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# RESUBMISSION FOR REZONING & DEVELOPMENT PERMIT

2025-09-26

## PROJECT ADDRESS

2612, 2616, 2620, 2628 Richmond Rd  
Victoria, BC

## DRAWING LIST

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Richmond Rd Perspective View

## CONTACTS

**ARCHITECT**  
FaulknerBrowns Architects  
608-318 Homer Street  
Vancouver, BC V6B 2V2

Primary Contact: Paul Rigby

**LANDSCAPE**  
Durante Kreuk Ltd.  
1637 W 5th Ave #102,  
Vancouver, BC V6J 1N5

Primary Contact: Stephen Vincent

**CIVIL ENGINEER**  
JE Anderson and Associates  
3411 Shenton Road #1A,  
Nanaimo, BC V9T 2H1

Primary Contact: Mike Puszkas

**BUILDING CODE**  
GHL Consultants Ltd.  
700 W Pender Street, Suite  
800 Vancouver, BC V6C 1G8

Primary Contact: Frankie Victor

**MECHANICAL**  
Avalon Mechanical  
200-1245 Esquimalt Rd.  
Victoria, BC V9A 3P2

Primary Contact: Kevin Jackson

**STRUCTURAL**  
RJC Engineers  
645 Tyee Road, Suite 220  
Victoria, BC V9A 6X5

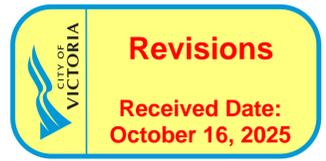
Primary Contact: Leon Plett

**ELECTRICAL**  
AES Engineering  
#500, 3795 Carey Rd  
Victoria, BC V8Z 6T8

Primary Contact: Jordan Klear

**ENVELOPE**  
Evoke  
102 - 814 Broughton Street  
Victoria, BC V8W 1E4

Primary Contact: Chris Raudoy



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Drawing No: **A-000000** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Cover Page**

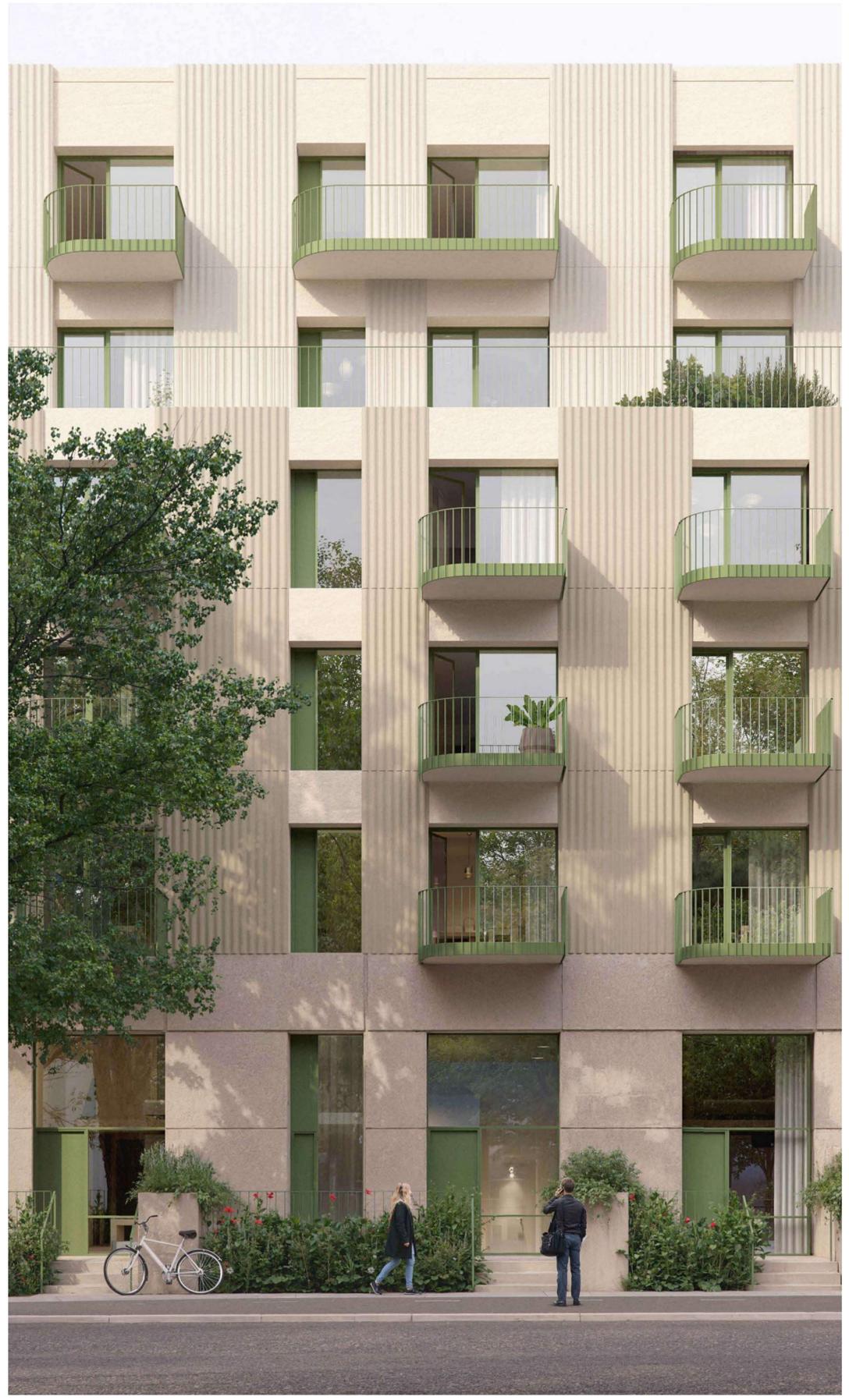
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Richmond Rd Perspective View



Textured Finish  
Fibre Cement Panels



Smooth Finish  
GFRC Panels



Accent Colour  
Railings, windows and doors

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| <b>A-000002</b>                            | P03   |        |        |          |
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| <b>2612 - 2628 Richmond Road, Victoria</b> |       |        |        |          |
| Drawing Name:                              |       |        |        |          |
| <b>Perspective Views</b>                   |       |        |        |          |
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Carrick St View



Carrick St Elevation

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Drawing No: **A-000004** Rec: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

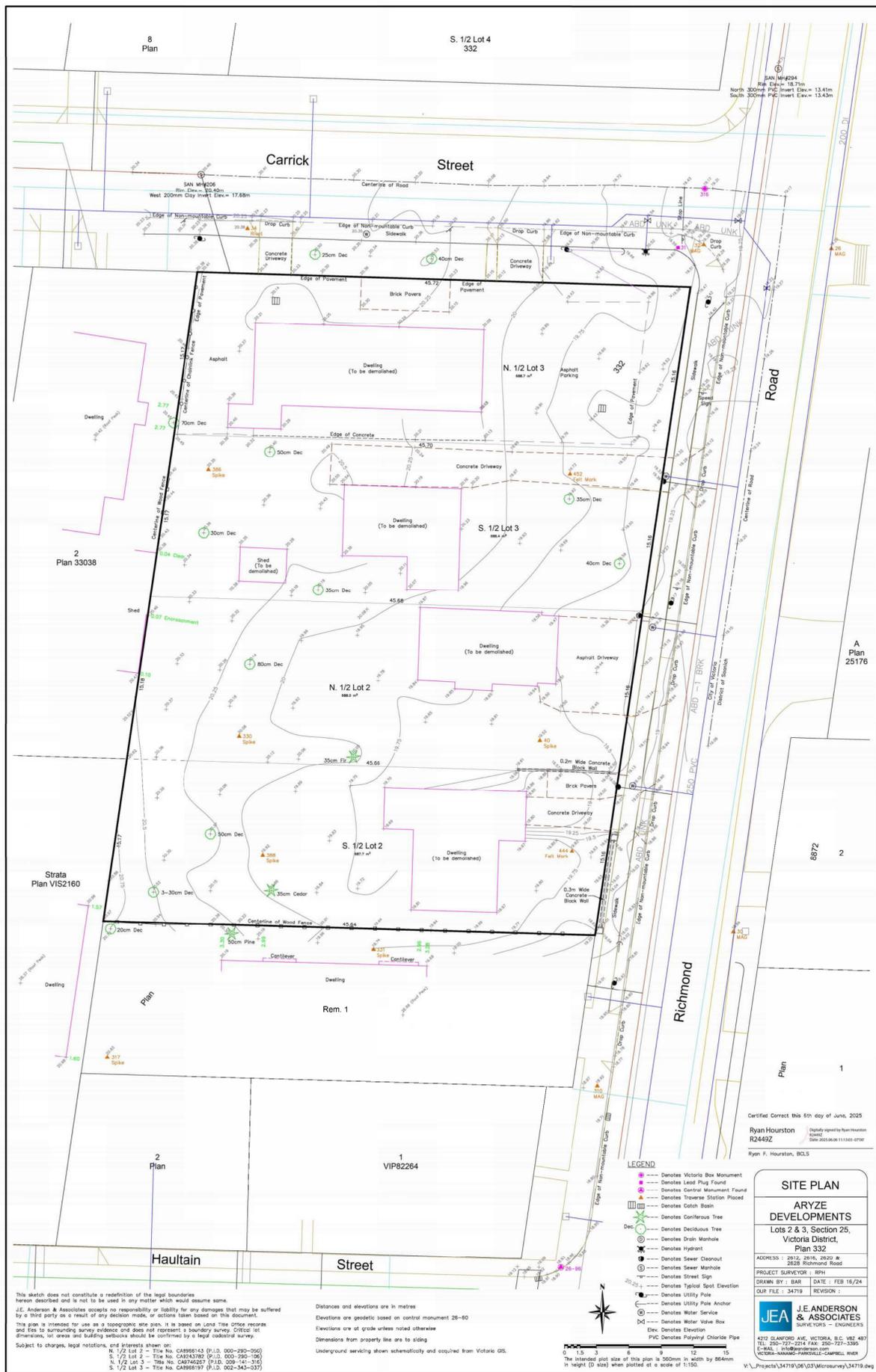
Drawing Name: **Perspective Views**

Drawing Status: **PLANNING**

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Drawing No: **A-000005** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Legal Survey  
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### Legend

- 0.00 m 19.30m ● Proposed Grade
- 0.00 m 0.00 m ◐ Existing Grade

### PROJECT INFORMATION TABLE

|                                                                          |                                                    |                      |
|--------------------------------------------------------------------------|----------------------------------------------------|----------------------|
| Current Use                                                              | SFD/DUPLEX/OFFICES                                 |                      |
| Proposed Use                                                             | Rental Housing                                     |                      |
| Proposed Scope of Work                                                   | 100 Units - Purpose Built Mixed-Use Rental Housing |                      |
| <b>Location and Siting of Uses and Structures</b>                        | <b>Proposed</b>                                    | <b>Zone Standard</b> |
| First storey non-residential use                                         | Yes                                                |                      |
| Minimum criteria must apply if first storey non-residential use proposed | Yes - Corner Lot                                   |                      |
| Floor Area Occupied by Dwelling Units (%)                                | >50.00                                             |                      |
| Number of buildings                                                      | 1                                                  |                      |
| Dwelling unit size (m <sup>2</sup> )(min.)                               | 34                                                 |                      |
| 3-bedroom units (%) (min.)                                               | 6                                                  |                      |
| 2-bedroom units (%) (min.)                                               | 20                                                 |                      |
| Operable bedroom window (min. size)                                      | 440 mm                                             |                      |

### Site Planning

|                                                               |                                                                                    |         |
|---------------------------------------------------------------|------------------------------------------------------------------------------------|---------|
| Zone (existing)                                               | C1-CR Commercial-Residential District<br>R1-B Single Family Site Dwelling District |         |
| Lot area                                                      | 2603 m <sup>2</sup>                                                                |         |
| Lot area + road dedication                                    | 2750 m <sup>2</sup>                                                                |         |
| Street Frontage                                               | 45.72                                                                              |         |
| Gross floor area (m <sup>2</sup> )                            | 6388.98 m <sup>2</sup>                                                             |         |
| Floor space ratio                                             | 2.4                                                                                |         |
| Open lot space (%) pre road dedication                        | 75%                                                                                |         |
| Soft Landscaping                                              | 66.50%                                                                             | min 50% |
| Hard Landscaping                                              | 33.00%                                                                             | max 50% |
| Lot Coverage (%) post road dedication                         | 48%                                                                                |         |
| Landscape Area (%) post road dedication (184 m <sup>2</sup> ) | 7%                                                                                 |         |
| Landscape Area (%) pre road dedication (216 m <sup>2</sup> )  | 8%                                                                                 |         |
| Above and below ground structures                             | n/a                                                                                |         |

### Building Data

|                                   |                |       |
|-----------------------------------|----------------|-------|
| Average grade (m)                 | 19.7           |       |
| Height (m)                        | 20.2           |       |
| Number of storeys                 | 6              |       |
| Balcony Projection                | 1.8 m          | 2.0 m |
| Underground Parkade Projection    | n/a            |       |
| Setback to residential unit stair | 2.35 m, 2.65 m |       |

### Building Setbacks

|                                  |       |                                                                                                        |
|----------------------------------|-------|--------------------------------------------------------------------------------------------------------|
| Front Yard (Carrick)             | 4.5 m | 4.0 m                                                                                                  |
| Front Yard (Richmond)            | 5.5 m | 4.0 m                                                                                                  |
| Rear Yard                        | 9.5 m | 8.0m or 25% of Lot Depth                                                                               |
| Side Yard (not a primary façade) | 3.5m  | ii. 9.0m to a<br>Primary Façade above<br>4 Storeys<br>iv. 3.0m to all other<br>façades above 4 Storeys |

### Residential Use details

|                                           |                            |  |
|-------------------------------------------|----------------------------|--|
| Total number of units                     | 100                        |  |
| Unit Types                                | Studio, 1B, 1B+Den, 2B, 3B |  |
| Ground-oriented units                     | 16                         |  |
| Minimum unit floor area (m <sup>2</sup> ) | 34 m <sup>2</sup>          |  |
| Total residential floor area              | 5391.58 m <sup>2</sup>     |  |

### Rooftop Structure

|                              |                            |   |
|------------------------------|----------------------------|---|
| Projection (into height)     |                            |   |
| Parapets                     | 0.8m                       | 1 |
| Rooftop Structure            | 3.5m                       | 5 |
| Roof area coverage (%) (max) | 5.46%                      |   |
| Setback from edge (m)(min)   | 10.97m, 6.6 m, 8.5m, 36.4m |   |

### Vehicle Parking (min.)

|                                 |              |  |
|---------------------------------|--------------|--|
| Residency                       | 26           |  |
| Parking Total                   | 0            |  |
| Commercial                      | 20           |  |
| Residential                     | 1            |  |
| Accessible - standard visitor   | 1            |  |
| Accessible - van visitor        | 1            |  |
| Height clearance                | n/a          |  |
| Drive aisle grade (%) max       | 0%           |  |
| Driveway grade (%)              | 2%           |  |
| Driveway/ parking materials     | Hard Surface |  |
| Electric charging - Residential | 0.04         |  |
| Electric charging - Commercial  | 0            |  |

### Bicycle Parking (min.)

|                             |                            |           |
|-----------------------------|----------------------------|-----------|
| Long Term Total (Secure)    | 140                        |           |
| Location - Long Term        | P1 - Bicycle Storage       |           |
| Long term ceiling clearance | 2560 mm                    |           |
| Door entry width            | 900 mm                     |           |
| Aisle Width                 | 1.5 m                      | min 1.5 m |
| Ground anchored (%) min     | 70%                        | min 50%   |
| Short Term (Visitor)        | 10                         |           |
| Commercial Short Term       | 1                          |           |
| Commercial Long Term        | 1                          |           |
| Location - Short Term       | Surface <15m from entrance |           |
| Horizontal Ground Mounted   | 98                         |           |
| Stacked                     | 42                         |           |
| Cargo                       | 21                         |           |

### UNIT MIX

|               | L01 | L02 | L03 | L04 | L05 | L06 | Total | %    |
|---------------|-----|-----|-----|-----|-----|-----|-------|------|
| <b>Studio</b> |     | 7   | 7   | 7   | 3   | 3   | 27    | 27%  |
| <b>1B</b>     | 9   | 1   | 1   | 2   | 5   | 5   | 23    | 23%  |
| <b>1B+Den</b> |     |     |     |     |     |     | 24    | 24%  |
| <b>2B</b>     | 1   | 2   | 2   | 2   | 4   | 4   | 15    | 15%  |
| <b>2B+D</b>   | 5   |     |     |     |     |     | 5     | 5%   |
| <b>3B</b>     | 1   | 1   | 1   | 1   | 1   | 1   | 6     | 6%   |
| <b>Total</b>  | 16  | 18  | 18  | 18  | 15  | 15  | 100   | 100% |



**1 SITE PLAN**  
1:200

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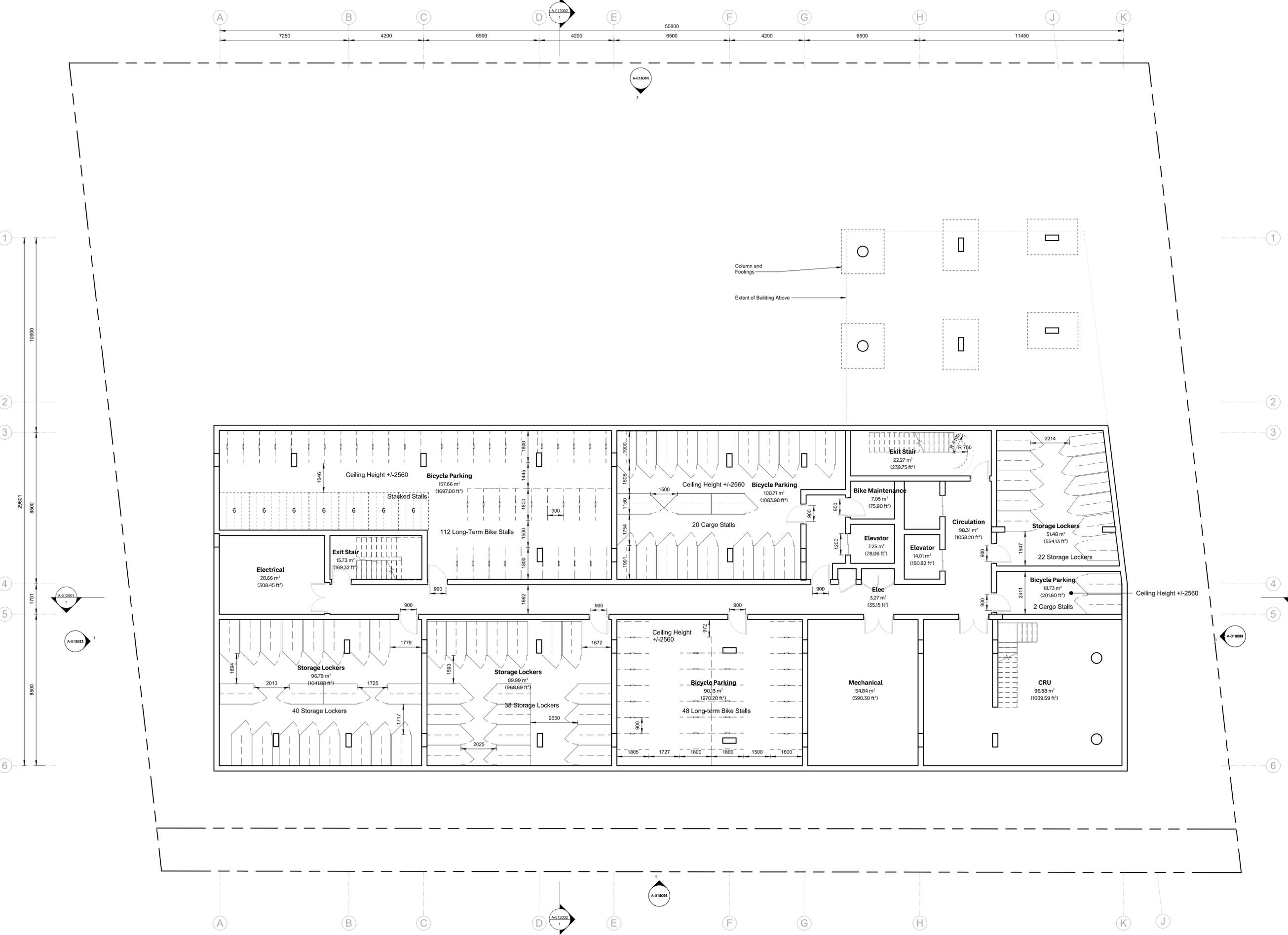
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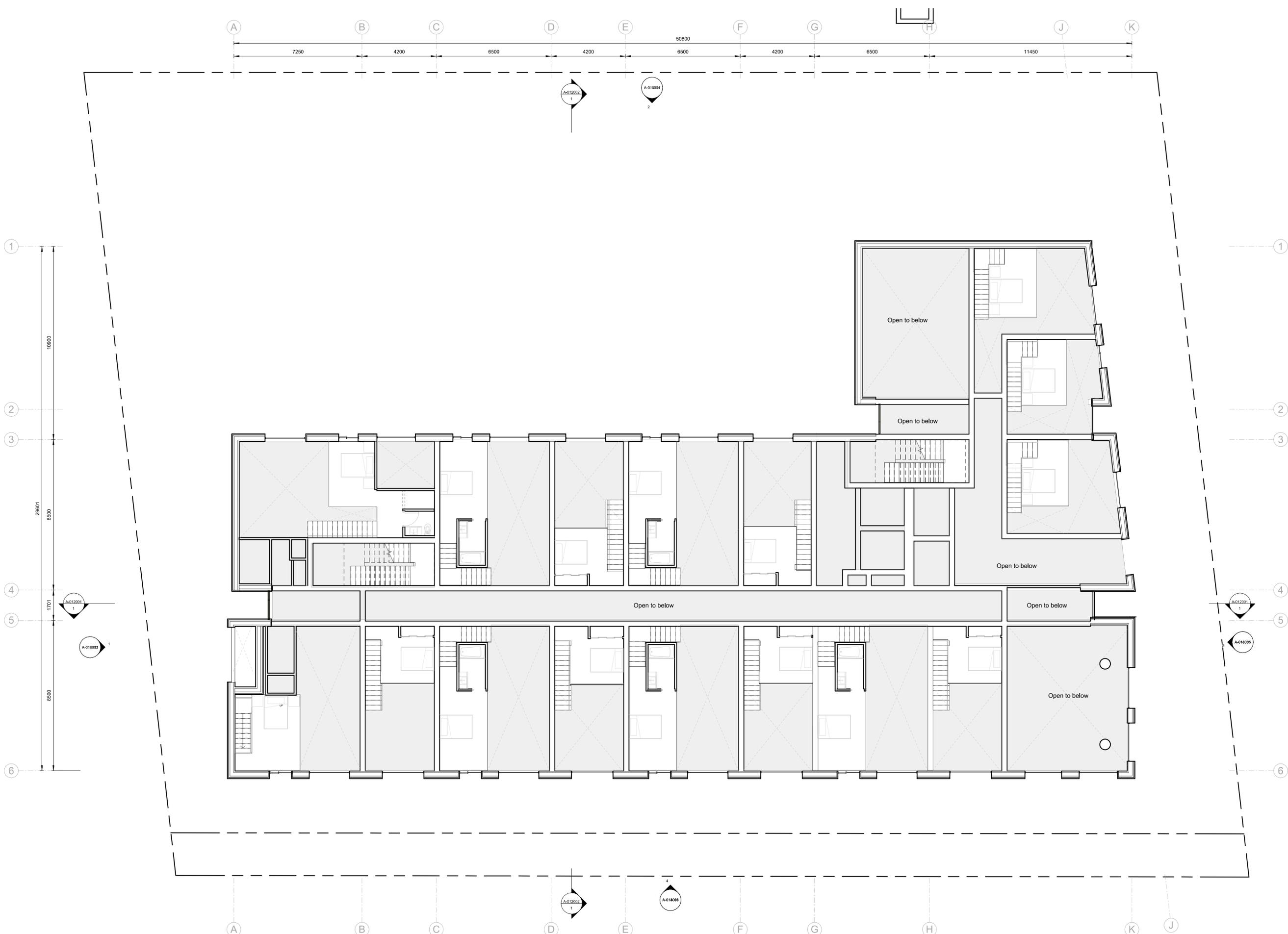
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| Drawing No:     | <b>A-011010</b>                            | Rev:   | P03      |
| Project Name:   | <b>2612 - 2628 Richmond Road, Victoria</b> |        |          |
| Drawing Name:   | <b>Level 01 Plan</b>                       |        |          |
| Drawing Status: | <b>PLANNING</b>                            |        |          |
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**1** Mezzanine Planning Application  
1:100

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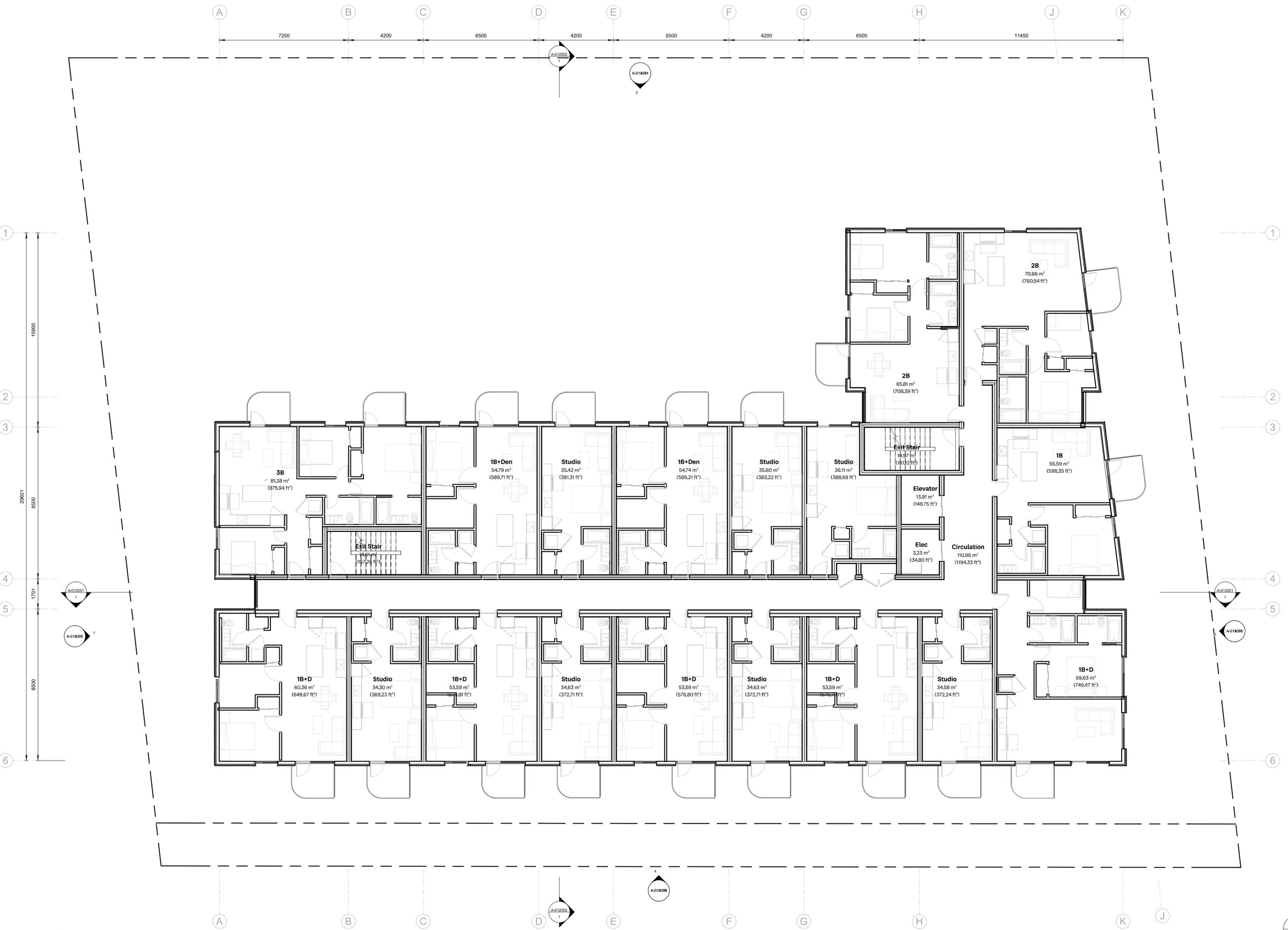
  

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| <b>Level Mezz Plan</b>                     |       |        |        |          |
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**1** Level 02 Plan  
1:100

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| Drawing Name:   | Level 02 Plan                       |          |       |
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**1** Level 03 Plan  
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| Project Name:   | 2612 - 2628 Richmond Road, Victoria |          |       |
| Drawing Name:   | Level 03 Plan                       |          |       |
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**1** Level 04 Plan  
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| <b>2612 - 2628 Richmond Road, Victoria</b> |        |        |          |
| Drawing Name:                              |        |        |          |
| <b>Level 04 Plan</b>                       |        |        |          |
| Drawing Status:                            |        |        |          |
| <b>PLANNING</b>                            |        |        |          |
| Project No:                                | Scale: | Drawn: | Checked: |
| 4153-C                                     | 1:100  | HN     | KB       |

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10900  
29601  
8500  
1701  
8500  
6

**1** Level 05 Plan  
1:100

| Rev. | Date       | Description                                | Issued by | Checked by |
|------|------------|--------------------------------------------|-----------|------------|
| P03  | 09/26/2025 | Reissued for Rezoning & Development Permit |           |            |
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| P01  | 05/07/2025 | Issued for Development Tracker             |           |            |

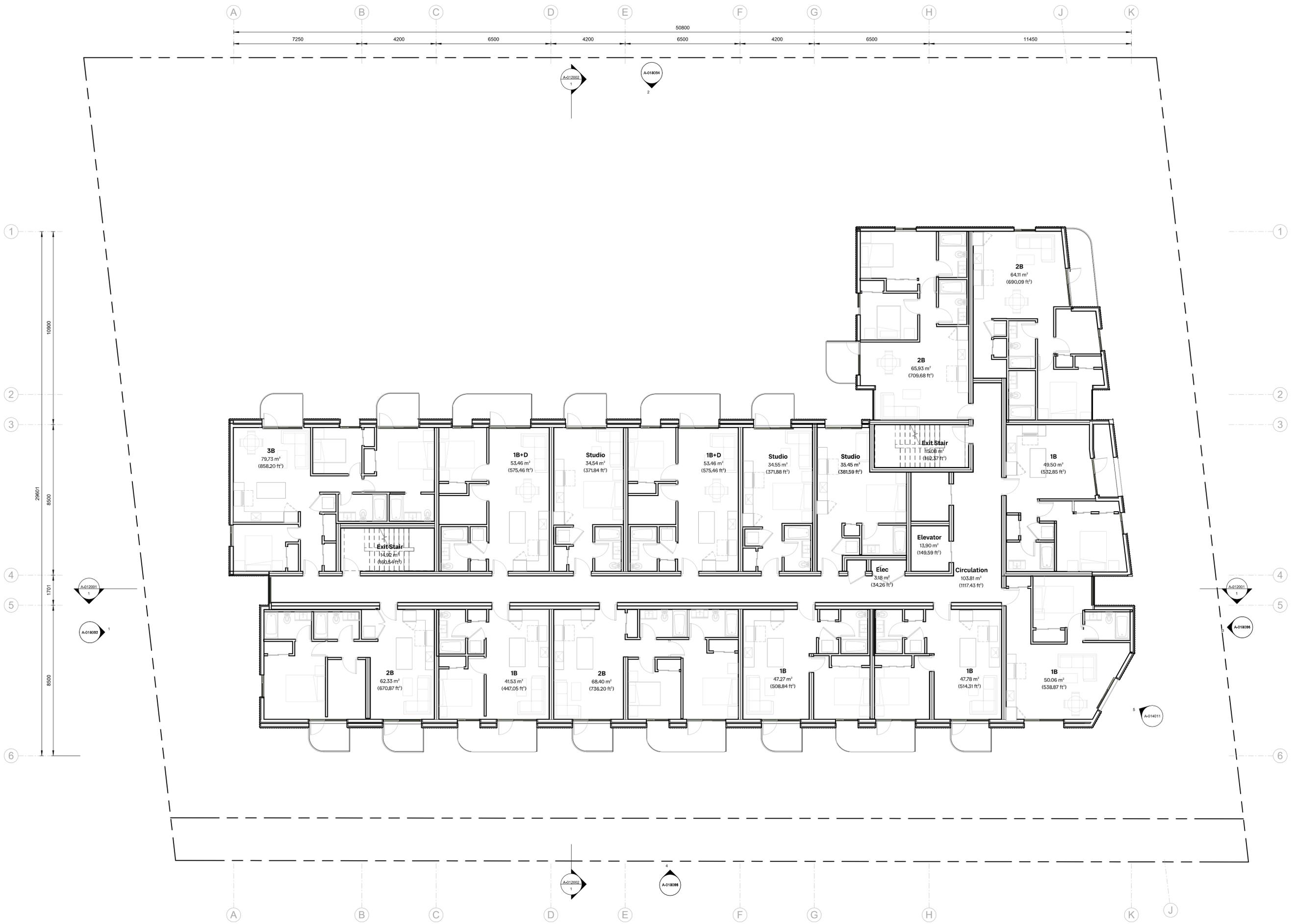
  

|                                            |        |        |          |
|--------------------------------------------|--------|--------|----------|
| Drawing No:                                | Rev:   |        |          |
| <b>A-011050</b>                            | P03    |        |          |
| Project Name:                              |        |        |          |
| <b>2612 - 2628 Richmond Road, Victoria</b> |        |        |          |
| Drawing Name:                              |        |        |          |
| <b>Level 05 Plan</b>                       |        |        |          |
| Drawing Status:                            |        |        |          |
| <b>PLANNING</b>                            |        |        |          |
| Project No:                                | Scale: | Drawn: | Checked: |
| 4153-C                                     | 1:100  | HN     | KB       |

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Level 06(1)  
1:100

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|                                            |       |        |        |          |
|--------------------------------------------|-------|--------|--------|----------|
| Drawing No:                                | Rev:  |        |        |          |
| <b>A-011060</b>                            | P03   |        |        |          |
| Project Name:                              |       |        |        |          |
| <b>2612 - 2628 Richmond Road, Victoria</b> |       |        |        |          |
| Drawing Name:                              |       |        |        |          |
| <b>Level 06 Plan</b>                       |       |        |        |          |
| Drawing Status:                            |       |        |        |          |
| <b>PLANNING</b>                            |       |        |        |          |
| Project No:                                | Date: | Scale: | Drawn: | Checked: |
| 4153-C                                     |       | 1:100  | HN     | KB       |

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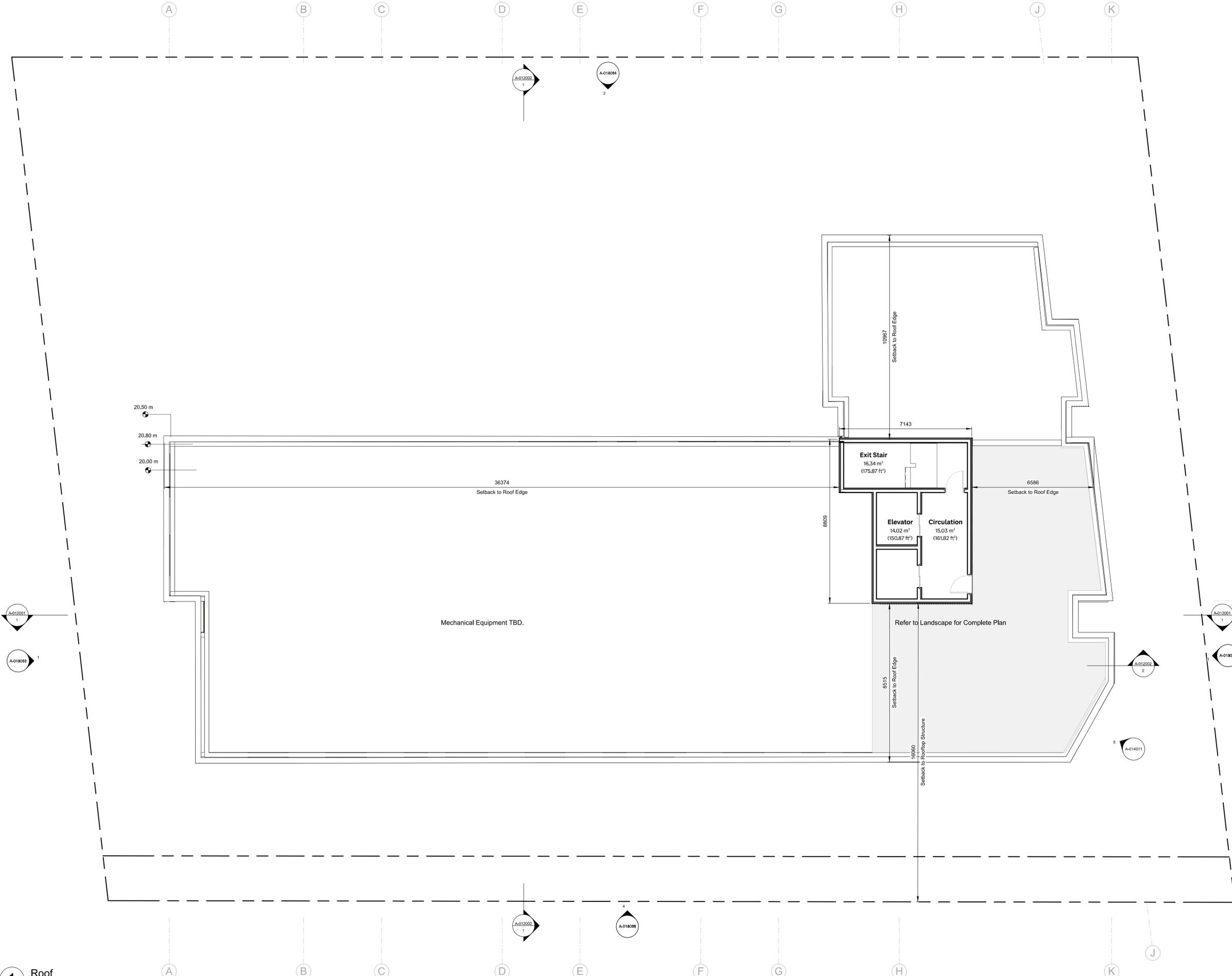
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**1 Roof**  
1:100

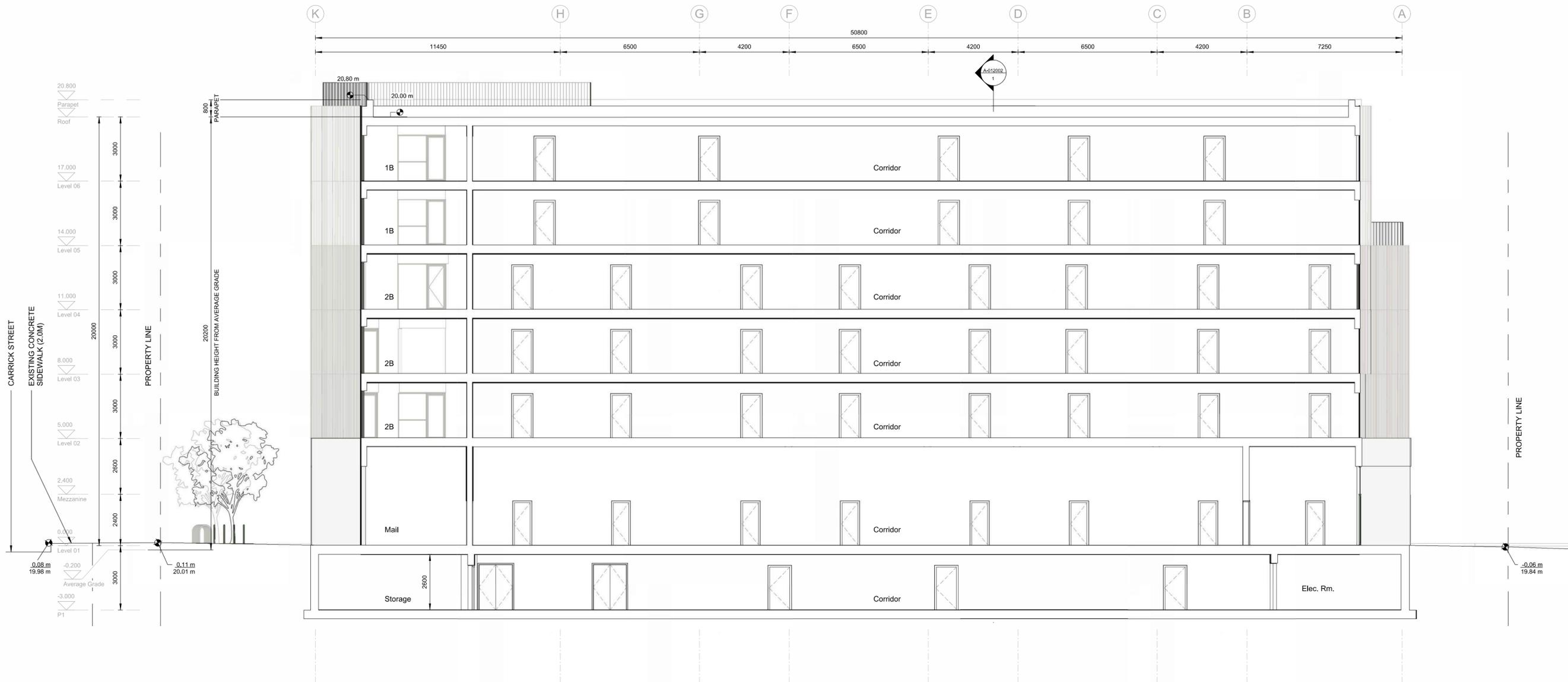
| Rev. | Date       | Description                                | Issued by | Checked by |
|------|------------|--------------------------------------------|-----------|------------|
| P03  | 09/26/2025 | Reissued for Rezoning & Development Permit |           |            |
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|                                            |              |           |           |
|--------------------------------------------|--------------|-----------|-----------|
| Drawing No:                                | Rec:         |           |           |
| <b>A-011061</b>                            | <b>P03</b>   |           |           |
| Project Name:                              |              |           |           |
| <b>2612 - 2628 Richmond Road, Victoria</b> |              |           |           |
| Drawing Status:                            |              |           |           |
| <b>PLANNING</b>                            |              |           |           |
| Project No:                                | Scale:       | Drawn:    | Checked:  |
| <b>4153-C</b>                              | <b>1:100</b> | <b>HN</b> | <b>KB</b> |



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**1** NS Section  
1:100

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Drawing No: **A-012001** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Section 01**

Drawing Status: **PLANNING**

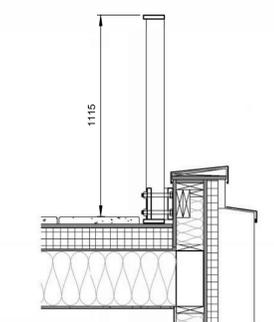
| Project No | Date  | Scale | Drawn | Checked |
|------------|-------|-------|-------|---------|
| 4153-C     | --/-- | 1:100 | HN    | KB      |



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**1** EW Section  
1:100



**2** Roof Guard Detail  
1:20

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Drawing No: **A-012002** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Section 02**

Drawing Status: **PLANNING**

Project No: **4153-C** Date: **As indicated** Scale: **HN** Drawn: **KB** Checked: **KB**



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North Elevation

1 : 100

**Exterior Elevation Legend**

- M01 Cast-in place Concrete
- M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a GFRC Precast Overhead Panel, Light Beige
- M03b GFRC Precast Overhead Panel, Green
- M04a Corrugated Fibre Cement Cladding, Sand
- M04b Corrugated Fibre Cement Cladding, White
- M05 Prefinished Aluminum Windows, Paint Finish
- M06 Prefinished Metal Railings  
Colour Match Windows and Doors

| Rev. | Date       | Description                                | Issued by | Checked by |
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| P02  | 06/18/2025 | Issued for Rezoning & Development Permit   |           |            |
| P01  | 05/07/2025 | Issued for Development Tracker             |           |            |

Drawing No: **A-013001** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (N)**

Drawing Status: **PLANNING**

| Project No | Date  | Scale        | Drawn | Checked |
|------------|-------|--------------|-------|---------|
| 4153-C     | --/-- | As indicated | HN    | KB      |



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**1** South Elevation  
1:100

**Exterior Elevation Legend**

- M01** Cast-in place Concrete
- M02** GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a** GFRC Precast Overhead Panel, Light Beige
- M03b** GFRC Precast Overhead Panel, Green
- M04a** Corrugated Fibre Cement Cladding, Sand
- M04b** Corrugated Fibre Cement Cladding, White
- M05** Prefinished Aluminum Windows, Paint Finish
- M06** Prefinished Metal Railings  
Colour Match Windows and Doors

| Rev. | Date       | Description                                | Issued by | Checked by |
|------|------------|--------------------------------------------|-----------|------------|
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| P01  | 05/07/2025 | Issued for Development Tracker             |           |            |

Drawing No: **A-013002** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (S)**

| Project No | Date  | Scale        | Drawn | Checked |
|------------|-------|--------------|-------|---------|
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**1 East Elevation**  
1:100

- Exterior Elevation Legend**
- M01 Cast-in place Concrete
  - M02 GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
  - M03a GFRC Precast Overhead Panel, Light Beige
  - M03b GFRC Precast Overhead Panel, Green
  - M04a Corrugated Fibre Cement Cladding, Sand
  - M04b Corrugated Fibre Cement Cladding, White
  - M05 Prefinished Aluminum Windows, Paint Finish
  - M06 Prefinished Metal Railings Colour Match Windows and Doors

| Rev. | Date       | Description                                | Issued by | Checked by |
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Drawing No: **A-013003** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (E)**

Drawing Status: **PLANNING**

| Project No | Date  | Scale        | Drawn | Checked |
|------------|-------|--------------|-------|---------|
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**1** West Elevation  
1 : 100

### Exterior Elevation Legend

- M01** Cast-in place Concrete
- M02** GFRC (Glass Fiber Reinforced Concrete) Precast Cladding
- M03a** GFRC Precast Overhead Panel, Light Beige
- M03b** GFRC Precast Overhead Panel, Green
- M04a** Corrugated Fibre Cement Cladding, Sand
- M04b** Corrugated Fibre Cement Cladding, White
- M05** Prefinished Aluminum Windows, Paint Finish
- M06** Prefinished Metal Railings  
Colour Match Windows and Doors

| Rev. | Date       | Description                                | Issued by | Checked by |
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Drawing No: **A-013004** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Elevation (W)**

Drawing Status: **PLANNING**

Project No: **4153-C** Date: **As Indicated** Scale: **Author** Drawn: **Checker**

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North Context Elevation  
1:200



East Context Elevation  
1:200

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Drawing No: **A-013006** Rec: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Context Elevations**

Drawing Status: **PLANNING**

| Project No | Date  | Scale | Drawn | Checked |
|------------|-------|-------|-------|---------|
| 4153-C     | --/-- | 1:200 | HN    | KB      |

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### SCHEDULE OF AREAS EXCL. IN FSR

| Floor Level      | Area                        |
|------------------|-----------------------------|
| <b>P1</b>        |                             |
| Bike Storage     | 367.23 m <sup>2</sup>       |
| Circulation      | 98.31 m <sup>2</sup>        |
| Elevator         | 21.06 m <sup>2</sup>        |
| Exit Stair       | 38.00 m <sup>2</sup>        |
| M&E              | 86.76 m <sup>2</sup>        |
| Bike Maintenance | 7.25 m <sup>2</sup>         |
| Storage          | 238.27 m <sup>2</sup>       |
| CRU Storage      | 96.58 m <sup>2</sup>        |
| <b>Total</b>     | <b>953.47 m<sup>2</sup></b> |

| <b>Roof</b>  |                             |
|--------------|-----------------------------|
| Exit Stair   | 16.34 m <sup>2</sup>        |
| Elevator     | 14.02 m <sup>2</sup>        |
| Circulation  | 15.03 m <sup>2</sup>        |
| <b>Total</b> | <b>998.86 m<sup>2</sup></b> |

### SCHEDULE OF AREAS INCL. IN FSR

| <b>Level 01</b> | <b>Area</b>                   |
|-----------------|-------------------------------|
| Circulation     | 154.17 m <sup>2</sup>         |
| Elevator        | 22.69 m <sup>2</sup>          |
| Exit Stair      | 38.90 m <sup>2</sup>          |
| M&E             | 5.40 m <sup>2</sup>           |
| Services        | 74.73 m <sup>2</sup>          |
| Units           | 1,000.93 m <sup>2</sup>       |
|                 | <b>1,296.83 m<sup>2</sup></b> |

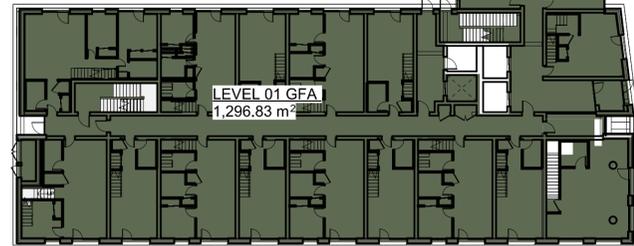
| <b>Level 02</b> |                              |
|-----------------|------------------------------|
| Circulation     | 110.96 m <sup>2</sup>        |
| Elevator        | 13.91 m <sup>2</sup>         |
| Exit Stair      | 29.58 m <sup>2</sup>         |
| M&E             | 3.23 m <sup>2</sup>          |
| Units           | 918.98 m <sup>2</sup>        |
|                 | <b>1076.66 m<sup>2</sup></b> |

| <b>Level 03</b> |                              |
|-----------------|------------------------------|
| Circulation     | 110.96 m <sup>2</sup>        |
| Elevator        | 13.92 m <sup>2</sup>         |
| Exit Stair      | 29.58 m <sup>2</sup>         |
| M&E             | 3.23 m <sup>2</sup>          |
| Units           | 919.34 m <sup>2</sup>        |
|                 | <b>1077.02 m<sup>2</sup></b> |

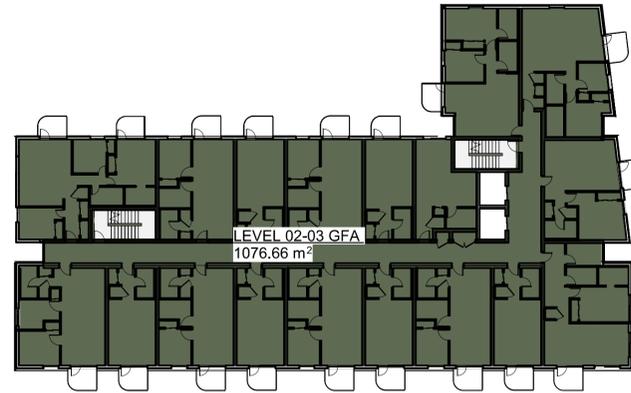
| <b>Level 04</b> |                              |
|-----------------|------------------------------|
| Circulation     | 111.21 m <sup>2</sup>        |
| Elevator        | 14.04 m <sup>2</sup>         |
| Exit Stair      | 29.67 m <sup>2</sup>         |
| M&E             | 3.23 m <sup>2</sup>          |
| Units           | 901.12 m <sup>2</sup>        |
|                 | <b>1059.27 m<sup>2</sup></b> |

| <b>Level 05</b> |                             |
|-----------------|-----------------------------|
| Circulation     | 111.68 m <sup>2</sup>       |
| Elevator        | 13.90 m <sup>2</sup>        |
| Exit Stair      | 29.91 m <sup>2</sup>        |
| Units           | 784.72 m <sup>2</sup>       |
|                 | <b>940.20 m<sup>2</sup></b> |

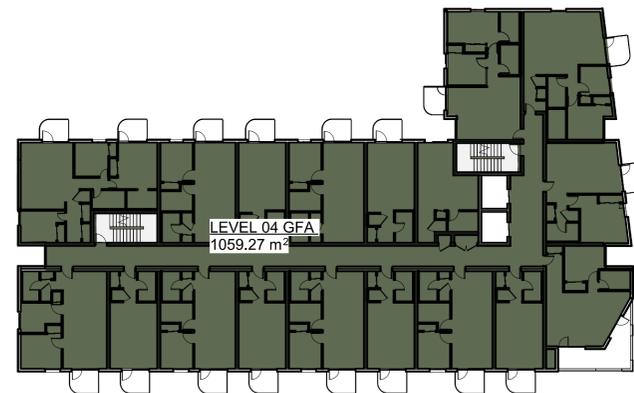
| <b>Level 06</b> |                              |
|-----------------|------------------------------|
| Circulation     | 103.81 m <sup>2</sup>        |
| Elevator        | 13.90 m <sup>2</sup>         |
| Exit Stair      | 30.00 m <sup>2</sup>         |
| M&E             | 3.18 m <sup>2</sup>          |
| Units           | 788.11 m <sup>2</sup>        |
|                 | <b>939.00 m<sup>2</sup></b>  |
|                 | <b>6388.98 m<sup>2</sup></b> |



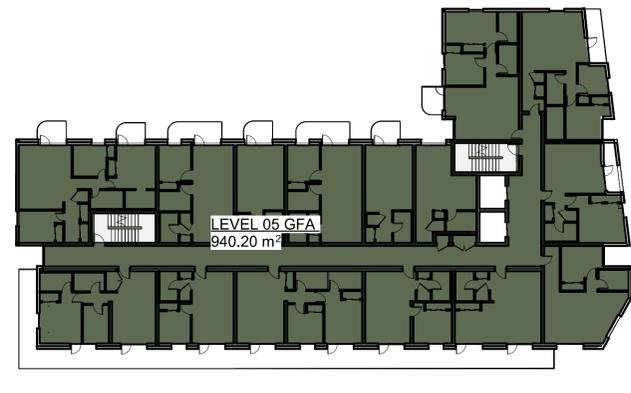
Level 01 Area Plan  
1:300



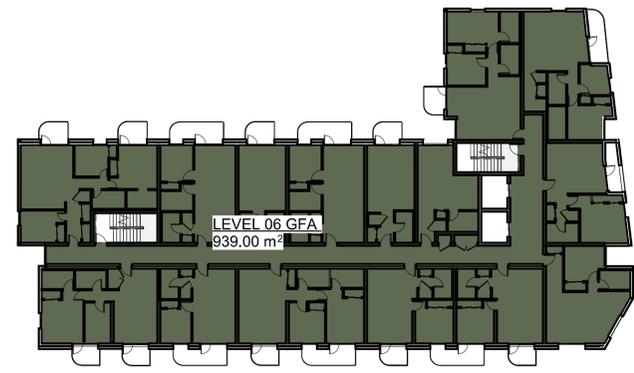
Level 02-03 Area Plan  
1:300



Level 04 Area Plan  
1:300



Level 05 Area Plan  
1:300



Level 06 Area Plan  
1:300

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Drawing No: **A-011111** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

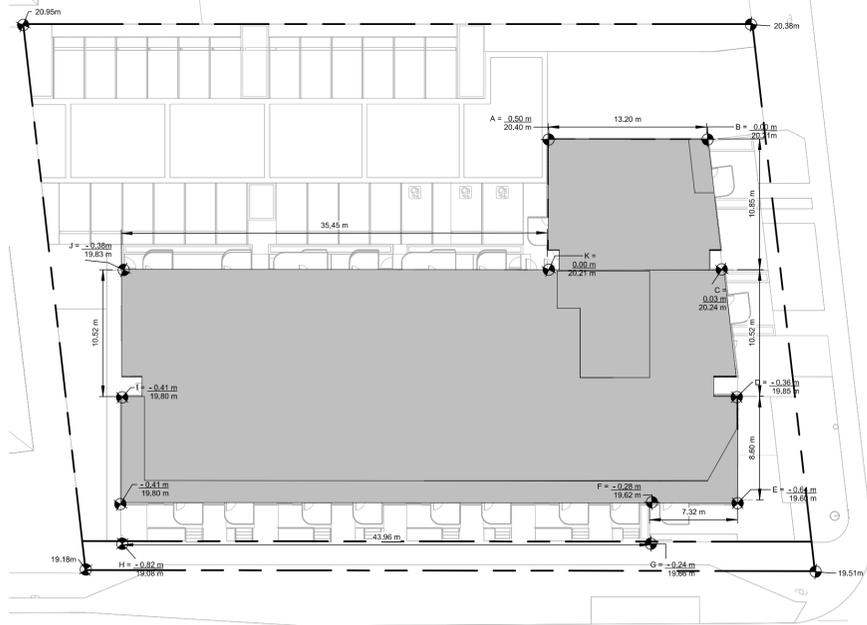
Drawing Name: **Zoning Calculations**

Drawing Status: **PLANNING**

| Project No: | Date: | Scale: | Drawn: | Checked: |
|-------------|-------|--------|--------|----------|
| 4153-C      |       | 1:300  | HN     | KB       |



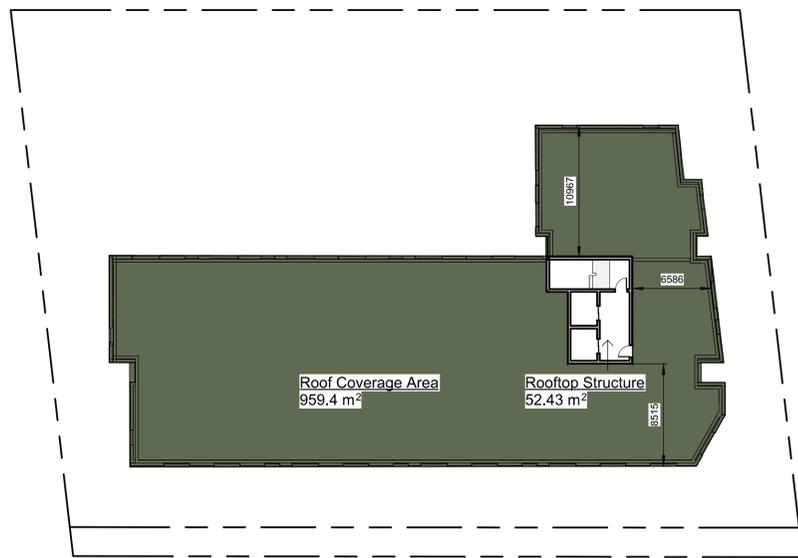
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Average Grade Key Plan  
1 : 300



Site Coverage  
1 : 300



Roof Coverage Area  
1 : 300



Open Site Space Area  
1 : 300

| Point Name | Natural | Proposed |
|------------|---------|----------|
| A          | 20.4    | 19.9     |
| B          | 20.21   | 20.21    |
| C          | 20.24   | 19.9     |
| D          | 19.85   | 19.9     |
| E          | 19.6    | 19.75    |
| F          | 19.62   | 19.75    |
| G          | 19.66   | 19.66    |
| H          | 19.08   | 19.08    |
| I          | 19.8    | 19.9     |
| J          | 19.83   | 19.9     |
| K          | 20.21   | 19.9     |

| AVERAGE GRADE CALCULATION |                   |         |          |               |                |
|---------------------------|-------------------|---------|----------|---------------|----------------|
| Grade Points              | Average of Points | Average | Distance | M             | Totals         |
| Points A&B                | (19.9+20.21)/2    | 20.05   | A-B      | 13.2          | 264.66         |
| Points B&C                | (20.21+19.9)/2    | 20.05   | B-C      | 10.85         | 217.543        |
| Points C&D                | (19.9+19.85)/2    | 19.88   | C-D      | 10.52         | 209.138        |
| Points D&E                | (19.85+19.6)/2    | 19.73   | D-E      | 8.6           | 169.678        |
| Points E&F                | (19.6+19.62)/2    | 19.61   | E-F      | 7.22          | 141.584        |
| Points F&G                | (19.62+19.66)/2   | 19.64   | F-G      | 3.14          | 61.6696        |
| Points G&H                | (19.66+19.08)/2   | 19.37   | G-H      | 43.96         | 851.505        |
| Points H&I                | (19.08+19.8)/2    | 19.44   | H-I      | 11.98         | 232.891        |
| Points I&J                | (19.8+19.83)/2    | 19.82   | I-J      | 10.51         | 208.308        |
| Points J&K                | (19.83+19.9)/2    | 19.87   | J-K      | 35.45         | 704.392        |
| Points K&A                | (19.9+19.9)/2     | 19.9    | K-A      | 10.84         | 215.716        |
| <b>Totals</b>             |                   |         |          | <b>166.27</b> | <b>3277.08</b> |
| <b>Average</b>            |                   |         |          | <b>19.7</b>   |                |

### Legend

- Hard Landscaping
- Soft Landscaping

| Rev. | Date       | Description                                | Issued by | Checked by |
|------|------------|--------------------------------------------|-----------|------------|
| P03  | 09/26/2025 | Reissued for Rezoning & Development Permit |           |            |
| P02  | 06/18/2025 | Issued for Rezoning & Development Permit   |           |            |
| P01  | 05/07/2025 | Issued for Development Tracker             |           |            |

Drawing No: **A-011112** Rev: **P03**

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Zoning Calculations**

Drawing Status: **PLANNING**

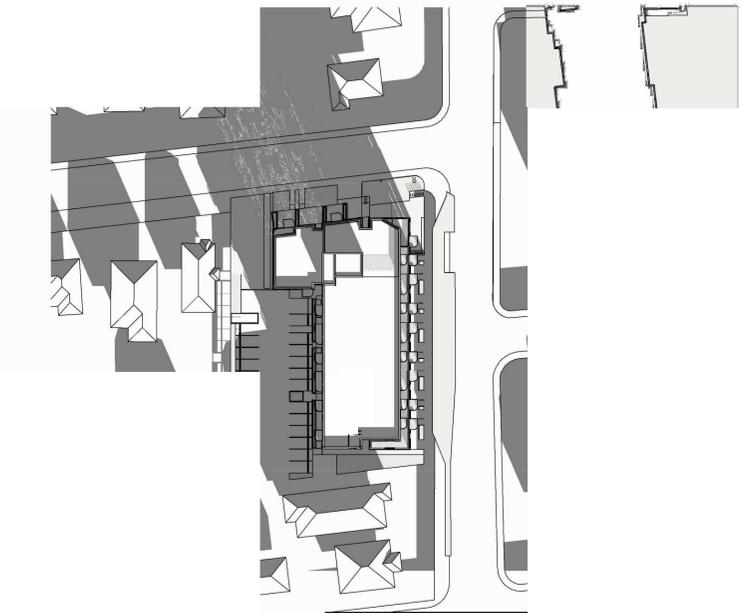
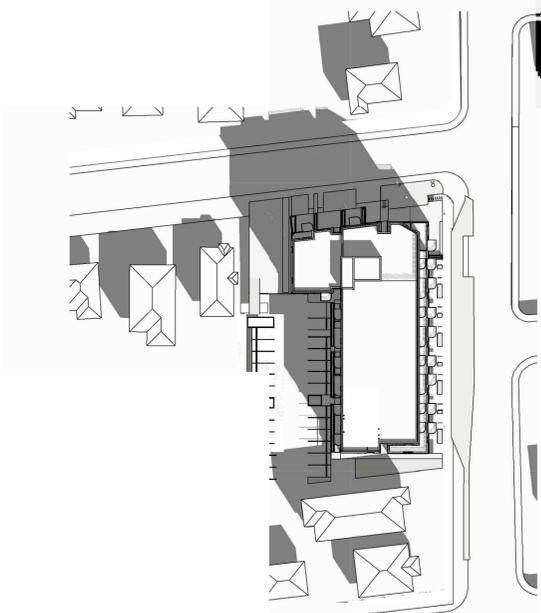
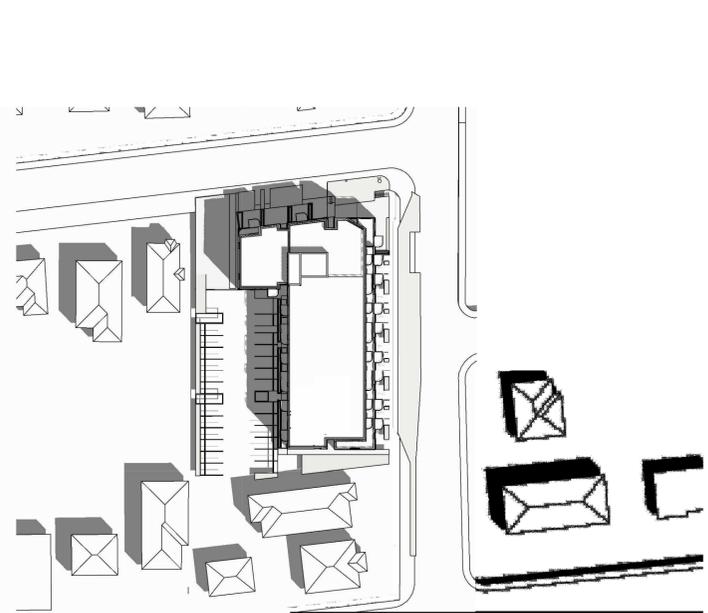
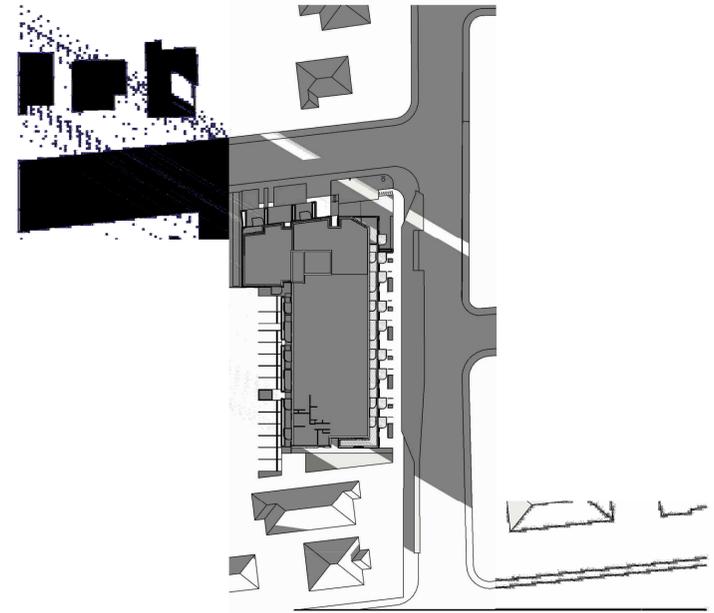
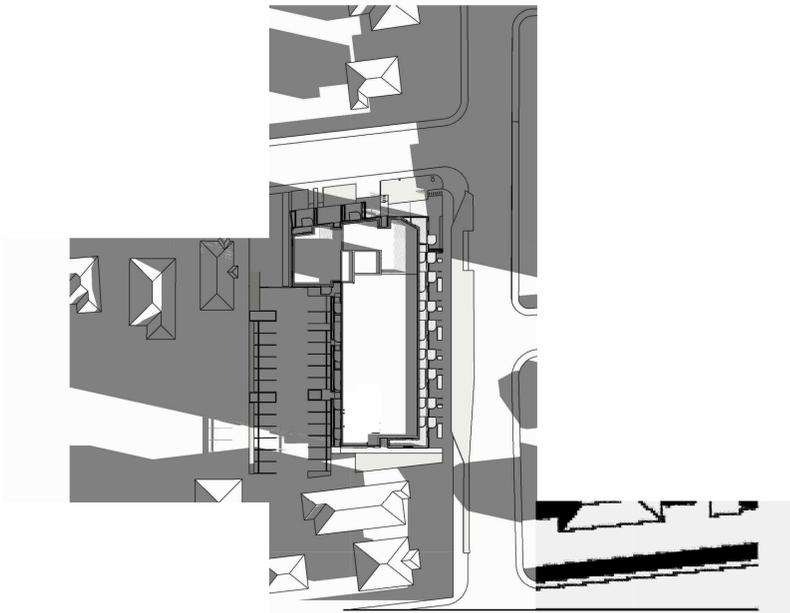
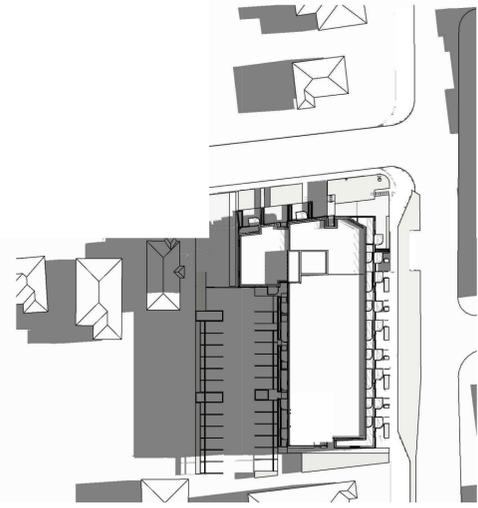
Project No: **4153-C** Date: **As Indicated** Scale: **HN** Drawn: **KB** Checked: **KB**

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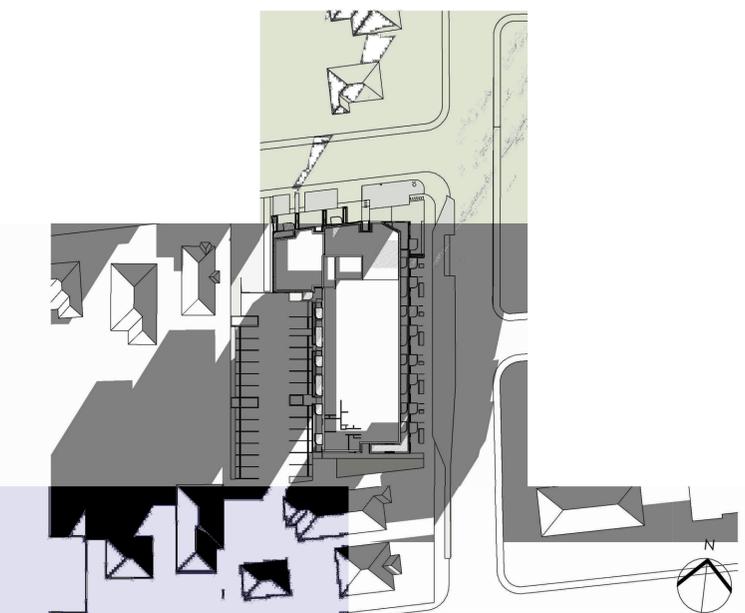
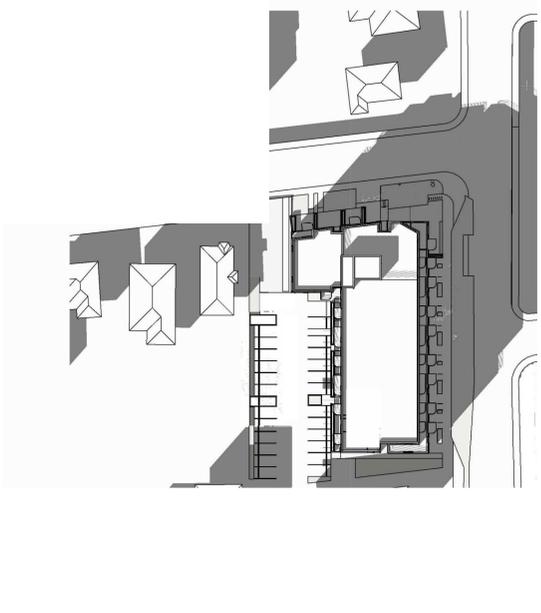
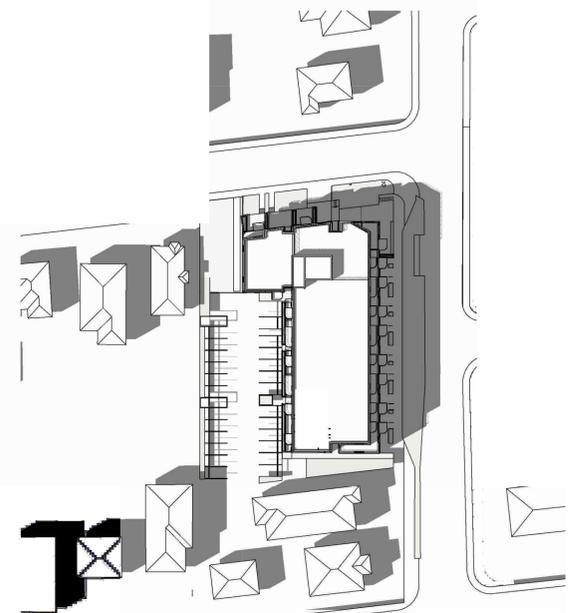
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Summer Solstice 12 PM

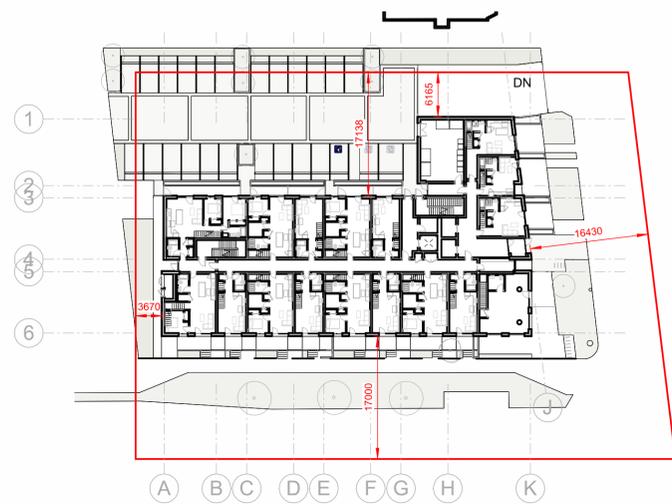
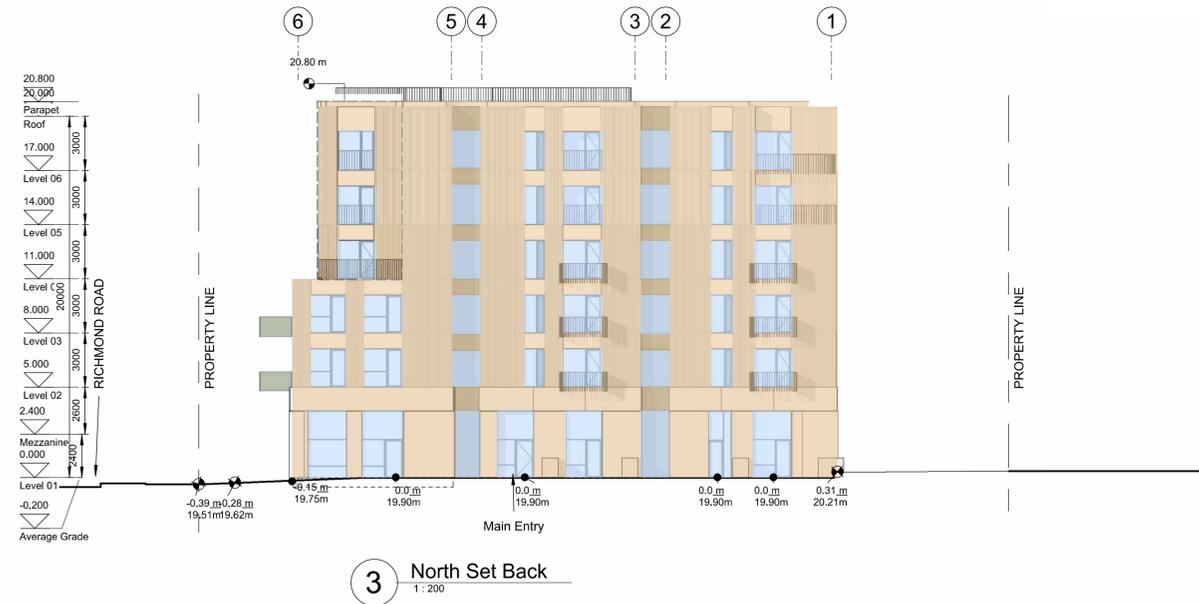
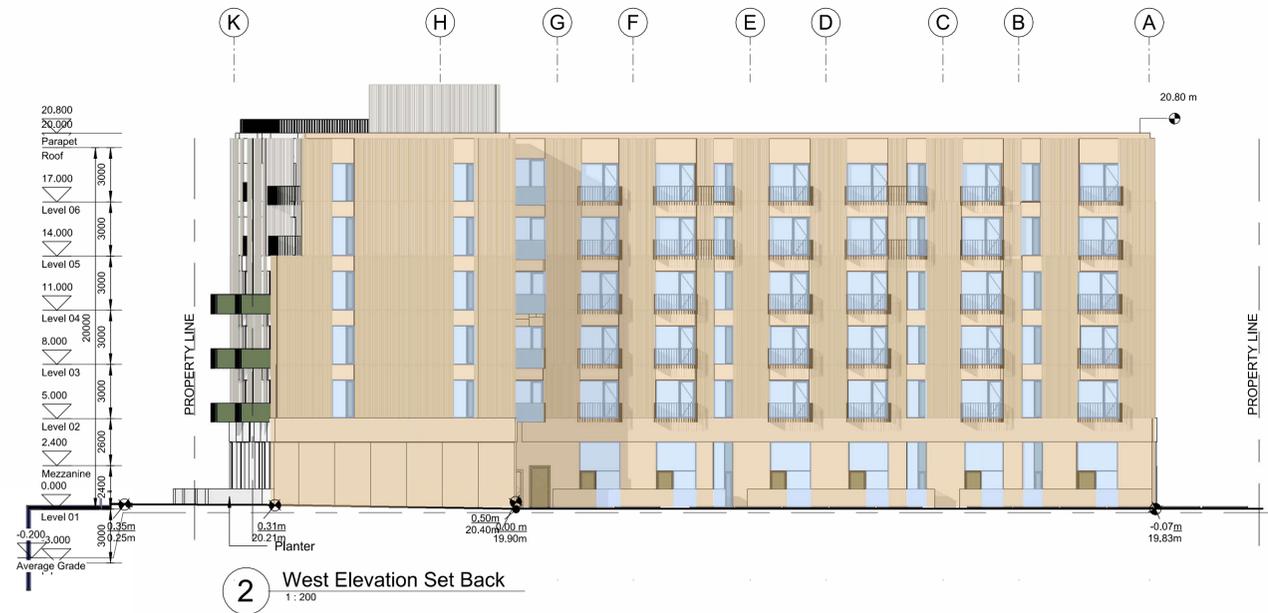
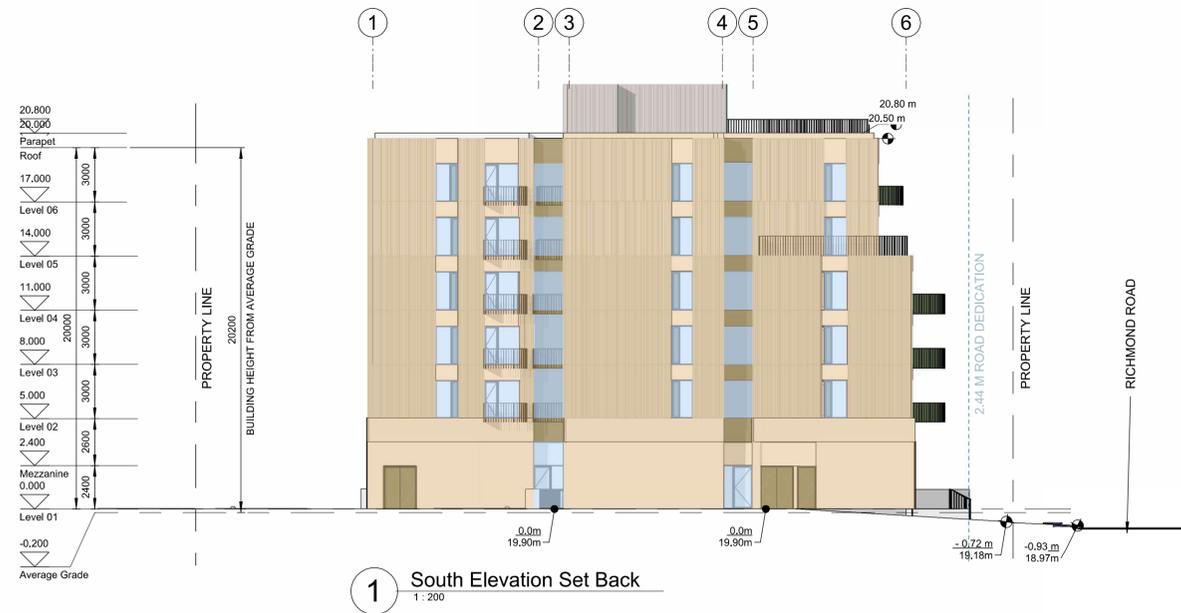


Summer Solstice 4PM

Winter Solstice 4PM



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| P02  | 06/18/2025 | Issued for Rezoning & Development Permit   |           |            |
| P01  | 05/07/2025 | Issued for Development Tracker             |           |            |

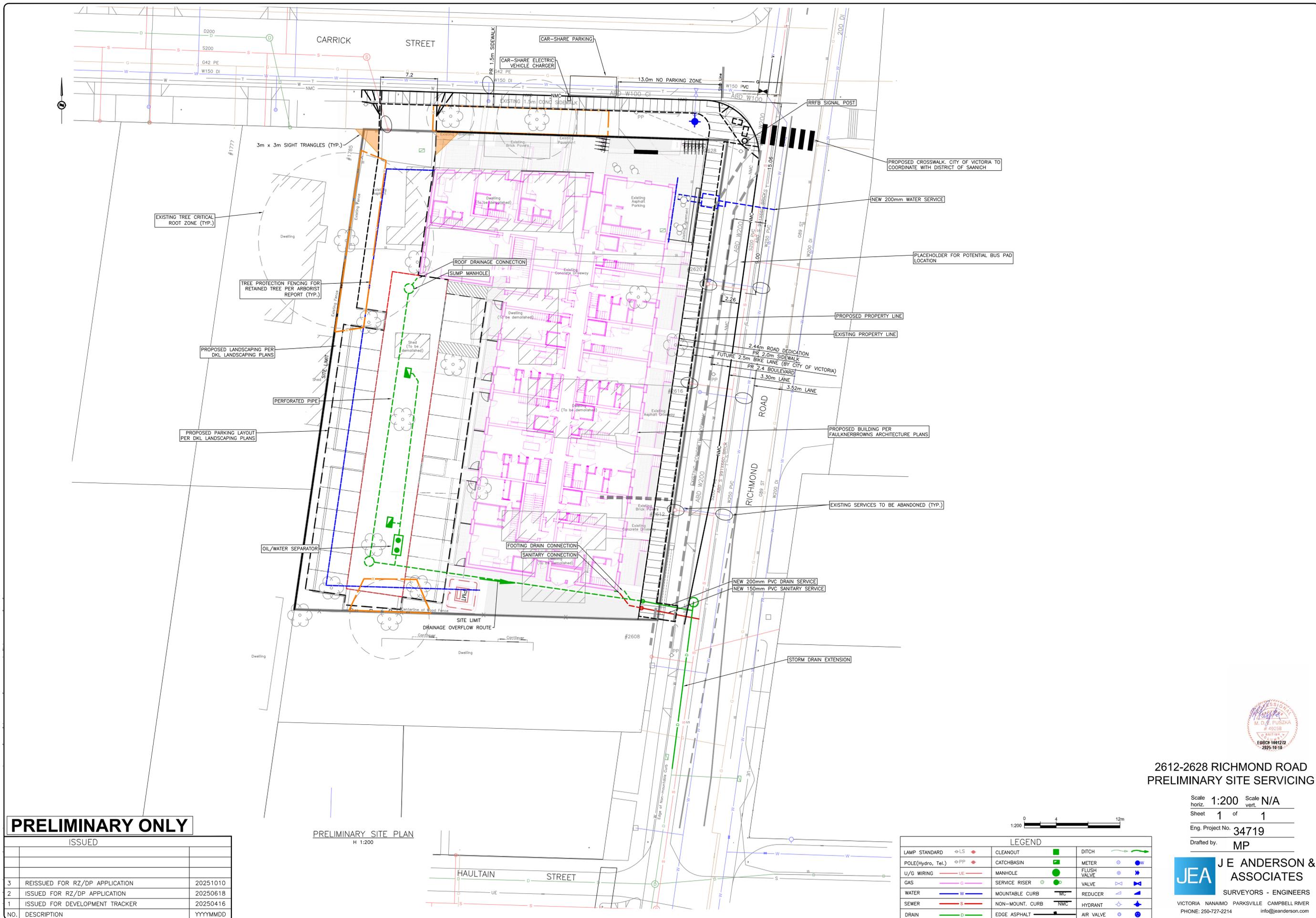
Drawing No: **A-014011** Rec: P03

Project Name: **2612 - 2628 Richmond Road, Victoria**

Drawing Name: **Spatial Setback**

Drawing Status: **PLANNING**

Project No: 4153-C Date: --/-- Scale: As Indicated Drawn: HN Checked: KB



**PRELIMINARY ONLY**

| ISSUED |                                |          |
|--------|--------------------------------|----------|
| NO.    | DESCRIPTION                    | YYYYMMDD |
| 3      | REISSUED FOR RZ/DP APPLICATION | 20251010 |
| 2      | ISSUED FOR RZ/DP APPLICATION   | 20250618 |
| 1      | ISSUED FOR DEVELOPMENT TRACKER | 20250416 |

PRELIMINARY SITE PLAN  
H 1:200

| LEGEND            |     |   |
|-------------------|-----|---|
| LAMP STANDARD     | LS  | ◆ |
| POLE(Hydro, Tel.) | PP  | ◆ |
| U/G WIRING        | UE  | — |
| GAS               | G   | — |
| WATER             | W   | — |
| SEWER             | S   | — |
| DRAIN             | D   | — |
| CLEANOUT          | ■   | ■ |
| CATCHBASIN        | ■   | ■ |
| MANHOLE           | ■   | ■ |
| SERVICE RISER     | ○   | ○ |
| MOUNTABLE CURB    | MC  | — |
| NON-MOUNT. CURB   | NMC | — |
| EDGE ASPHALT      | —   | — |
| DITCH             | —   | — |
| METER             | ○   | ○ |
| FLUSH VALVE       | ◆   | ◆ |
| VALVE             | ◆   | ◆ |
| REDUCER           | ◆   | ◆ |
| HYDRANT           | ◆   | ◆ |
| AIR VALVE         | ○   | ○ |

2612-2628 RICHMOND ROAD  
PRELIMINARY SITE SERVICING

Scale 1:200 Scale N/A  
horiz. vert.  
Sheet 1 of 1  
Eng. Project No. 34719  
Drafted by: MP

**JEA** J E ANDERSON & ASSOCIATES  
SURVEYORS - ENGINEERS  
VICTORIA NANAIMO PARKSVILLE CAMPBELL RIVER  
PHONE: 250-727-2214 info@jeanderson.com



# DRAWING LIST

| SHEET  | DRAWING TITLE                             | SCALE |
|--------|-------------------------------------------|-------|
| L-0.00 | COVER SHEET                               | NTS   |
| L-0.01 | NOTE                                      | NTS   |
| L-1.01 | LANDSCAPE PLAN - GROUND LEVEL             | 1:100 |
| L-1.02 | PLANTING PLAN - GROUND LEVEL              | 1:100 |
| L-1.03 | LANDSCAPE PLAN - ROOF                     | 1:100 |
| L-1.04 | PLANTING PLAN - ROOF                      | 1:100 |
| L-1.05 | RAINWATER MANAGEMENT PLAN                 | 1:100 |
| L-1.06 | SOIL VOLUME FOR REPLACEMENT TREE PLANTING | 1:100 |
| L-2.01 | SECTION 1                                 | 1:50  |
| L-2.02 | SECTION 2                                 | 1:50  |
| L-3.01 | DETAILS                                   | 1:10  |

## DRAWING KEY

- PROPERTY LINE
- HIGHWAY DEDICATION
- SETBACK
- CANOPY ABOVE
- GUARDRAIL
- PERMEABLE UNIT PAVER
- CIP CONCRETE
- SLAB PAVERS
- GRANULAR MATERIAL
- NEW PLANTING
- LAWN
- HEDGES
- EXISTING TREE (TO BE RETAINED)
- PROPOSED NEW TREE
- TREE PROTECTION AREA
- STORMWATER MANAGEMENT AREA

## LEGEND

- PEDESTRIAN ENTRANCE
- VEHICULAR ENTRANCE
- RESIDENTIAL MAIN ENTRANCE
- CRU COMMUNITY TERRACE

## LIGHTING LEGEND

- BOLLARD LIGHT
- STEPS LIGHT

## PRECEDENT IMAGE



CRU Patio



Permeable Plaza

## TREES



Trembling aspen



Pyramidal European Hornbeam



Ivory Silk Tree Lilac



Vine Maple



Ceder Hedge

## SHRUBS



*Pennisetum alopecuroides*  
Fountain Grass



*Rhododendron macrophyllum*  
Pacific Rhodo



*Lupinus polyphyllus*  
Big-leafed Lupine



| no.: | date:      | item:                          |
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| 2    | 2025-06-13 | Issued for RZ/DP Application   |
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Revisions:  
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## Residential Development

2612, 2616, 2620, 2628  
Richmond Road, Victoria

Drawn by: KY  
Checked by: SV  
Date: 06 MAR 2025  
Scale: NTS  
Drawing Title:

## COVER SHEET

Project No.:  
25016  
Sheet No.:

**L-0.00**

## LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes #3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for #5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
- All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, ie: it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
- Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
- All trees to be staked in accordance with CNLA Standards.
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

## OFF-SITE PLANTING NOTES

- Street tree final spacing and quantity to the approval of City of Victoria Engineering.
- Street tree final species to the approval of City of Victoria Park Board.
- Approved root barrier to be installed per City of Victoria standard, 8' (2.4m) long and 18" (450mm) deep.
- Call Park Board for inspection after tree planting.

## ADDITIONAL NOTES

- All sidewalks between curb and property line are to be reconstructed fully at the applicant's expense.
- This plan is NOT FOR CONSTRUCTION and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/ or your Engineering Building Site Inspector for details.
- Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard, installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Park Board (604-257-8587) for inspection after tree planting completion.

## IRRIGATION NOTES

- All on-site 'Soft Landscape Areas' are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IIABC Standards.
- Irrigation stub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
- Irrigation system is a deign-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
- No visible irrigation lines will be accepted.
- All irrigation boxes to be equipped with quick couplers.
- Irrigation controller to be located in mechanical room.

## BIRD FRIENDLY STRATEGY

Elements of the landscape design and planting selection have been thoughtfully considered to support the City of Victoria's Bird Friendly Strategy Design Guidelines.' The use of native tiered planting materials will provide a variety of textures and heights that will support bird habitat. The plantings should provide opportunities for nesting, food sources, pollination support, shelters as well as protection.

A landscape consideration that will make this proposed development more bird friendly will be the expansion of the urban tree canopy. The development proposes to add street trees along Richmond Road to City of Victoria Standard. These additional trees can to provide shade, perching and nesting opportunities.

The proposed landscape planting incorporates canopy and habit stratification with tree(s), shrub(s) and groundcover planting, utilizing plants that attract birds, insects and includes native and non-native/non-invasive plants.

## PLANT LIST

### TREES

| SYMBOL                                                                            | QTY | BOTANICAL NAME                  | COMMON NAME           | SIZE / SPACING |
|-----------------------------------------------------------------------------------|-----|---------------------------------|-----------------------|----------------|
|  | 4   | Acer circinatum                 | sicæþp - Vine Maple   | 5 cm cal. B&B  |
|  | 7   | Carpinus betulus 'Fastigiata'   | European hornbeam     | 5 cm cal. B&B  |
|  | 2   | Populus tremuloides             | Trembling aspen       | 5cm cal. B&B   |
|  | 4   | Syringa reticulata 'Ivory Silk' | Ivory Silk Tree Lilac | 5cm cal. B&B   |

### SHRUBS

| SYMBOL | QTY | BOTANICAL NAME                 | COMMON NAME                  | SIZE / SPACING    |
|--------|-----|--------------------------------|------------------------------|-------------------|
| Bw     | 53  | Buxus microphylla 'Winter Gem' | Winter Gem Boxwood           | #2 pot / 24" O.C. |
| Ct     | 65  | Choisya ternata                | Mexican orange blossom       | #5 pot , 36" o.c. |
| Ma     | 17  | Mahonia aquifolium             | Oregon Grape                 | #2 pot / 36" O.C. |
| Mr     | 166 | Mahonia repens                 | Creeping mahonia             | #1 pot / 16" O.C. |
| OC     | 22  | Oemleria cerasiformis          | osoberry or Indian plum      | #3 pot. 48" o.c.  |
| Pe     | 35  | Philadelphus lewisii           | Mock Orange                  | #3 pot / 48" O.C. |
| Rk     | 6   | Rhododendron 'Ken Jaweck'      | Ken Jaweck Rhodo             | #2 pot / 36" O.C. |
| Ru     | 36  | Rubus idaeus                   | raspberry                    | #3 pot. 24" o.c.  |
| Vp     | 1   | Vaccinium parvifolium          | sĳæq*cææþp - Red Huckleberry | #2 pot / 36" O.C. |

### GROUNDCOVERS, GRASSES, FERNS & VINES

| SYMBOL | QTY | BOTANICAL NAME                        | COMMON NAME           | SIZE / SPACING    |
|--------|-----|---------------------------------------|-----------------------|-------------------|
| d      | 79  | Dicentra formosa 'Aurora'             | aurora bleeding heart | #1 pot, 12" o.c.  |
| LI     | 39  | Lupinus latifolius                    | Broadleaf Lupine      | #1 pot / 12"O.C.  |
| Pa     | 21  | Pennisetum alopecuroides 'Hameln'     | Dwarf Fountain Grass  | #1 pot / 18 O.C.  |
| Pm     | 29  | Polystichum munitum                   | sþxæləm - Sword fern  | #1 pot / 18" O.C. |
| sd     | 55  | Symphytotrichum dumosum 'Wood's Pink' | Aster 'Wood's Pink'   | #1 Pot / 12" O.C. |

| Tree Impact Summary |              |                            |                                                     |
|---------------------|--------------|----------------------------|-----------------------------------------------------|
| Tree Status         | No. of Trees | No. of Trees to be Removed | No. of Replacement Trees                            |
| On-site Trees       | 10           | 10                         | 8 (Small Trees)<br>+ 9 (Medium Trees)               |
| Off-site Trees      | 2            | 0                          | 0                                                   |
| Municipal Trees     | 2            | 0                          | 0                                                   |
| Total               | 14           | 10                         | 8 (Small Trees)<br>+ 9 (Medium Trees)<br>Total : 13 |



|   |            |                                |
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Project:

## Residential Development

**2612, 2616, 2620, 2628  
Richmond Road, Victoria**

Drawn by: KY

Checked by: SV

Date: 06 MAR 2025

Scale: NTS

Drawing Title:

## NOTE

Project No.:

**25016**

Sheet No.:

**L-0.01**



| no. | date       | item                           |
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**Residential Development**

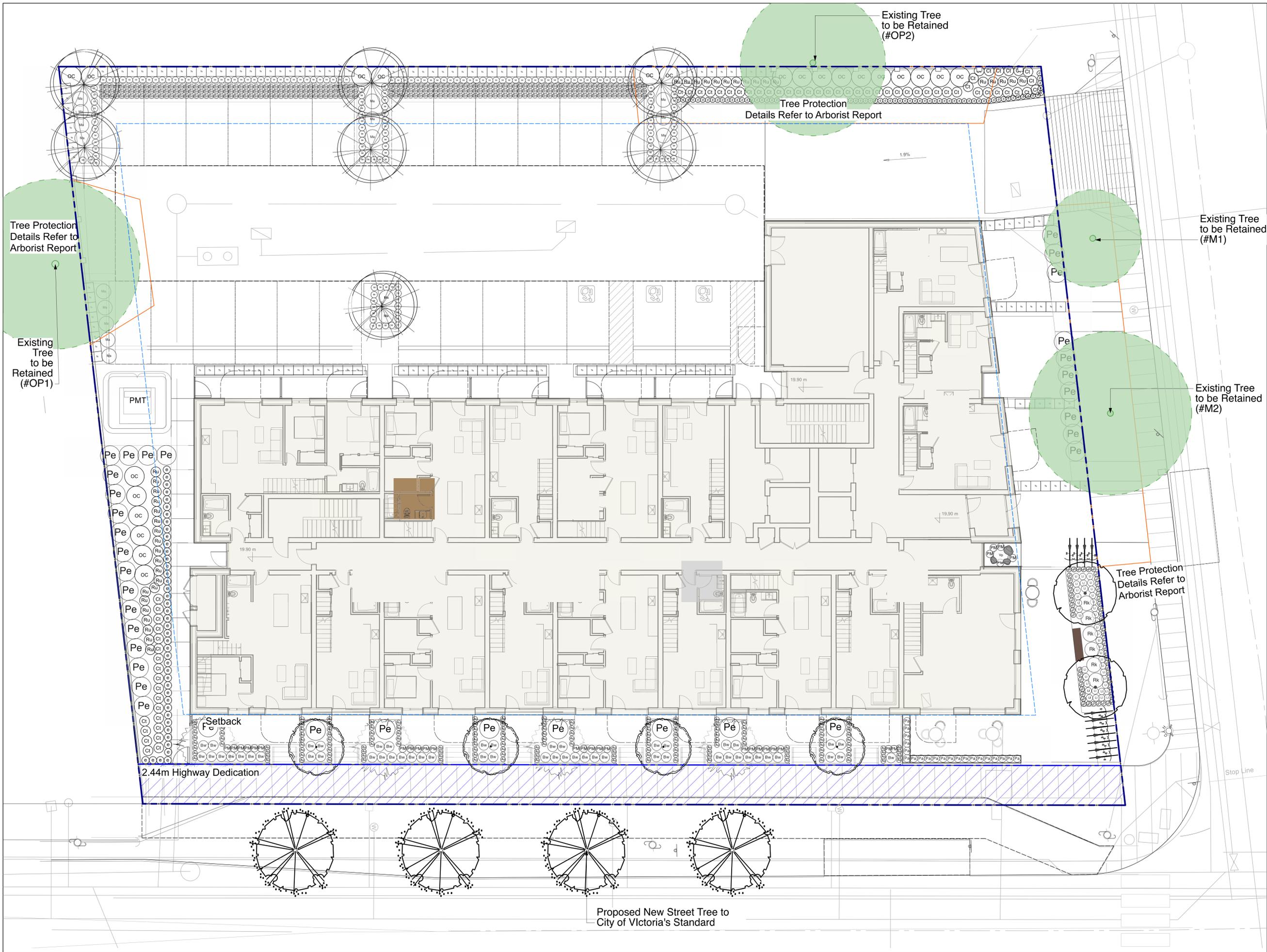
**2612, 2616, 2620, 2628  
 Richmond Road, Victoria**

Drawn by: KY  
 Checked by: SV  
 Date: 06 MAR 2025  
 Scale: 1:100

**LANDSCAPE PLAN -  
 GROUND LEVEL**

Project No.:  
**25016**  
 Sheet No.:

**L-1.01**



|   |            |                                |
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Project:  
**Residential Development**

**2612, 2616, 2620, 2628  
 Richmond Road, Victoria**

Drawn by: KY  
 Checked by: SV  
 Date: 06 MAR 2025  
 Scale: 1:100

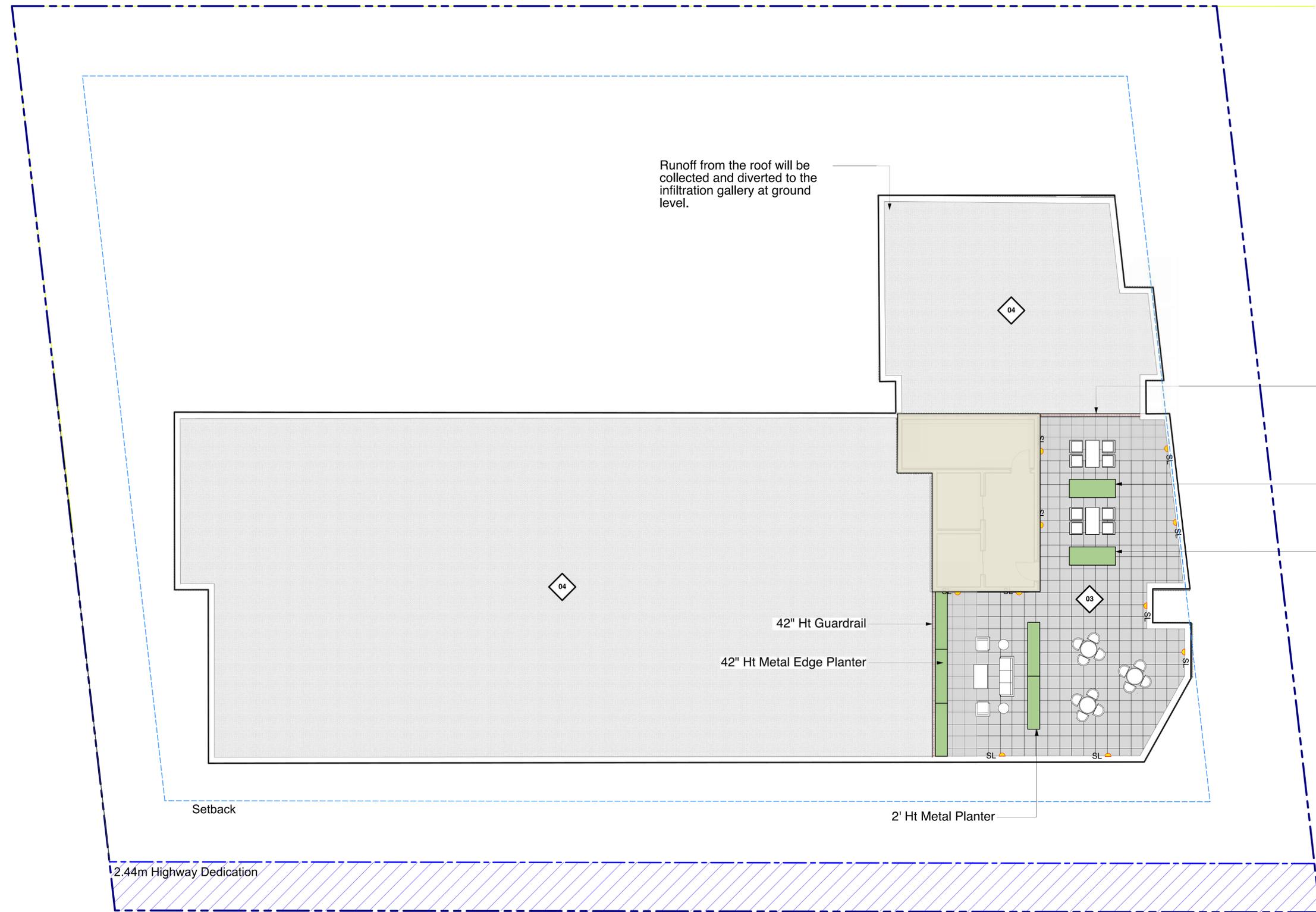
Drawing Title:  
**PLANTING PLAN -  
 GROUND LEVEL**

Project No.:  
**25016**  
 Sheet No.:

**L-1.02**



Runoff from the roof will be collected and diverted to the infiltration gallery at ground level.



|   |            |                                |
|---|------------|--------------------------------|
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Project:  
**Residential Development**

**2612, 2616, 2620, 2628  
Richmond Road, Victoria**

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Scale: 1:100

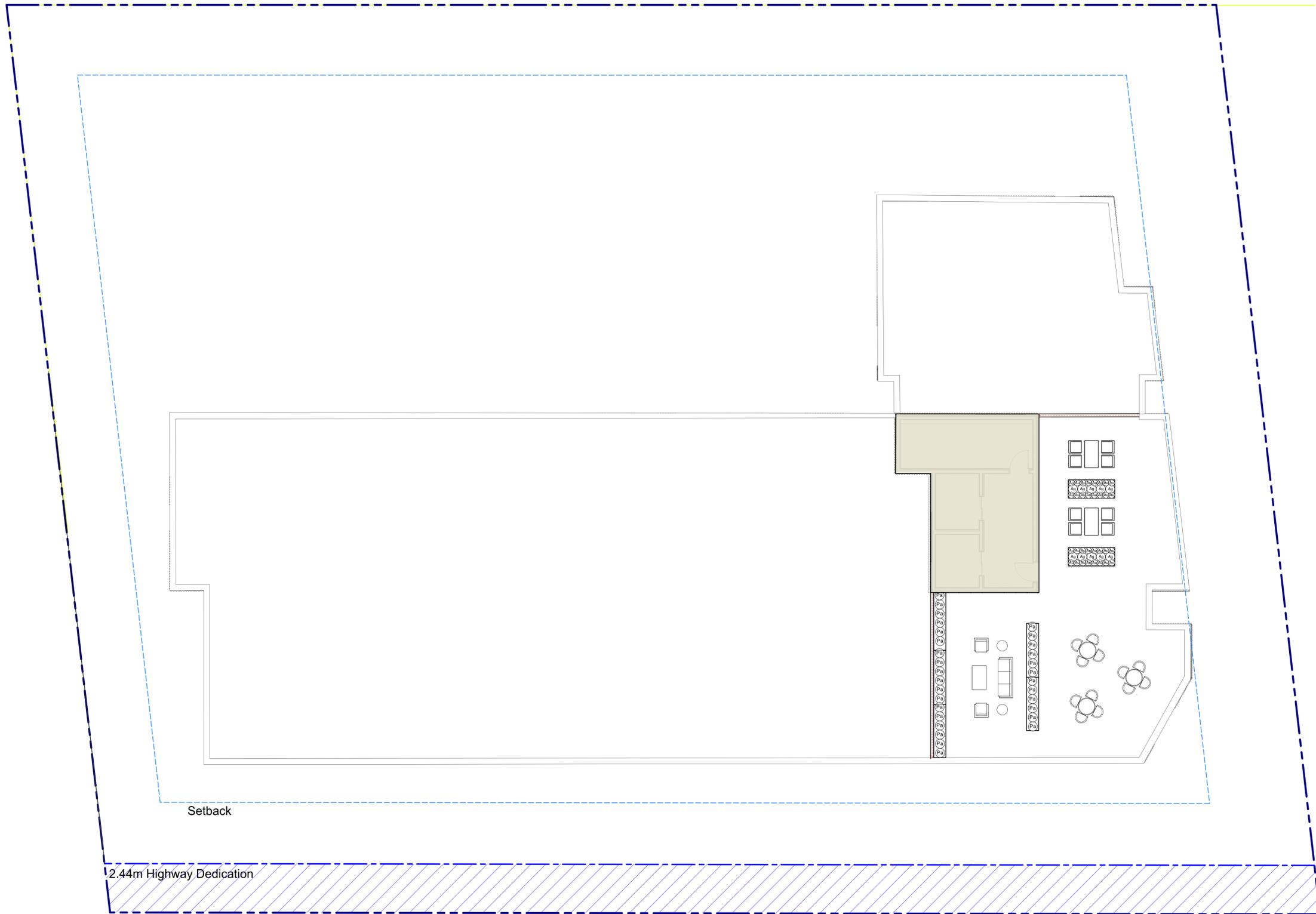
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**LANDSCAPE PLAN -  
ROOF**

Project No.:  
**25016**

Sheet No.:

**L-1.03**



|   |            |                                |
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Project:  
**Residential Development**

**2612, 2616, 2620, 2628  
 Richmond Road, Victoria**

Drawn by: KY  
 Checked by: SV  
 Date: 06 MAR 2025  
 Scale: 1:100

Drawing Title:  
**PLANTING PLAN -  
 ROOF**

Project No.:  
**25016**  
 Sheet No.:

**L-1.04**

**LEGEND**

- PLANTING AREA**  
343 sqm
- PERMEABLE SURFACE**  
782 sqm
- BUILDING FOOTPRINT**  
1130 sqm
- IMPERMEABLE SURFACE**  
349 sqm
- INFILTRATION GALLERY**  
284 sqm

**RAINWATER MANAGEMENT CALCULATIONS**

Sizing Factor =  $[(24 \times K_S + DR \times n)/32-1]^{(-1)}$   
 DR = Max. depth of reservoir = 274.3 x K<sub>s</sub>  
 n = porosity of drain rock in reservoir = 0.35  
 Impermeable Area = 1130 sqm + 349 sqm = 1479sqm  
 DR = 274.3 x 2 = 400mm Maximum

Sizing Factor =  $[(24 \times 2 + 400 \times 0.35)/32-1]^{(-1)} = 16.49\%$   
 Required Area = Impermeable Area x Sizing Factor = 1479 sqm x 16.49% = 244 sqm

**Sizing for Water Quality**

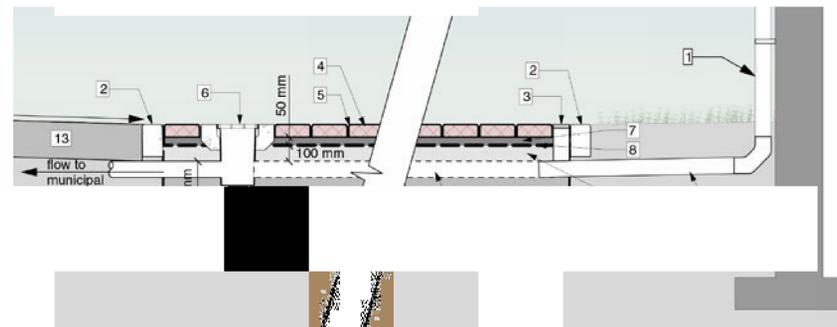
- Sizing approach to meet City of Victoria's water quality target is the same as the approach to meet volume capture and infiltration targets.
- There is no reduction in sizing for water quality sizing in the case of permeable paving.

**Sizing for Capture and Infiltration**

**Permeable Unit Paving with Rock Reservoir**

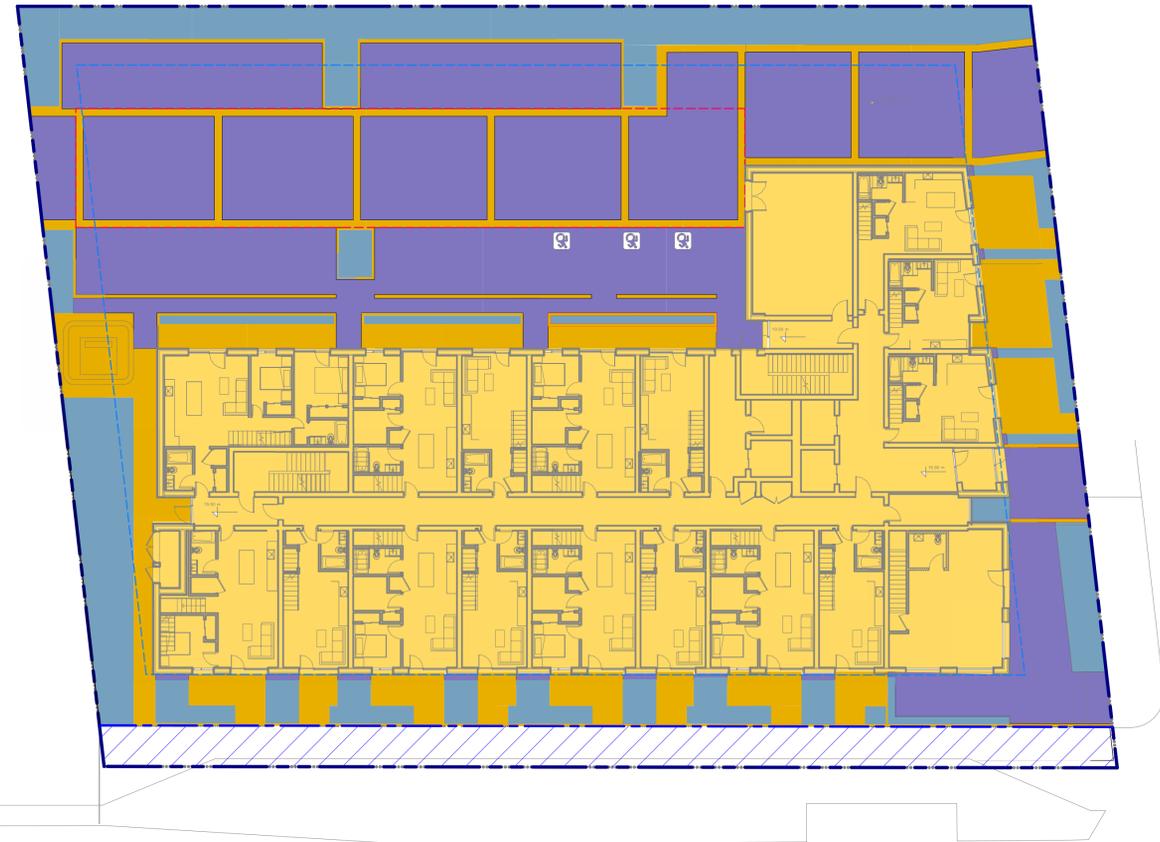
1. Determine the maximum depth for the rock reservoir based on measured subsurface soil infiltration rate for the site and round down to the nearest 50 mm increment for contractibility; allowable depth range is 300 to 2000 mm. If the infiltration rate is not being measured at the site, then assume a value of 2 mm/hr for saturated hydraulic conductivity (K<sub>s</sub>):  
 $D_R = 274.3 \times K_S$   
 Where:  
 D<sub>R</sub> = Maximum recommended depth (thickness) of drain rock reservoir (mm)  
 K<sub>S</sub> = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested minimum value 2 mm/hr)  
 Note that where the subsurface soil hydraulic conductivity is 2 mm/hr, the maximum rock depth required is 400 mm, limited due to 20% minimum sizing factor.
2. Use the following equation to determine the Base Area (bottom area) of Permeable Paving and rock reservoir required by finding the sizing factor for the site. Choose any value for the depth of rock reservoir within the allowable depth range and under the maximum allowable depth calculated in the previous step:  
 Sizing Factor =  $[(24 \times K_S + D_R \times n)/32-1]^{(-1)}$   
 Where:  
 Sizing Factor = Fraction of impervious tributary area that must be permeable pavement to receive and treat runoff (unit less)  
 K<sub>S</sub> = Saturated hydraulic conductivity of subsurface soil (mm/hr) (suggested value 2 mm/hr)  
 D<sub>R</sub> = Depth (thickness) of rock reservoir (mm)  
 n = porosity of drain rock in reservoir (unit less, e.g. 0.35)

Figure 24: Pervious Paver With Reservoir Detail



**Permeable Unit Paving With Rock Reservoir Materials**

1. Downspout
2. Curb/edge restraint
3. Clean out with cap
4. Permeable concrete unit paving stone
5. Joint stabilizer
6. 200 mm square catch basin – only required as an overflow for safety where adverse slope drains towards a building.
7. Paver bedding course, 50 mm depth (open graded)
8. Non-woven geotextile
9. Upper reservoir open-graded base 100 mm depth
10. Reservoir sub-base (open graded), 400
11. Woven geotextile on bottom and sides of reservoir
12. Perforated drain pipe, 100 mm dia min.
13. Impervious paving
14. Piped downspout connection

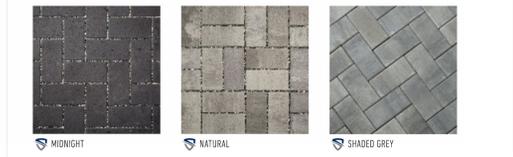


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PERMEABLE PAVER  
LOW MAINTENANCE AND PROVEN DURABILITY IN A CONTEMPORARY PERMEABLE PAVER

**FEATURES & BENEFITS**

- Interlocking spacer bars for increased structural performance
- Smooth surface with a micro-chamfer to minimize vibration and enhance wheelchair comfort
- Can be utilized to construct an ADA-compliant pavement
- True installed dimensions for design optimization
- Optimal joint openings for infiltration and maintenance
- Can eliminate stormwater runoff and improve water quality
- Meets the requirements of ASTM C936
- Chamfer Width: 3 mm
- Spacer Bar Width: 10 mm
- Surface Infiltration Rate: > 500 inches per hour (varies based on joint infill gradation)
- Surface Open Area: 10%
- Can be installed mechanically

**AVAILABLE COLOURS**



**SHAPES & SIZES**



**DURAFUSION™**  
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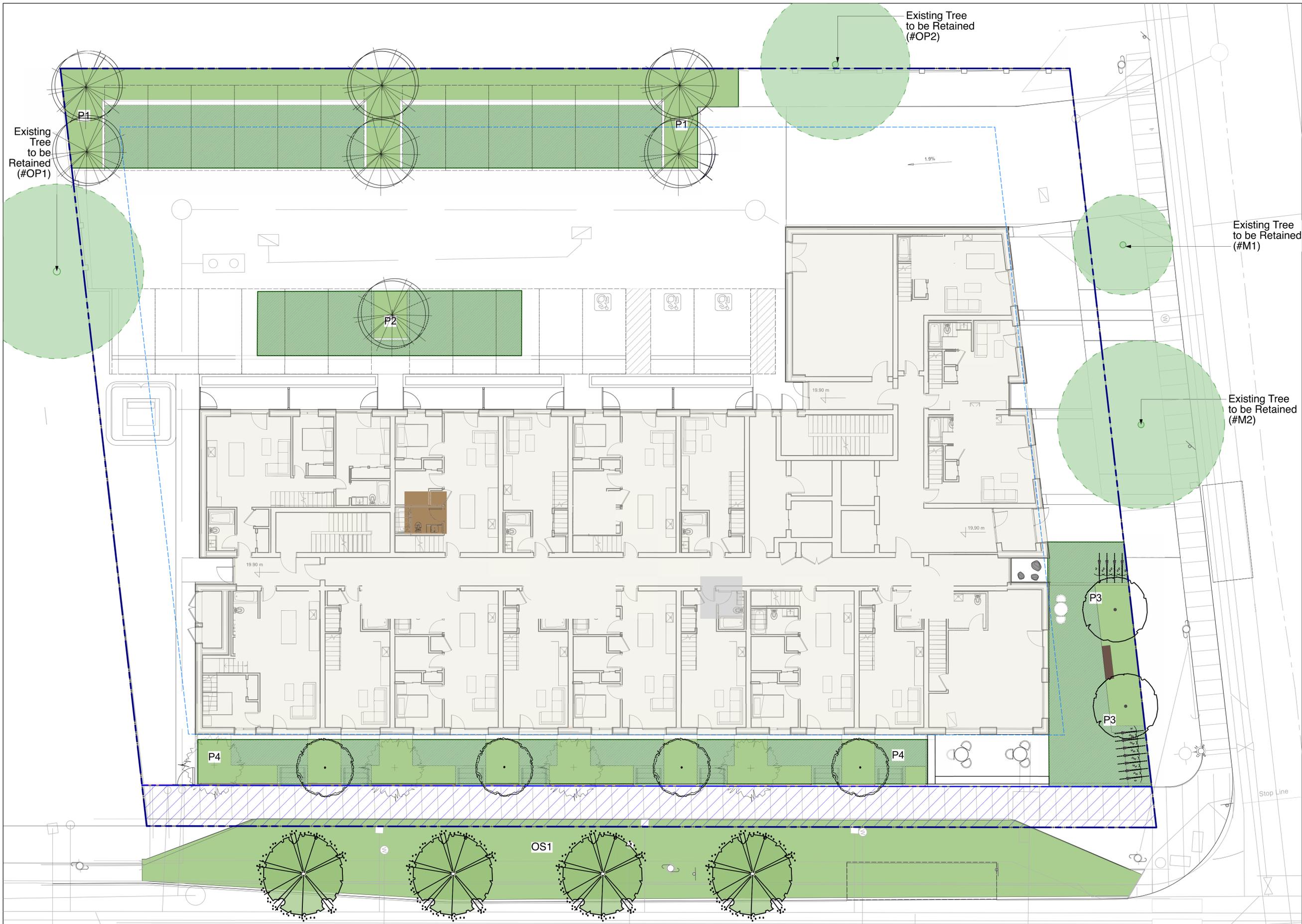
**2612, 2616, 2620, 2628**  
**Richmond Road, Victoria**

|             |             |
|-------------|-------------|
| Drawn by:   | KY          |
| Checked by: | SV          |
| Date:       | 06 MAR 2025 |
| Scale:      | 1:100       |

Drawing Title:  
**RAINWATER MANAGEMENT PLAN**

Project No.:  
**25016**  
 Sheet No.:

**L-1.05**



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 Date: 06 MAR 2025  
 Scale: 1:100  
 Drawing Title:

**SOIL VOLUME FOR REPLACEMENT TREE PLANTING**

Project No.: 25016  
 Sheet No.:

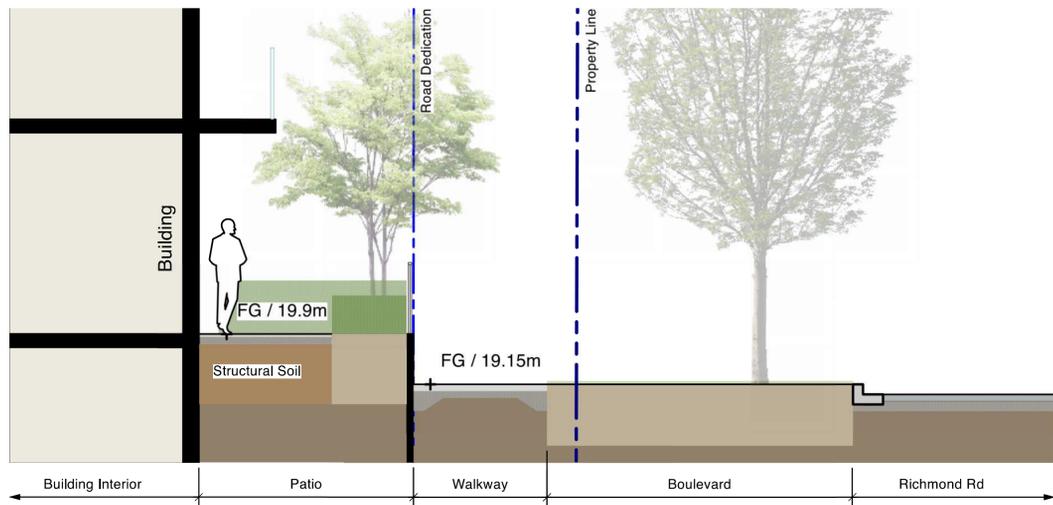
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PLANTING AREA

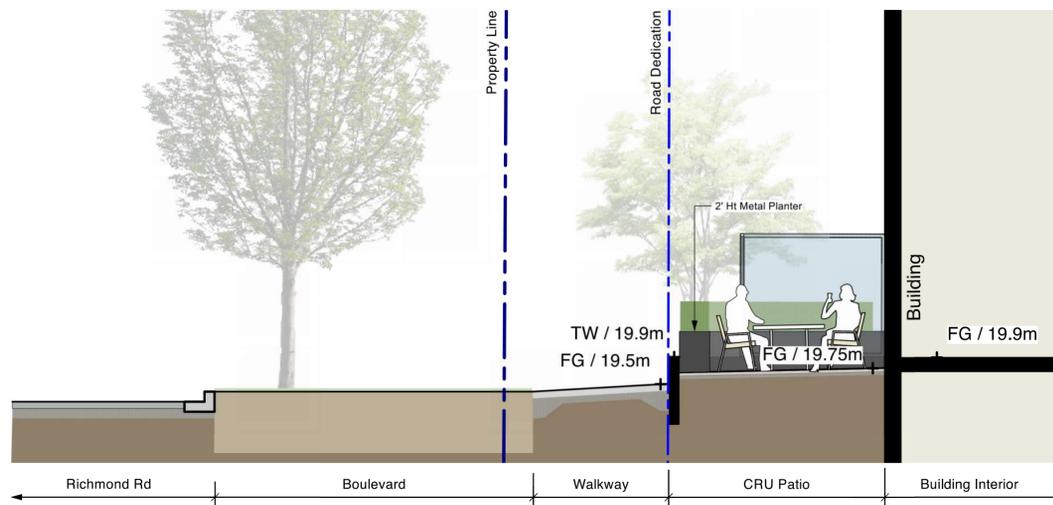
STRUCTURAL SOIL

| Planter Code | Planting Area (m2) | Structural Soil (m2) | Soil Depth (m) | No. of Trees | Tree Size | Soil Volume per Tree (m3) |
|--------------|--------------------|----------------------|----------------|--------------|-----------|---------------------------|
| P1           | 102                | 118                  | 1              | 6            | Medium    | 20.9                      |
| P2           | 6                  | 56                   | 1              | 1            | Medium    | 17.2                      |
| P3           | 18                 | 61                   | 1              | 2            | Medium    | 15.1                      |
| P4           | 59                 | 56                   | 1              | 8            | Small     | 8.8                       |

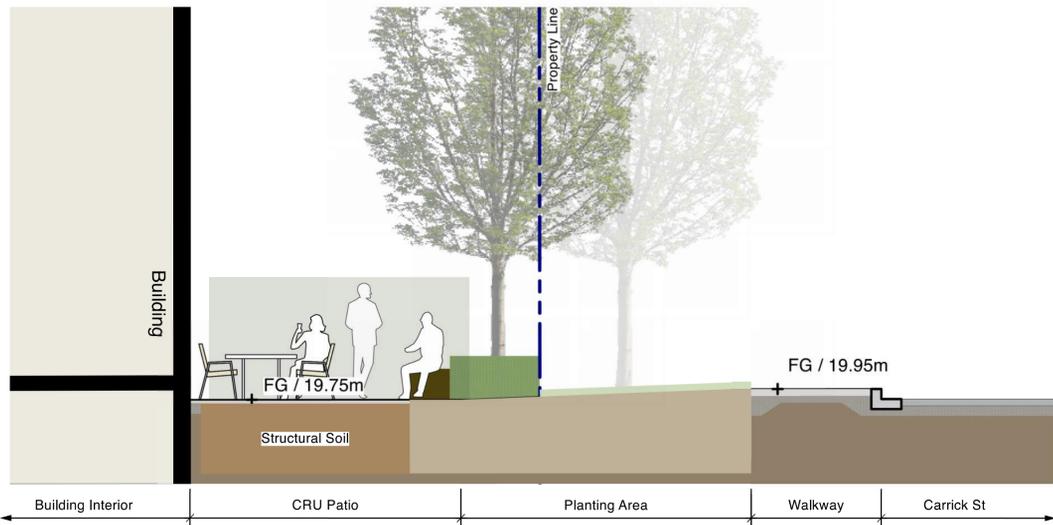
| Planter Code | Planting Area (m2) | Structural Soil (m2) | Soil Depth (m) | No. of Trees | Tree Size | Soil Volume per Tree (m3) |
|--------------|--------------------|----------------------|----------------|--------------|-----------|---------------------------|
| OS1          | 252                | -                    | 1              | 4            | Medium    | 63                        |



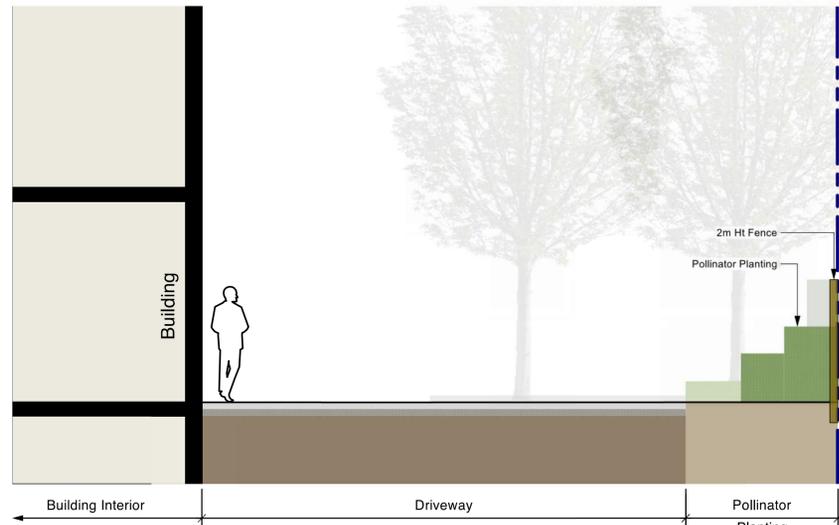
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L-2.01 Scale = 1:50



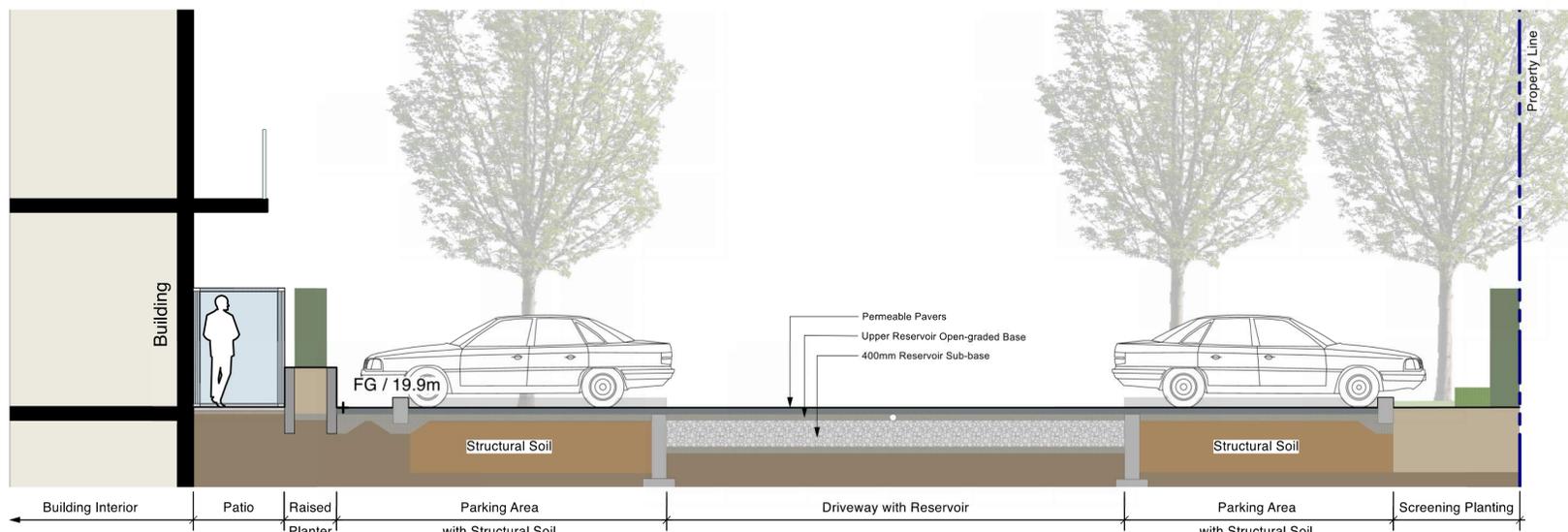
**2 SECTION 2 : CRU TO RICHMOND ROAD**  
L-2.01 Scale = 1:50



**3 SECTION 3 : CRU TO CARRICK STREET**  
L-2.01 Scale = 1:50



**4 SECTION 4 : DRIVEWAY**  
L-2.01 Scale = 1:50



**5 SECTION 5 : PARKING AREA**  
L-2.01 Scale = 1:50



|   |            |                                |
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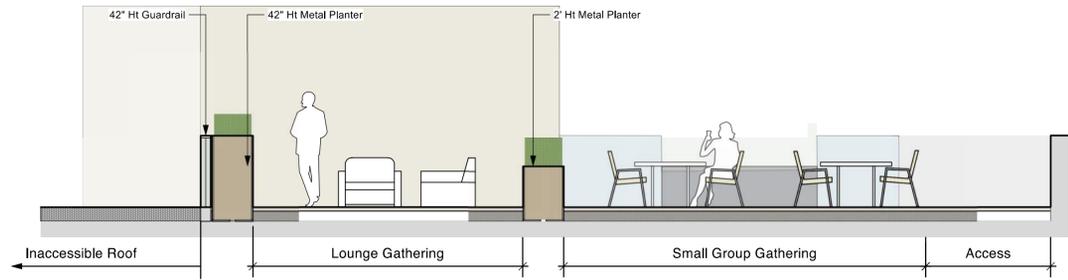
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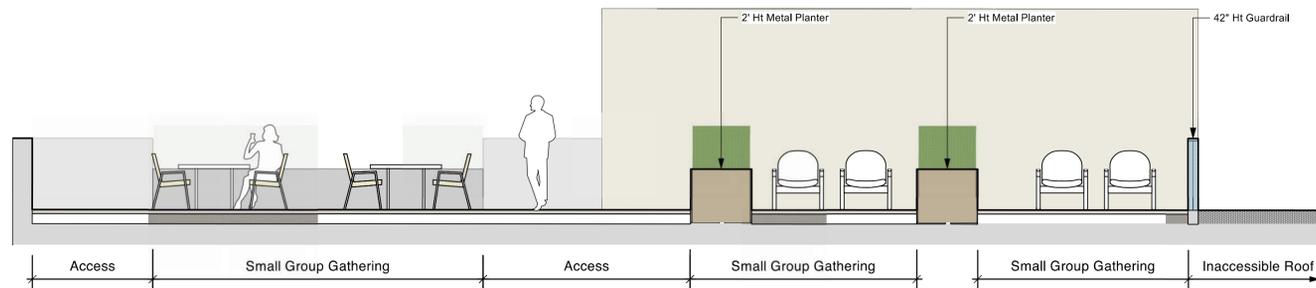
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**25016**  
 Sheet No.:

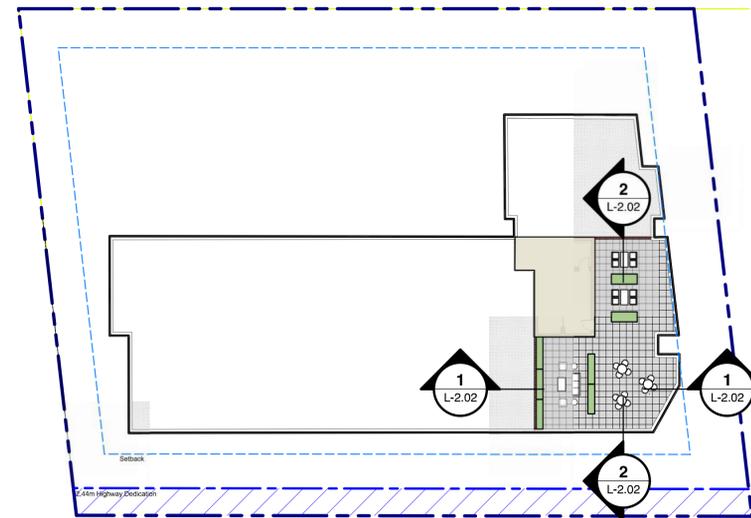
**L-2.01**



**1**  
L-2.02  
**ROOF SECTION 1: ROOF AMENITY**  
Scale = 1:50



**2**  
L-2.02  
**ROOF SECTION 2: ROOF AMENITY**  
Scale = 1:50



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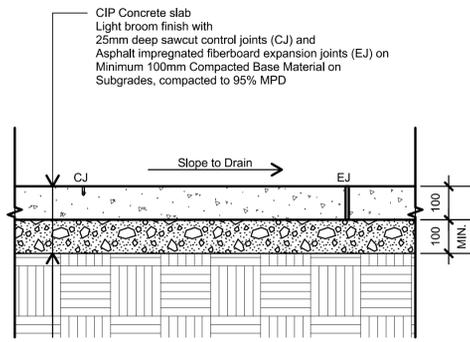
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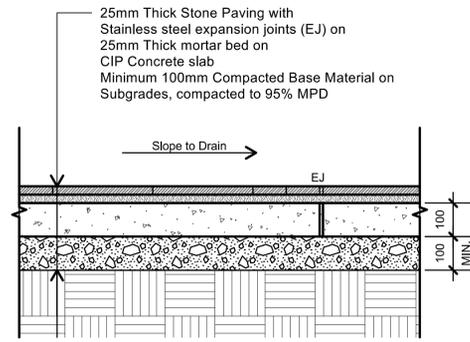
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| Project No.: | 25016 |
| Sheet No.:   |       |

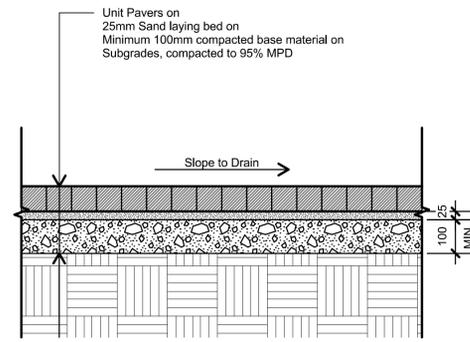
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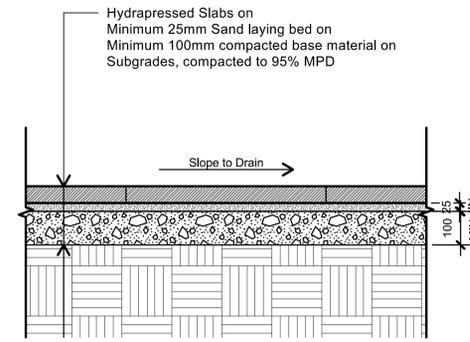
**1 CIP CONCRETE - ON GRADE**  
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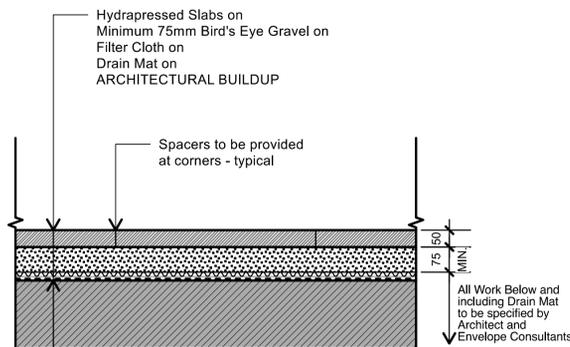
**2 STONE PAVING - ON GRADE**  
3.01 Scale = 1:10



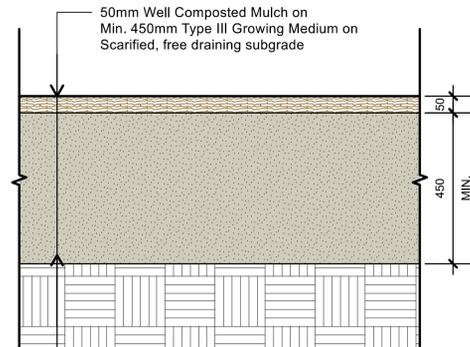
**3 UNIT PAVERS - ON GRADE**  
3.01 Scale = 1:10



**4 HYDROPPRESSED SLABS - ON GRADE**  
3.01 Scale = 1:10



**5 HYDROPPRESSED SLABS - ON SLAB**  
3.01 Scale = 1:10



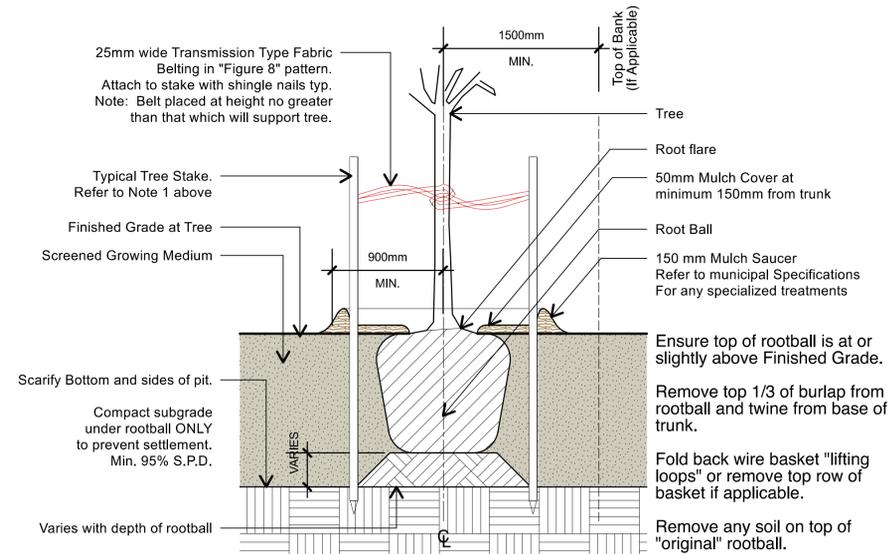
**6 PLANTING - ON GRADE**  
3.01 Scale = 1:10



**7 SOD LAWN - ON GRADE**  
L3.01 Scale = 1:10

**TREE PLANTING NOTES**

1. All street trees to be staked with 2 - 100mmØ x 2.5m long. Minimum depth of stake embedment is 1m. Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
2. Do not cut Tree Leader.
3. Ensure tree location does not conflict with Underground Services. "Call before digging".
4. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
5. Provide min. 5 cubic meters of growing medium per tree, unless otherwise stated.
6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.



| Depth | 10 Cubic Meter - Soil Volume |             |                        | 5 Cubic Meter - Soil Volume |             |                        |
|-------|------------------------------|-------------|------------------------|-----------------------------|-------------|------------------------|
|       | Growing Medium Subgrade (mm) | Area (m2)   | SQUARE Size of Surface | CIRCLE Size of Surface      | Area (m2)   | SQUARE Size of Surface |
| 450   | 22.10                        | 4.7m x 4.7m | 7.05 M Ø               | 11.11                       | 3.3m x 3.3m | 3.80 M Ø               |
| 600   | 16.80                        | 4.1m x 4.1m | 5.17 M Ø               | 8.33                        | 2.9m x 2.9m | 3.25 M Ø               |
| 750   | 13.70                        | 3.7m x 3.7m | 4.36 M Ø               | 6.67                        | 2.6m x 2.6m | 2.90 M Ø               |

**8 TYPICAL TREE PLANTING**  
3.01 Scale = 1:10

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**DETAILS**

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