

# TENANT IMPROVEMENT - BALLET ACADEMY

## DEVELOPMENT PERMIT APPLICATION

### 2713 QUADRA STREET, VICTORIA BC V8T 4E5

#### PROJECT DATA

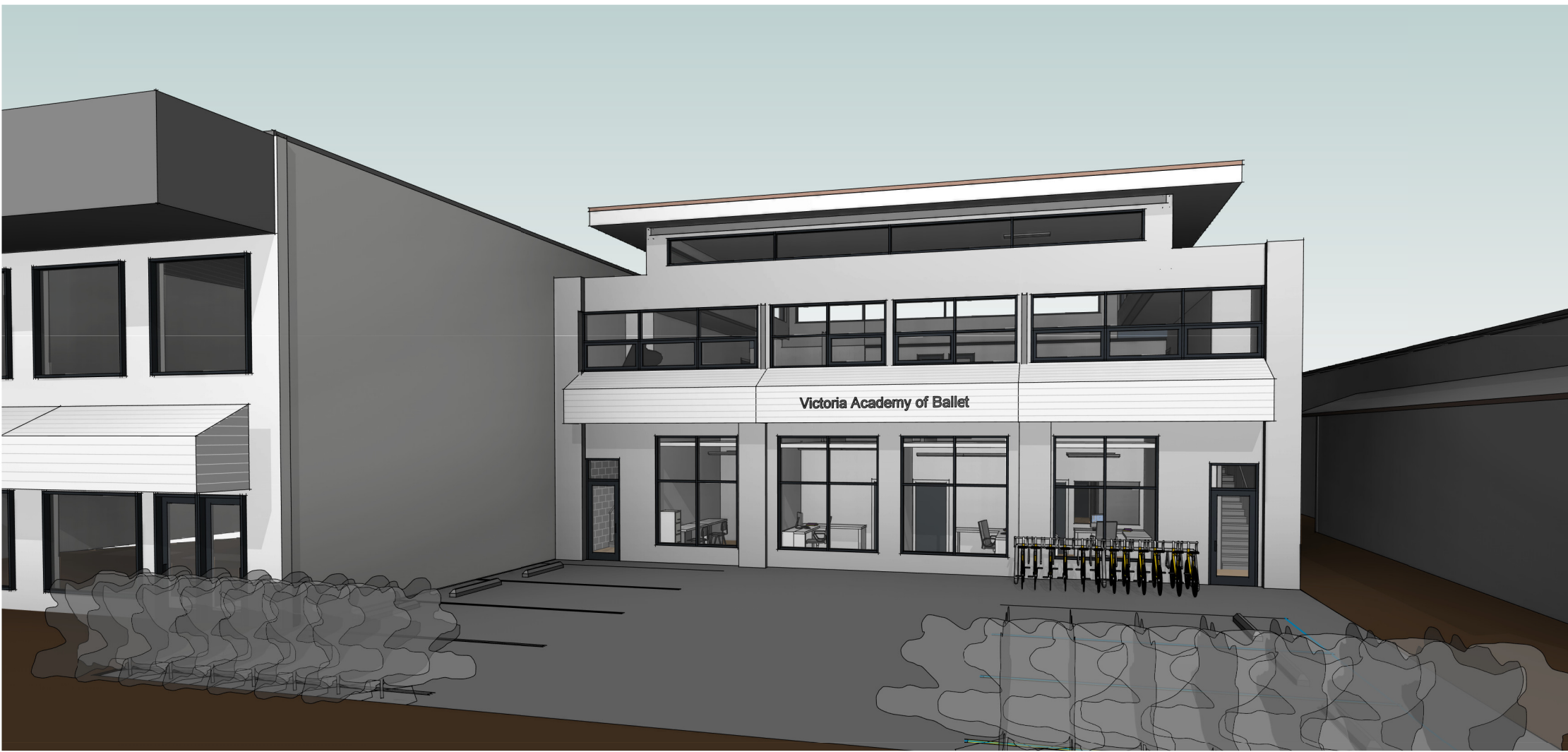
GENERAL PROPERTY INFORMATION	
ITEM	DESCRIPTION
PROJECT DESCRIPTION	TENANT IMPROVEMENTS COMPRISED OF EXTERIOR ALTERATION AND INTERIOR RENOVATION OF A SINGLE UNIT WITHIN AN EXISTING 2-STORY COMMERCIAL CONCRETE BLOCK BUILDING.
CIVIC ADDRESS	2713 QUADRA STREET, VICTORIA BC V8T 4E5
PROPERTY IDENTIFICATION NUMBER	003-983-943
LEGAL DESCRIPTION	LOT 3, BLOCK 15, SECTION 3, PLAN VIP46654
AUTHORITY HAVING JURISDICTION	CITY OF VICTORIA
APPLICABLE BUILDING CODE	BRITISH COLUMBIA BUILDING CODE, 2018 EDITION, INCLUDING ALL AMENDMENTS

#### BUILDING CODE ANALYSIS - BASE BUILDING

1 - BASE BUILDING				REFERENCES
NO.	ITEM	DESCRIPTION		
1-1	PROJECT TYPE	<input type="checkbox"/> NEW CONSTRUCTION <input type="checkbox"/> RENO. <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> TENANT IMPROVEMENT		-
1-2	GOVERNING BUILDING CODE	2018 BC BUILDING CODE, INCLUDING ALL AMENDMENTS		-
1-3	BUILDING CODE PARTS APPLICABLE	PART: 1 2 3 4 5 6 7 8 9 10 DIVISION: A B C		DIV A - 1.3.3.
1-4	MAJOR OCCUPANCY(IES)	A1 <input type="checkbox"/> A2 <input checked="" type="checkbox"/> A3 <input type="checkbox"/> A4 <input type="checkbox"/> B1 <input type="checkbox"/> B2 <input type="checkbox"/> C <input type="checkbox"/> D <input type="checkbox"/> E <input type="checkbox"/> F1 <input type="checkbox"/> F2 <input type="checkbox"/> F3 <input type="checkbox"/>		3.1.2.
1-5	MULTIPLE MAJOR OCCUPANCIES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.1.2.
1-6	FIREWALL(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.1.10.
1-7	OCCUPANT LOAD	272 SEE ATTACHED CALCULATIONS		3.1.17., 3.1.2.6.
1-8	BUILDING AREA (m²)	800m² MAXIMUM 511m² PROPOSED		1.4.1.2.
1-9	BUILDING HEIGHT (m)	9.2m PROPOSED		
1-10	BUILDING HEIGHT (STOREYS)	2 PERMITTED 2 PROPOSED		1.4.1.2.
1-11	CONSTRUCTION TYPE(S)	COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A NON-COMBUSTIBLE: <input checked="" type="checkbox"/> PERMITTED <input type="checkbox"/> PROPOSED <input type="checkbox"/> N/A		1.4.1.2., 3.2.2.25.
1-12	ASSEMBLY FIRE-RESISTANCE RATINGS	MIN. F.R.R. (MIN): 45 FLOOR (TYP.) <input type="checkbox"/> MEZZ. <input type="checkbox"/> 45 ROOF LOADBEARING ELEMENTS TO HAVE SAME F.R.R. AS SUPPORTED ASSEMBLY.		
1-13	FIRE ALARM & DETECTION SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A		3.2.4.1.(1).
1-14	AUTOMATIC SPRINKLER SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A		3.2.5.12.
1-15	MEZZANINE(S)	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.8.2.
1-16	INTERCONNECTED FLOOR SPACE	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.8.2.
1-17	NUMBER OF STREETS FACING	1 STREET(S) FACING		1.4.1.2.
1-18	FIRE DEPARTMENT ACCESS ROUTES	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A		3.2.5.4.
1-19	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6.
1-20	ROOF ACCESS	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A		3.2.5.3.
1-21	STANDPIPE SYSTEM	<input type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input checked="" type="checkbox"/> N/A COMMENT		3.2.5.8.
1-22	LIGHTING AND EMERGENCY POWER	<input checked="" type="checkbox"/> REQUIRED <input type="checkbox"/> PROVIDED <input type="checkbox"/> N/A SEE ELEC. DRAWINGS		3.2.7.
1-23	EMERGENCY GENERATOR	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.7.
1-24	ACCESS FOR PERSONS W/ DISABILITIES	<input type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED UNIVERSAL W/C PROVIDED ON MAIN LEVEL		3.8.4.5.
1-25	ALTERNATE SOLUTIONS REQUIRED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		-

#### OCCUPANT LOAD CALCULATIONS (PER BCBC 3.1.17.)

ROOM/SUITE	OCCUPANCY TYPE	AREA (m²)	AREA PER PERSON (m²)	OCCUPANTS PER ROOM
MAIN LEVEL				
CLASSROOM 1	CLASSROOM	117	1.85	63
CLASSROOM 2	CLASSROOM	117	1.85	63
MEETING ROOM	OFFICE	11	9.30	1
ARTISTIC DIRECTOR	OFFICE	10	9.30	1
TEACHER'S OFFICE	OFFICE	14	9.30	2
OFFICE 1	OFFICE	10	9.30	1
OFFICE 2	OFFICE	10	9.30	1
ADMINISTRATION	OFFICE	10	9.30	1
RECEPTION	OFFICE	9	9.30	1
LOBBY/RECEPTION AREA	LOUNGE	23	3.70	6
PILATES/STRETCHING	EXERCISE	68	4.645	15
LEVEL SUBTOTAL				155
LEVEL 2				
CLASSROOM 3	CLASSROOM	192	1.85	104
PTP LOUNGE	LOUNGE	49	3.70	13
LEVEL SUBTOTAL				117
TOTAL CALCULATED OCCUPANT LOAD (ALL LEVELS):				272
GENERAL NOTE: OCCUPANT LOAD CALCULATIONS FOR EXISTING PURPOSES ONLY. ACTUAL OCCUPANT LOADS DETERMINED BY TENANT USAGE AT EXISTING BALLET STUDIO. SIGNS TO BE POSTED AT STUDIO ENTRANCES INDICATING OCCUPANT LOAD NOT TO EXCEED 60 PERSONS.				



1 Axonometric Front View

#### BUILDING CODE ANALYSIS - TENANT IMPROVEMENTS

NO.	ITEM	TENANT	NOTES	REFERENCES
2-1	MAJOR OCCUPANCY CLASSIFICATION	A-2	ASSEMBLY OCCUPANCY	3.2.2.25.
2-2	USE	BALLET SCHOOL		3.2.2.25.
2-3	TOTAL FLOOR AREA (m²)	760.4m²		3.3.1.
2-4	FIRE SEPARATIONS	<input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED	<sup>1</sup> NOTE: ALL FLOOR ASSEMBLIES SHALL BE CONSTRUCTED AS FIRE SEPARATIONS.	3.2.2.25.
2-5	PUBLIC CORRIDOR SEPARATIONS	<input checked="" type="checkbox"/> REQUIRED <sup>1</sup>	<sup>1</sup> NOTE: PUBLIC CORRIDORS TO BE SEPARATED FROM STOREY BY FIRE SEPARATION WITH F.R.R. ≥ 45MIN.	3.3.1.4.(1).
2-6	EGRESS DOORWAYS	<input checked="" type="checkbox"/> REQUIRED <sup>1</sup>	<sup>2</sup> REQUIRED IF ROOM ≥ 150m² OR TRAVEL DISTANCE ≥ 15m	3.3.1.5.
2-7	TRAVEL DISTANCE (m)	SEE DWGS <sup>1</sup>	<sup>2</sup> EXISTS SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT ≤ 30m	3.3.1.6.
2-8	DISTANCE BETWEEN EXITS (m)	MUST BE SEPARATED BY ≥ 1/2 OVERALL DIAG. DISTANCE OF FLOOR AREA		3.4.2.3.
2-9	EXIT WIDTHS AND CAPACITY OF ACCESS TO EXITS (mm)	CORRIDOR WIDTH: <sup>1</sup> 1100 MINIMUM 1100 PROPOSED STAIR WIDTH: <sup>1</sup> 900 MINIMUM 915 PROPOSED DOORWAY CLEAR WIDTH: <sup>1</sup> 800 MINIMUM 800 PROPOSED	<sup>1</sup> GREATER OF 1100mm OR 6.1mm PER OCCUPANT <sup>2</sup> GREATER OF 900mm OR 8mm PER OCCUPANT <sup>3</sup> GREATER OF 800mm OR 6.1mm PER OCCUPANT	3.3.1.17., 3.4.3.2., 3.4.3.2.A
2-10	NUMBER & LOCATION OF EXITS FROM FLOOR AREAS	2 REQUIRED <sup>1</sup> 2 PROVIDED		3.4.2.1.(1) 3.4.2.3.
2-11	EXIT SIGNS	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED		3.4.5.1.
2-12	WATER CLOSETS	OCCUPANTS: 272 PROPOSED <sup>1</sup> OCCUPANTS OF EACH SEX: 136 WATER CLOSETS (TOTAL): 3 MALE 3 FEMALE 0 STAFF 3 PROPOSED 3 PROPOSED 1 PROPOSED	<sup>1</sup> OCCUPANT LOAD AS DETERMINED BY SPACE CALCULATIONS. ACTUAL PEAK OCCUPANT LOAD REPORTED AT 40 PERSONS, AS PROVIDED BY CLIENT.	3.7.2.2.
2-13	ACCESSIBILITY BY OCCUPANCY CLASSIFICATION	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED <sup>1</sup>	SCHOOLS, COLLEGES: ACCESS PROVIDED TO EDUCATIONAL FACILITIES AND TO ACCESSIBLE WASHROOMS.	3.8.2.17.
2-14	ACCESSIBILITY FOR PERSONS WITH DISABILITIES	<input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED, LEVEL 1 <sup>1</sup>	EXISTING BUILDING HAS BEEN RENOVATED AND OCCUPANCY CHANGED, ACCESS TO BE PROVIDED WHERE DEEMED PRACTICAL.	3.8.4.5.
2-15	SPECIFIC REQUIREMENTS FOR ACCESSIBILITY	FROM STREET TO MAIN ENTRANCE: <input checked="" type="checkbox"/> REQUIRED <input checked="" type="checkbox"/> PROVIDED PARKING TO ENTRANCE: <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED TO ACCESSIBLE/UNIVERSAL WASHROOM: <input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED		3.8.2.3. 3.8.2.3.(d.)
2-16	UNIVERSAL TOILET ROOM	<input checked="" type="checkbox"/> REQUIRED <sup>1</sup> <input checked="" type="checkbox"/> PROVIDED	<sup>1</sup> ALL REQUIREMENTS OF 3.7.2.10.(9) TO BE MET IN UNIVERSAL TOILET ROOM	3.7.2.10.(9)

#### WALL ASSEMBLIES

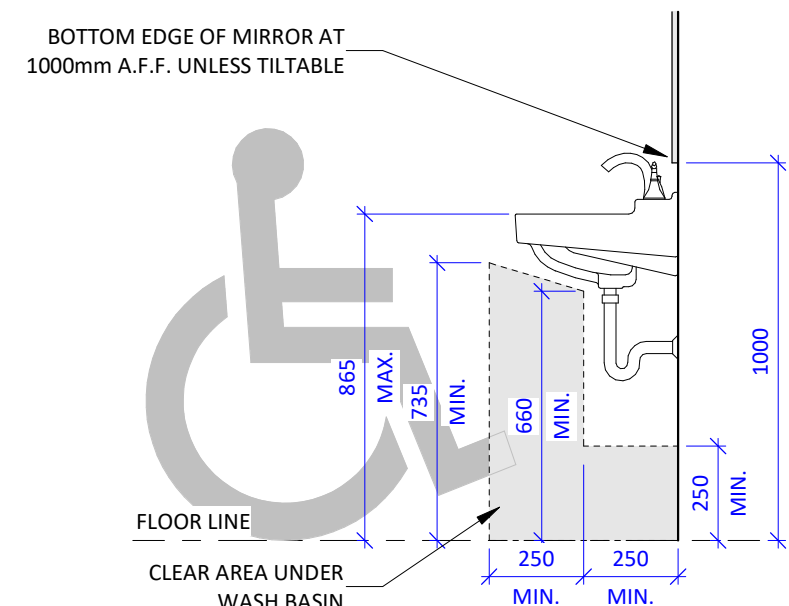
EXISTING EXTERIOR (UNCHANGED) (PER BCBC 2018 B1b, TABLE 9.10.2.1-A)	- CONCRETE MASONRY UNITS 190mm - INTERIOR FINISH PAINTED
INTERIOR PARTITION (EXISTING) FIRE RATED - 45MIN. (PER BCBC 2018 ASSEMBLY W10, TABLE 9.10.2.1-A)	- 16mm GWB (OR EXISTING) - 39x89 WOOD STUDS, 400 OR 600 O.C. - MINERAL WOOL INSULATION, FULL CAVITY - 16mm GWB (OR EXISTING)
INTERIOR PARTITION (NEW STRUCTURAL) FIRE RATED - 45 MIN. (PER BCBC 2018 ASSEMBLY S14b, TABLE 9.10.2.1-A)	- 15.9mm GWB, TYPE "X" - 152mm STEEL STUD FRAMING @ 400 O.C. - MINERAL WOOL INSULATION, FULL CAVITY 89mm - 15.9mm GWB, TYPE "X"
INTERIOR PARTITION (NEW, LEVELS 1 & 2) FIRE RATED - 45MIN. (PER BCBC 2018 ASSEMBLY W10, TABLE 9.10.2.1-A)	- 15.9mm GWB, TYPE "X" - 92mm STEEL STUD FRAMING, 400 O.C. - MINERAL WOOL INSULATION, FULL CAVITY - 15.9mm GWB, TYPE "X"
INTERIOR FURRING - SERVICES (NEW) (PER BCBC 2018 S1, TABLE 9.10.2.1-A)	- 92mm STEEL STUD FRAMING - 13mm GWB

#### FLOOR ASSEMBLIES

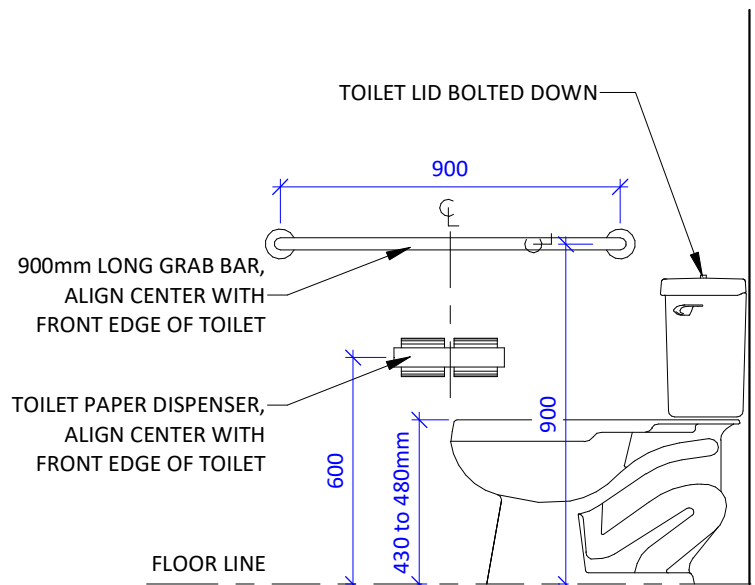
LEVEL 1 - EXISTING SLAB-ON-GRADE (PER BCBC 2018 TABLE D.2.2.1)	100mm CONCRETE SLAB 100mm RIGID INSULATION 10mm POLY VAPOUR BARRIER 100mm MIN. COMPACTED GRANULAR BASE
LEVEL 1 - NEW SLAB INFILL (PER BCBC 2018 TABLE D.2.2.1)	100mm CONCRETE SLAB 100mm RIGID INSULATION 10mm POLY VAPOUR BARRIER 100mm MIN. COMPACTED GRANULAR BASE

#### ROOF ASSEMBLIES

LEVEL 2 - EXISTING FLOOR (PER BCBC 2018 ASSEMBLY F3c, TABLE 9.10.3.1.C)	- WOOD FINISH - PLYWOOD SUBFLOOR - ENGINEERED JOISTS OR RAFTERS, 400mm OR 600mm O.C. - 2 LAYERS 16mm TYPE "X" GWB FINISH
LEVEL 2 - NEW FLOOR (PER BCBC 2018 ASSEMBLY F3c, TABLE 9.10.3.1.C)	- WOOD FINISH - SUBFLOOR - OWSU, 600mm DEEP - 2 LAYERS 16mm TYPE "X" GWB FINISH
LEVEL 1 - FINISHED WOOD FLOOR (STUDIOS) (PER BCBC 2018 ASSEMBLY F3c, TABLE 9.10.3.1.C)	- 25mm FINISHED WOOD FLOORING
LEVELS 1 & 2 - FINISH FLOOR	- CARPET TILE
EXISTING ROOF	- TAR & GRAVEL ROOF - 1/2" SHEATHING - 2" ROOFMATE INSULATION - 5/8" SHEATHING - 30" TRUSSED JOISTS @ 32" O.C.
NEW ROOF FIRE RATED - 45 MIN (PER BCBC TABLE)	- ROOFING MEMBRANE - PROTECTION BOARD - MIN. 75mm RIGID FOAM INSULATION - 1% TAPERED RIGID FOAM INSULATION, MIN. THICKNESS 25mm - ROLL-APPLIED AIR/VAPOUR BARRIER - ENGINEERED TRUSSED JOISTS, 400 OR 600 O.C. - 2 LAYERS 16mm TYPE "X" GWB
CEILING - GWB	- 92mm STEEL STUD FRAMING - 16mm TYPE "X" GWB



4 Accessible Washroom Sink Clearances  
1 : 20



3 Toilet Grab Bar - Side View  
1 : 20

#### GENERAL NOTES

- WORK TO COMPLY WITH THE BRITISH COLUMBIA BUILDING CODE 2018 EDITION.
- CONTRACTOR TO VERIFY DIMENSIONS AND ASPECTS OF DRAWINGS TO AGREE AND MAKE WORK PRIOR TO CONSTRUCTION.
- EXISTING DRAWINGS SHOWN HAVE BEEN DERIVED FROM DRAWINGS PROVIDED BY CLIENT AND THE EXISTING SURVEY INCLUDED. CONTRACTOR TO COORDINATE ANY DEVIATIONS FROM THIS DRAWING AND MUST BE AUTHORIZED BY THE ARCHITECT.
- ALL CORRIDORS MUST HAVE UNOBSTRUCTED WIDTH OF 1100mm IN ALL INSTANCES.
- STAIRS AND COMPONENTS MUST BE CONSTRUCTED TO SECTION 3.4.6. IN ALL INSTANCES.
- INTERIOR STAIR WIDTH EQUAL TO OR EXCEEDING 900mm AND REQUIRES HANDRAILS BOTH SIDES OF STAIR.
- CONTRACTOR TO REPORT ANY DEVIATIONS, INCLUDING MATERIAL CHANGES, TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK.

Architectural Drawing List	
Sheet Name	Sheet Number
Project Data	A0.00
Site & Landscape Plan & Project Information Table	A1.00
Site Survey	A1.01
Floor Plans - Main Level	A2.01
Floor Plans - Second Level & Roof Plan	A2.02
Elevations	A3.01
Building Sections & Street Context Elevation	A4.01

#### APPLICANT

CLIENT  
EPHREM LAI, DIRECTOR

EIGHT DIAMOND HOLDINGS LTD.  
250-595-8327

#### CONSULTANTS

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CHRISTINE LINTOTT

CHRISTINE LINTOTT ARCHITECTS  
SUITE 1 - 864 QUEENS AVENUE  
VICTORIA, BC V8T 1M5  
250-384-1969

STRUCTURAL  
GREG CARSON

GC ENGINEERING LTD.  
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VICTORIA, BC V8X 6G9  
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ELECTRICAL  
ED PRIOR

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250-900-5703

SURVEY  
ED PRIOR

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250-900-5703

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Suite 1 - 864 Queens Avenue, Victoria, BC V8T 1M5  
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Issue Date

Development February 15, 2019  
Permit Application

#### Revision

No. Description Date

#### Consultant

## Victoria Academy of Ballet - Tenant Improvements

2713 Quadra Street,  
Victoria BC V8T 4E5

#### Project Data

Date 2019-04-24 3:07:24 PM

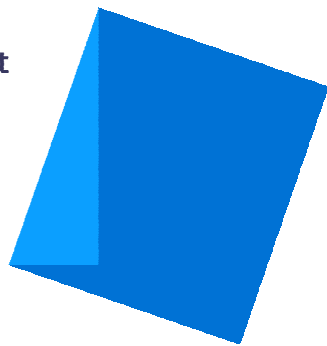
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Checked by CL

A0.00

Scale As indicated





Issue Date

Development February 15, 2019  
Permit Application

Revision

No.	Description	Date
1	Development Permit Re-Submission	April 25, 2019

Consultant

## Victoria Academy of Ballet - Tenant Improvements

2713 Quadra Street,  
Victoria BC V8T 4E5

### Site & Landscape Plan & Project Information Table

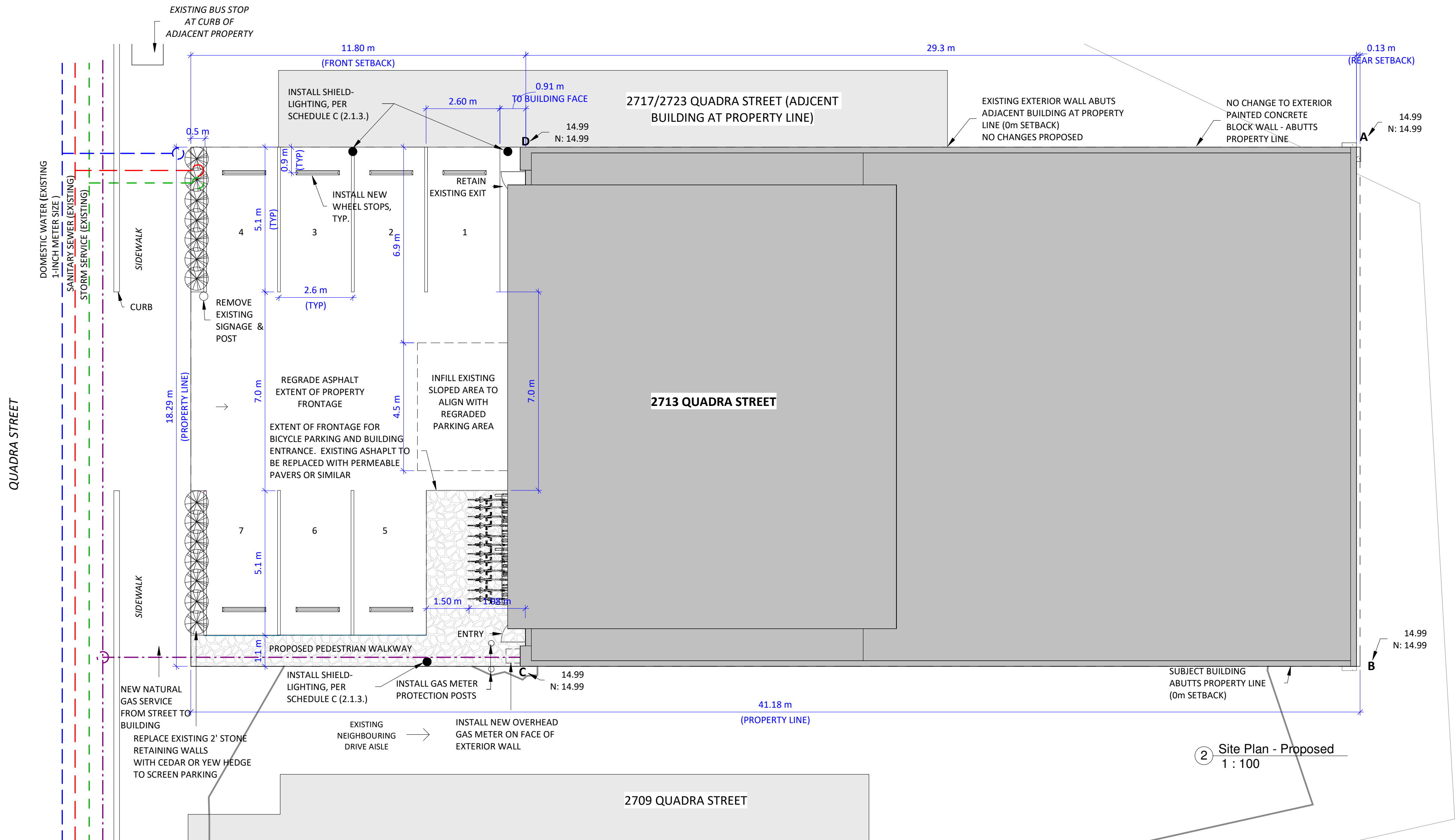
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Checked by CL

A1.00

Scale As indicated



#### AVERAGE GRADE CALCULATION:

A - B (14.99+14.99)/2 = 14.99 x 18.3m = 274.32m  
B - C (14.99+14.99)/2 = 14.99 x 29.5m = 442.21m  
C - D (14.99+14.99)/2 = 14.99 x 6.9m = 103.43m  
D - A (14.99+14.99)/2 = 14.99 x 29.5m = 442.21m

84.2m 1,262.17m

AVERAGE GRADE: 1,262.17/84.2m = 14.99m

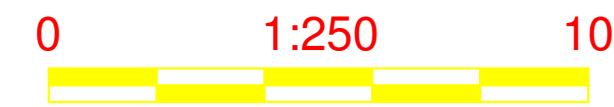
N = NATURAL GRADE

#### PROJECT INFORMATION TABLE

GENERAL PROPERTY INFORMATION			
ITEM	DESCRIPTION		BYLAW#
APPLICABLE ZONE	C1-QV, QUADRA VILLAGE DISTRICT - PROFESSIONAL BUSINESS: BALLET SCHOOL		
SITE AREA	753.1m <sup>2</sup>		-
TOTAL FLOOR AREA (m <sup>2</sup> )	760.4m <sup>2</sup>	TOTAL FLOOR AREA IS SAME AS COMMERCIAL FLOOR AREA	3.3.1.
FLOOR SPACE	1.4:1 ALLOWABLE	1:1 PROPOSED	4.52-10.
SITE COVERAGE %	71%		-
OPEN SITE SPACE %	6.4%		-
BUILDING HEIGHT (m)	+14.99m AVERAGE NATURAL GRADE +15.5m ALLOWABLE	+14.99m PROPOSED AVERAGE GRADE 9.2m PROPOSED	4.52-3.
NUMBER OF STOREYS	4 ALLOWABLE	2 PROPOSED	4.52-3.
PARKING STALLS	38 REQUIRED	7 PROVIDED <sup>1</sup>	SCHEDULE C: 1.2 TABLE 1.
BICYCLE PARKING	3 REQUIRED	12 PROVIDED	SCHEDULE C: 1.2 TABLE 1.
LANDSCAPE BUFFER (m)	1.0m REQUIRED	0.5m EXISTING/PROVIDED <sup>1</sup>	SCHEDULE C: 2.3
BUILDING SETBACKS	<b>FRONT YARD (WEST) SETBACK (m):<sup>2</sup></b> 3 REQUIRED 11.8 EXISTING <b>REAR YARD (EAST) SETBACK (m):</b> 0 REQUIRED 0.13 EXISTING <b>SIDE YARD (SOUTH) SETBACK (m):<sup>2</sup></b> 2.3 REQUIRED 0 EXISTING <b>SIDE YARD (NORTH) SETBACK (m):</b> 0 REQUIRED 0 EXISTING <b>COMBINED SIDEYARDS (m):</b> N/A REQUIRED 0 EXISTING		<sup>1</sup> BUILD-TO-LINE DISTANCE MAX FROM QUADRA ST <sup>2</sup> GREATER OF 25% BUILDING HEIGHT OR 2.5m

B.C. LAND SURVEYOR'S SITE PLAN OF:  
LOT 3 BLOCK 15 SECTION 4 VICTORIA  
CITY, PLAN 240

SCALE:



All distances are in metres.  
The intended plot size of this plan is 432mm in width by  
by 280mm in height (B size) when plotted at a scale of 1:250

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consent of the signatory

This document was prepared for the exclusive  
use of our client, EIGHT DIAMOND HOLDINGS LTD

\*This document is intended for use as a topographic plan.  
It is based on Land Title Office records, and does not  
represent a boundary survey. Critical lot dimensions  
and areas must be confirmed by a proper cadastral survey.

Undersurface charges and covenant will not be shown on this  
survey unless such documents are provided and it can be shown in  
two dimensional view.

Explorer Land Surveying INC., accepts no responsibility  
or liability for any damages that may be suffered  
by a third party as a result of any decisions  
made or actions taken based on this document.

Parcel Identification Number (PID)

009-210-407

SITE AREA

752.8 m<sup>2</sup>

MUNICIPALITY

CITY OF VICTORIA

CIVIC ADDRESS

2713 Quadra Street  
Victoria, BC.

ZONING

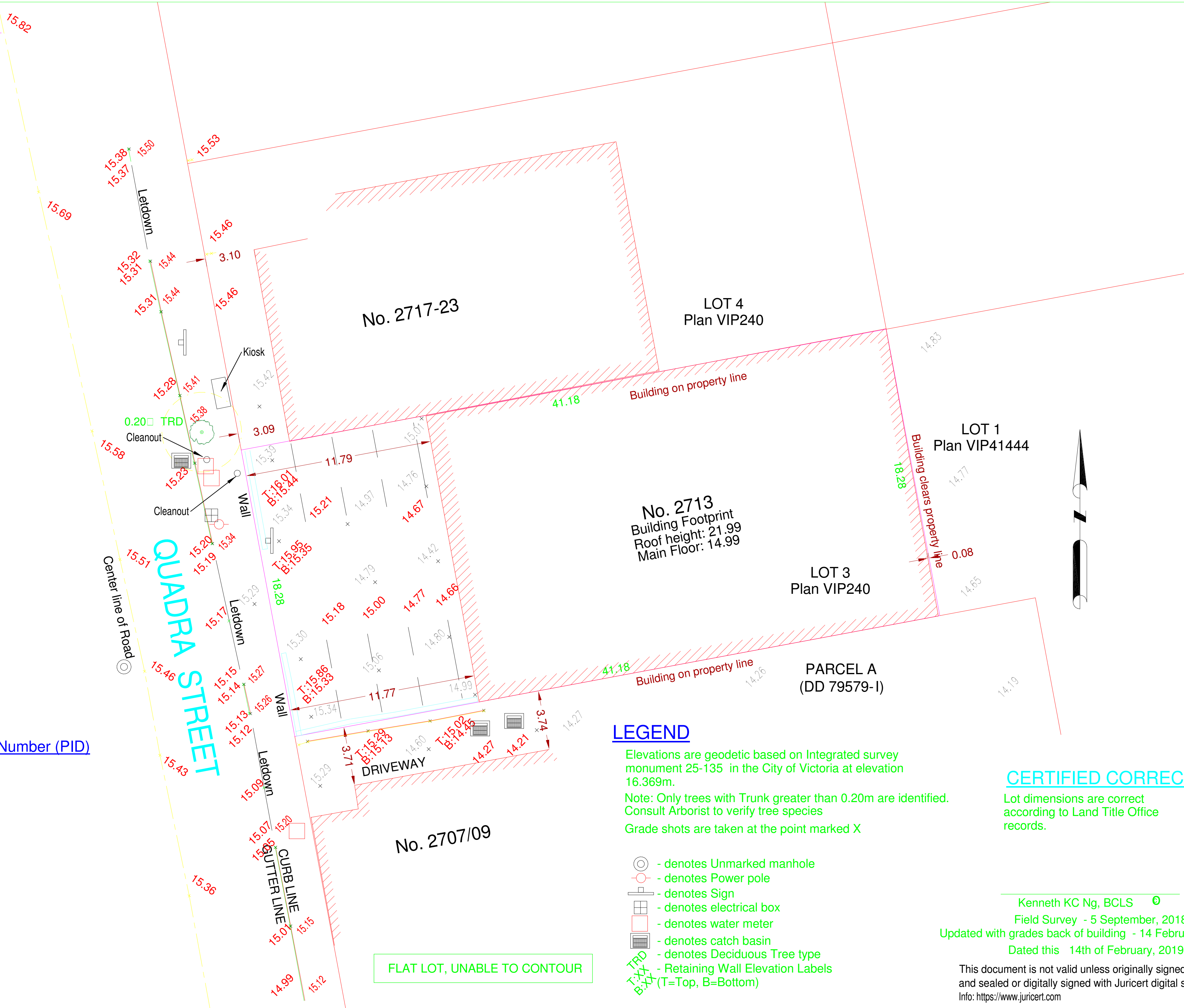
C1-QV

FILE : 11492

DWG/DATE: 11492-2713Quadra/2018-9-10

**Explorer**  
Land Surveying Inc

133-1335 Bear Mountain Pkwy  
Victoria, B. C. V9B 6T9  
Tel: (250) 381-2257  
email: kenneth@explorersurvey.com



LEGEND

Elevations are geodetic based on Integrated survey  
monument 25-135 in the City of Victoria at elevation  
16.369m.  
Note: Only trees with Trunk greater than 0.20m are identified.  
Consult Arborist to verify tree species  
Grade shots are taken at the point marked X

- denotes Unmarked manhole
- denotes Power pole
- denotes Sign
- denotes electrical box
- denotes water meter
- denotes catch basin
- denotes Deciduous Tree type
- Retaining Wall Elevation Labels  
(T=Top, B=Bottom)

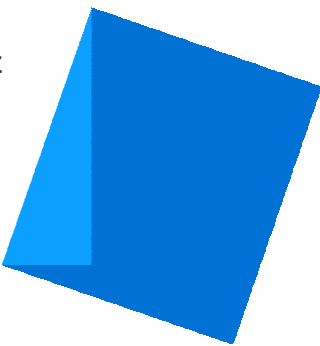
CERTIFIED CORRECT

Lot dimensions are correct  
according to Land Title Office  
records.

Kenneth KC Ng, BCLS  
Field Survey - 5 September, 2018  
Updated with grades back of building - 14 February, 2019  
Dated this 14th of February, 2019.

This document is not valid unless originally signed  
and sealed or digitally signed with Juricert digital signature.  
Info: <https://www.juricert.com>

Christine Lintott  
Architects



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Consultant

Victoria Academy  
of Ballet - Tenant  
Improvements

2713 Quadra Street,  
Victoria BC V8T 4E5

Site Survey

Date 2019-04-24 3:07:29 PM

Drawn by

Checked by

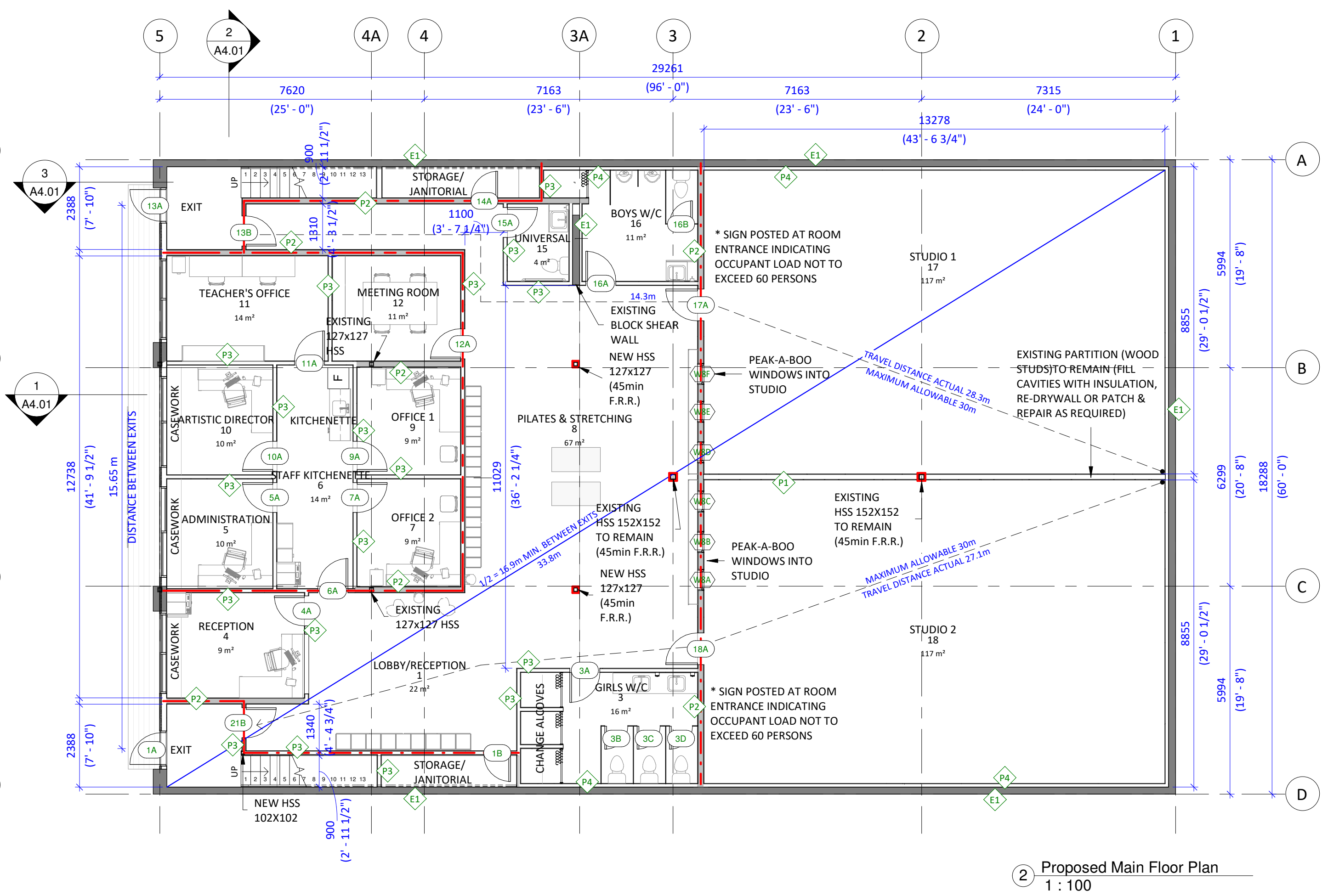
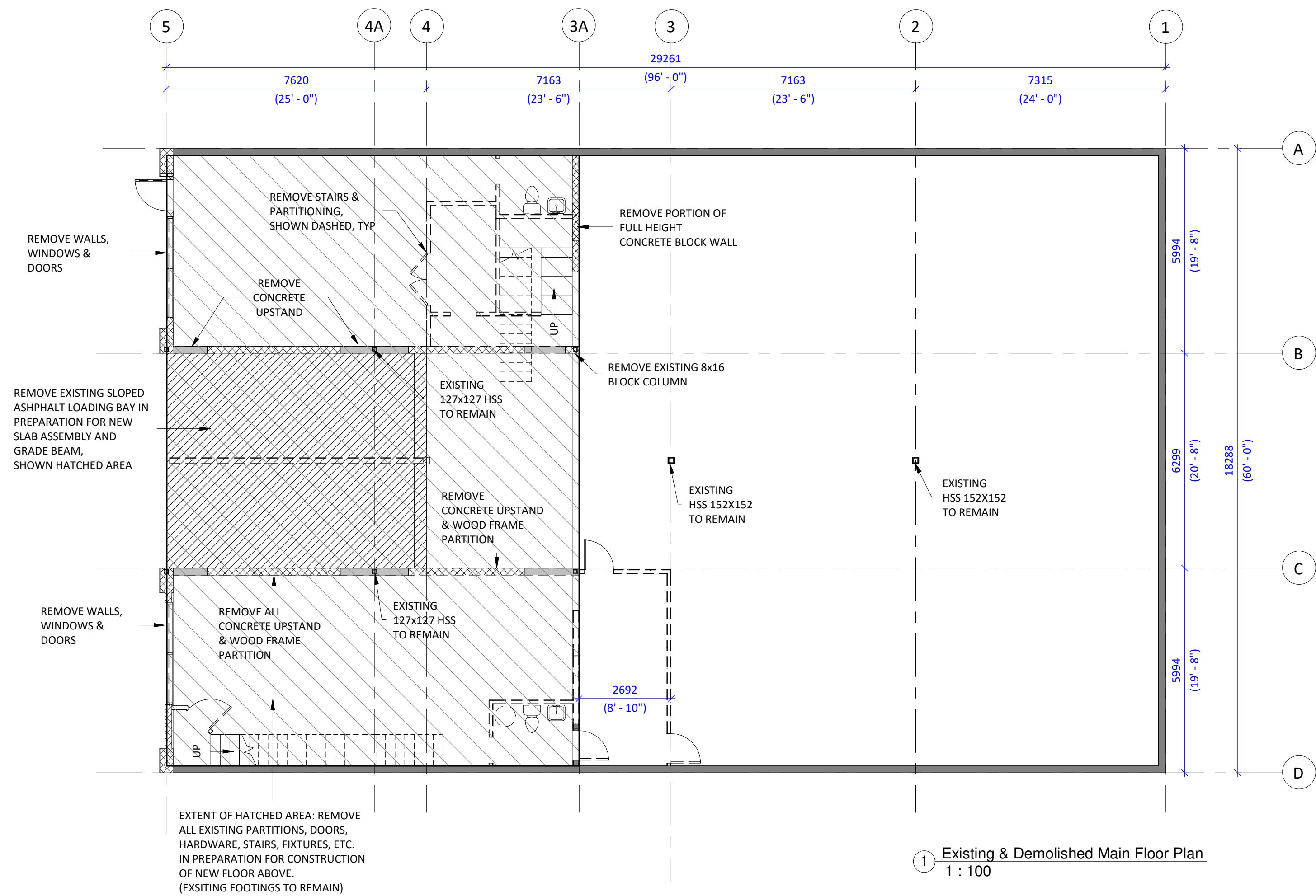
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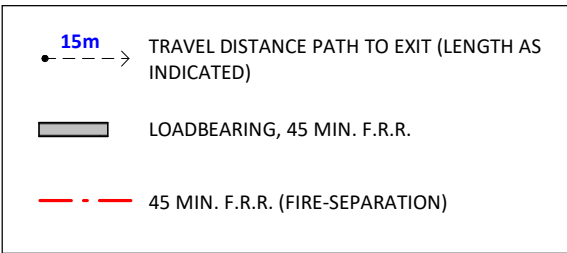


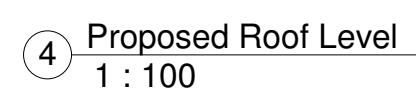
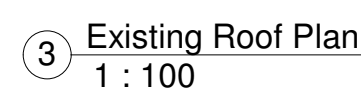
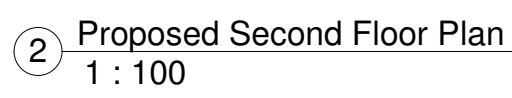
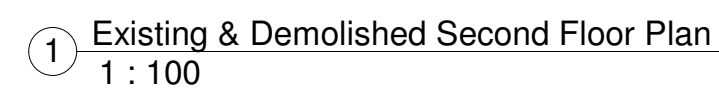
Window Schedule			
No.	Type	Head Height	Width
W8A	0610 x 1220mm	1067	610
W8C	0610 x 1220mm	1067	610
W19C	Curtain Wall Glazing		1598
W19B	Curtain Wall Glazing		1425
W19C	Curtain Wall Glazing		1425
W19B	Curtain Wall Glazing		1623
W19A	Curtain Wall Glazing		1598
154	Curtain Wall Glazing		1598
W19D	Curtain Wall Glazing		1623
155	Curtain Wall Glazing		1598
156	0610 x 1220mm	1067	610
160	850 x 900mm 2	2747	1509
162	850 x 900mm 2	2747	1509
163	850 x 900mm 2	2747	1509
164	850 x 900mm 2	2807	1509
165	850 x 900mm 2	1754	1509
166	850 x 900mm 2	2536	1509
168	0610 x 1220mm	2639	610
169	0610 x 1220mm	2639	610
170	0610 x 1220mm	2639	610
W8B	0610 x 1220mm	1067	610
W8F	0610 x 1220mm	1067	610
W8D	0610 x 1220mm	1067	610
W8E	0610 x 1220mm	1067	610
W20A	0915 x 1830mm	2135	4000
W20B	0915 x 1830mm	2135	4000

No.	Type	Height	Width	Comments
1A	A	2133	915	EXTERIOR
1B	C	1829	762	INTERIOR
3A	B	2032	864	INTERIOR
3B	D	2032	660	INTERIOR
3C	D	2032	660	INTERIOR
3D	D	2032	660	INTERIOR
4A	B	2032	864	INTERIOR
5A	B	2032	864	INTERIOR
6A	B	2032	864	INTERIOR
7A	B	2032	864	INTERIOR
9A	B	2032	864	INTERIOR
10A	B	2032	864	INTERIOR
11A	B	2032	864	INTERIOR
12A	B	2032	864	INTERIOR
13A	A	2133	915	EXTERIOR
13B	B	2032	864	INTERIOR
14A	C	1829	762	INTERIOR
15A	B	2032	864	INTERIOR
16A	B	2032	864	INTERIOR
16B	D	2032	660	INTERIOR
17A	E	2032	915	INTERIOR
18A	E	2032	915	INTERIOR
19A	B	2032	864	INTERIOR
19B	B	2032	864	INTERIOR
19C	F	2135	915	INTERIOR
19D	F	2135	915	INTERIOR
20A	B	2032	864	INTERIOR
20B	B	2032	864	INTERIOR
21A	B	2032	864	INTERIOR
21B	B	2032	864	INTERIOR
Grand total: 30				



LEGEND TO BUILDING CODE COMPLIANCE

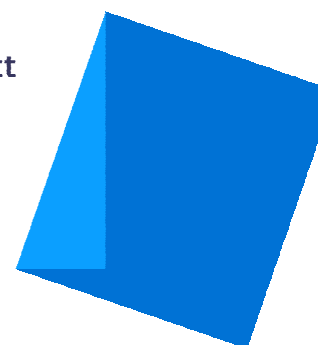




REPLACE ROOFING & MEMBRANE FOR EXTENT OF ORIGINAL ROOF:  
REVIEW AND REPLACE SHEATHING IF DETERIORATED, TO BE REVIEWED,  
ROOFING VAPOUR BARRIER  
MIN. 4" RIGID INSULATION, TAPERED TO EXISTING DRAINS  
GLASS MAT PROTECTION BOARD  
2 PLY SBS ROOFING MEMBRANE

 LOADBEARING, 45 MIN. F.R.R.





Issue Date

Development February 15, 2019  
Permit Application

Revision

No. Description Date

Consultant

## Victoria Academy of Ballet - Tenant Improvements

2713 Quadra Street,  
Victoria BC V8T 4E5

Elevations

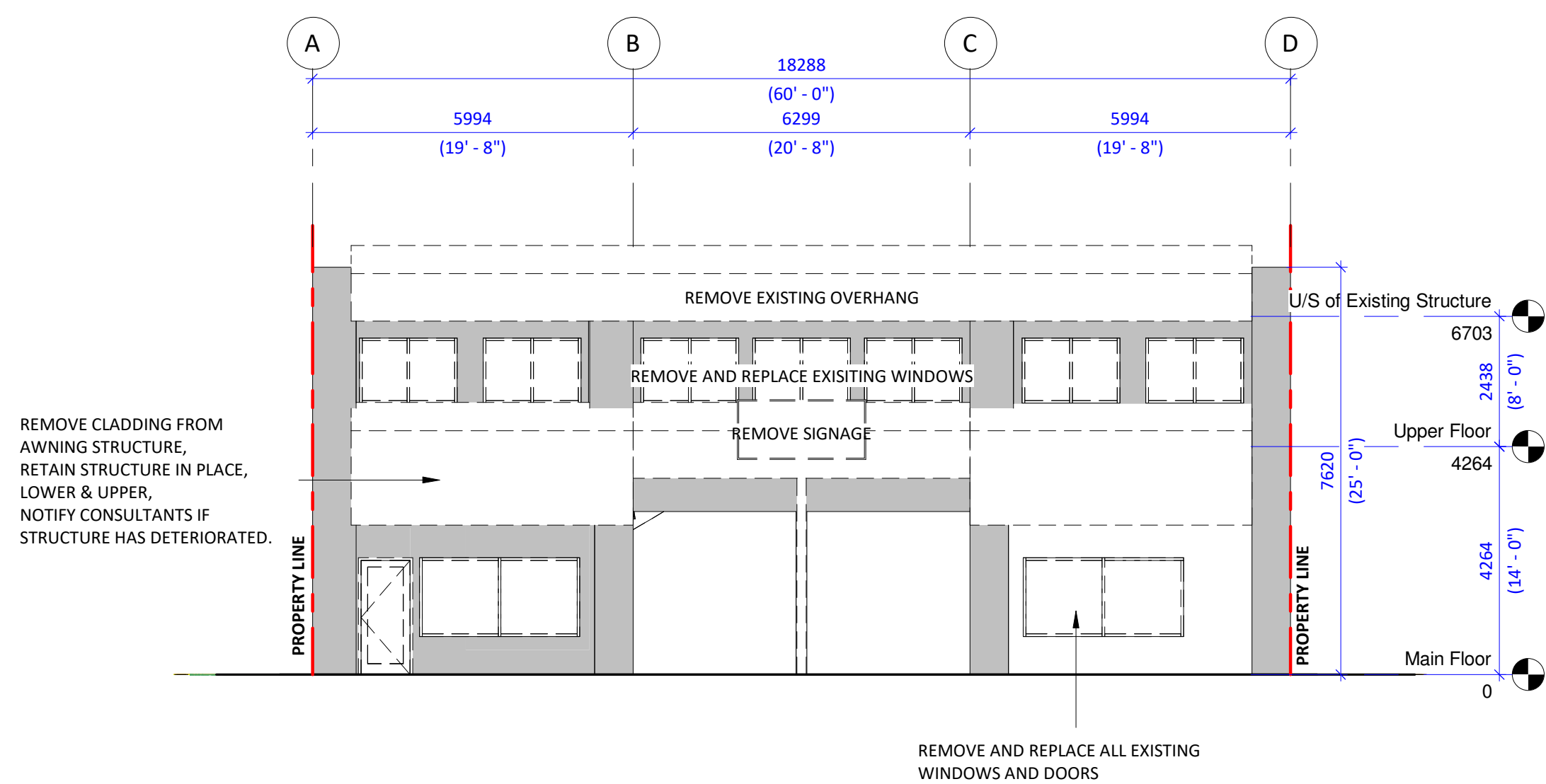
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Drawn by GS

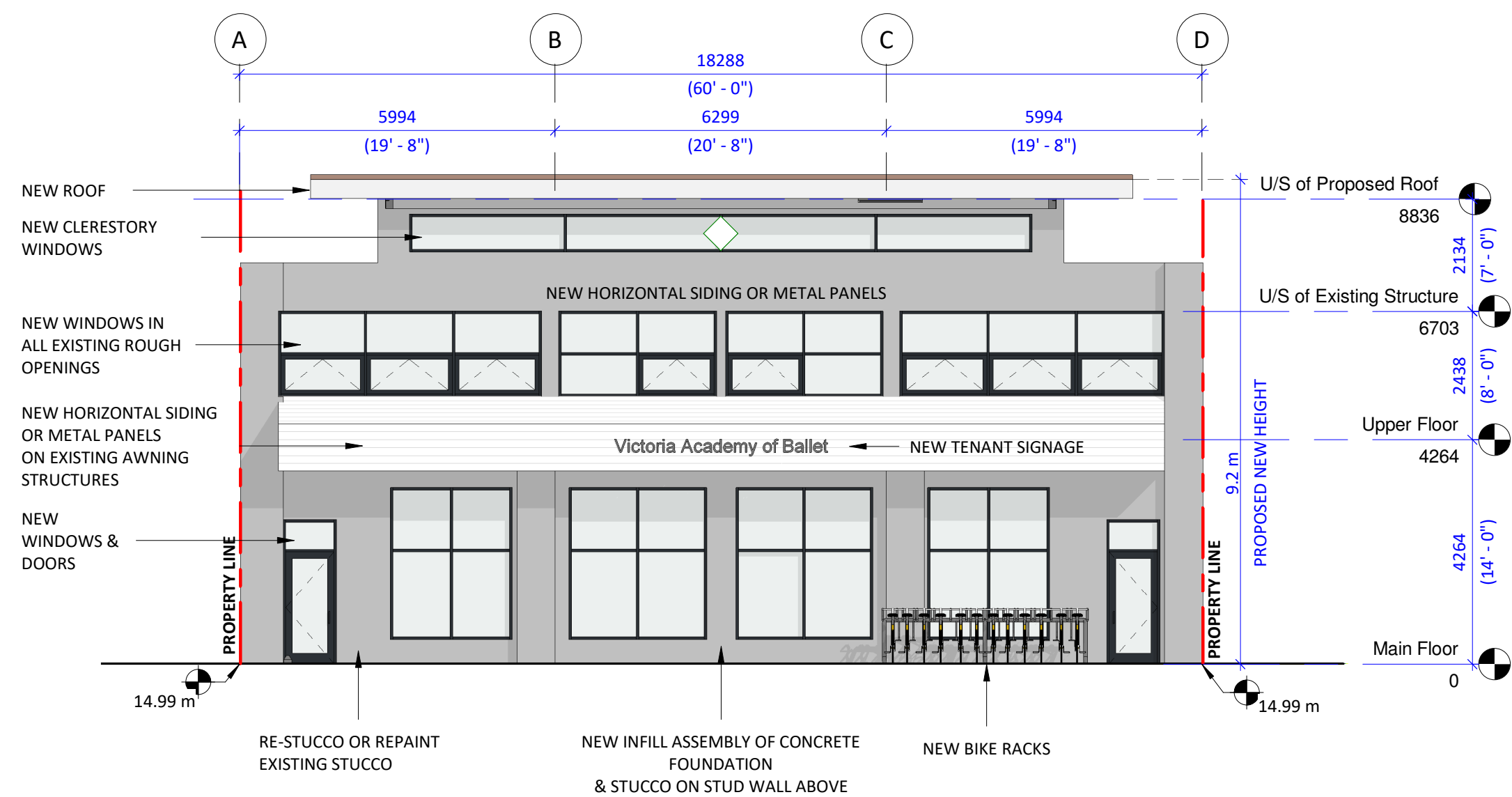
Checked by CL

A3.01

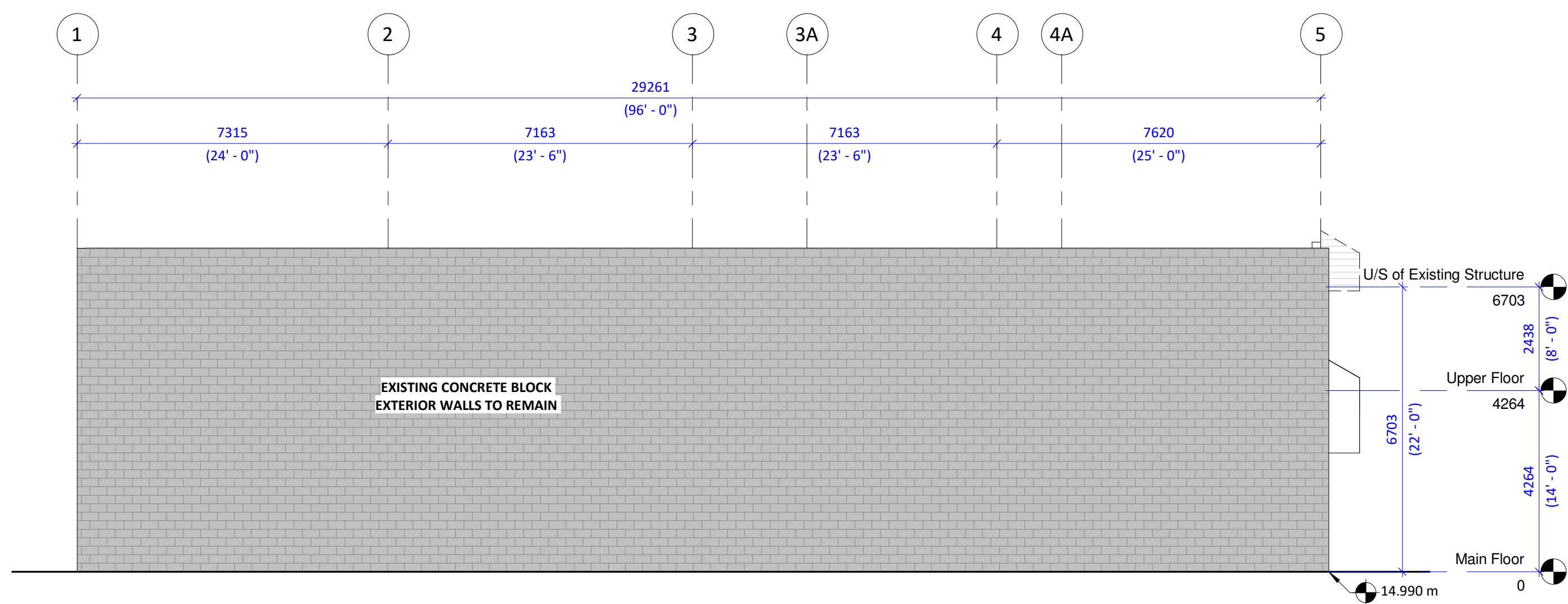
Scale 1 : 100



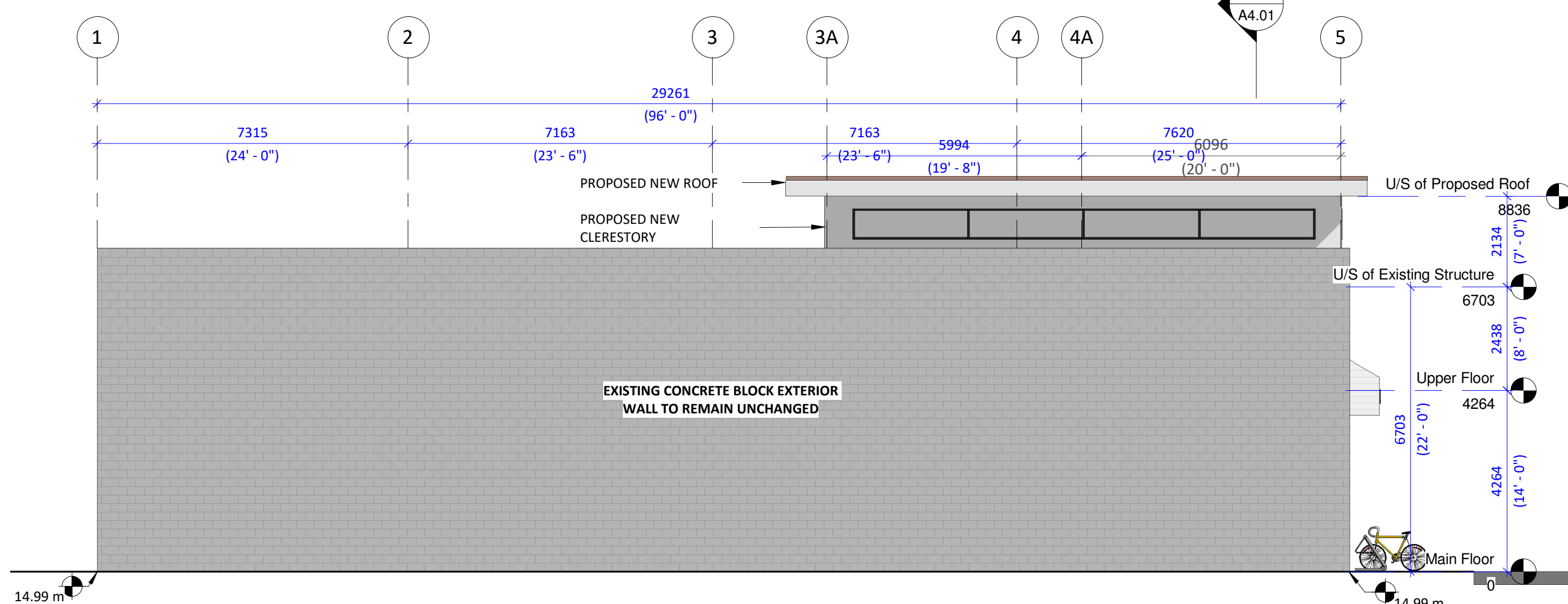
2 Existing Front Elevation  
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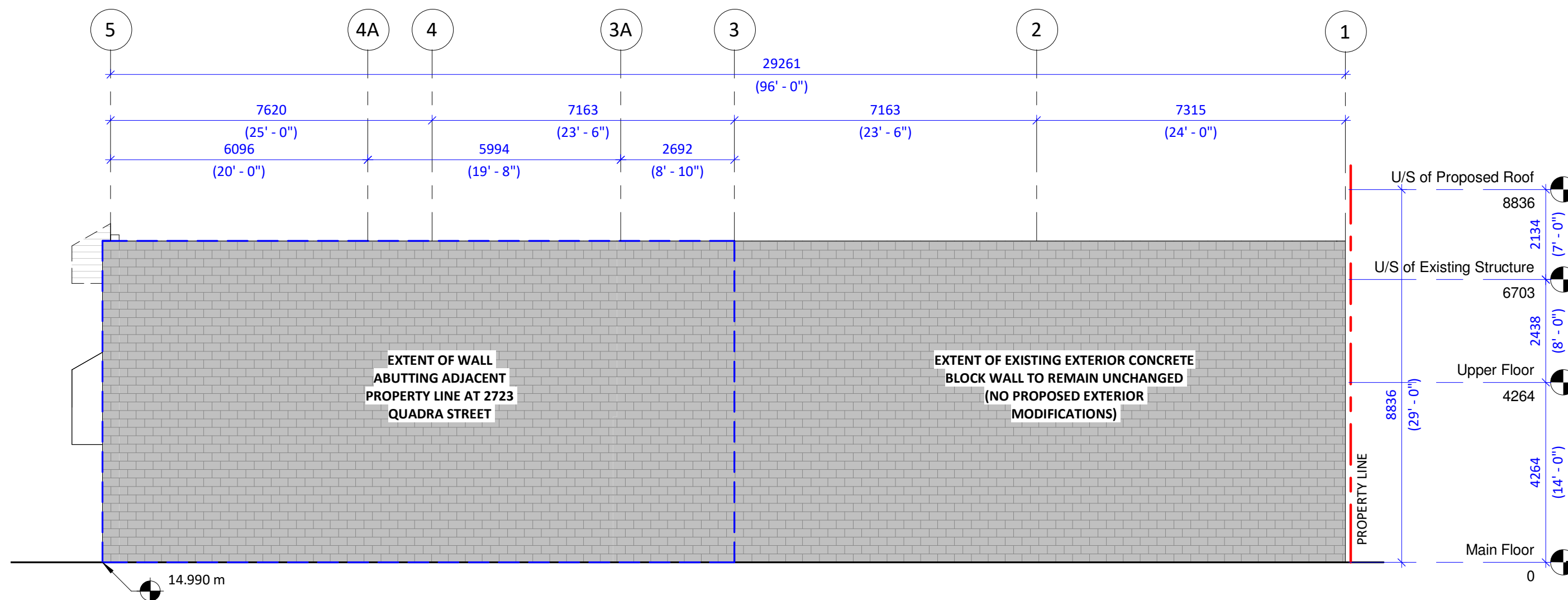
3 Proposed Front Elevation  
1 : 100



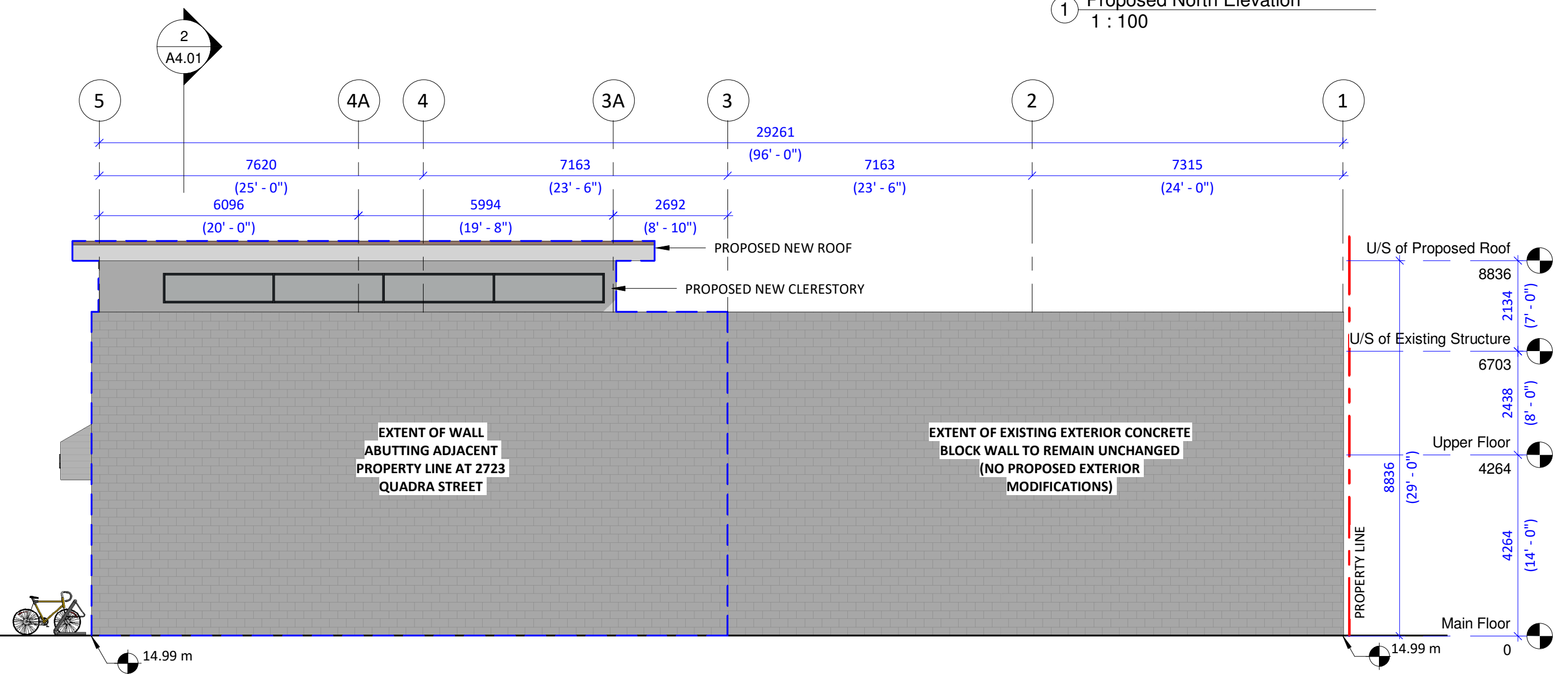
6 Existing North Elevation  
1 : 100



1 Proposed North Elevation  
1 : 100



5 Existing South Elevation 100  
1 : 100



4 Proposed South Elevation  
1 : 100





Issue Date

Development February 15, 2019  
Permit Application

Revision

No.	Description	Date
1	Development Permit Re-Submission	April 25, 2019

Consultant

## Victoria Academy of Ballet - Tenant Improvements

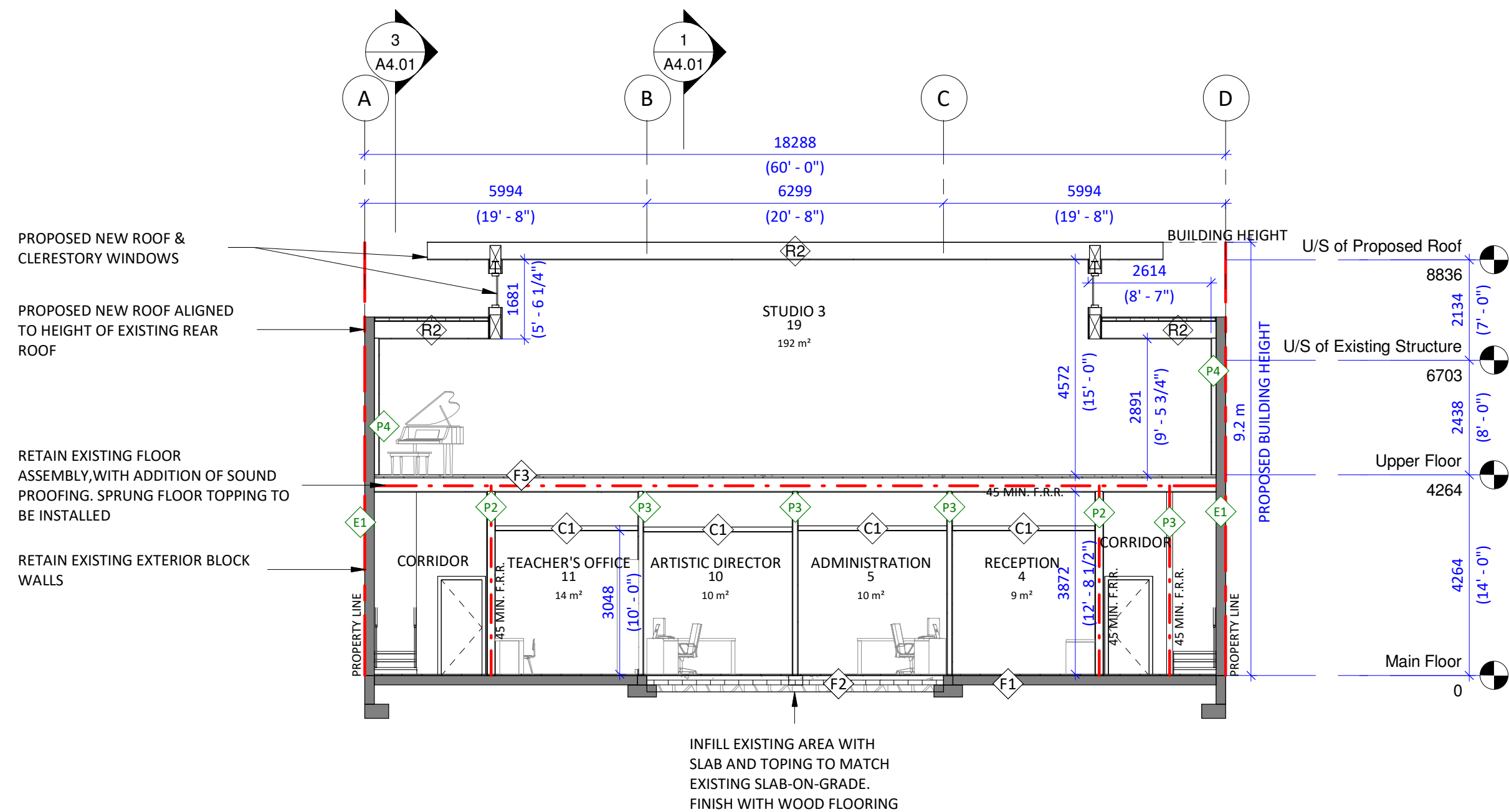
2713 Quadra Street,  
Victoria BC V8T 4E5

Building Sections & Street  
Context Elevation

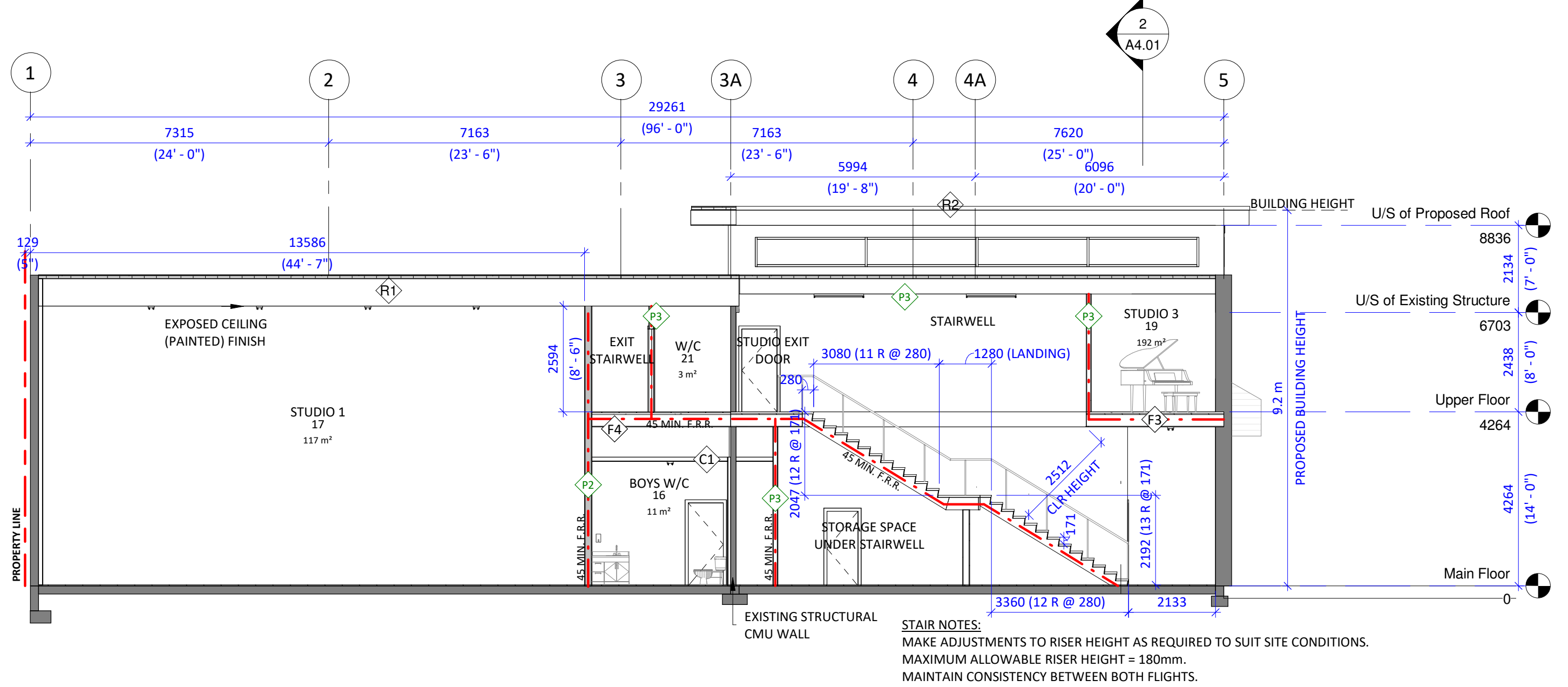
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Checked by	Checker

A4.01

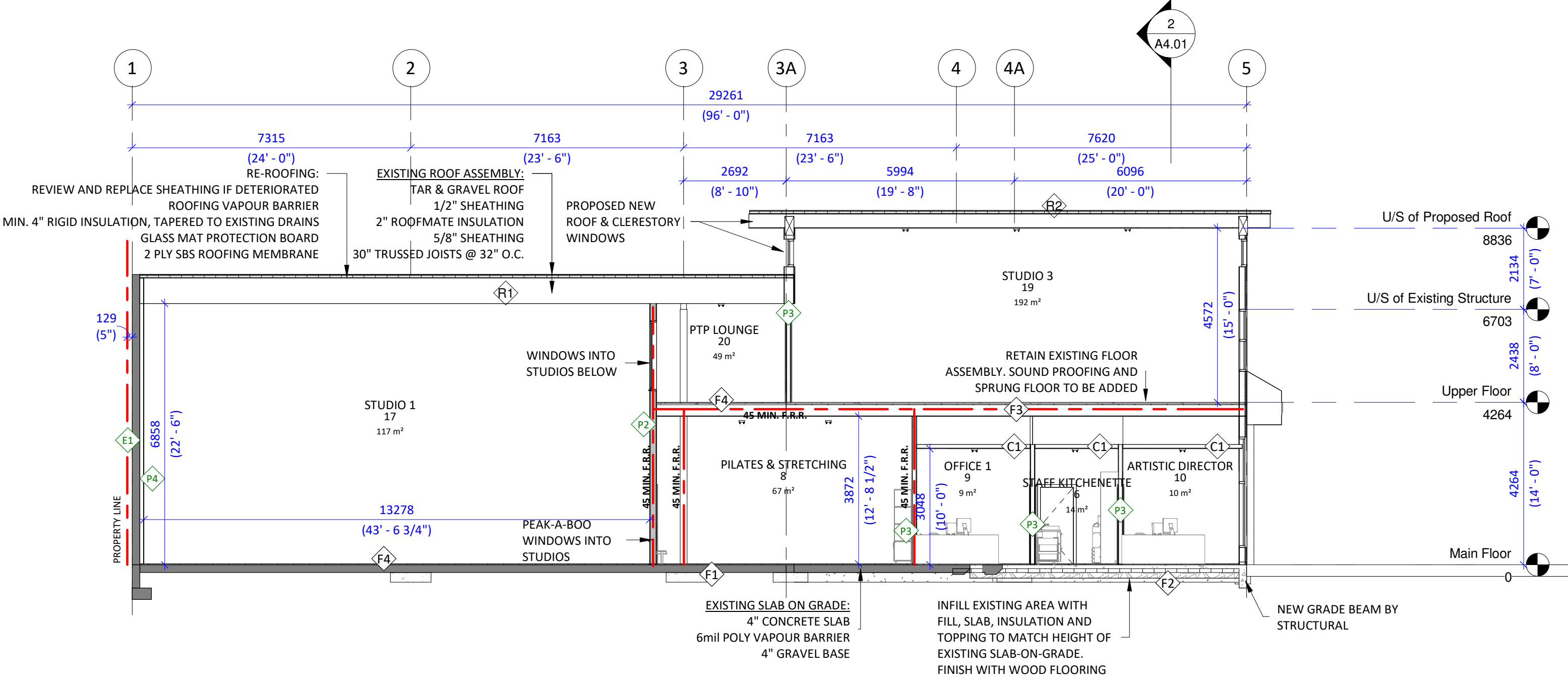
Scale 1 : 100



② Building Cross Section - Proposed  
1 : 100



③ Building Section - Proposed Stair  
1 : 100



① Longitudinal Building Section - Proposed  
1 : 100

### LEGEND TO BUILDING CODE COMPLIANCE

- 15m TRAVEL DISTANCE PATH TO EXIT (LENGTH AS INDICATED)
- LOADBEARING, 45 MIN. F.R.R.
- 45 MIN. F.R.R. (FIRE-SEPARATION)

### PROPOSED TENANT IMPROVEMENT AT 2713 QUADRA STREET



④ Proposed Front Elevation Context  
1 : 100