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MECHANICAL	REINBOLD ENGINEERING GROUP 400, 1560 West Broadway, Vancouver, BC, V6J 5K8
ELECTRICAL	MULVEY AND BANANI 10055, 106 Street NW, Suite 450 Edmonton, Alberta, T5J 2Y2
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INTERIOR DESIGN	INSIGHT DESIGN GROUP 200 - 1737 West Third Avenue, Vancouver, BC, V6I 1K7
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CIVIL	HEROLD ENGINEERING LTD. Unit 880 - 1112 Fort St. Victoria, BC, V8V 3K8
GEOTECHNICAL	RYZUK 89-40 Cadillac Avenue, Victoria, BC, V8T 1T2
TRANSPORTATION	WATT CONSULTING GROUP 501-740 Hillside Avenue, Victoria, BC, V8T 1Z4



1045 Yates Street

Victoria, BC

DP Resubmission #7

2022/08/03

[illegible]

Issued For: DP RESUBMISSION #7
Date: 2022-08-03

Harris Green Village - Phase 1

Site & Project Description

Project Description:

2 Towers on Residential/Amenity/Commercial Podium

Civic Address: Lot A (DD 60683W) Of Lots 979 And 989. Plan 20163. And

Lot 1 Of Lots 986 And 987. Plan 26779. And

Lots 976, 977, 978, 980, 988. Victoria City.

City Plan: Downtown Core Area Plan

Residential floor S-1, R-48

Current Use: Automobile Dealership and Surface Parking

Adjacent Zoning: R3-C

Rezoned to: CD

SITE AREA CALCULATIONS

	Gross Site Area	
	Metric (m ²)	Imperial (sq.ft.)
1045 Yates Street	6,337.0	68,210.9
Dedications	-	-
Net Site Area (Gross Minus Dedications)	6,337.0	68,210.9
Site Area for calculation of Density (Gross)	6,337.0	68,210.9

SITE COVERAGE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,351	57,597.0
Site Coverage %		84%

OPEN SITE SPACE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	761	8,186.0
Open Site Space %		12%

HEIGHT OF BUILDING (MEASURED FROM AVERAGE GRADE)

Height Provided	Tower A (North)		Tower B (South)	
	metric (m)	imperial (ft)	metric (m)	imperial (ft)
NUMBER OF HABITABLE FLOORS (Excluding Mechanical & Roof Access)		21		20
NUMBER OF STOREYS (Including Mechanical & Roof Access)		23		22
HEIGHT OF BUILDING (m) TO TOP OF APPURTENANCE (Excluding Parapet)	75.20	246.72	72.03	236.32
TOP OF Podium Height	21.58	70.80	21.58	70.80
Average Grade	20.20	66.27	20.20	66.27

UNIT COUNT

Type	Rental		1 BR	1 BR+D	2 BR	2 BR+D	3 BR	TH (3BR)	TOTAL
	Studio								
	(340-400 sf)		(450-650 sf)		(700-800 sf)	(850-900 sf.)	(950-1050 sf)	(1100-1400 sf.)	
Tower A	1	96	-	-	32	-	31	-	160
Tower B	-	90	-	-	30	-	30	-	150
Podium	63	37	42		51	2	14	7	216
Total	64	223	42		113	2	75	7	526
By Type	64	265			115	75	7		526
Distribution	12.2%	50.4%			21.5%	0.4%	14.3%	1.3%	100%
Family Unts					197				
								37%	

PROPOSED FLOOR AREA (FSR)

	Provided FSR	Gross Floor Area		Exclusions (see A0.02)		Total Floor Area	
		Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)
Tower A	1.55	10,611.1	114,217.4	793.1	8,536.4	9,818.1	105,680.9
Tower B	1.45	9,967.1	107,285.0	752.6	8,100.9	9,214.5	99,184.1
Podium	3.18	21,083.2	226,937.8	940.6	10,124.5	20,142.6	216,813.2
Total	6.18	41,661.5	448,440.1	2,486.3	26,761.9	39,175.2	421,678.2

FLOOR AREA BREAKDOWN

Residential		Loading / Garbage Rooms		Residential Amenity		Commercial		Daycare		Total	
Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)	Metric (m ²)	Imperial (sq.ft.)
33,786.9	363,679.5	976.4	10,509.5	713.2	7,676.7	3,214.8	34,603.8	483.9	5,208.8	39,175.2	421,678.2

BUILDING SETBACKS

Property Line	Required (m)			Proposed (m)		
	Street Level	Residential Podium	Tower	Street Level	Residential Podium	Tower
Front yard (Yates Street)	3.0	2.0	6.0	3.0	4.5	9.0
Rear yard (View Street)	4.0	3.0	6.0	4.0	5.5	9.0
East Side yard (Cook Street)	3.0	2.0	6.0	3.0	4.5	6.0
West Side Yard (North)	3.0	3.0	16.8	3.9	3.0	16.8
West Side Yard (South)	-	4.6	4.6	-	4.6	7.0

FLOOR PLATE SIZES

	Metric (m ²)	Imperial (sq.ft.)
Max. Permitted Floor Plate Size	650.3	7,000
Provided Floor Plate size	648.4	6,979

PROJECT INFORMATION TABLE

Zone (existing)	S-1
Proposed zone	CD
Proposed uses	Residential/Commercial/Childcare
Site area (m ²)	6337.0
Total floor area (m ²)	39175.19
Commercial floor area (m ²)	3214.8
Childcare floor area (m ²)	483.91
Loading / Garbage Rooms (m2)	976.36
Residential floor area (m ²) (including amenities)	34500.12
Floor space ratio	6.18
Site coverage %	84%
Open site space %	12%
Height of building (m)	75.36 and 72.44
Number of storeys	22 and 23
Parking stalls (number) on site	359
Commercial , Childcare and Visitor	86
Residential	273
Bicycle parking number (storage and rack)	617 Long Term & 75 Short Term
Building Setbacks (m)	
Yates street	2.0
Cook street	2.0
View street	3.0
Side yard (west side south)	0.0
Side yard (west side north)	3.9
Residential Use Detail	
Total number of units	526
Studio	64
1 Bedroom	223
1 Bedroom+Den	42
2 Bedroom	113
2 Bedroom+Den	2
3 Bedroom	75
Ground-orientated Townhomes	7

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Starlight Developments
P.O. Box 3903 Station B Vancouver, British Columbia, Canada
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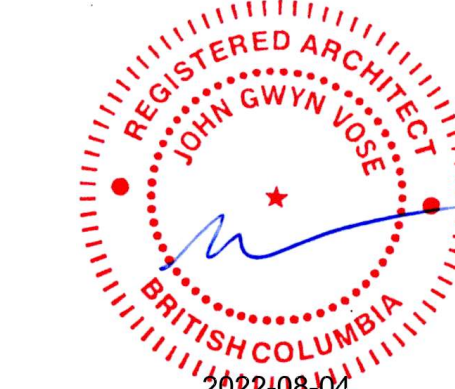
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6	2022-06-07	DP RESUBMISSION #6
5	2022-04-29	ISSUED FOR TENDER
4	2022-03-28	DP RESUBMISSION #4
3	2022-03-14	IFT BACKGROUND
2	2022-02-11	DP RESUBMISSION #2
1	2021-11-19	ISSUE FOR RESUBMISSION
NO.	DATE	DESCRIPTION
ISSUES		

NO.	DATE	DESCRIPTION
REVISIONS		

Issued For: DP RESUBMISSION #7
Date: 2022-08-03

REAL



SUB-CONSULTANT

PRIME CONSULTANT



PROJECT TITLE
**Harris Green Village
Phase 01**
1045 Yates Street
Victoria, BC

PROJECT NO: 121123
DRAWN BY: JH
CHKD BY: GV
SCALE: 1 : 1
DATE: 2022-08-03

SHEET TITLE
**PROJECT GENERAL
STATISTICS**

SHEET NUMBER

A0.01

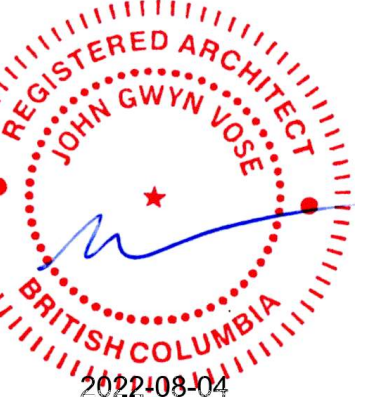
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2022-03-28	BP RESUBMISSION
2022-03-14	IFT BACKGROUND
2022-02-11	DP RESUBMISSION #5
2021-11-15	ISSUE FOR BUILDING PERMIT

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VISIONS

Date: 2022-08-03

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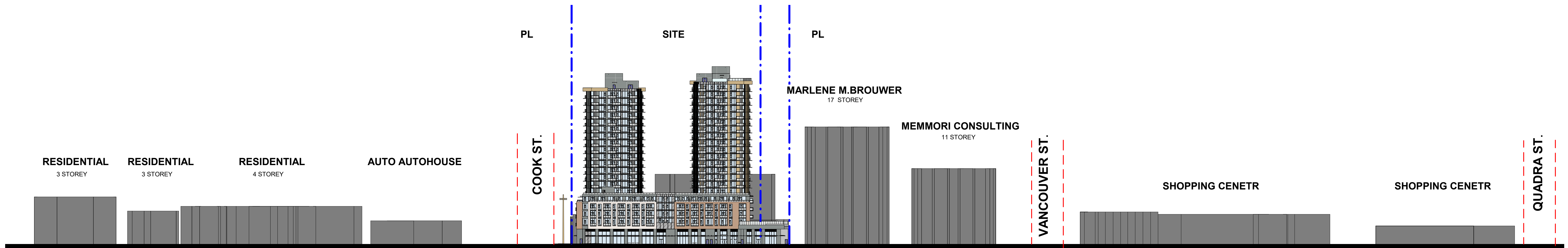
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ARCHITECTS (CANADA) INC.
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

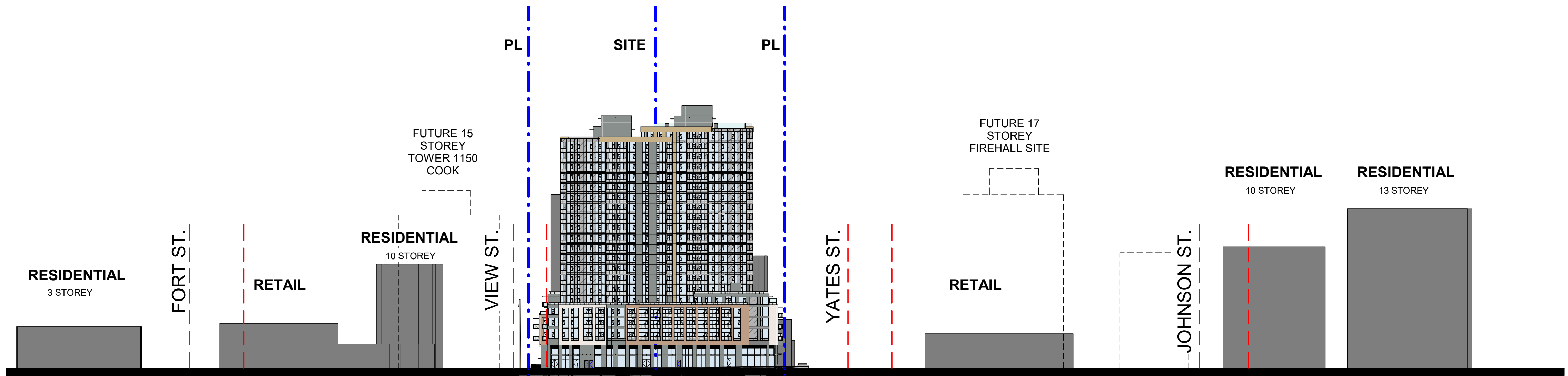
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DRAWN BY:	JH
CHECKED BY:	GV
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DATE:	2022-08-03

STREET TITLE
STREET SCAPES
ELEVATION

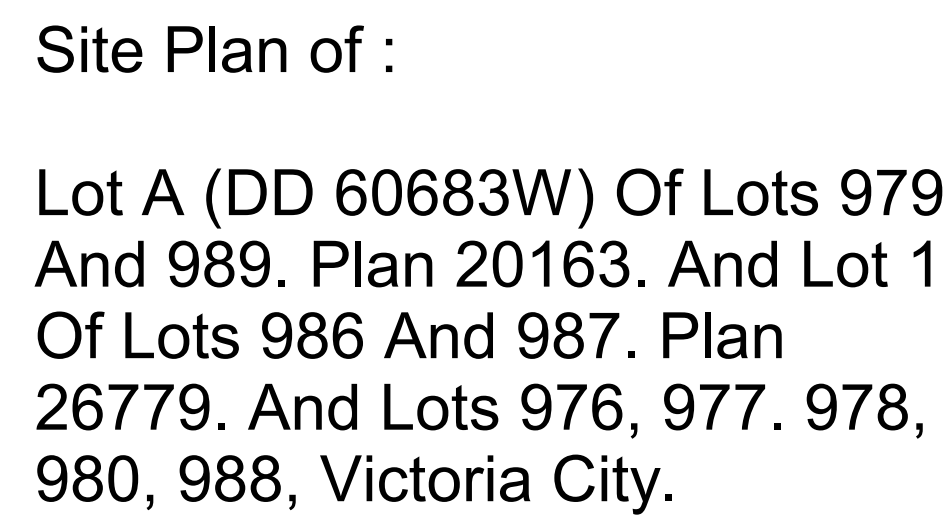
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A0.06	



1 STREET SCAPE ELEVATION FROM YATES STREET
A0.06 SCALE: 1 : 750



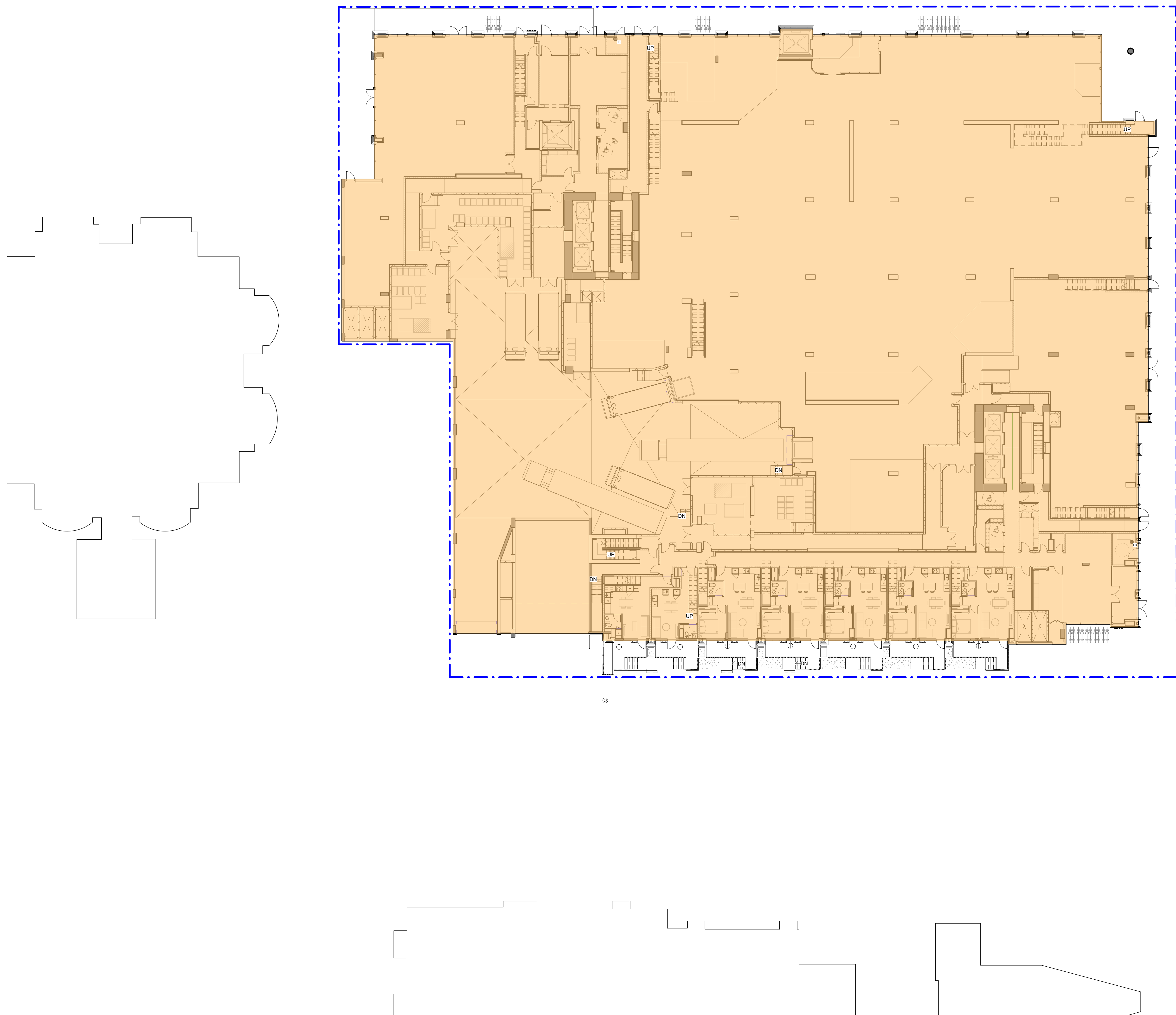
2 STREET SCAPE ELEVATION FROM COOK STREET
A0.06 SCALE: 1 : 750



BUILDING SETBACKS						
Property Line	Required (m)			Proposed (m)		
	Street Level	Residential Podium	Tower	Street Level	Residential Podium	Tower
Front yard (Yates Street)	3.0	2.0	6.0	3.0	4.5	9.0
Rear yard (View Street)	4.0	3.0	6.0	4.0	5.5	9.0
East Side yard (Cook Street)	3.0	2.0	6.0	3.0	4.5	6.0
West Side Yard (North)	3.0	3.0	16.8	3.9	3.0	16.8
West Side Yard (South)	-	4.5	4.6	-	4.6	7.0

SITE COVERAGE CALCULATIONS

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Building Footprint (podium)	5,351	57,597.0
Site Coverage %		84%



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2022-03-14	IFT BACKGROUND
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2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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DATE	DESCRIPTION
DIVISIONS	

Date: 2022-08-03

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PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH

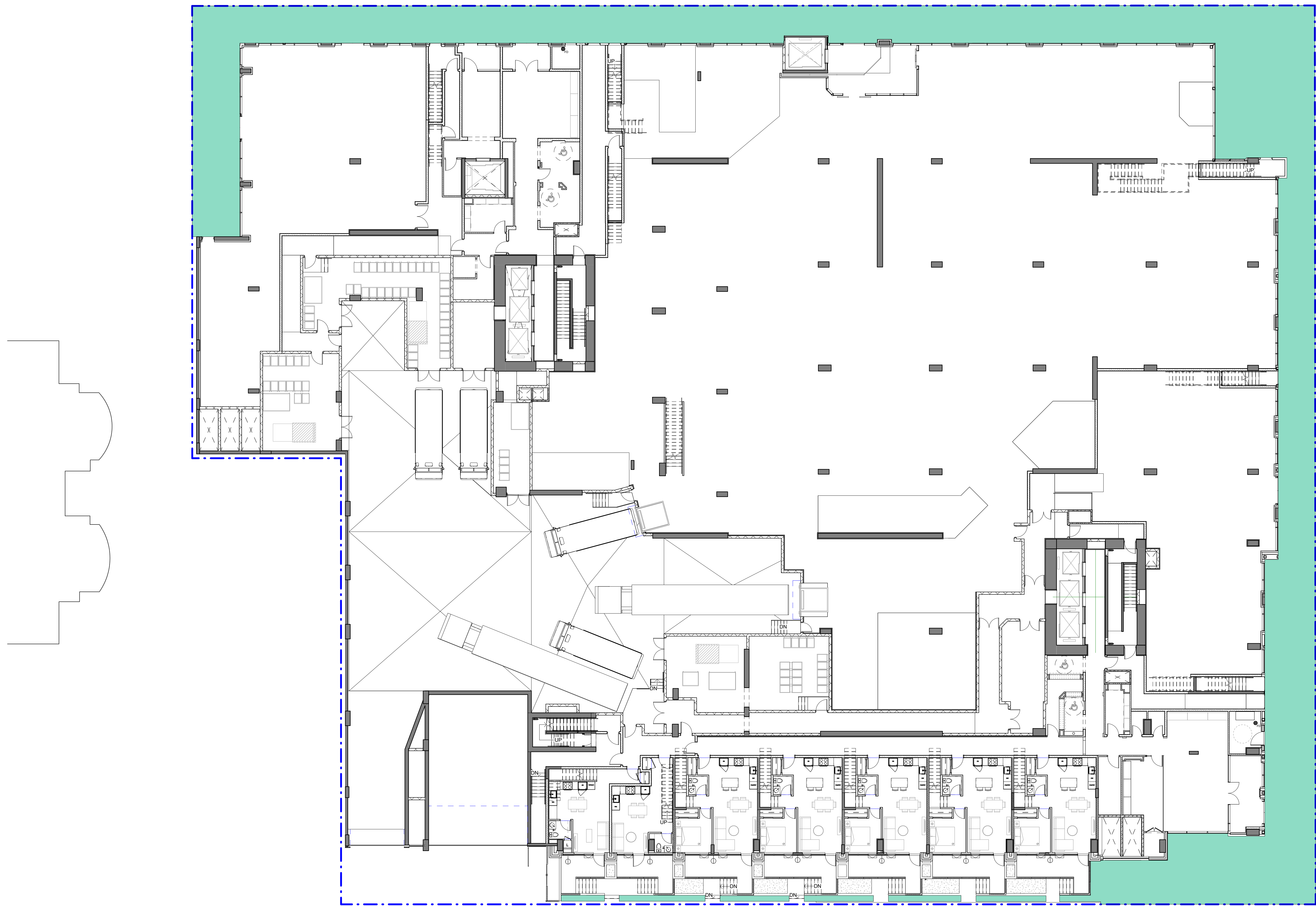
REVISED BY:	GV
SCALE:	1 : 200
DATE:	2022-08-03

TECHNICAL COVERAGE DIAGRAM

SHEET NUMBER A0.08	REV
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	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	721	7,752.7
Open Site Space %		11%

	Metric (m2)	Imperial (sq.ft.)
Gross Site Area	6,337	68,210.9
Open Site Space Area	721	7,752.7
Open Site Space %		11%



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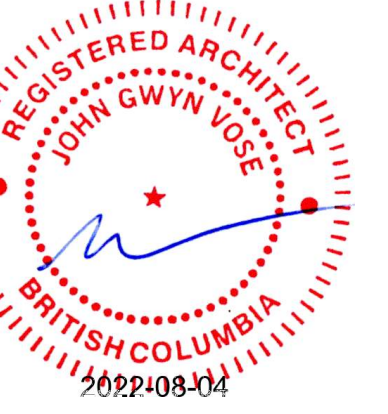
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2022-03-14	IFT BACKGROUND
2022-02-11	DP RESUBMISSION #5
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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DATE	DESCRIPTION
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Date: 2022-08-03

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PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 150
DATE:	2022-08-03

OPEN SITE SPACE DIAGRAM

SHEET NUMBER A0.09	REV
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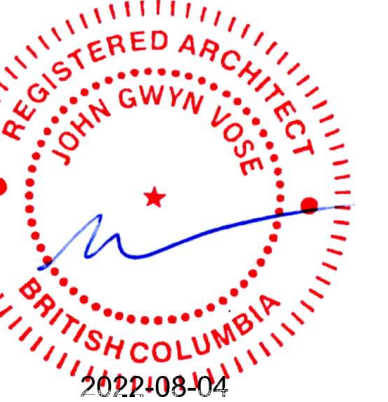
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2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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Date: 2022-08-03

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Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
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AWN BY:	JH
K'D BY:	GV

SCALE:	1 : 100
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DATE: 2022-08-03

STREET SECTION

Figure 1

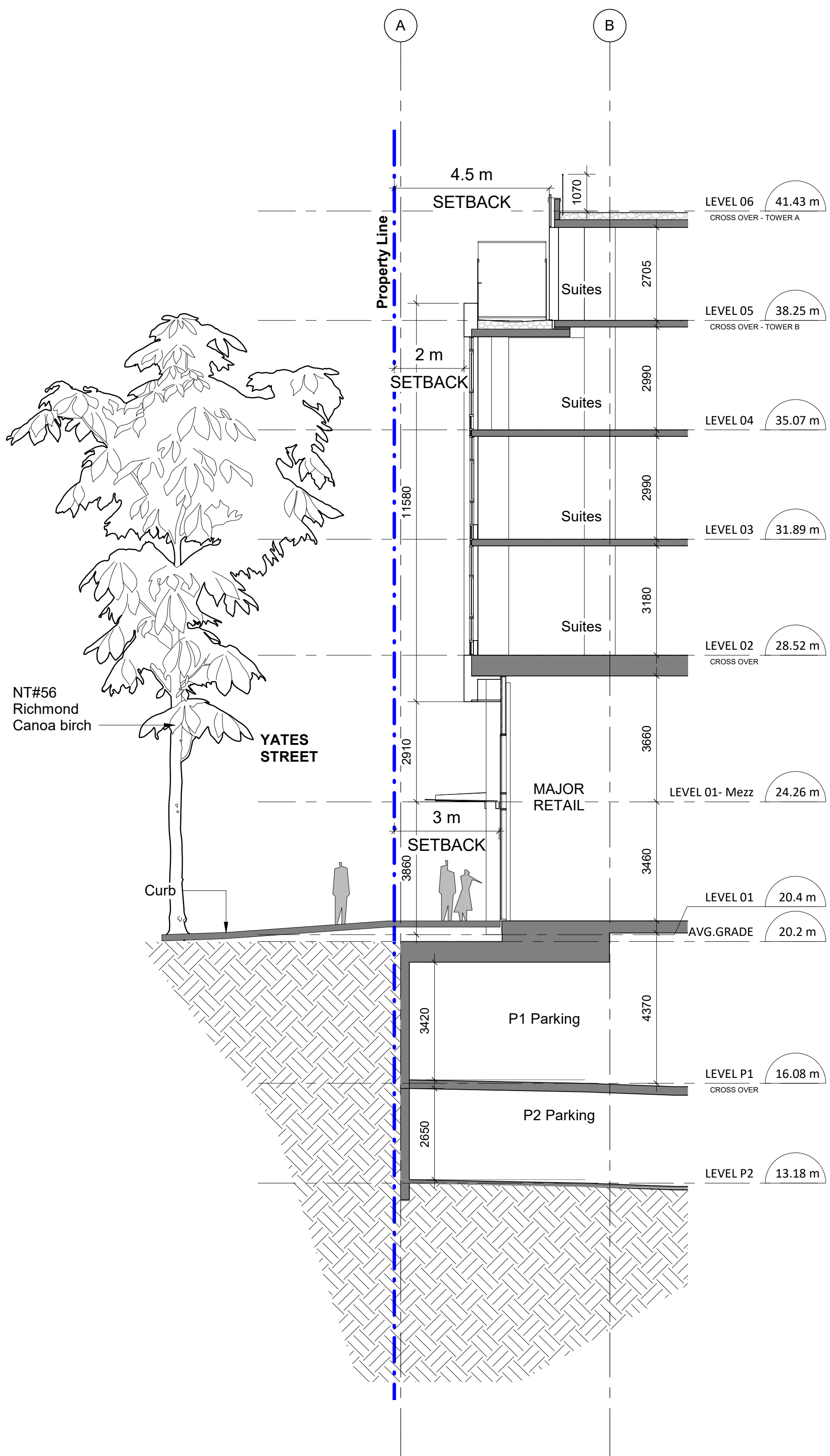
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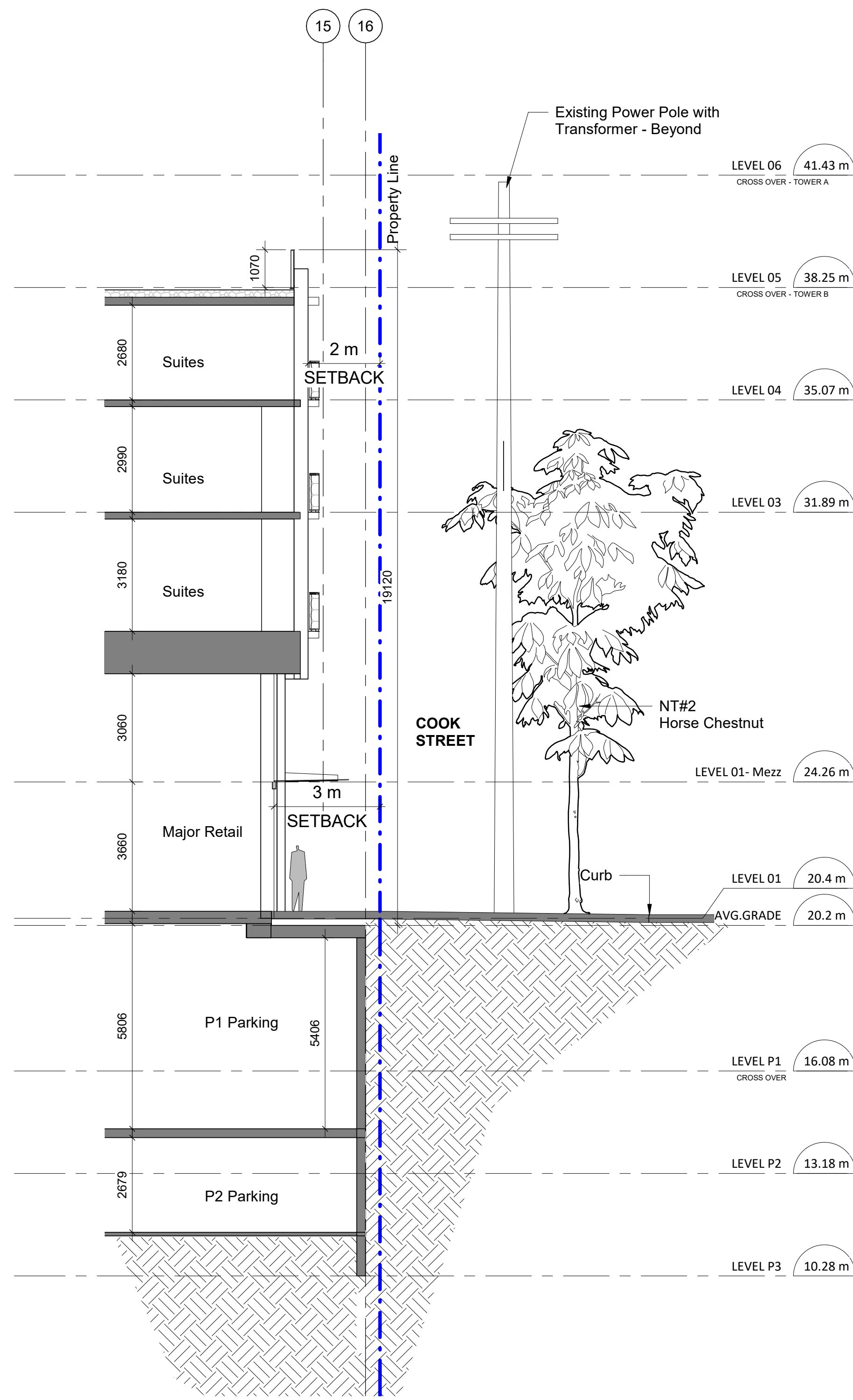
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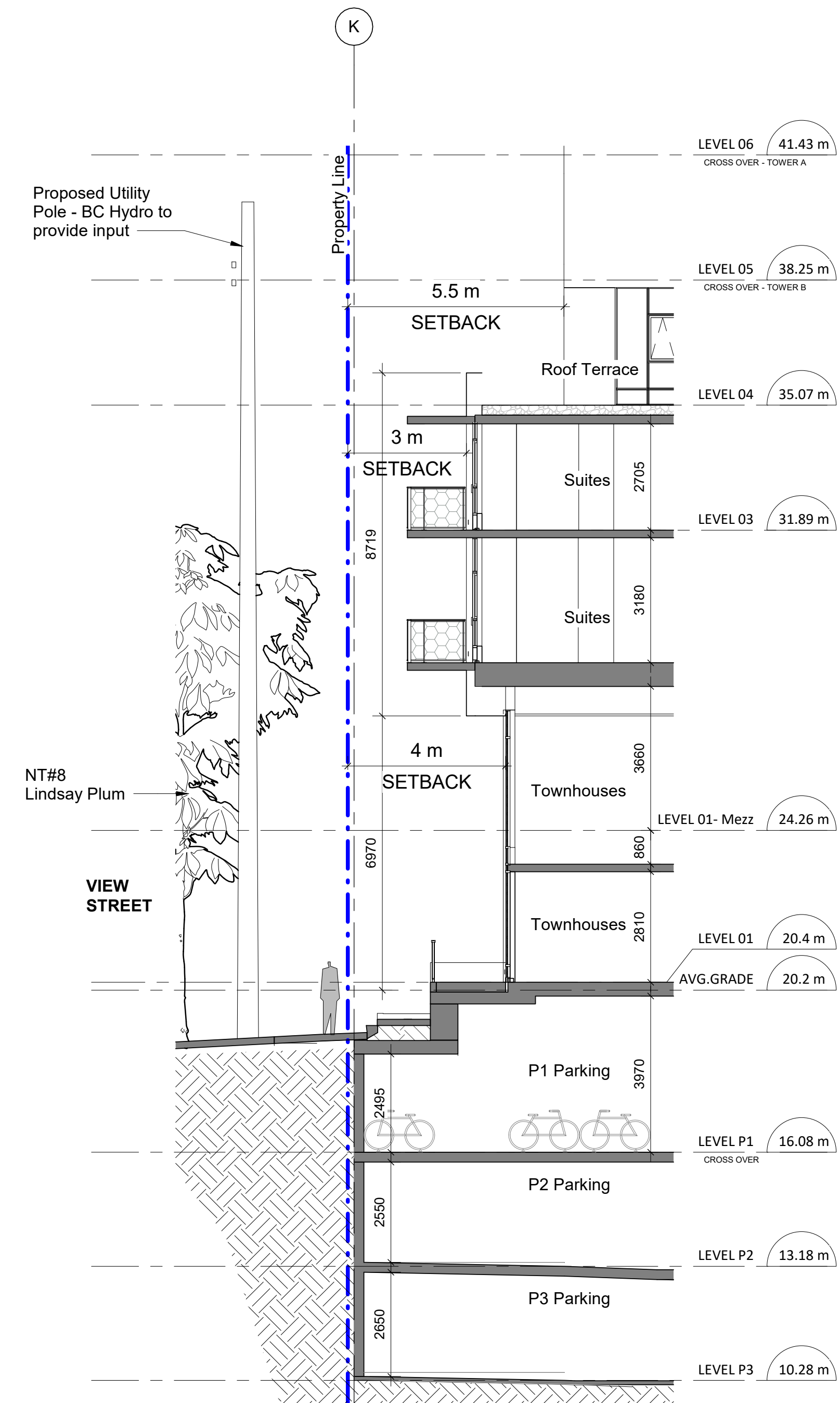
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1 YATES STREET SECTION
A0.11 SCALE: 1 : 100



2 COOK STREET SECTION
A0.11 SCALE: 1 : 100



3 VIEW STREET SECTION
A0.11 SCALE: 1 : 100

DATE	DESCRIPTION
UES	

DATE	DESCRIPTION
DIVISIONS	

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CONCLUSION

22-0

Date _____
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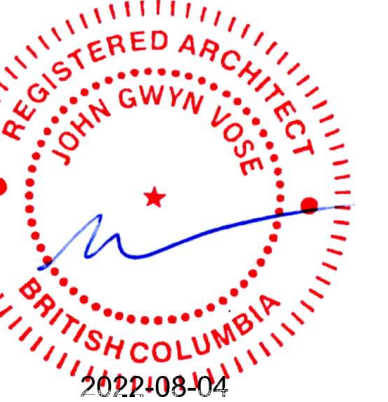


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2022-02-11	DP RESUBMISSION #5
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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Date: 2022-08-03

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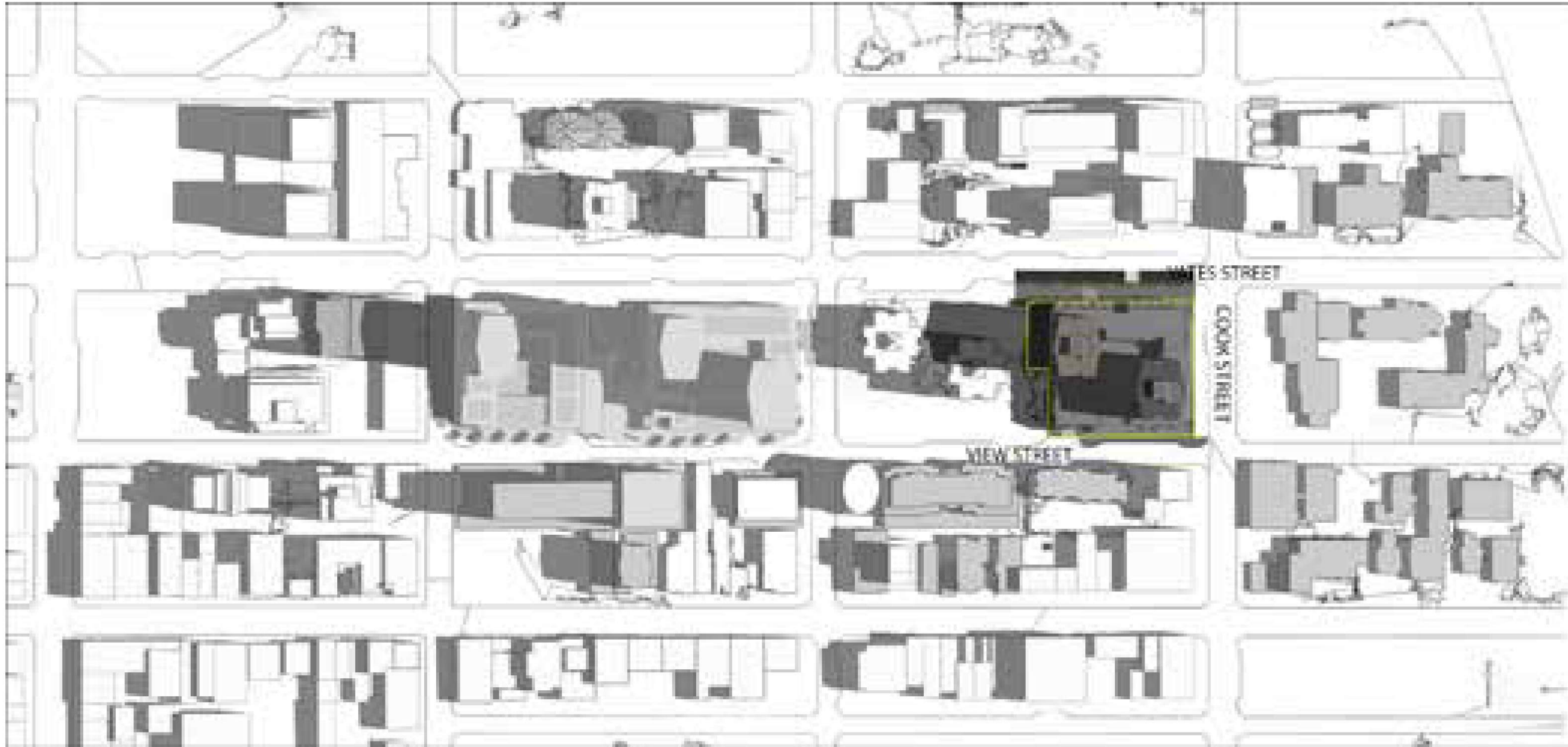
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Phase 01
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PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 5
DATE:	2022-08-03

NET TITLE
SHADOW STUDY -
SUMMER SOLSTICE

SHEET NUMBER	REV
A0.13	

SUMMER SOLSTICE - JUNE 20TH (DST)



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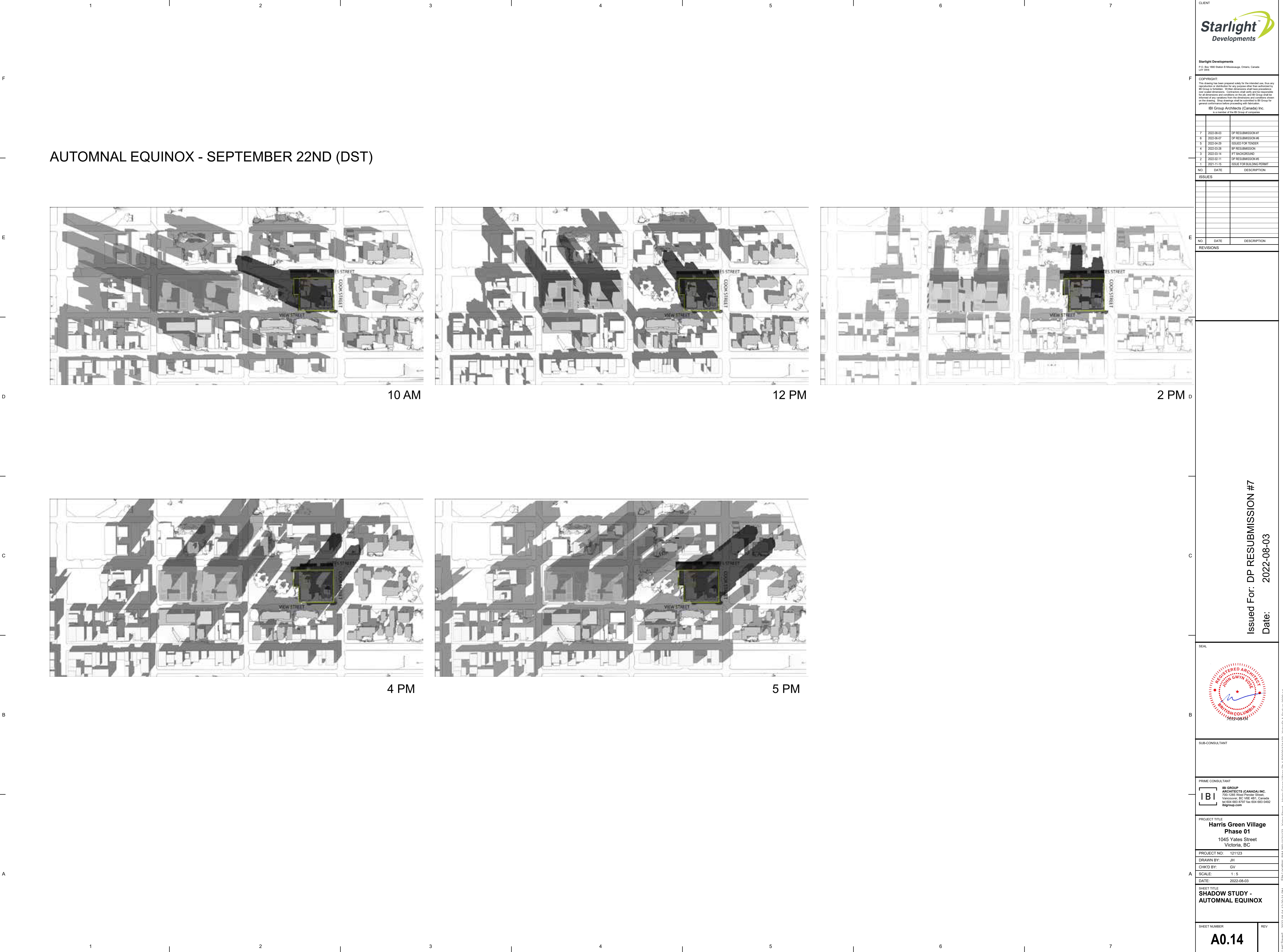
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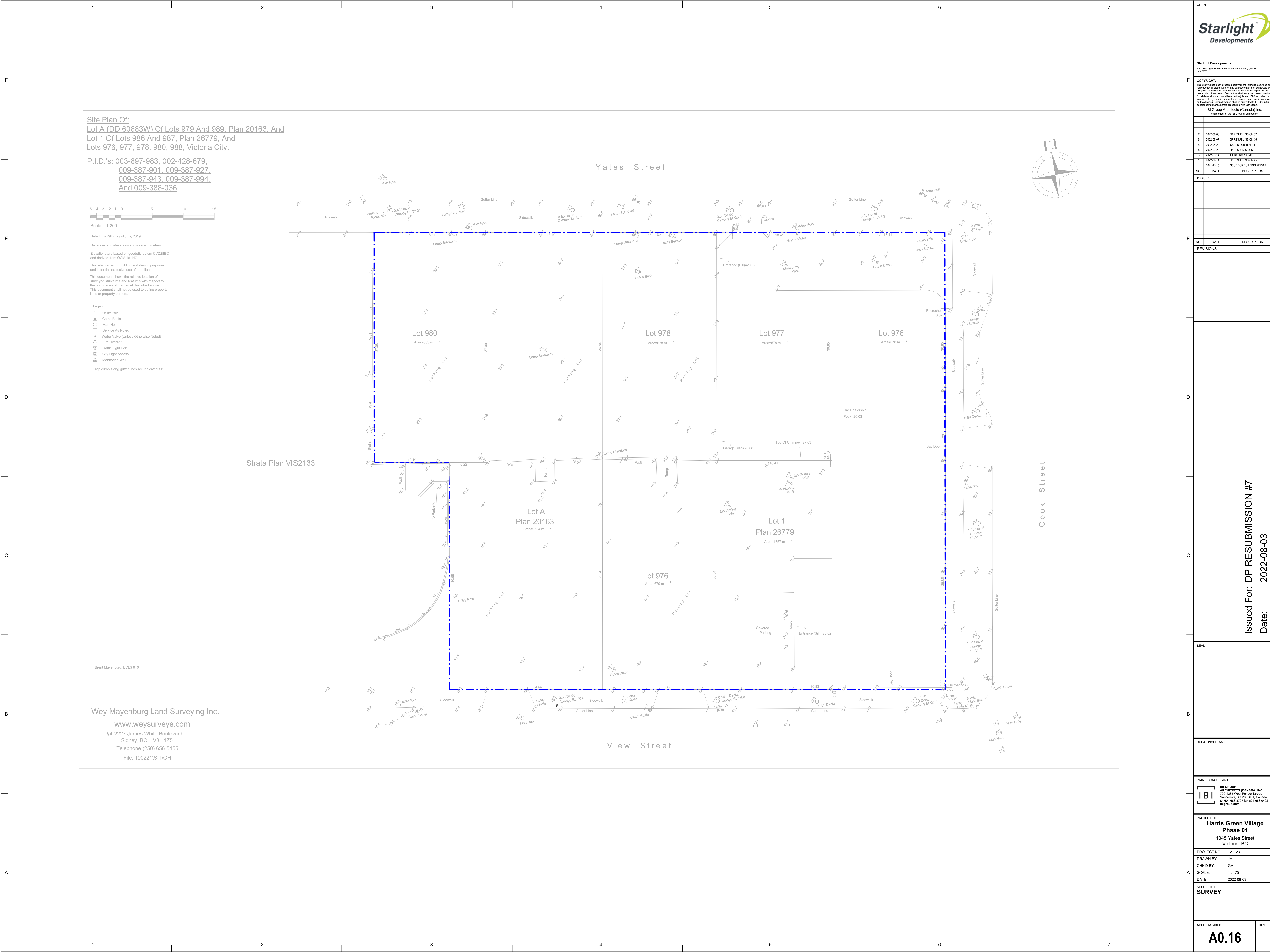


4 PM



5 PM





Site Plan Of:
Lot A (DD 60683W) Of Lots 979 And 989, Plan 20163, And
Lot 1 Of Lots 986 And 987, Plan 26779, And
Lots 976, 977, 978, 980, 988, Victoria City.

P.I.D.'s: 003-697-983, 002-428-679,
009-387-901, 009-387-927,
009-387-943, 009-387-994,
And 009-388-036

Scale = 1:200

Dated this 29th day of July, 2019.
Distances and elevations shown are in metres.
Elevations are based on geodetic datum CVD288C
and derived from OCM 16-147.
This site plan is for building and design purposes
and is for the exclusive use of our client.
This document shows the relative location of the
surveyed structures and features with respect to
the boundaries of the parcel described above.
This document shall not be used to define property
lines or property corners.

- Legend:
- Utility Pole
 - Catch Basin
 - Man Hole
 - Service As Noted
 - Water Valve (Unless Otherwise Noted)
 - Fire Hydrant
 - Traffic Light Pole
 - City Light Access
 - Monitoring Well

Drop curbs along gutter lines are indicated as:

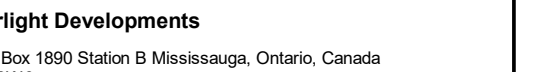
Strata Plan VIS2133

Brent Mayenburg, BCLS 910

Wey Mayenburg Land Surveying Inc.
www.weysurveyors.com
#4-2227 James White Boulevard
Sidney, BC V8L 1Z5
Telephone (250) 656-5155
File: 190221\SITIGH

CLIENT	
Starlight Developments	
Starlight Developments P.O. Box 2800 Station B Vancouver, British Columbia, Canada V6T 3B5	
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NO.	DATE
ISSUES	
REVISIONS	
Issued For: DP RESUBMISSION #7 Date: 2022-08-03	
SEAL	
SUB-CONSULTANT	
PRIME CONSULTANT	
PROJECT TITLE Harris Green Village Phase 01 1045 Yates Street Victoria, BC	
PROJECT NO: 121123	
DRAWN BY: JH	
CHKD BY: GV	
SCALE: 1:175	
DATE: 2022-08-03	
SHEET TITLE SURVEY	
SHEET NUMBER	
REV	
A0.16	





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Date: 2022-08-03

IBI GROUP
ARCHITECTS (CANADA) INC.
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Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	
DATE:	2022-08-03

SHEET NUMBER	REV
A0.18	





A0.20

CITY OF VICTORIA

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date: August 19, 2022

Deemed Date: August 4, 2022

CPTED Strategy

Following the four main principles of Crime Prevention Through Environmental Design (CPTED) the following strategies will be utilized to decrease the potential for crime in Harris Green Village. More specific CPTED strategies will be outlined in subsequent Development Permit Applications.

1. Natural Surveillance:

Elements of site and building design can maximize opportunities for natural surveillance. This involves achieving the right mix of land uses and activity generators and designing buildings and open spaces to allow people to casually observe activities in their environment. This principle involves putting “eyes on the street” by encouraging pedestrian passage through a space or providing the opportunity for overlook from adjacent buildings and spaces.

- Provide a mix of uses at grade to ensure the presence of people at all times e.g. shops, restaurants, residential entrances, office entrances, etc.
- Locate activity generators and/or seating options around edges to create opportunities for natural surveillance of open spaces, plazas, parks and important pedestrian thoroughfares.
- Configure residential lobbies to provide clear sightlines from within buildings to the street so occupants can clearly see outside before leaving the building.
- Use transparent building materials such as glazing around residential entries and avoid recessed doorways without windows to eliminate entrapment spots.
- Locate visitor bicycle storage facilities near commercial and residential entrances for visibility and ease of access.
- Prepare landscape designs and follow-up maintenance plans to allow clear, unobstructed views of public areas. Landscape elements such as low ground cover and high-canopied trees with no branches below 6 feet should be considered.
- Ensure public walkways and entries are well-lit and overlooked by windows.
- Consider adding a mix of activity generators such as playgrounds, walkways, coffee kiosks and sitting areas to add ‘eyes’ on the plaza and View Street Green.
- Use glazed doors in stairwells and parkade lobbies to reduce hiding places, open up views of the parking areas and use a white or a light colour paint scheme and elimination of sharp corners to reduce concealment opportunities
- Avoid creating “dead zones” where there is little activity or signs of human presence.

2. Legibility/Access Control:

Legibility and access control work together to allow people to move with confidence and ease through the urban environment. Legibility means that people know where they are and how to get where they are going. Access control reinforces legibility by creating clear design cues about what is the public realm and what is not.

- Ensure important services and signs are strategically located and clearly visible.
- Create local landmarks by drawing attention to features such as public art, public squares, or important buildings.
- Use elements such as paving, lighting and landscaping to clearly guide the public to and from entrances and exits.
- Provide adequate lighting around the perimeter of buildings, in plaza spaces and in parkades and common areas.
- Secure all residential entrances including bicycle storage rooms with FOB doors.

- Install gates at parkade entrances, with secondary gates separating commercial from residential parking areas.
 - Provide mirrors in parkades to help users “see around corners”.
 - Provide adequate lighting and sightlines to loading areas, parkade entrances and other areas where natural surveillance is reduced.
 - Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fixtures.
 - natural surveillance is reduced.
 - Effective lighting should illuminate points of entry, be vandal resistant, give off limited glare, and be automatic such as motion-sensitive lighting fixtures.
- ### 3. Image/Maintenance:
- If an environment shows signs of neglect or vandalism people are more inclined to engage in unwelcome or criminal behaviour. By enhancing and maintaining the physical appearance of the urban environment it is possible to encourage users of the area to respect their surroundings. Well used and cared-for public spaces encourage ownership and support community pride.

- Design the built environment with materials and fittings that will hold up to heavy use by the public.
- Use finishes that are resistant to vandalism and are easy to clean, repair or replace.
- Avoid long expanses of light coloured walls that may attract graffiti artists.
- Source tamper-proof lighting fixtures.

4. Territoriality/Ownership:

Clearly differentiating and demarcating public space from private space reduces the risk of unintentionally trespassing or being trespassed upon.

- Design symbolic barriers through landscaping e.g. changes in paving stone patterns and colour, changes in types of planting, changes in grades and use of transparent fences around residential entrances.
- Provide spaces around buildings so residents can meet and develop a sense of ownership of their common spaces, e.g. fountains, benches, playgrounds, arches, seating walls.



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Developments

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NO.	DATE	DESCRIPTION
7	2022-08-03	DP RESUBMISSION #7
6	2022-08-07	DP RESUBMISSION #6
5	2022-08-29	ISSUED FOR TENDER
4	2022-03-28	DP RESUBMISSION
3	2022-03-14	PT BACKGROUND
2	2022-02-11	DP RESUBMISSION #5
1	2021-11-19	ISSUE FOR DEVELOPMENT PERMIT

NO.	DATE	DESCRIPTION
1	2022-08-17	NO. OF TREES ON VIEW STREET

Issued For: DP RESUBMISSION #7

Date: 2022-08-03

SEAL

REGISTERED ARCHITECT
PROVINCE OF BRITISH COLUMBIA
2022-08-17

SUB-CONSULTANT

IBI GROUP ARCHITECTS (CANADA) INC.
705-1205 West Pender Street
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ibi@ibi.com

PROJECT TITLE

Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO.

121123

DRAWN BY:

JH

CHKD BY:

GV

SCALE:

DATE:

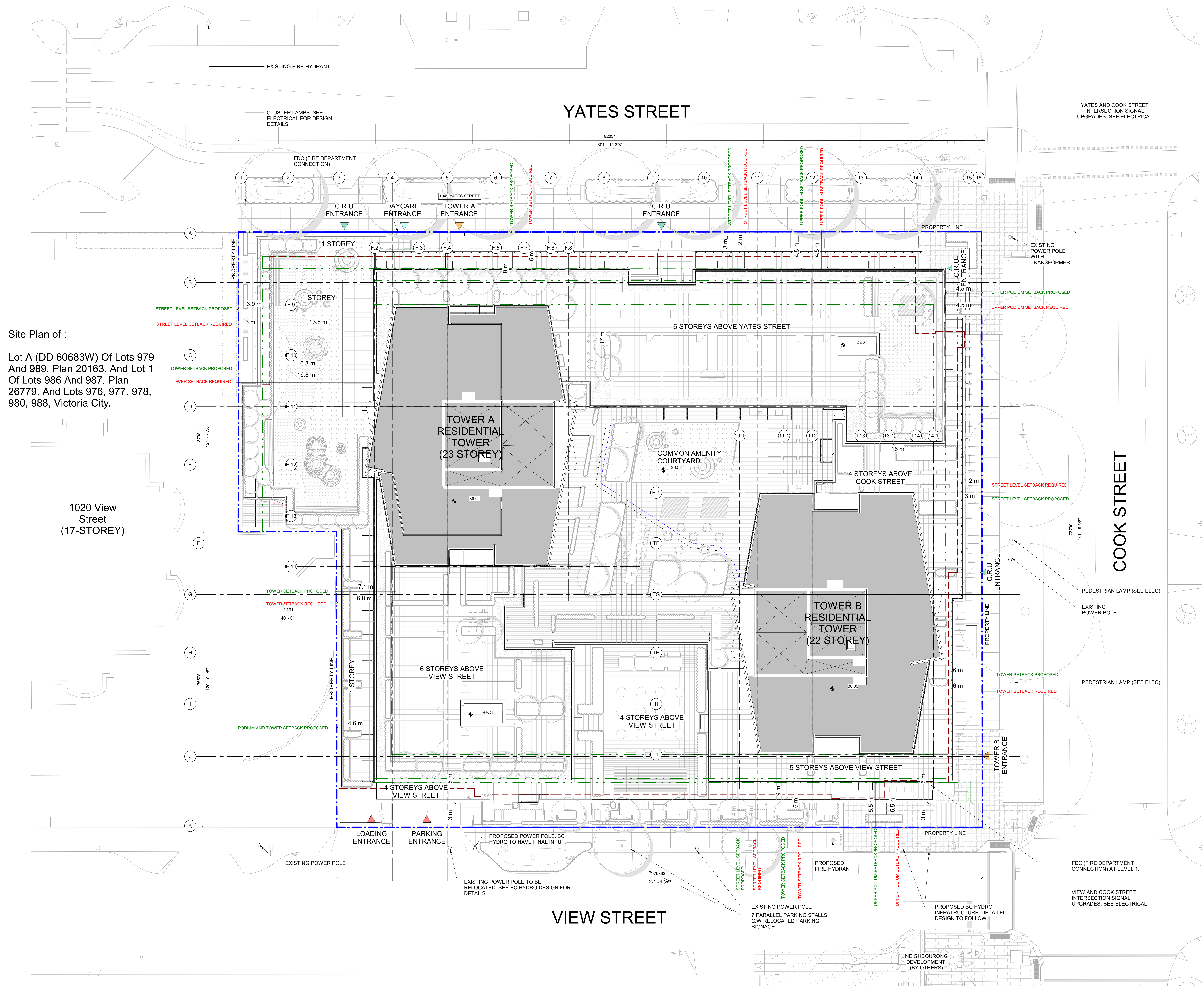
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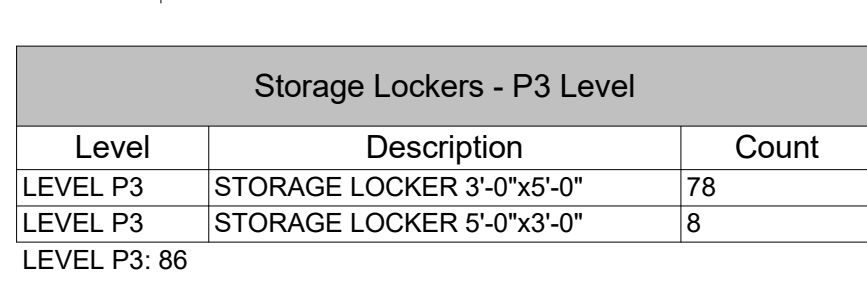
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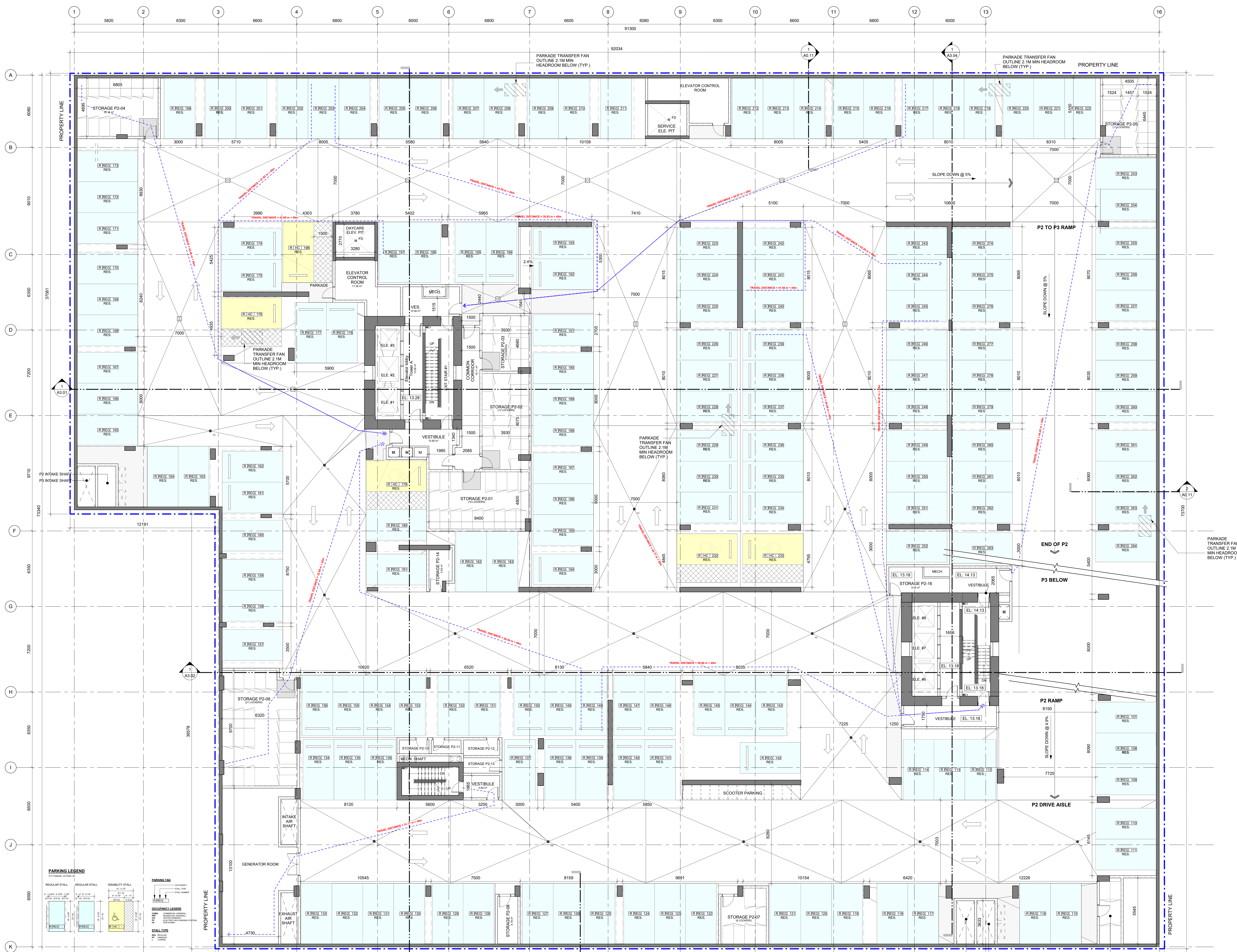
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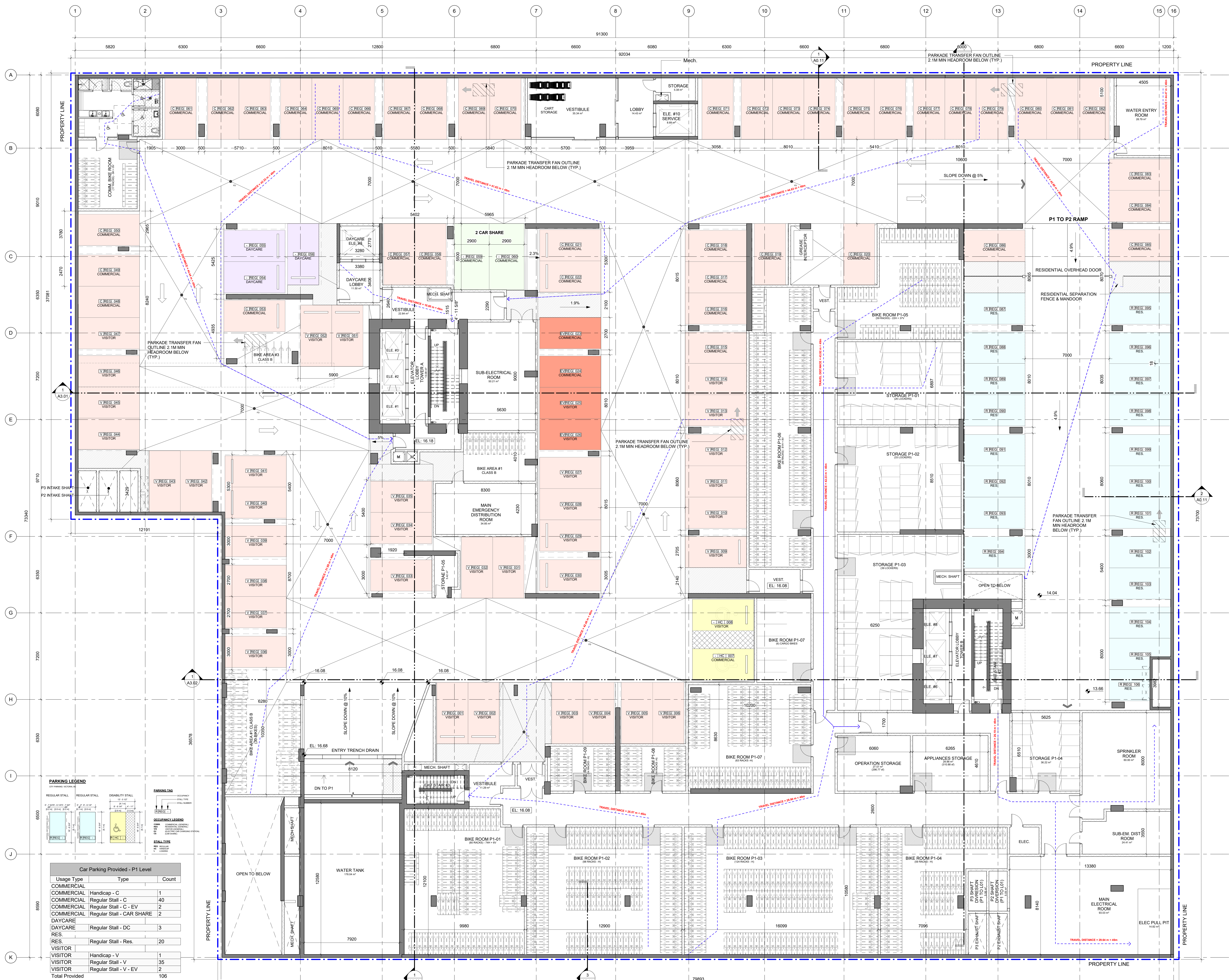
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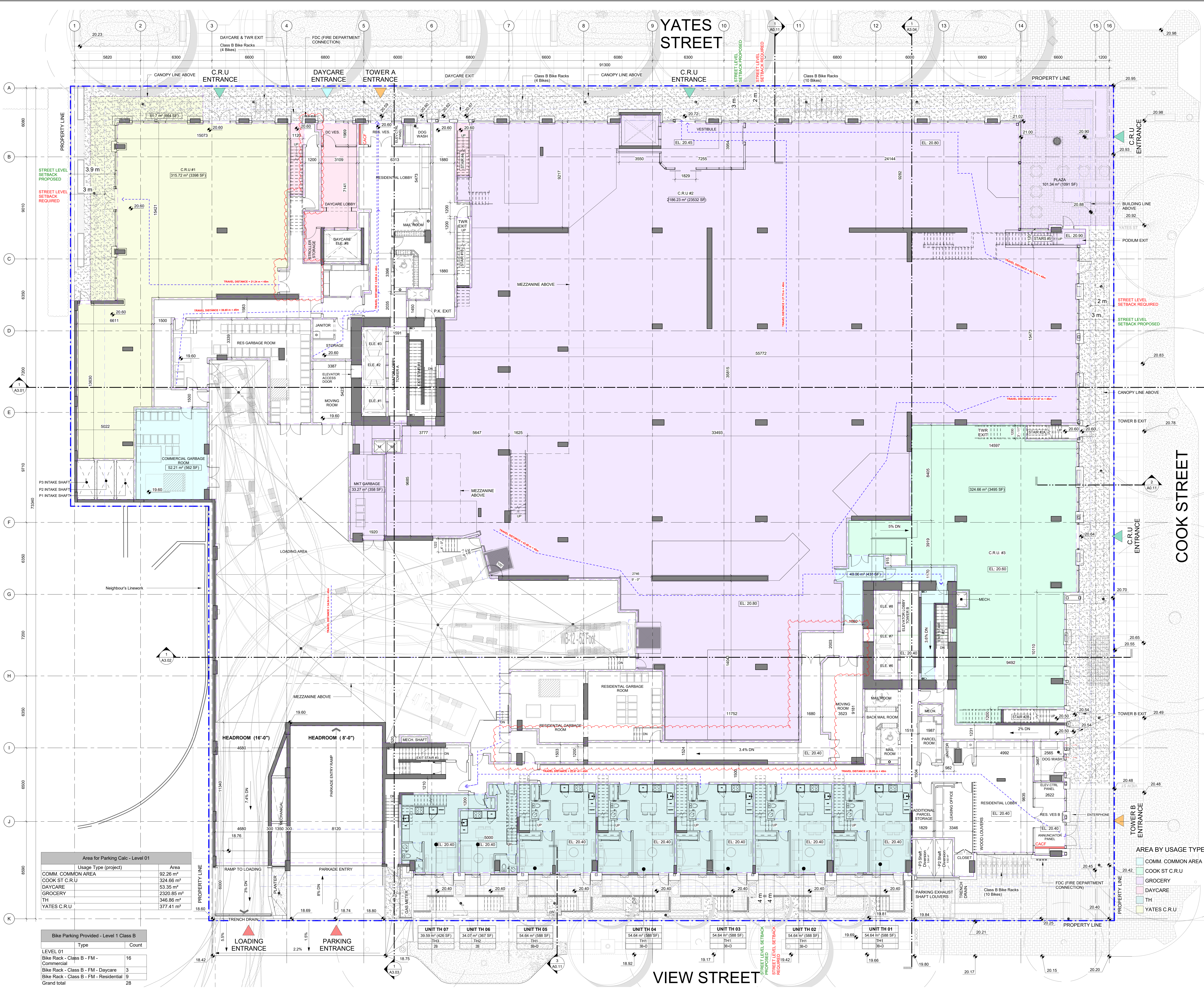


1020 View
Street
(17-STOREY)









Area for Parking Calc - Level 01		
Usage Type (project)	Area	
COMM. COMMON AREA	92.26 m ²	
COOK ST C.R.U.	324.66 m ²	
DAYCARE	53.35 m ²	
GROCERY	2320.85 m ²	
TH	346.86 m ²	
YATES C.R.U.	377.41 m ²	

Bike Parking Provided - Level 1 Class B		
Type	Count	
LEVEL 01		
Bike Rack - Class B - FM - Commercial	16	
Bike Rack - Class B - FM - Daycare	3	
Bike Rack - Class B - FM - Residential	9	
Grand total	28	

AREA BY USAGE TYPE	
COMM. COMMON AREA	
COOK ST C.R.U.	
GROCERY	
DAYCARE	
TH	
YATES C.R.U.	

Starlight
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PROJECT NORTH

PROJECT TITLE

Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO.

121123

DRAWN BY:

JH

CHKD BY:

GV

SCALE:

1:100

DATE:

2022-08-03

SHEET TITLE

OVERALL LEVEL 1 PLAN

SHEET NUMBER

A1.04

REV

Issued For: DP RESUBMISSION #7

Date: 2022-08-03

REGISTERED ARCHITECT

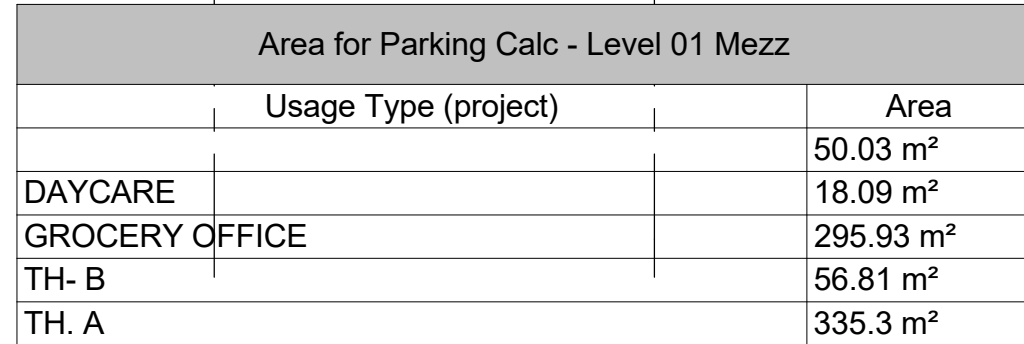
BRITISH COLUMBIA

1992/09/14

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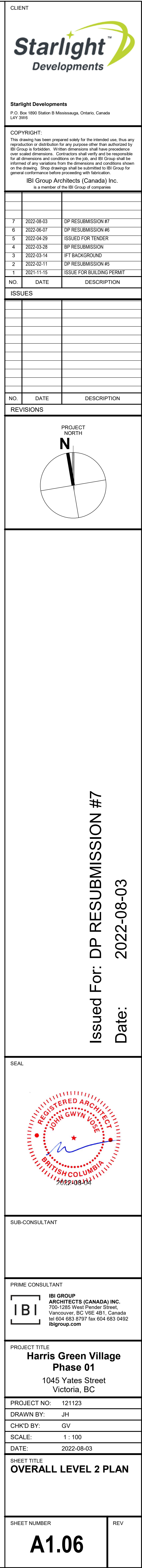
PRIME CONSULTANT

IBI GROUP
ARCHITECTS (CANADA) INC.
705-1285 West Pender Street
Vancouver, BC V6E 4B1, Canada
Tel: 604-683-1707 Fax: 604-683-0562
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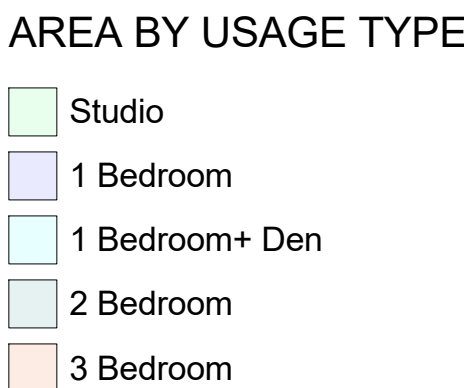


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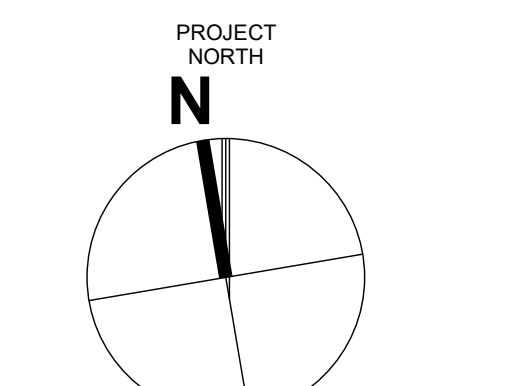


Area for Parking Calc - Level 02		
	Usage Type	Area
AMENITY		713.19 m ²
DAYCARE		412.76 m ²



NO.	DATE	DESCRIPTION
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2	2022-08-07	DP RESUBMISSION #7
3	2022-08-08	ISSUED FOR TENDER
4	2022-08-08	DP RESUBMISSION #1
5	2022-08-14	FT BACKGROUND
6	2022-08-11	DP RESUBMISSION #1
7	2022-08-11	ISSUE FOR CONSTRUCTION PERMIT

NO.	DATE	DESCRIPTION
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2	2022-08-07	DP RESUBMISSION #7
3	2022-08-08	ISSUED FOR TENDER
4	2022-08-08	DP RESUBMISSION #1
5	2022-08-14	FT BACKGROUND
6	2022-08-11	DP RESUBMISSION #1
7	2022-08-11	ISSUE FOR CONSTRUCTION PERMIT



Issued For: DP RESUBMISSION #7
Date: 2022-08-03



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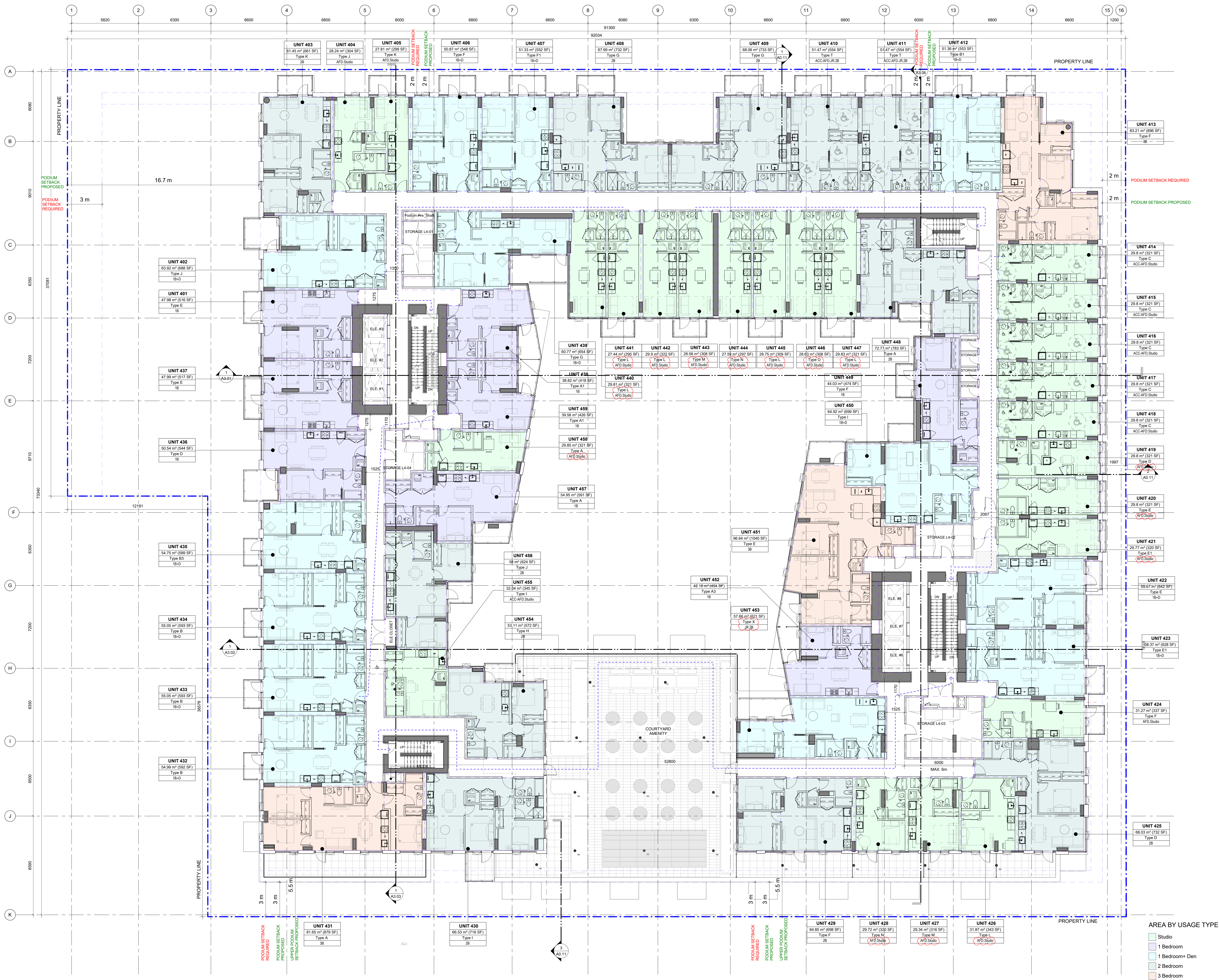
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Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO: 121123
DRAWN BY: JH
CHKD BY: GV
SCALE: 1:100
DATE: 2022-08-03

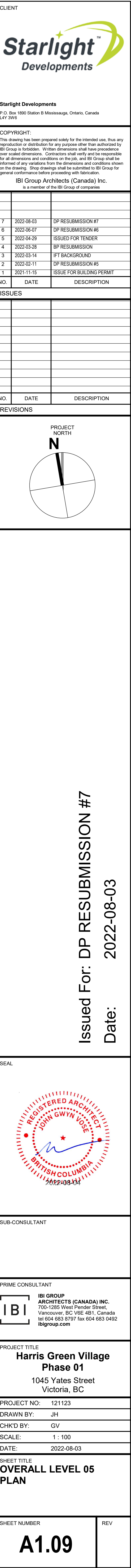
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OVERALL LEVEL 04
PLAN

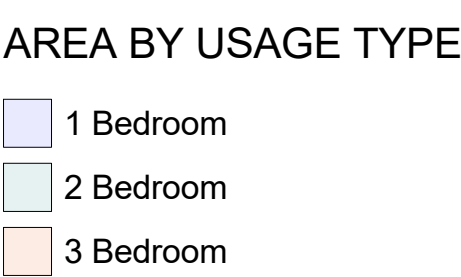
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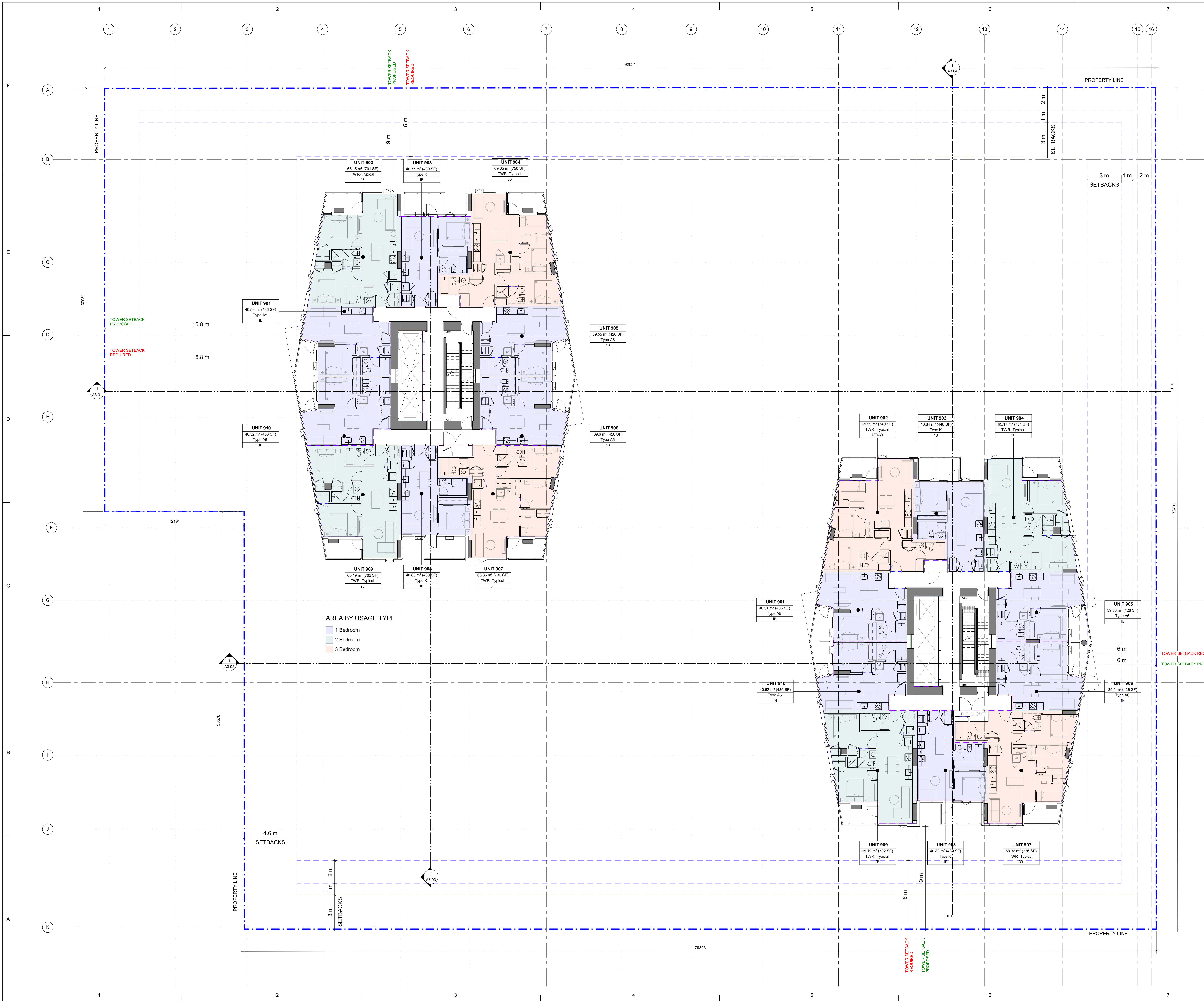
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AREA BY USAGE TYPE
Studio
1 Bedroom
1 Bedroom+ Den
2 Bedroom
3 Bedroom



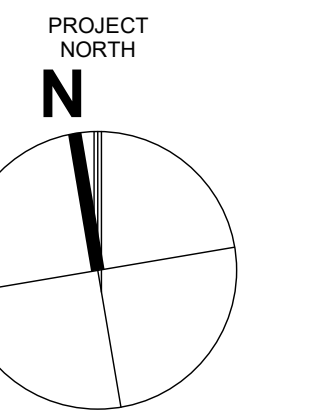




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2022-02-11	DP RESUBMISSION #5
2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

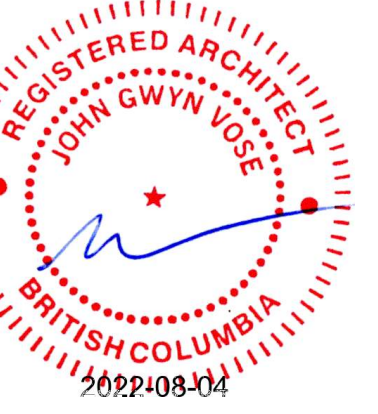
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Issued For: DF RESUBMISSION #
Date: 2022-08-03

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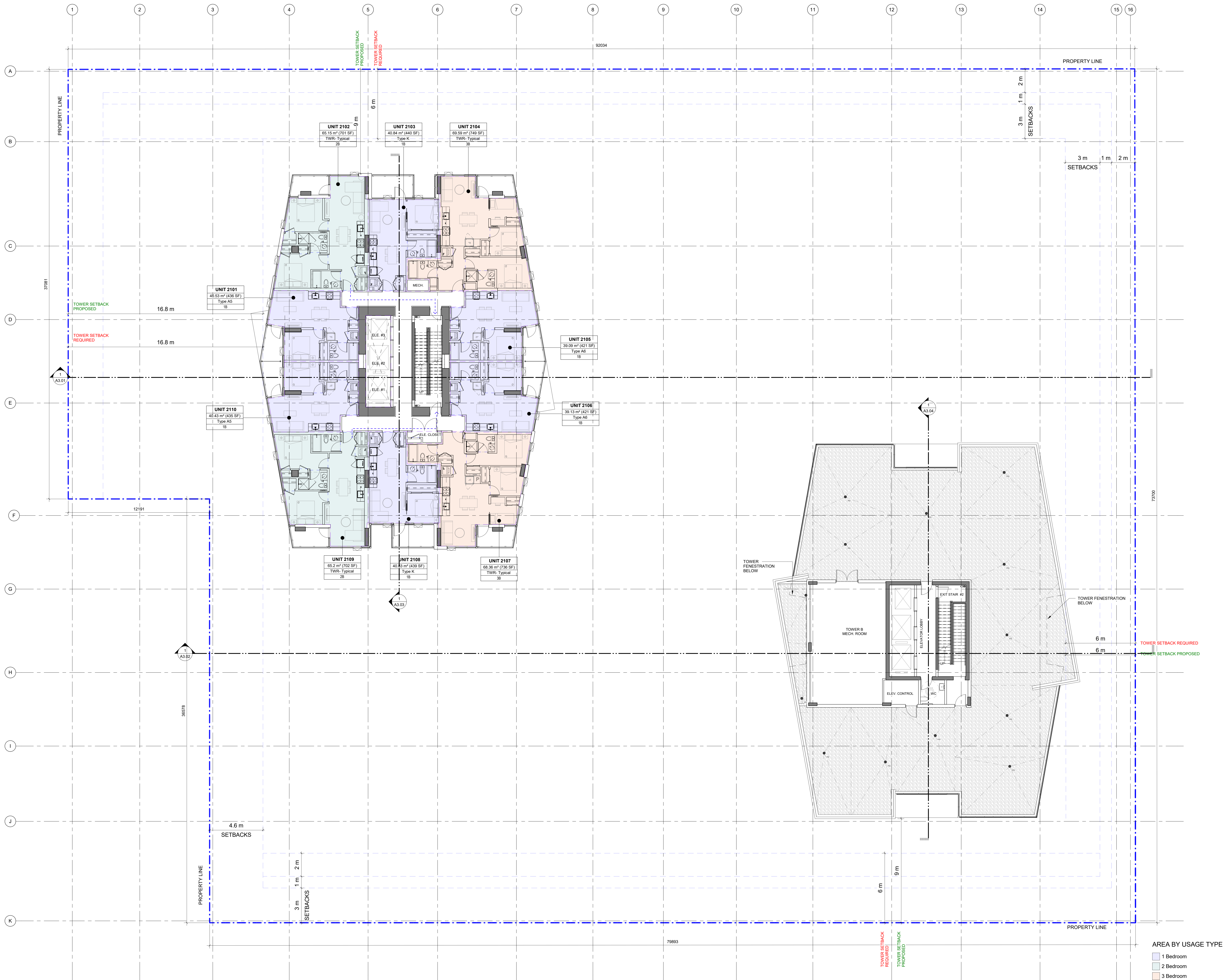
ME CONSULTANT

PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 100
DATE:	2022-08-03

OVERALL LEVEL 21
(POWER B ROOF)

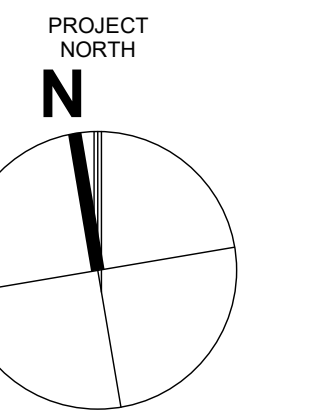
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DATE	DESCRIPTION

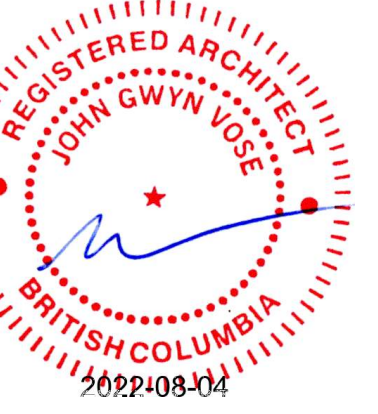
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DATE	DESCRIPTION
VISIONS	



Date: 2022-08-03

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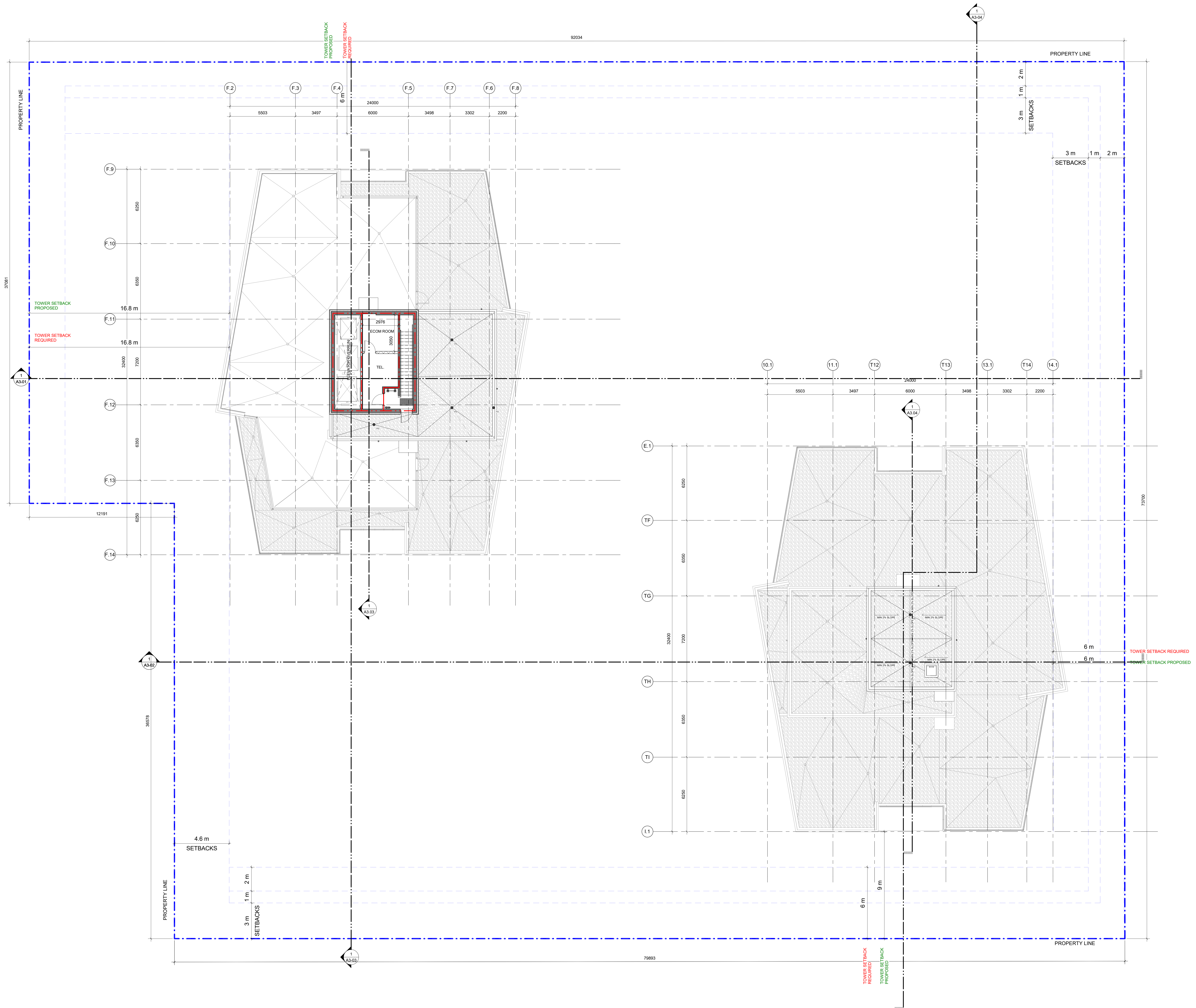
BI **ARCHITECTS (CANADA) INC.**
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 100
DATE:	2022-08-03

OVERALL LEVEL 23 (TWR
) MECH. ROOF & TWR
) UPPER ROOF)

SHEET NUMBER A1.15	REV
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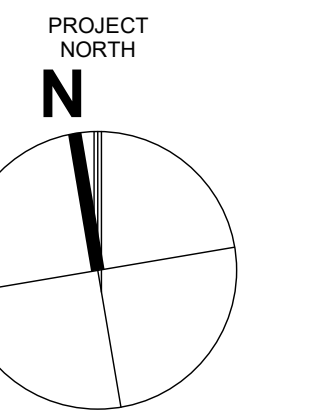


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2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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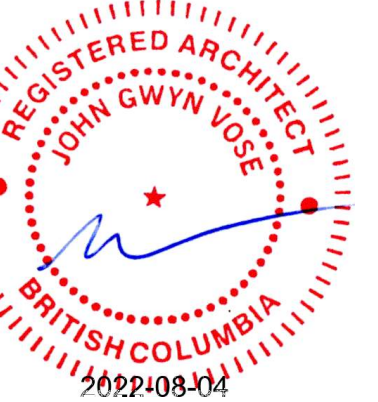
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DATE	DESCRIPTION
VISIONS	



Date: 2022-08-03

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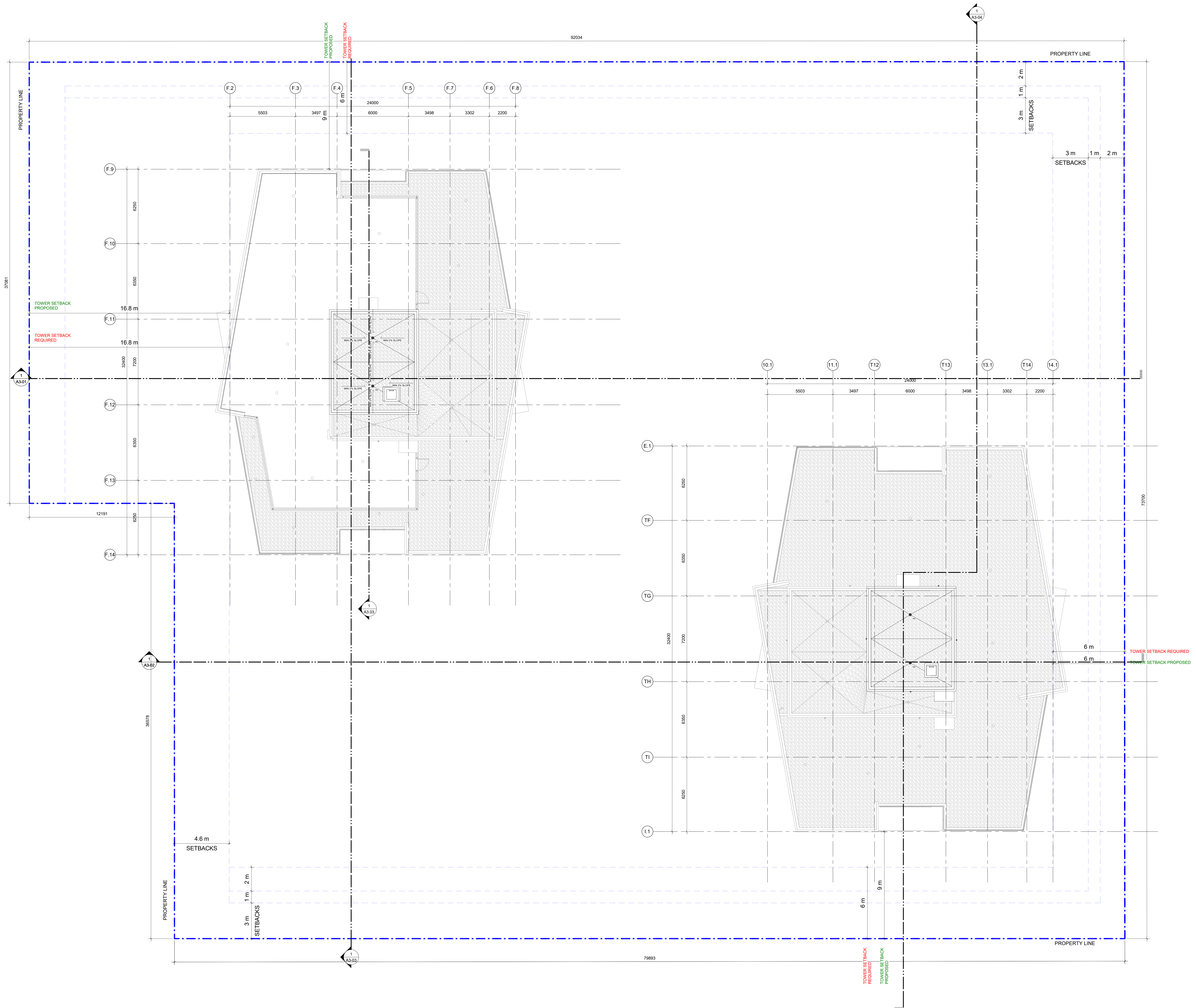
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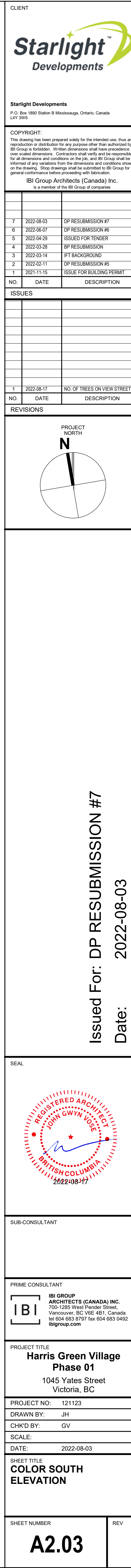
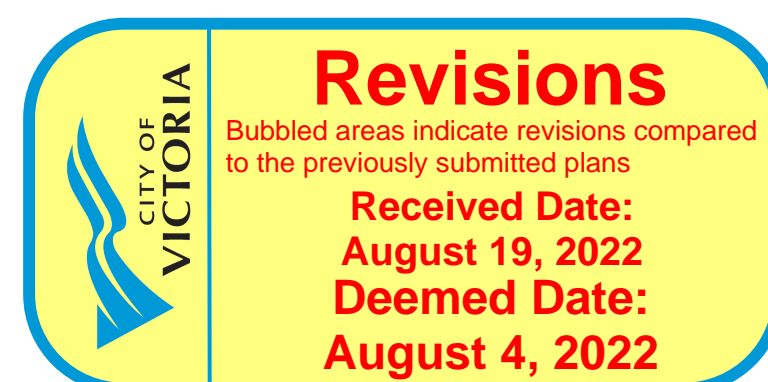
PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 100
DATE:	2022-08-03

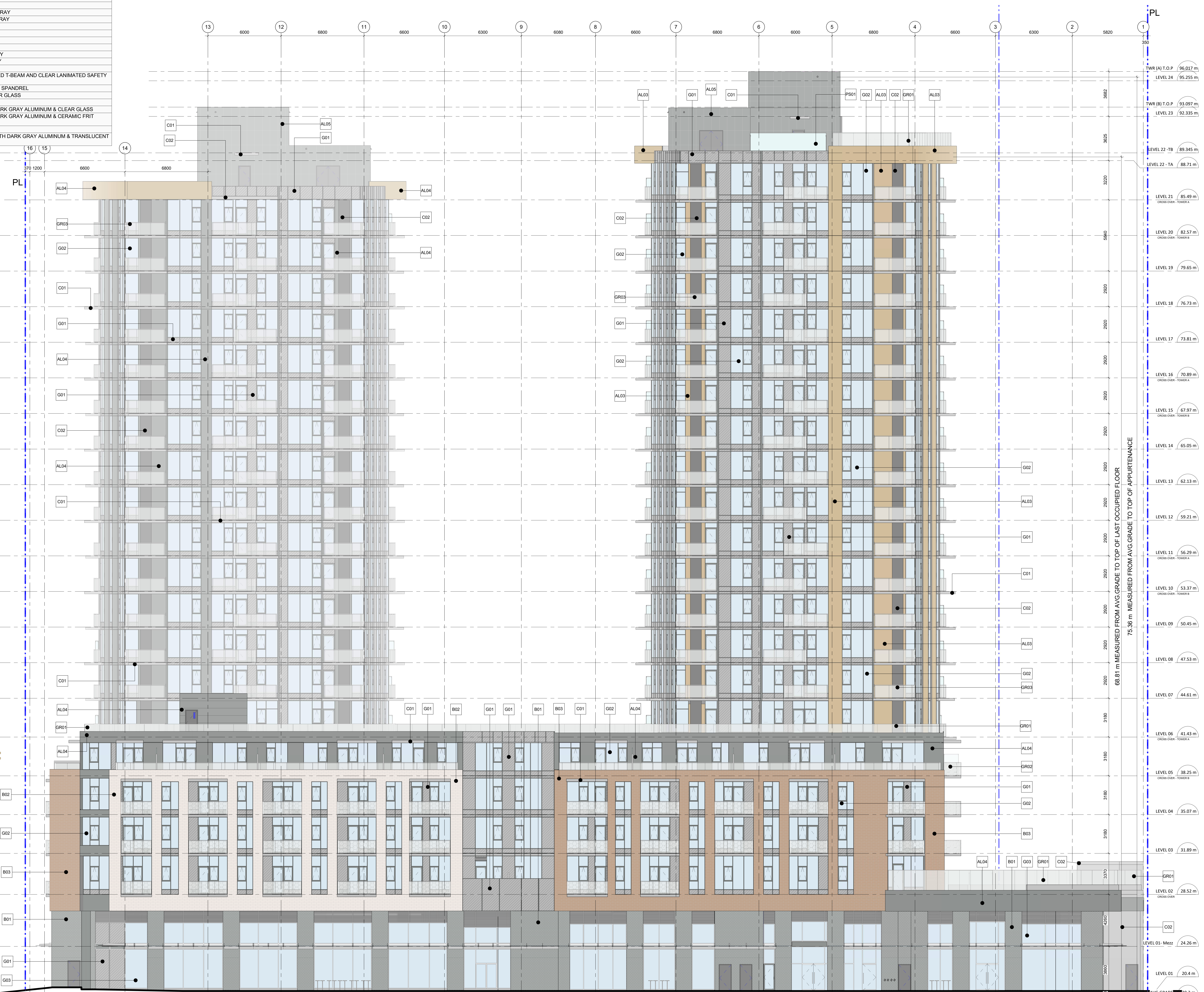
OVERALL LEVEL 24 (TWR
) UPPER ROOF)

SHEET NUMBER	REV
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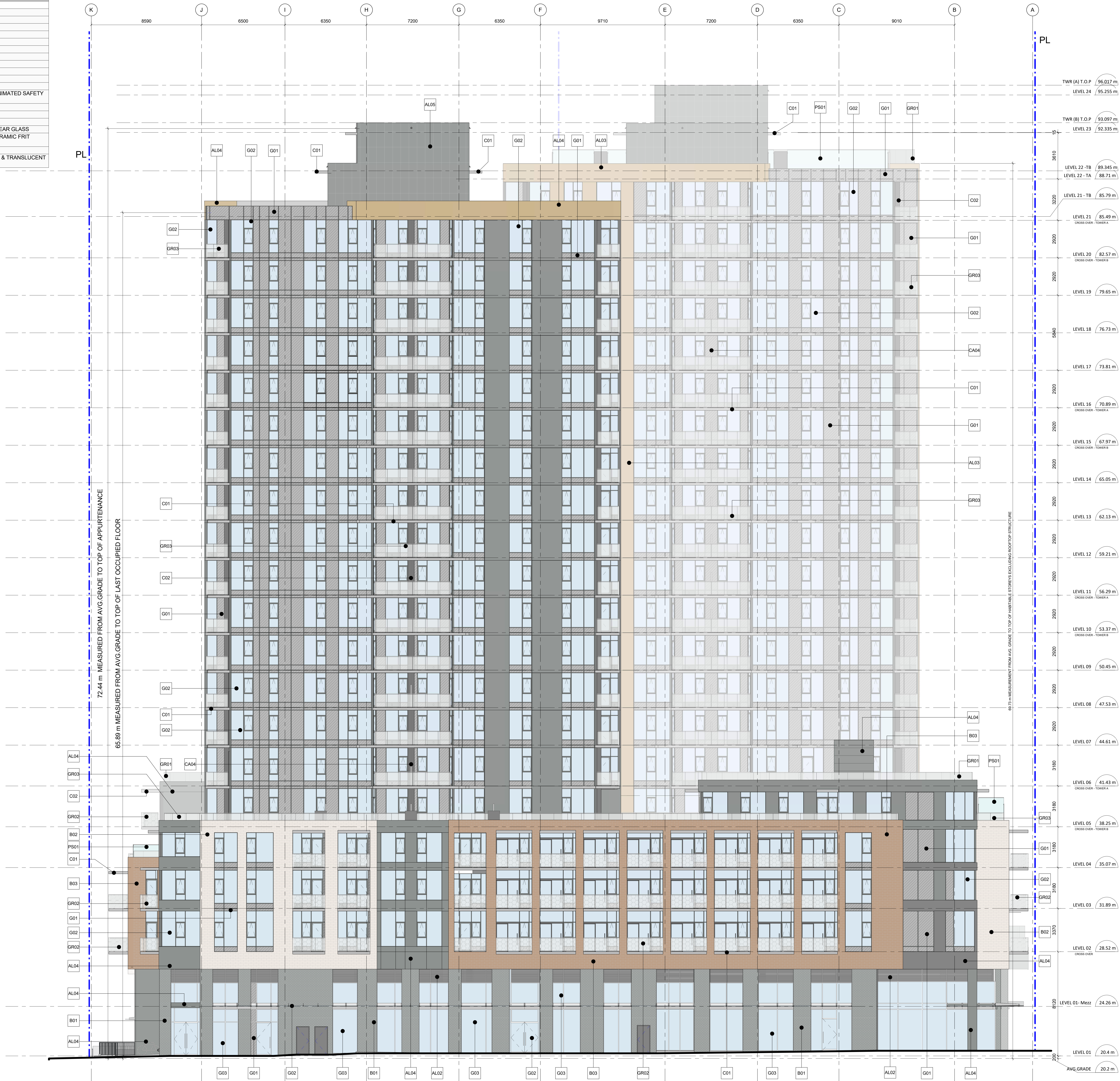


MATERIAL LEGEND	
Key Value	Keystone Text
AL01	WOOD TONED ALUMINUM SOFFIT
AL02	ALUMINUM LOUVER-GRAY
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
AL05	PANEL CLADDING
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
CA04	CANOPY WITH PAINTED INVERTED T-BEAM AND CLEAR LAMINATED SAFETY GLASS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	STOREFRONT GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAURD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE



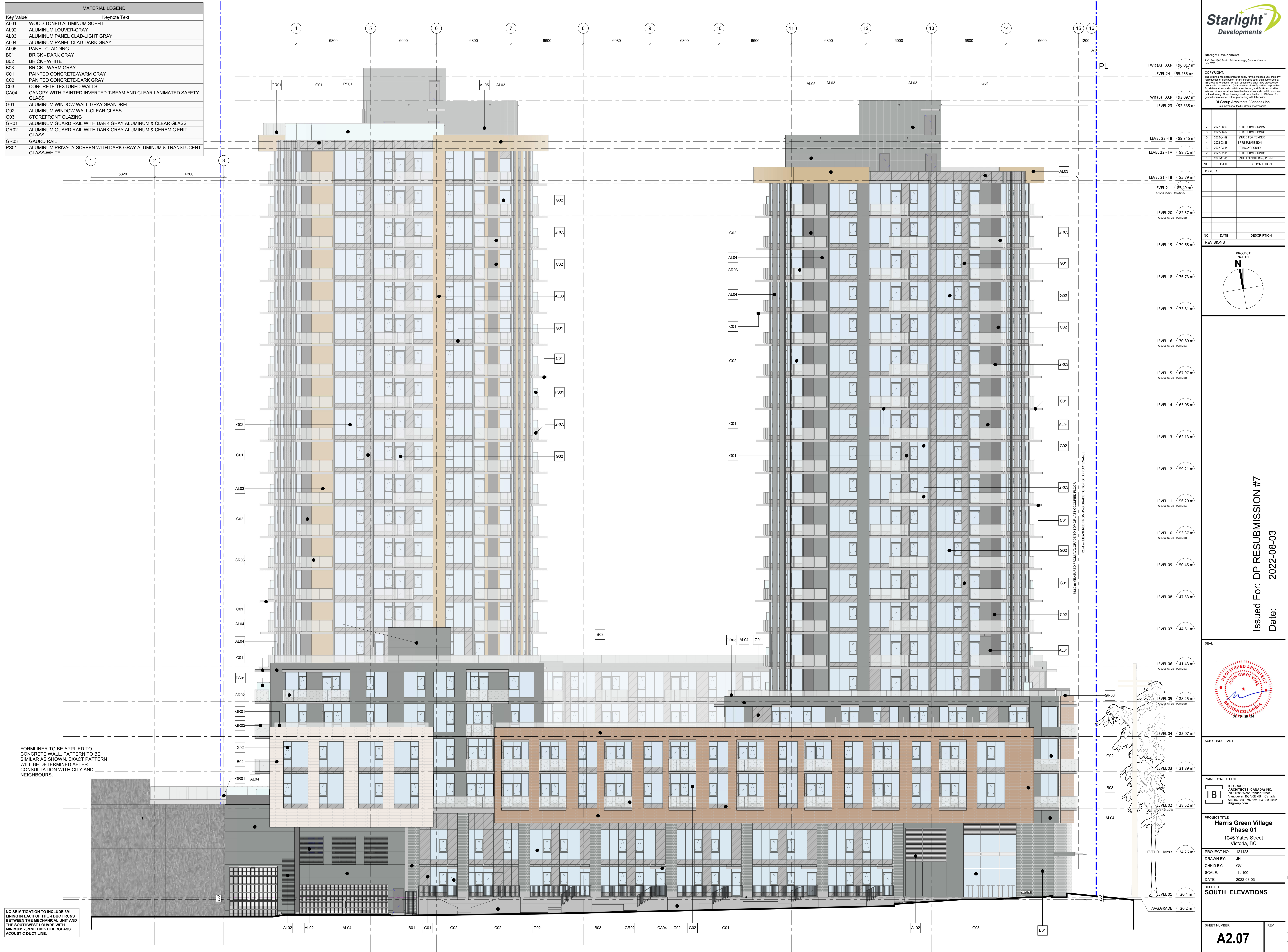
NOISE MITIGATION TO INCLUDE 3M LINING IN EACH OF THE 4 DUCT RUNS BETWEEN THE MECHANICAL UNIT AND THE SOUTHWEST LOUVRE WITH MINIMUM 25MM THICK FIBERGLASS ACOUSTIC DUCT LINE.


MATERIAL LEGEND	
Key Value	Keynote Text
AL01	WOOD TONED ALUMINUM SOFFIT
AL02	ALUMINUM LOUVER-GRAY
AL03	ALUMINUM PANEL CLAD-LIGHT GRAY
AL04	ALUMINUM PANEL CLAD-DARK GRAY
AL05	PANEL CLADDING
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
CA04	CANOPY WITH PAINTED INVERTED T-BEAM AND CLEAR LAMINATED SAFETY GLASS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
G02	ALUMINUM WINDOW WALL-CLEAR GLASS
G03	STOREFRONT GLAZING
GR01	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CLEAR GLASS
GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAUD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE



NOISE MITIGATION TO INCLUDE 3M LINING IN EACH OF THE 4 DUCT RUNS BETWEEN THE MECHANICAL UNIT AND THE SOUTHWEST LOUVRE WITH MINIMUM 25MM THICK FIBERGLASS ACOUSTIC DUCT LINE.

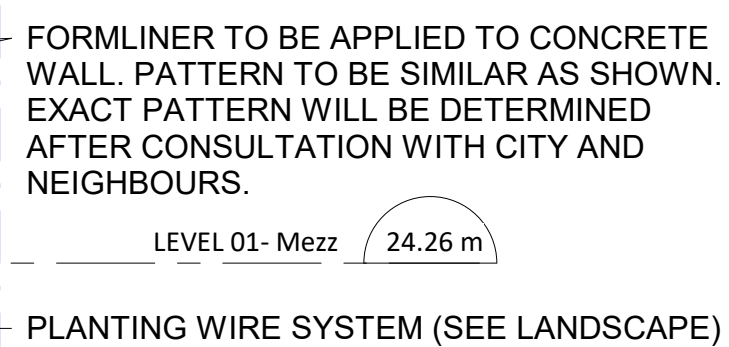
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AL01	WOOD TONED ALUMINUM SOFFIT
AL02	ALUMINUM LOUVER-GRAY
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AL04	ALUMINUM PANEL CLAD-DARK GRAY
AL05	PANEL CLADDING
B01	BRICK - DARK GRAY
B02	BRICK - WHITE
B03	BRICK - WARM GRAY
C01	PAINTED CONCRETE-WARM GRAY
C02	PAINTED CONCRETE-DARK GRAY
C03	CONCRETE TEXTURED WALLS
CA04	CANOPY WITH PAINTED INVERTED T-BEAM AND CLEAR LAMINATED SAFETY GLASS
G01	ALUMINUM WINDOW WALL-GRAY SPANDREL
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GR02	ALUMINUM GUARD RAIL WITH DARK GRAY ALUMINUM & CERAMIC FRIT GLASS
GR03	GAUARD RAIL
PS01	ALUMINUM PRIVACY SCREEN WITH DARK GRAY ALUMINUM & TRANSLUCENT GLASS-WHITE

[illegible]

<p>Issued For: DP RESUBMISSION #7</p> <p>Date: 2022-08-03</p>	
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<div><div><div>BI</div></div><div><p>JB GROUP ARCHITECTS (CANADA) INC. 700-225 West Beaver Street, Vancouver, BC V6E 4B1, Canada Tel: 604 833 8797 / Fax: 604 833 0492 jbgroup.com</p></div></div>	
PROJECT TITLE	
<p>Harris Green Village Phase 01 1045 Yates Street Victoria, British Columbia</p>	
PROJECT NO: 121123	
DRAWN BY: JH	
CHECKED BY: GV	
SCALE: 1 : 100	
DATE: 2022-08-03	
SHEET TITLE	
POUOH ELEVATIONS	
SHEET NUMBER	REV
A2.07	

NOISE MITIGATION TO INCLUDE 3M LINING IN EACH OF THE 4 DUCT RUNS BETWEEN THE MECHANICAL UNIT AND THE SOUTHWEST LOUVRE WITH MINIMUM 25MM THICK FIBERGLASS ACOUSTIC DUCT LINE.



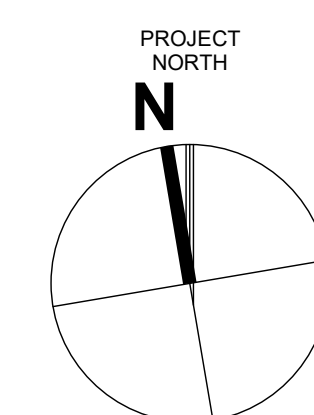


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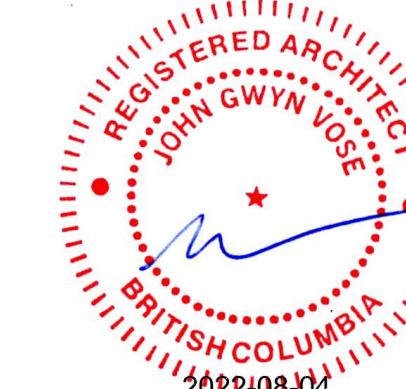
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3	2022-03-14	IFT BACKGROUND
2	2022-02-11	DP RESUBMISSION #5
1	2021-11-15	ISSUE FOR BUILDING PERMIT
NO.	DATE	DESCRIPTION
ISSUES		

NO.	DATE	DESCRIPTION
REVISIONS		



Issued For: DP RESUBMISSION #7
Date: 2022-08-03

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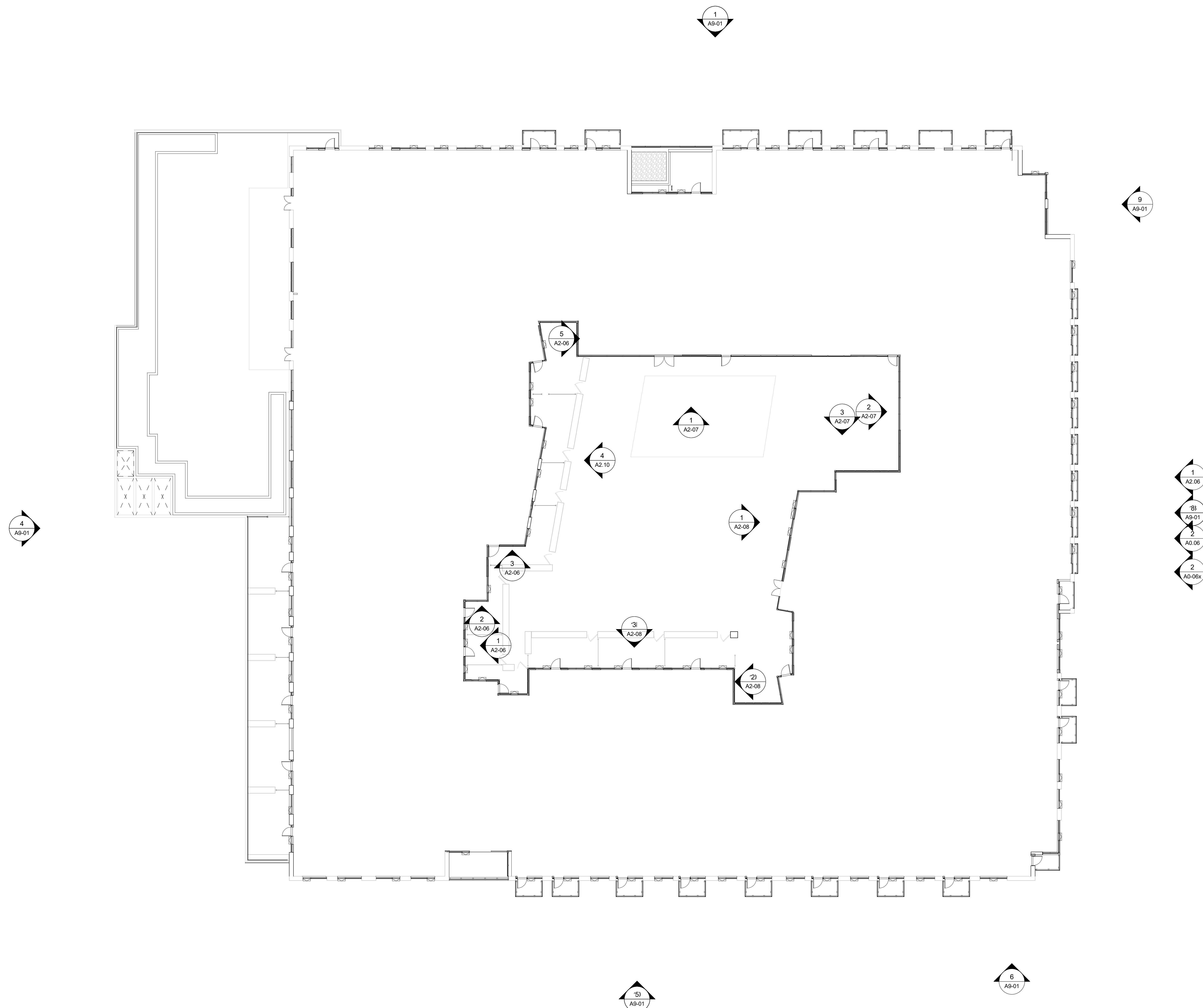


PROJECT TITLE
**Harris Green Village
Phase 01**
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHK'D BY:	GV
SCALE:	1 : 150
DATE:	2022-08-03

SHEET TITLE
COURTYARD KEY PLAN

SHEET NUMBER	REV
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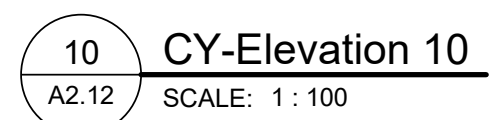
NOISE MITIGATION TO INCLUDE 3M LINING IN EACH OF THE 4 DUCT RUNS BETWEEN THE MECHANICAL UNIT AND THE SOUTHWEST LOUVRE WITH MINIMUM 25MM THICK FIBERGLASS ACOUSTIC DUCT LINE.



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2022-08-03	DP RESUBMISSION #7
2022-06-07	DP RESUBMISSION #6
2022-04-29	ISSUED FOR TENDER
2022-03-28	BP RESUBMISSION
2022-03-14	IFT BACKGROUND
2022-02-11	DP RESUBMISSION #5
2021-11-10	ISSUE FOR BUILDING PERMIT

[illegible]

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Issued For: DF RESUBMISSION #
Date: 2022-08-03

ME CONSULTANT

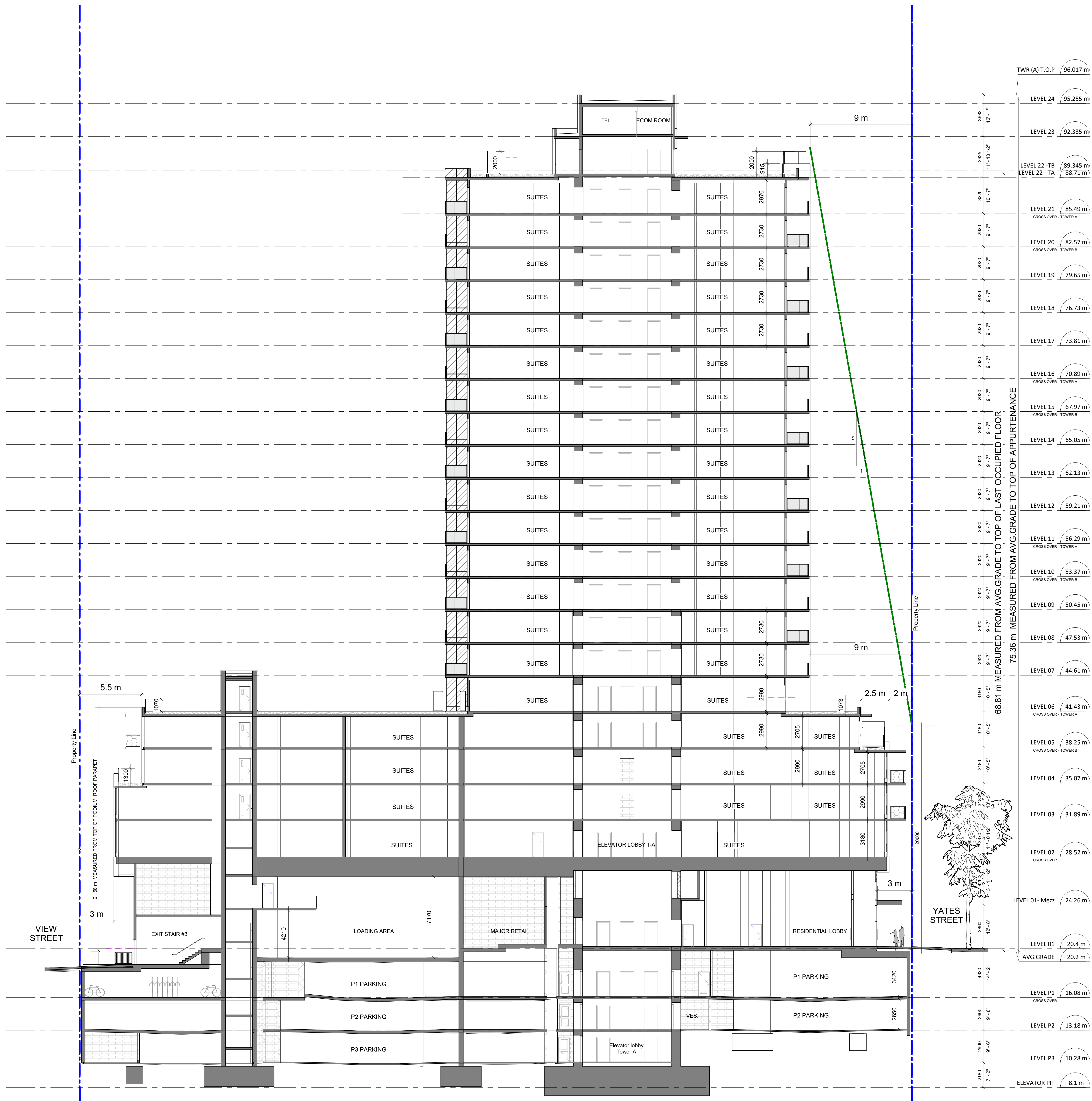
IBI GROUP
ARCHITECTS (CANADA) INC.
700-1285 West Pender Street,
Vancouver, BC V6E 4B1, Canada
tel 604 683 8797 fax 604 683 0492
ibigroup.com

PROJECT TITLE
Harris Green Village
Phase 01
1045 Yates Street
Victoria, BC

PROJECT NO:	121123
DRAWN BY:	JH
CHECKED BY:	GV
SCALE:	1 : 150
DATE:	2022-08-03

SECTION A
Power A & Podium

SHEET NUMBER A3.01	REV
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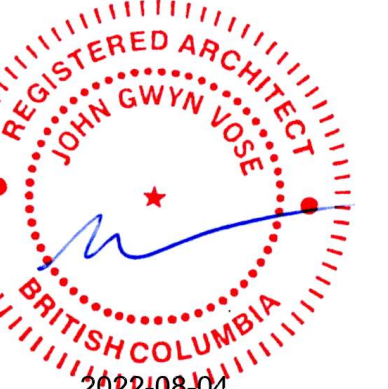
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2022-03-14	IFT BACKGROUND
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2021-11-15	ISSUE FOR BUILDING PERMIT
DATE	DESCRIPTION

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DATE	DESCRIPTION
VISIONS	

Date: 2022-08-03

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I-CONSULTANT

ME CONSULTANT



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ARCHITECTS (CANADA) INC.**
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PROJECT NO:	121123
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CHECKED BY:	GV
SCALE:	1 : 150
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SECTION D
Power B & Podium

SHEET NUMBER	REV
A3.04	

