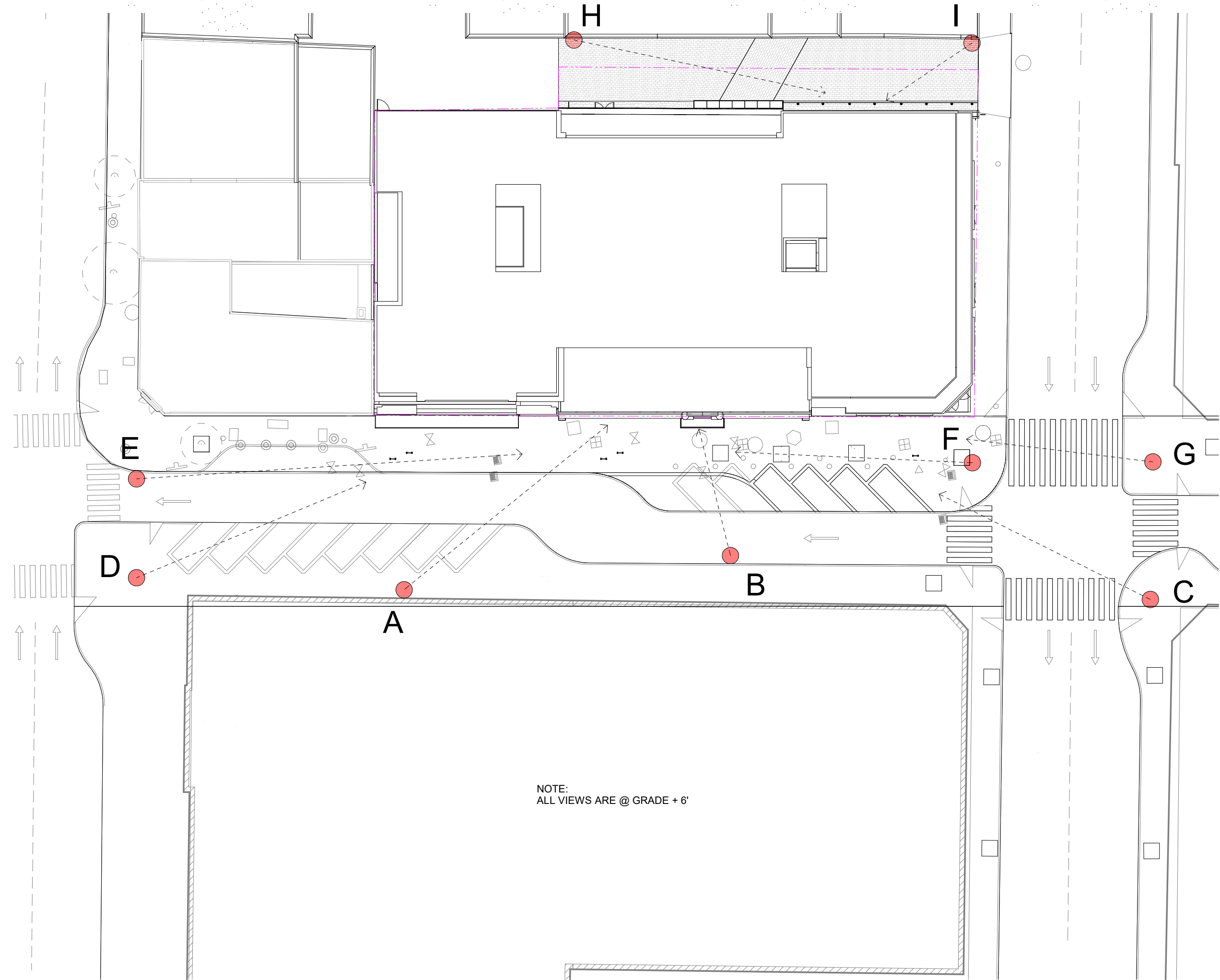
NOTE: All dimensions are shown in millimeters.



Rev	Date	Description
plot date	Issue Date	drawing file
drawn by	Author	checked by
scale	1 : 1	project number

NOTE: All dimensions are shown in millimeters.





1 Key Plan Sheet View Images
A506 SCALE: 1 : 350



3 Broad Street - South Building & Ducks
A506 B



2 Yates to Johnson East
A506 A



4 Broad & Johnson
A506 C

Rev	4	1	Date	Jan-08-20	Sept-05-19	Issue Date	Author	Checked by	Checker
Rev	4	1	Date	Jan-08-20	Sept-05-19	Issue Date	Author	Checked by	Checker
Scale	1:350	1:350	Scale	1:350	1:350	Scale	1:350	1:350	1:350

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T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision no.
A506

revision no.
4

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1 Yates & Broad A
A507
D



2 Yates & Broad B
A507
E



3 Broad & Johnson A
A507
F



4 Broad & Johnson B
A507
G



5 Laneway to Johnson
A507
H



6 Laneway Stonewall
A507
I

Rev	Date	Author	Checked by	Project Number
4	Jan-08-20	Issue Date	Working File	
2	Oct-08-19	Author	Checker	1721

NOTE: All dimensions are shown in millimeters.

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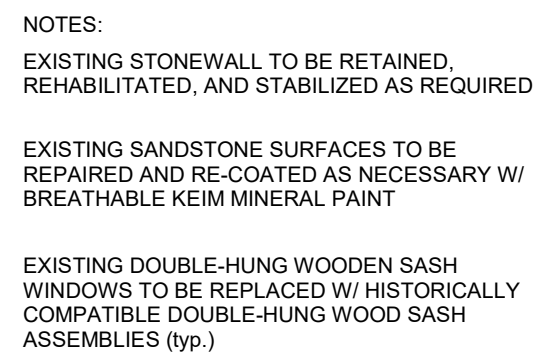
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

Perspective Studies

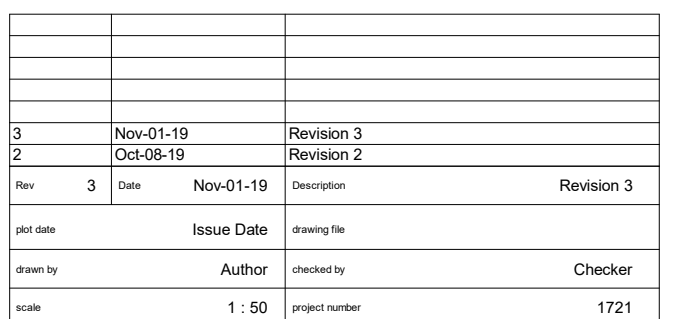
sheet no.
A507

revision no.
4

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CONSENT



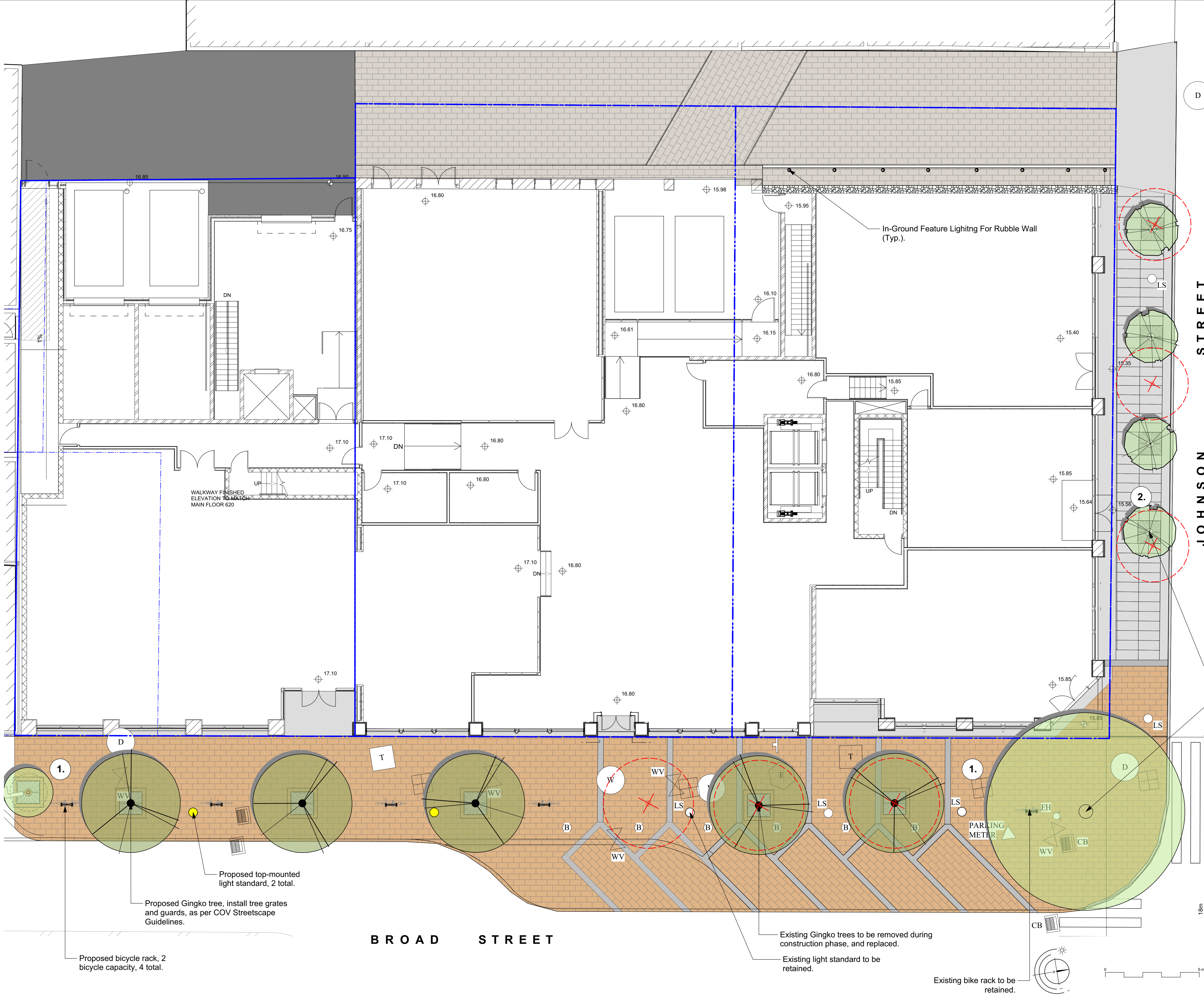
2 Stone Wall - Elevation
A510 SCALE: 1 : 50



NOTE: All dimensions are shown in millimeters.



3 Stone Wall - Section
A510 SCALE: 1 : 50



LEGEND

Property line

LANDSCAPE MATERIALS

- Broad Street Paving, to match existing paving on Broad Street (retained and reinstated as necessary on street frontage)
- Broad Street building entrances - Cast in Place Concrete Paving
- Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Pavers, as per COV Streetscape Guidelines.
- Stamped Concrete - Final pattern and colour to be approved by City of Victoria before installation
- Vehicular Paving in Services areas of Laneway - Asphalt Paving
- Bicycle rack, 2 bicycle capacity, to meet City of Victoria standards. 4 total.
- Top mounted light standard, to match existing Broad Street fixtures. 2 total.

- Existing Tree to be Retained
- Existing Tree to be Removed

LANDSCAPE ELEMENTS

- Broad Street Landscape. Existing Pin Oak to be retained, 5 - Ginkgo trees to be removed and 5 - Ginkgo trees to be replanted, install 2 - new top-mounted light standards, and 4 - new bike racks. All streetlighting and site furnishings to match existing, and meet City of Victoria Streetscape Guidelines.
- Johnson Street. Old Town Paving - Cast in Place Concrete with Fine Broom finish, Tooled Joints and Basalt Banding, as per City of Victoria Streetscape Guidelines. Existing trees to be removed and replaced. Species to be confirmed, in consultation with City of Victoria Parks department.

Proposed Columnar Beech tree, install tree grates and guards, as per COV Streetscape Guidelines.

Existing Pin Oak tree to be retained. Tree protection measures to be determined by Project Arborist at time of Building Permit Application.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
5	DP REV	20.02.21
4	DP REV	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC

Landscape Planning & Design

200 - 524 Cultural Road
Victoria, BC V8Z 1G1

Phone: 250.412-2881
Fax: 250.412-2892

client

CHARD DEVELOPMENT

project

DUCKS BLOCK REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title

Landscape Materials Plan - At Grade

project no.

117.33

scale

1:100 @ 24"x36"

drawn by

ML

checked by

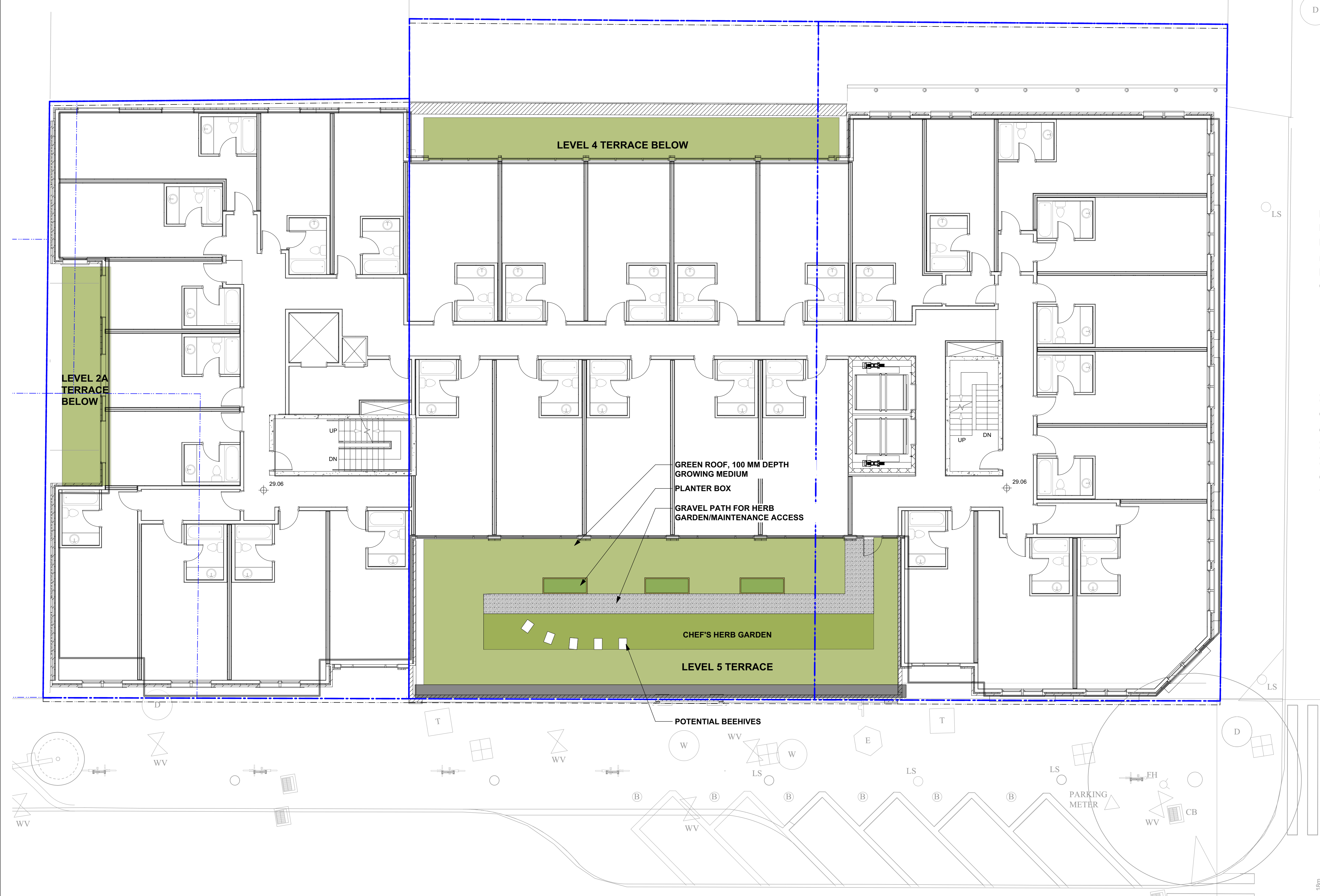
SM/PdG

revision no.

5

sheet no.

L1.01



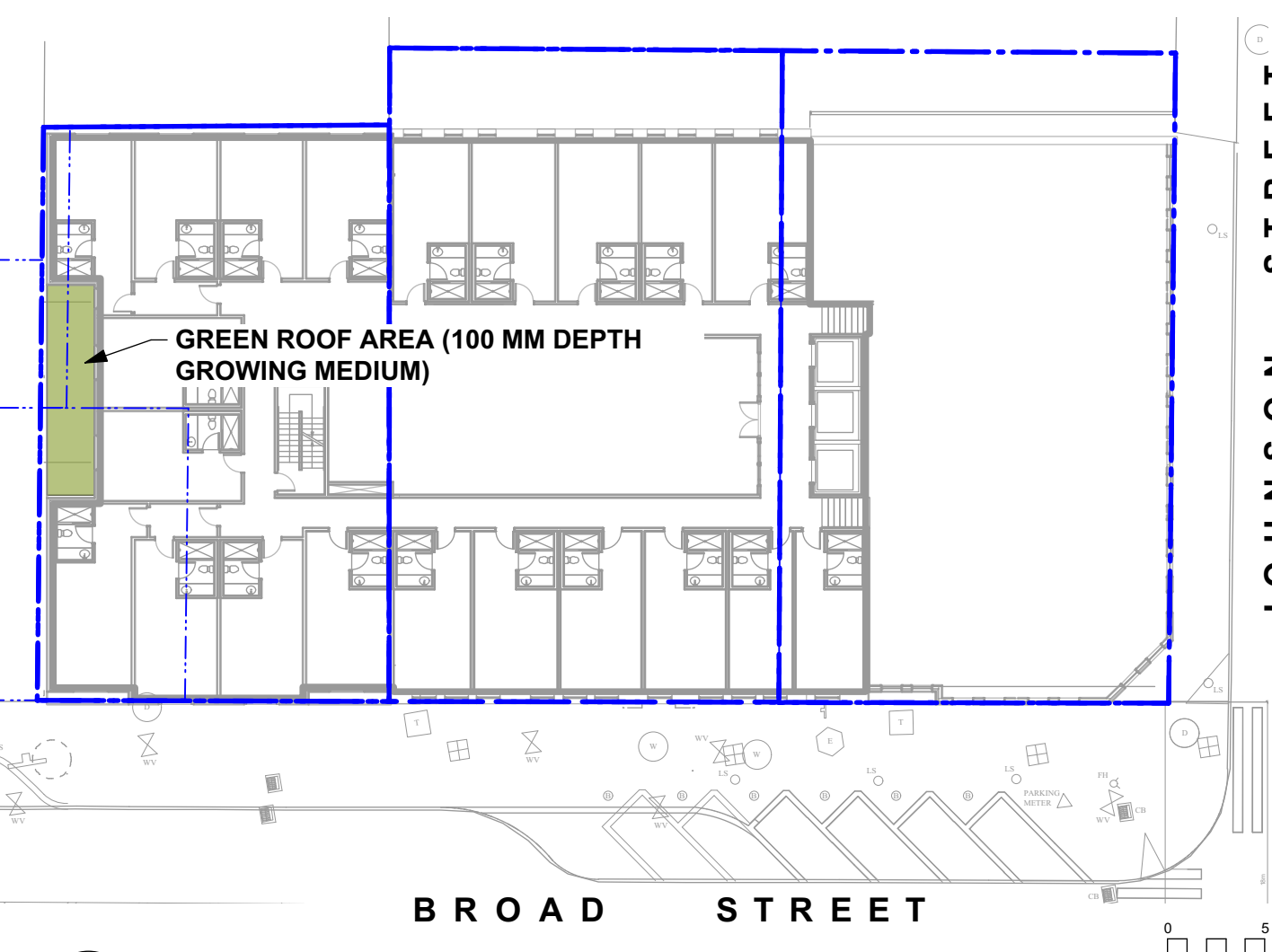
LEGEND

Property line

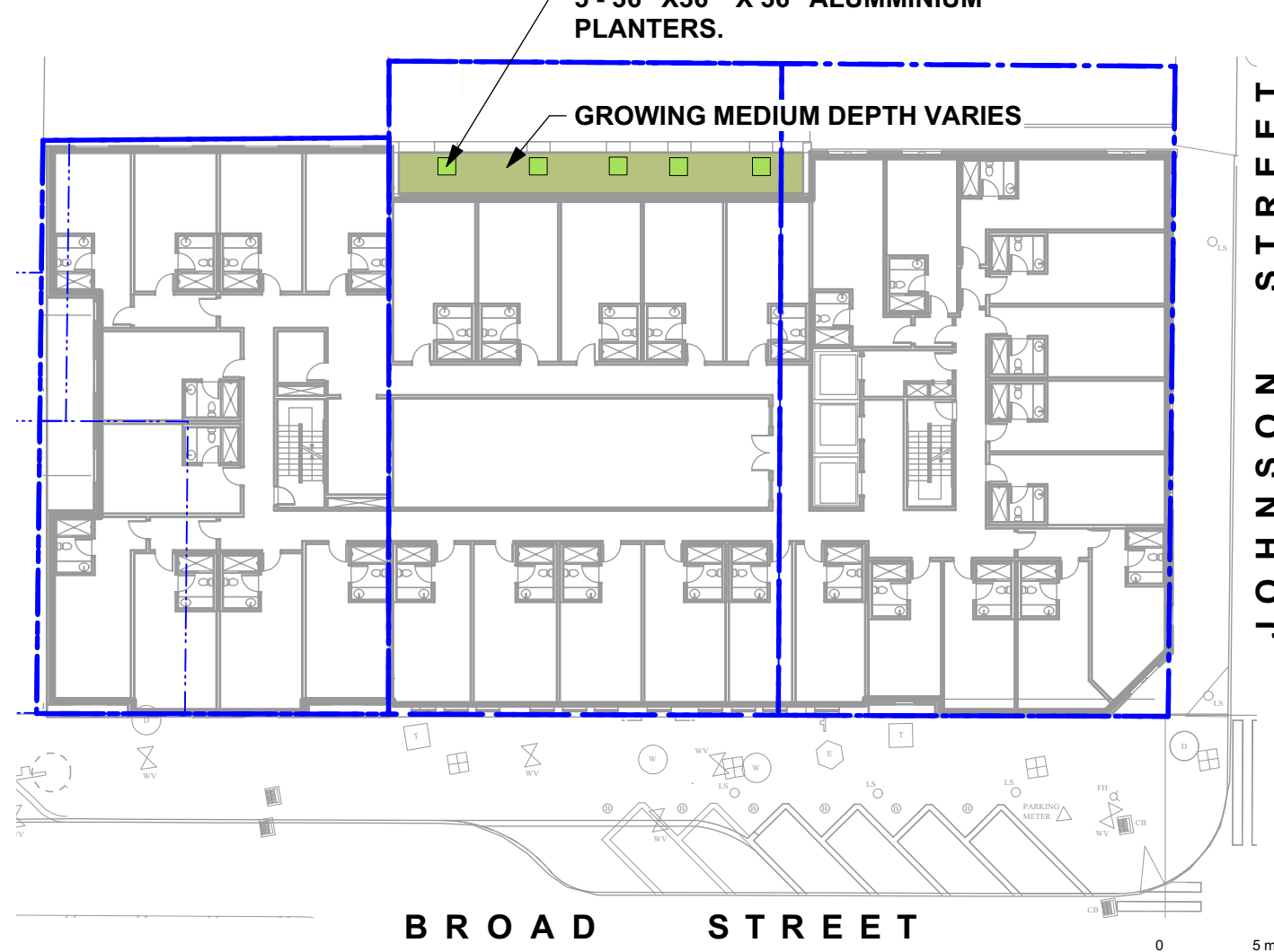
LANDSCAPE MATERIALS

Gravel pathway for maintenance access

Green roof area. 100 mm depth growing medium



1 Level 2A Landscape Plan
Scale: 1:350



2 Level 4 Landscape Plan
Scale: 1:350

- DRAWING NOTES
1.

DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
2.

All plan dimensions in metres and all detail dimensions in millimetres.
3.

Plant quantities on Plans shall take precedence over plant list quantities.
4.

Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
5.

Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
6.

Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
7.

All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
8.

Landscape installation to carry a 1 year warranty from date of acceptance.
9.

Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
10.

General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
11.

Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION

rev no	description	date
5	DP REV	20.02.21
4	DP REV	20.02.04
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

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client
CHARD DEVELOPMENT

project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title
Landscape Materials
Plan - Terrace
Levels

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.

5 L1.02



A horizontal line segment with a vertical tick mark at its right end, labeled "5 m".

<u>PLANT LIST - LEVEL 5</u>			
<u>CHEF'S GARDEN</u>			
71	Allium schoenoprasum	Chives	Sp3, 30cm o.c.
71	Artemisia dracunculus	French Tarragon	Sp3, 30cm o.c.
71	Mentha spicata	Spearmint	Sp3, 30cm o.c.
71	Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
71	Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
71	Salvia officinalis 'Minimus'	Dwarf Sage	Sp3, 30cm o.c.
71	Thymus vulgaris	English Thyme	Sp3, 30cm o.c.
<u>GREEN ROOF AREA - SUN</u>			
<u>SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 43.1 sq m</u>			
20%	Sedum acre		
20%	Sedum album 'Coral Carpet'		
20%	Sedum kamtschaticum		
20%	Sedum rupestre		
20%	Sedum spurium		
<u>GREEN ROOF AREA - SHADE</u>			
133	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
133	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
133	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
133	Gaultheria shallon	Salal	Sp3, 30cm o.c.
133	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
133	Polypodium glycyrhiza	Licorice Fern	Sp3, 30cm o.c.

- ### **DRAWING NOTES**
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project no.		117.33
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