

PROJECT TEAM

<b>Mechanical/Electrical</b> INTEGRAL GROUP  101-1019 Wharf Street Victoria BC Tel: (250) 418-1288	<b>Code Consultant</b> Murrey Johnson Engineering Ltd.  212 5th Ave., New Westminster, BC V3L 1R4 T: (604) 526-3335	<b>Geotechnical</b> Ryzuk  28 Crease Avenue, Victoria, BC V8Z 1S3 T: (250) 475-3131	<b>Transportation</b> Bunt and Associates Engineering  421 - 645 Fort Street, Victoria, BC V8W 1G2 T: (250) 592-6122	<b>Survey/Civil</b> WSP  301-3600 Uptown Blvd., Victoria, BC V8Z 0B9 T: (250) 389-8015
<b>Owner / Developer</b> Crosstown Properties (Wharf St.) [Managed by Reliance Properties Ltd.] 305 - 111 Water St. Vancouver, BC V6B 1A7 T: (604) 694-8896 F: (604) 683-6719	<b>Architect</b> Alan Boniface Architect  880 - 1500 West Georgia St. Vancouver, BC V6G 2Z6 T: (236) 521-6568	<b>LandscapeArchitect</b> PWL Partnership  500 - 1201 West Pender St. Vancouver, BC V6E 2V2 T: (604) 639-5313 F: (604) 688-6112	<b>HeritageConsultant</b> Donald Luxton & Associates  1030-470 Granville St., Vancouver, BC V6C 1V5 T: (604) 688-1216	<b>Structural</b> DIALOG  406 - 611 Alexander St. Vancouver, BC V6A 1E1 T: (604) 255-1169 F: (604) 255-1790



ISSUED FOR		
A	2019-06-19	REZONING / HERITAGE ALTERATION PERMIT
B	2019-10-11	REZONING / HERITAGE ALTERATION PERMIT R1
C	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT R2



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**ARCHITECT**  
Alan Boniface Architect Ltd  
880-1500 West Georgia Street  
Vancouver, BC V6G 2Z6  
Tel: (236) 521-6568  
info@abarchitecture.ca


SEAL

Northern Junk

PROJECT NAME: NORTHERN JUNK  
PROJECT ADDRESS: 1314 WHARF STREET  
LEGAL DESCRIPTION: LOT 182F (001-005-723)  
GOVERNING BUILDING CODE: BCBC 2018

REZONING/HERITAGE ALTERATION PERMIT APPLICATION R2  
AUGUST 07, 2020

1314-1318 Wharf Street, Victoria BC  
Cover Sheet



Revisions

Received Date:  
August 10, 2020

DRAWN: AP  
PLOT DATE:  
A-000  
19004C



# PROJECT DATA

PROJECT NAME:

NORTHERN JUNK

PROJECT ADDRESS:

1314 WHARF STREET

LEGAL DESCRIPTION:

LOT 182F (001-005-723)

GOVERNING BUILDING CODE:

BCBC 2018

PROJECT INFORMATION TABLE	
ZONE (EXISTING)	INNER HARBOUR HERITAGE DISTRICT
NET AREA (sqm) *Above Natural Boundary	1218 sm
GROSS SITE AREA (sqm)	1375 sm
TOTAL FLOOR AREA	4116 sm
COMMERCIAL FLOOR AREA	833.3 sm
FLOOR SPACE RATIO	3.38
SITE COVERAGE %	65.5%
OPEN SITE SPACE %	34.5 %
HEIGHT OF BUILDING FROM STREET GRADE (m)	19.1 (m)
NUMBER OF STOREYS	5 STOREYS FROM WHARF (6 FROM HARBOUR)
PARKING STALLS ON SITE	0
BICYCLE PARKING (long term)	64 res + 5 Commercial
BUILDING SETBACKS (SEE SITE PLAN)	
FRONT YARD (EAST)	0 m
REAR YARD (WEST)	15.83 m
SIDE YARD (NORTH)	0 m
SIDE YARD (SOUTH)	0 m
RESIDENTIAL USE DETAILS (SEE UNIT TYPE TABLE)	
TOTAL NUMBER OF UNITS	47
UNIT TYPE (SEE UNIT TYPE TABLE)	STUDIO, 1BD, 2BD, 3BD
GROUND ORIENTED UNITS	0
MINIMUM UNIT FLOOR AREA	37.5 sm
TOTAL RESIDENTIAL FLOOR AREA	2653 sm

# DRAWING LIST

## ARCHITECTURAL

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AREA PLANS  
AREA PLANS  
AREA PLANS  
AREA PLANS  
SITE PLAN  
PLAN - LEVEL 00  
PLAN - LEVEL 01  
PLAN - LEVEL 02  
PLAN - LEVEL 03-04  
PLAN - LEVEL 05  
PLAN - ROOF  
SOUTH ELEVATION  
WEST ELEVATION  
NORTH ELEVATION  
EAST ELEVATION  
CONTEXT ELEVATIONS  
SECTION - A1  
SECTION - A2

## LANDSCAPE

SEE LANDSCAPE SET

# PROJECT DATA SUMMARY

## AREA SUMMARY

ASSUMPTIONS		
	SQ.FT	m2
SITE AREA (ABOVE PRESENT NATURAL BOUNDARY)	13,108	1218
MAX ALLOWABLE DENSITY (4.4)	57,673	5358
EXISTING FOOTPRINTS	5,175	481

AREAS BY USE		
CRU 2 - L01	226.7 sm	
CRU 1 - L01	244.4 sm	
CRU 1 - L00	191.0 sm	
CRU 2 - L00	171.2 sm	
TOTAL COMMERCIAL	833.3 sm	(8,969.9 sf)

Building Gross Area	4116.3 sm	(44,308 sf)
Total Commercial Area	833.3 sm	(8,970 sf)
TOTAL RESIDENTIAL	3283.0 sm	(35,337.7 sf)
NET RESIDENTIAL	2652.8 sm	(28,555.3 sf)
NET RENTABLE (RES+COMM)	3,486.2 sm	(37,525.1 sf)

SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1375 sm
NET SITE AREA	1218 sm
DFW SRW AREA	166 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - DFW S.R.W. AREA	1051.977 sm

BUILDING GROSS AREA	
L00 Gross	560 sm
L00 TOTAL	560 sm
L01 Gross	319 sm
L01 Gross	266 sm
L01 TOTAL	584 sm
L02 Gross	739 sm
L02 TOTAL	739 sm
L03 Gross	739 sm
L03 TOTAL	739 sm

L04 Gross	739 sm
L04 Total	739 sm
L05 Gross	739 sm
L05 Total	739 sm

Roof Gross	14 sm
L05 Total	14 sm

BUILDING GROSS	4,116 sm
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SITE AREA FOR FSR	1,218 sm
FSR	3.38
NET RENTABLE (RES+COMM)	3,486 sm

## UNIT SUMMARY

UNIT TYPES						
LEVEL	STUDIO	1BD	2BD	3BD	-	TOTAL UNITS
LEVEL P1	0	0	0	0	0	0
LEVEL 01	0	0	0	0	0	0
LEVEL 02	1	8	2	1	0	12
LEVEL 03	1	8	2	1	0	12
LEVEL 04	1	8	2	1	0	12
LEVEL 05	1	6	3	1	0	11
LEVEL 06	0	0	0	0	0	0
TOTAL	4	30	9	4	0	47
PERCENTAGE	9%	64%	19%	9%	0%	100%
FAMILY UNITS	28%					

AVERAGE UNIT SIZES					
	TOTAL AREA PER FLOOR BY TYPE				
LEVEL	STUDIO	1BD	2BD	3BD	TOTAL UNITS
LEVEL 00	0	0	0	0	0
LEVEL 01	0	0	0	0	0
LEVEL 02	38	390	152	83	663
LEVEL 03	38	390	152	83	663
LEVEL 04	38	390	152	83	663
LEVEL 05	38	289	253	83	663
TOTAL	152 sm	1,459 sm	710 sm	332 sm	2,653 sm
Unit Count	4	30	9	4	47
AVG SIZES	38 sm	49 sm	79 sm	83 sm	56 sm
AVG SIZES (SF)	409.8 sf	523.3 sf	849.3 sf	893.2 sf	607.6 sf

## PARKING SUMMARY

NOTE: NO VEHICLE PARKING PROVIDED ON SITE. SEE TRAFFIC REPORT FOR TRAFFIC MANAGEMENT STRATEGY

BICYCLE PARKING			
Residential	Count	Req'mt	Provided
1.0/ Unit < 45m2	12	12	
1.25/ Unit > 45m2	35	43.75	
Total Residential	47	55.75	64

Commercial	Area	Req'mt	Provided
1.0/ 200 m2	#	4.2	
Total		5	5

Suite Storage			
Residential	Count	Req'mt	Provided
In-suite	22	0	
Blke/Locker combo	25	0	
Total Residential	47	0	47



### ISSUED FOR

- A

2019-06-19

REZONING / HERITAGE ALTERATION PERMIT
- B

2019-10-11

REZONING / HERITAGE ALTERATION PERMIT R1
- C

2020-08-07

REZONING / HERITAGE ALTERATION PERMIT R2

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### ARCHITECT

Alan Boniface Architect Ltd  
880-1500 West Georgia Street  
Vancouver, BC, V6G 2Z6  
Tel: (236) 521-6568  
info@abarchitecture.ca

### SEAL

## Northern Junk

1314-1318 Wharf Street, Victoria BC

## Project Data

DRAWN: AP  
PLOT DATE:

CHECKED: AB

# A-001



ISSUED FOR

- A 2019-06-19 REZONING / HERITAGE ALTERATION PERMIT  
B 2019-10-11 REZONING / HERITAGE ALTERATION PERMIT R1  
C 2020-08-07 REZONING / HERITAGE ALTERATION PERMIT R2

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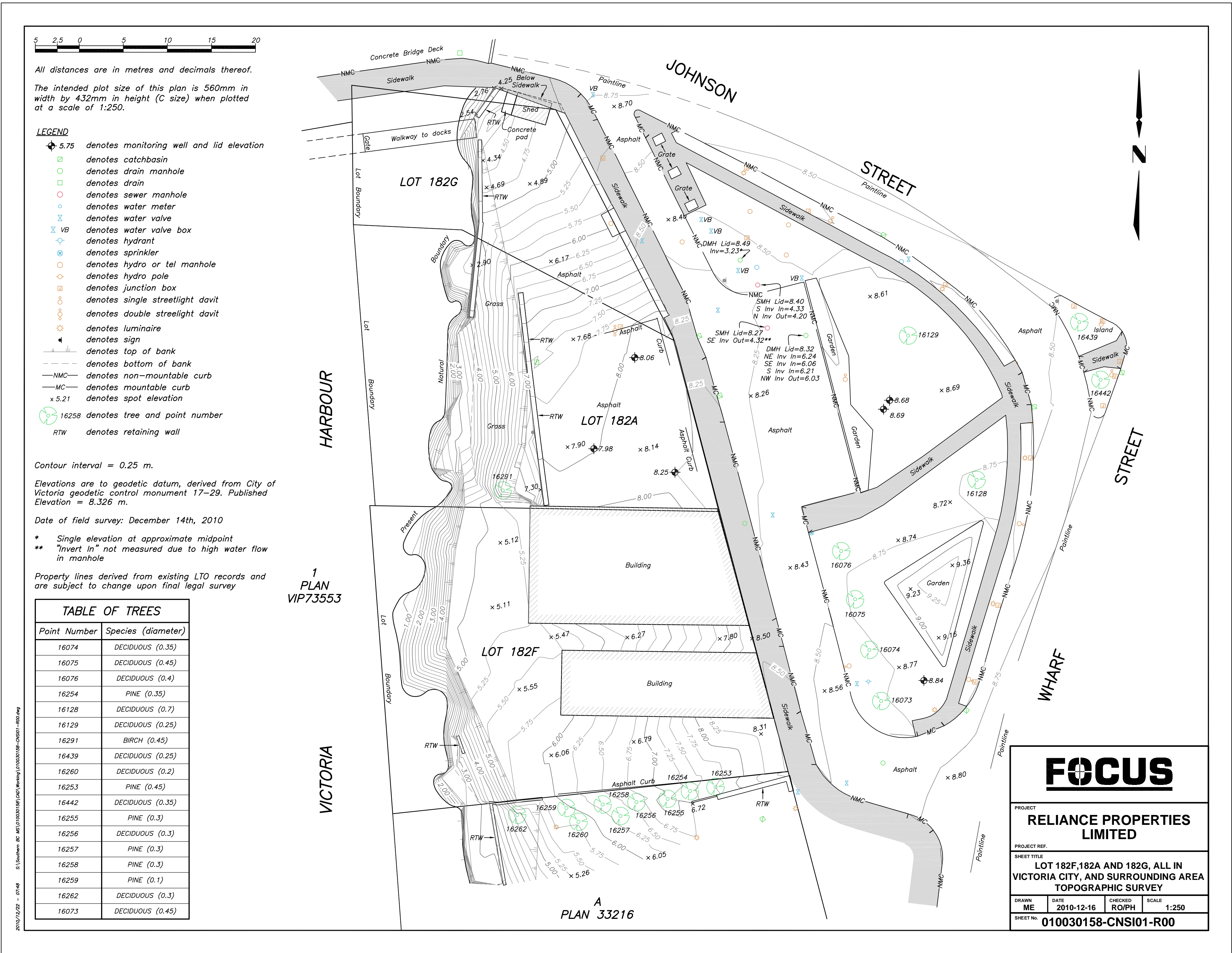
1314-1318 Wharf Street, Victoria BC

Site Survey

DRAWN: AP PLOT DATE: CHECKED: AB

A-002

19004C



\*SURVEY INCLUDED FOR REFERENCE ONLY. NTS\*



**File No:** 171-10644-00

**To:** Crosstown Properties (Wharf Street) Ltd.  
305 + 111 Water Street  
Vancouver, BC V6B 1A7

**Attention:** Juan Pereira

**Date:** July 26<sup>th</sup>, 2017

**From:** Mitch Laseur, BCLS  
WSP Canada  
301 – 3600 Uptown Boulevard  
Victoria, BC V8Z 0B9  
Phone 250.384.5510

**RE:** AREA CALCULATION – ABOVE AND BELOW PRESENT NATURAL BOUNDARY  
LOT 182F, LOT 182G, LOT 182A, and CLOSED ROAD PLAN EPP8684,  
BEING THE PROPOSED JOHNSON STREET GATEWAY SITE

This letter is written to verify the areas of the above noted properties. The properties in question contain land falling below the Present Natural Boundary. We confirm that our interpretation of the Present Natural Boundary is coincident with the definition of the Ordinary High Water Mark.

To clarify the allocation of these areas we have prepared the attached sketch detailing those areas above and below the Present Natural Boundary.

**In summary:**

The total area *above* the Present Natural Boundary for these properties is **4,152 square meters**.

The total area *below* the Present Natural Boundary for these properties is **646 square meters**.

Regards,

Mitch Laseur, BCLS  
Branch Manager / Land Surveyor, Victoria Geomatics  
Cc: Adrian Politano, Rory O'Connell, Sheila Middleton

**WSP**  
301 – 3600 Uptown Boulevard  
Victoria, BC V8Z 0B9  
Phone: 1 + 250-384-5510  
[www.wsp.com](http://www.wsp.com)

TABLE OF AREAS			
LOT	ABOVE PNB	BELOW PNB	TOTAL
182G	304 m <sup>2</sup>	199 m <sup>2</sup>	503 m <sup>2</sup>
182A	724 m <sup>2</sup>	289 m <sup>2</sup>	1013 m <sup>2</sup>
182F	1218 m <sup>2</sup>	158 m <sup>2</sup>	1376 m <sup>2</sup>
Closed Road	1906 m <sup>2</sup>		1906 m <sup>2</sup>
<b>TOTALS</b>	<b>4152 m<sup>2</sup></b>	<b>646 m<sup>2</sup></b>	<b>4798 m<sup>2</sup></b>

WSP Surveys (BC) Limited Partnership  
301-3600 Uptown Boulevard, Victoria, BC V8Z 0B9  
1-250-384-5510 [www.wspgroup.com](http://www.wspgroup.com)

**CROSSTOWN PROPERTIES  
(WHARF ST) LTD.**

PROJECT NO:  
SHEET TITLE:

**JOHNSON STREET GATEWAY  
SITE AREAS**

DATE  
ME

DATE  
2017-07-25

CREATED  
ML

SCALE  
1:500

**171-10644-00-000-00-SSDSK001-R2**

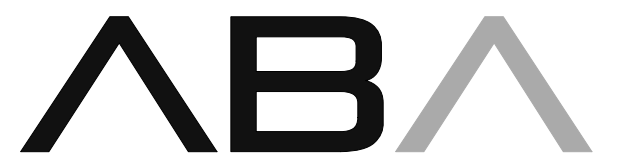
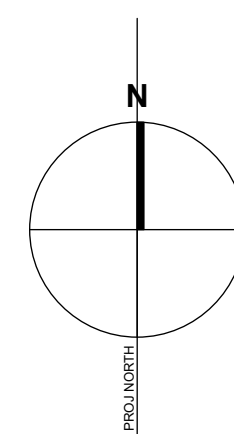
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SITE AREAS (SEE AREA PLANS A-010)	
GROSS SITE AREA	1375 sm
NET SITE AREA	1218 sm
DFW SRW AREA	166 sm
OPEN AREA	420 sm
BUILDING FOOTPRINT	797 sm
OPEN AREA %	34.5%
NET SITE AREA - DFW S.R.W. AREA	1051.977 sm

\*NET SITE AREA IS ABOVE PRESENT NATURAL BOUNDARY



**SITE AREAS - AREA PLAN**  
SCALE: 1:100



## ISSUED FOR

- |   |            |   |
|---|------------|---|
| A | 2019-06-19 | REZONING / HERITAGE ALTERATION<br>PERMIT    |
| B | 2019-10-11 | REZONING / HERITAGE ALTERATION<br>PERMIT R1 |
| C | 2020-08-07 | REZONING / HERITAGE ALTERATION<br>PERMIT R2 |

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SEAL

## Northern Junk

1314-1318 Wharf Street, Victoria BC

## Area Plans

DRAWN: AP  
PLOT DATE:

# A-010

19004C



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1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP PLOT DATE: CHECKED: AB

A-011

19004C

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L00	191.0 sm
CRU2	CRU 2 - L00	171.2 sm
Total Suite Area		362.3 sm
L00 GROSS		560.2 sm
Total Gross Area		560.2 sm
EFFIC		65%

AREA LEGEND

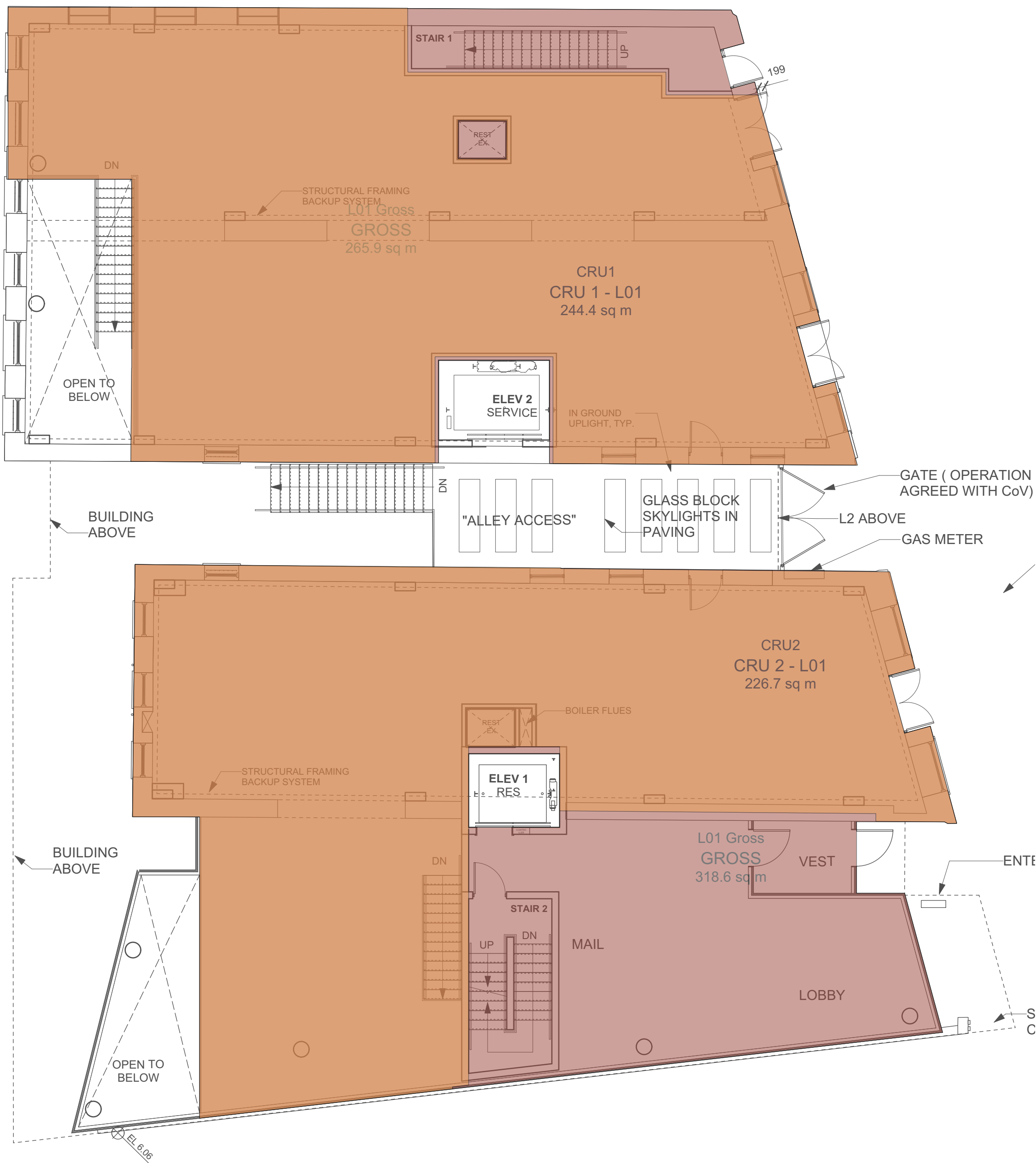
- RESIDENTIAL SUITE  
COMMERCIAL AREA  
GROSS FLOOR AREA



LEVEL 00 - FSR AREA PLAN  
SCALE: 1:100

1

LEVEL 01 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
CRU1	CRU 1 - L01	244.4 sm
CRU2	CRU 2 - L01	226.7 sm
Total Suite Area		471.1 sm
L01 Gross		318.6 sm
L01 Gross		265.9 sm
Total Gross Area		584.5 sm
EFFIC		81%



LEVEL 01 - FSR AREA PLAN  
SCALE: 1:100

2



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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

Area Plans

DRAWN: AP PLOT DATE: CHECKED: AB

A-012

19004C

AREA LEGEND

- RESIDENTIAL SUITE  
COMMERCIAL AREA  
GROSS FLOOR AREA

LEVEL 02 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
201	3BD	83 sm
202	2BD	86 sm
203	1BD	53 sm
204	1BD	53 sm
205	1BD	40 sm
206	1BD	46 sm
207	1BD	46 sm
208	1BD	55 sm
209	1BD	58 sm
210	1BD	38 sm
211	ST	38 sm
212	2BD	66 sm
Total Suite Area		663 sm
GROSS		739 sm
Total Gross Area		739 sm
EFFIC		90%

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm		663 sm
GROSS sm		739 sm
Total Gross Area sm		739 sm
EFFIC		90%



LEVEL 02 - FSR AREA PLAN

SCALE: 1:100

1



LEVEL 03 - FSR AREA PLAN

SCALE: 1:100

2



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Area Plans

DRAWN: AP CHECKED: AB  
PLOT DATE:

A-013

19004C

AREA LEGEND  
RESIDENTIAL SUITE  
COMMERCIAL AREA  
GROSS FLOOR AREA

LEVEL 03-04 AREAS sm		
SUITE NUMBER	SUITE TYPE	SUITE AREA
301 sm	3BD sm	83 sm
302 sm	2BD sm	86 sm
303 sm	1BD sm	53 sm
304 sm	1BD sm	53 sm
305 sm	1BD sm	40 sm
306 sm	1BD sm	46 sm
307 sm	1BD sm	46 sm
308 sm	1BD sm	55 sm
309 sm	1BD sm	58 sm
310 sm	1BD sm	38 sm
311 sm	ST sm	38 sm
312 sm	2BD sm	66 sm
Total Suite Area sm	12 sm	663 sm
	GROSS sm	739 sm
Total Gross Area sm		739 sm
EFFIC		90%

LEVEL 05 AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
501	3BD	83 sm
502	2BD	86 sm
503	1BD	53 sm
504	1BD	53 sm
505	1BD	40 sm
506	1BD	46 sm
507	2BD	101 sm
508	1BD	58 sm
509	1BD	38 sm
510	ST	38 sm
511	2BD	66 sm
Total Suite Area	11	663 sm
	GROSS	739 sm
Total Gross Area		739 sm
EFFIC		90%



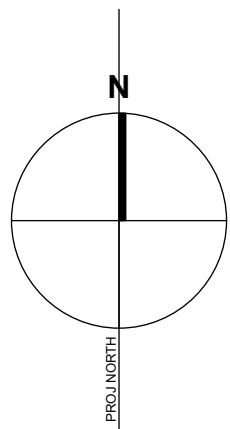
LEVEL 04 - FSR AREA PLAN  
SCALE: 1:100

1



LEVEL 05 - FSR AREA PLAN  
SCALE: 1:100

2





ISSUED FOR

ROOF AREAS		
SUITE NUMBER	SUITE TYPE	SUITE AREA
Total Suite Area	0	0 sm
	GROSS	14 sm
Total Gross Area		14 sm
EFFIC		0%

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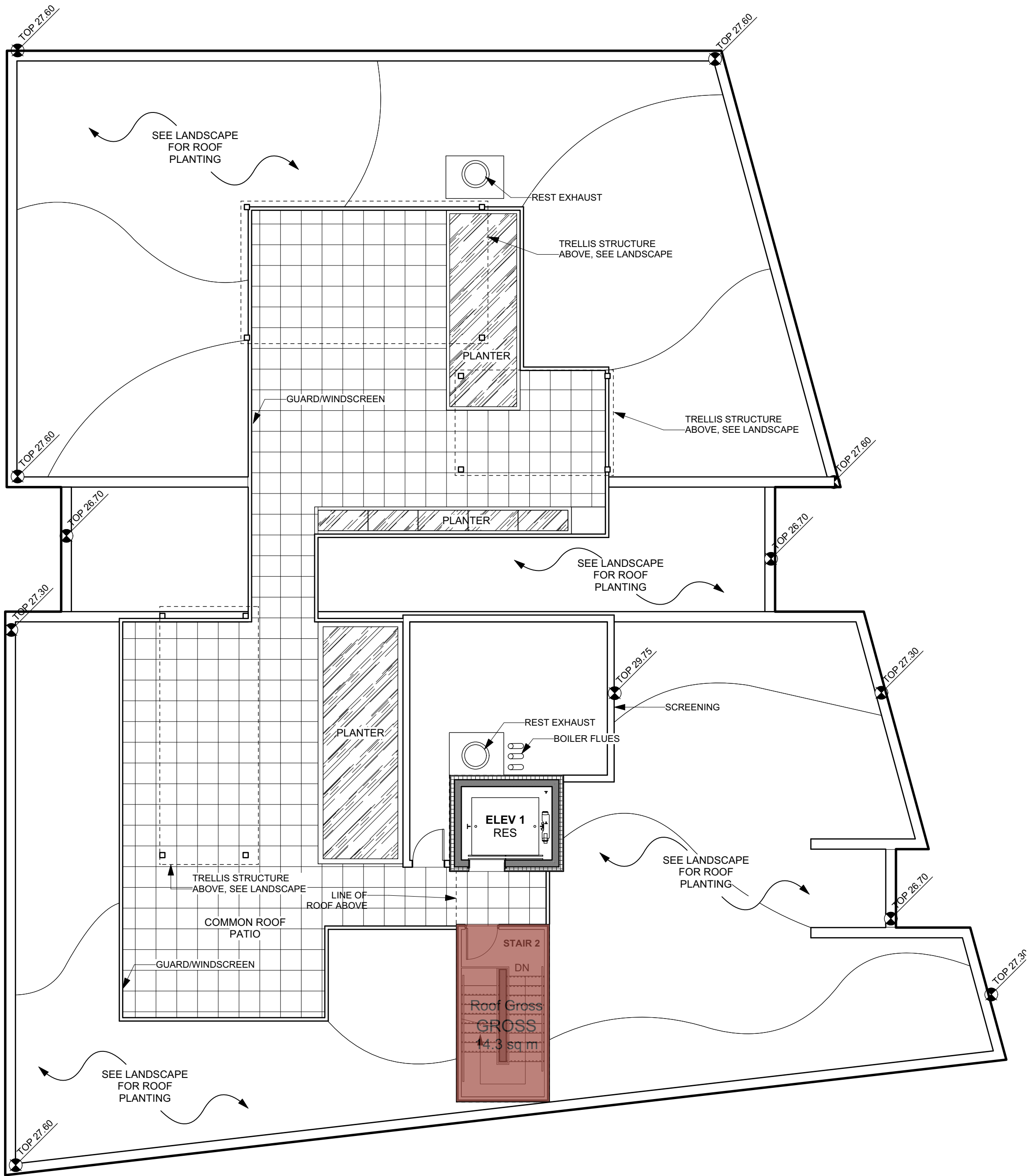
Area Plans

DRAWN: AP  
PLOT DATE:

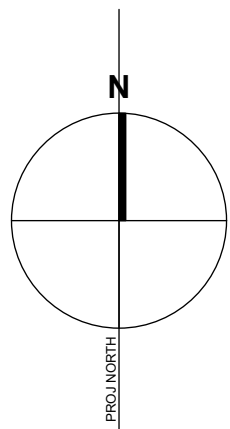
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A-014

19004C



1 ROOF AREAS  
Scale: 1:100





Address: 1314 WHARF ST  
PID: 001-005-723  
Folio: 01074004  
Legal Information: LOT 182-F,  
VICTORIA

**NOTE: SEE LANDSCAPE PLANS  
FOR FURTHER DETAIL**



ISSUED FOR

A	2019-06-19	REZONING / HERITAGE ALTERATION PERMIT
B	2019-10-11	REZONING / HERITAGE ALTERATION PERMIT R1
C	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT R2

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## ARCHITECT

Alan Boniface Architect Ltd  
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info@abarchitecture.ca

SEAL

## Northern Junk

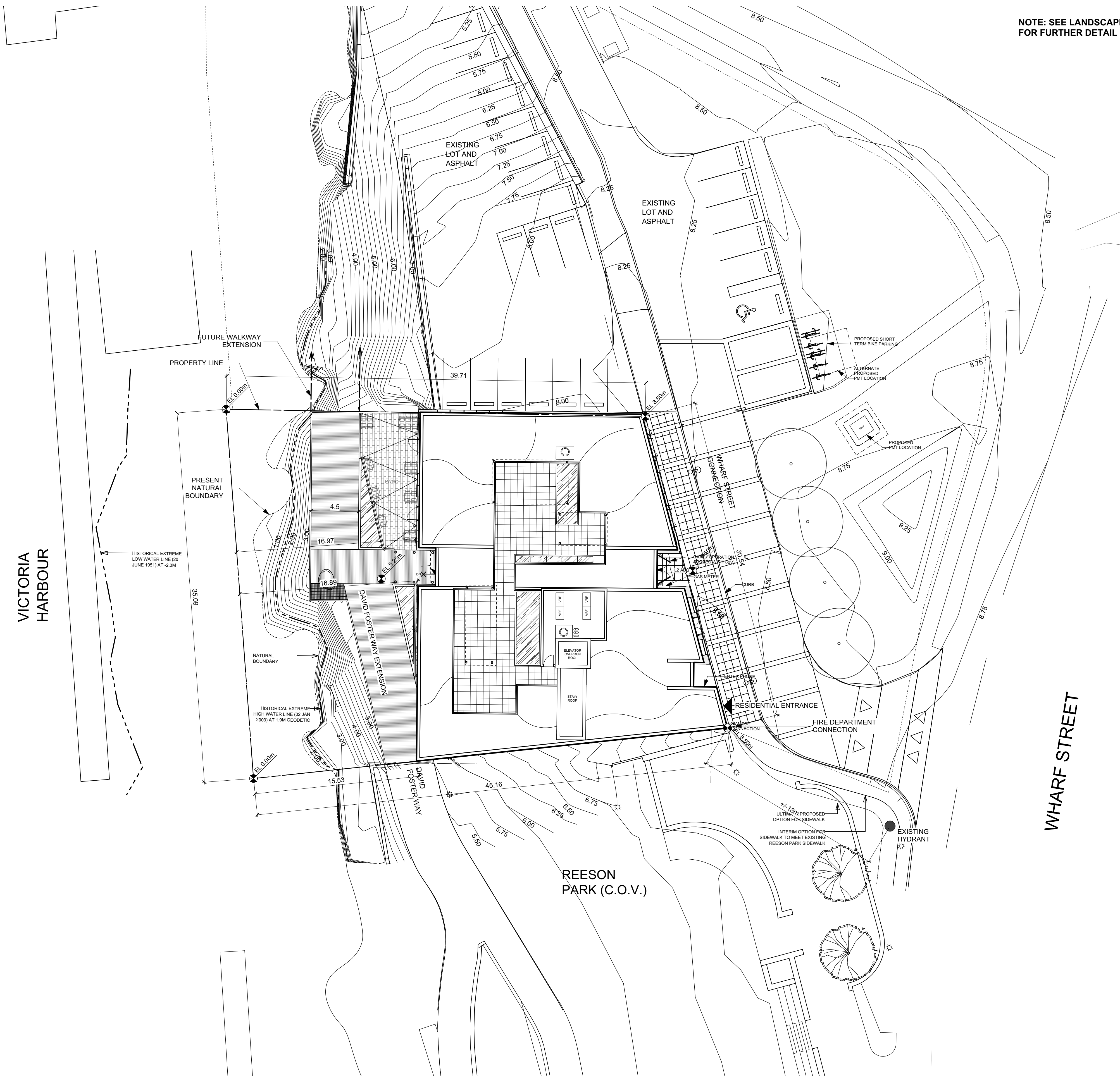
1314-1318 Wharf Street, Victoria BC

## Site Plan

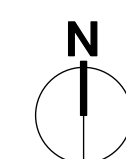
DRAWN: AP  
PLOT DATE:

# A-101

19004C



**SITE PLAN**  
SCALE: 1:200





GENERAL PLAN NOTES:

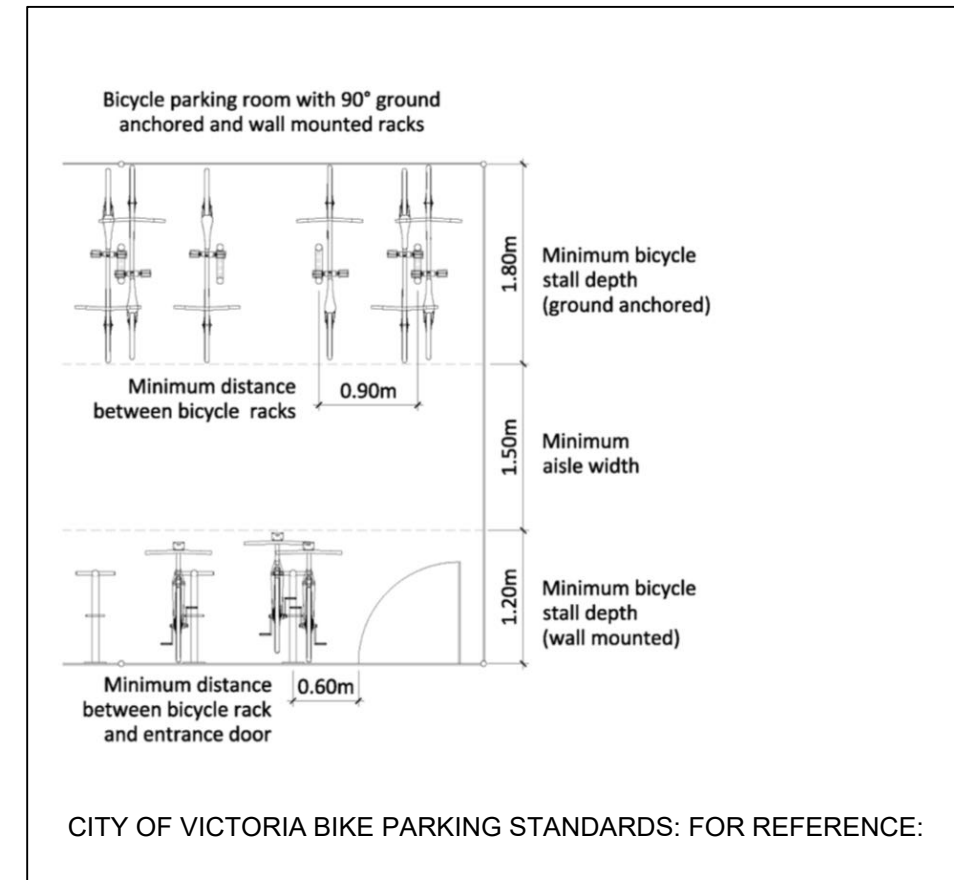
- SEE AREA PLANS FOR FLOOR AND SUITE AREAS

- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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Plans - L00

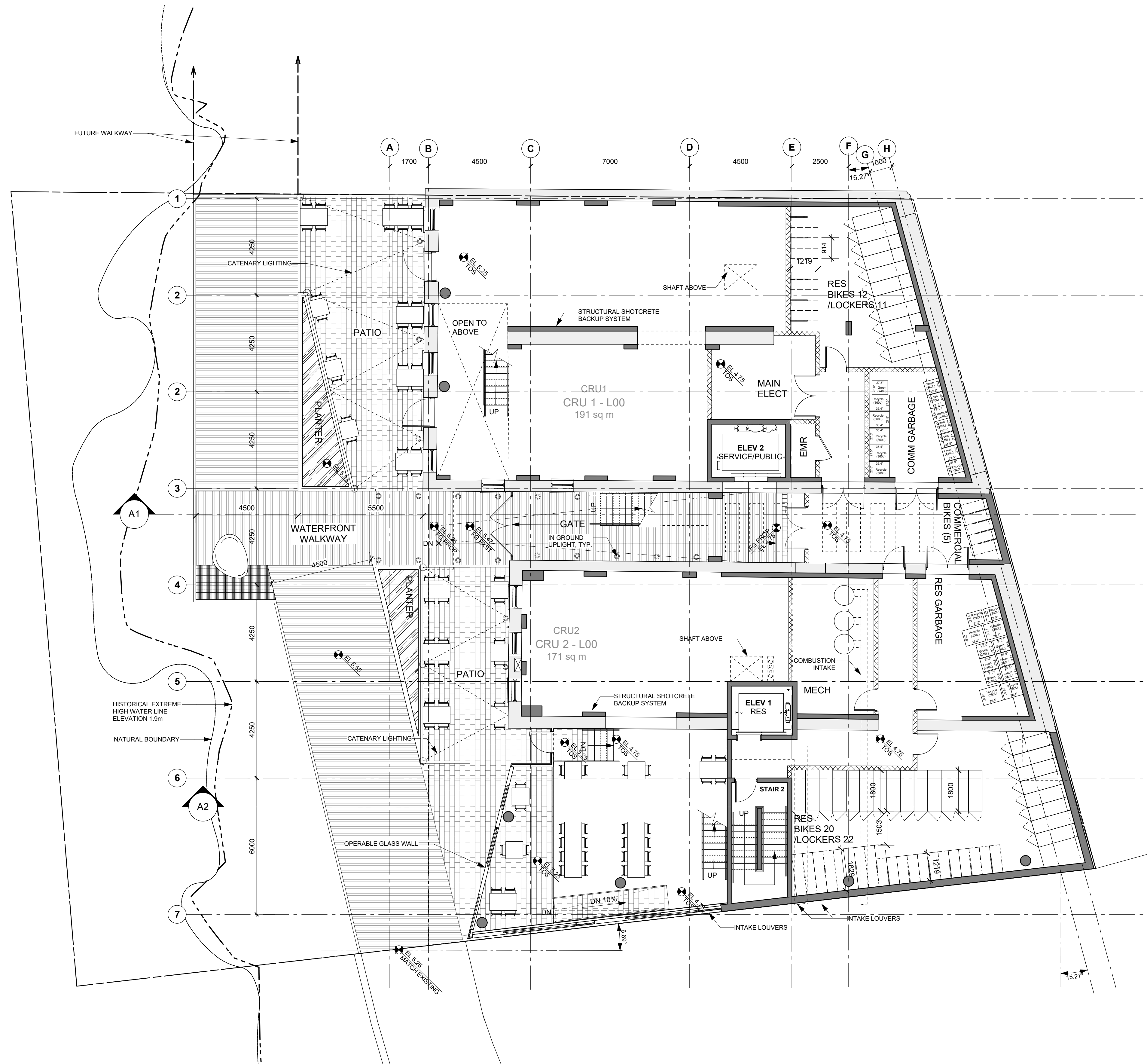
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PLOT DATE: CHECKED: AB

A-201

PLAN L00  
SCALE: 1:100

1

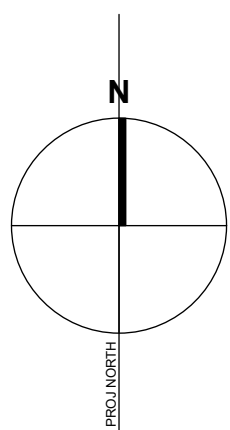
19004C



HISTORICAL EXTREME  
LOW WATER LINE  
ELEVATION -2.3m

HISTORICAL EXTREME  
HIGH WATER LINE  
ELEVATION 1.9m

NATURAL BOUNDARY





GENERAL PLAN NOTES:

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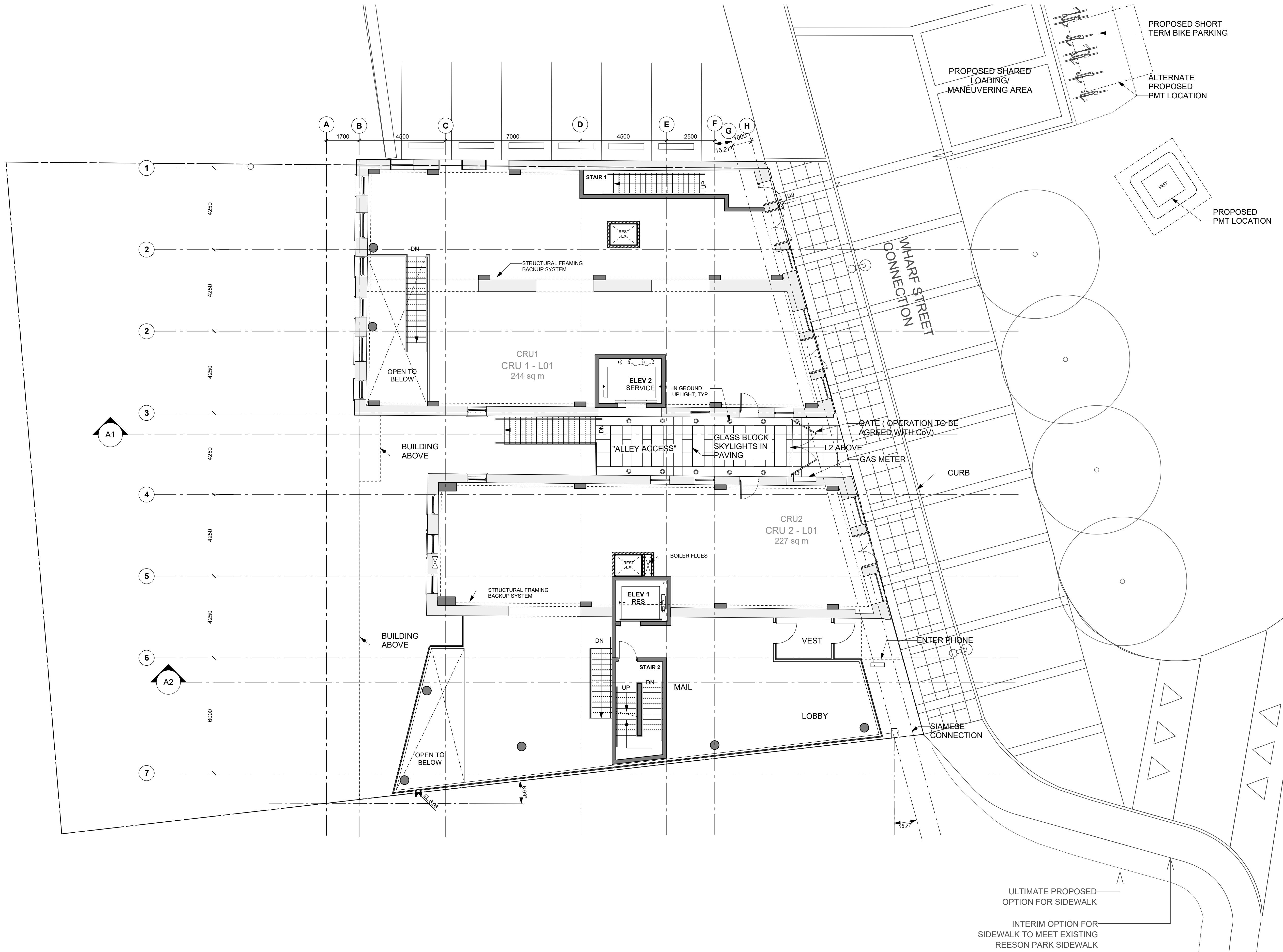
Plan - Level 01

DRAWN: AP  
PLOT DATE:

CHECKED: AB

A-202

19004C



PLAN L1

SCALE: 1:100

1



GENERAL PLAN NOTES:

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- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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Plan - Level 02

DRAWN: AP  
PLOT DATE:

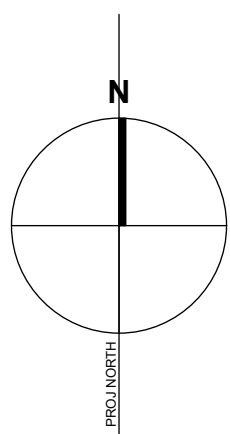
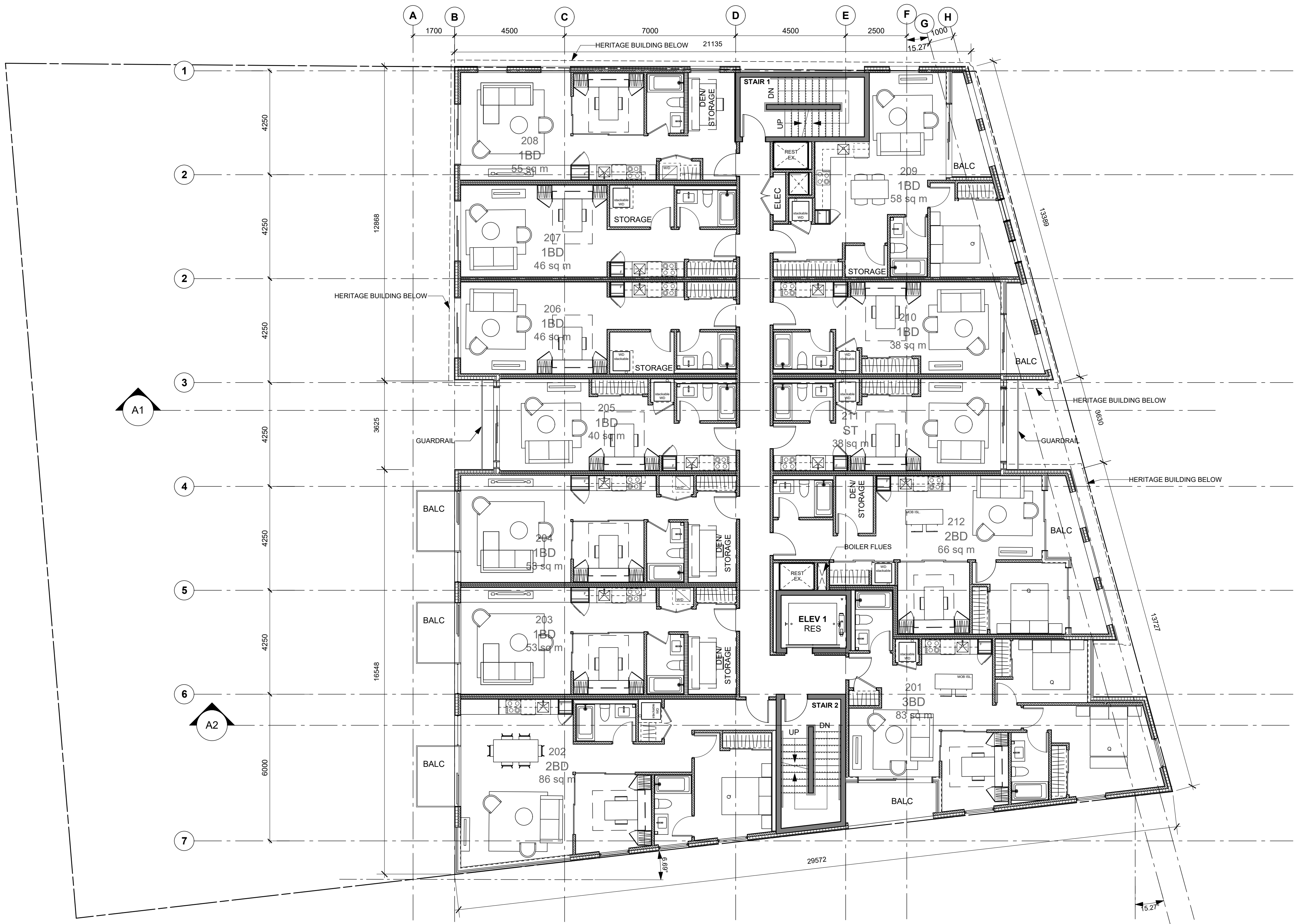
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PLAN L2  
SCALE: 1:100

1

A-203

19004C





GENERAL PLAN NOTES:

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- SEE LANDSCAPE FOR ALL SITE FURNISHINGS, PLANTING AND SITE MATERIALS



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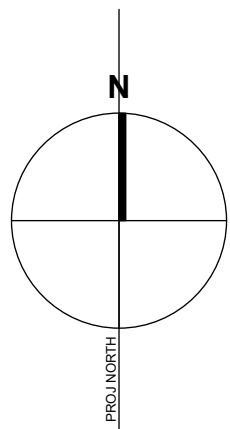
Plan - Level 03-04

DRAWN: AP  
PLOT DATE:

CHECKED: AB

A-204

19004C



PLAN L3-4  
SCALE: 1:100

1



GENERAL PLAN NOTES:

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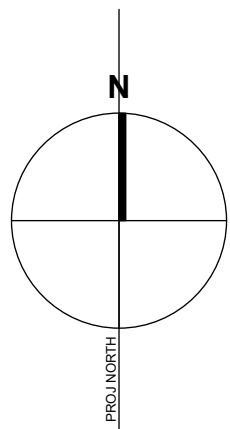
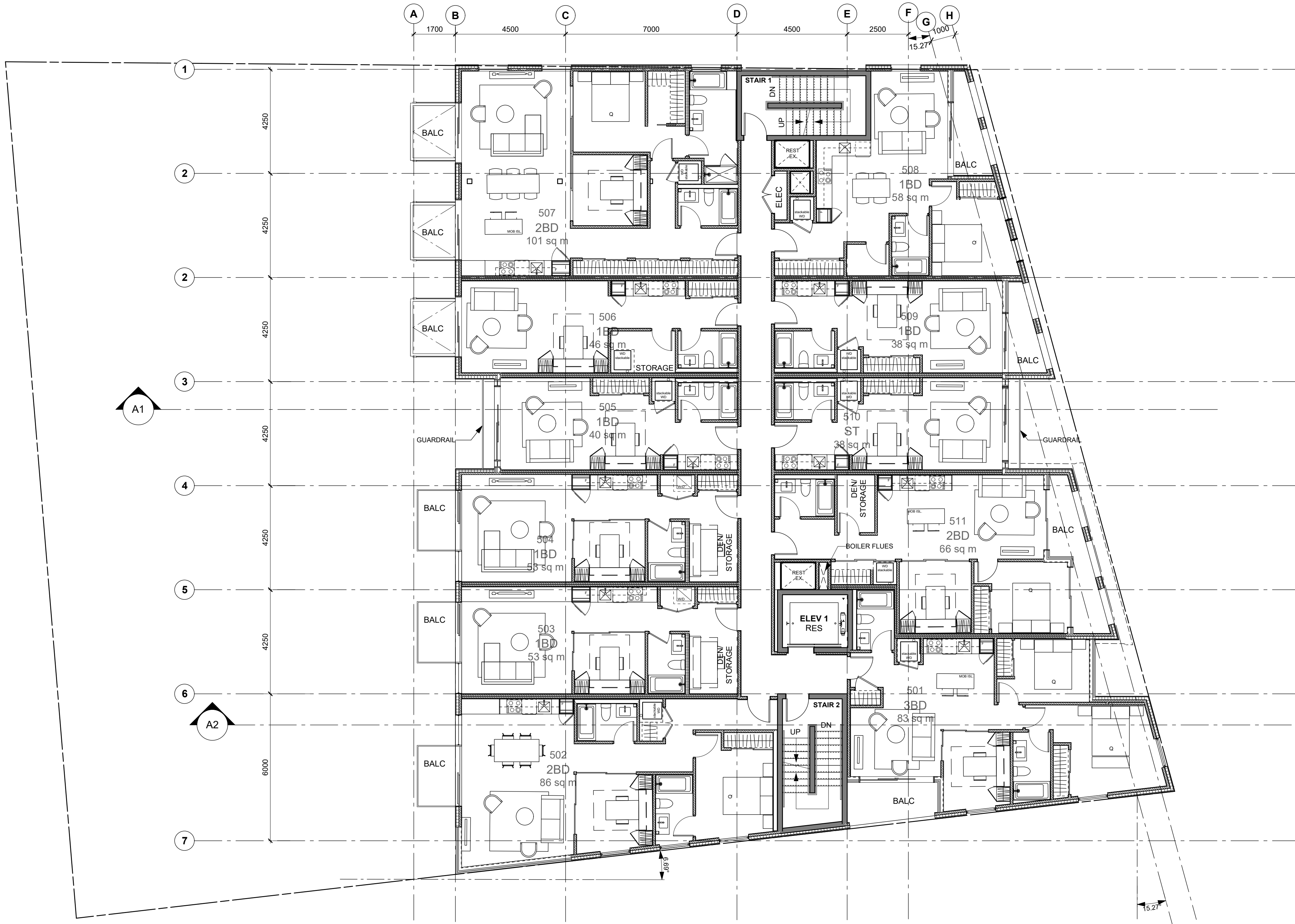
Plan - Level 05

DRAWN: AP  
PLOT DATE:

CHECKED: AB

A-205

19004C



PLAN L5  
SCALE: 1:100

1



GENERAL PLAN NOTES:

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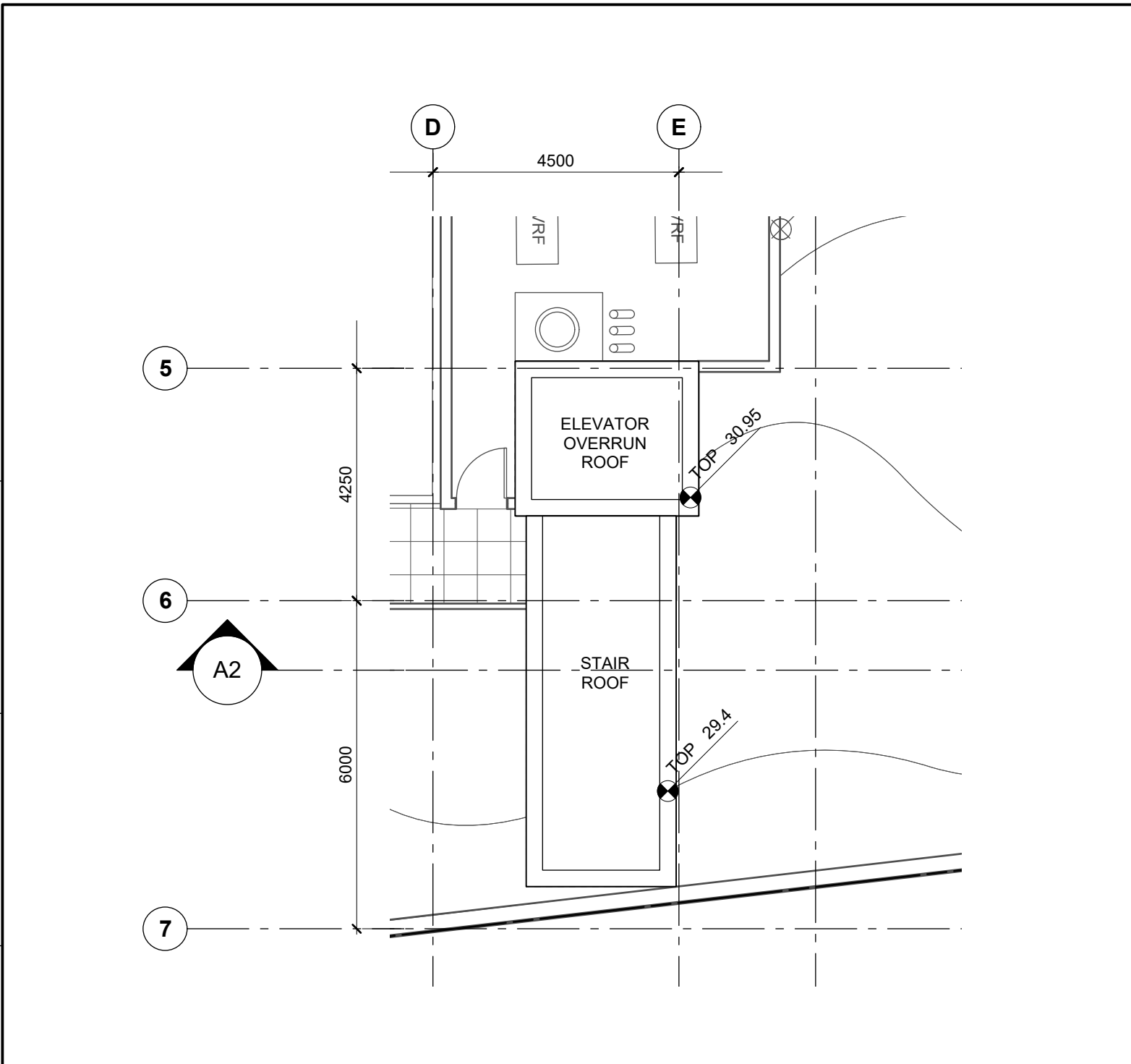
1314-1318 Wharf Street, Victoria BC

Plan - Roof

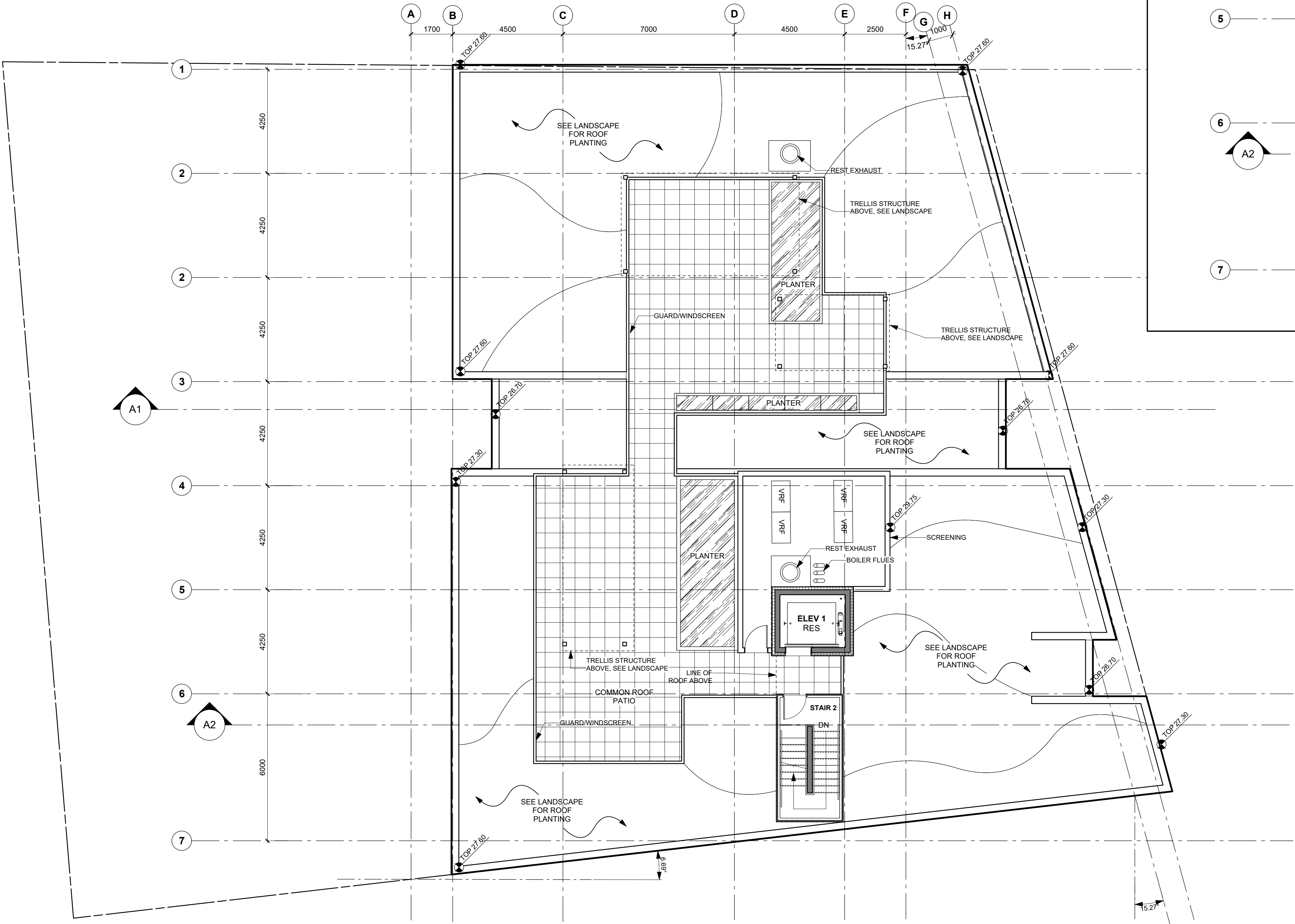
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A-206

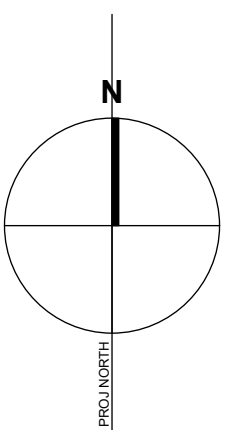
19004C



UPPER ROOF PLAN  
Scale: 1:100



ROOF PLAN  
SCALE: 1:100





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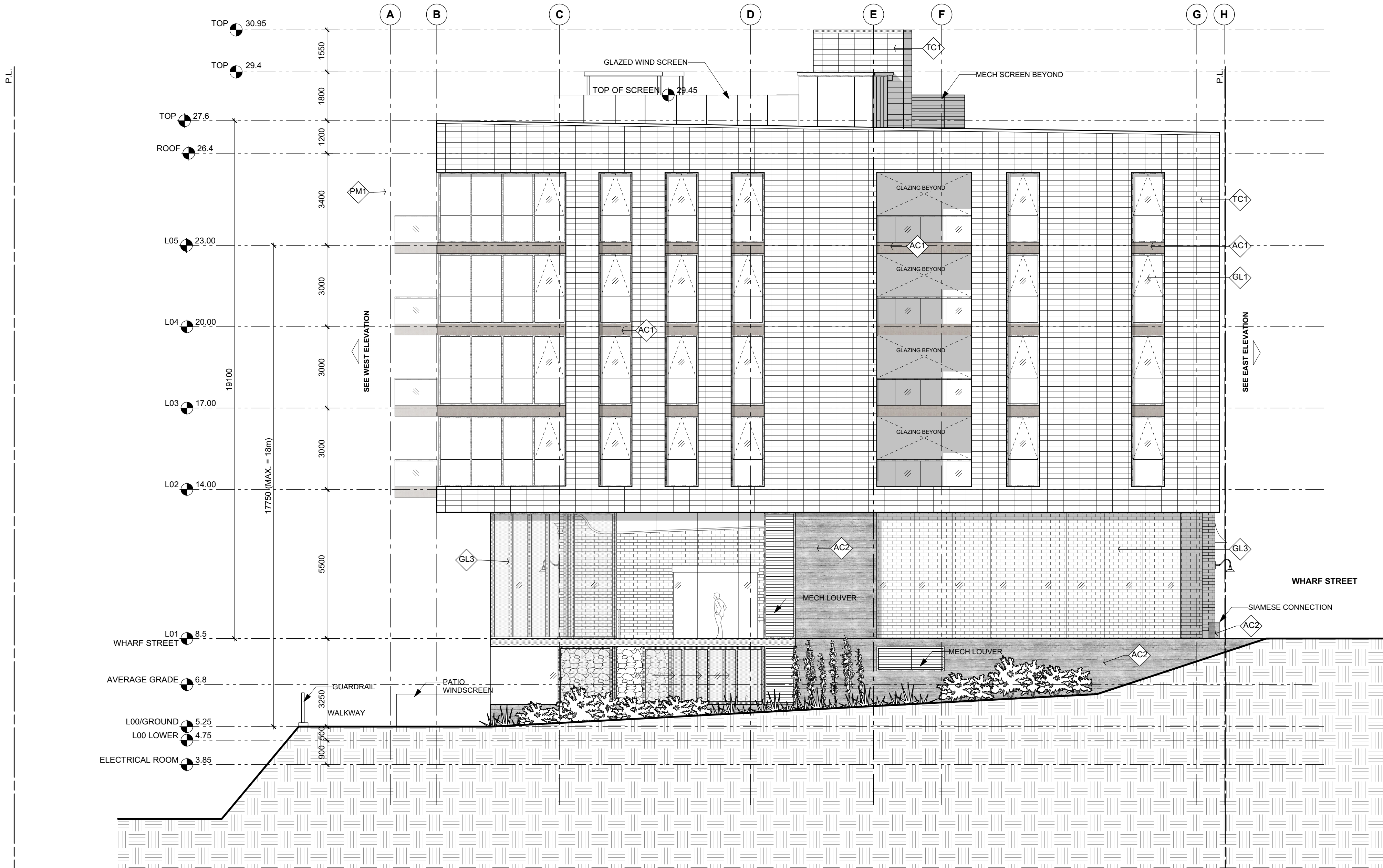
1314-1318 Wharf Street, Victoria BC

South Elevation

DRAWN: AP  
PLOT DATE: CHECKED: AB

A-401

19004C



SOUTH ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND

- GL1 - NEW RESIDENTIAL GLAZING  
GL2 - HERITAGE STYLE GLAZING  
GL3 - COMMERCIAL GLAZING  
CMP1 - METAL PANEL TYPE 1  
AC1 - PRECAST ARCH CONCRETE  
AC2 - BOARD FORM ARCH CONCRETE  
BM1 - EXISTING BRICK MASONRY  
BM2 - NEW BRICK MASONRY TYPE 1  
TM1 - TERRACOTTA MASONRY  
MS1 - STAMPED METAL SOFFIT  
PM1 - DARK PAINTED METAL  
PM2 - MEDIUM PAINTED METAL



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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

West Elevation

DRAWN: AP  
PLOT DATE: CHECKED: AB

A-402

19004C



WEST ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND	
	GL1 - NEW RESIDENTIAL GLAZING
	GL2 - HERITAGE STYLE GLAZING
	GL3 - COMMERCIAL GLAZING
	CMP1 - METAL PANEL TYPE 1
	AC1 - PRECAST ARCH CONCRETE
	AC2 - BOARD FORM ARCH CONCRETE
	BM1 - EXISTING BRICK MASONRY
	BM2 - NEW BRICK MASONRY TYPE 1
	TM1 - TERRACOTTA MASONRY
	MS1 - STAMPED METAL SOFFIT
	PM1 - DARK PAINTED METAL
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SEAL

Northern Junk

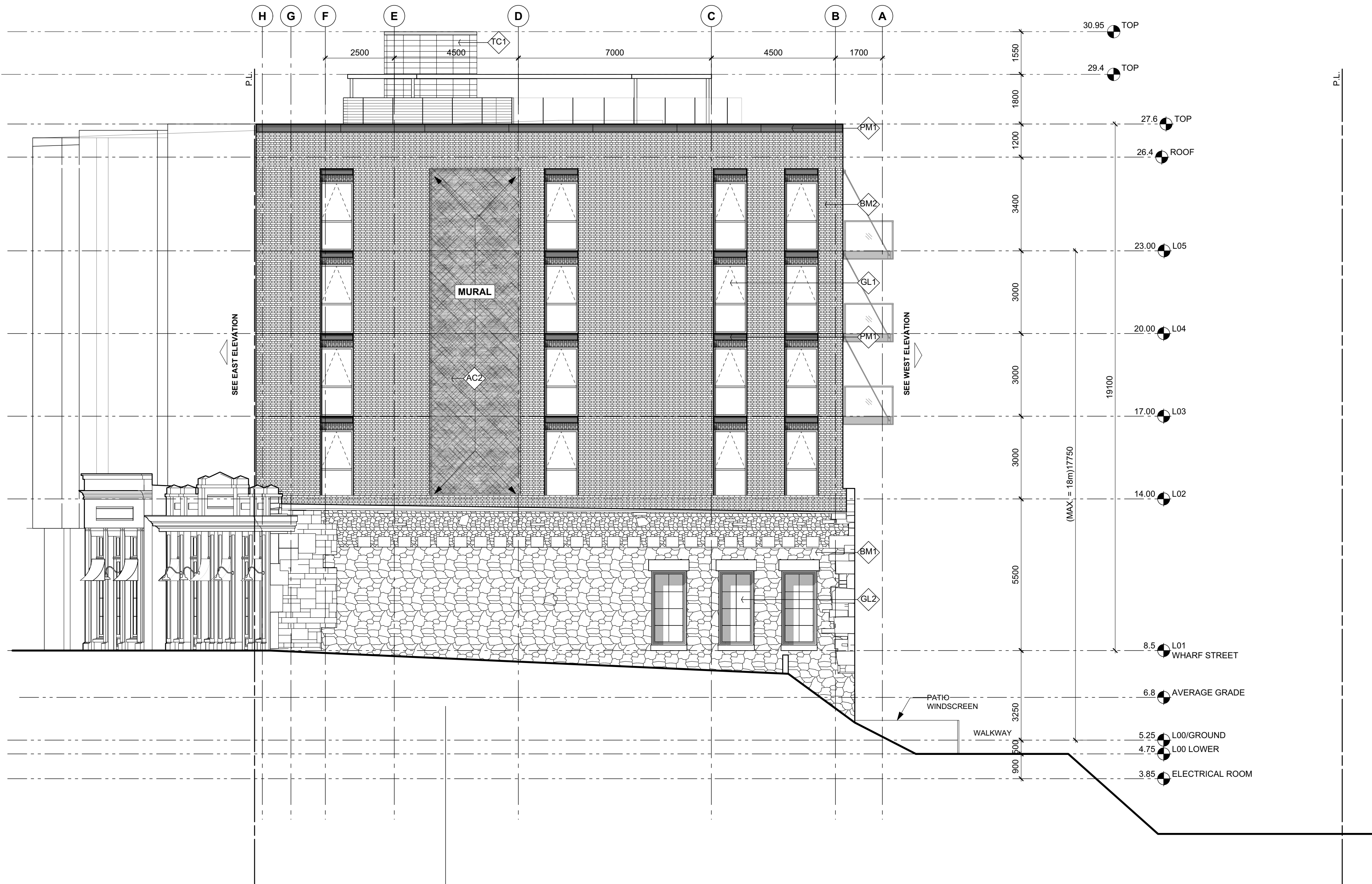
1314-1318 Wharf Street, Victoria BC

North Elevation

DRAWN: AP  
PLOT DATE: CHECKED: AB

A-403

19004C



NORTH ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND	
	GL1 - NEW RESIDENTIAL GLAZING
	GL2 - HERITAGE STYLE GLAZING
	GL3 - COMMERCIAL GLAZING
	CMP1 - METAL PANEL TYPE 1
	AC1 - PRECAST ARCH CONCRETE
	AC2 - BOARD FORM ARCH CONCRETE
	BM1 - EXISTING BRICK MASONRY
	BM2 - NEW BRICK MASONRY TYPE 1
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SEAL

Northern Junk

1314-1318 Wharf Street, Victoria BC

East Elevation

DRAWN: AP  
PLOT DATE: CHECKED: AB

A-404

19004C



EAST ELEVATION

SCALE: 1:100

1

MATERIAL LEGEND	
	GL1 - NEW RESIDENTIAL GLAZING
	GL2 - HERITAGE STYLE GLAZING
	GL3 - COMMERCIAL GLAZING
	CMP1 - METAL PANEL TYPE 1
	AC1 - PRECAST ARCH CONCRETE
	AC2 - BOARD FORM ARCH CONCRETE
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SEAL

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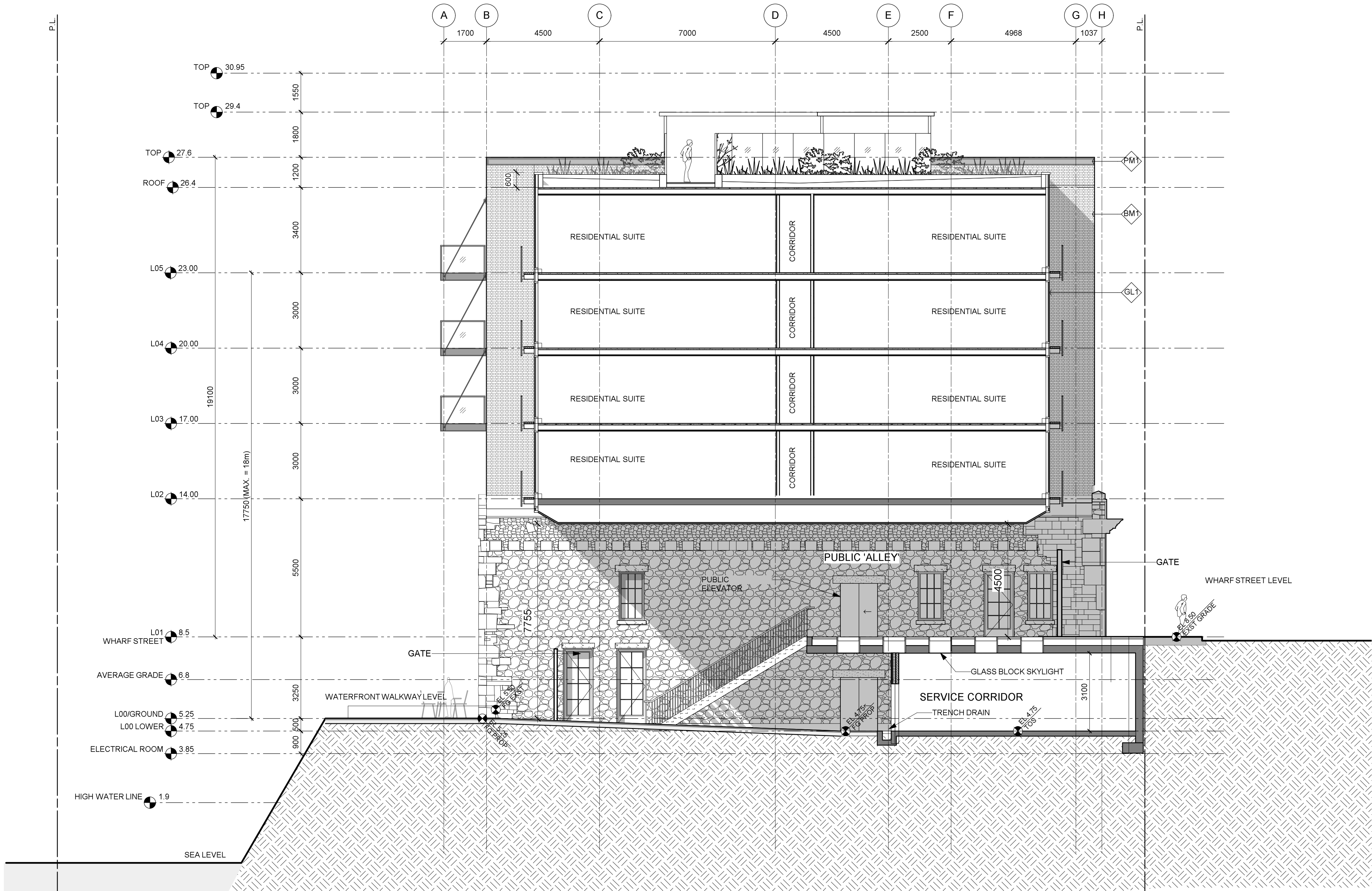
1314-1318 Wharf Street, Victoria BC

Section - A1

DRAWN: AP  
PLOT DATE: CHECKED: AB

A-501

19004C





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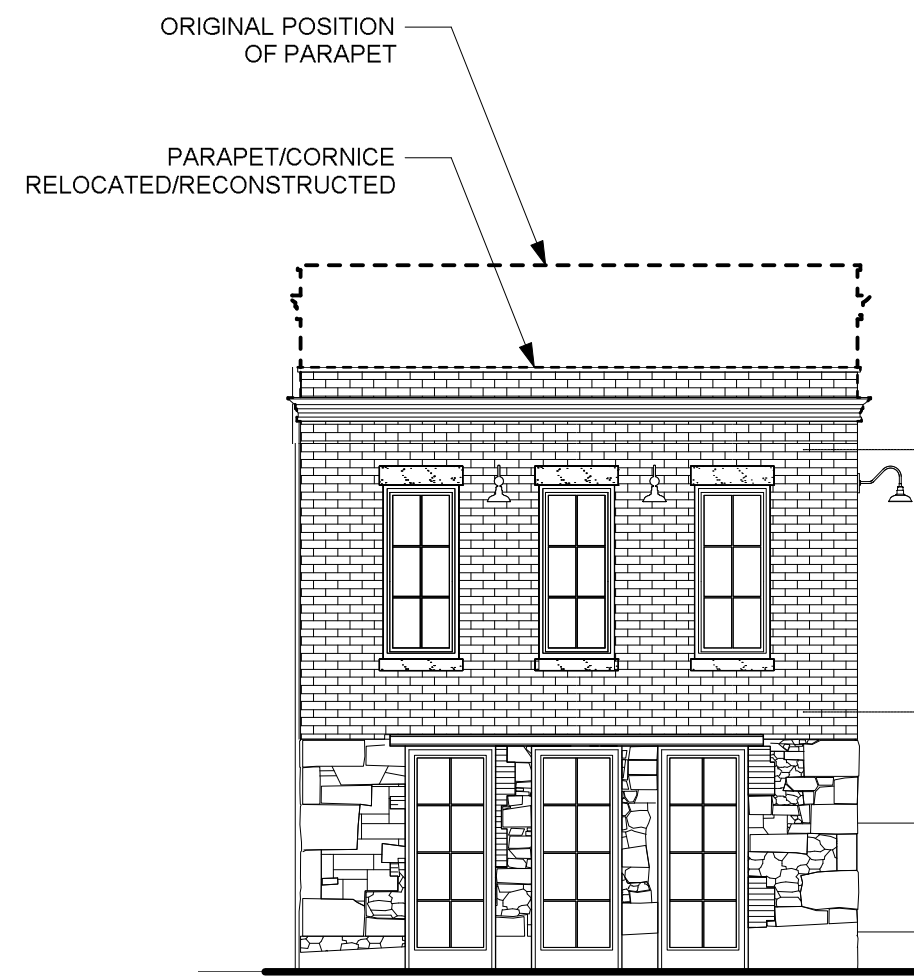
1314-1318 Wharf Street, Victoria BC

Section - A2

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CHECKED: AB

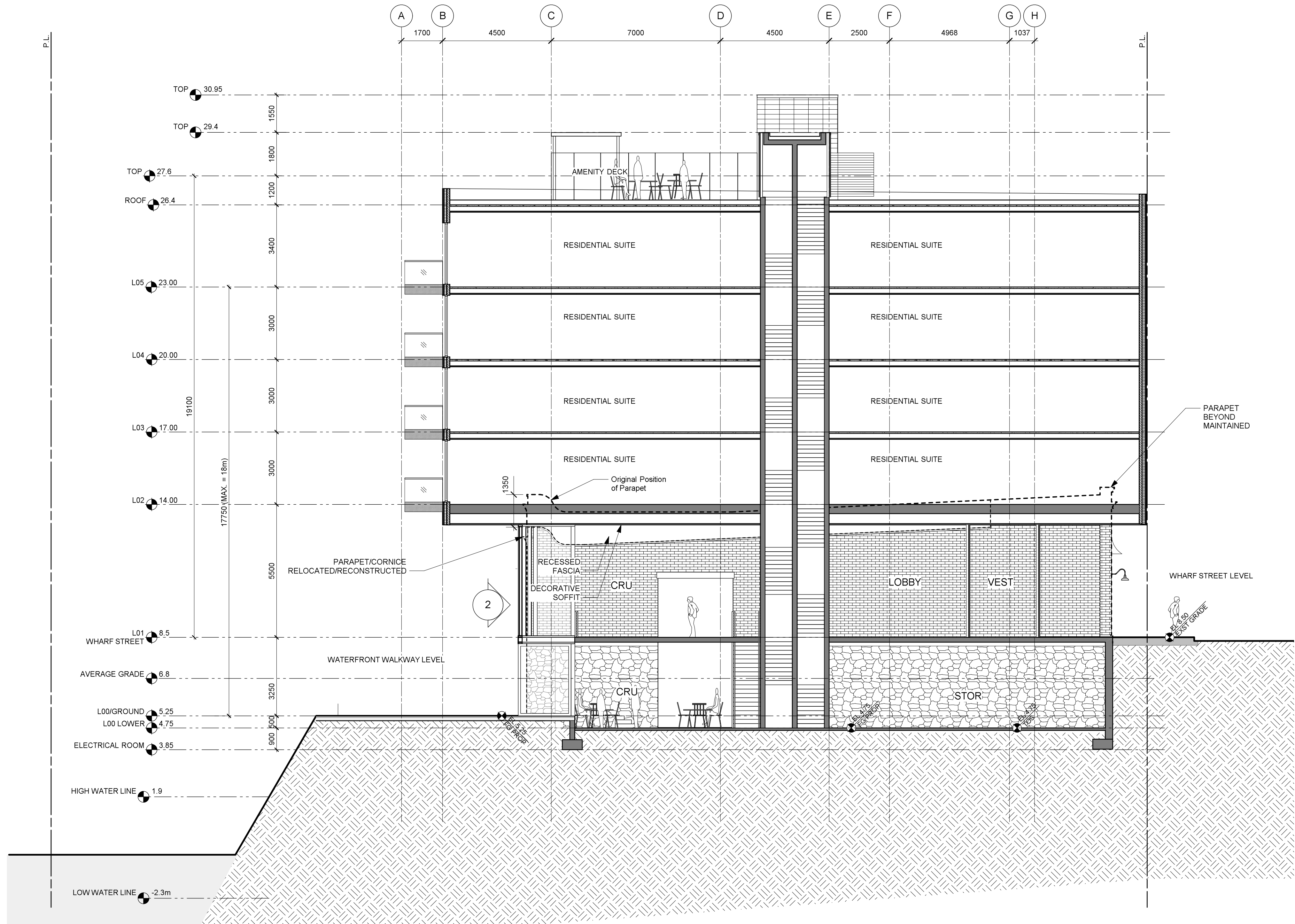
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19004C



WEST ELEVATION OF SOUTH BUILDING  
SCALE: 1:100

2



SECTION 1B

SCALE: 1:100

1



# JOHNSON STREET NORTHERN JUNK

## REZONING /HERITAGE ALTERATION PERMIT\_R2

### DRAWING LIST:

- L0.00 COVER
- L0.01 DESIGN RATIONALE
- L0.02 TREE MANAGEMENT PLAN
- L0.03 HIGH AND LOW TIDE DIAGRAM
- L1.01 LAYOUT PLAN - SURFACE LOT LOADING OPTIONS
- L1.02 LAYOUT AND MATERIALS PLAN - GROUND LEVEL
- L1.03 LAYOUT AND MATERIALS PLAN - ROOF
- L2.01 SECTIONS
- L2.02 SECTIONS

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2

PROJECT

**Johnson Street  
Northern Junk  
Site Layout**

ADDRESS

1314 WHARF STREET

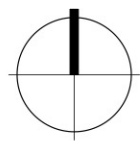
Lot 182F (001-005-723)

DRAWING TITLE

**COVER**

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NORTH



SCALE

PROJECT NO.	15030		
DATE	October 2019		
FILE NAME	15030 Northern Junk Plan.vwx		
PLOTTED	2020-08-07		
DRAWN	TK	REVIEWED	JO

DRAWING

L0.00



Northern Junk Design Rationale

The landscape design associated with the updated Northern Junk building creates a functional and vibrant urban waterfront space that celebrates City of Victoria’s shoreline. The public will benefit from the extended connection of the David Foster Way, proximities to Reeson Park and Johnson Street Bridge Public Realm.

Wharf Street Connection

The cast in place concrete sidewalk follows the requirements outlined in the Downtown Public Realm Plan and Streetscape Standards for the district of Inner Harbour. While there isn’t room to include street trees between the existing buildings and the curb line, by not shifting the curb to achieve the necessary space we are able to protect the mature trees opposite the building. The hardscape paving in the passage between the buildings uses the same rhythm as the jointing in the sidewalk to create unity of the two spaces. The passageway also benefits from the glass tiles that create a light well into the spaces below. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. A gate located in line with the building faces and designed with historical reference can be used to secure the passageway after business hours.

Reeson Park Interface

The building design promotes an eyes-on-the park relationship of the CRU, the lobby and the residential units above Reeson Park. This is not only a benefit to the residents but provides a significant CPTED improvement as the sunken park is not in view from the street.

David Foster Way

The public extension of David Foster Way matches and aligns with the existing 4.5-meter width. The walkway is constructed from heavy timber members that evoke the industrial historical significance of the site. Emphasizing this relationship between the built and natural environment is a large precast “stone” seating feature. It provides a place to rest, wait for a table at the restaurant or simply enjoy the view.

The two outdoor patios are surfaced with stone pavers that create significant visual distinction between private and public spaces and also carry the historical connotation. These patios will provide animation along the David Foster Way. The comfortable atmosphere of the outdoor dining patios is created by discrete glass enclosures and two planters defining the spaces and protecting from the ocean winds. It is further emphasized by catenary lighting that defines the space with open canopy and provides soft ambient light.

The lower level of the passageway between the historical buildings uses heavy timber paving to create visual unity between the passageway and David Foster Way. In-ground lighting along the edges provides safe lighting levels to prevent CTPED related issues. As at the top on Wharf Street, a gate In line with the buildings provides after business hour security.

Rooftop

The rooftop includes an extensive sedum grass and perennial green roof and patios for residents. The patios are paved with hydropressed pavers to allow for ease of removal for replacement and access to the slab for maintenance. There are three large cast in place planters located on the roof, one of which will serve as urban agricultural plot for the residents. Three shade structures will be providing comfort for residents using the roof for gardening or for leisure. The plant palette includes small native trees and native adapted plants with a variety of bloom periods and textures to reduce the need for watering while delivering all season interest.

Sustainability

Locally sourced stone pavers, manufactured timber and paving slabs have been selected as the paving material for their durability. A high efficiency, fully automated drip irrigation system with rain sensor will ensure healthy plant growth while keeping water use to a minimum. The green roof improves air quality, provides significant areas of planted space which will contribute to the reduction of heat island effect, reduce the urban storm water runoff and increases the habitat area along the shoreline.



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2

PROJECT

Johnson Street  
Northern Junk  
Site Layout

ADDRESS

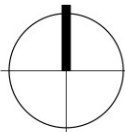
1314 WHARF STREET  
  
Lot 182F (001-005-723)

DRAWING TITLE

DESIGN RATIONALE

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NORTH



SCALE

PROJECT NO.

15030

DATE

October 2019

FILE NAME

15030 Northern Junk Plan.vwx

PLOTTED

2020-08-07

DRAWN

TK

REVIEWED

JO

DRAWING

L0.01



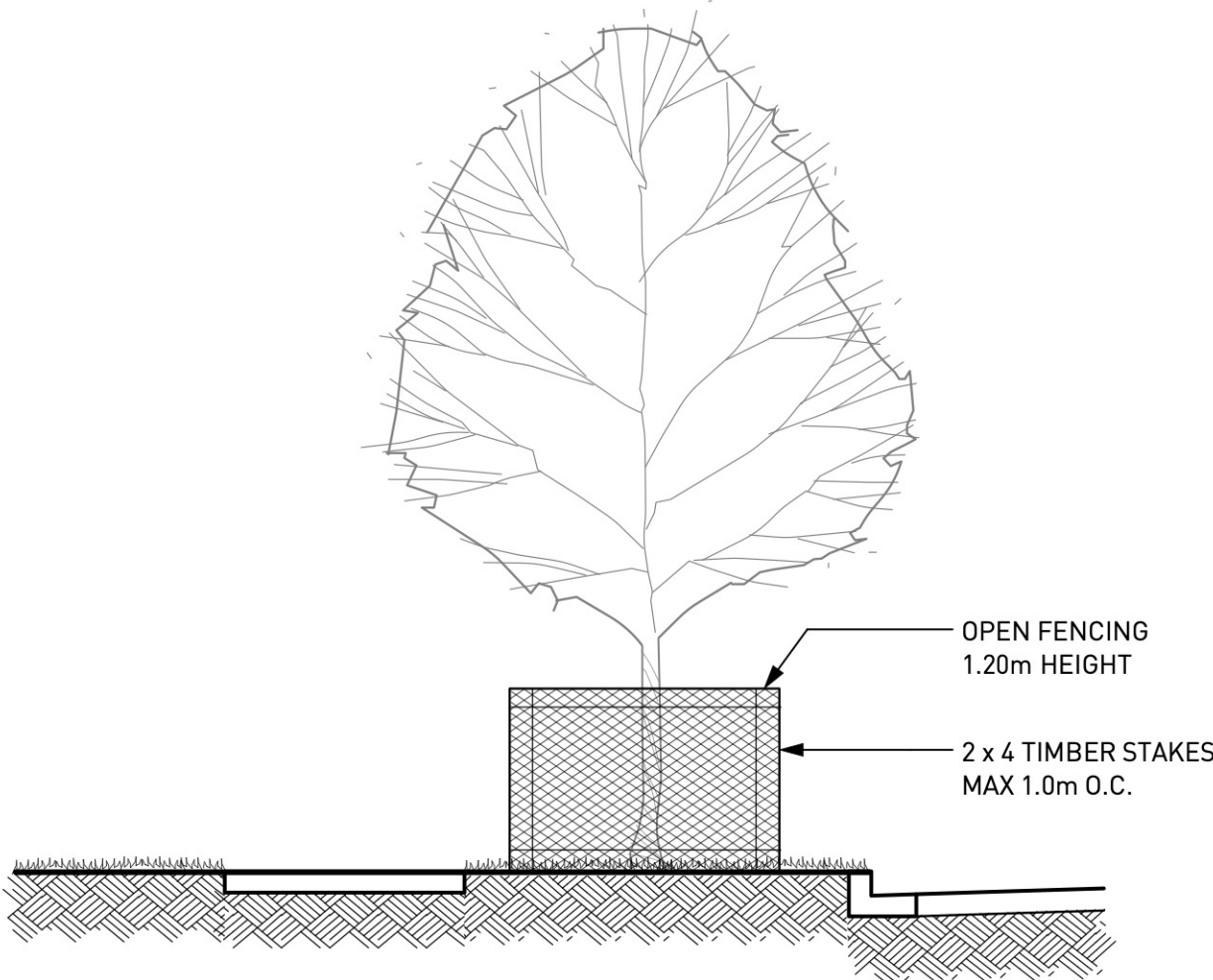
TREE PROTECTION GENERAL NOTES

- A. EXCAVATION AROUND TREES**
  - EXCAVATION WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
  - DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
  - TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED BY 1.8M (6'-0") HIGH SEMI-PERMANENT CHAIN-LINK FENCING. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
- B. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES**
  - HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS.
  - USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS.
  - RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
- C. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES**
  - TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING.
  - DO NOT CUT MAIN LATERAL ROOTS.
  - CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS.
  - ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 15cm (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS.
- D. PROTECTION OF EXPOSED ROOTS**
  - DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:

A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.

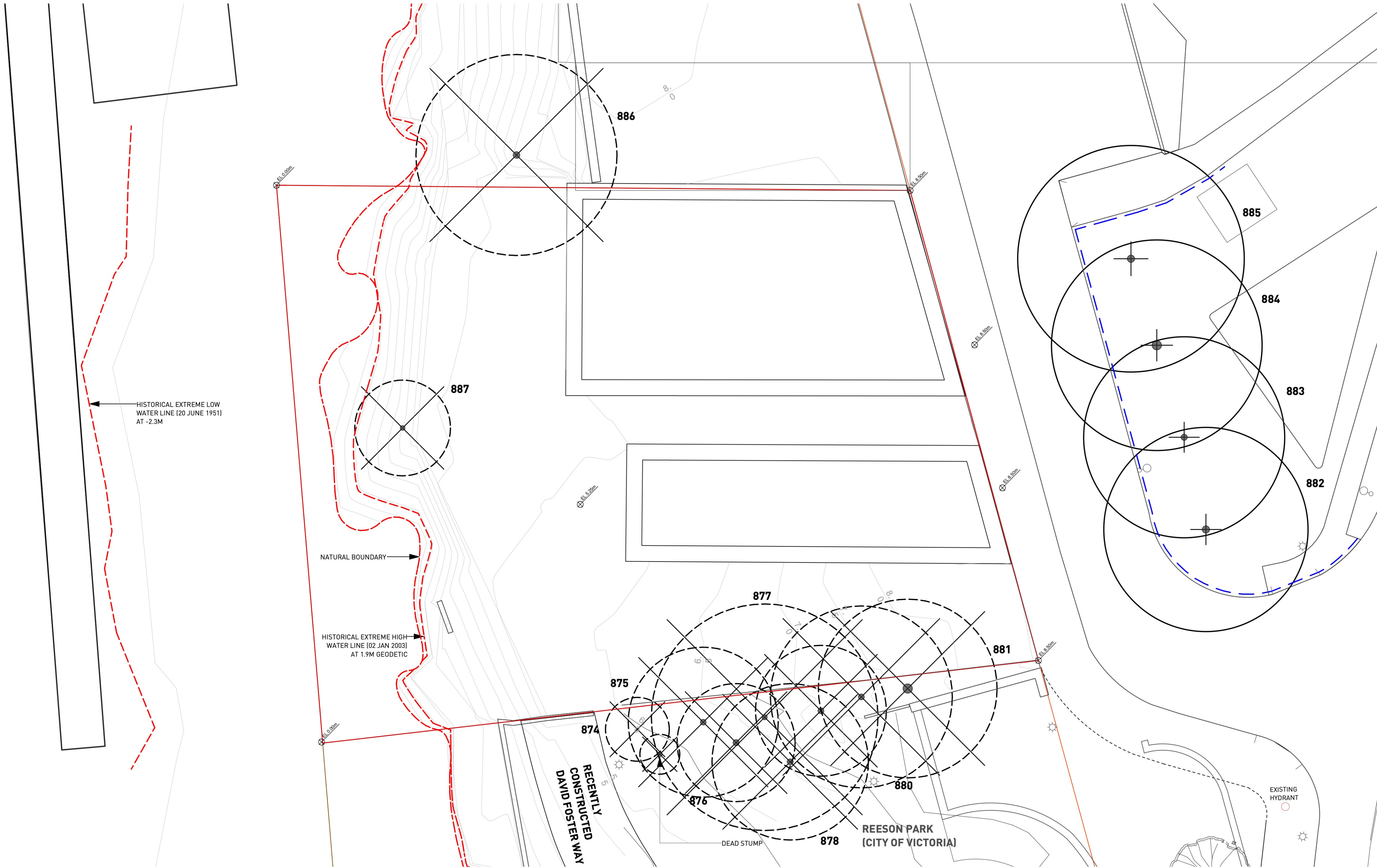
B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.

C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
  - TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
  - WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS.



1 TREE PROTECTION BARRIER FENCING DETAIL  
NTS

TREE MANAGEMENT LEGEND	
	TREE TO BE REMOVED
	TREE TO BE RETAINED
	TREE PROTECTION ZONE AND FENCING



**NOTE:**  
TO OFFSET THE LOSS OF TREES THAT ARE TO BE REMOVED, THE APPLICANT IS PROVIDING A CASH-IN-LIEU OFF SITE TREE REPLACEMENT AT A FOUR TO ONE RATIO WITH VALUES SET PER THE TREE PRESERVATION BYLAW (BYLAW NO.05-106) FOR PUBLIC REALM IMPROVEMENTS

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2

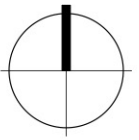
PROJECT  
**Johnson Street  
Northern Junk  
Site Layout**

ADDRESS  
1314 WHARF STREET  
  
Lot 182F (001-005-723)

DRAWING TITLE  
**TREE MANAGEMENT  
PLAN**

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NORTH



SCALE

**1:150**

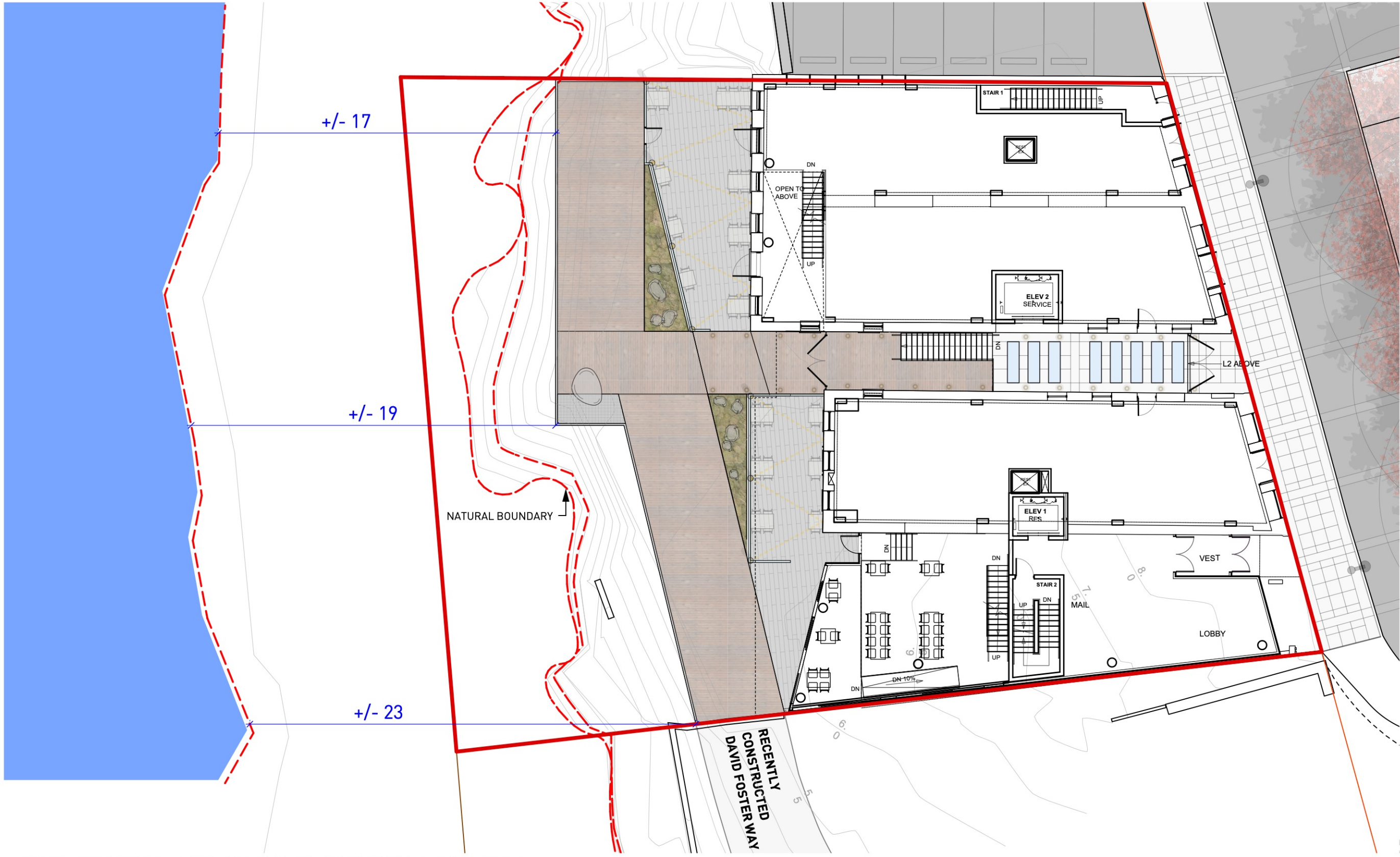
PROJECT NO.	15030		
DATE	October 2019		
FILE NAME	15030 Northern Junk Plan.vwx		
PLOTTED	2020-08-07		
DRAWN	TK	REVIEWED	JO

DRAWING

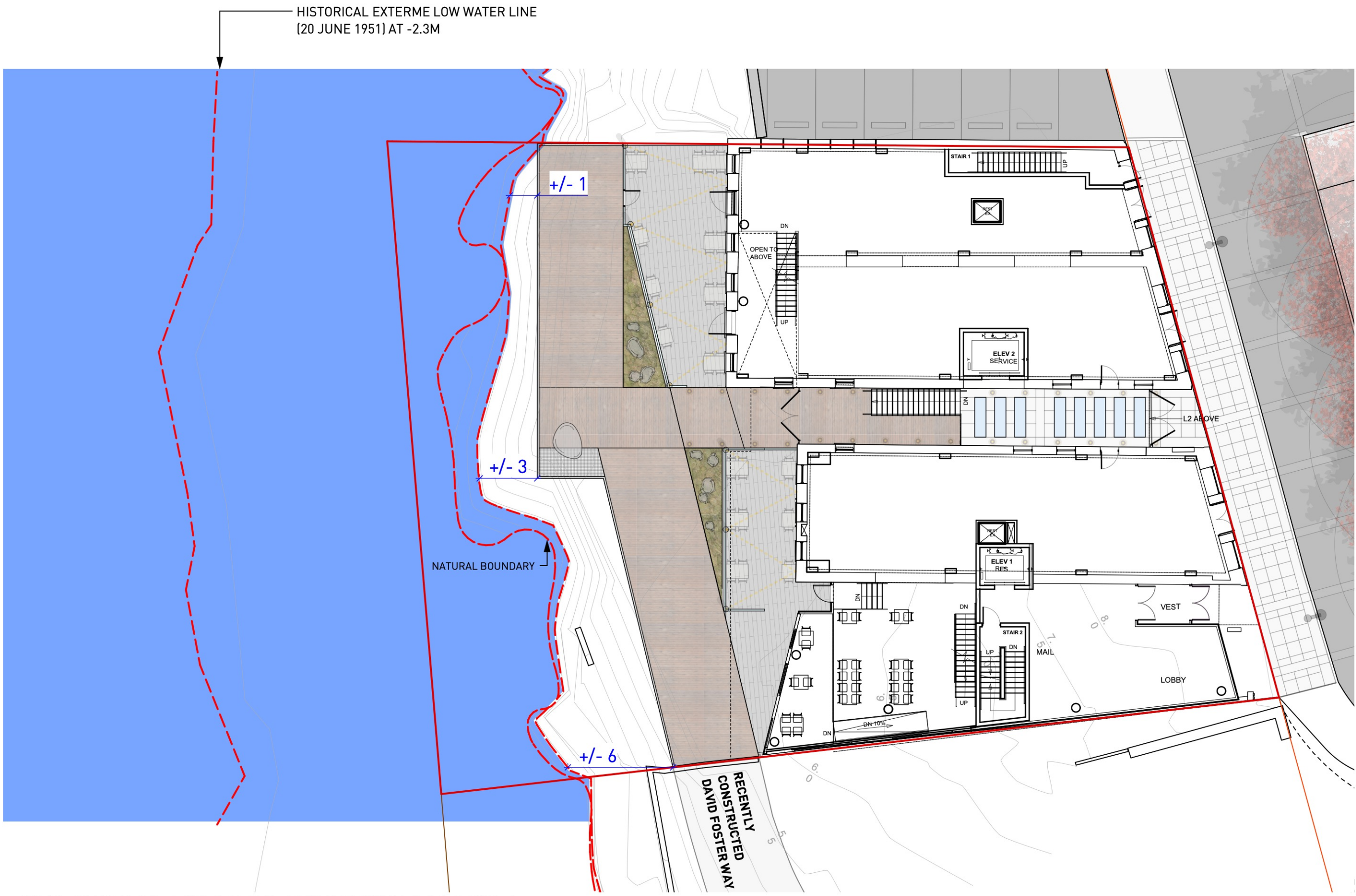
L0.02



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2



**HISTORICAL EXTREME LOW WATER LINE  
(20 JUNE 1951) AT -2.3M**



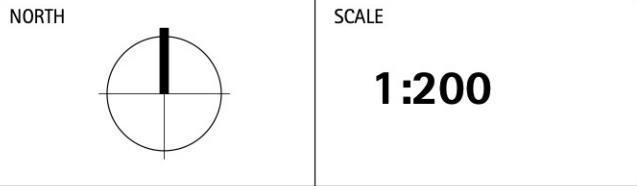
**HISTORICAL EXTREME HIGH WATER LINE  
(02 JAN 2003) AT 1.9M GEODETIC**

**PROJECT**  
**Johnson Street  
Northern Junk  
Site Layout**

**ADDRESS**  
1314 WHARF STREET  
  
Lot 182F (001-005-723)

**DRAWING TITLE**  
**HIGH AND LOW TIDE  
DIAGRAM**

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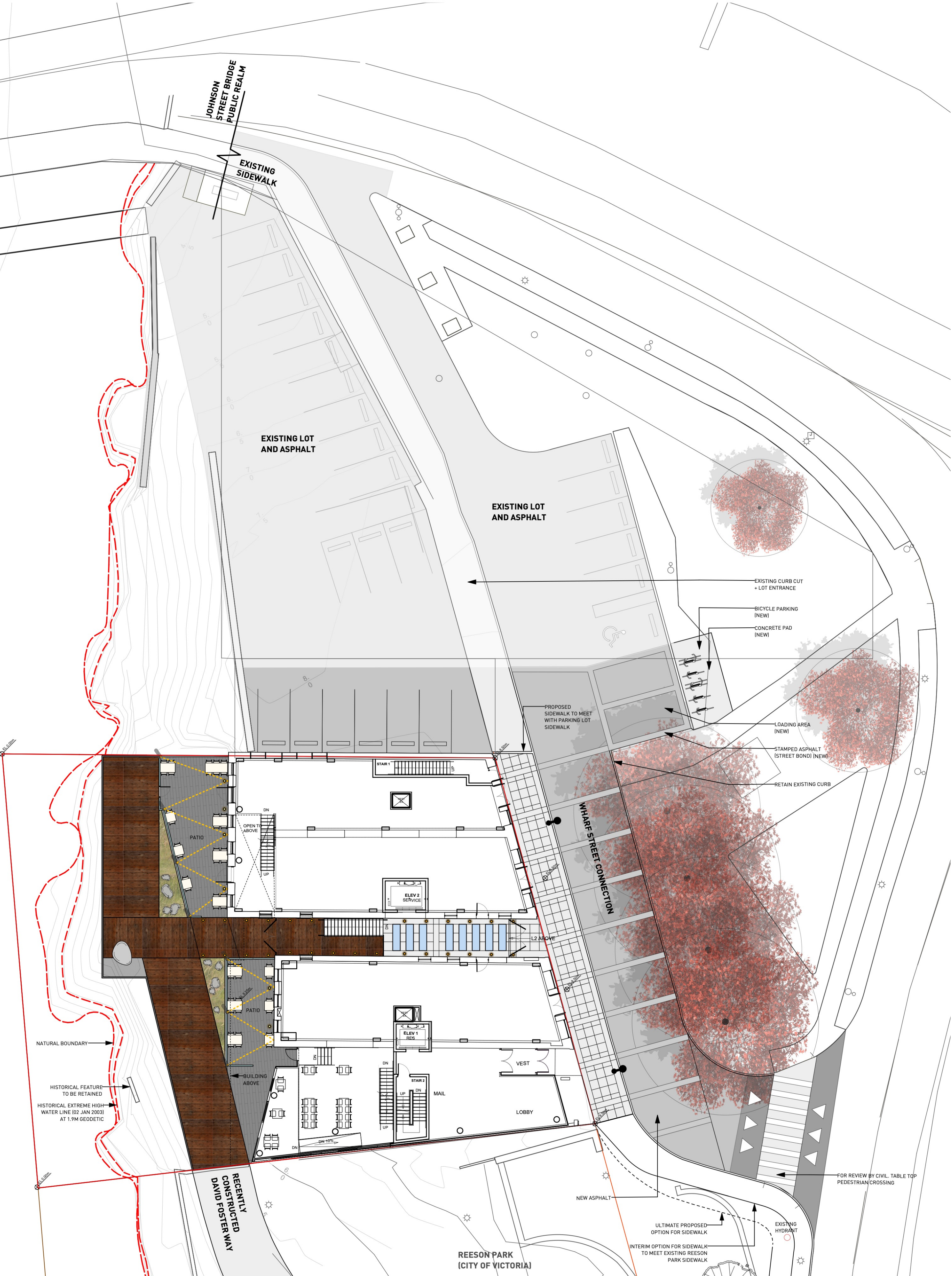
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2020-08-07
DRAWN	TK
REVIEWED	JO

DRAWING

**L0.03**



INTERIM PROPOSED CONDITION: MAINTAIN THE PARKING LOT



ULTIMATE PROPOSED CONDITION: ADJACENT SITE REDEVELOPED



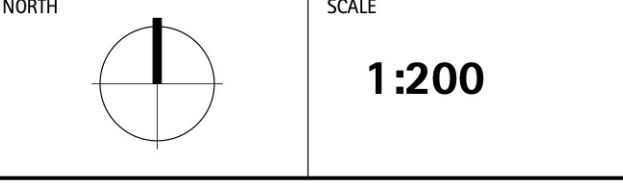
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
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3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2

PROJECT  
Johnson Street  
Northern Junk  
Site Layout

ADDRESS  
1314 WHARF STREET  
Lot 182F (001-005-723)

DRAWING TITLE  
LAYOUT - SURFACE LOT  
LOADING OPTION

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



PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2020-08-07
DRAWN	TK
REVIEWED	JO
DRAWING	

L1.01



1. DO NOT SCALE DRAWING. LAYOUT AS PER DIMENSIONS NOTED ON LANDSCAPE PLANS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
2. LAYOUT AND MATERIALS DRAWINGS ARE TO BE READ IN CONJUNCTION WITH LANDSCAPE SPECIFICATIONS.
3. LANDSCAPE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND ENGINEERING DRAWINGS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
4. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO CONSULTANT FOR REVIEW AND RESPONSE.
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6. REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
	Timber Decking
	Stone Paving
	Light Wells
	CIP Concrete Sidewalk As per City of Victoria Standards
	CIP Concrete
	Stamped Asphalt (Street Bond)
	Metal Grate Platform
	Hydrapressed Pavers

LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
	Catenary Lights
	In Ground Lights
	Proposed Streetlights
	Lighting for Heritage Building



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2

# PROJECT

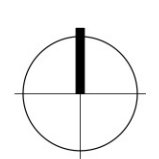
## Johnson Street Northern Junk Site Layout

ADDRESS  
1314 WHARF STREET  
Lot 182F (001-005-723)

DRAWING TITLE

LAYOUT AND MATERIALS  
PLAN - GROUND LEVEL

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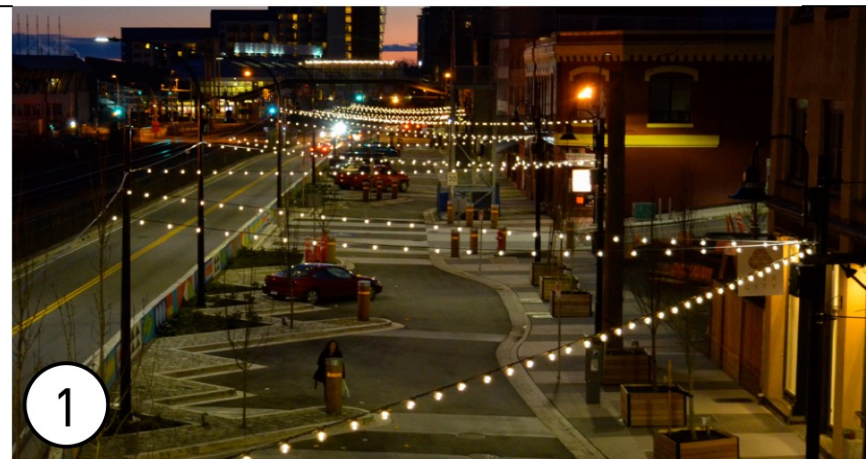
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PROJECT NO.	<b>15030</b>		
DATE	<b>October 2019</b>		
FILE NAME	<b>15030 Northern Junk Plan.vwx</b>		
PLOTTED	<b>2020-08-07</b>		
DRAWN	<b>TK</b>	REVIEWED	<b>JO</b>

DRAWING

**IMAGES AS PER FOLLOWING:**

1. CATENARY LIGHTING
2. IN GROUND LIGHTING
3. STONE PAVING
4. STONE SHAPESEAT
5. TIMBER DECKING



# L1.02



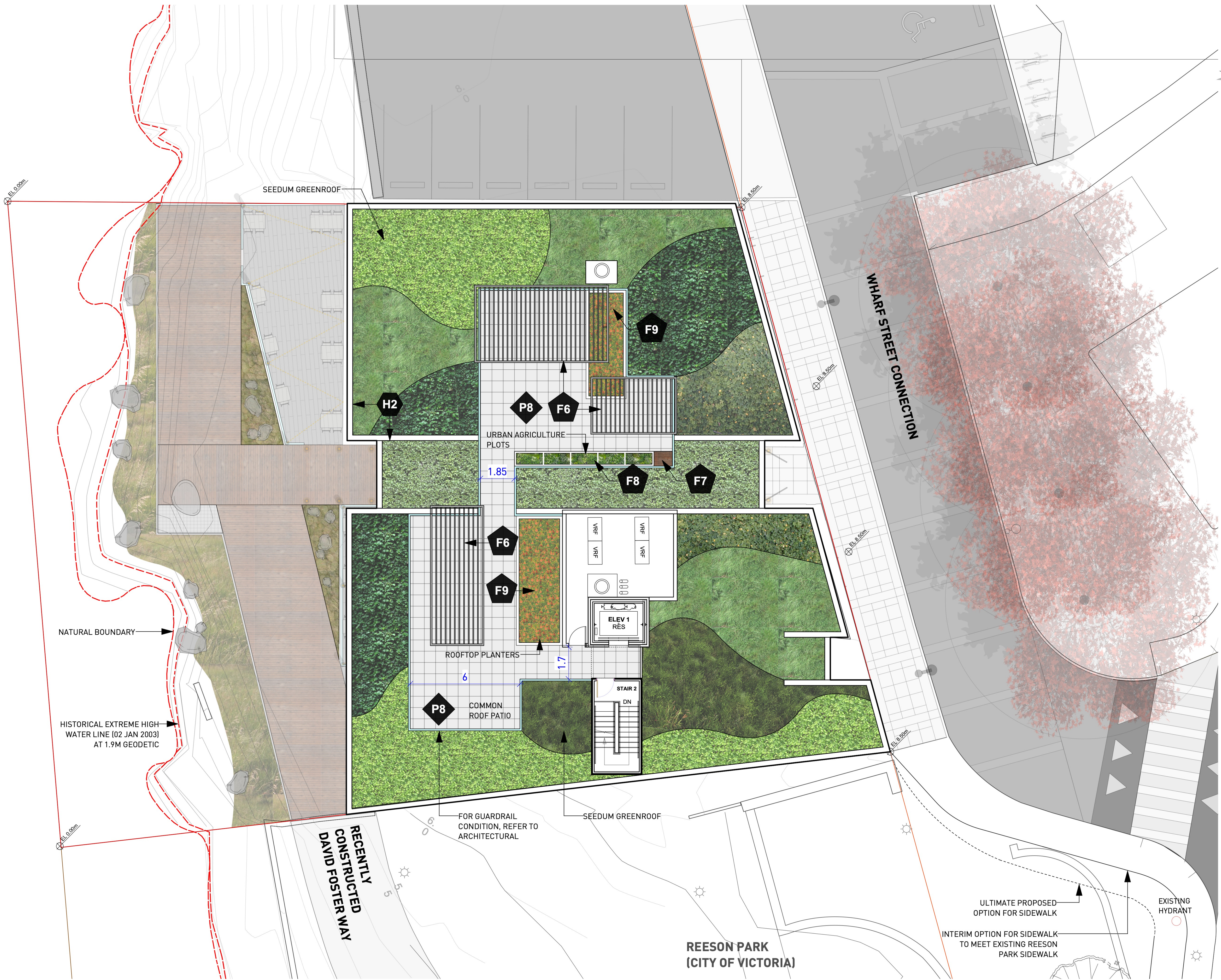
- LAYOUT AND MATERIALS GENERAL NOTES**
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  - REFERENCE CIVIL ENGINEER'S DRAWINGS FOR LAYOUT OF ROAD CURBS AND GUTTERS.

HARDSCAPE MATERIALS LEGEND	
KEY	DESCRIPTION
H1	Metal Guard Rail As per City of Victoria Standards for David Foster Way
H2	Parapet Wall Refer to Architecture

PAVING MATERIALS LEGEND	
KEY	DESCRIPTION
P1	Timber Decking
P2	Stone Paving
P3	Light Wells
P4	CIP Concrete Sidewalk As per City of Victoria Standards
P5	CIP Concrete
P6	Stamped Asphalt (Street Bond)
P7	Metal Grate Platform
P8	Hydrapressed Pavers

SITE FURNISHING MATERIALS LEGEND	
KEY	DESCRIPTION
F1	Catenary Light Post
F2	Metalco Stone Free Shape Seat
F3	Metal Gate
F4	Glass Guardrail Refer to Architecture
F5	Bike Racks As per City of Victoria Bicycle Parking Strategy
F6	Trellis Structure
F7	Urban Agriculture Potting Table With Storage
F8	Urban Agriculture Planters
F9	CIP Concrete Planters

LIGHTING MATERIALS LEGEND	
KEY	DESCRIPTION
L1	Catenary Lights
L2	In Ground Lights
L3	Proposed Streetlights
L4	Lighting for Heritage Building



**PWL partnership**

PWL Partnership Landscape Architects Inc  
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1201 West Pender Street  
Vancouver BC, Canada V6E 2V2  
www.pwlpartnership.com  
T 604.688.6111  
F 604.688.6112

REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
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**PROJECT**  
**Johnson Street  
Northern Junk  
Site Layout**

**ADDRESS**  
1314 WHARF STREET  
Lot 182F (001-005-723)

**DRAWING TITLE**  
**LAYOUT AND MATERIALS  
PLAN - ROOF LEVEL**

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**NORTH**

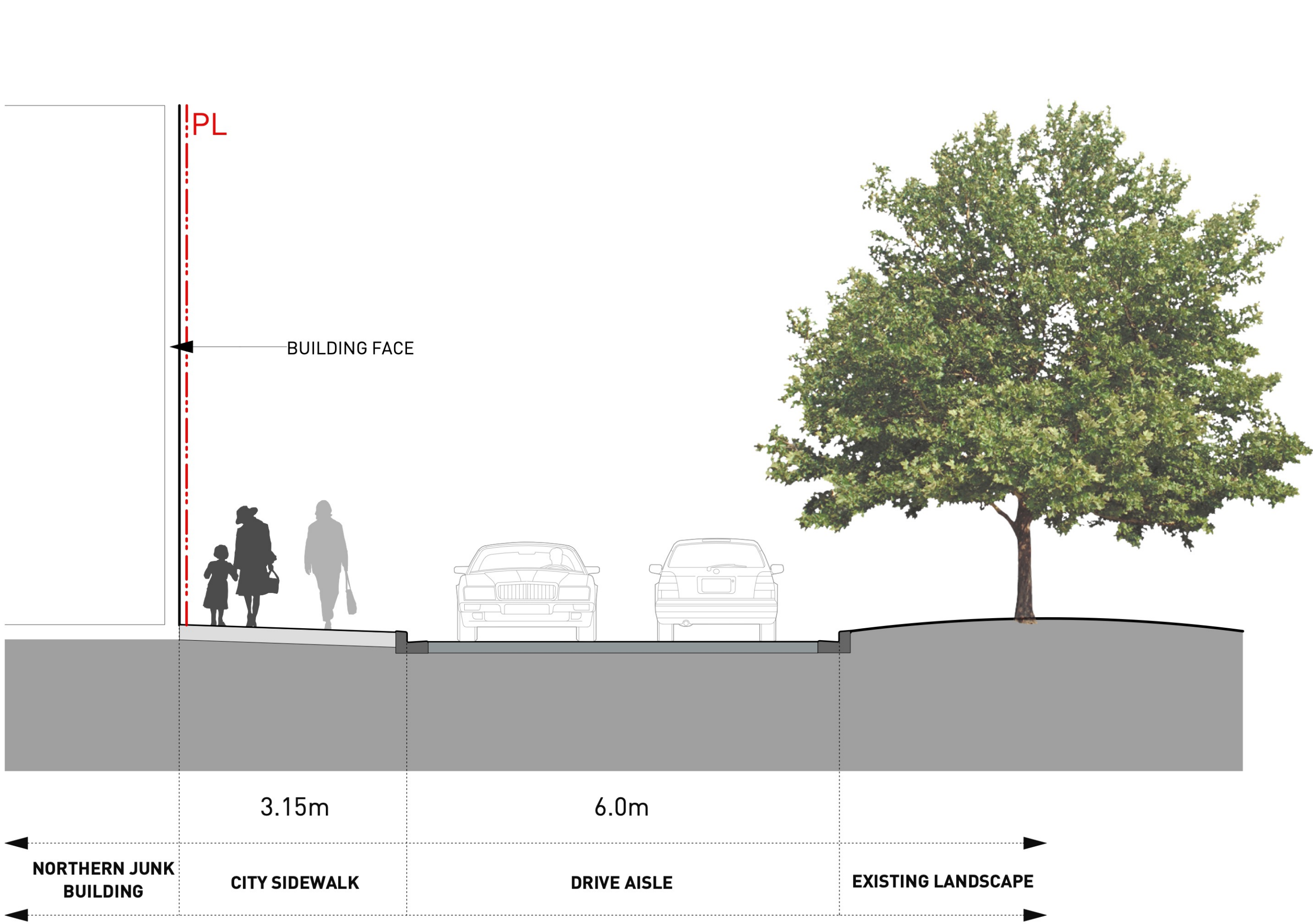
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PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Plan.vwx
PLOTTED	2020-08-07
DRAWN	TK
REVIEWED	JO

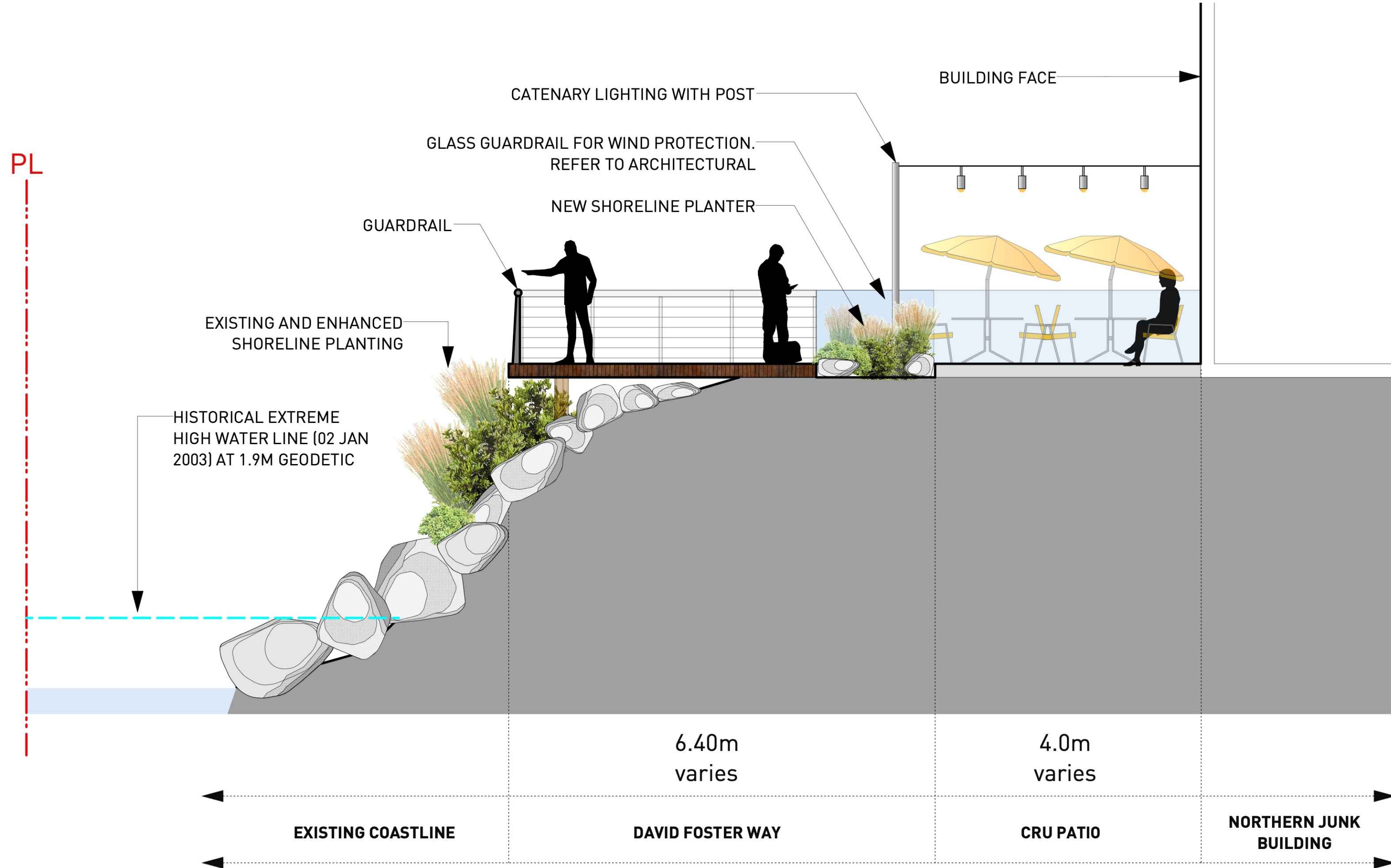
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**L1.03**

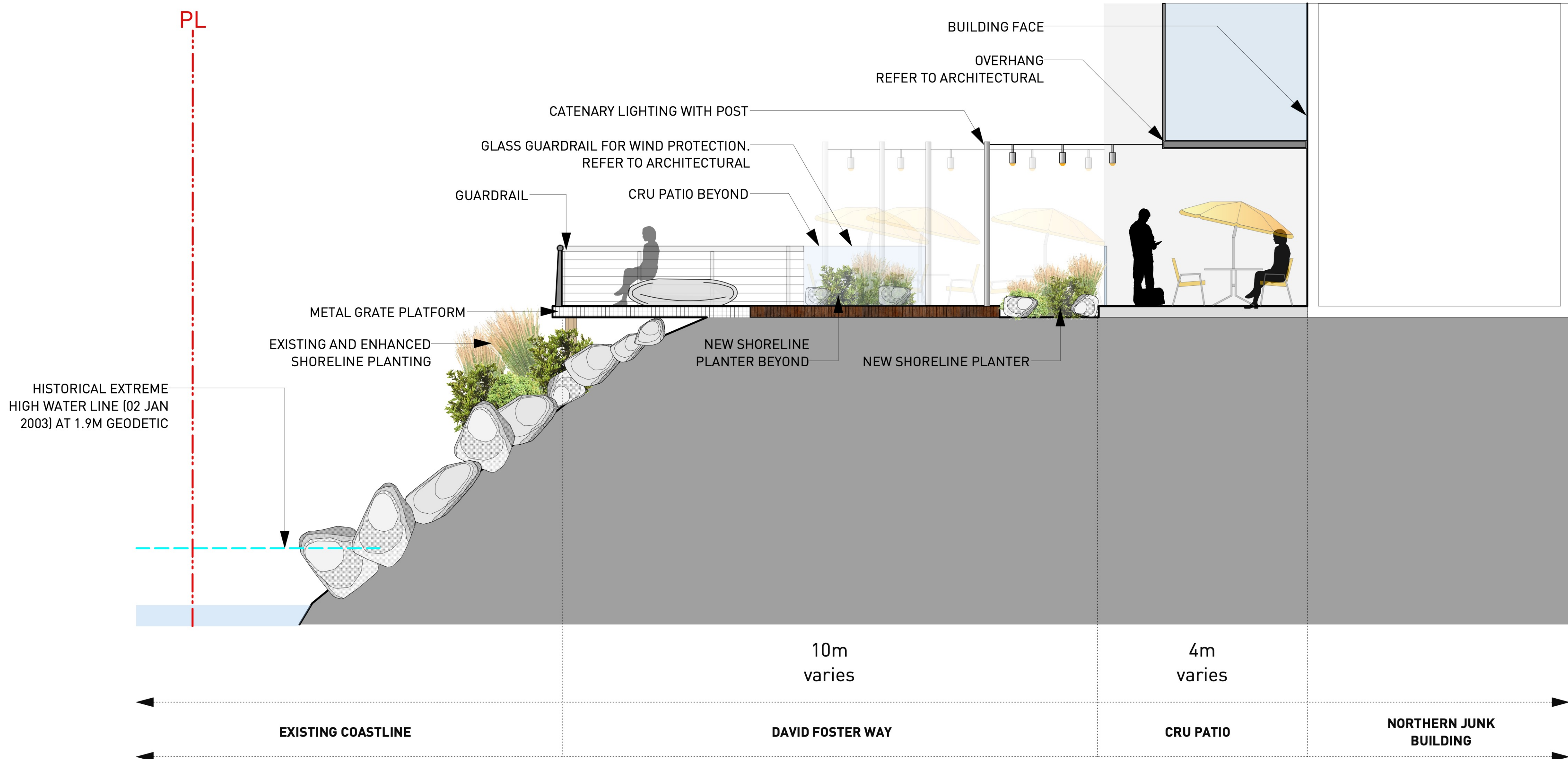




1 SECTION  
Scale: 1:50



2 SECTION  
Scale: 1:50



3 SECTION  
Scale: 1:50

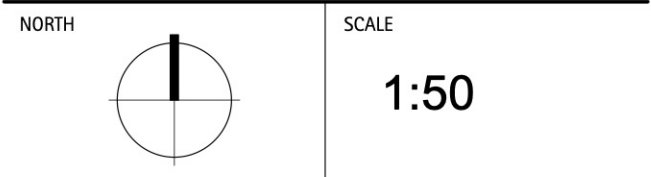
REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
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PROJECT  
**Johnson Street  
Northern Junk**

ADDRESS  
1314 WHARF STREET  
Lot 182F (001-005-723)

DRAWING TITLE  
**SECTIONS**

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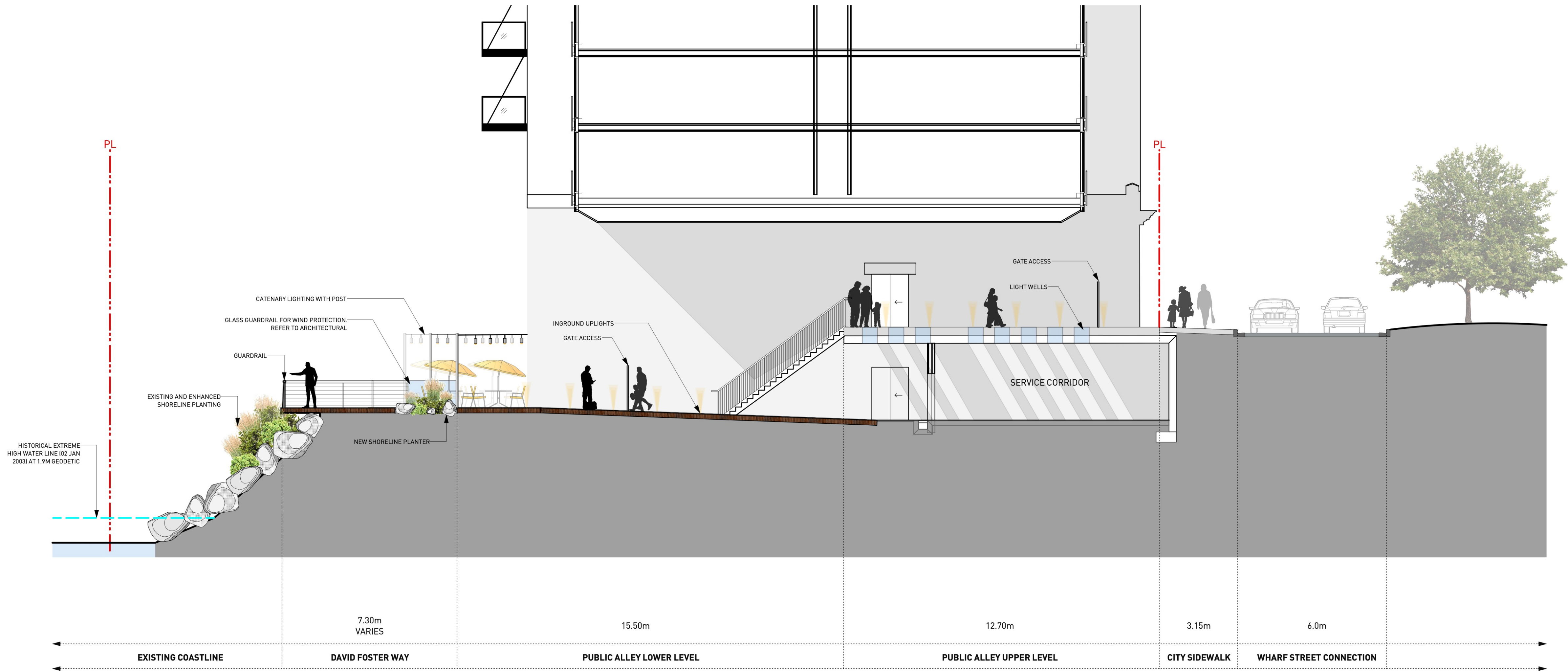
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO

DRAWING

**L2.01**



REVISIONS AND ISSUES		
NO.	DATE	DESCRIPTION
1	2020-06-19	REZONING / HERITAGE ALTERATION PERMIT
2	2020-10-11	REZONING / HERITAGE ALTERATION PERMIT_R1
3	2020-08-07	REZONING / HERITAGE ALTERATION PERMIT_R2



4 SECTION  
Scale: 1:100

PROJECT	
Johnson Street Northern Junk	
ADDRESS	
1314 WHARF STREET Lot 182F (001-005-723)	
DRAWING TITLE	
SECTIONS	

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NORTH	SCALE 1:100
PROJECT NO.	15030
DATE	October 2019
FILE NAME	15030 Northern Junk Sections.vwx
PLOTTED	
DRAWN	TK
REVIEWED	JO
DRAWING	

L2.02