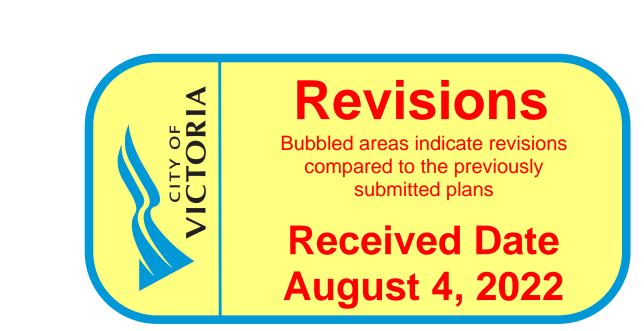
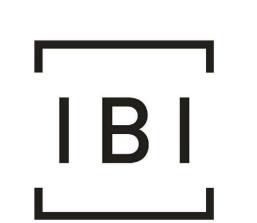
No.	FECTURAL DRAWING LIST Sheet Name
	C.I.OST ITMINIO
0.0 GENER	
A0.00	COVER PAGE
A0.01	PROJECT GENERAL STATISTICS
A0.02 A0.03	BUILDING STATISTICS PARKING STATISTICS
A0.03	CONTEXT PLAN
A0.04	CONTEXT PHOTOS
A0.06	STREET SCAPE ELEVATION
A0.07	SETBACK DIAGRAM
A0.08	SITE COVERAGE DIAGRAM
A0.09	OPEN SITE SPACE DIAGRAM
A0.10	AVERAGE GRADE CALCULATION
A0.11	STREET SECTION
A0.12	SHADOW STUDY - VERNAL EQUINOX
A0.13	SHADOW STUDY - SUMMER SOLSTICE
A0.14	SHADOW STUDY - AUTOMNAL EQUINOX
A0.15 A0.16	SHADOW STUDY - WINTER SOLSTICE SURVEY
A0.16	AERIAL VIEW
A0.17	PRESPECTIVE VIEW FROM YATES STREET
A0.10	PRESPECTIVE VIEW FROM COOK STREET
A0.20	PRESPECTIVE VIEW FROM VIEW STREET
A0.21	CPTED STRATEGY
1.0 PLANS	
A1.00	SITE PLAN
A1.01	OVERALL LEVEL P3 PLAN
A1.02	OVERALL LEVEL P2 PLAN
A1.03	OVERALL LEVEL P1 PLAN
A1.04	OVERALL LEVEL 1 PLAN
A1.05 A1.06	OVERALL LEVEL MEZZANINE PLAN OVERALL LEVEL 2 PLAN
A1.06	OVERALL LEVEL 2 PLAN OVERALL LEVEL 3 PLAN
A1.07	OVERALL LEVEL 3 FLAN OVERALL LEVEL 04 PLAN
A1.09	OVERALL LEVEL 05 PLAN
A1.10	OVERALL LEVEL 06 PLAN
A1.11	OVERALL LEVEL 07 & 08 PLAN
A1.12	OVERALL LEVEL 09 - 20 PLAN
A1.13	OVERALL LEVEL 21 (TOWER B ROOF)
A1.14	OVERALL LEVEL 22 (ROOF TWR (A) & TWR (B) MECH. ROOF)
A1.15	OVERALL LEVEL 23 (TWR (A) MECH. ROOF & TWR (B) UPPER ROOF)
A1.16	OVERALL LEVEL 24 (TWR (A) UPPER ROOF)
2.0 ELEVAT	
A2.01	COLOR NORTH ELEVATION
A2.02	COLOR EAST ELEVATION
A2.03 A2.04	COLOR SOUTH ELEVATION COLOR WEST ELEVATION
A2.04 A2.05	NORTH ELEVATIONS
A2.05	EAST ELEVATION
A2.07	SOUTH ELEVATIONS
A2.08	WEST ELEVATION
A2.09	COURTYARD KEY PLAN
A2.10	COURTYARD ELEVATION
A2.11	COURTYARD ELEVATION
A2.12	COURTYARD ELEVATION
3.0 SECTIO	
A3.01	SECTION A Tower A & Podium
A3.02	SECTION B Tower B & Podium
A3.03 A3.04	SECTION C Tower A & Podium SECTION D Tower B & Podium
A3.04 10.0 FSR O	
A10-00	FSR CALCULATION SUMMARY
A10-00	FSR OVERLAY- Level 01
A10-02	FSR OVERLAY- Level 01- Mezz
A10-03	FSR OVERLAY- Level 02
A10-04	FSR OVERLAY- Level 03
A10-05	FSR OVERLAY- Level 04
A10-06	FSR OVERLAY- Level 05
A10-07	FSR OVERLAY- Level 06
A10-08	FSR OVERLAY- Levels 07 & 08
A10-09	FSR OVERLAY- Levels 09 - 20
A10-10	FSR OVERLAY- LEVEL 21 (Tower B Roof)
A10-11	FSR OVERLAY- LEVEL 22 - ROOF TWR (A) - TWR (B) MECH. ROOF

OWNER	STARLIGHT DEVELOPMENTS
	P.O. Box 1890 Station B, Mississauga, Ontario, L4Y 3W6
ARCHITECT	IBI GROUP
	700 - 1285 West Pender Street Vancouver, BC V6E 4B1
STRUCTURAL	GLOTMAN SIMPSON
	1661 W 5th Ave Vancouver, BC, V6J 1N5
MECHANICAL	REINBOLD ENGINEERING GROUP
	400, 1580 West Broadway, Vancouver, BC, V6J 5K8
ELECTRICAL	MULVEY AND BANANI
	10055, 106 Street NW, Suite 450 Edmonton, Alberta, T5J 2Y2
LANDSCAPE	HAPA COLLABORATIVE
	403 - 375 West Fifth Avenue, Vancouver, BC, V5Y 1J6
INTERIOR DESIGN	INSIGHT DESIGN GROUP
	200 - 1737 West Third Avenue, Vancouver, BC, V61 1K7
CODE	GHL CONSULTANTS LTD.
	409 Granville Street, Suite 950, Vancouver, BC, V6C 1T2
ENVELOPE	MORRISON HERSHFIELD
	Second Floor, 536 Broughton Street, Victoria, BC, V8W 1C6
CIVIL	HEROLD ENGINEERING LTD.
	Unit 600 - 1112 Fort St. Victoria, BC, V8V 3K8
GEOTECHNICAL	RYZUK
	#6-40 Cadillac Avenue, Victoria, BC, V8Z 1T2

501-740 Hillside Avenue, Victoria, BC, V8T 1Z4







IBI GROUP ARCHITECTS (CANADA) INC. 700-1285 West Pender Street, Vancouver, BC V6E 4B1, Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com



Harris Green Village - Phase 01

1045 Yates Street

Victoria, BC

P.O. Box 1890 Station B Mississauga, Ontario, Canada

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IBI Group Architects (Canada) Inc.

7 2022-08-03 DP RESUBMISSION #7 6 2022-06-07 DP RESUBMISSION #6 5 2022-04-29 ISSUED FOR TENDER 4 2022-03-28 BP RESUBMISSION 3 2022-03-14 IFT BACKGROUND DP RESUBMISSION #5 1 2021-11-15 ISSUE FOR BUILDING PERMIT NO. DATE DESCRIPTION

ISSUES

REVISIONS

IBI GROUP
ARCHITECTS (CANADA) INC.
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com PROJECT TITLE

Harris Green Village

Phase 01 1045 Yates Street Victoria, BC

SHEET TITLE
COVER PAGE

A0.00

DP Resubmission #7

2022/08/03

Project Description:

2 Towers on Residential/Amenity/Commercial Podium

Civic Address: Lot A (DD 60683W) Of Lots 979 And 989. Plan 20163. And

> Lot 1 Of Lots 986 And 987. Plan 26779. And Lots 976. 977. 978. 980. 988. Victoria City.

Downtown Core Area Plan City Plan:

Residential floor S-1, R-48

Automobile Dealership and Surface Parking **Current Use:**

Adjacent Zoning: Rezoned to:

SITE AREA CALCULATIONS

	Gross Site	e Area
	Metric (m ²⁾	Imperial (sq.ft.)
1045 Yate Street	6,337.0	68,210.9
Dedications	1	-
Net Site Area (Gross Minus Dedications)	6,337.0	68,210.9
Site Area for calculation of Density (Gross)	6,337.0	68,210.9

SITE COVERAGE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,351	57,597.0
Site Coverage %		84%

OPEN SITE SPACE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	761	8,186.0
Open Site Space %		12%

PROPOSED FLOOR AREA (FSR)

	Provided FSR	Gross Floor Area		Exclusions (see A0.02)		Total Floor Area	
	Flovided F3N	Metric (m²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)
Tower A	1.55	10,611.1	114,217.4	793.1	8,536.4	9,818.1	105,680.9
Tower B	1.45	9,967.1	107,285.0	752.6	8,100.9	9,214.5	99,184.1
Podium	3.18	21,083.2	226,937.8	940.6	10,124.5	20,142.6	216,813.2
Total	6.18	41,661.5	448,440.1	2,486.3	26,761.9	39,175.2	421,678.2

FLOOR AREA BREAKDOWN

Resider	ntial	Loading / Gar	bage Rooms	Residential Amenity		Residential Amenity		Residential Amenity Commercial		ercial	Daycare		Total	
Metric (m²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)	Metric (r	n²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)	Metric (m²)	Imperial (sq.ft.)		
33,786.9	363,679.5	976.4	10,509.5	713.2	7,676.7	3	,214.8	34,603.8	483.9	5,208.8	39,175.2	421,678.2		
mund	tururururur de la companya de la com													

BUILDING SETBACKS

Dyonouty Line		Required (m)		Proposed (m)			
Property Line	Street Level	Residential Podium	Tower	Street Level	Residential Podium	Tower	
Front yard (Yates Street)	3.0	2.0	6.0	3.0	4.5	9.0	
Rear yard (View Street)	4.0	3.0	6.0	4.0	5.5	9.0	
East Side yard (Cook Street)	3.0	2.0	6.0	3.0	4.5	6.0	
West Side Yard (North)	3.0	3.0	16.8	3.9	3.0	16.8	
West Side Yard (South)	-	4.6	4.6	-	4.6	7.0	

HEIGHT OF BUILDING (MEASURED FROM AVERAGE GRADE)

Height Provided	Tower A	A (North)	Tower B (South)		
Height Provided	metric (m)	imperial (ft)	metric (m)	imperial (ft)	
NUMBER OF HABITABLE FLOORS (Excluding Mechanical & Roof Access)		21		20	
NUMBER OF STOREYS (Including Mechanical & Roof Access)		23		22	
HEIGHT OF BUILDING (m) TO TOP OF APPURTENANCE (Excluding Parapet)	75.20	246.72	72.03	236.32	
TOP OF Podium Height	21.58	70.80	21.58	70.80	
Average Grade	20.20	66.27	20.20	66.27	

FLOOR PLATE SIZES

	Metric (m²)	Imperial (sq.ft.)
Max. Permitted Floor Plate Size	650.3	7,000
Provided Floor Plate size	648.4	6,979

	Rental							
Туре	Studio	1 BR	1 BR+D	2 BR	2 BR+D	3 BR	TH (3BR)	TOTAL
	(340-400 sf)	(450-650	sf)	(700-800 sf)	(850-900 sf.)	(950-1050 sf)	(1100-1400 sf.)	TOTAL
Tower A	1	96	-	32	-	31	-	16
Tower B	-	90	-	30	- [30	-	15
Podium	63	37	42	51	2	14	7	21
Total	64	223	42	113	2	75	7	52
Ву Туре	64		265		115	75	7	52
Distribution	12.2%	50.4%)	21.5%	0.4%	14.3%	1.3%	100
Family Unts				197		•		

PROJECT INFORMATION TABLE

_ , , , ,	
Zone (existing)	S-1
Proposed zone	CD
Proposed uses	Residential/Commercial/Childcare
Site area (m²)	6337.0
Total floor area (m²)	39175.19
Commercial floor area (m ²)	3214.8
Childcare floor area (m²)	483.91
Loading / Garbage Rooms (m2)	976.36
Residential floor area (m²) (including amenities)	34500.12
Floor space ratio	6.18
Site coverage %	84%
Open site space %	12%
Height of building (m)	75.36 and 72.44
Number of storeys	22 and 23
Parking stalls (number) on site	359
Commercial , Childcare and Visitor	86
Residential	273
Bicycle parking number (storage and rack)	617 Long Term & 75 Short Term
Building Setbacks (m)	
Yates street	2.0
Cook street	2.0
View street	3.0
Side yard (west side south)	0.0
Side yard (west side north)	3.9
Residential Use Detail	
Total number of units	526
Studio	64
1 Bedroom	223
1 Bedroom+Den	42
2 Bedroom	113
2 Bedroom+Den	2
3 Bedroom	75
Ground-orientated Townhomes	7

Starlight Developments P.O. Box 1890 Station B Mississauga, Ontario, Canada

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7	2022-08-03	DP RESUBMISSION #7
6	2022-06-07	DP RESUBMISSION #6
5	2022-04-29	ISSUED FOR TENDER
4	2022-03-28	BP RESUBMISSION
3	2022-03-14	IFT BACKGROUND
2	2022-02-11	DP RESUBMISSION #5
1	2021-11-15	ISSUE FOR BUILDING PERMIT

IBI Group Architects (Canada) Inc.

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4	2022-03-28	BP RESUBMISSION
3	2022-03-14	IFT BACKGROUND
2	2022-02-11	DP RESUBMISSION #5
1	2021-11-15	ISSUE FOR BUILDING PERMIT
NO.	DATE	DESCRIPTION
ISSU	JES	

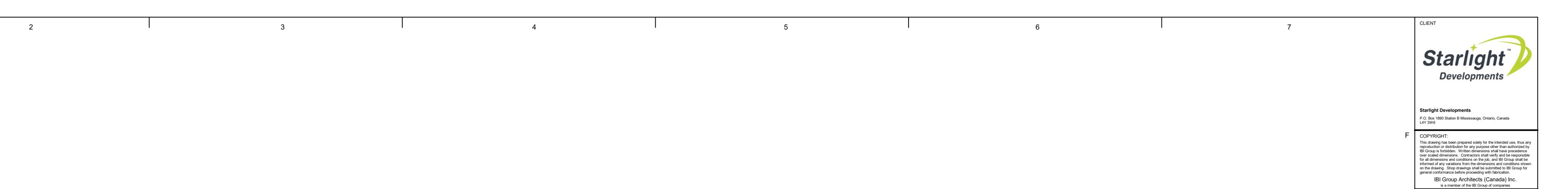
E NO. DATE REVISIONS

SUB-CONSULTANT

PRIME CONSULTANT IBI GROUP ARCHITECTS (CANADA) INC. 700-1285 West Pender Street, Vancouver, BC V6E 4B1, Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com

Harris Green Village Phase 01 1045 Yates Street Victoria, BC

PROJECT GENERAL STATISTICS



TOWER A (21-	-Storey)											
	Gross FI	oor Area	Freboui	au Mail	Florente	Exclu		ven / Chafta	Ch.	Total	Total Floo	r Area
Level (s)	2	2		or Wall		or Shafts		mp / Shafts		Total	2	
	Metric (m²)	Imperial (ft ²)										
23	66.0	711	13.9	150	-	=	-	-,	13.9	150	52.1	561
22	155.0	1,668	16.0	172	17.1	184	-	-	33.1	356	121.9	1,312
21	648.4	6,979	29.3	315	17.1	184	_	_	46.3	499	602.0	6,480

	Gross E	loor Area				Exclu	sions				Total Floor Area	
1 - 1/->	Glossi	IOOI Alea	Exterio	or Wall	Elevato	r Shafts	Parking Ra	mp / Shafts	Sub	Total	Total 1100	Alea
Level (s)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)
23	66.0	711	13.9	150	-	-	-	-	13.9	150	52.1	561
22	155.0	1,668	16.0	172	17.1	184	-	-	33.1	356	121.9	1,312
21	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
20	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
19	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
18	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
17	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
16	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
15	648.4	6,979	29.3	315	17.1	184	•		46.3	499	602.0	6,480
14	648.4	6,979	29.3	315	17.1	184	•	T.	46.3	499	602.0	6,480
13	648.4	6,979	29.3	315	17.1	184	1	÷	46.3	499	602.0	6,480
12	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
11	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
10	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
9	648.4	6,979	29.3	315	17.1	184	1	-	46.3	499	602.0	6,480
8	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
7	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,480
6	664.4	7,152	33.9	365	17.1	184	-	-	51.0	549	613.4	6,603
otal	10,611.1	114,217	503.0	5,415	290.0	3,122	-	-	793.1	8,536	9,818.1	105,681

Residential Metric (m²) Imperial		ading / Garl	bage Rooms	Floor Area Breakdown Residential Loading / Garbage Rooms Residential Amenity Commercial Daycare																					
Metric (m²) Imperial	(ft ²) Metr			Residentia	al Amenity	Comr	nercial	Day	care	Studio	Studio	1 Br	1 Br	1 Br	1Br+D	JR.2Br	JR.2Br	2Br	2Br	2Br+D	C3Br	C3Br	3Br	TH	
,, , , , , , , , , , , , , , , , , , , ,		ric (m²)	Imperial (ft²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	(Accessible) (Affordable) (<45 sm)	(Affordable) (<45 sm)	(<45 sm)	(45-70 sm)	(Affordable) (45-70 sm)	(45-70 sm)	(45-70 sm)	(Accessible) (45-70 sm)	(<70 sm)	(>70 sm)	(>70 sm)	(<70 sm)	(Affordable) (45 -70 sm)	(>70 sm)	(>70 sm)	Total
52.1	561	-	-	Û.	-	ı	-	ı	-	-		-	-	ı	ī	-	-	-	-	-	-	-	-	-	
	,312	-	,-	-	-	-	-	-	-	-		-	-	-	-	-	-	-	-	-	-	-	-	-	-
	,480	-	-	-	-	-	-	-	-	(-		6	-	-	-	-	-	2	-	-	2	-	<u>,-</u>	-	10
	,480	=	-	-	-	-	-	-	\ - -	-		6	-	-	-	-	-	2	=	-	2	-	-	-	10
	,480	= \	-		-	-	-	-	-	-		6	=	-	-	-	-	2	-	-	2	=	-	=	10
	,480	=	:=	-	-	-	-	-	-	, =		6	-	-	1=	-	-	2		-	2	-	-	-	10
	,480	=	:=:		-	-	-	-	-	-		6	-	-	-	-	=)	2	-	-	2	-	-	-	10
	,480	-	-	-	-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	-	10
	,480	-	-	,=);	-	-	-	-	-	y ;		6	(=)	-	-) = .	-	2	-	-	2	-	-	-	10
	,480	-	-	-	-	-	-	-	-	-		6	; = ;	-	-	-	=	2	-	=	2	-	-	-	10
	,480	=	-	; = /	-	-	-	-	-	-		6	-	-	-	-	-	2	-	=	2	, -	-	-	10
	,480	-	-	(=)	-	-	-	÷	-	-		6	:=:	=	-	-	-	2	-	=	2	-	-	=	10
	,480	-	-	-	-	-	-	-	-	.=		6	:=:	-	-	-	=	2	-	=	2	-	-	=	10
	,480	-	-	:= :	-	-	-	÷	-	-		6	-	=	-	-	-	2	-	-	2	-	-	-	10
	,480	-	-	-	-	-	-	-	-	-		6	-	=	-	=	-	2	-	-	2	-	-	=	10
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	,603	-	-	-	-	-	-	-	-	-	1	4	-	2	-	-	-	2	-	-	-	1	-	-	10
9,818.1 105	,681	-	-	-	-	•	-	-	-	-	1	94	-	2		-	-	32	-		28	3	-	-	160

	Cross Fl	Auga Auga				Exclu	sions				Total Flag	и Аисо
	Gross Fi	loor Area	Exteri	or Wall	Elevato	or Shafts	Parking Ra	mp / Shafts	Sub	Total	Total Floo	r Area
Level (s)	Metric (m²)	Imperial (ft²)	Metric (m ²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	Metric (m ²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)
22	66.1	711	13.9	150	-	-	-	-	13.9	150	52.1	56
21	157.4	1,695	20.1	217	17.1	184	-	-	37.2	400	120.3	1,29
20	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
19	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
18	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
17	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
16	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
15	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
14	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
13	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
12	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
11	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
10	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
9	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
8	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
7	648.4	6,979	29.3	315	17.1	184	-	-	46.3	499	602.0	6,48
6	666.3	7,172	35.7	384	17.1	184	-	-	52.7	568	613.6	6,60
otal	9,967.1	107,285	479.6	5,163	273.0	2,938	-	-	752.6	8,101	9,214.5	99,18

52.1 120.3 602.0 602.0 602.0 602.0	561 1,294 6,480 6,480 6,480 6,480	Metric
120.3 602.0 602.0 602.0	1,294 6,480 6,480 6,480	
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9,214.5	99,184	9
	602.0 602.0 602.0 602.0 602.0 602.0 602.0 602.0 613.6	602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 602.0 6,480 603.0 6,480 604.0 6,604

				Floor Area E	Breakdown																				
Resid	ential	Loading / G	arbage Rooms	Residenti	al Amenity	Comr	nercial	Day	/care	Studio	Studio	1 Br	1 Br	1 Br	1Br+D	JR.2Br	JR.2Br	2Br	2Br	2Br+D	C3Br	C3Br	3Br	TH	
Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	(Accessible) (Affordable) (<45 sm)	(Affordable) (<45 sm)	(<45 sm)	(45-70 sm)	(Affordable) (45-70 sm)	(45-70 sm)	(45-70 sm)	(Accessible) (45-70 sm)	(<70 sm)	(>70 sm)	(>70 sm)	(<70 sm)	(Affordable) (45 -70 sm)	(>70 sm)	(>70 sm)	Total
52.1	561	ï	-	-	-	-	-	-	-	-		•	1	-	-	1	-	-	-	- %	-	-	-	1	-
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602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-	_	-	2	1-	-	2	-	-	=	10
602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-	-	-	2	1-1	-	2	-	-	-	10
602.0	6,480	-	-		-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	=	10
602.0	6,480	-	-		-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	-	10
602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	-	10
602.0	6,480	-		-	-	-	-	-	-	-		6	-	-	7-	-	-	2	1-1		2	-	-	-	10
602.0	6,480	-	-		-	-	-	-	-	-		6	-	-	-	-	-	2	-		2	-	-	-	10
602.0	6,480	-	-		-	-	-	-	-	-		6	-	-	-	-	-	2			2	-	-	-	10
602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-		-	2	-	-	2	-	-	1-1	10
602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-	-	-	2	-		2	-	-	-	10
602.0	6,480	-	-	-	-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	-	10
602.0	6,480	-	-	_	-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	2	-	-	-	10
602.0	6,480	-	-	_	-	-	-	-	-	-		6	-	-	-	-	-	2	-	-	-	2	-	-	10
602.0	6,480	-	_	-	-	-	-	-	-	-		4	-	2	-	-	-	2	-	-		2	-	-	10
613.6	6,604	-	-		-	-	-	-	-	-		4	-	2	-	-	-	2	;= 2	-	1	1	-	-	10
9,214.5	99,184	•	-	•	-	•	-	•	-	-		86	•	4	-	•	-	30	-	-	25	5	-	-	150

	Cross E	loor Area				Exclu	sions				Total Floo	or Aroo
	GIOSS F	ioor Area	Exteri	or Wall	Elevato	or Shafts	Parking Ra	mp / Shafts	Sub	Total	TOTAL FIOO	n Area
Level (s)												
	Metric (m2)	Imperial (ft2)										
5	2,880.6	31,007	99.2	1,067	34.1	367	-	-	133.3	1,435	2,747.3	29,572
4	3,519.4	37,882	121.9	1,312	34.1	367	-	-	156.0	1,679	3,363.3	36,20
3	3,966.5	42,695	130.9	1,409	43.4	468	-	-	174.3	1,876	3,792.2	40,81
2	4,007.2	43,133	129.9	1,398	43.4	468	-	-	173.3	1,865	3,833.9	41,26
1 M	1,358.6	14,624	22.6	243	-	-	-	-	22.6	243	1,336.0	14,38
1	5,350.9	57,597	82.7	890	52.1	560	146.3	1,574	281.1	3,025	5,069.9	54,57
otal	21,083.2	226,938	587.1	6,320	207.2	2,230	146.3	1,574	940.6	10,125	20,142.6	216,81

	Cross El	00x Aroo				Exclu	sions				Total Flor	A
	Gross Fi	oor Area	Exterio	or Wall	Elevato	or Shafts	Parking Ra	mp / Shafts	Sub	Total	Total Floo	or Area
Level (s)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)								
Tower A	10,611.1	114,217	503.0	5,415	290.0	3,122	-	-	793.1	8,536	9,818.1	105,68
Tower B	9,967.1	107,285	479.6	5,163	273.0	2,938	-	-	752.6	8,101	9,214.5	99,18
Podium	21,083.2	226,938	587.1	6,320	207.2	2,230	146.3	1,574	940.6	10,125	20,142.6	216,81
Гotal	41,661.5	448,440	1,569.8	16,897	770.2	8,290	146.3	1,574	2,486.3	26,762	39,175.2	421,67

Resid	ential	Loading / G	arbage Rooms	Residentia	al Amenity	Comn	nercial	Day	care
Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)
2,747.3	29,572	-	-	-	-	-	-	-	-
3,363.3	36,203	-	-	-	-	-	_	-	=
3,792.2	40,819	-	=	-	-	-	-	-	=
2,708	29,148	-	-	713.2	7,677	-	-	412.8	4,443
1,022	11,000	-	-	-	-	295.9	3,185	18.1	195
1,121.6	12,073	976	10,509	-	- (2,918.9	31,418	53.1	571
14,754.4	158,815	976.4	10,509	713.2	7,677	3,214.8	34,604	483.9	5,209

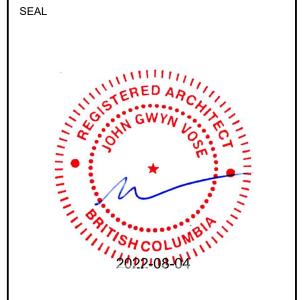
	Floor Area Breakdown														
	Resid	lential	Loading / G	arbage Rooms	Residentia	al Amenity	Comn	nercial	Day	care					
	Metric (m ²)	Imperial (ft²)	Metric (m²)	Imperial (ft²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft ²)	Metric (m²)	Imperial (ft²)					
Ī	9,818.1	105,681	-	-	-	=	-	-	-	-					
I	9,214.5	99,184	-	•	-	-	-	-	-	-					
	14,754.4	158,815	976.4	10,509	713.2	7,677	3,214.8	34,604	483.9	5,209					
	33,786.9	363,679	976.4	10,509	713.2	7,677	3,214.8	34,604	483.9	5,209					
-															

_	(~~~~~	~~~~~	~~~~~	· · · · · · · · · · · · · · · · · · ·	~~~~~	· · · · · · · · · · · · · · · · · · ·	~~~~~	\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	$\overline{}$	~~~~	~~~~	$\sim\sim\sim$,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		· · · · · · · · · · · · · · · · · · ·	<u> </u>
	>	Studio	Studio	1 Br	1 Br	1 Br	1Br+D	JR.2Br	JR.2Br	2Br	2Br	2Br+D	C3Br	C3Br	3Br	TH	3
(ft ²)	7	(Accessible) (Affordable) (<45 sm)	(Affordable) (<45 sm)	(<45 sm)	(45-70 sm)	(Affordable) (45-70 sm)	(45-70 sm)	(45-70 sm)	(Accessible) (45-70 sm)	(45-70 sm)	(>70 sm)	(>70 sm)	(45 -70 sm)	(Affordable) (45 -70 sm)	(>70 sm)	(>70 sm)	Total
-	}		1	94	-	2	-	-		32	-	-:	28	3	-	~-	160
-	}		-	86	ı	4	-	ı		30	-	-	25	5	-	-	150
209	>	20	43	35	ı	2	42	22	6	20	3	2	1	į	13	7	216
209	>	20	44	215	-	8	42	22	6	82	3	2	54	8	13	7	526
	}	3.8%	8.4%	40.9%		1.5%	8.0%	4.2%	1.1%	15.6%	0.6%	0.4%	10.3%	1.5%	2.5%	1.3%	100.0%
	(64			223	42				113	2			75	7	526

Unit size for parking	Stalls / Unit	# Units	# Stalls
Apartment, less than 45 m2	0.50	215	107.5
Apartment, 45-70 m2	0.60	206	123.6
Apartment, greater than 70 m2	1.00	25	25.0
Affordable, less than 45 m2	0.20	64	12.8
Affordable, 45-70 m2	0.50	16	8.0
Affordable, greater than 70 m2	0.75	-	_
Total resident stalls		526	276.9
Visitor stalls	0.10	526	52.6

Unit size for parking	Stalls / Unit	# Units	# Stalls
Apartment, less than 45 m2	0.50	215	107.5
Apartment, 45-70 m2	0.60	206	123.6
Apartment, greater than 70 m2	1.00	25	25.0
Affordable, less than 45 m2	0.20	64	12.8
Affordable, 45-70 m2	0.50	16	8.0
Affordable, greater than 70 m2	0.75	-	-
Total resident stalls		526	276.9
Visitor stalls	0.10	526	52.6

Commence and the commence of t



7 2022-08-03 DP RESUBMISSION #7
6 2022-06-07 DP RESUBMISSION #6
5 2022-04-29 ISSUED FOR TENDER
4 2022-03-28 BP RESUBMISSION
3 2022-03-14 IFT BACKGROUND
2 2022-02-11 DP RESUBMISSION #5
1 2021-11-15 ISSUE FOR BUILDING PERMIT
NO. DATE DESCRIPTION
ISSUES

DESCRIPTION

E NO. DATE REVISIONS

SUB-CONSULTANT

PRIME CONSULTANT IBI GROUP
ARCHITECTS (CANADA) INC.
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE

Harris Green Village Phase 01

1045 Yates Street Victoria, BC

PROJECT NO: 121123 DRAWN BY: JH CHK'D BY: GV A SCALE: 2022-08-03

SHEET TITLE
BUILDING STATISTICS

SHEET NUMBER

VALUES FOR TABULATING PARKING & LOADING COUNTS >70 m2 < 45 m2 45 m2-70 m2 Apartment (Dwelling Unit secured as rental in perpetuity through a legal aggreement) Tower A 0.50 spaces per Dwelling Unit that is less than 45m² Tower B 0.60 spaces per Dwelling Unit that is equal to 45m² and up to 70m² Podium 1 spaces per Dwelling Unit that is more than 70m² is equal to 45m2 and up to 70m2 0.10 space per Dwelling Unit Total 279 222 526 Commercial Floor Area 3,378 m² Daycare Floor Area 483.91 m²

REQUIRED / PROVIDED TOTAL PARKING

Residential floor area (m²) (including 1 space per 80m² floor area

1 space per 100m² floor area

VEHICLE TABULATIONS

Visitor Parking:

Daycare

5.1.1A Off-Street Parking Regulations

	Resid	ential	Commercial							
	Behind 2nd Gate			Combined Commercial & Residential Visitor Parking (84 stalls shared and pooled)						
Parking and TDM	Resident	Visitor	Grocery	Grocery Office	Yates St CRU	Cook St CRU (retail)	Daycare	Total		
Area (m2)	Coo conorato o	alculation table	2,373.1	295.9	406.9	448.0	483.9			
Rate (1 per x m2)	See separate calculation table.		50	70	40	80	100			
Required	N/A	-	47.46	4.23	10.17	5.60	4.84			
Required (rounded)	277	53	47	4	10	6	5	402		
TDM Adjustments										
Captive Market			-10%	-10%	-10%	-10%	-10%			
Shared Parking		-6%	-6%	-6%	-6%	-6%	-6%			
Cycling end-of-trip facilities				-3%	-3%	-3%	-3%			
E-Bike plugs	-2.5%									
Carshare	-6.7%									
Priced parking		-20%	-20%	-20%	-20%	-20%	-20%			
Multimodal wayfinding signage	-3%		-3%	-3%	-3%	-3%	-3%			
Unbundled parking										
Marketing and promotion										
Total TDM Adjustments										
Total TDM Adjustments (%)	-12.2%		-39.0%	-42.0%	-42.0%	-42.0%	-42.0%			
Total TDM Adjustments (stalls)	(33.7)	(13.7)	(18.3)	(1.7)	(4.2)	(2.5)	(2.1)			
Required (TDM Adjusted)	243.2	38.9	~~~ 28 .7~	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	~~~~~~ <u>5</u> .&	3.5	2.9			
Required (TDM Adjusted, rounded)	243	39	29	2	6	4	3	326		
Proposed parking stalls	273	39	32	2	6	4	3	359		
Note:										

1. Commercial / daycare / visitor parking will be shared

- 2. 4 public (level 2) EV chargers will be provided in the commercial parking & the two Car share will be made EV Ready.
- 3. EV Load sharing to support up to 90 residential stalls (subject to consultation with bc hydro)

REQUIRED / PROVIDED LOADING

Required									
Туре	Residential	Commercial	Total						
Medium	N/A	N/A	N/A						
Large	N/A	N/A	N/A						

Provided			
Туре	Residential	Commercial	Total
Medium	2	ı	2
Large	1	1	1

REQUIRED / PROVIDED BICYCLE PARKING

5.1.1B Off-Street Parking	Regulations	
	Long Term	Short Term
Residential	1.0 space for unit under 45 m ² ;	0.1 space per dwelling unit
	1.25 space for unit more than 45 m ²	

1.0 space per 200 m² floor area 1.0 space per 200m² floor area Commercial 1.0 space per 700m² floor area 1.0 space per 200 m² floor area Daycare

Туре	Residential	Commercial	Daycare	Total
Long Term Bikes	588	17	ľ	605
Short Term Bikes	53	17	3	73

_	Tuno		Residential		Cor	nmercial	Daycare	Total
	Туре	Ground Anchored	Wall Mounted	Cargo	Ground Anchored	Wall Mounted		
	Long Term Bikes	549	51	6	9	8	•	623
	Short Term Bikes	56			16	-	3	75

Floor By Floor Breakdown of Provided Cars & Bikes

					Cars			Bil	kes
		Commercial	Daycare	Car Share	Visitor	Residential	Sub Total	Short Term	Long Term
Ь	Ground	-	-	-	-		-	28	
Ь	P1	42	3	2	39	20	106	47	623
	P2	-	-	-	-	168	168	-	
	P3	-	-	_	-	85	85	-	1
	TOTAL	42	3	2	39	273	359	75	623

1. Not more than 50 percent of the required long-term bicycle parking spaces may be vertical.

AREA BREAKDOWNS, CALCULATIONS AND REFERENCES FOR PARKING TABULATION;

Area for Parking Calc - Total for Com	Area for Parking Calc - Total for Commercial Spaces								
Usage Type (project)	Area								
	136.24 m²								
COMM. COMMON AREA	92.26 m ²								
COOK ST C.R.U	324.66 m ²								
DAYCARE	484.2 m²								
GROCERY	2320.85 m ²								
GROCERY OFFICE	295.93 m ²								
TH	346.86 m²								
TH. A	335.3 m ²								
YATES C.R.U	377.41 m ²								
Area for Darking Cala La	rol 04								

YATES C.R.U	377.41 m²			
Area for Parking Calc - Level 01		}	Car Par	king Provided - Total CRU/ Grocery Parkin
Usage Type (project)	Area	7 }	Usage Type	Туре
COMM. COMMON AREA	92.26 m ²	\exists	COMMERCIAL	Handicap - C
COOK ST C.R.U	324.66 m ²	$\exists $	COMMERCIAL	Regular Stall - C
DAYCARE	53.35 m ²	$\exists $	COMMERCIAL	Regular Stall - C - EV
GROCERY	2320.85 m ²	$\exists \zeta$	COMMERCIAL	Regular Stall - CAR SHARE
TH	346.86 m ²	$\exists \langle$	Total Parking	
YATES C.R.U	377.41 m ²	$\exists \langle$		
	mm			

Usage Type (project)	Area
	50.03 m ²
DAYCARE	18.09 m²
GROCERY OFFICE	295.93 m ²
TH- B	56.81 m ²
TH. A	335.3 m ²

Usage Type	Type	Co
RES.	Handicap - Res.	
RES.	Regular Stall - Res.	

Car Parking Provided - Total Parking by Use

Count

Starlight Developments

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DP RESUBMISSION #5

DESCRIPTION

DESCRIPTION

7 2022-08-03 DP RESUBMISSION #7 6 2022-06-07 DP RESUBMISSION #6 5 2022-04-29 ISSUED FOR TENDER

1 2021-11-15 ISSUE FOR BUILDING PERMIT

4 2022-03-28 BP RESUBMISSION 3 2022-03-14 IFT BACKGROUND

2 2022-02-11

NO. DATE

ISSUES

E NO. DATE

REVISIONS

Usage Type

COMMERCIAL

DAYCARE

VISITOR

Total Parking

	Area for Parking Calc - Level 02
	Usage Type
AMENITY	
DAYCARE	

munimum munimum mande and mande and

Stalls / Unit # Units

0.60

0.75

Stalls

123.60

8.00

215 107.50

526 276.90

526 52.60

206

64

Unit size for parking

Apartment, 45-70 m2

Apartment, less than 45 m²

Affordable, less than 45 m2

fordable, 45-70 m2

Total resident stalls

Visitor stalls

Apartment, greater than 70 m2

Affordable, greater than 70 m2

Car	Parking Provided - Total Visitor Parking	
Usage Type	Туре	Cou
VISITOR	Handicap - V	
VISITOR	Regular Stall - V	3
VISITOR	Regular Stall - V - EV	
Total Parking		3

Car Parking Provided - Total Daycare Parking

Total Parking		3
Car Pa	arking Provided - Total Parking Breakdown	
Usage Type	Туре	Coun
COMMERCIAL		
COMMERCIAL	Handicap - C	1

- 5 71	J 1	_
COMMERCIAL		
COMMERCIAL	Handicap - C	
COMMERCIAL	Regular Stall - C	4
COMMERCIAL	Regular Stall - C - EV	
COMMERCIAL	Regular Stall - CAR SHARE	
DAYCARE		
DAYCARE	Regular Stall - DC	;
RES.		
RES.	Handicap - Res.	
RES.	Regular Stall - Res.	26
VISITOR		
VISITOR	Handicap - V	
VISITOR	Regular Stall - V	3:
VISITOR	Regular Stall - V - EV	
Total Parking		359

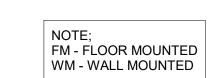
COUNT AND DESIGNATION BREAKDOWNS FOR BIKE TABULATION;

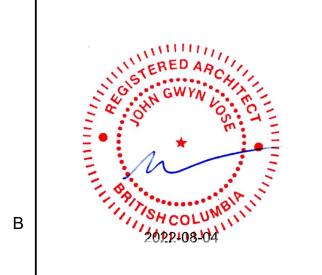
Туре	Coun
LEVEL P1	·
Bike Rack - Class A - FM - Comm	(
Bike Rack - Class A - FM - Residential	549
Bike Rack - Class A - WM - Comm	3
Bike Rack - Class A - WM - Residential	5
Grand total	617

Bike Cargo Schedule -	- P1 Level	
Туре		Coun
Bike Cargo - No Cages - FM - Class A		6
Grand total		6
TOTAL CLASS A BIKE COUNT:	623 INCLUD	ING CARGO BIKE

Bike Parking Provided - Total Class B	Bikes
Туре	Count
LEVEL P1	,
Bike Rack - Class B - FM - Residential	47
LEVEL 01	·
Bike Rack - Class B - FM - Commercial	16
Bike Rack - Class B - FM - Daycare	3
Bike Rack - Class B - FM - Residential	9
Grand total	75

9 8 ntial 549
8
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692
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-08-03

PRIME CONSULTANT

SUB-CONSULTANT

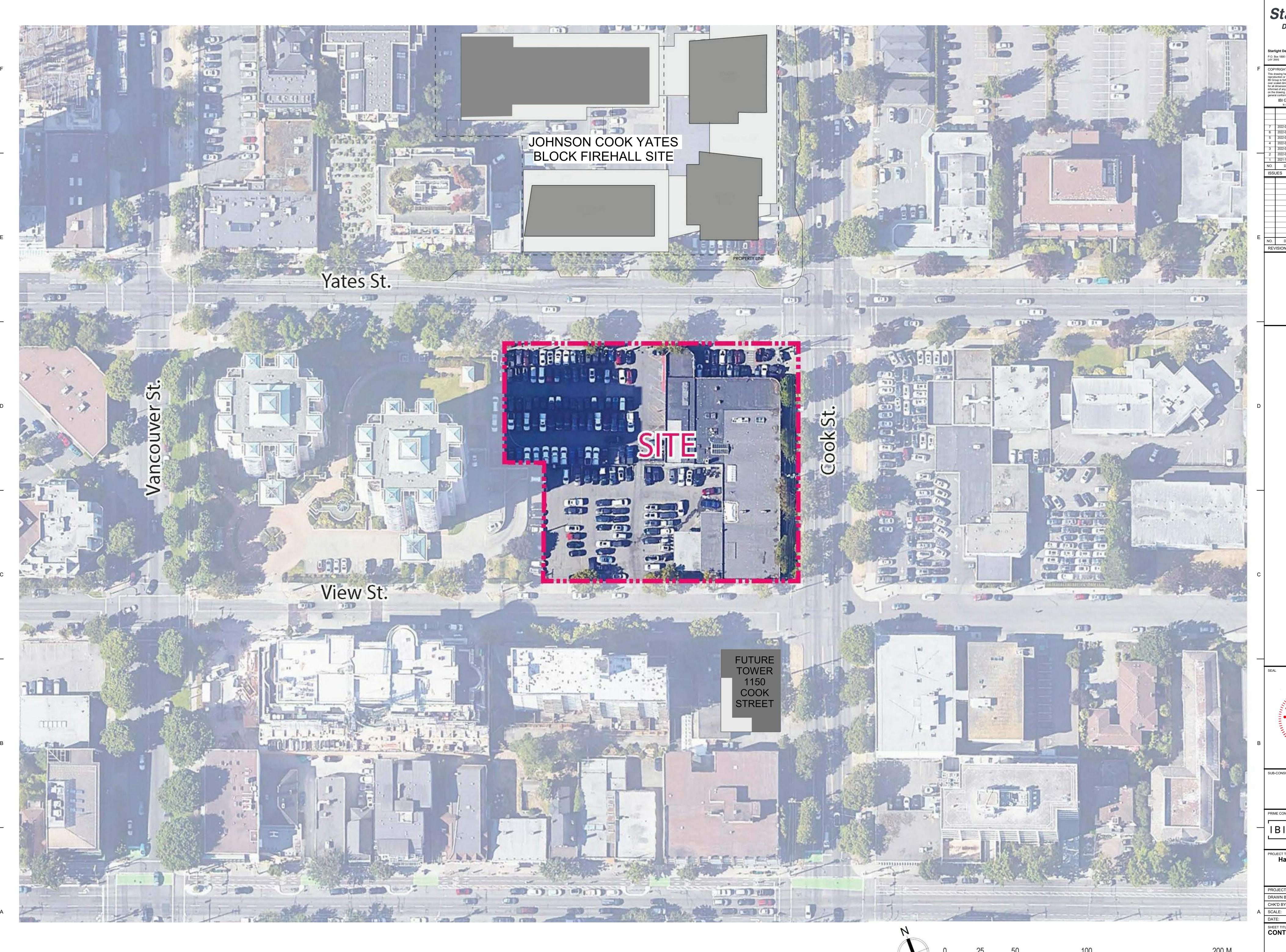
IBI GROUP ARCHITECTS (CANADA) INC. 700-1285 West Pender Street, Vancouver, BC V6E 4B1, Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com

Harris Green Village Phase 01 1045 Yates Street Victoria, BC

CHK'D BY: GV A | SCALE:

PARKING STATISTICS

SHEET NUMBER



P.O. Box 1890 Station B Mississauga, Ontario, Canada L4Y 3W6

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DESCRIPTION

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NO. DATE
REVISIONS

SUB-CONSULTANT

PRIME CONSULTANT

IBI GROUP
ARCHITECTS (CANADA) INC.
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE

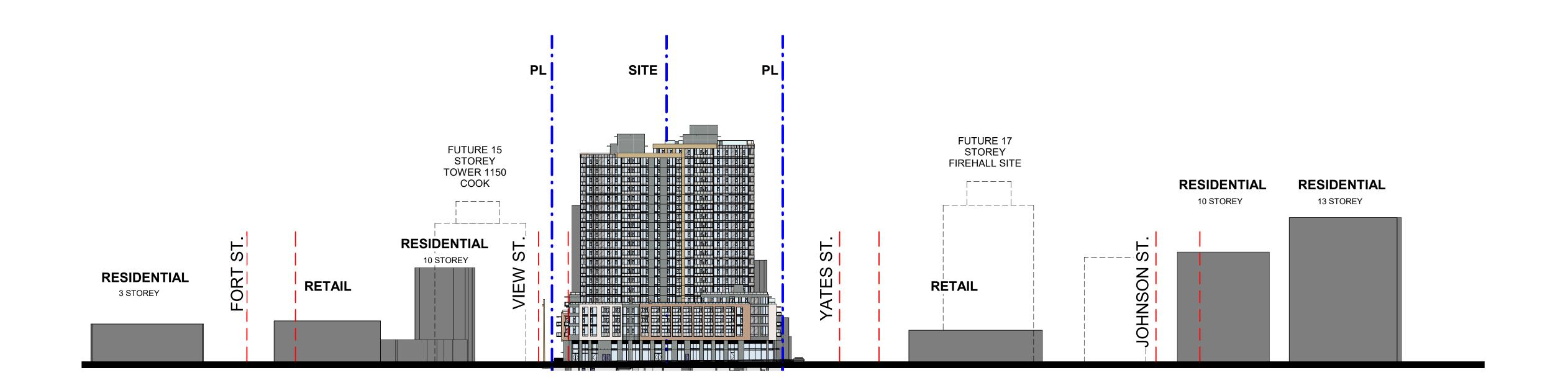
Harris Green Village Phase 01 1045 Yates Street

Victoria, BC PROJECT NO: 121123 DRAWN BY: JH CHK'D BY: GV A SCALE: 1:5

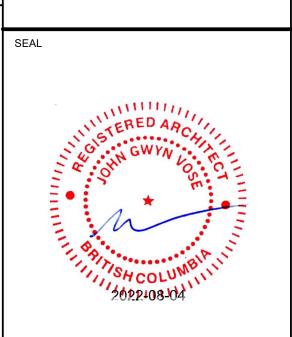
SHEET TITLE
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1 STREET SCAPE ELEVATION FROM YATES STREET
A0.06 SCALE: 1:750



2 STREET SCAPE ELEVATION FROM COOK STREET
A0.06 SCALE: 1:750



SUBMISSION

-03

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4 2022-03-28 BP RESUBMISSION
3 2022-03-14 IFT BACKGROUND

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ibigroup.com

Harris Green Village
Phase 01

1045 Yates Street

PROJECT NO: 121123

DRAWN BY: JH

CHK'D BY: GV

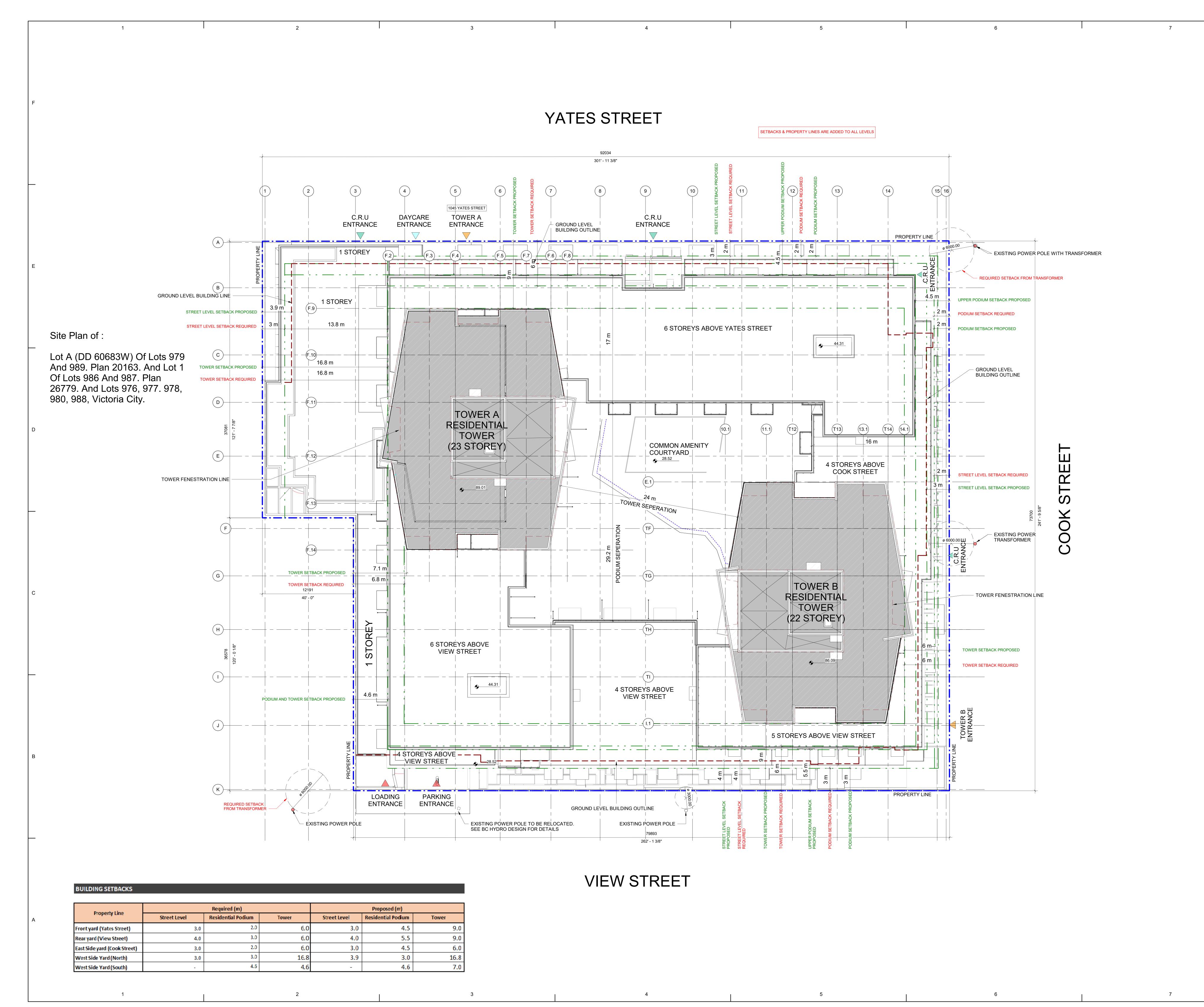
CHK'D BY: GV

A SCALE: 1:750

DATE: 2022-08-03

SHEET TITLE

SHEET TITLE
STREET SCAPE
ELEVATION



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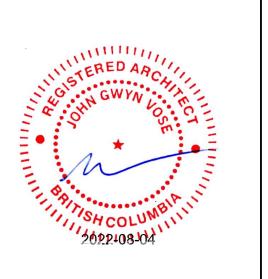
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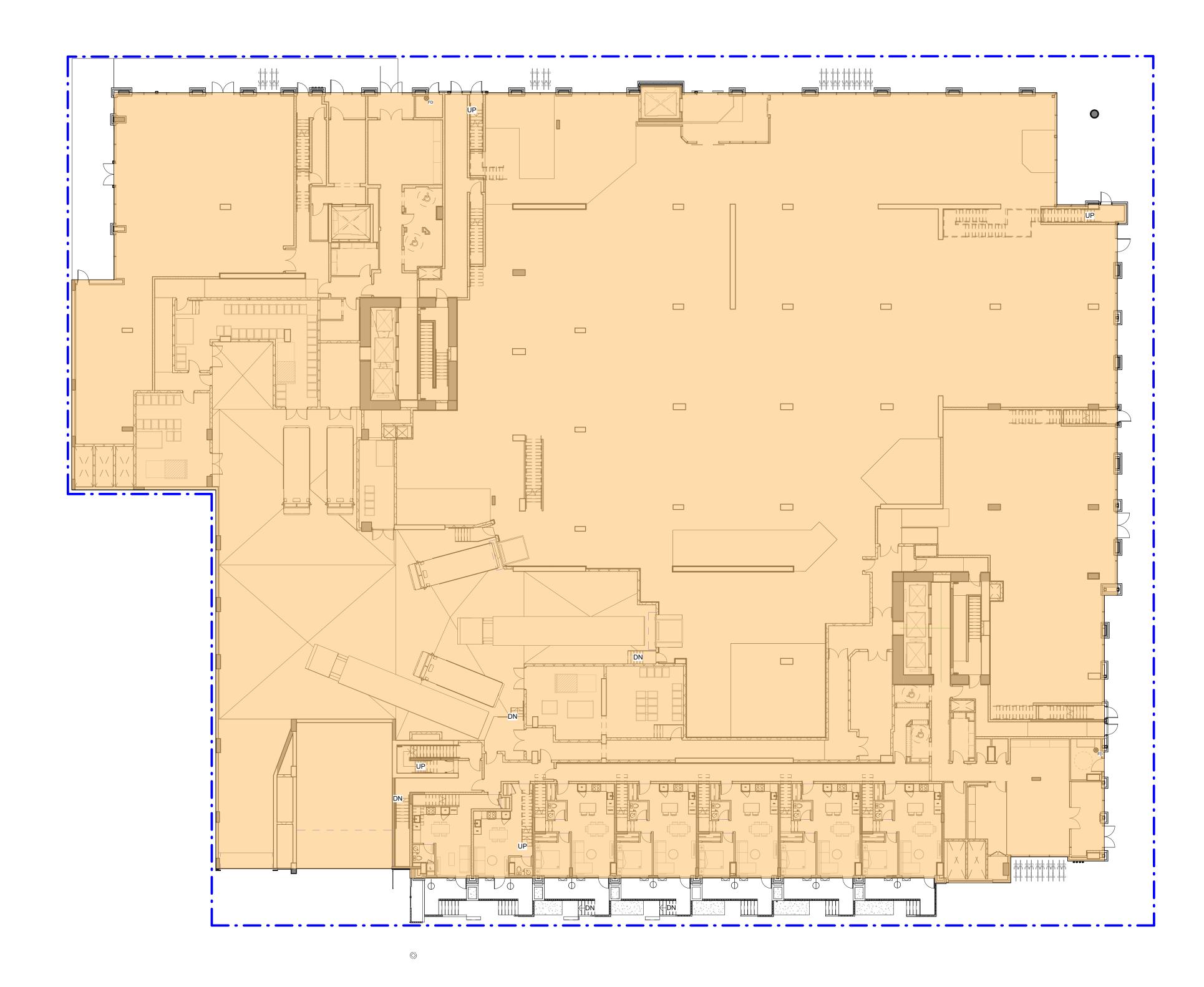
Victoria, BC PROJECT NO: 121123 DRAWN BY: JH CHK'D BY: GV

2022-08-03

SETBACK DIAGRAM

SITE COVERAGE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.
Building Footprint (podium)	5,351	57,597.
Site Coverage %		84





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3 2022-03-14 IFT BACKGROUND 2 2022-03-14 II 1 BACKGROUND
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PROJECT TITLE

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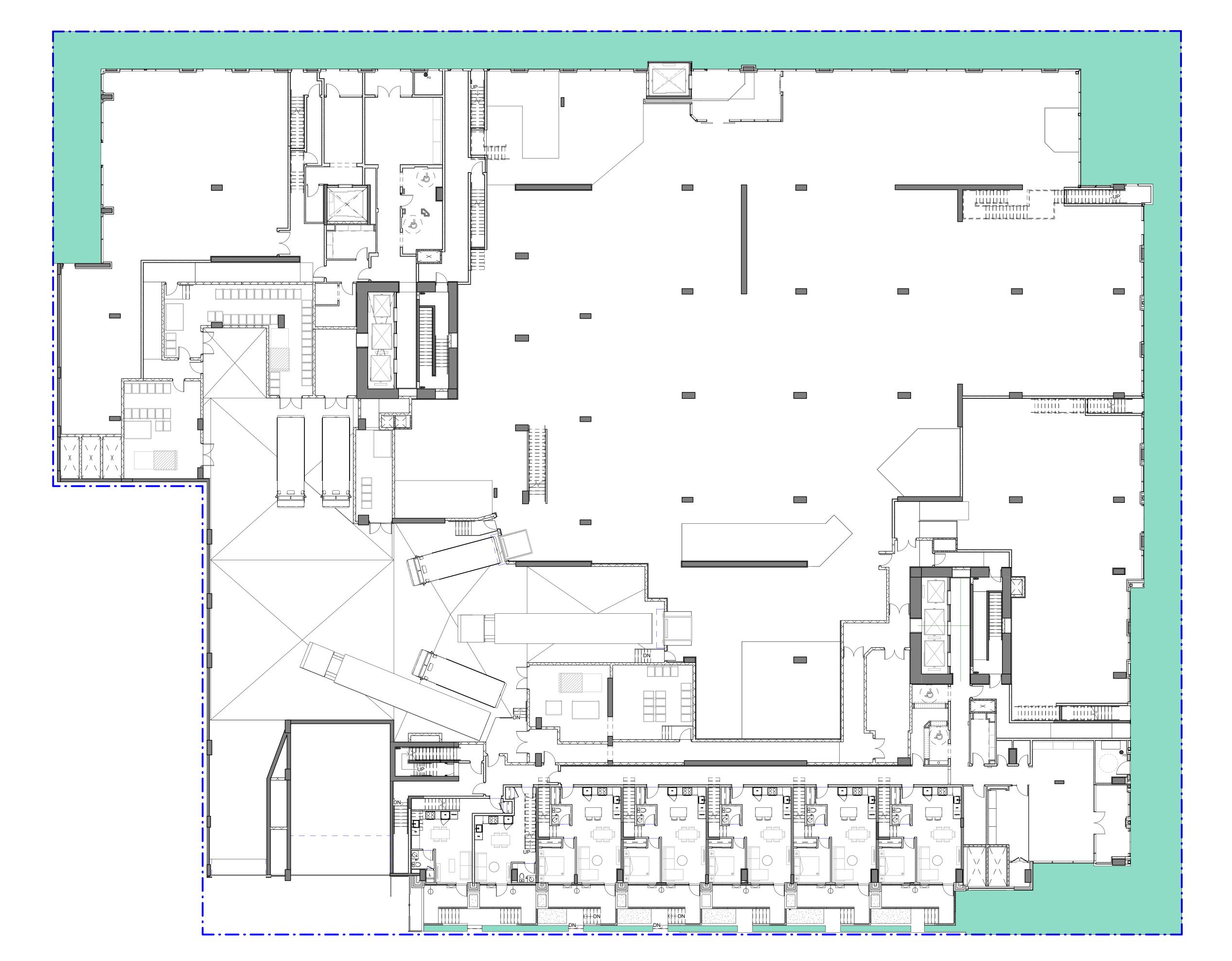
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DATE: 2022-08-03

2022-08-03 SHEET TITLE
SITE COVERAGE
DIAGRAM

SHEET NUMBER 80.0A

OPEN SITE SPACE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.
Open Site Space Area	721	7,750.
Open Site Space %		11'





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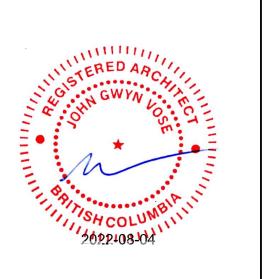
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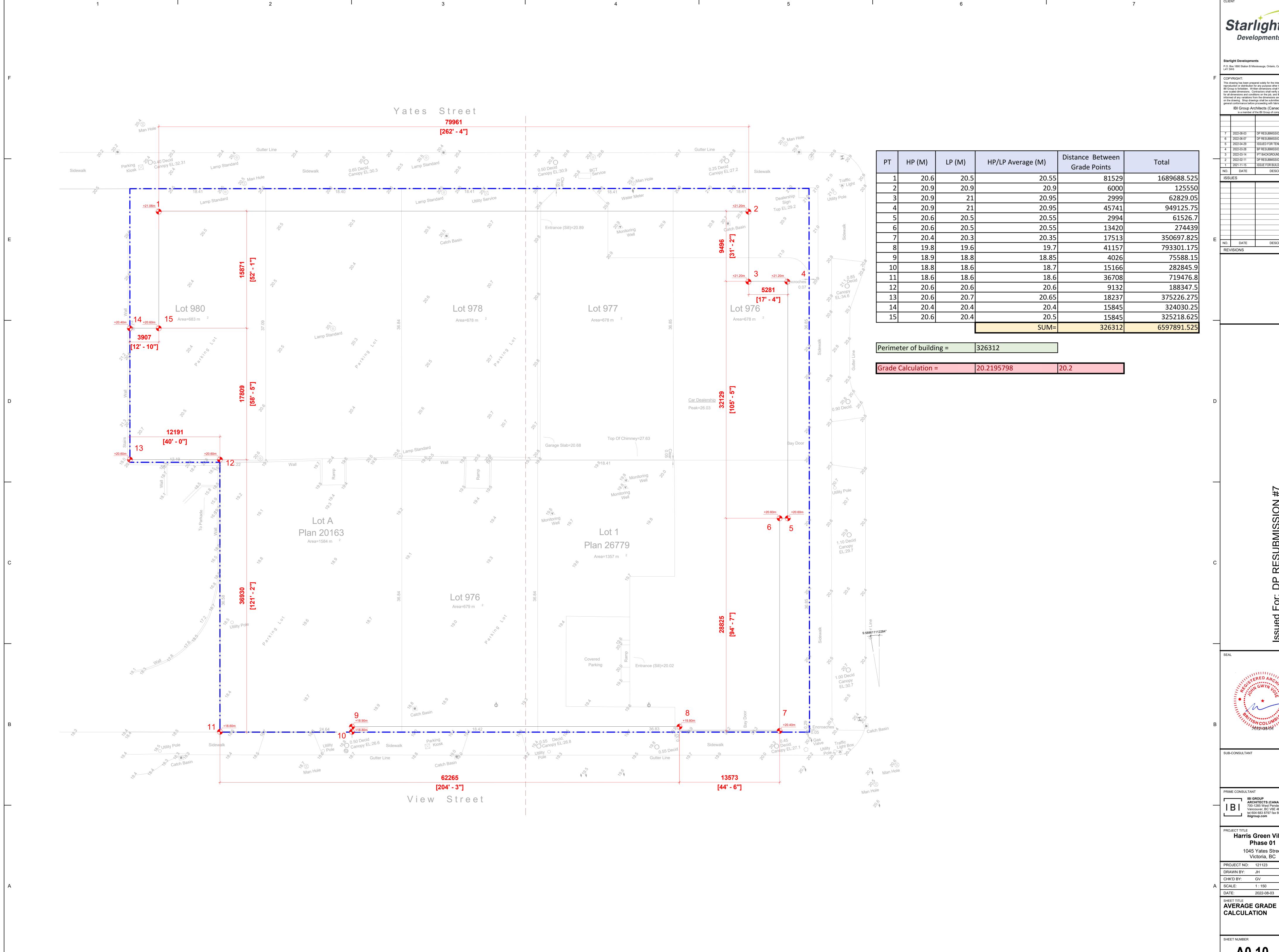
Harris Green Village Phase 01 1045 Yates Street

Victoria, BC DRAWN BY: JH CHK'D BY: GV A SCALE: 1:150

DATE: 2022-08-0

OPEN SITE SPACE

DIAGRAM





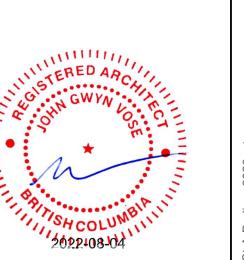
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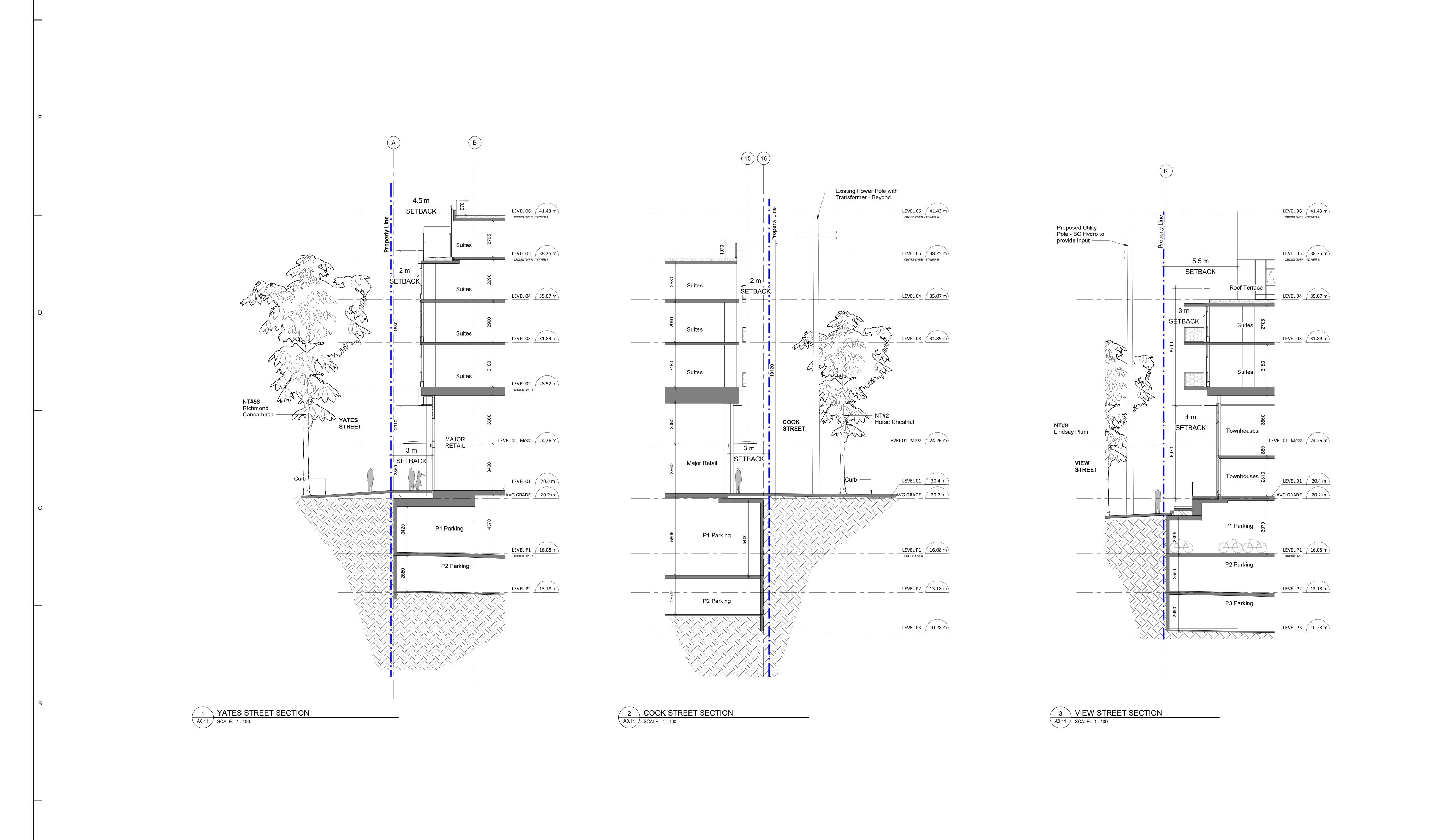
PROJECT TITLE

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Victoria, BC PROJECT NO: 121123 DRAWN BY: JH CHK'D BY: GV

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CALCULATION





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PROJECT NO: 121123 DRAWN BY: JH CHK'D BY: GV A SCALE: 1:100

DATE: 2022-08-03

SHEET TITLE
STREET SECTION

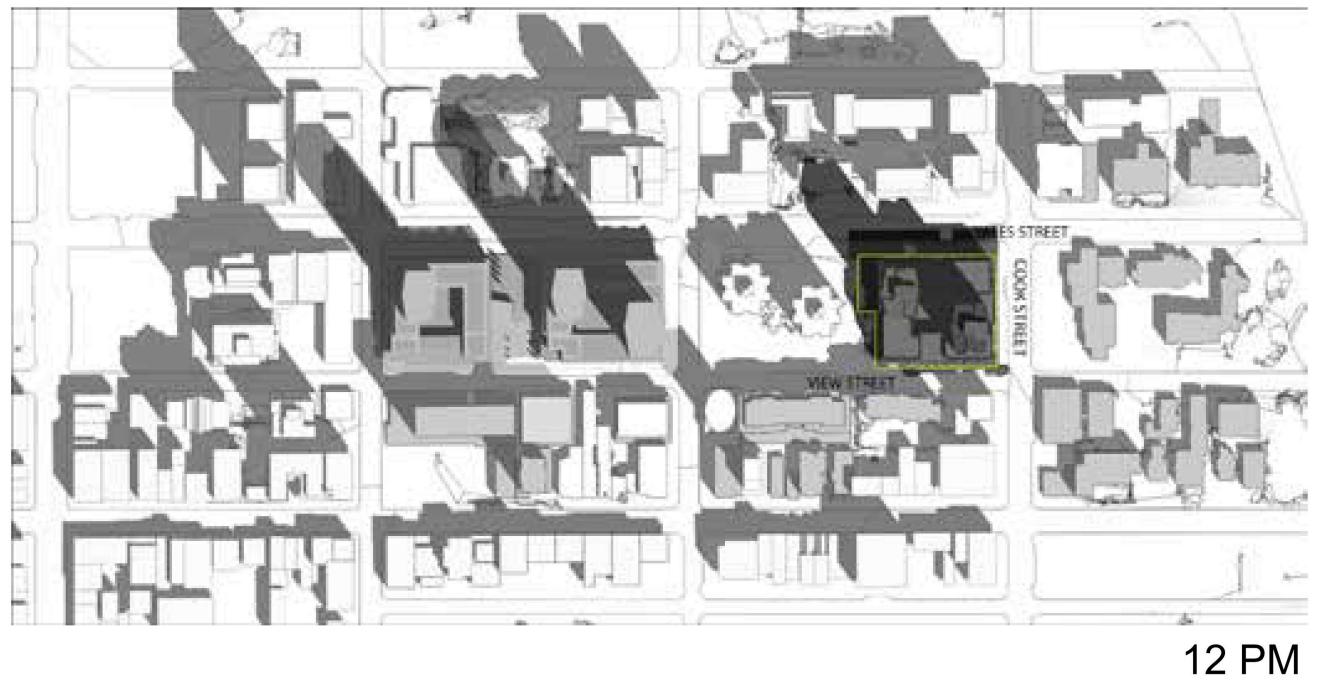
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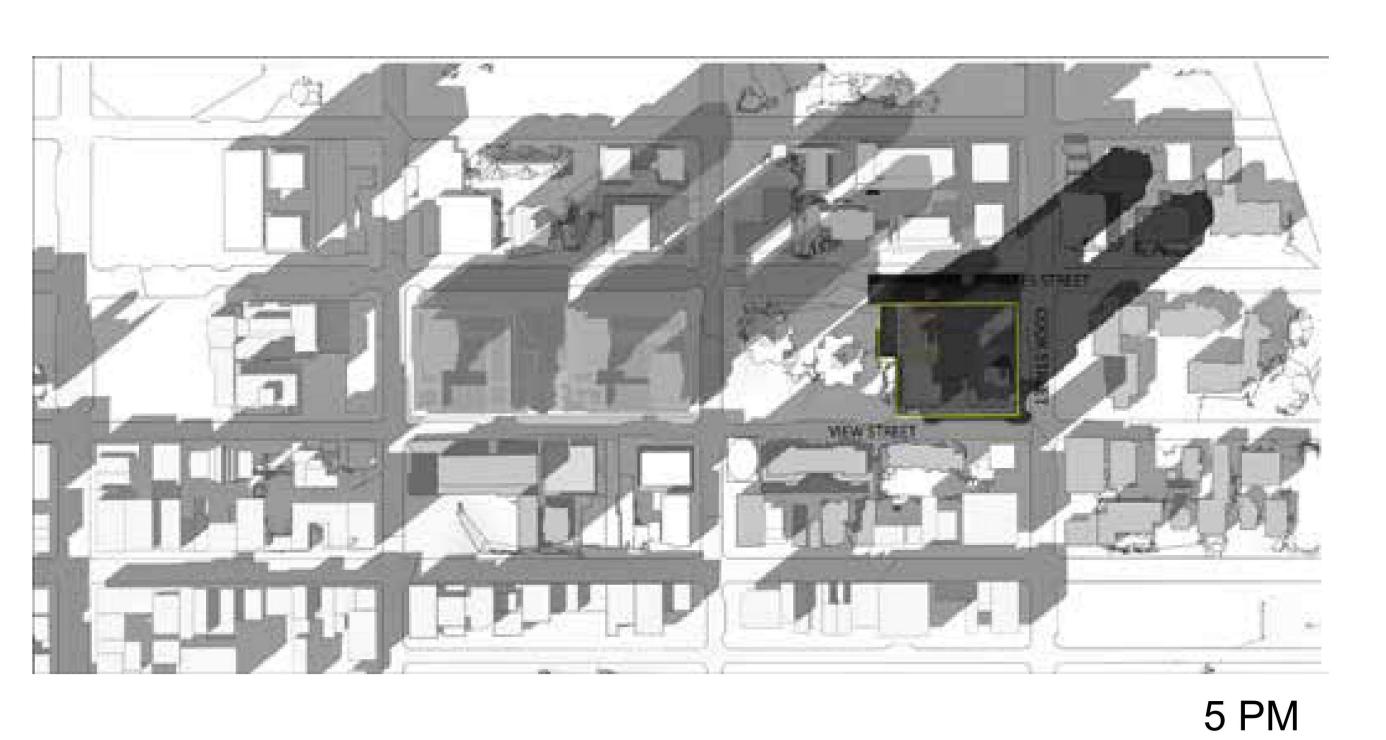
2022-08-03

VERNAL EQUINOX - MARCH 20TH (DST)









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PROJECT TITLE

Harris Green Village
Phase 01

1045 Yates Street
Victoria, BC

PROJECT NO: 121123

DRAWN BY: JH

CHK'D BY: GV

SCALE: 1:5

SHEET TITLE
SHADOW STUDY VERNAL EQUINOX

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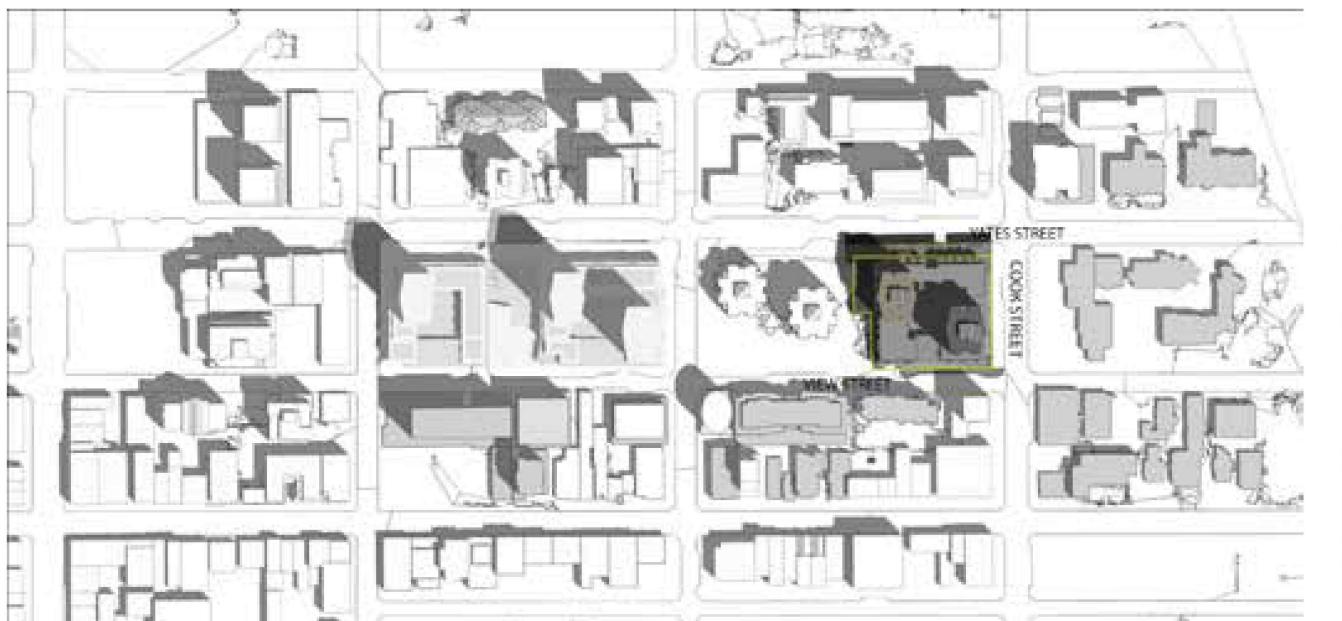
SHEET TITLE
SHADOW STUDY SUMMER SOLSTICE

A0.13

SUMMER SOLSTICE - JUNE 20TH (DST)











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5	2022-04-29	ISSUED FOR TENDER
4	2022-03-28	BP RESUBMISSION
3	2022-03-14	IFT BACKGROUND
2	2022-02-11	DP RESUBMISSION #5
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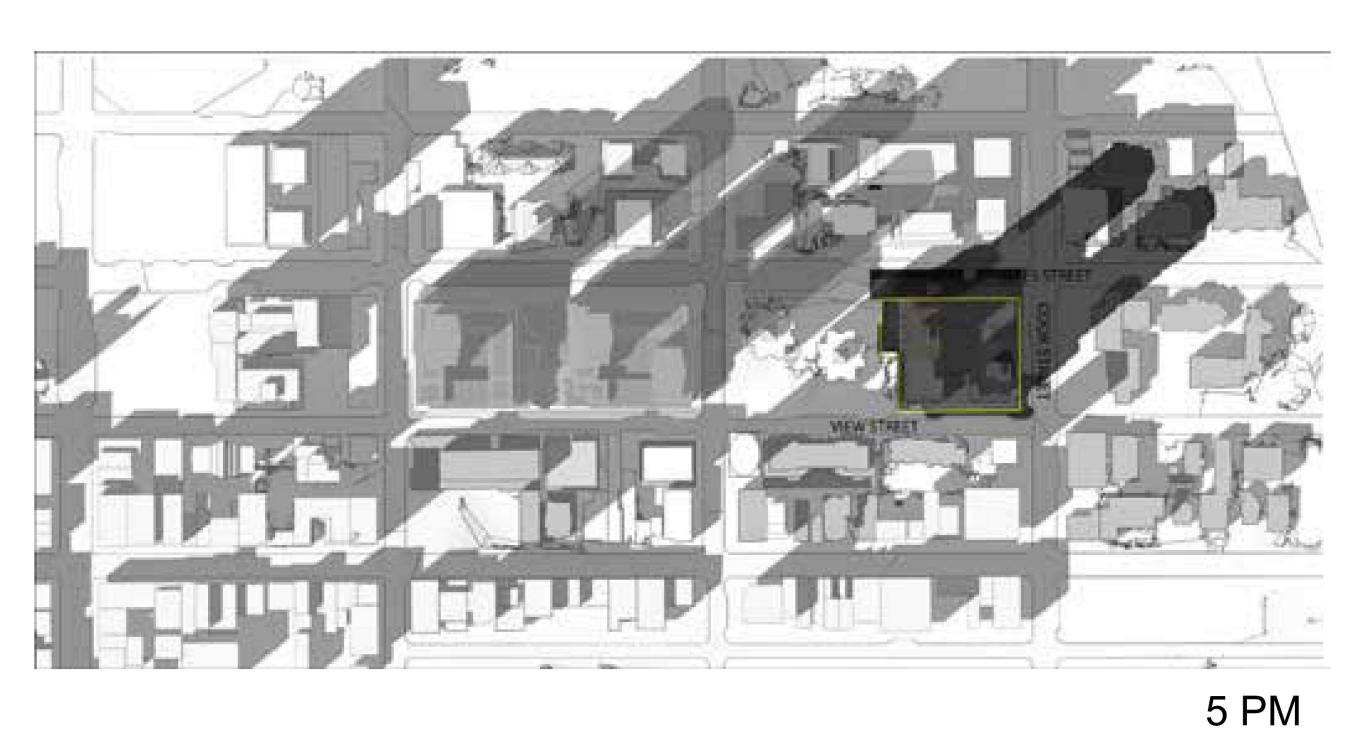
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AUTOMNAL EQUINOX - SEPTEMBER 22ND (DST)

12 PM

4 PM



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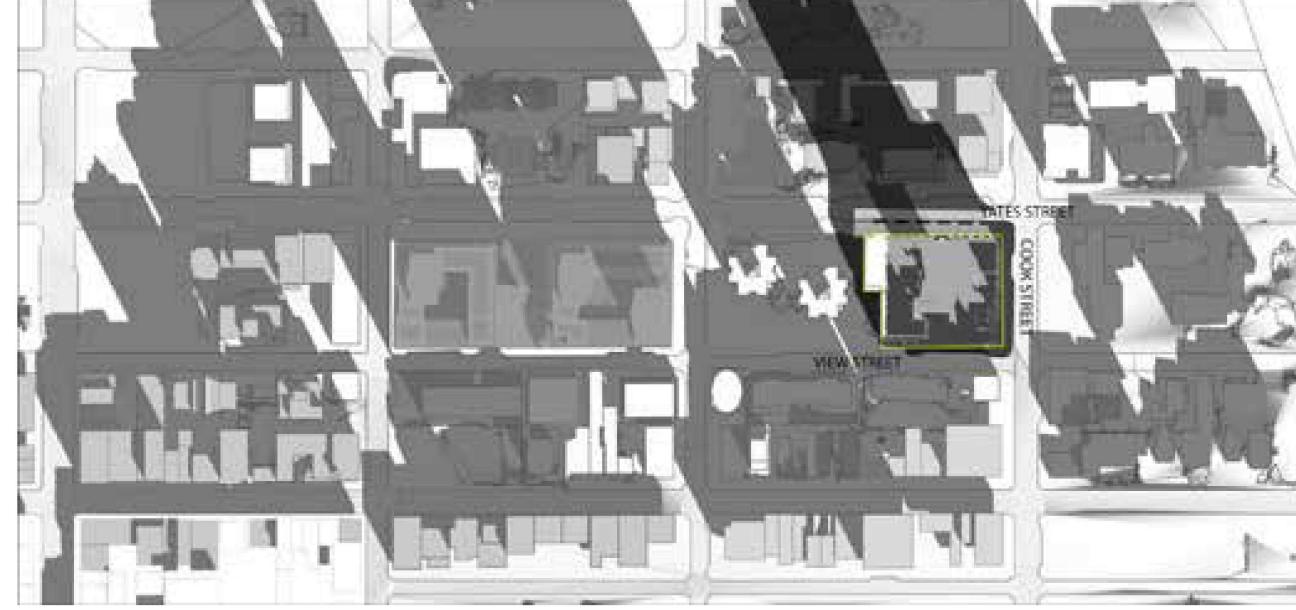
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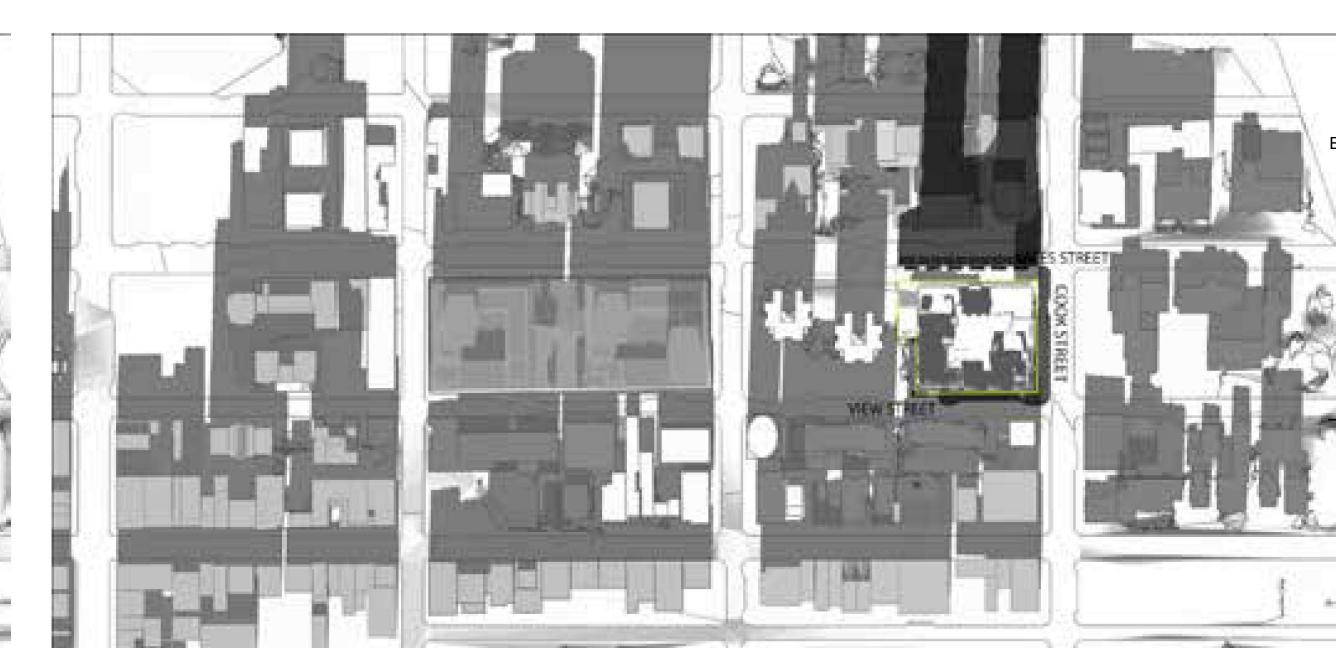
SHEET TITLE
SHADOW STUDY AUTOMNAL EQUINOX

WINTER SOLSTICE - DECEMBER 21ST (DST)



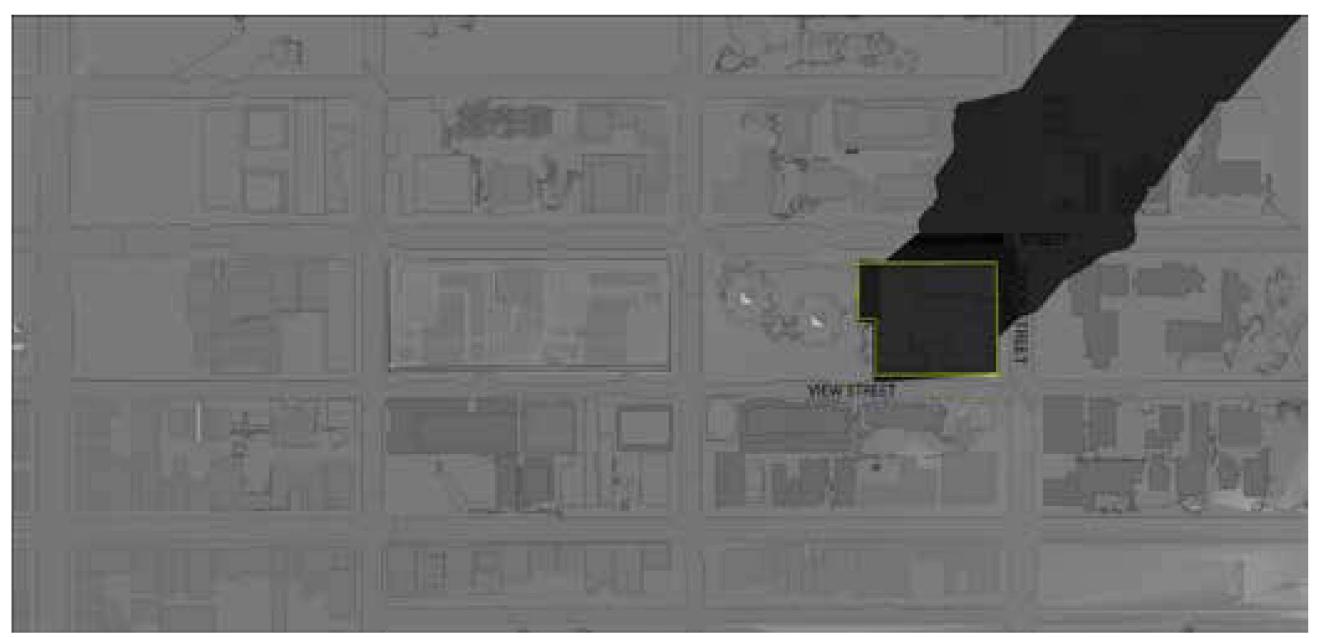


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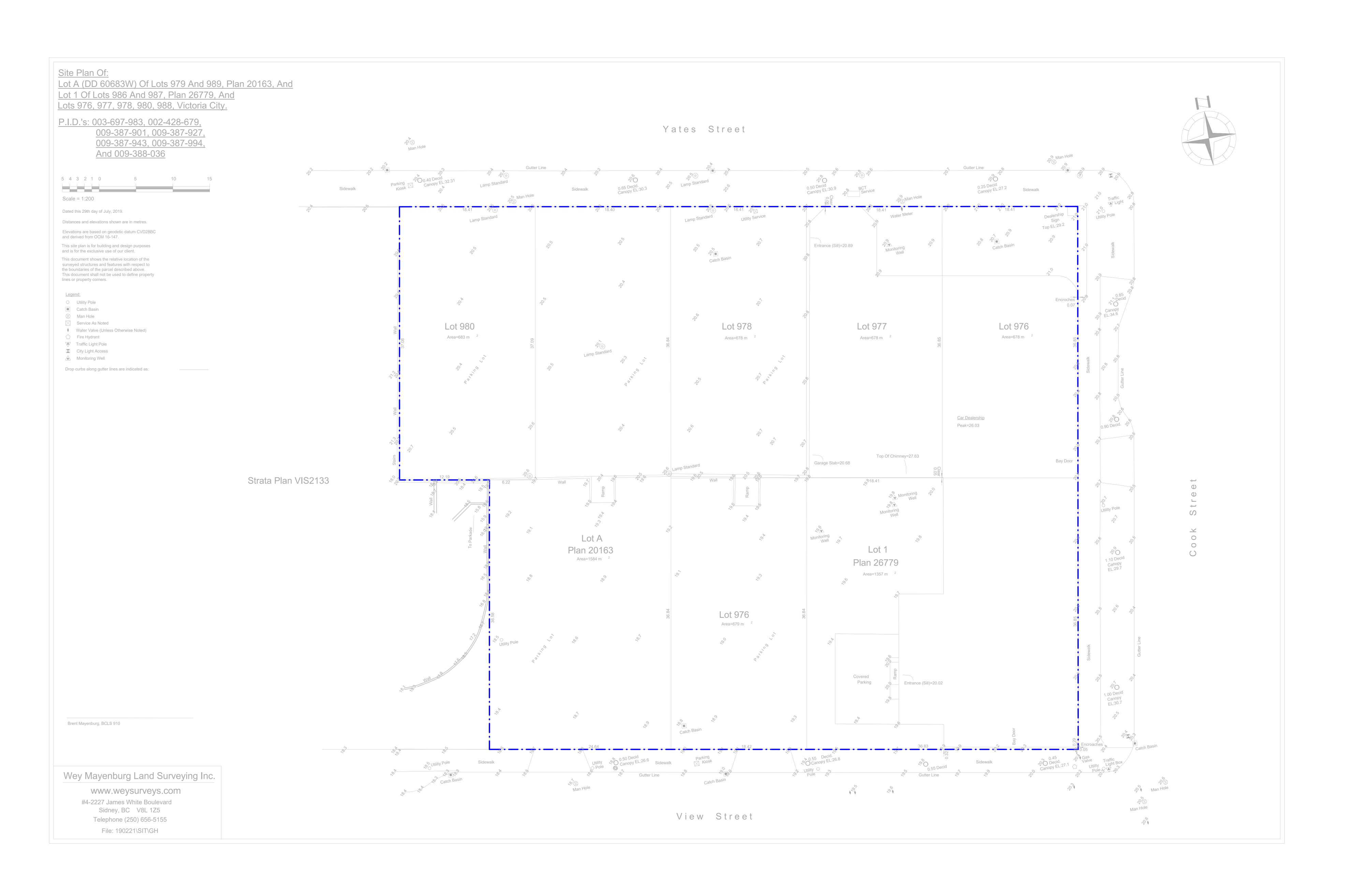
DP RESUBMISSION #5

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SHEET TITLE
SHADOW STUDY WINTER SOLSTICE



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2022-08-03

SHEET TITLE
SURVEY





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PROJECT TITLE

Harris Green Village Phase 01

1045 Yates Street Victoria, BC PROJECT NO: 121123

DRAWN BY: JH CHK'D BY: GV A SCALE: 1:5

DATE: 2022-08-0

SHEET TITLE

AERIAL VIEW





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PROJECT TITLE

Harris Green Village

Phase 01

1045 Yates Street

1045 Yates Street Victoria, BC
PROJECT NO: 121123

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CHK'D BY: GV

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PRESPECTIVE VIEW
FROM YATES STREET





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Harris Green Village
Phase 01

1045 Yates Street

Victoria, BC

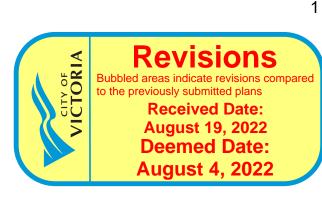
PROJECT NO: 121123

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DATE: 2022-08-0

PRESPECTIVE VIEW
FROM COOK STREET







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2 2022-02-11 DP RESUBMISSION #5

E 1 2022-08-17 NO. OF TREES ON VIEW STREET

NO. DATE DESCRIPTION

REVISIONS

DP RESUBMISSION #7

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PROJECT TITLE

Harris Green Village

Phase 01

1045 Yates Street

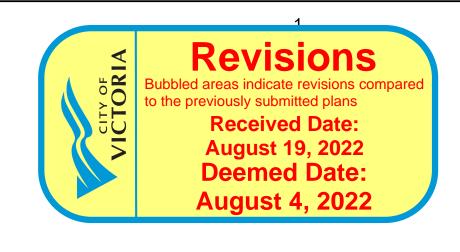
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Victoria, BC

PROJECT NO: 121123

DRAWN BY: JH

DRAWN BY: JH
CHK'D BY: GV
A SCALE:

PRESPECTIVE VIEW
FROM VIEW STREET



CPTED Strategy

Following the four main principles of Crime Prevention Through Environmental Design (CPTED) the following strategies will be utilized to decrease the potential for crime in Harris Green Village. More specifc CPTED strategies will be outlined in subsequent Development Permit Applications.

1. Natural Surveillance:

Elements of site and building design can maximize opportunities for natural surveillance. This involves achieving the right mix of land uses and activity generators and designing buildings and open spaces to allow people to casually observe activities in their environment. This principle involves putting "eyes on the street" by encouraging pedestrian passage through a space or providing the opportunity for overlook from adjacent buildings and spaces.

- Provide a mix of uses at grade to ensure the presence of people at all times e.g. shops, restaurants, residential entrances, offce entrances, etc.
- Locate activity generators and/or seating options around edges to create opportunities for natural surveillance of open spaces, plazas, parks and important pedestrian thoroughfares.
- Confgure residential lobbies to provide clear sightlines from within buildings to the street so occupants can clearly see outside before leaving the building.
- Use transparent building materials such as glazing around residential entries and avoid recessed doorways without windows to eliminate entrapment spots.
- Locate visitor bicycle storage facilities near commercial and residential entrances for visibility and ease of access.
- Prepare landscape designs and follow-up maintenance plans to allow clear, unobstructed views of public areas. Landscape elements such as low ground cover and high-canopied trees with no branches below 6 feet should be considered.
- Ensure public walkways and entries are well-lit and overlooked by windows.
- Consider adding a mix of activity generators such as playgrounds, walkways, coffee kiosks and sitting areas to add 'eyes' on the plaza and View Street Green.
- Use glazed doors in stairwells and parkade lobbies to reduce hiding places, open up views of the parking areas and use a white or a light colour paint scheme and elimination of sharp corners to reduce concealment opportunities
- Avoid creating "dead zones" where there is little activity or signs of human presence.

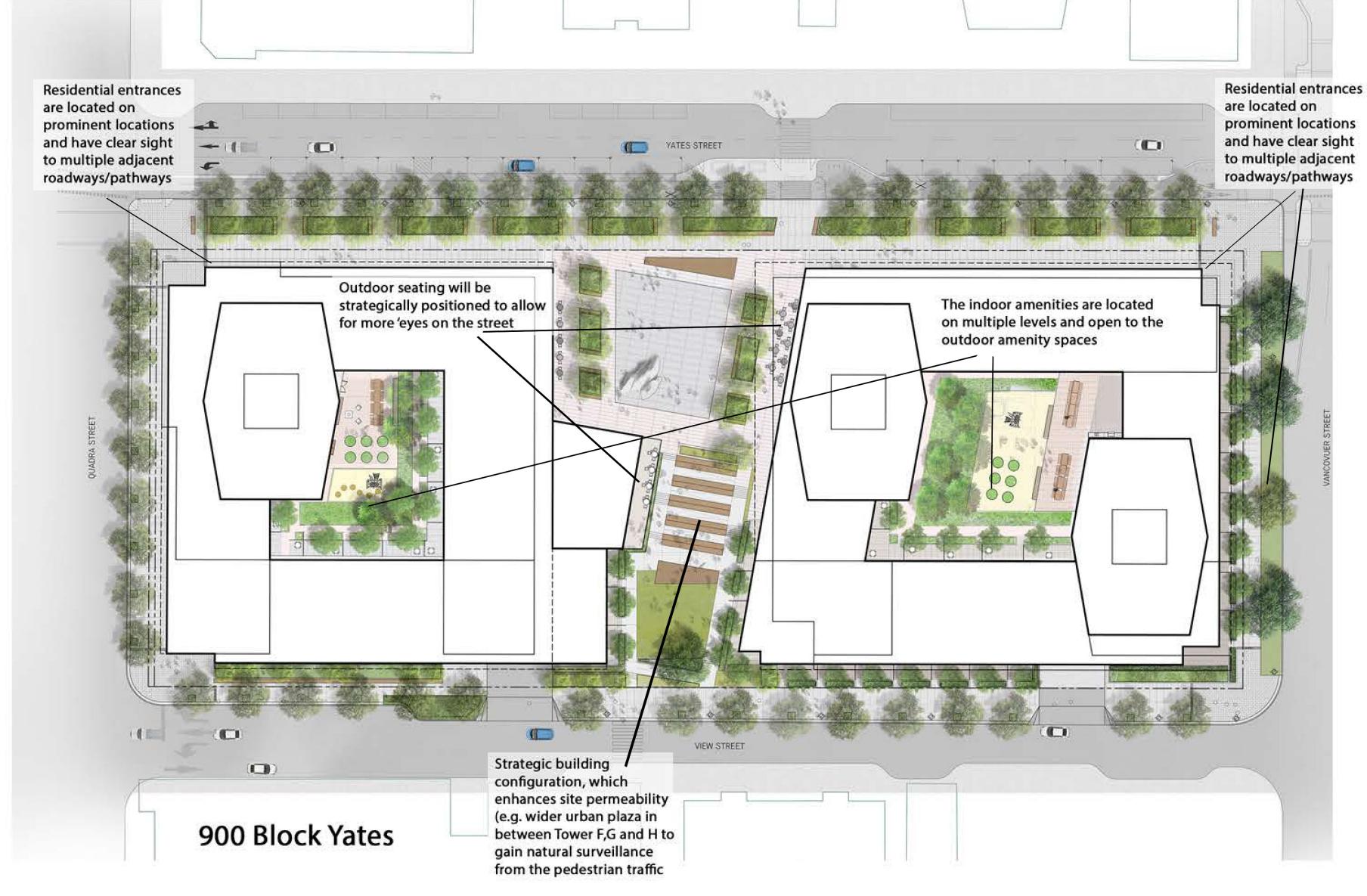


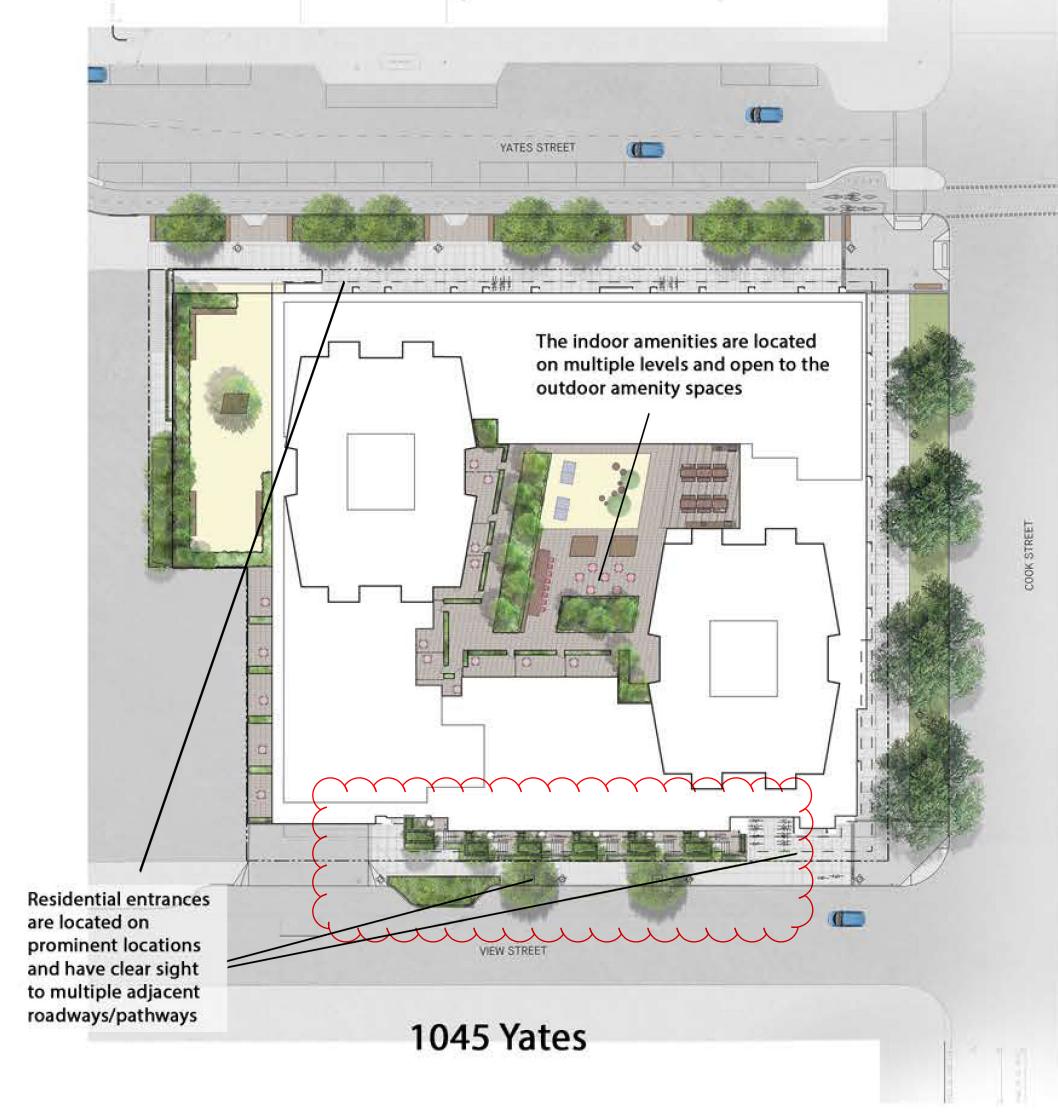












2. Legibility/Access Control:

Legibility and access control work together to allow people to move with

confidence and ease through the urban environment.

Legibility means that people know where they are and how to get where they are going. Access control reinforces legibility by creating clear design cues about what is the public realm and what is not.

- Ensure important services and signs are strategically located and clearly visible.
- Create local landmarks by drawing attention to features such as public art, public squares, or important buildings.
- Use elements such as paving, lighting and landscaping to clearly guide the public to and from entrances and exits.
- Provide adequate lighting around the perimeter of buildings, in plaza spaces and in parkades and common areas.
- Secure all residential entrances including bicycle storage rooms with FOB doors.

- Install gates at parkade entrances, with secondary gates separating commercial from residential parking areas.
- Provide mirrors in parkades to help users "see around corners".
- Provide adequate lighting and sightlines to loading areas, parkade entrances and other areas where natural surveillance is reduced.
- Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fxtures.
- natural surveillance is reduced.
- Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fxtures.

3. Image/Maintenance:

If an environment shows signs

of neglect or vandalism people are more inclined to engage in unwelcome or criminal behaviour. By enhancing and maintaining the physical appearance of the urban environment it is possible to encourage users of the area to respect their surroundings. Well used and cared-for public spaces encourage ownership and support community pride.

- Design the built environment with materials and fttings that will hold up to heavy use by the public.
- Use fnishes that are resistant to vandalism and are easy to clean, repair or replace.
- Avoid long expanses of light coloured walls that may attract graffti artists.
- Source tamper-proof lighting fxtures.

4. Territoriality/Ownership:

Clearly differentiating and demarcating public space from private space reduces the risk of unintentionally trespassing or being trespassed upon.

- Design symbolic barriers through landscaping e.g. changes in paving stone patterns and colour, changes in types of planting, changes in grades and use of transparent fences around residential entrances.
- Provide spaces around buildings so residents can meet and develop a sense of ownership of their common spaces, e.g. fountains, benches, playgrounds, arches, seating walls.

Starlight Developments

Starlight Developments

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PROJECT TITLE

Harris Green Village

Phase 01

1045 Yates Street

Victoria, BC

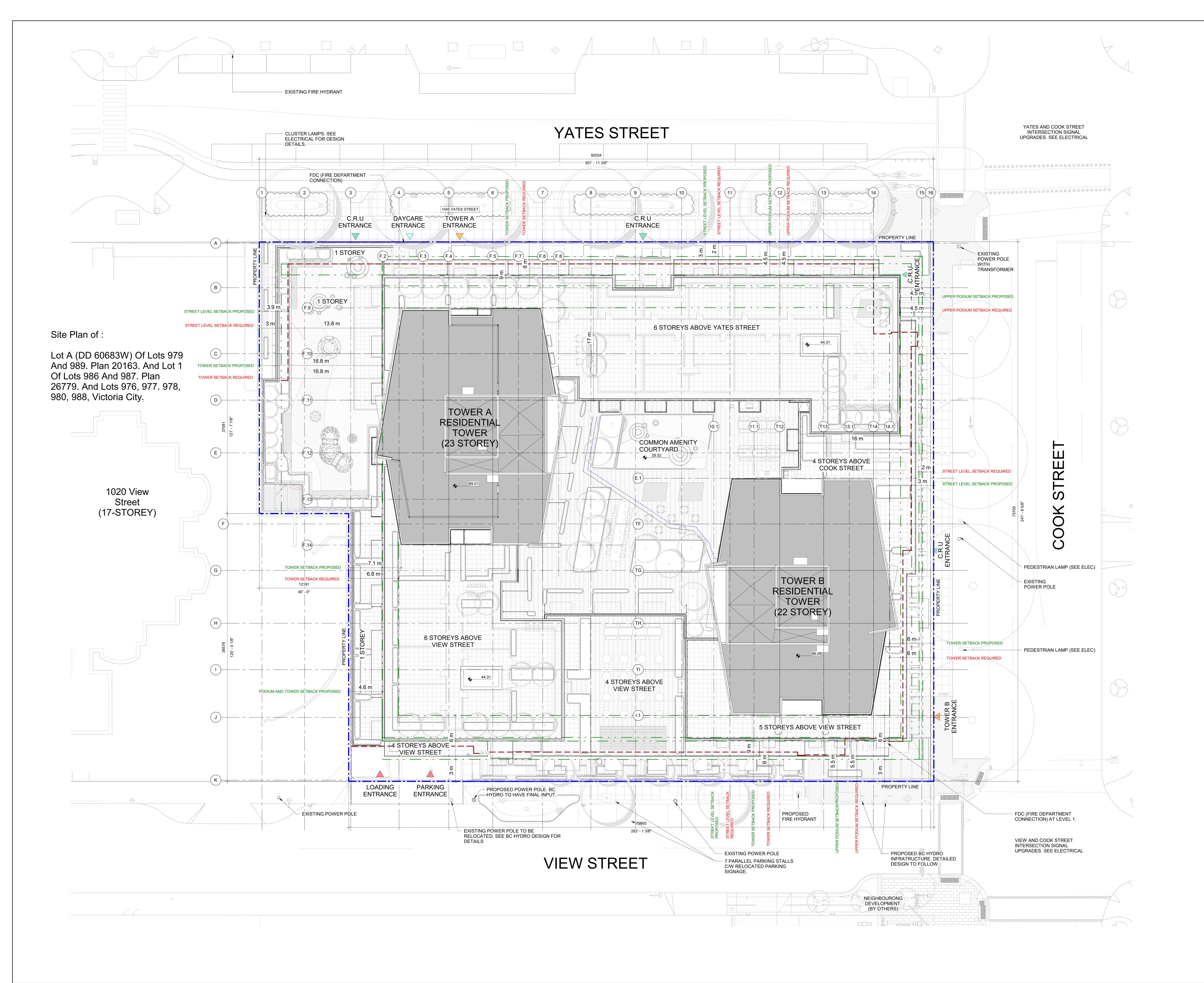
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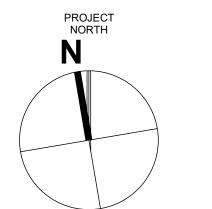
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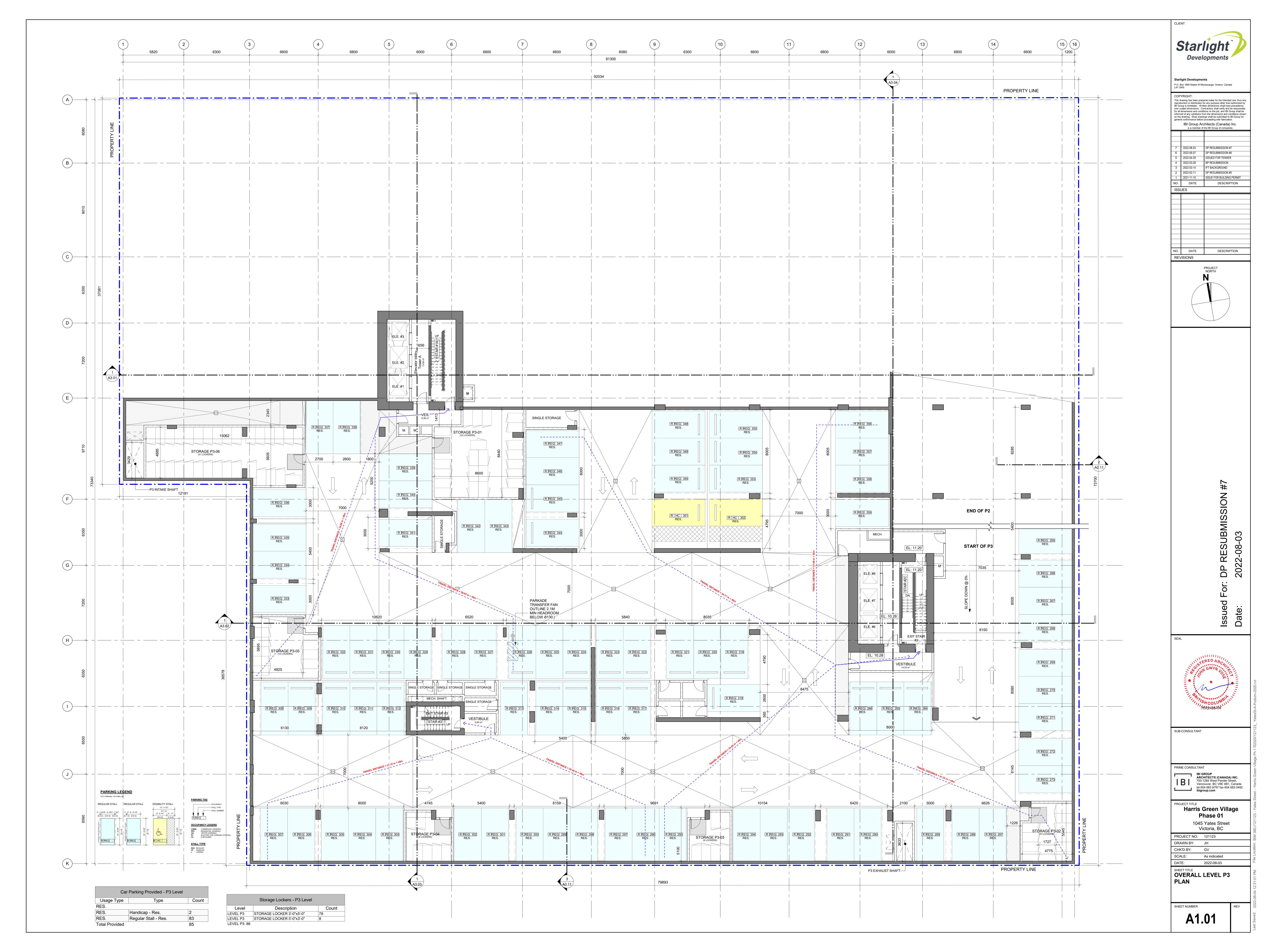
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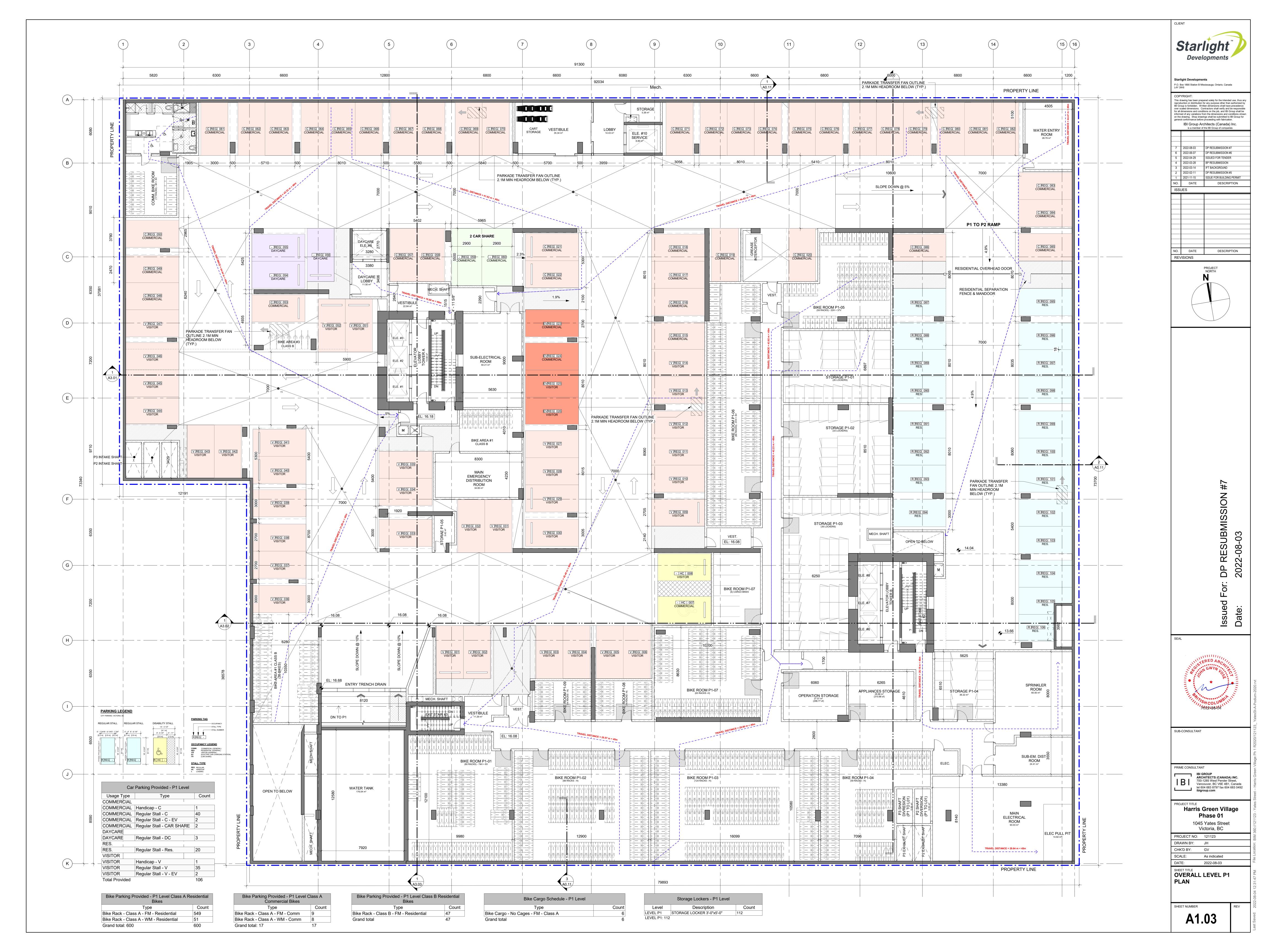
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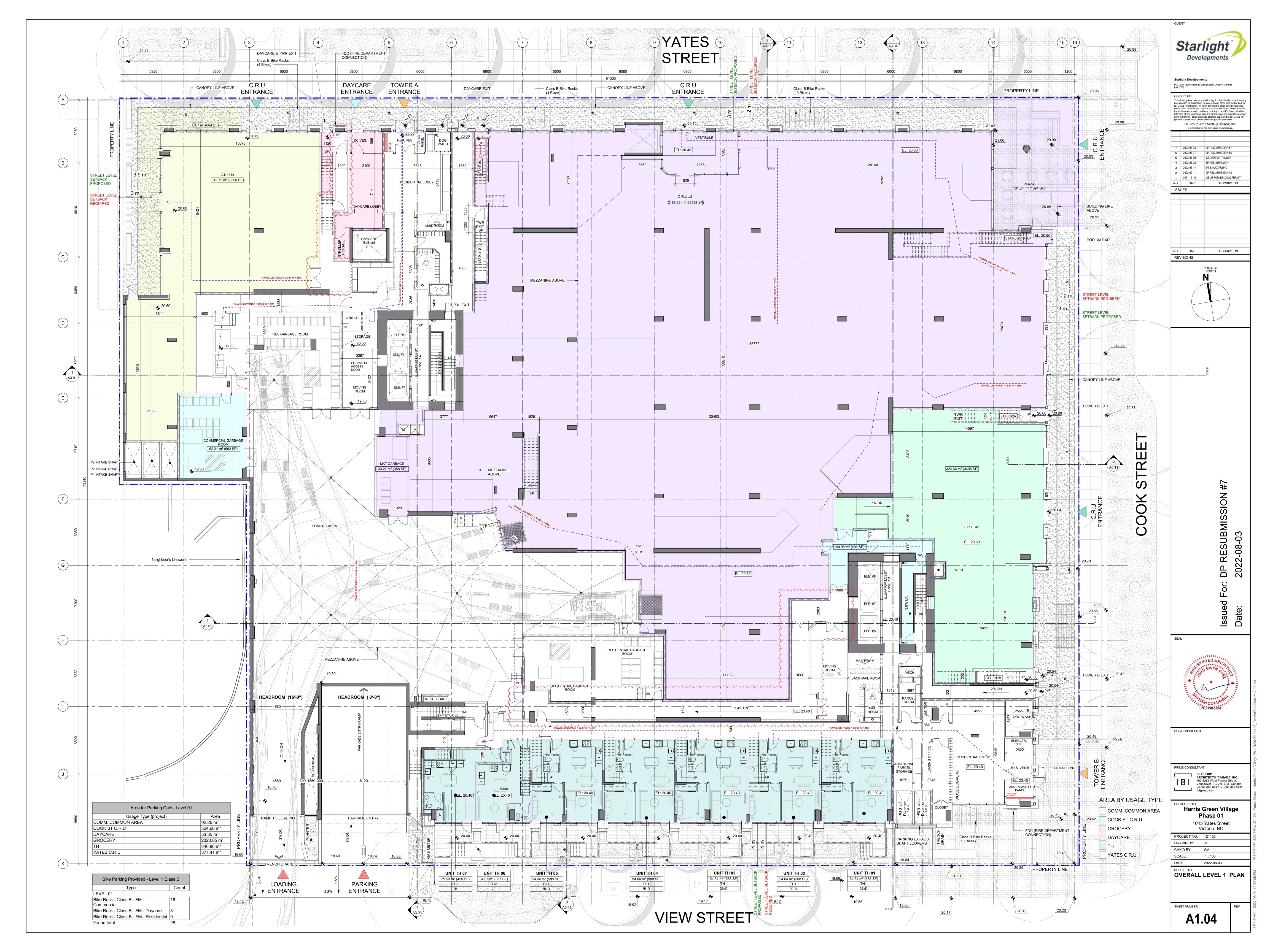
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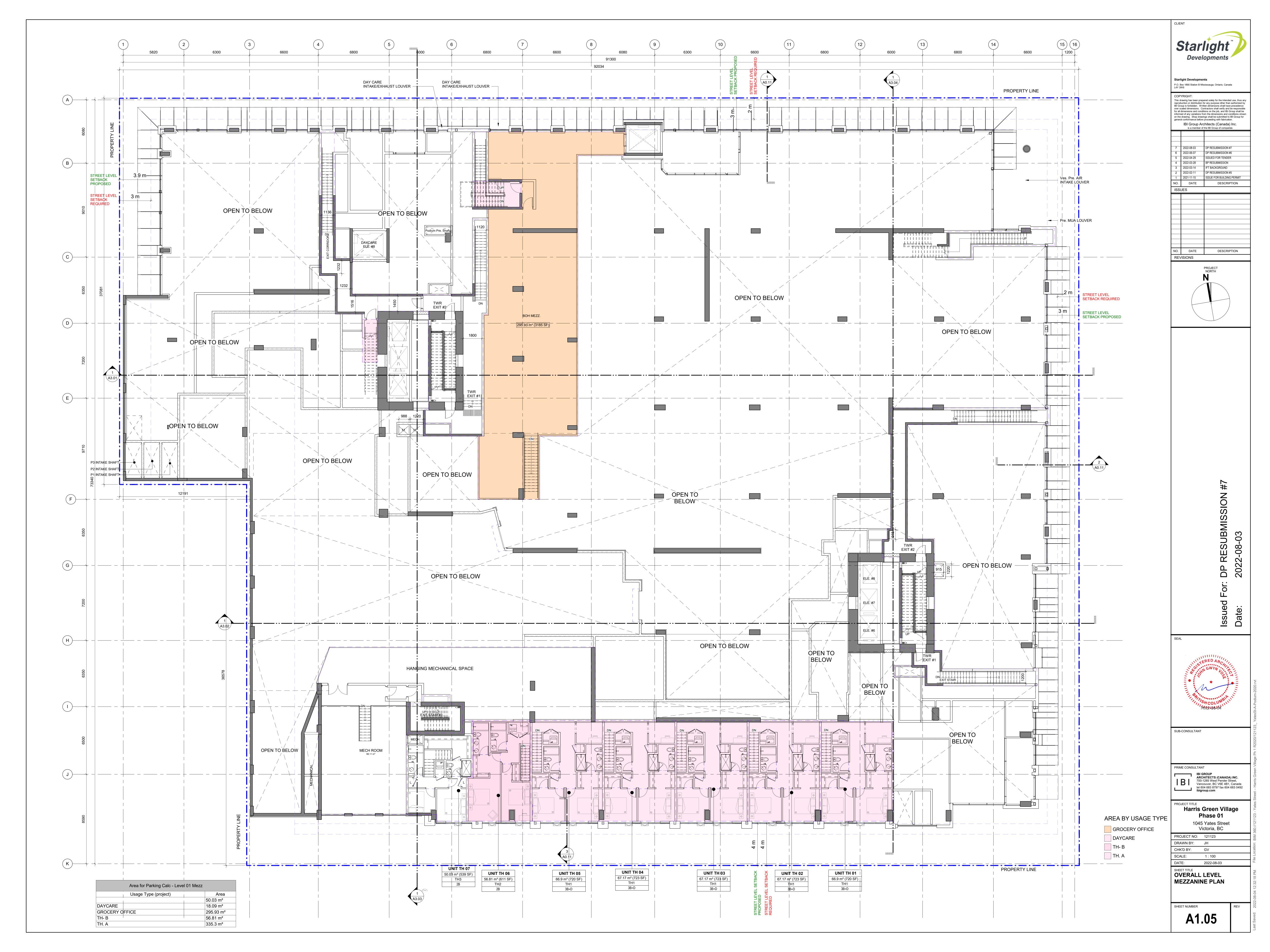
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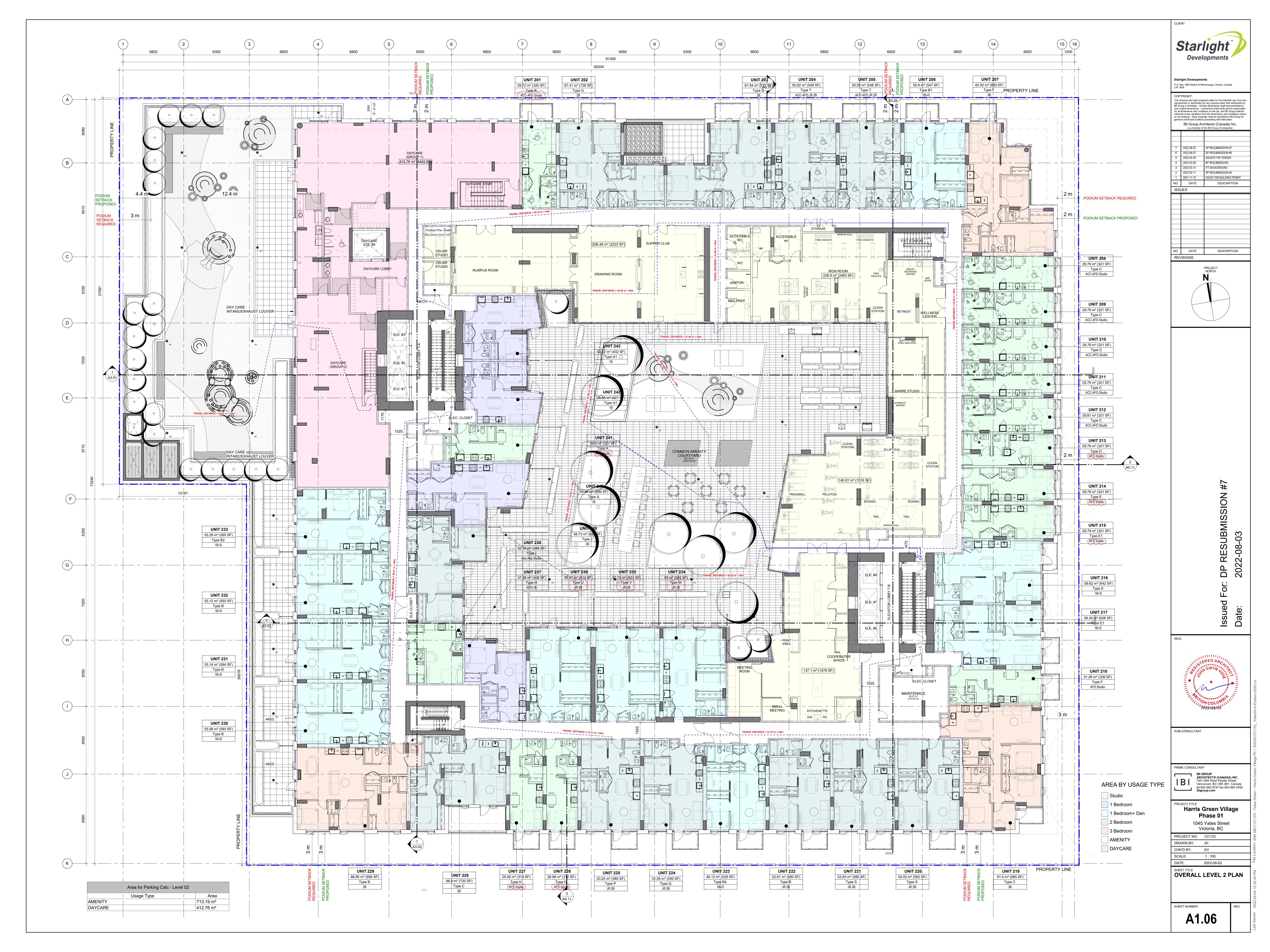




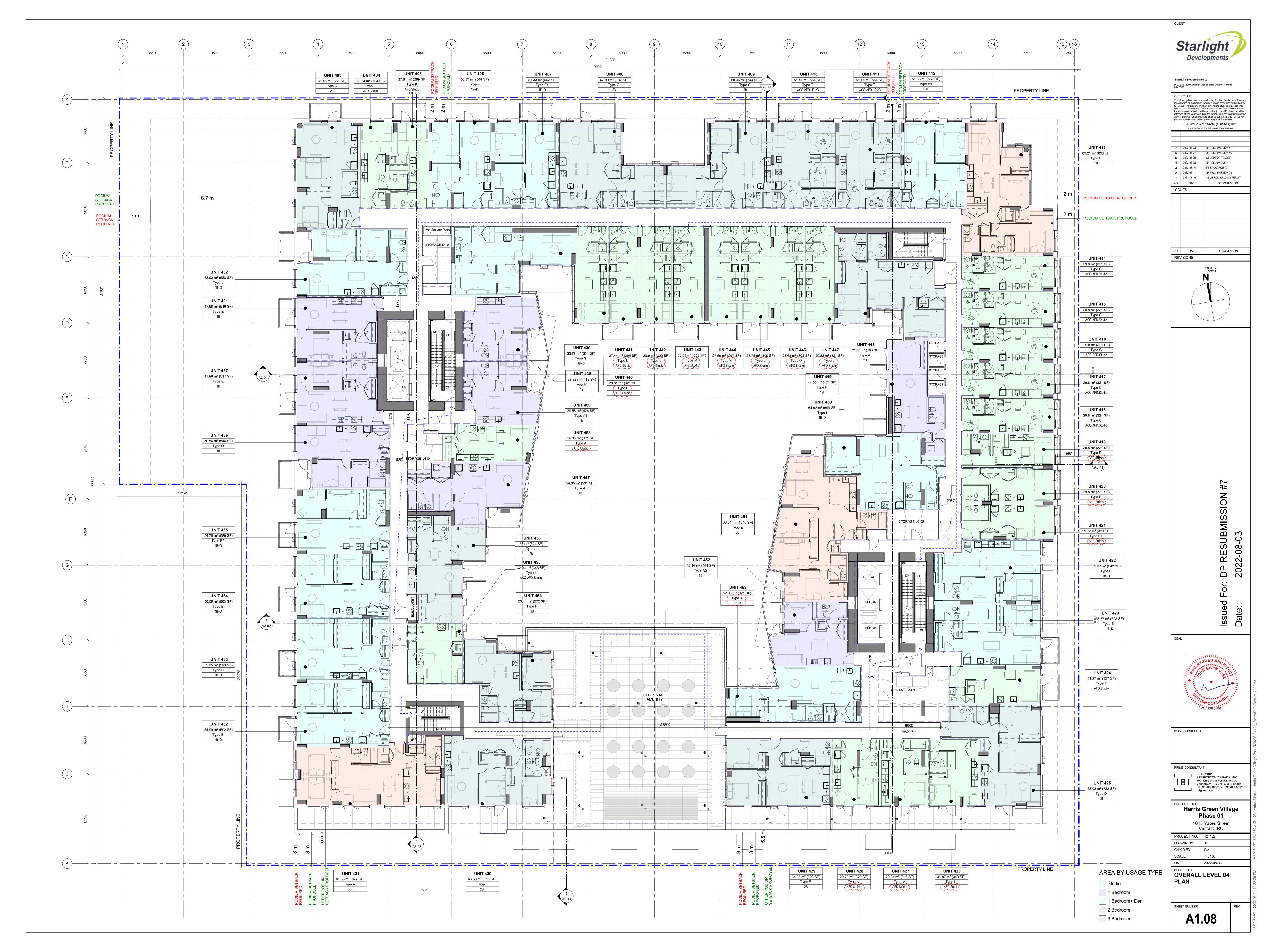


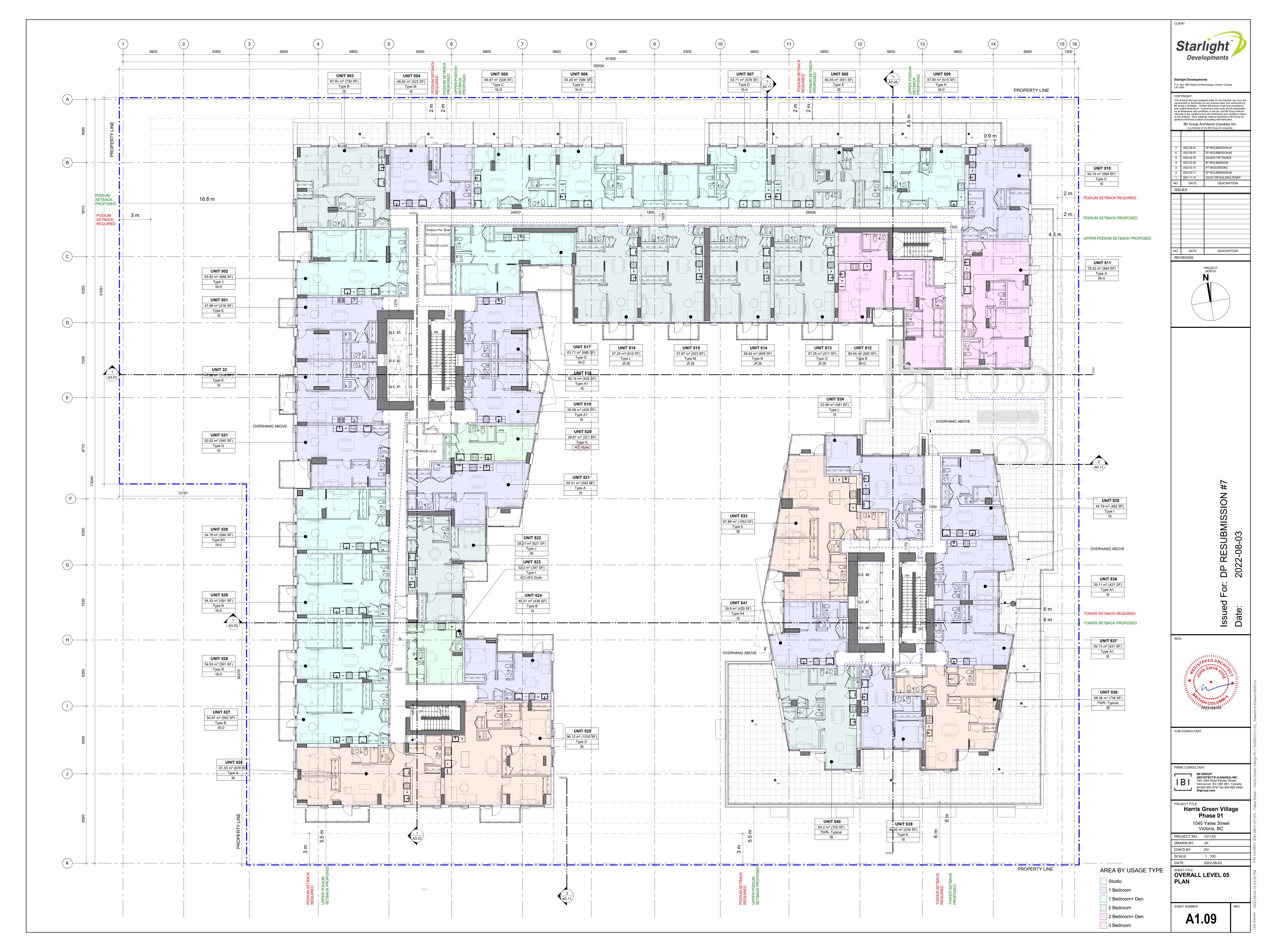


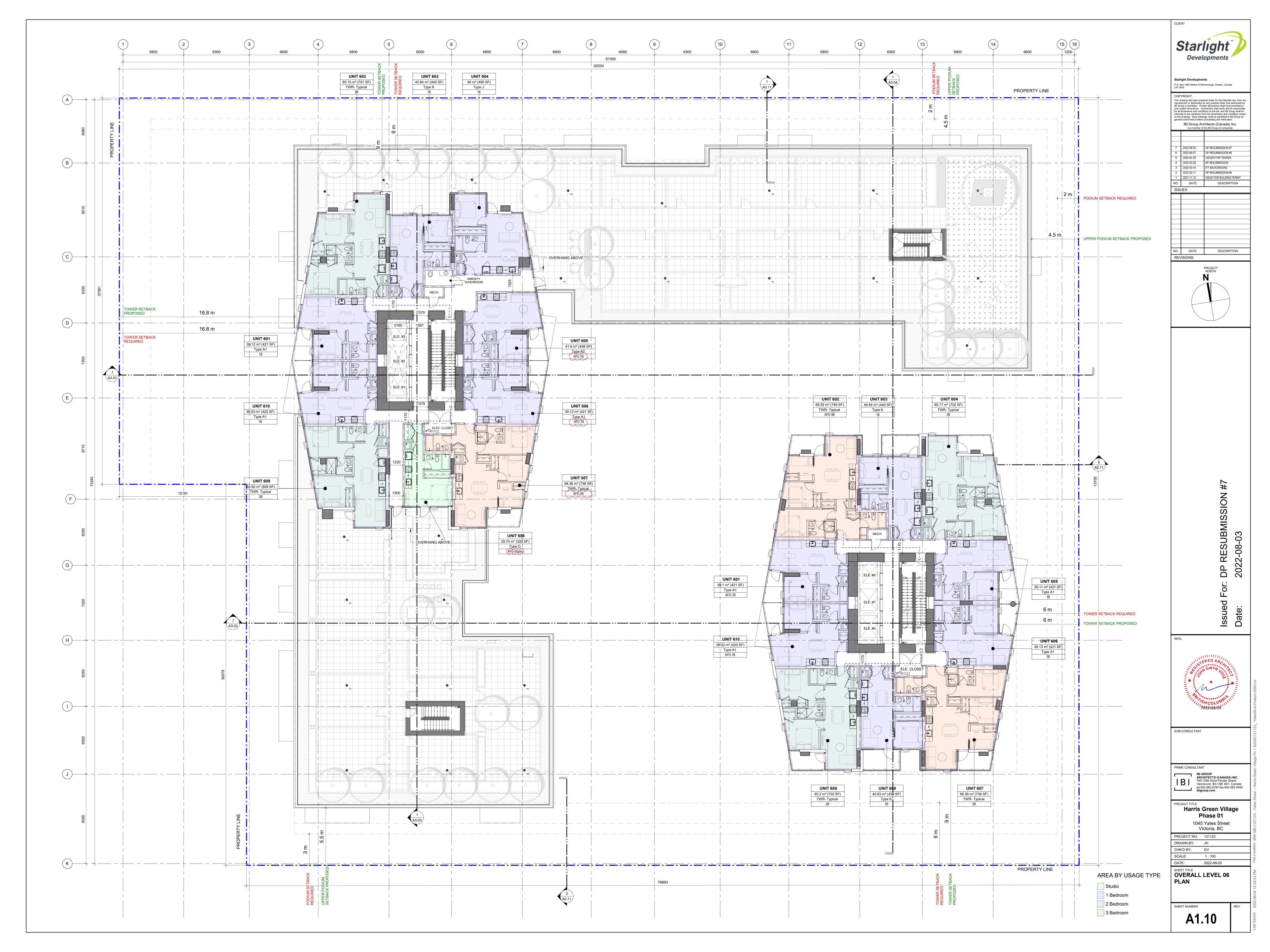


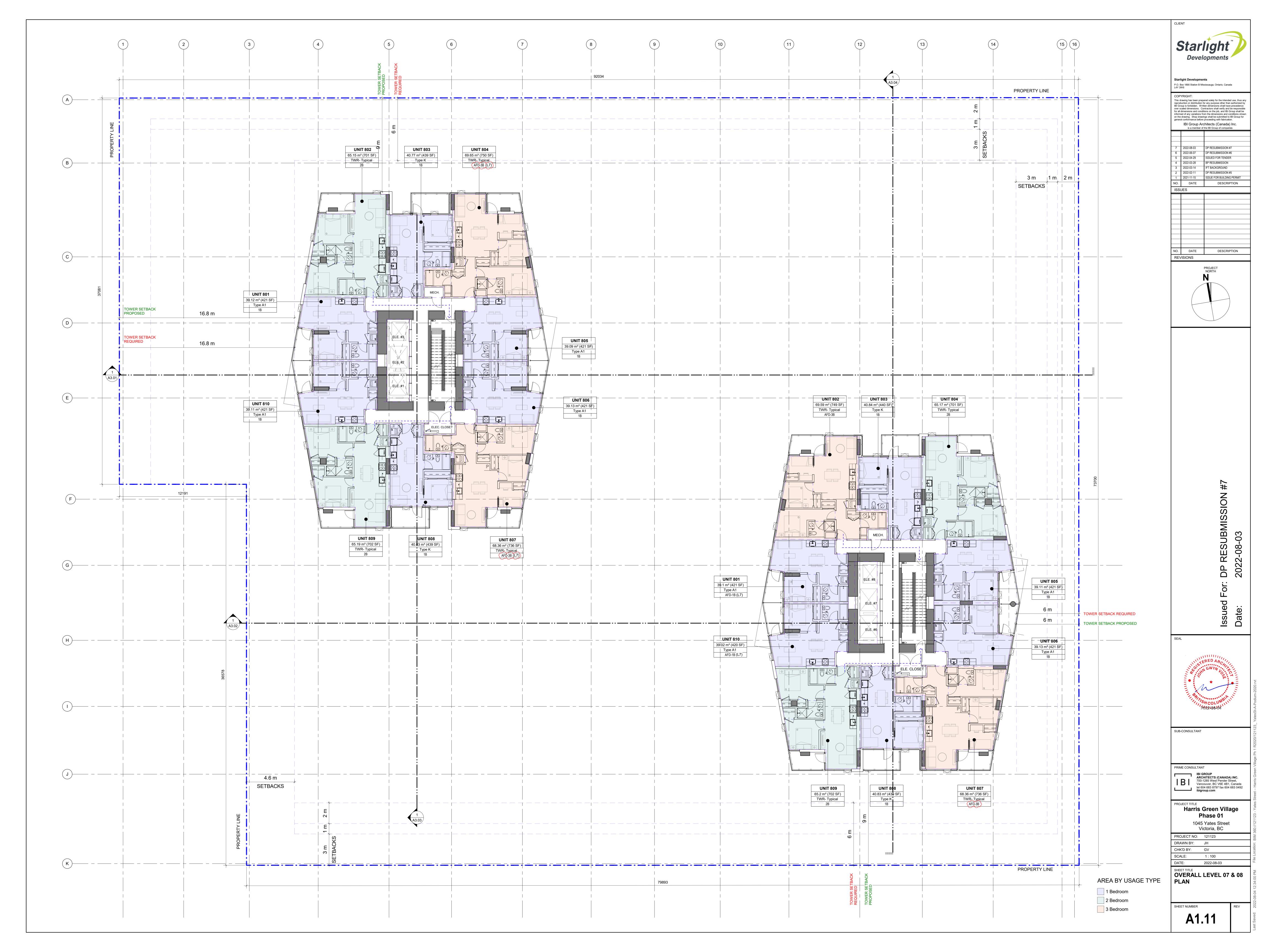


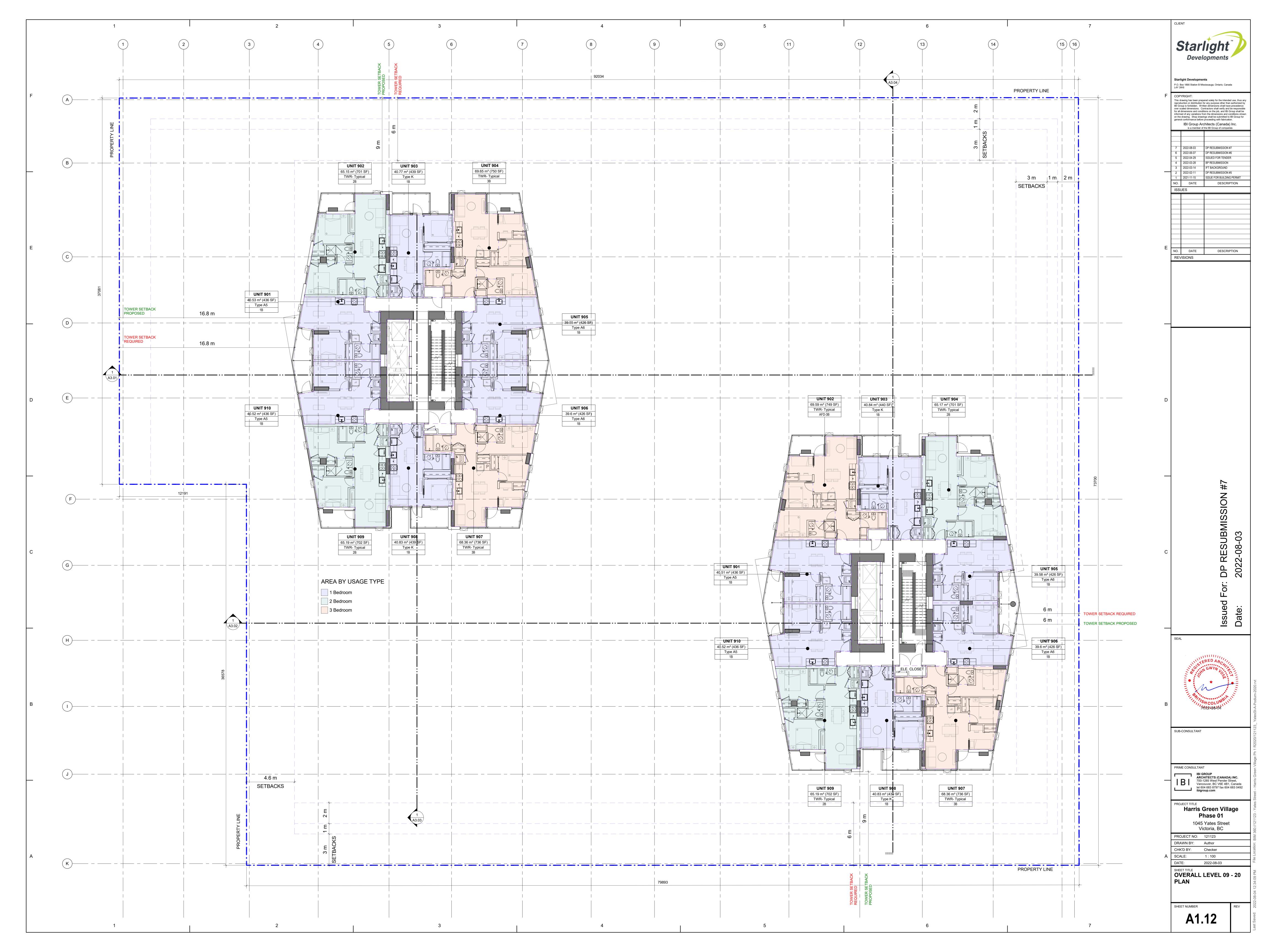


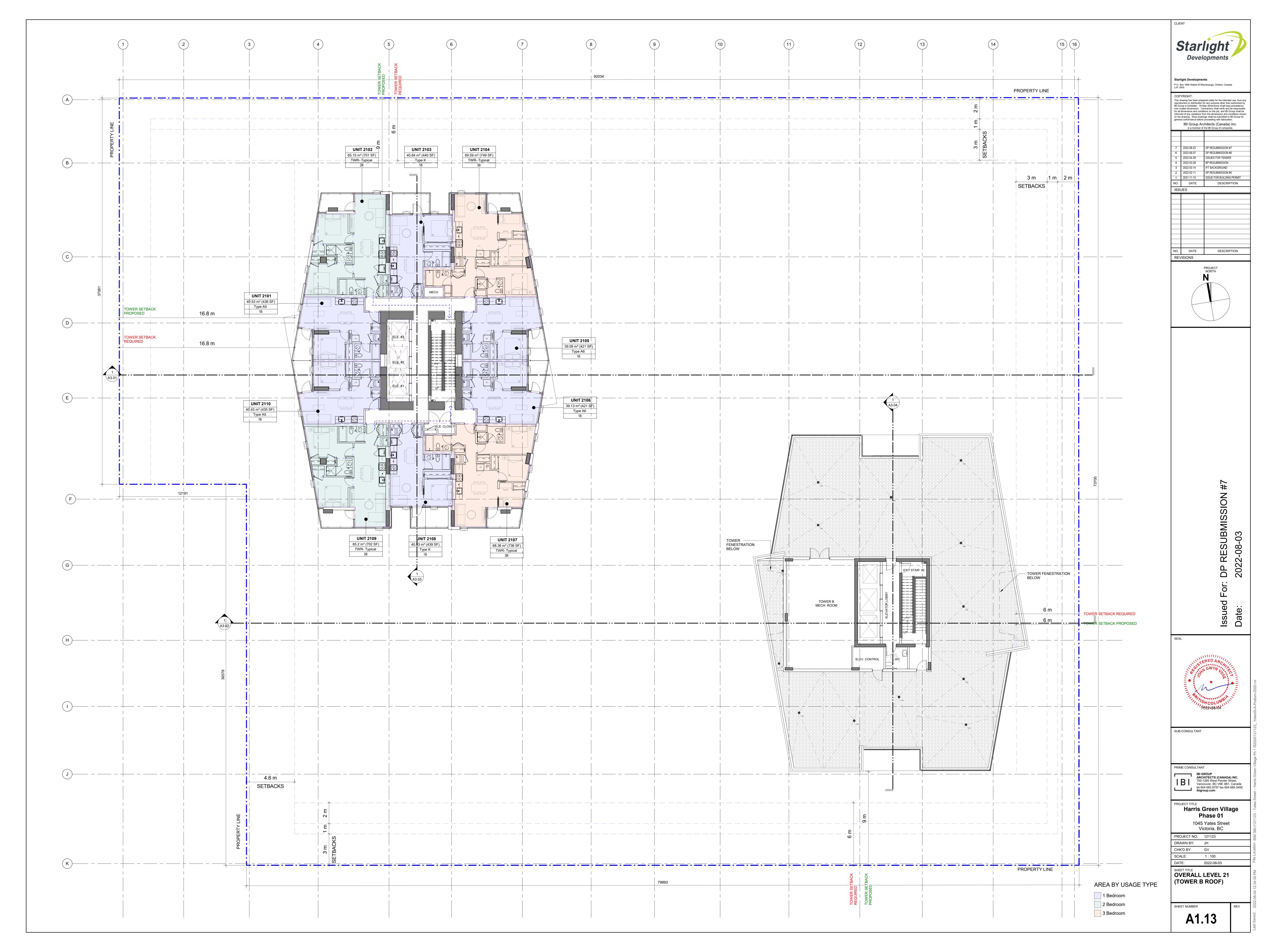


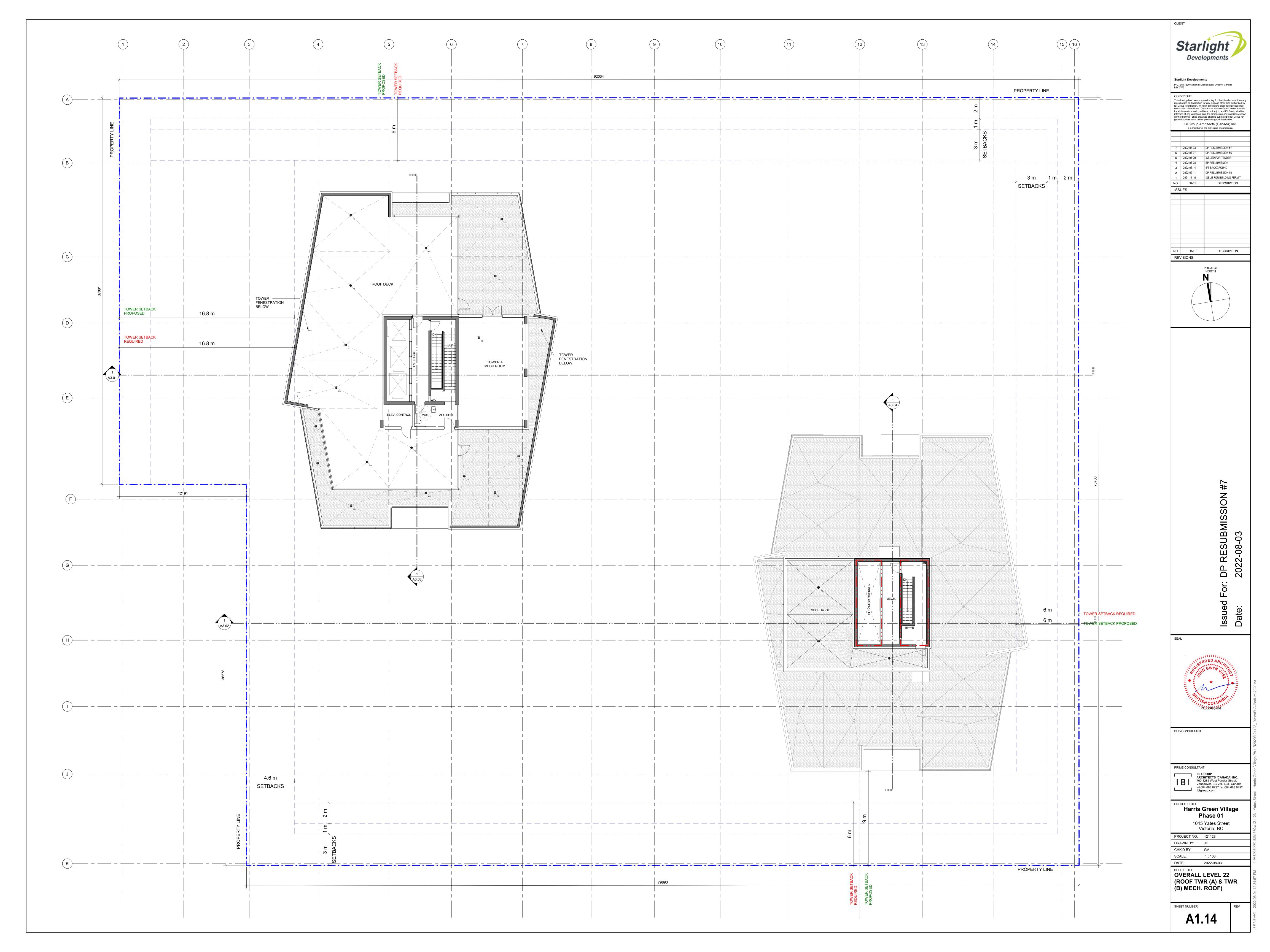


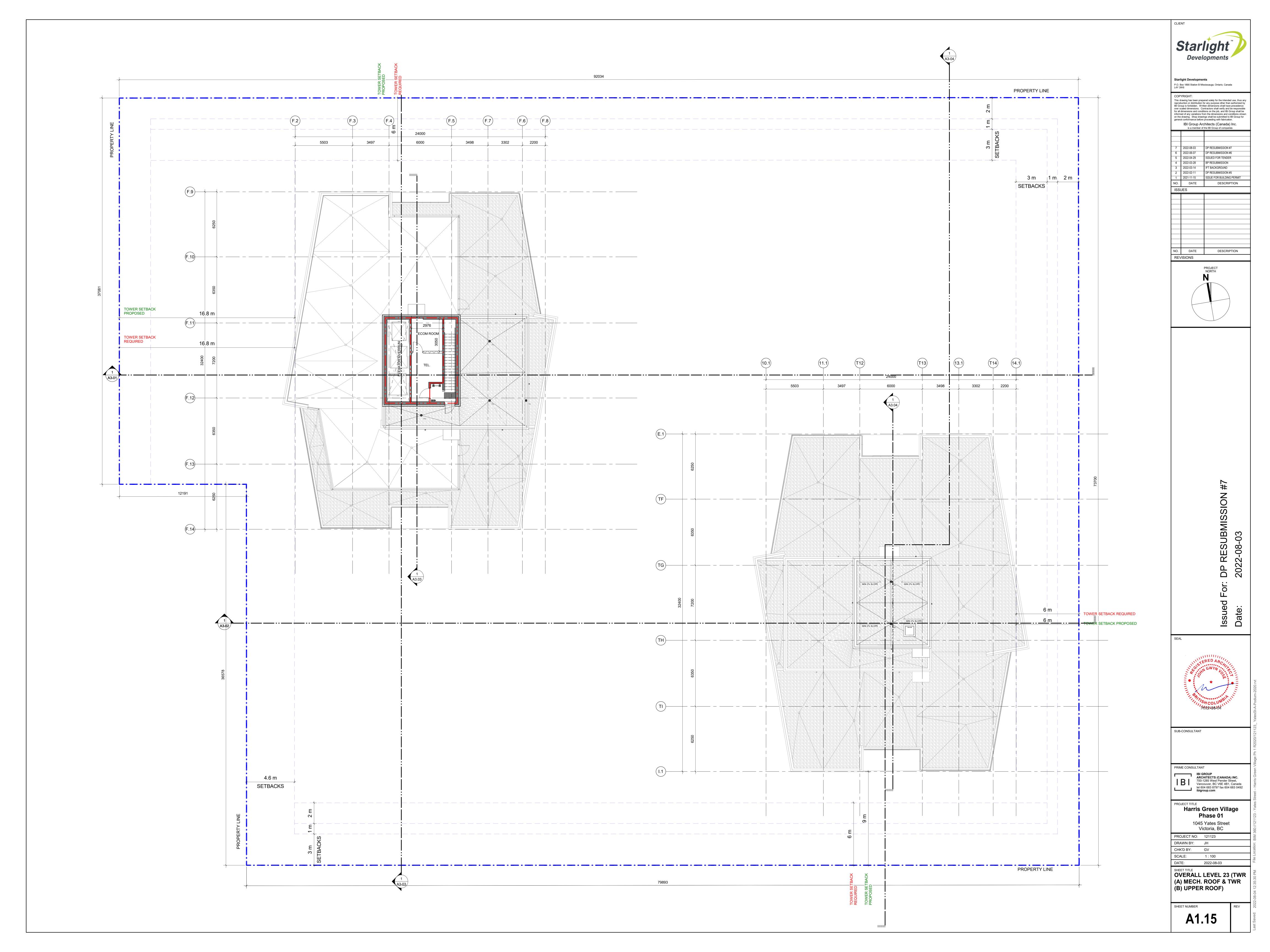


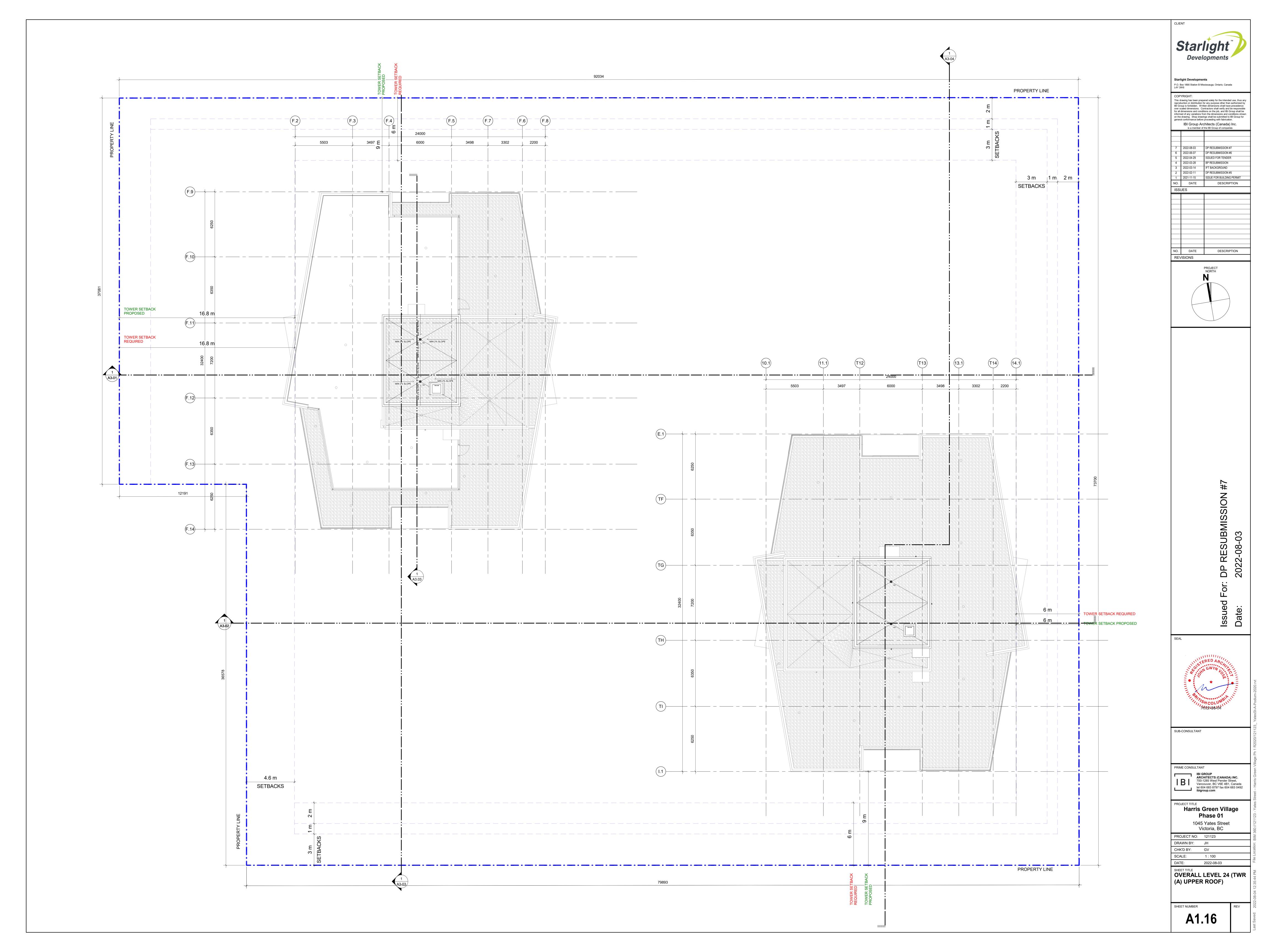












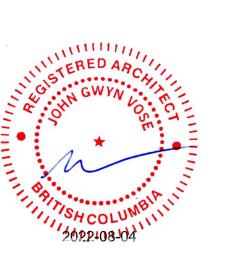


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Harris Green Village Phase 01 1045 Yates Street

Victoria, BC CHK'D BY: GV

COLOR NORTH ELEVATION

SHEET NUMBER



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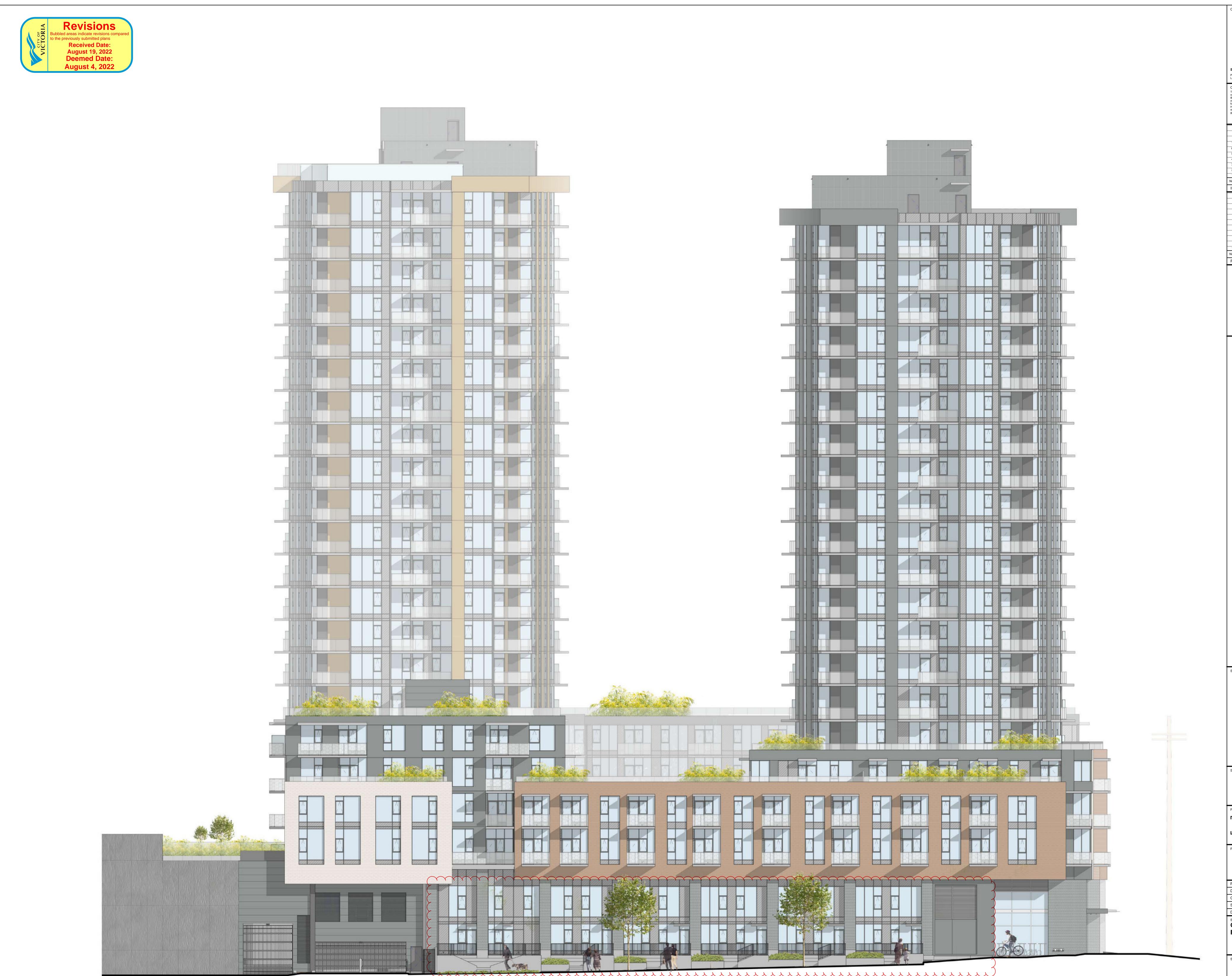
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COLOR EAST ELEVATION

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Harris Green Village
Phase 01

1045 Yates Street

Victoria, BC

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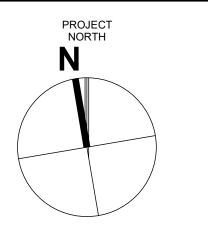


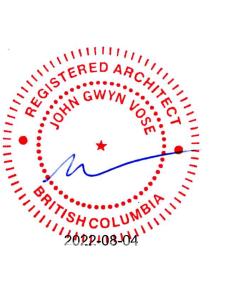
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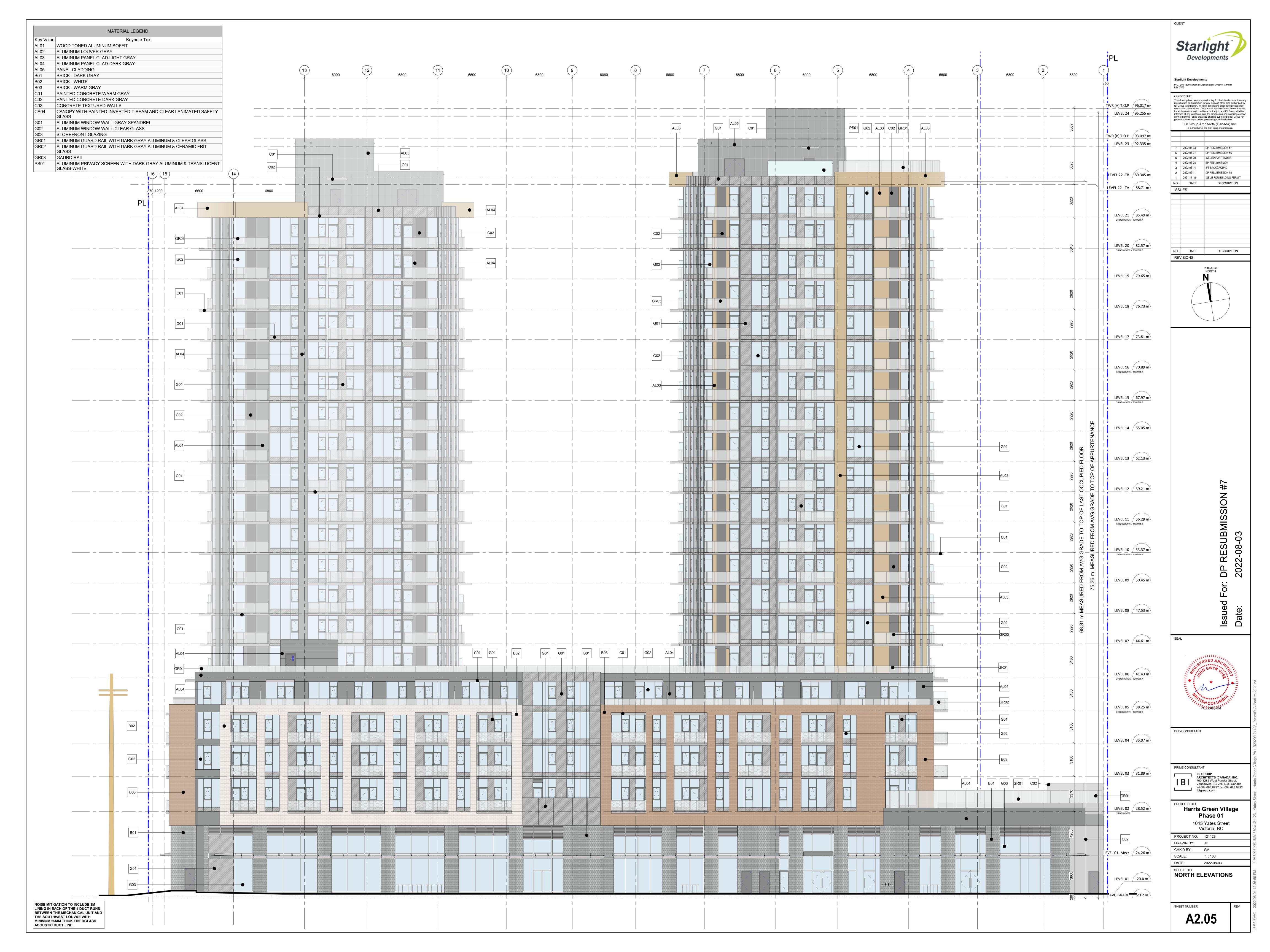
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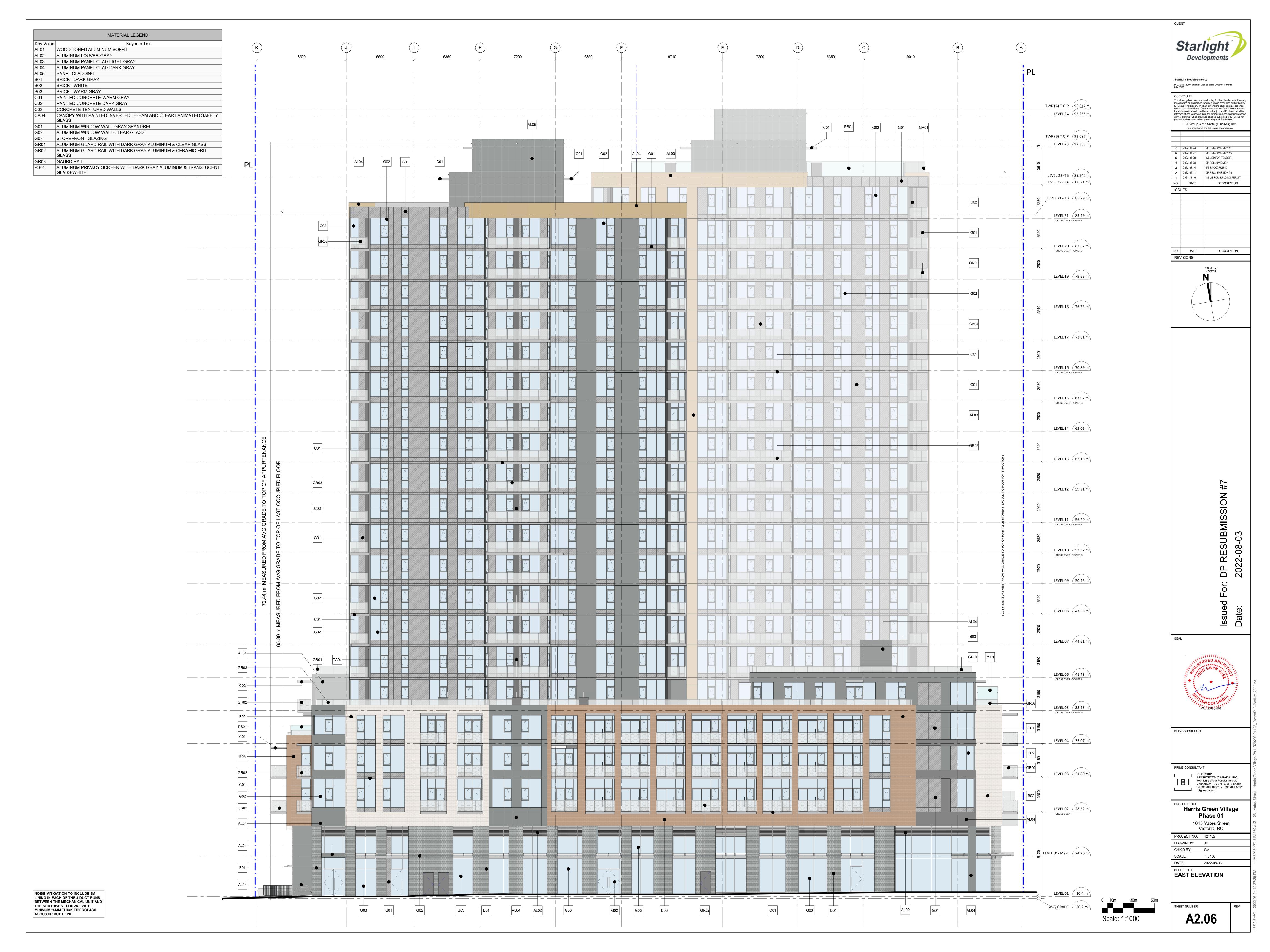
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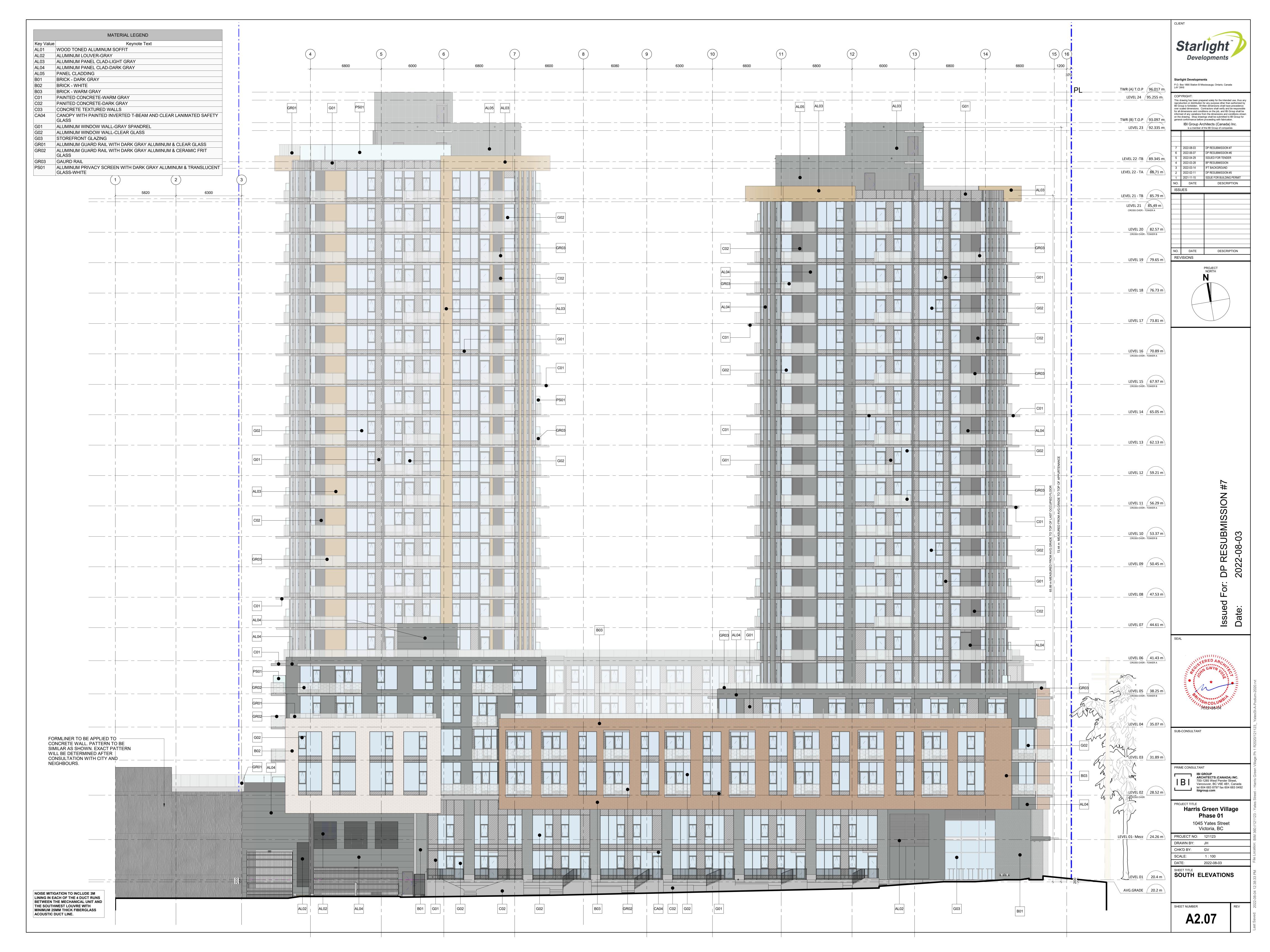
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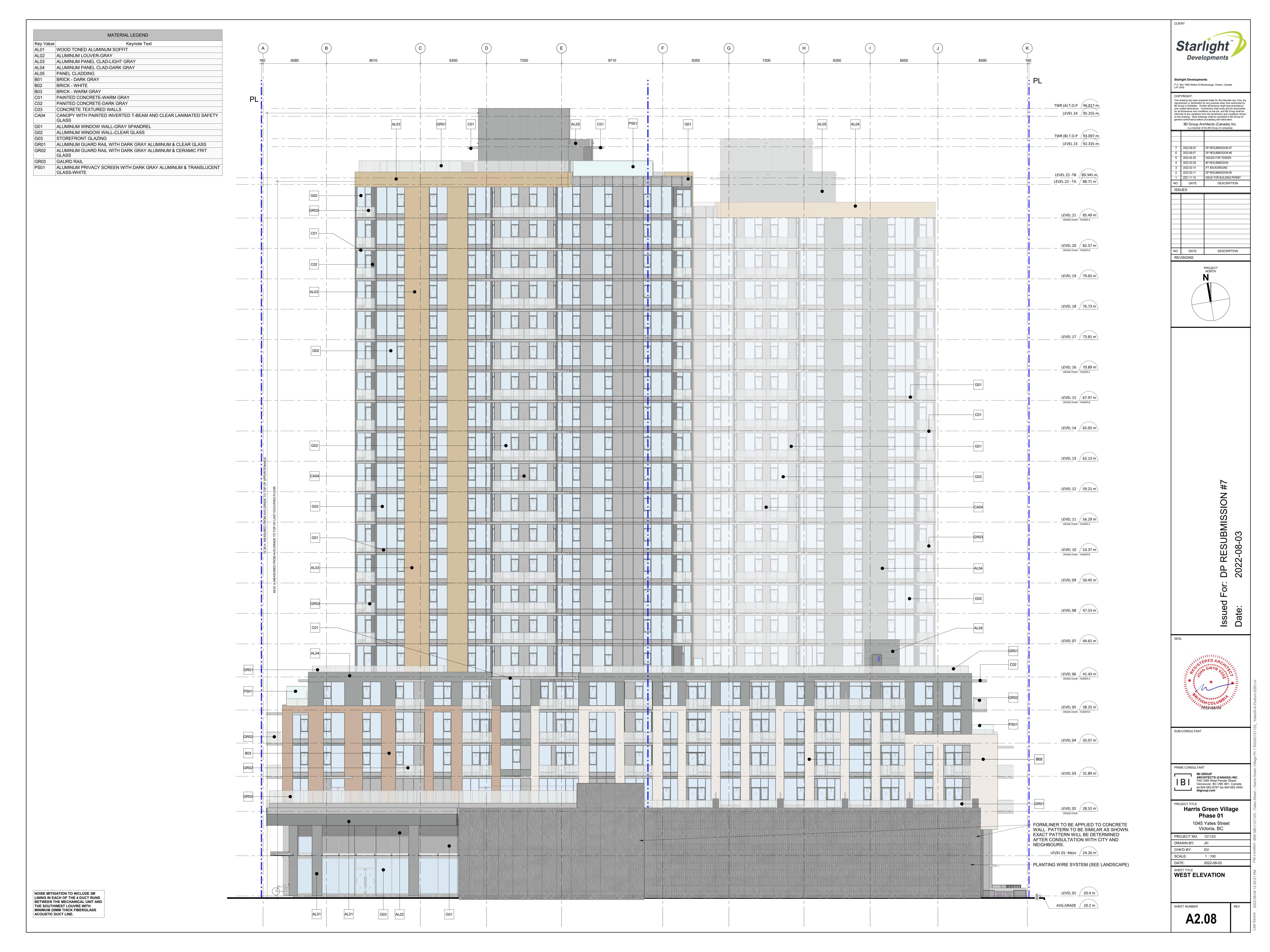
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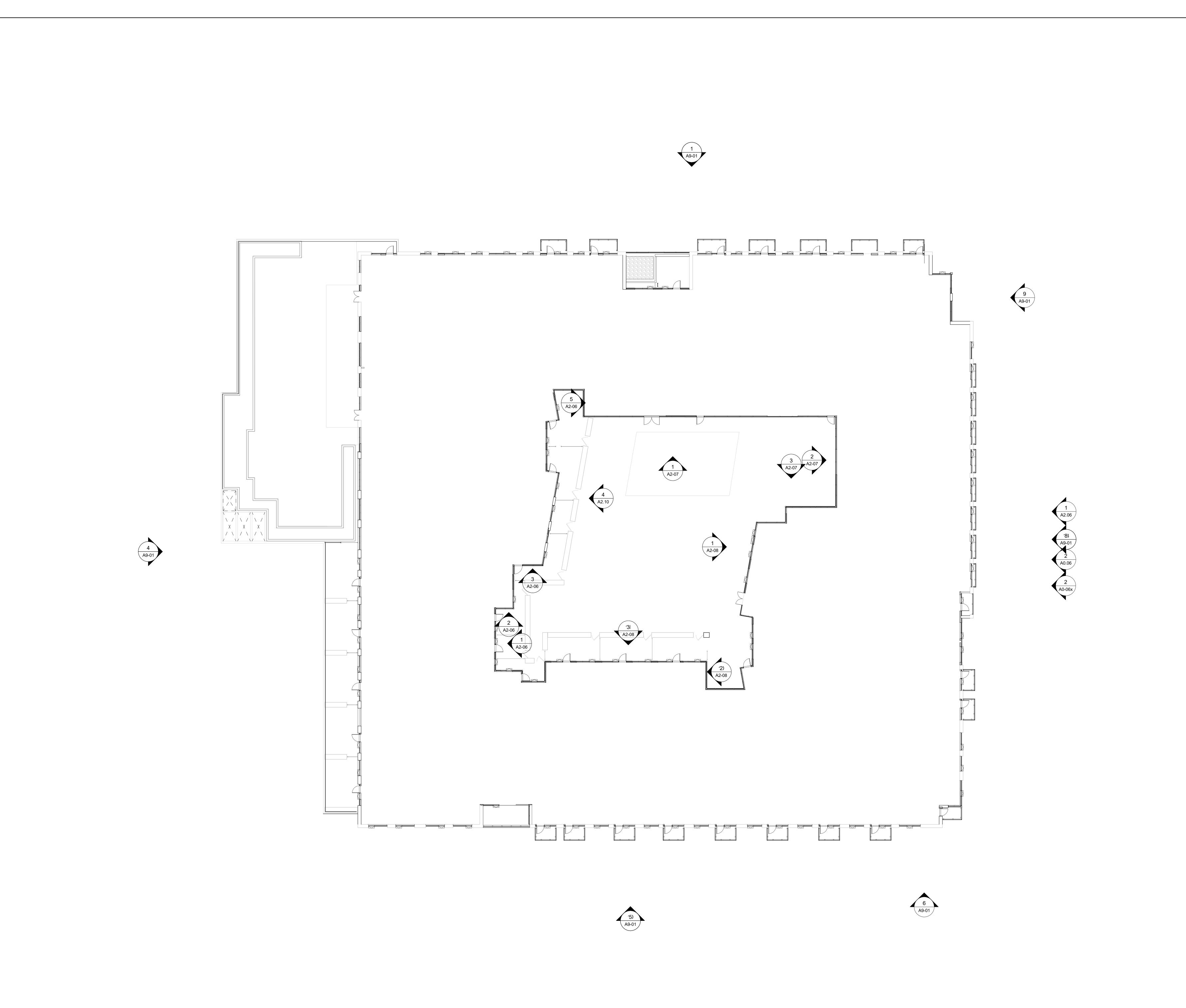
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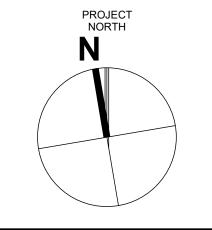
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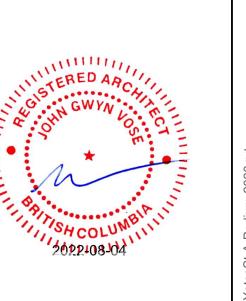
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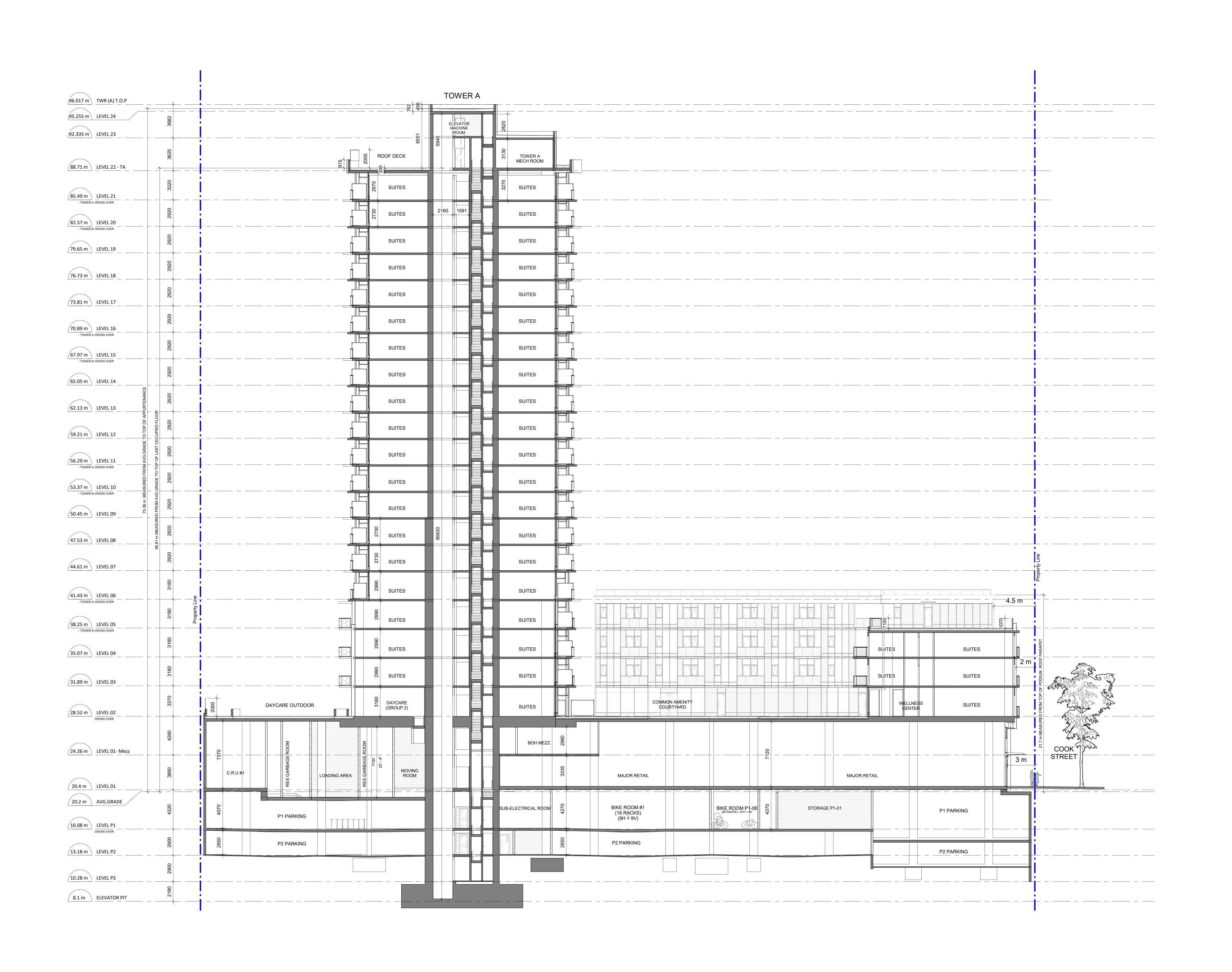
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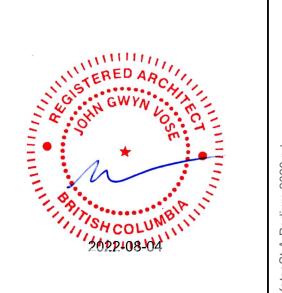
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Victoria, BC

PROJECT NO: 121123

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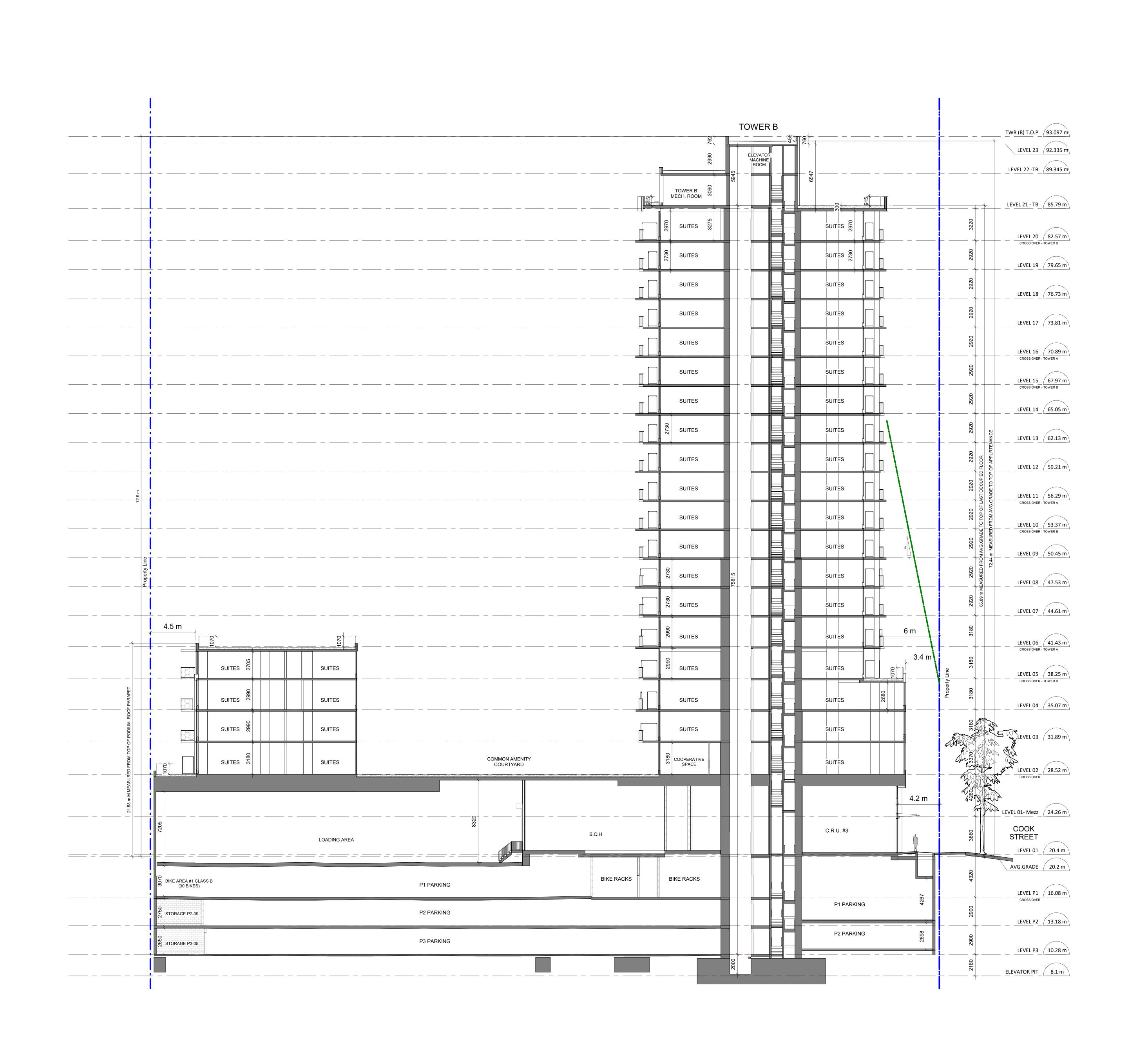
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SECTION A
Tower A & Podium

A3.01





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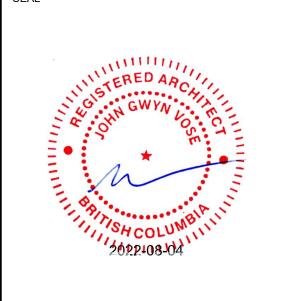
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PROJECT NO: 121123

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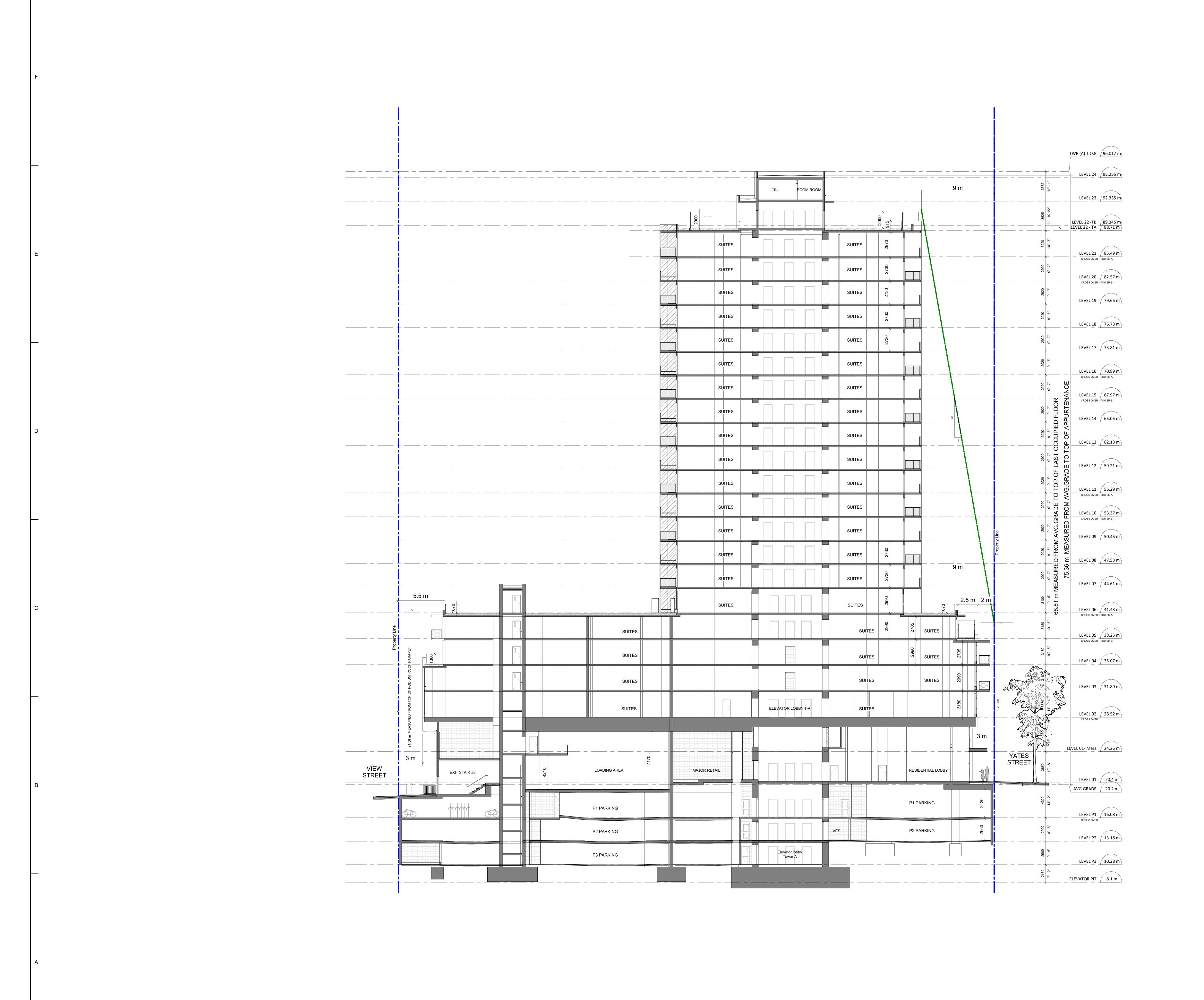
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SHEET TITLE

SECTION B
Tower B & Podium

A3.02





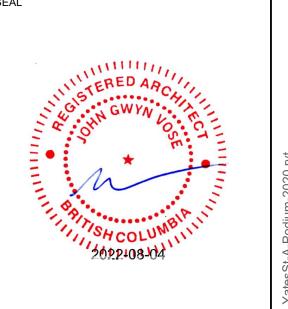
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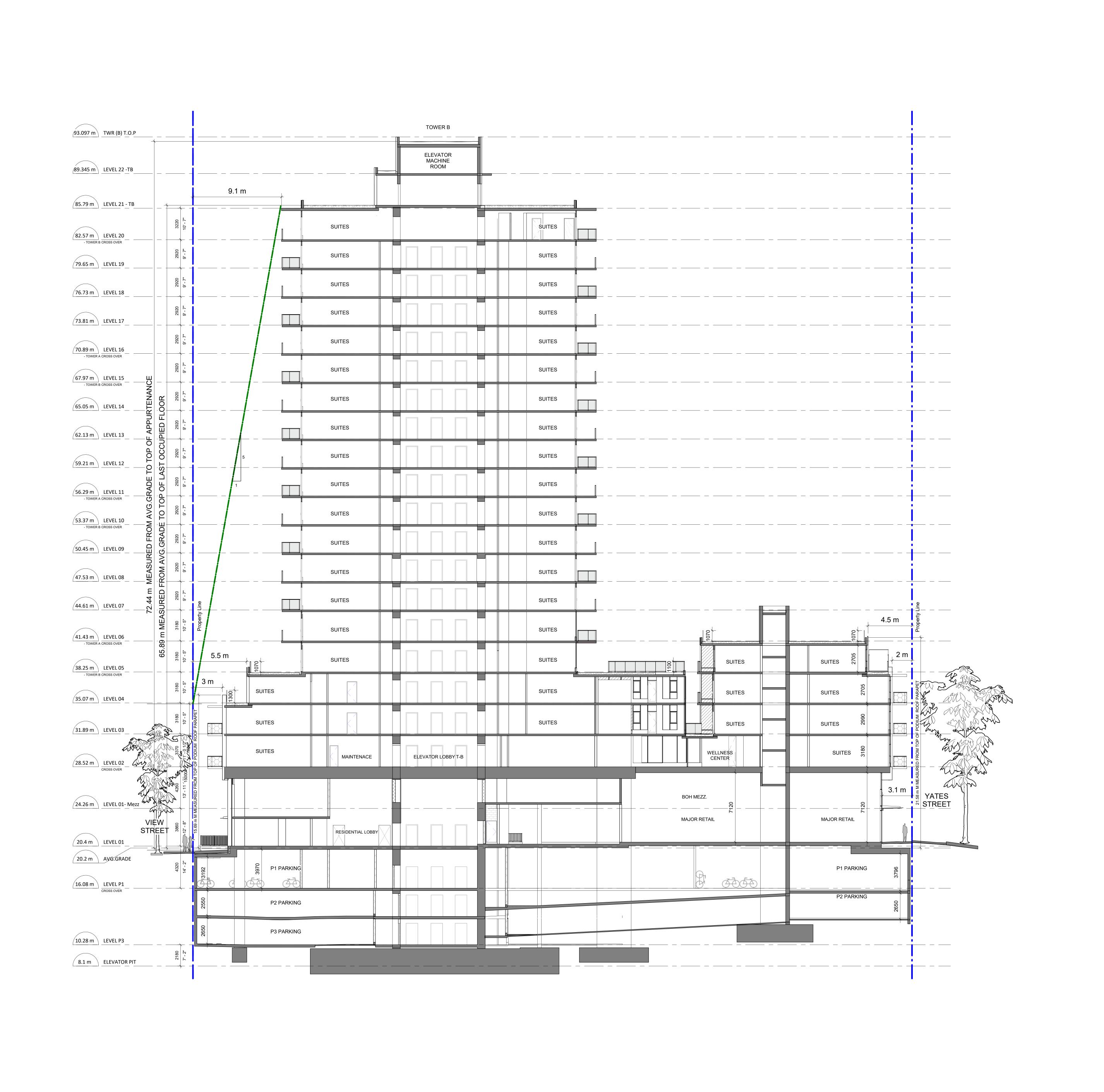
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> SECTION C

Tower A & Podium

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4 2022-03-28 BP RESUBMISSION
3 2022-03-14 IFT BACKGROUND
2 2022-02-11 DP RESUBMISSION #5
1 2021-11-15 ISSUE FOR BUILDING PERMIT
NO. DATE DESCRIPTION

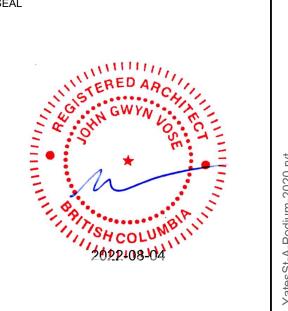
1 2021-11-15 ISSUE FOR BUILDING PERMIT

NO. DATE DESCRIPTION

ISSUES

E NO. DATE DESCRIPTION REVISIONS

led For: DP RESUBMISSION #7 e: 2022-08-03



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PROJECT TITLE

Harris Green Village

Phase 01

1045 Yates Street

Victoria, BC

PROJECT NO: 121123

DRAWN BY: JH

CHK'D BY: GV

A SCALE: 1:150

SHEET TITLE
SECTION D
Tower B & Podium

A3.04