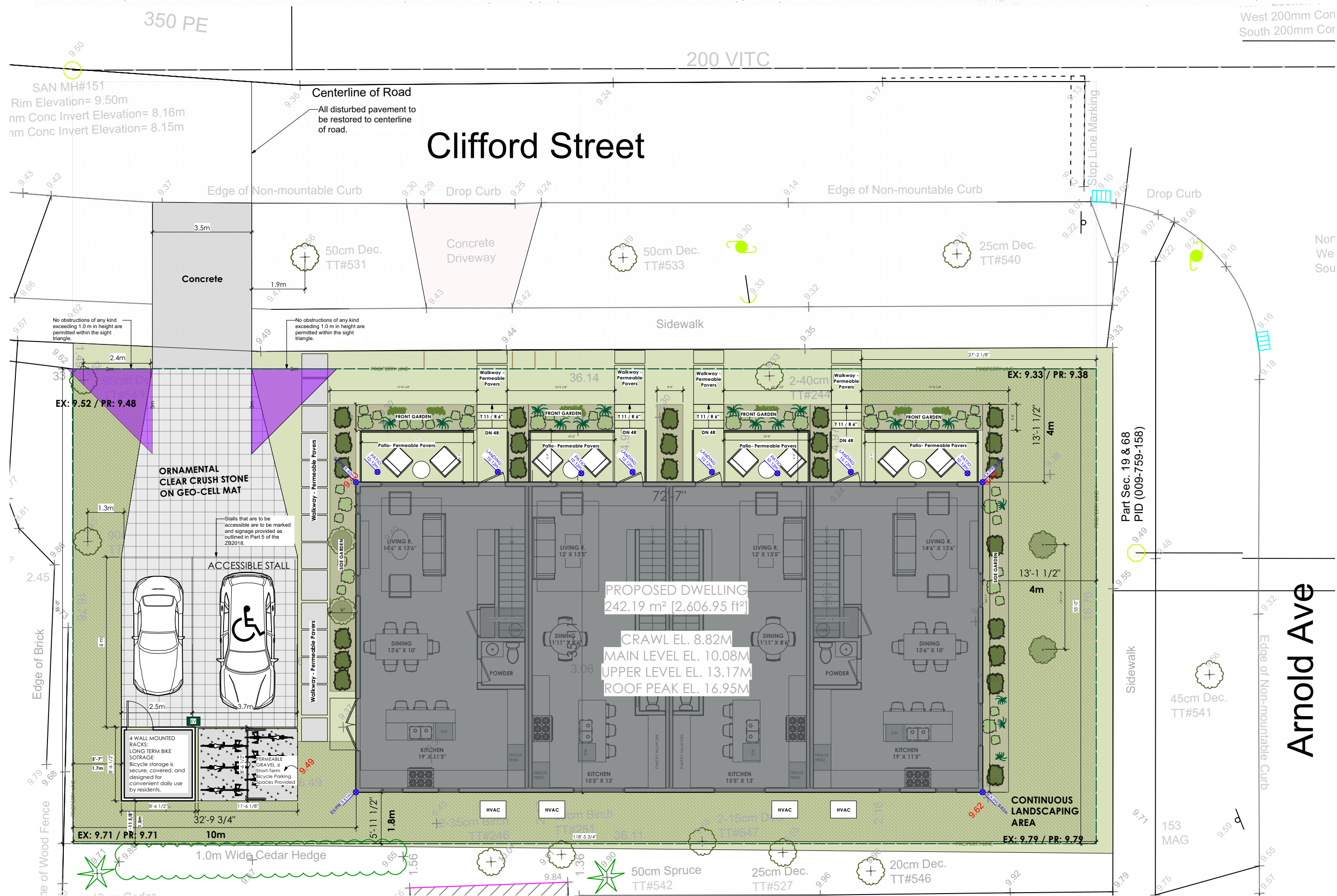




PROJECT INTRO

The proposal at 358 Arnold Ave seeks to develop a four-unit ground-oriented residential building form that advances the goals of Victoria's Official Community Plan (OCP) and Missing Middle Housing Initiative. Located within the Traditional Residential designation and currently zoned GRD-1 (PGA), this project proposes a sensitive and context-appropriate intensification that aligns with the City's housing strategy by increasing housing choice and gentle density in an established neighbourhood without compromising neighbourhood character. The four units provide diverse, family-friendly housing options in close proximity to schools, transit, services, and active transportation networks, supporting local sustainability and community vibrancy. The design generally complies with the applicable zoning regulations, with variances requested for the rear setback and parking, and incorporates quality urban design and landscaping to enhance the public realm and minimize impacts on adjacent properties. This proposal responds directly to Council's direction to facilitate multiplex (3-6 unit) forms on traditional residential lots, and to streamline approvals where design targets and zoning standards are met, ensuring expedient delivery of much-needed housing in Victoria.

SITE CONTEXT



DIVISION 1 General Requirements

All construction shall conform to the requirements of Div B, Part 9 of the British Columbia Building Code 2024.

The contractor or owner shall obtain all permits, licenses, and certificates and pay all necessary fees for the performance of the work. The contractor shall give all required notices and comply with all laws, ordinances, rules, regulations, codes and orders of all authorities having jurisdiction relating to the work, to the preservation of public health and construction safety which are or become in force during the performance of the work.

Building contractor will verify all dimensions prior to commencing the work. Written dimensions will take precedence over scaled dimensions. Any discrepancies will be referred to the designers for clarification. Discrepancies not referred become the responsibility of the contractor..

Item	Detail
Civic Address	358 Arnold Ave, Victoria, BC
Parcel Identifier (PID)	000-482-307 (per public records)
Current Zoning	GRD-1 (PGA) General Residential District (Priority Growth Area)
Official Community Plan (OCP) Designation	Traditional Residential (confirm with VicMap/City planner)
Existing Use	Vacant lot
Lot Area	Approx. 6,490 sq ft (0.15 ac)
Site Orientation / Neighbourhood	Fairfield West (residential)

B. Lot Coverage and Open Space			
	Buildings with less than three Dwelling Units	Heritage Conserving Infill	For Buildings 3 Stories or less with three or more Dwelling Units
a. Lot Coverage - Maximum	40%	50%	45%
b. Open Lot Space - Minimum	30%	30%	30%
c. Landscape Area - Minimum	35m²	35m²	10% of Lot Area

Project Address: 358 Arnold St, Victoria, BC Zoning: GRD-1 (PGA) - General Residential District (Priority Growth Area)			
Description	Area (sq ft)	Area (m²)	% of Lot
Principal Building (Townhouse)	2,606.95	242.19	40.20%
Accessory Building (Bike Storage)	72.94	6.78	1.10%
Total Site Coverage	2,679.89	248.97	41.30%

ITEM	ALLOWABLE	PROPOSED
Height - Maximum - subject to subsection c.	12.0m	7.48 m [24.54']
Front Lot Line Setback - Minimum	4.0m	4.0m
Side Lot Line Setback - Minimum	4.0m (Primary Facade) 1.5m (all other façades)	10m (Primary) 1.7m (acstry)
Rear Lot Line Setback - Minimum	5.0m	1.8m
Flanking Street Lot Line Setback - Minimum	2.0m	4.0m
Parking Requirement	3 stalls required	2 stalls proposed

Item	Detail
Total Building Floors	2 stories
Main / Second Floor Area	242.19 m² per floor (2,606.95 ft²)
Unit A & D: Main Floor	66.7 m² [718 ft²]
Unit A & D: 2nd Floor	66.7 m² [718 ft²]
Unit B & C: Main Floor	54.3 m² [585 ft²]
Unit B & C: 2nd Floor	54.3 m² [585 ft²]
Total GFA	484.38 m² (5,213.9 ft²)
Floor Area Ratio (FAR)	0.8

Project Address: 358 Arnold Ave, Victoria, BC. Zoning: GRD-1 (PGA) - General Residential District (Property Growth Area)			Description: LANDSCAPE AREAS	Area (sq ft)	% of Lot
			Soft Landscaping (Planting + Grass)	2,391.89	36.90%
			Hard Landscaping (Pavers, Gravel, Walkways)	1,418.22	21.90%
			Description: SITE AREAS	Area (sq ft)	% of Lot
			Lot Area	6,490.00	100.00%
			Principal Building	2,606.95	40.20%
			Accessory Building (Bike Storage)	72.94	1.10%
			Total Site Coverage	2,679.89	41.30%
			Open Site Space	3,810.11	58.70%
			Landscape Type	Area (sq ft)	
			Planting Beds	449.75	
			Grass (Total)	1,942.14	
			Contiguous Grass Area	1,627.49	
			Other Grass Areas	314.65	
			Permeable Walkways / Patios	600.12	
			Permeable Paver Driveway	749.78	
			Gravel Short-Term Bike Area	68.32	

Corner	Existing / Proposed Grade Elevation
Northwest (Top Left)	9.40 m
Northeast (Top Right)	9.35 m
Southwest (Bottom Left)	9.51 m
Southeast (Bottom Right)	9.62 m
Total	37.88 m
Average Grade (37.88 ÷ 4)	9.47 m

INDEX:
A 100: INTRO
A 101: SITE PLAN
A 102: LANDSCAPE PLAN
A 103: EXTERIOR ELEVATIONS
A 104: EXTERIOR ELEVATIONS
A 105: FLOOR PLANS
A 106: BUILDING SECTIONAL ELEVATIONS
A 107: ASSEMBLIES
A 108: DETAILS 1
A 109: DETAILS 2



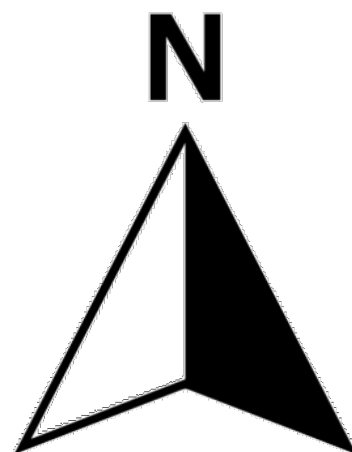
Emily Anne
CUELL DESIGN

PROJECT
358 ARNOLD AVE

358 Arnold Ave Victoria, BC V8S 3L7

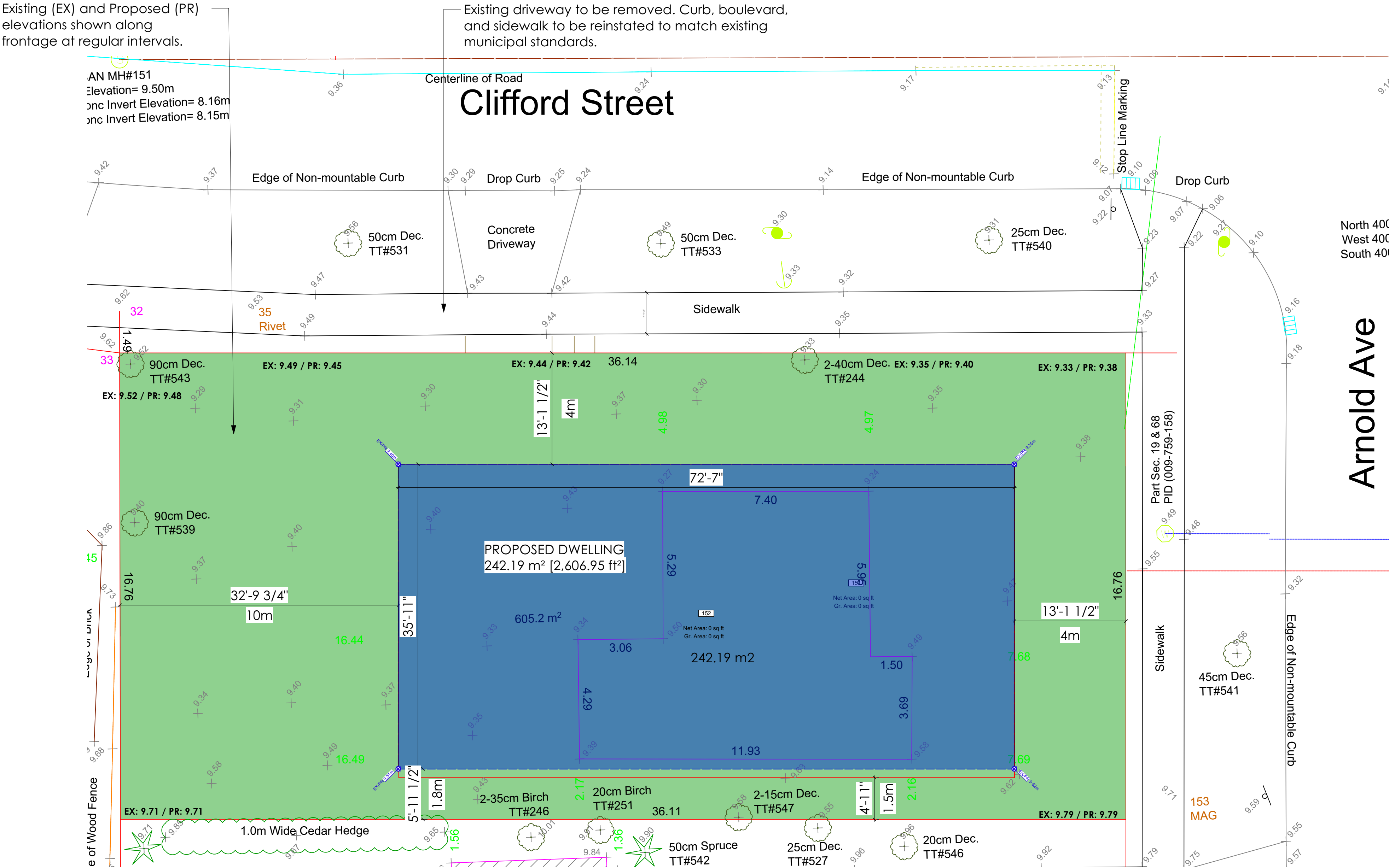
DATE:	2024-08-10
DRAWN BY:	CUELL DESIGN 250.858.5504
SCALE	AS NOTED
ISSUED FOR:	Issued for Delegated Development Permit (DDP)
ISSUED FOR:	
REVISION #:	
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DRAWING TITLE:
INTRO

A 100





NEIGHBOURHOOD CONTEXT



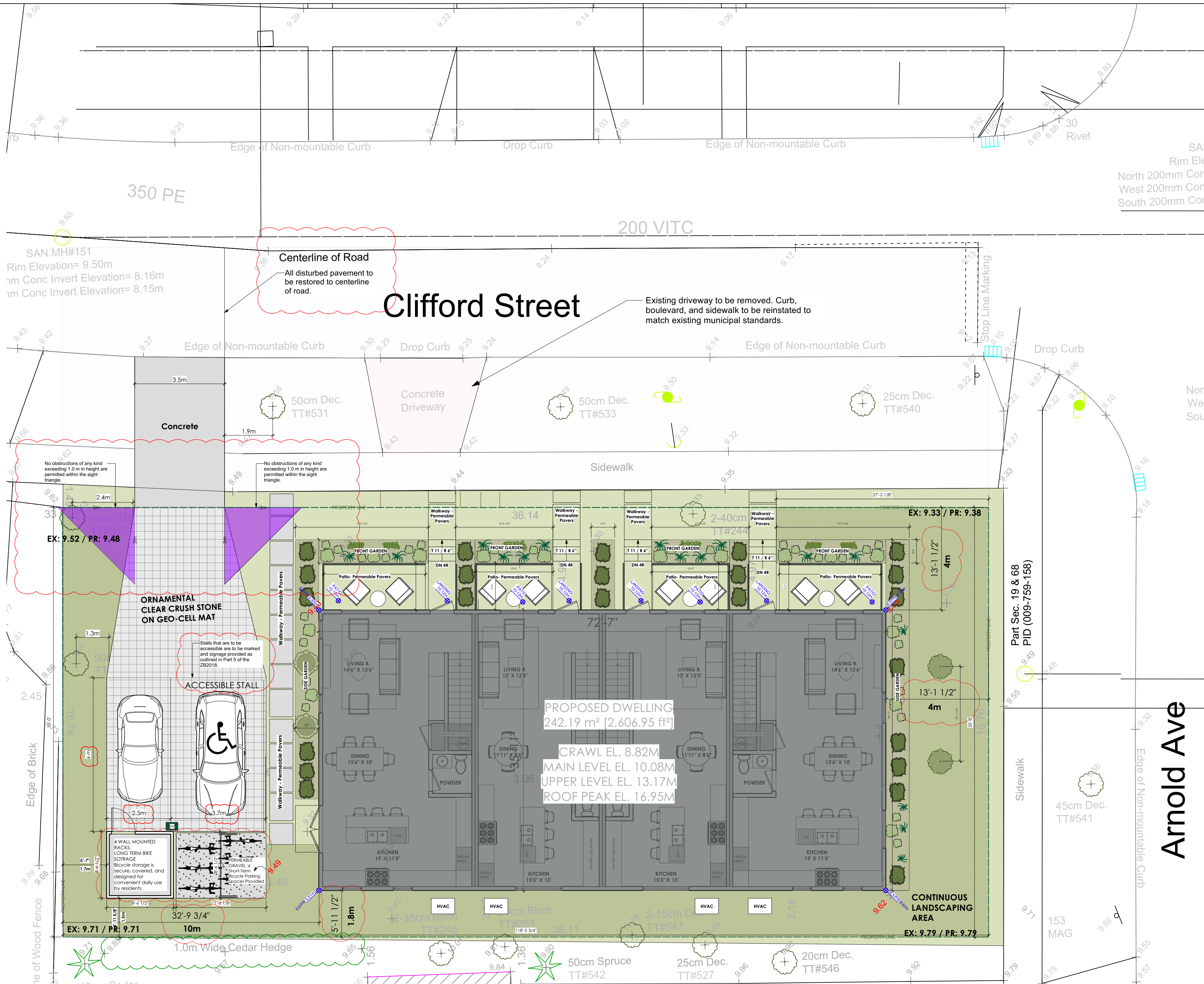
EXISTING STREET FRONTAGE: CORNER OF ARNOLD & CLIFFORD



EXISTING STREET FRONTAGE: ARNOLD AVENUE



EXISTING STREET FRONTAGE: NEIGHBOURING PROPERTY ON CLIFFORD



LANDSCAPE PLAN

Scale: 1/8" = 1'-0"

SHOWN ON PLANS

4. Please show the parking stall dimensions on all plans. These are to follow Schedule C of the Zoning bylaw.

5. Please include the 3m X 3m sight triangle at the driveway as per our highway access bylaw on all drawing sets Please add a note stating "no obstructions of any kind exceeding 1 m in height are allowed within these areas"

PLANT LEGEND

- Dwarf Japanese Maple ('Sango Kaku' narrow form)
- Magnolia x brooklynensis
- Cedar hedge tree Thuja occidentalis 'Degroot's Spire'
- English Boxwood 'Buxus sempervirens'
- English Lavender (Lavandula angustifolia)
- Oak Sage (Salvia chamaedryoides)
- Dwarf Fountain Grass (Pennisetum alopecuroides 'Little Bunny' / 'Moudry')

PERMEABLE | WALKWAYS



PERMEABLE | PATIO



ORNAMENTAL CLEAR CRUSH STONE



Project Address: 358 Arnold Ave, Victoria, BC.
Zoning: GRD-1 (PGA) - General Residential District (Property Growth Area)

Description: SITE AREAS	Area (sq ft)	% of Lot
Lot Area	6,490.00	100.00%
Principal Building	2,606.95	40.20%
Accessory Building (Bike Storage)	72.94	1.10%
Total Site Coverage	2,679.89	41.30%
Open Site Space	3,810.11	58.70%

Description: LANDSCAPE AREAS	Area (sq ft)	% of Lot
Soft Landscaping (Planting + Grass)	2,391.89	36.90%
Hard Landscaping (Pavers, Gravel, Walkways)	1,418.22	21.90%
Landscape Type		Area (sq ft)
Planting Beds	449.75	
Grass (Total)	1,942.14	
Contiguous Grass Area	1,627.49	
Other Grass Areas	314.65	
Permeable Walkways / Patios	600.12	
Permeable Paver Driveway	749.78	
Gravel Short-Term Bike Area	68.32	

GENERAL NOTES:
All areas measured to exterior face of walls.
Site coverage includes all roofed structures, including accessory buildings.
Hard landscaping includes permeable pavers, gravel, and walkways.
Soft landscaping includes all planted and grassed areas. Contiguous landscape area is a single contiguous area with no paving, structures, or underground encroachments within 1.0 m.
All zoning data prepared in accordance with City requirements for GRD-1 (PGA).

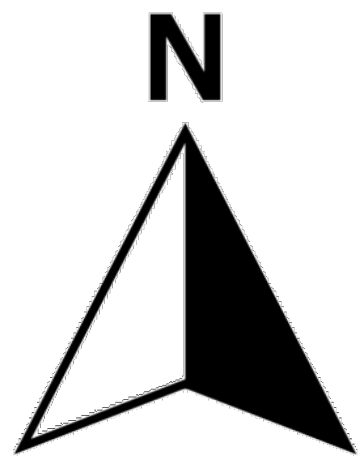
Emily Anne
CUELL DESIGN

PROJECT
358 ARNOLD AVE

358 Arnold Ave Victoria, BC V8S 3L7

DATE:	2024-08-10
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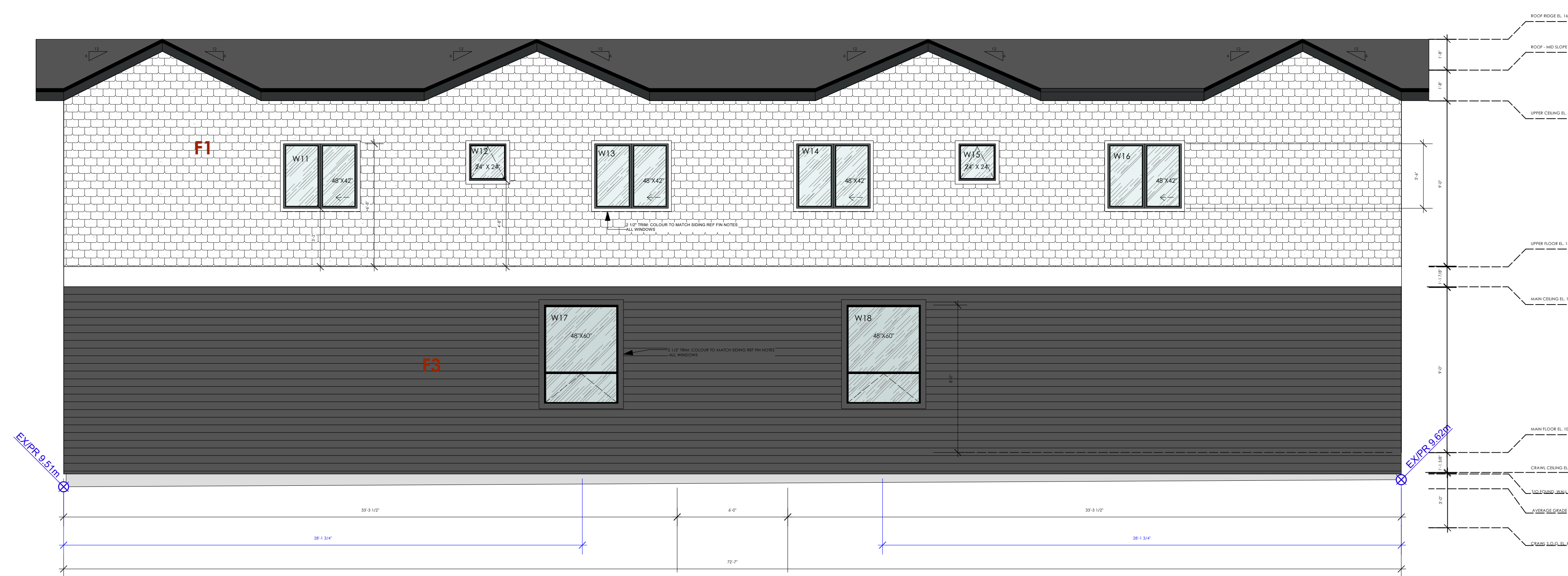
DRAWING TITLE:

LANDSCAPE PLAN

A 102



1 FRONT ELEVATION
Scale: 1/4" = 1'-0"



2 REAR ELEVATION
Scale: 1/4" = 1'-0"

EXTERIOR FINISH SCHEDULE:

F1: Hardie Shingle Siding.
Smooth.
Painted: BM-White Dove OC-17

F2: Paint Grade Exterior Siding.
Colour: BM-Kendall Charcoal
HC-166

F3: Hardie Plank Lap Siding.
Smooth.
Painted: BM-Kendall Charcoal
HC-166

Window Trim: All exterior window
painted to match siding.
Where BM-OC 17 to match.
Where BM-OC-166 to match.

BELLY BAND: Painted: BM-White
Dove OC-17

WINDOW SCHEDULE [FRONT]			WINDOW SCHEDULE [REAR]		
W1	60"x60"	FIXED/SIDER	W11	48"x42"	FIXED/SIDER
W2	30"x48"	UPPER AWNING	W12	24"x24"	AWNING
W3	60"x60"	FIXED/SIDER	W13	48"x42"	FIXED/SIDER
W4	60"x60"	FIXED/SIDER	W14	48"x42"	FIXED/SIDER
W5	30"x48"	UPPER AWNING	W15	24"x24"	AWNING
W6	60"x60"	FIXED/SIDER	W16	48"x42"	FIXED/SIDER
W7	60"x60"	FIXED/SIDER	W17	48"x60"	LOWER AWNING
W8	60"x60"	FIXED/SIDER	W18	48"x60"	LOWER AWNING
W9	60"x60"	FIXED/SIDER			
W10	60"x60"	FIXED/SIDER			

17. Provide spatial separation
calculations for rear elevation
showing compliance with
BCBC.

Spatial Separation – Rear Elevation:

Window Type	Quantity	Size	Area Each	Total Glazing Area
Main Floor Kitchen Windows	2	48" x 60"	20.00 sq. ft.	40.00 sq. ft.
Upper Floor Windows	2	24" x 24"	4.00 sq. ft.	8.00 sq. ft.
Upper Floor Windows	4	48" x 42"	14.00 sq. ft.	56.00 sq. ft.
TOTAL GLAZING	8	—	—	104.00 sq. ft.

Calculation	Result	REAR EXPOSING BUILDING FACE – SPATIAL SEPARATION Net Exposing Building Face Area: 1,531.295 sq. ft. Limiting Distance: 1.8 m Maximum Permitted Glazed Openings: 7.00% = 107.19 sq. ft. Proposed Glazed Openings: 104.00 sq. ft. Proposed Glazing: 6.79% — COMPLIES
Net Rear Exposing Building Face Area	1,531.295 sq. ft.	
Maximum Permitted Glazing	7.00%	
Maximum Permitted Glazing	107.19 sq. ft.	
Proposed Glazing Area	104.00 sq. ft.	
Proposed Glazing Percentage	6.79%	
Remaining Allowable Glazing	3.19 sq. ft.	
Limiting Distance	1.8 m	

ALL WINDOWS ON SECOND STORY HAVE BEEN ADJUSTED TO COMPLY W/
7. Demonstrate compliance with BCBC 9.8.8.1.(4)/(5) for the openable windows on the
second storey. As shown, the windows on second storey appear to have sill heights
below 900?mm. Openable windows in buildings of residential occupancy shall be
protected by a guard, or a mechanism that can only be released with the use of tools or
special knowledge to control the free swinging or sliding operation of the openable part of
the window so as to limit any clear unobstructed opening to not more than 100 mm
measured either vertically or horizontally where the bottom edge of the openable portion
of the window is located less than 900 mm above the finished floor. Make sure all
required egress windows on the upper levels comply with BCBC 9.9. egress from
bedroom windows. Restrictors are not permitted on required egress windows.

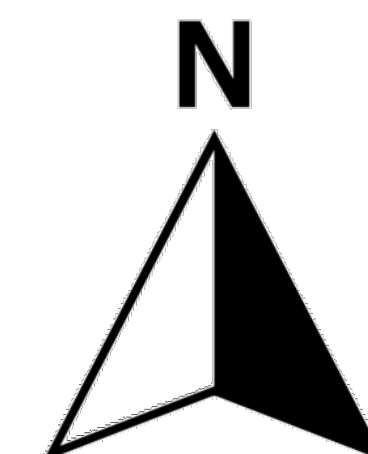
Emily Anne
CUELL DESIGN

PROJECT
358 ARNOLD AVE

358 Arnold Ave Victoria, BC V8S 3L7

DATE: 2026-08-10
DRAWN BY: CUELL DESIGN 250.858.5504
SCALE: AS NOTED
ISSUED FOR: Issued for Delegated
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performed.



DRAWING TITLE:

**EXTERIOR
ELEVATIONS**

A 103



1 EAST | ELEVATION
Scale: 1/4" = 1'-0"



2 WEST ELEVATION
Scale: 1/4" = 1'-0"

SPATIAL SEPARATION CALCULATIONS
BCBC 2024 TABLE 9.10.15.4.
AREA OF EXPOSED BUILDING FACE 793.16 SF / 73.69 SM
LIMITING DISTANCE 32.81' / 10.03M
UNPROTECTED OPENINGS ALLOWED 40% - 317.26 SF / 29.46 SM
UNPROTECTED OPENINGS PROPOSED 7% - 60.66 SF / 5.64 SM

EXTERIOR FINISH SCHEDULE:

F1: Hardie Shingle Siding.
Smooth.
Painted: BM-White Dove OC-17

F2: Paint Grade Exterior Siding.
Colour: BM-Kendall Charcoal
HC-166

F3: Hardie Plank Lap Siding.
Smooth.
Painted: BM-Kendall Charcoal
HC-166

Window Trim: All exterior window
painted to match siding.
Where BM-OC 17 to match.
Where BM-OC-166 to match.

BELLY BAND: Painted: BM-White
Dove OC-17

WINDOW SCHEDULE [EAST]			WINDOW SCHEDULE [WEST]		
W19	24"X36"	LOWER AWNING	W23	60"X36"	FIXED/SLIDER
W20	60"X36"	FIXED/SLIDER	W24	24"X36"	LOWER AWNING
W21	60"X60"	FIXED/SLIDER	W25	48"X60"	FIXED
W22	48"X60"	FIXED	W26	60"X60"	FIXED/SLIDER

Description	Elevation / Requirement	Value
Roof Type		Pitched Roof (6:12)
Maximum Permitted Building Height		12.00 m
Average Grade Elevation		9.47 m
Proposed Roof Ridge Elevation		16.95 m
Proposed Building Height (Roof Ridge - Average Grade)	16.95 - 9.47	7.48 m
Remaining Allowable Height	12.00 - 7.48	4.52 m
Compliance		COMPLIES ✓

Building Element	Elevation
Roof Ridge	16.95 m
Mid Roof	16.43 m
Upper Ceiling	15.91 m
Upper Floor	13.17 m
Main Ceiling	12.82 m
Main Floor	10.08 m
Top of Foundation Wall	9.71 m
Crawl Ceiling	9.74 m
Average Grade	9.47 m
Crawl Slab (S.O.G.)	8.82 m

ALL WINDOWS ON SECOND STORY HAVE BEEN ADJUSTED TO COMPLY W/ 7. Demonstrate compliance with BCBC 9.8.8.1.(4)/(5) for the openable windows on the second storey. As shown, the windows on second storey appear to have sill heights below 900mm. Openable windows in buildings of residential occupancy shall be protected by a guard, or a mechanism that can only be released with the use of tools or special knowledge to control the free swinging or sliding operation of the openable part of the window so as to limit any clear unobstructed opening to not more than 100 mm measured either vertically or horizontally where the bottom edge of the openable portion of the window is located less than 900 mm above the finished floor. Make sure all required egress windows on the upper levels comply with BCBC 9.9. egress from bedroom windows. Restrictors are not permitted on required egress windows.

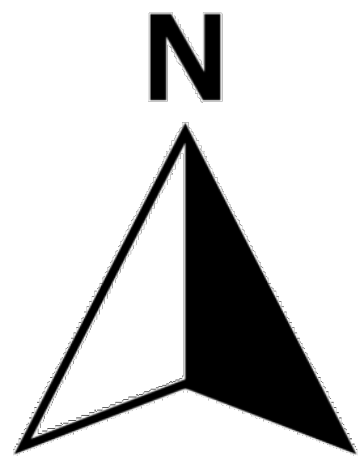
Emily Anne
CUELL DESIGN

PROJECT
358 ARNOLD AVE

358 Arnold Ave Victoria, BC V8S 3L7

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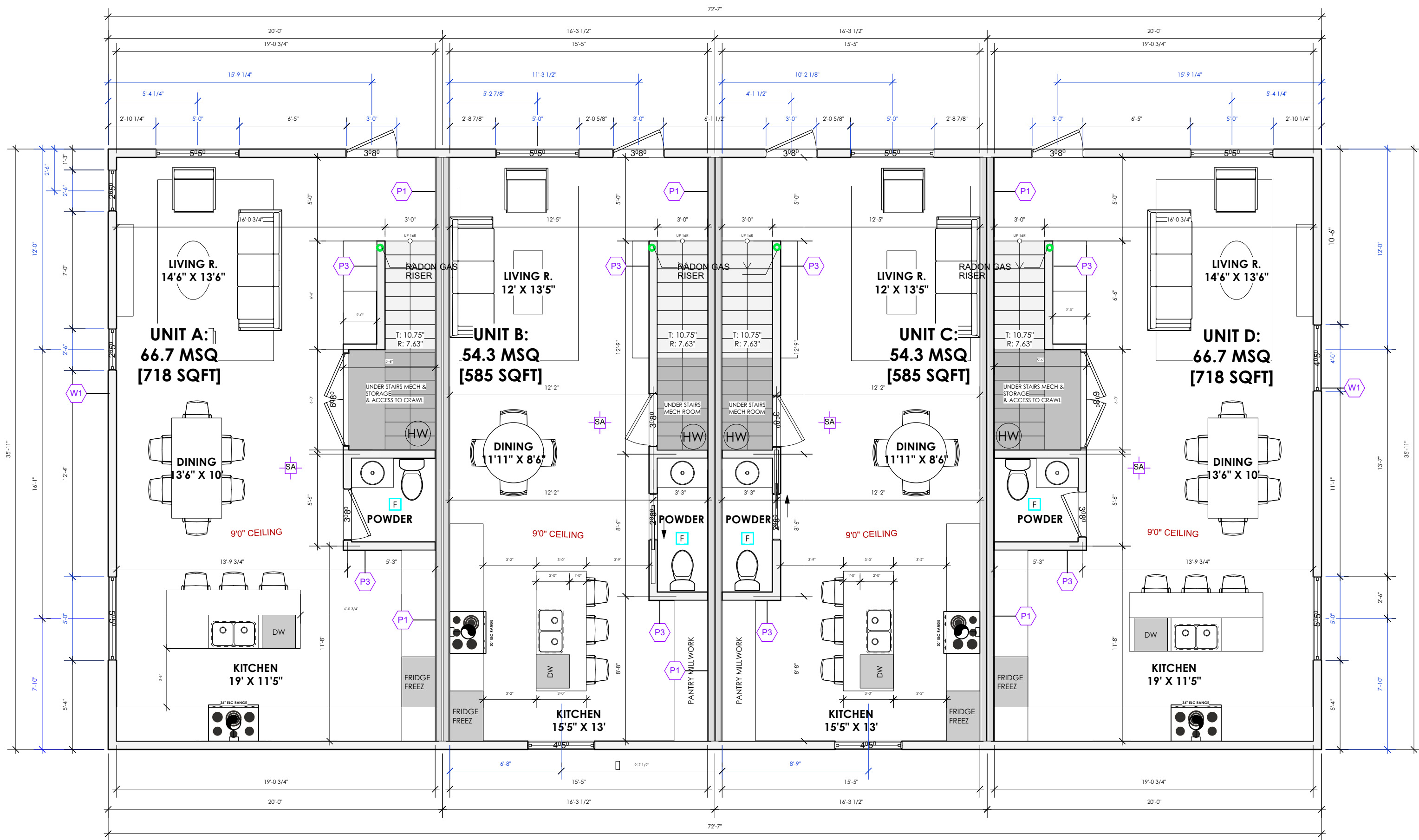
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DRAWING TITLE:

EXTERIOR
ELEVATIONS

A 104



1 MAIN FLOOR PLAN
Scale: 3/16" = 1'-0"

GENERAL NOTES:

- ALL WORK TO CONFORM TO 2024 BRITISH COLUMBIA BUILDING CODE AND ALL OTHER APPLICABLE CODES, BYLAWS AND STANDARDS.
- ALL DIMENSIONS ARE IN IMPERIAL (FEET & INCHES) UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE OF CONCRETE, FACE OF SHEATHING, CENTERLINE OF STUD, CENTERLINE OF DOORS AND WINDOWS, AND TO FACE OF ANY OTHER STRUCTURAL ELEMENT NOT LISTED.
- PRIOR TO COMMENCEMENT OF WORK, CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND INFORM COORDINATING REGISTERED PROFESSIONAL OF ANY DISCREPANCIES PRIOR TO UNDERTAKING THE PORTION OF WORK WHICH IS IN REFERENCE TO ANY DISCREPANCY.
- DO NOT SCALE THESE DRAWINGS OR DIGITAL FILES. CUELL DESIGN IS NOT RESPONSIBLE FOR ISSUES THAT ARISE FROM A FAILURE TO COMPLY. HARD COPY DRAWINGS ARE THE OFFICIAL DOCUMENTS FOR THE PROJECT AND TAKE PRECEDENCE OVER DIGITAL FILES.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL SPECIFICATIONS, STRUCTURAL DRAWINGS AND SPECIFICATIONS, MECHANICAL DRAWINGS AND SPECIFICATIONS, ELECTRICAL DRAWINGS AND SPECIFICATIONS, CIVIL DRAWINGS AND SPECIFICATIONS, LANDSCAPE DRAWINGS AND SPECIFICATIONS, INTERIOR DESIGN DRAWINGS AND SPECIFICATIONS AND ANY OTHER CONSULTANT DEEMED PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- THE INFORMATION ON THESE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PROJECT OR WORKS. THE INFORMATION ON THESE DRAWINGS APPLIES SOLELY TO THIS PROJECT.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS, BYLAW APPROVALS, AND OBSERVE ALL REQUIRED SAFETY REGULATIONS THROUGHOUT THE COURSE OF CONSTRUCTION
- PENETRATIONS THROUGH FIRE SEPARATIONS ARE TO BE SEALED WITH A LISTED ULC FIRESTOP ASSEMBLY.
- IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.
- ALL EXIT DOORS TO BE 3'-0" x 6'-8" AND EQUIPPED WITH AN AUTOMATIC DOOR CLOSURE.

- Smoke alarms to be hardwired and interconnected
- Fire separations and assemblies as noted
- STC ratings to meet BCBC 9.11
- All dimensions to be verified on site

ADAPTABLE DWELLING UNITS (UNITS A & D)

Units A and D are designed in accordance with the adaptable housing provisions of the 2024 BC Building Code.

- Minimum 915 mm (36") door widths provided at principal entry and key interior doors
- Main floor includes living space, kitchen, and bathroom suitable for future adaptation
- Bathrooms include reinforced walls for future grab bar installation and clear floor space
- Circulation designed to accommodate future accessibility modifications
- Stair configuration designed to allow future installation of accessibility devices

All dimensions and layouts to comply with BCBC adaptable dwelling requirements.

ALL DOOR SIZES HAVE BEEN ADDED TO PLANS:
6. Dimension the width and height of all the new door showing compliance with BCBC 9.5.5.1.

Mechanical equipment (HRV, HWT, etc.) to be located in mechanical room. Final layout by mechanical contractor.

UPPER FLOOR MAIN BATH OF EACH UNIT:

8. As the building permit application was submitted after March 10, 2025, the project must comply with the Adaptable Dwelling Unit provisions outlined in the 2024 BC Building Code. Show compliance with BCBC 3.8.5.1.(2) Buildings described in Clause 3.8.2.1.(1)(a) including secondary suites and all other dwelling units to which this Section applies shall, as required by Sections 3.7. and 9.31., provide at least one bathroom with walls reinforced in accordance with Clause 3.8.5.7.(1)(e).

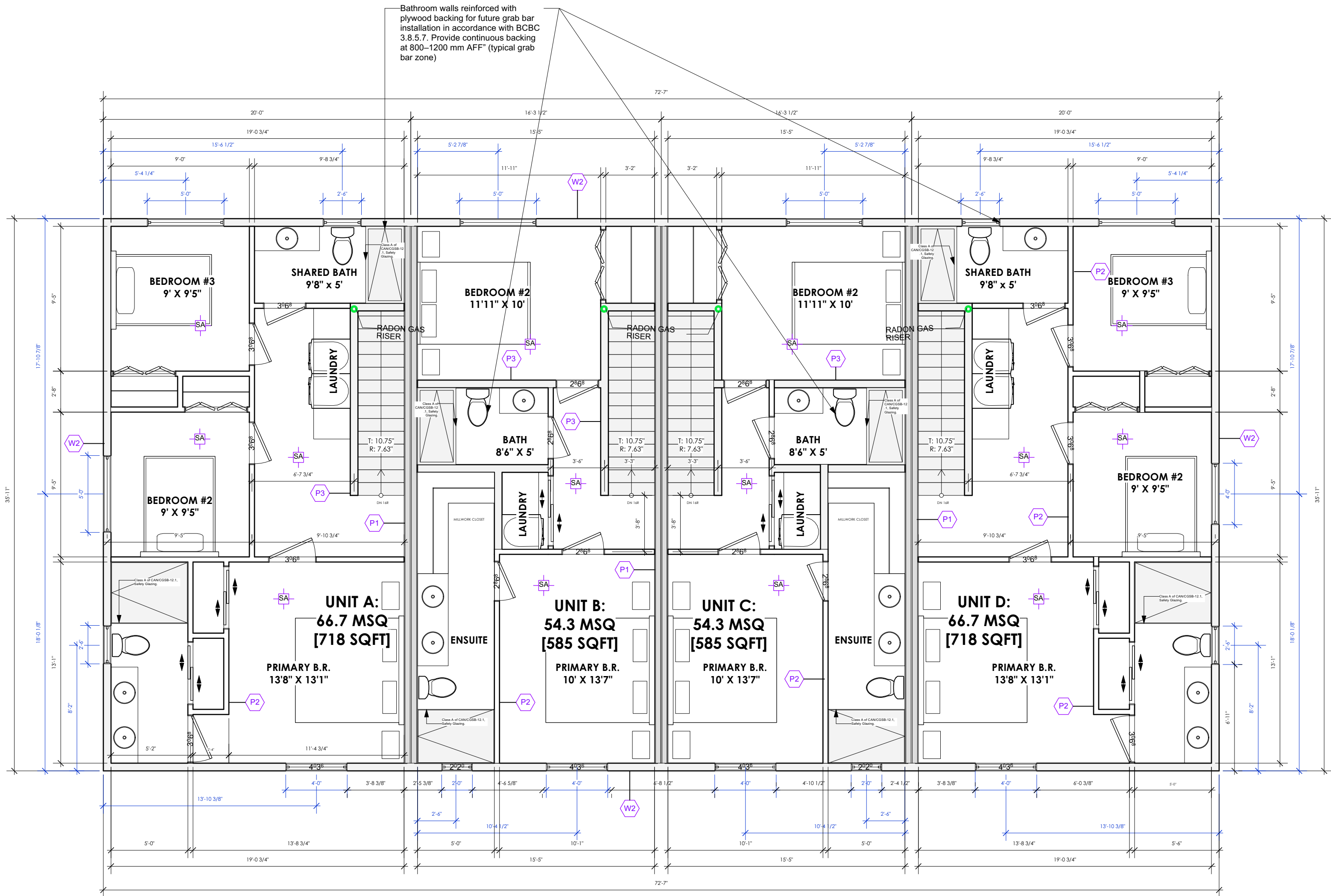
SHOWN ON PLANS

Smoke alarms shall be installed in each bedroom, in hallways serving sleeping areas, and on each storey, and shall be interconnected and hardwired with battery backup in accordance with BC Building Code BCBC 9.10.19.3.

Carbon monoxide alarms shall be provided in accordance with BC Building Code requirements.

SHOWN ON PLANS IN ALL BATHROOMS.

19. Show compliance with BCBC 9.7.1.4.(4), which requires that glazing used for a shower or bathtub enclosure conform to Class A of CAN/CGSB-12.1, "Safety Glazing." Ensure this is indicated for the upper-level window beside the showers.



2 UPPER FLOOR PLAN
Scale: 3/16" = 1'-0"

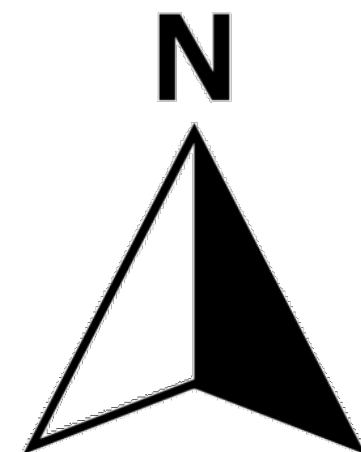
Emily Anne
CUELL DESIGN

PROJECT
358 ARNOLD AVE

358 Arnold Ave Victoria, BC V8S 3L7

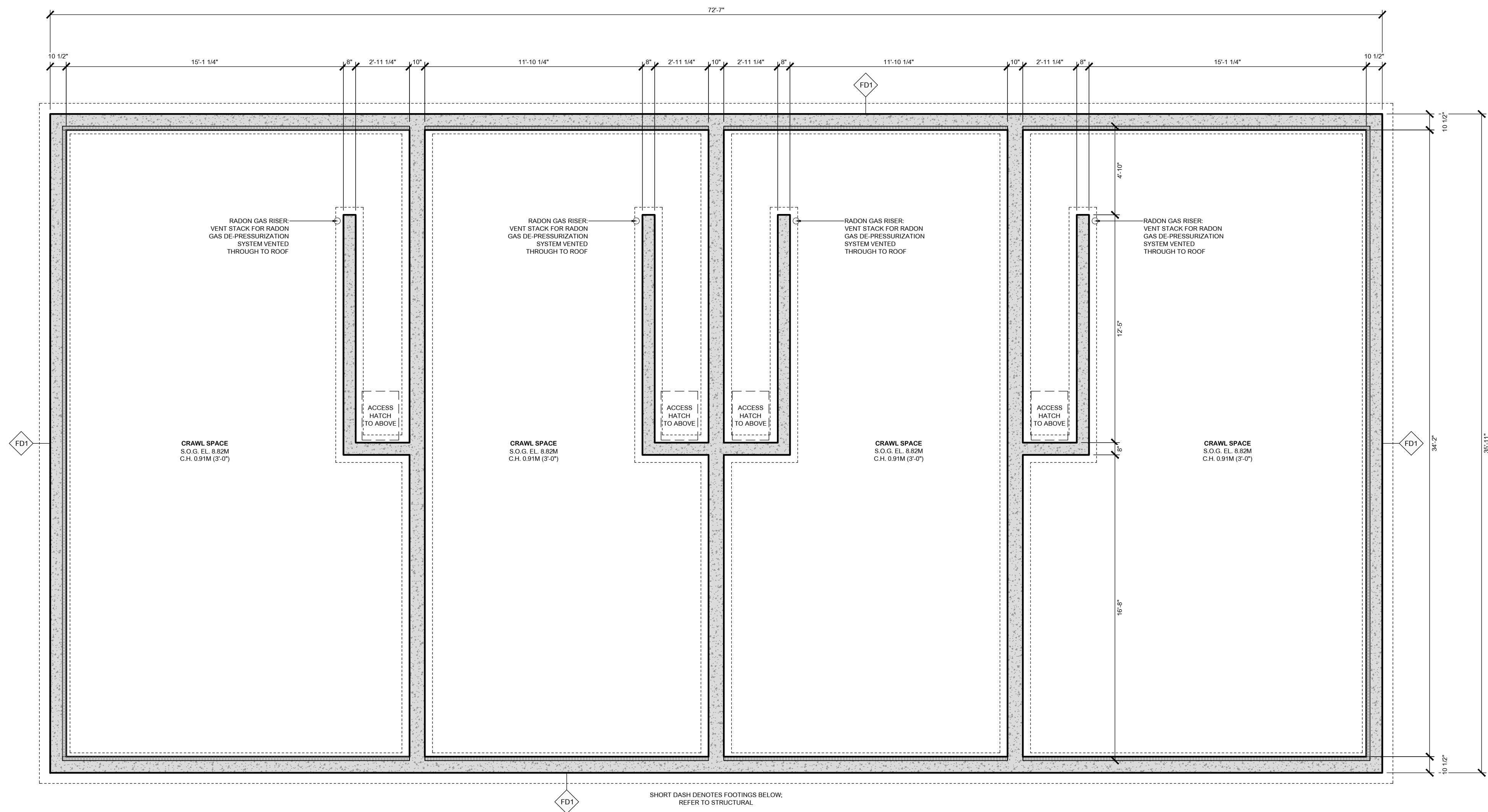
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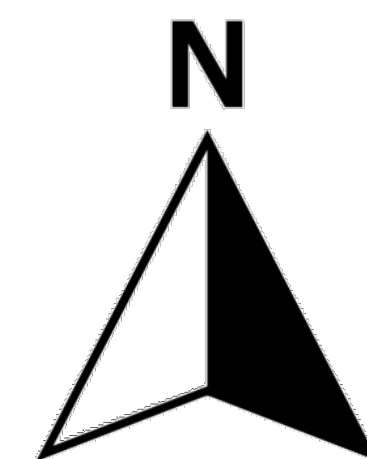


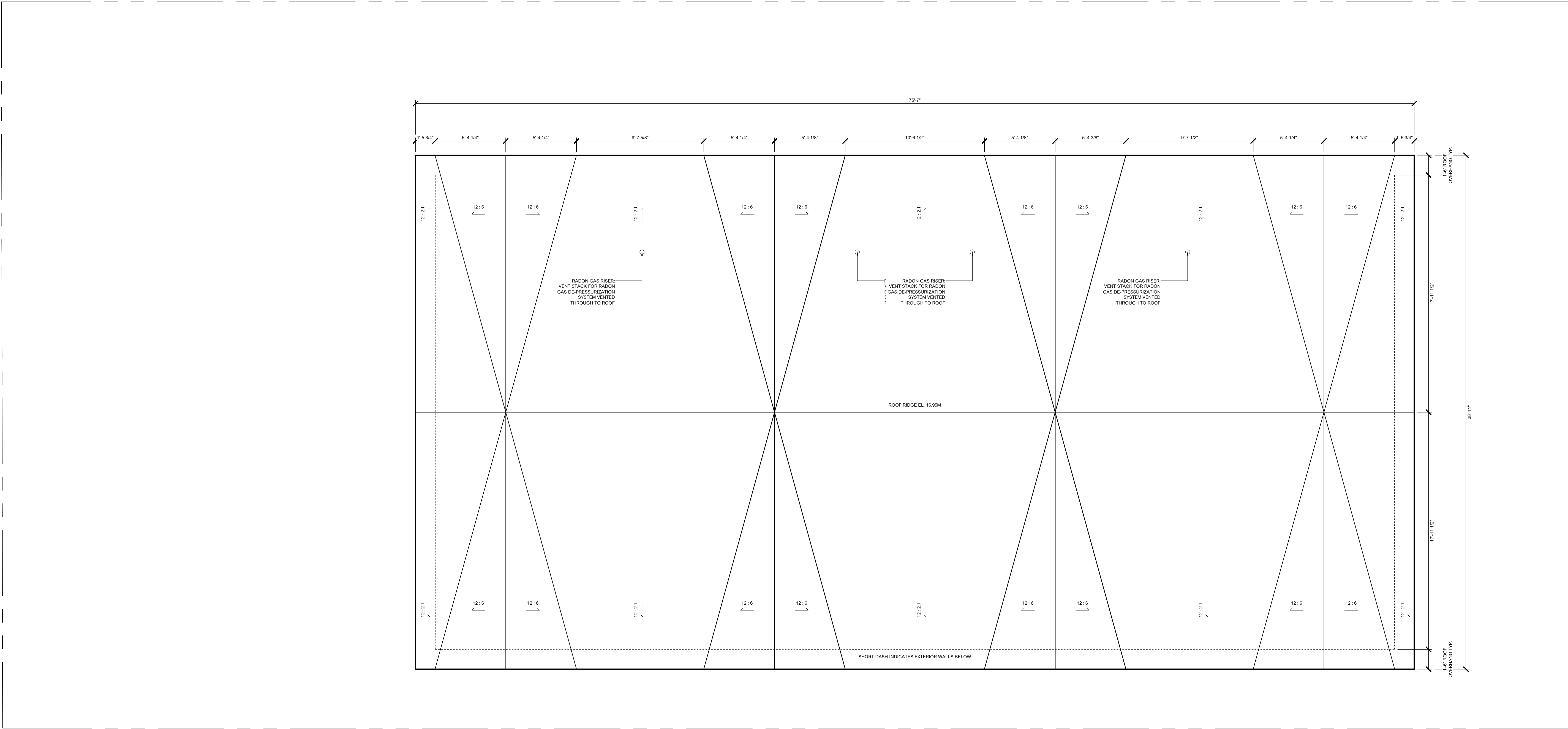
DRAWING TITLE:
FLOOR PLANS

A 105



1 **CRAWL SPACE PLAN**
Scale: 1/4" = 1'-0"

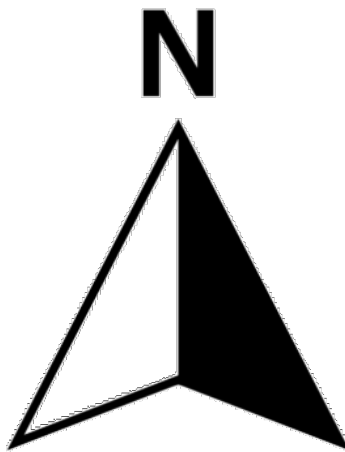


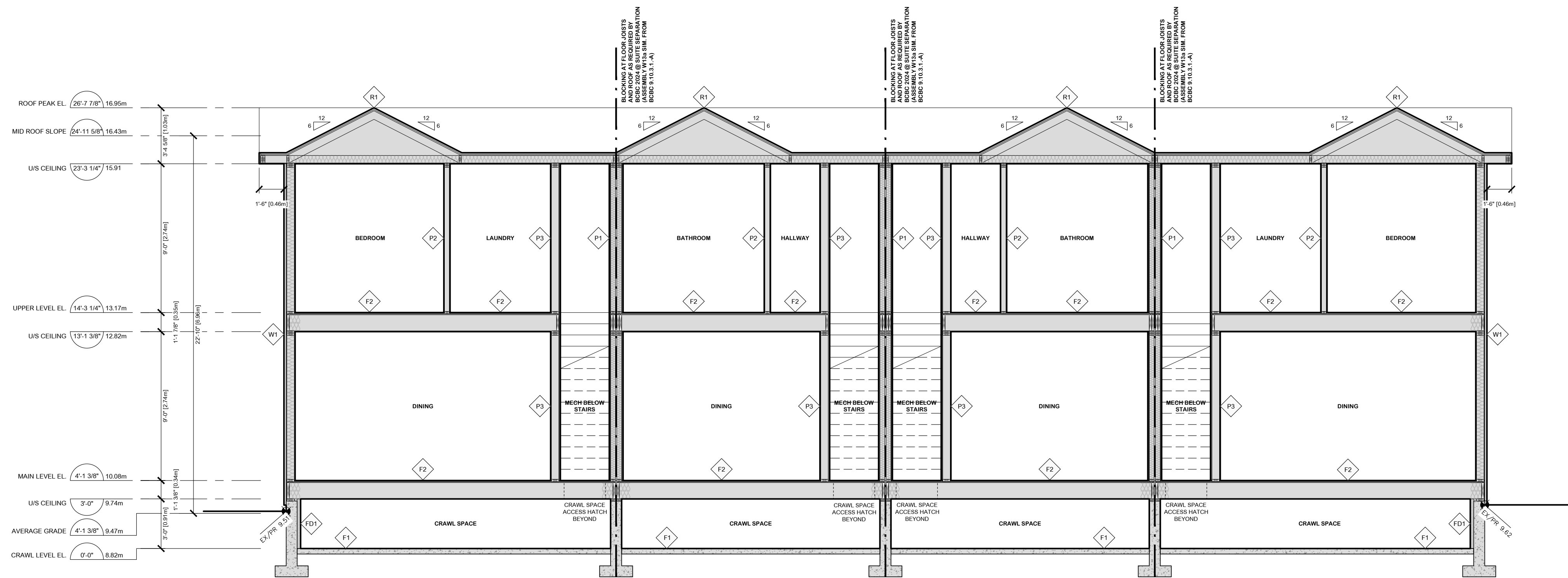


1 ROOF PLAN
Scale: 1/4" = 1'-0"

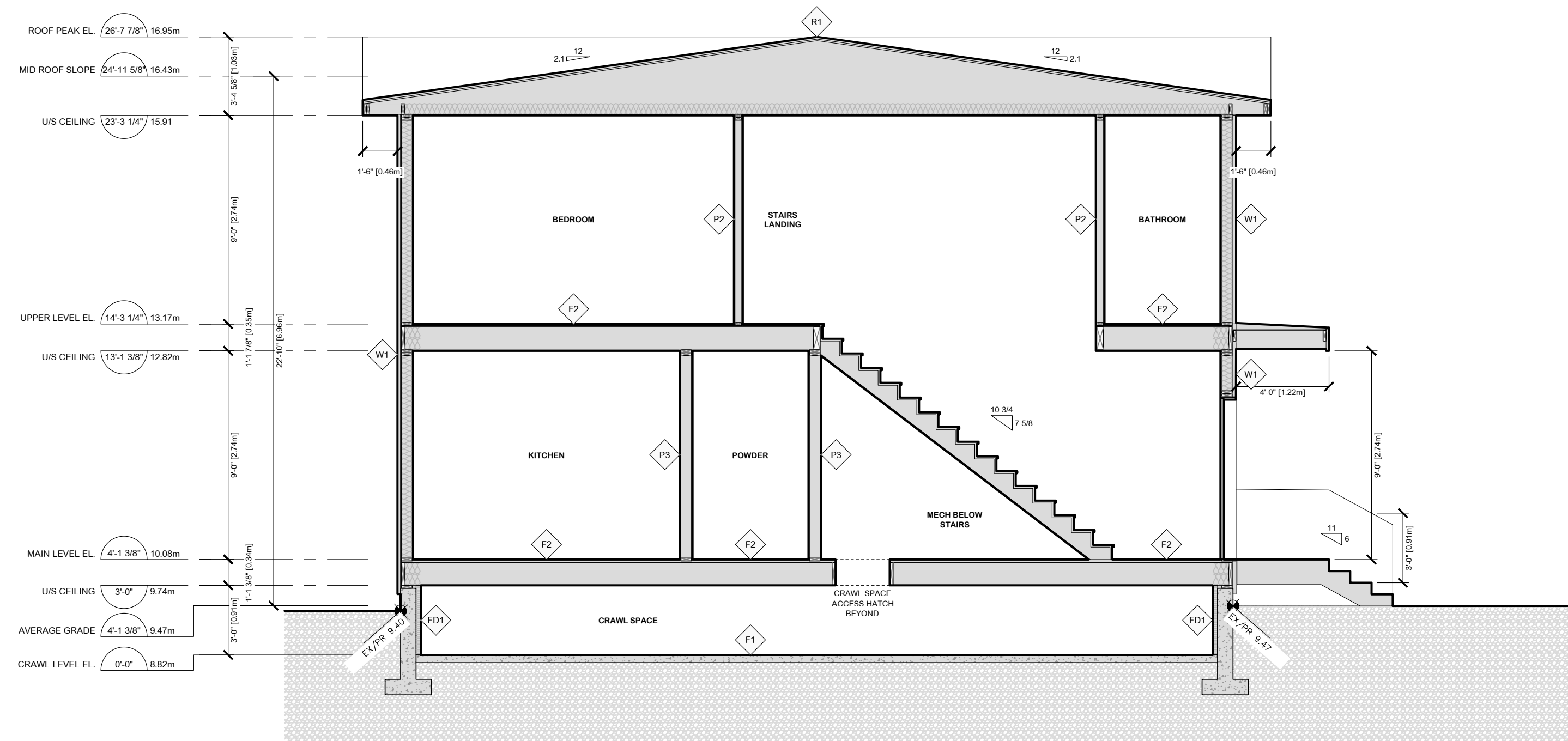
DATE:	2026-08-10
DRAWN BY:	CUELL DESIGN 250.858.5504
SCALE	AS NOTED
ISSUED FOR:	Issued for Delegated Development Permit (DDP)
ISSUED FOR:	
REVISION #:	
REVISION #:	

These drawings are conceptual and intended for design purposes only. All dimensions, measurements, and details are to be verified on site. The contractor, builder, and all trades are responsible for confirming dimensions, equipment specifications, and site conditions prior to commencing any work. Cuell Design is hereby fully absolved from any and all responsibility and liability for any work performed.

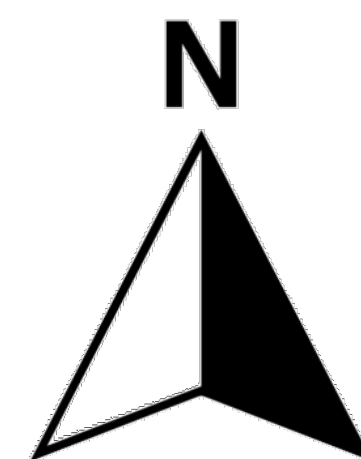




1 BUILDING SECTIONAL ELEVATION
Scale: 1/4" = 1'-0"



2 BUILDING SECTIONAL ELEVATION
Scale: 1/4" = 1'-0"



D: BUILDING CHARACTERISTICS SUMMARY

Details (Assembly / System Type / Fuel Type / Etc.)			Average Effective RSI		
Roof / Ceilings	Truss @24" O.C., R-40 Insulation			6.29	
	Rainscreen, 2x6 @16" O.C., R-20 Insulation			3.11	
Above Grade Walls	Rainscreen, R-20 Insulation			3.85	
Rim Joists / Floor Headers and Lintels	N/A				
Floors Over Unheated Space	N/A				
Walls Below Grade	R-12 Rigid Interior Insulation			2.11	
Slabs	N/A				
Windows and glazed doors	Double glazed, Argon Fill, Low E Coating			Performance Values	
				USI	SHGC
				1.60	0.32
Doors	Fibreglass with Polystyrene Core			RSI	0.85
Air Barrier System & Location	Internal/External Air Barrier Approach			ACH	2.50
				NLA	1.72
				NLR	1.28
Space Heating/ Cooling	Principal	Air Source Heat Pump Heating		COP	2.50
	Air Source Heat Pump Cooling			COP	2.50
	Supplementary				
Domestic Hot Water	Electric Tank			EF	% = 88
Ventilation	Fresh Air Via Forced Air w Primary Exhaust or Central Recirculating Ventilator (CRV)			% EFF	L/s
				% = 0	21.00
Other					
Fossil Fuels	The building including all units is designed with NO fossil fuel use or infrastructure				

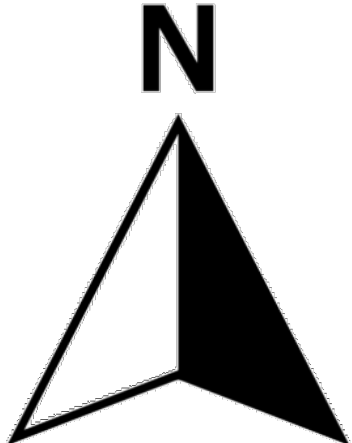
PARTITION ASSEMBLIES							BC ENERGY STEP CODE 3	
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING	TESTING AGENCY	EFFECTIVE RSI-VALUE REQUIRED 3.89 (m ² -K)/W	STC RATING	CODE REQUIREMENT	
P1		PARTY WALL PARTITION • 1 LAYER 16mm TYPE 'X' GYPSUM WALLBOARD • PLYWOOD SHEATHING (REFER TO STRUCTURAL) • WOOD STUDS @ 400mm O.C. (REFER TO STRUCTURAL) • ACOUSTIC INSULATION TO FILL CAVITY • 25mm AIR SPACE • ACOUSTIC INSULATION TO FILL CAVITY • WOOD STUDS @ 400mm O.C. (REFER TO STRUCTURAL) • PLYWOOD SHEATHING (REFER TO STRUCTURAL) • 1 LAYER 16mm TYPE 'X' GYPSUM WALLBOARD NOTE: 1. REFER TO STRUCTURAL FOR SHEAR WALL SCHEDULE. 2. FOR WALL TYPE A: ADD 1 LAYER TYPE 'X' GYPSUM WALLBOARD TO EACH SIDE OF AIR SPACE. MAINTAIN 25mm AIR SPACE.	1.0 HR	BCBC 2018 APPENDIX D-2.3.4	-	STC 57 (BCBC 2018 TABLE A.9.10.3.1.-A W15A)	STC 47 (BCBC 2018 A-9.11.1.1.1a)	
P2		2x4 INSULATED WOOD STUD PARTITION • 13mm GYPSUM WALLBOARD • 38x89 WOOD STUDS @ 400mm O.C. • ACOUSTIC INSULATION TO FILL CAVITY • 13mm GYPSUM WALLBOARD NOTE: 1. IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.	-	-	-	-	-	
P3		2x6 INSULATED WOOD STUD PARTITION • 13mm GYPSUM WALLBOARD • 38x89 WOOD STUDS @ 400mm O.C. • ACOUSTIC INSULATION TO FILL CAVITY • 13mm GYPSUM WALLBOARD NOTE: 1. IN WET LOCATIONS SUBSTITUTE MOISTURE RESISTANT DRYWALL FOR GYPSUM WALLBOARD.	-	-	-	-	-	

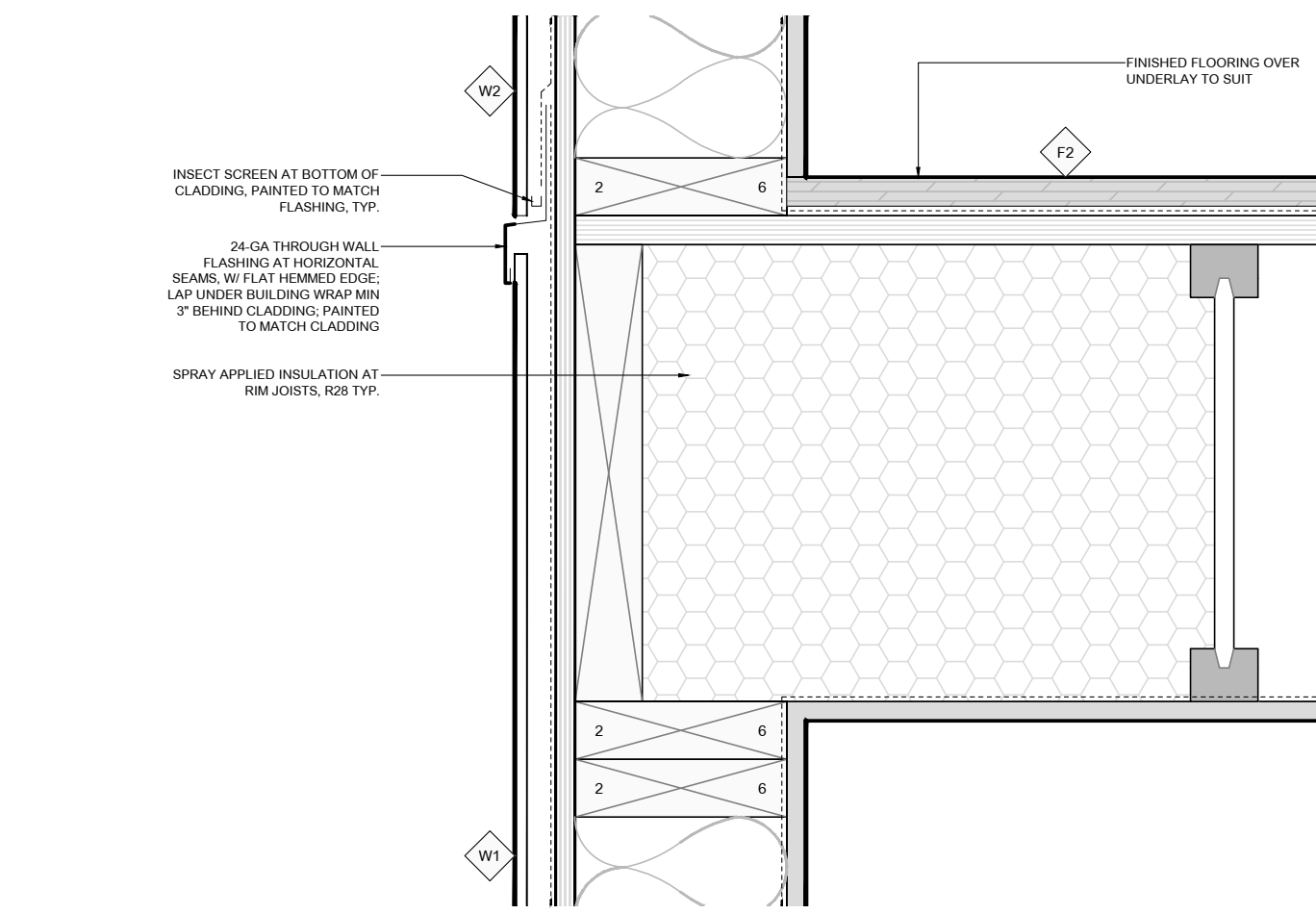
FOUNDATION WALL ASSEMBLIES							BC ENERGY STEP CODE 3	
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING	TESTING AGENCY	EFFECTIVE RSI-VALUE	STC RATING		
FD1		FOUNDATION WALL - INSULATED • CLEAN BACKFILL • FILTER FABRIC • GRANULAR FILL • POLYETHYLENE DRAINAGE MAT • SELF ADHERED WATERPROOFING MEMBRANE • 200mm REINFORCED CONCRETE • R12 RIGID INSULATION, GLUED	-	-	2.11 RSI 0.47 U (METRIC)	-		

WALL ASSEMBLIES							BC ENERGY STEP CODE 3	
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING	TESTING AGENCY	EFFECTIVE RSI-VALUE	STC RATING		
W1		FIBRE CEMENT BOARD AND BATTEN SIDING • FIBRE CEMENT BOARD AND BATTEN SIDING • 19mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING 400mm O.C. • VP SELF ADHERED SHEATHING MEMBRANE • 13mm PLYWOOD SHEATHING (REFER TO STRUCTURAL) • 38x140 SPF WOOD STUDS @ 400mm O.C. W/ R22 BATT • 6MIL POLYETHYLENE VAPOUR BARRIER • 16mm TYPE 'X' GYPSUM WALLBOARD NOTE: 1. REFER TO STRUCTURAL FOR SHEAR WALL SCHEDULE.	-	-	RSI- value = 4.10 U- value (metric) = 0.24	-		
W2		FIBRE CEMENT SHINGLE SIDING • FIBRE CEMENT SHINGLE SIDING • 19mm PRESSURE TREATED VERTICAL PLYWOOD STRAPPING 400mm O.C. • VP SELF ADHERED SHEATHING MEMBRANE • 13mm PLYWOOD SHEATHING (REFER TO STRUCT.) • 38x140 SPF WOOD STUDS @ 400mm O.C. W/ R22 BATT • 6MIL POLYETHYLENE VAPOUR BARRIER • 16mm TYPE 'X' GYPSUM WALLBOARD NOTE: 1. REFER TO STRUCTURAL FOR SHEAR WALL SCHEDULE.	-	-	RSI- value = 4.10 U- value (metric) = 0.24	-		

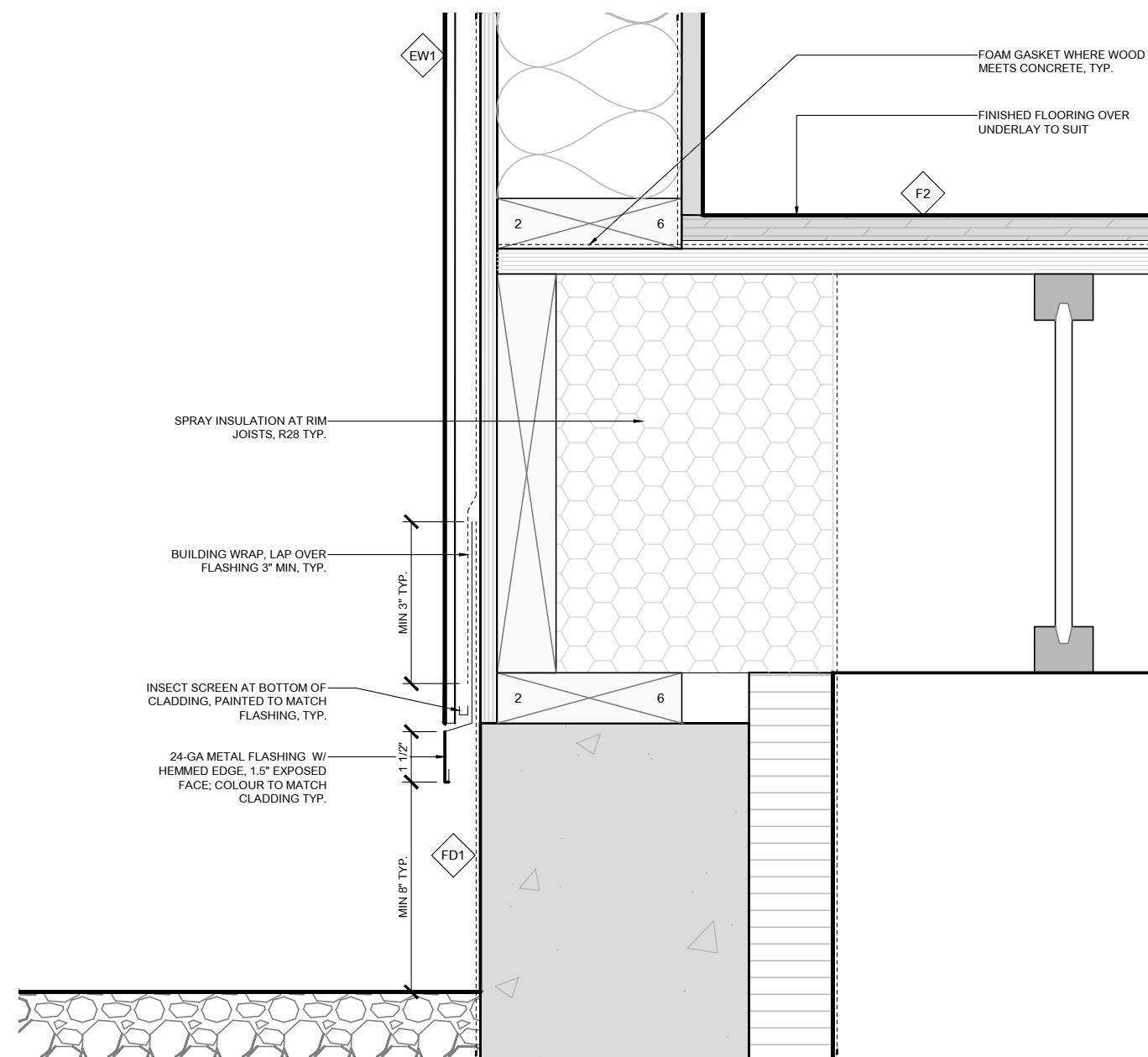
ROOF ASSEMBLIES							BC ENERGY STEP CODE 3	
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING	TESTING AGENCY	EFFECTIVE RSI-VALUE	STC RATING		
R1		ENGINEERED TRUSS • FIBREGLASS ROOFING SHINGLES AND ROOFING MEMBRANE • 19mm D FIR T&G PLYWOOD SHEATHING (REFER TO STRUCTURAL) • ENGINEERED TRUSSES @ 610mm O.C. WITH 89mm LAYED IN BOTTOM CHORD • R40 CONTINUOUS BATT INSULATION • 6 MIL POLY VAPOUR BARRIER • 16mm GYPSUM WALLBOARD *1/300 UNOBSTRUCTED VENTING AREA PER BCBC	-	-	U-value = 0.16 RSI- value = 6.29	-		

FLOOR ASSEMBLIES							BC ENERGY STEP CODE 3	
ASSEMBLY NUMBER	ILLUSTRATION IN PLAN	DESCRIPTION	FIRE RATING	TESTING AGENCY	EFFECTIVE RSI-VALUE	STC RATING		
F1		SLAB ON GRADE • 100mm REINFORCED CONCRETE SLAB ON GRADE (REFER TO STRUCTURAL) • 10 MIL POLY VAPOUR BARRIER MEMBRANE • MIN. 127mm COMPACTED GRANULAR FILL (GAS PERMEABLE LAYER) • BEARING SOIL	-	-	2.76 RSI R15.7 0.36 U (METRIC)	-		
F2		TJI FLOOR ASSEMBLY • FLOOR FINISH / UNDERLAYMENT AS SPECIFIED • 19mm PLYWOOD SHEATHING (REFER TO STRUCTURAL) • 11-7/8 ENGINEERED TJI FLOOR JOISTS (REFER TO STRUCTURAL) • ACOUSTIC BATT INSULATION TO FILL CAVITY • 1 LAYERS 13mm GYPSUM WALLBOARD	-	-	-	-		

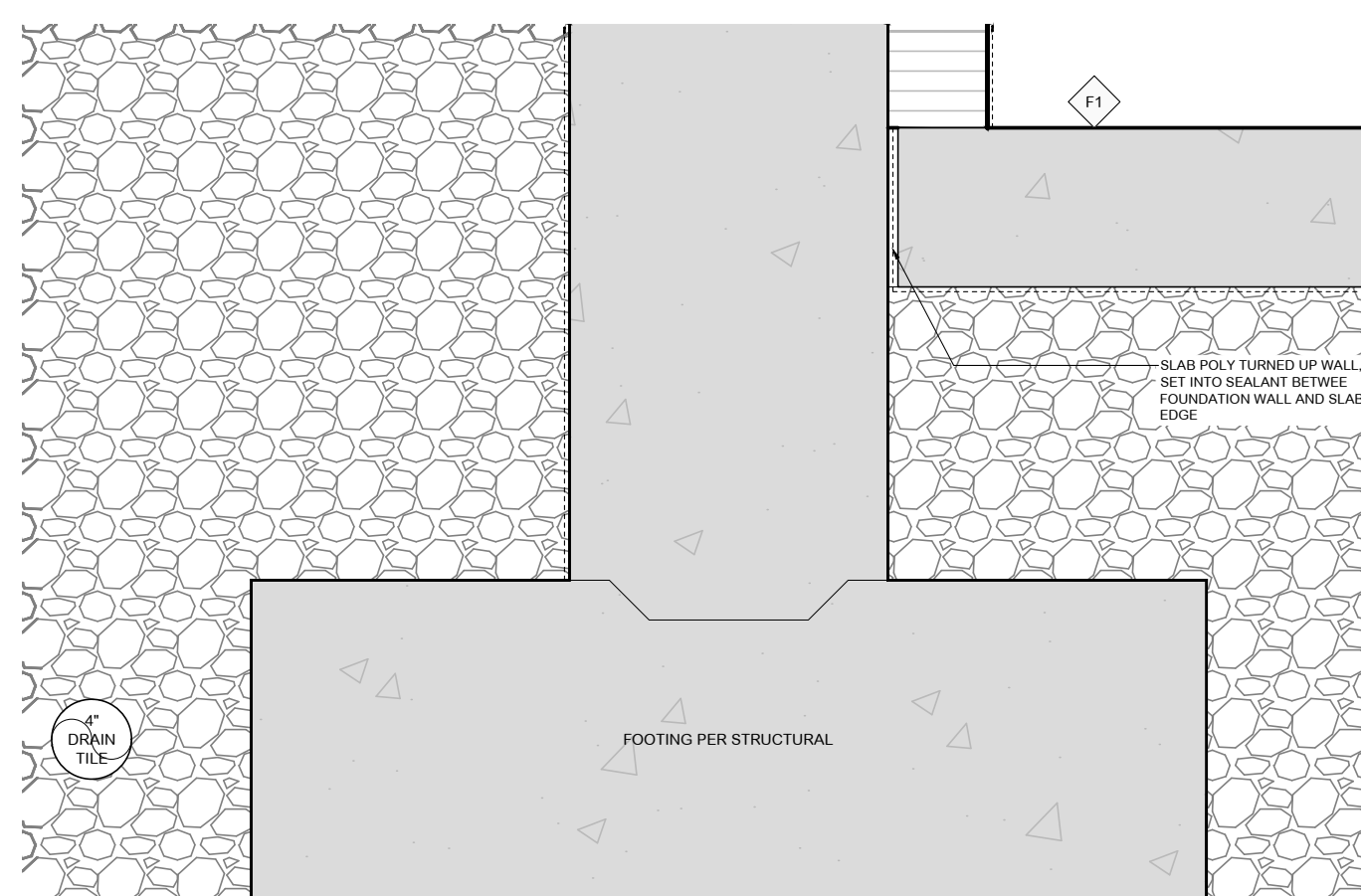




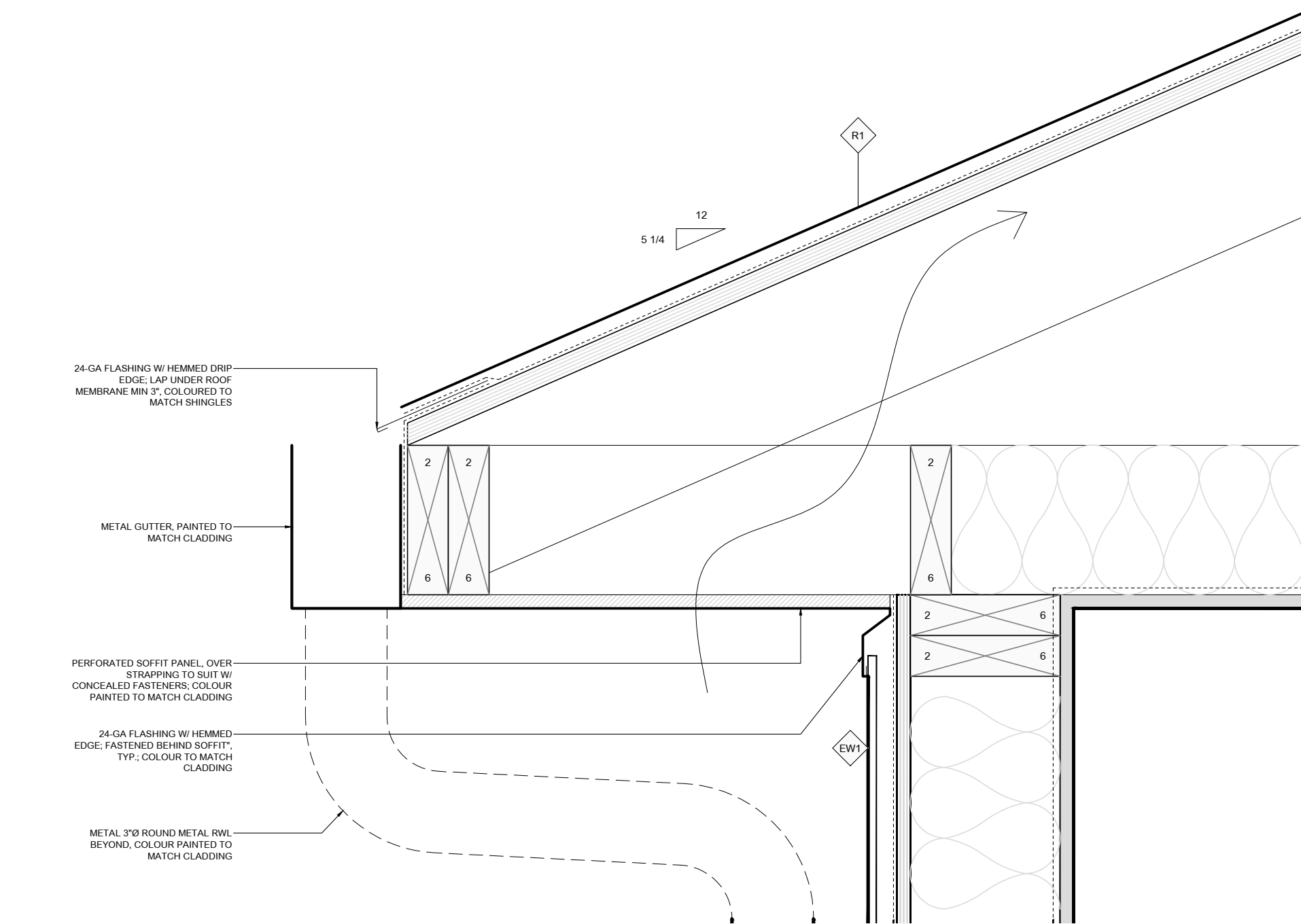
1 TYP. THROUGH-WALL FLASHING DETAIL
SCALE: 3" = 1'-0"



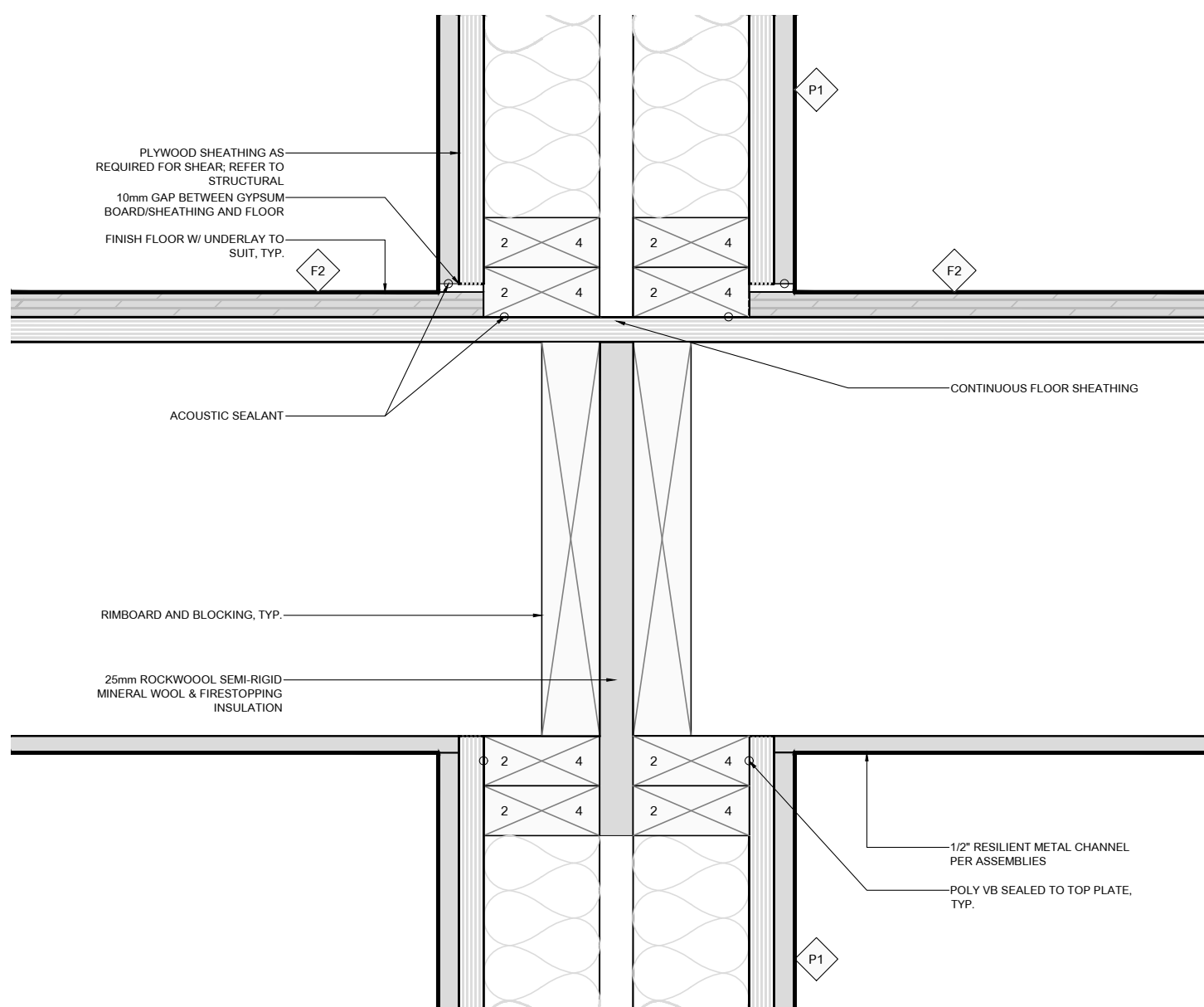
2 TOP OF FOUNDATION WALL
SCALE: 3" = 1'-0"



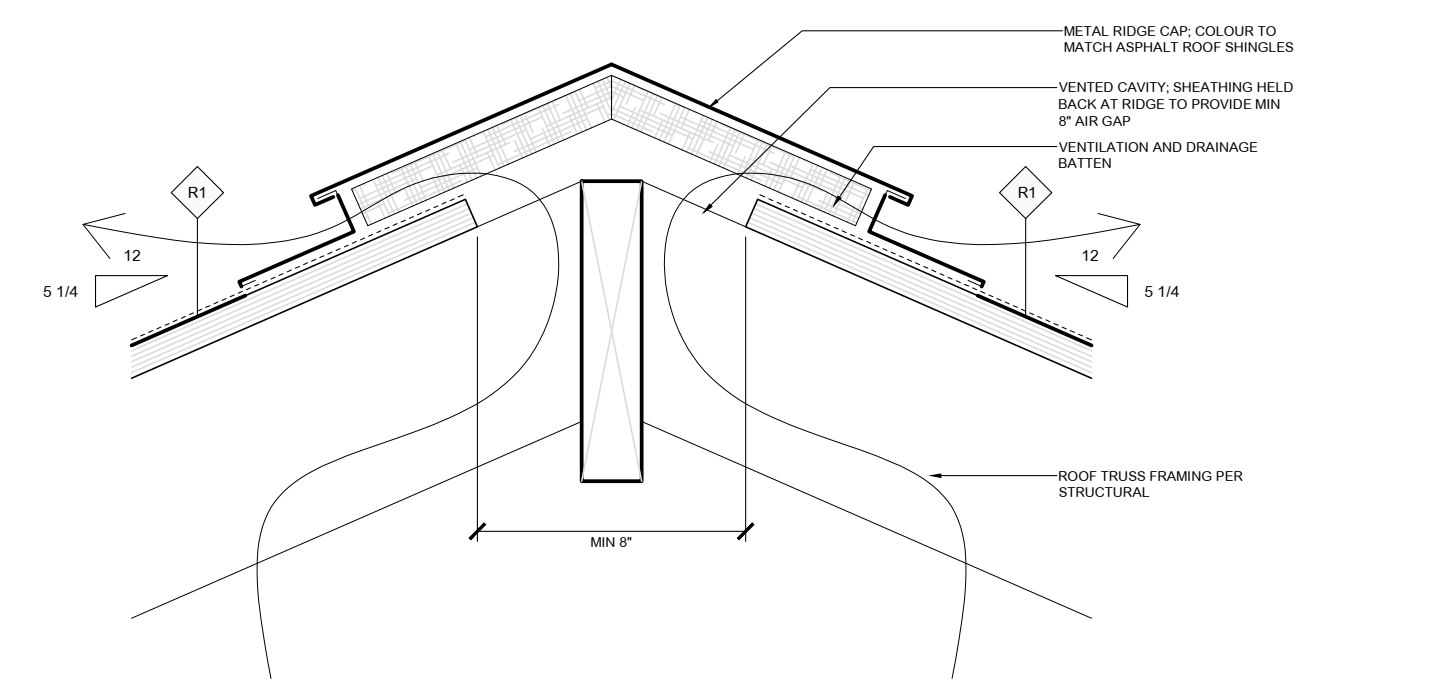
3 TYP. FOOTING DETAIL
SCALE: 3" = 1'-0"



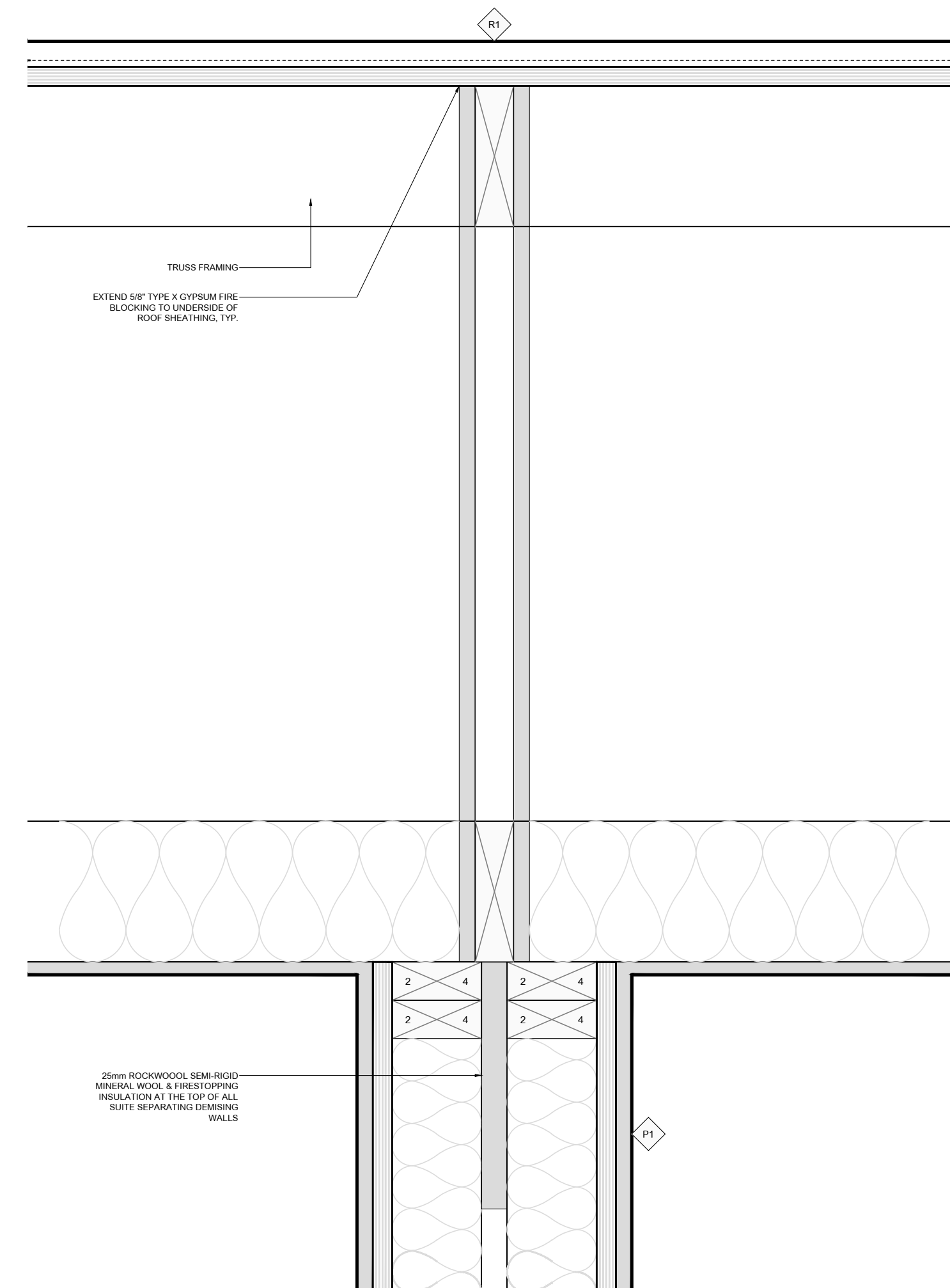
4 SOFFIT/GUTTER DETAIL
SCALE: 3" = 1'-0"



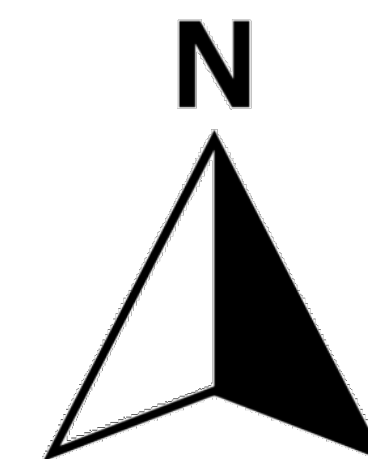
6 FIRE STOPPING AT FLOORS
SCALE: 3" = 1'-0"

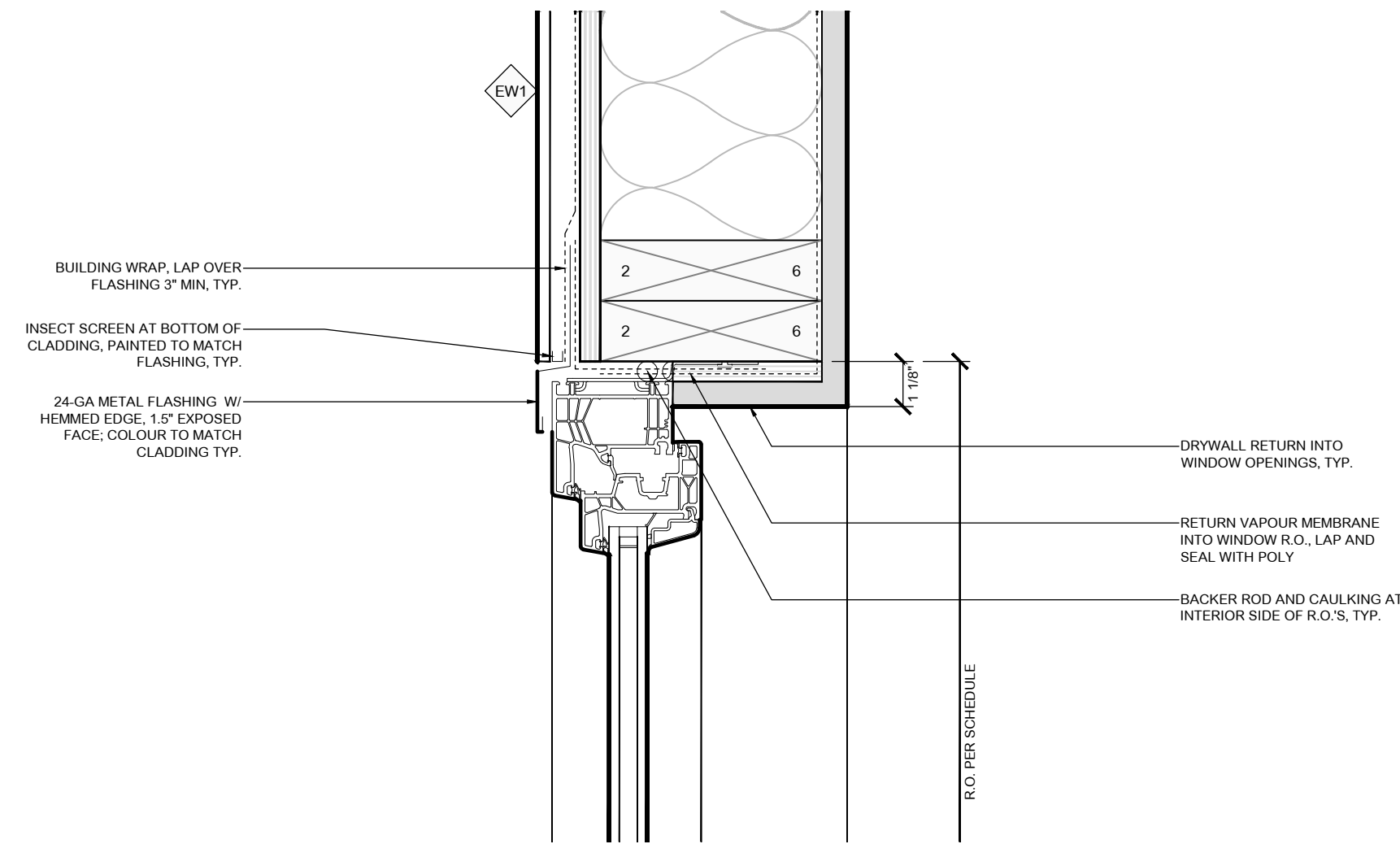


5 ROOF RIDGE DETAIL
SCALE: 3" = 1'-0"

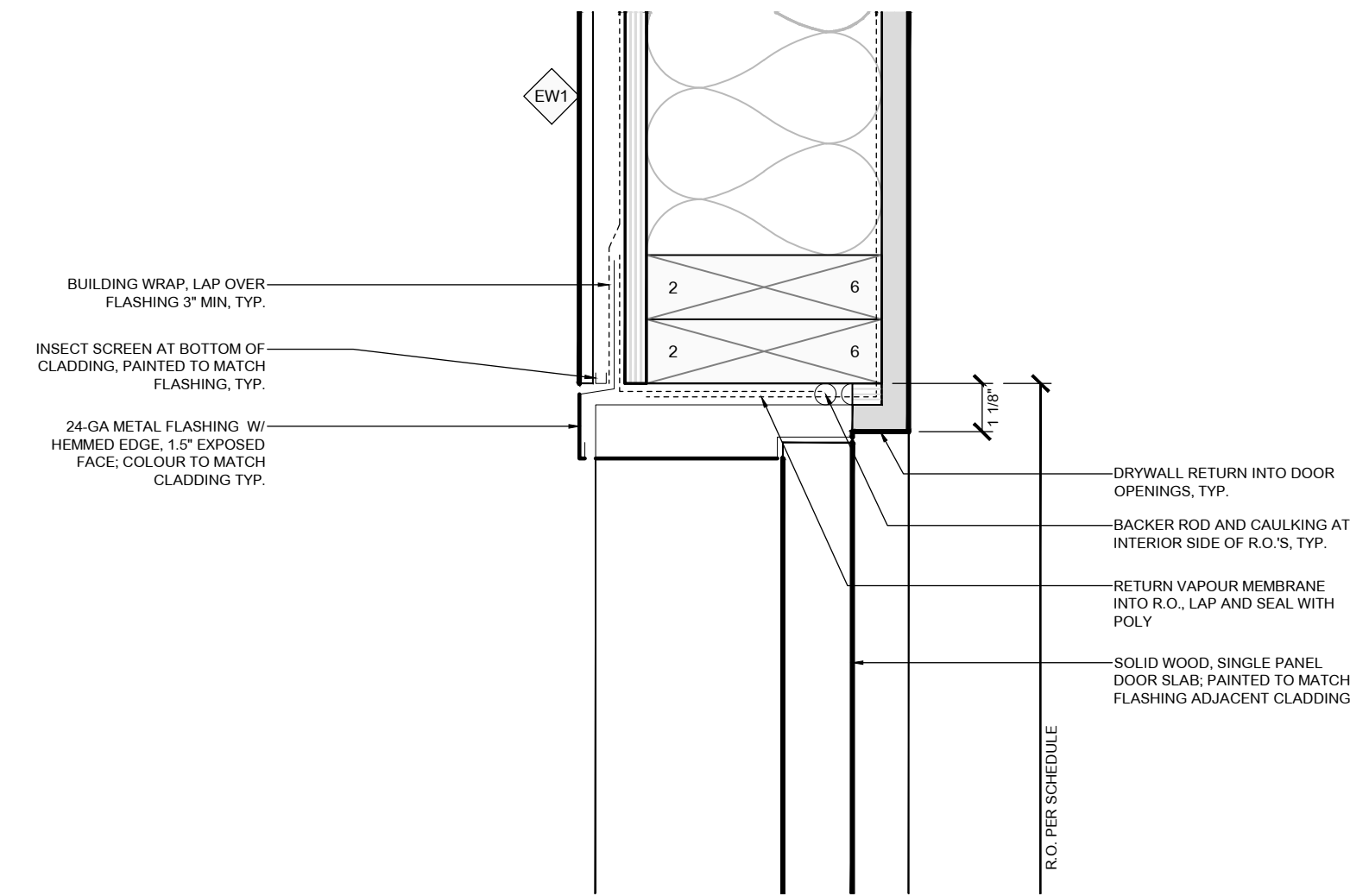


7 FIRE STOPPING AT ROOF
SCALE: 3" = 1'-0"

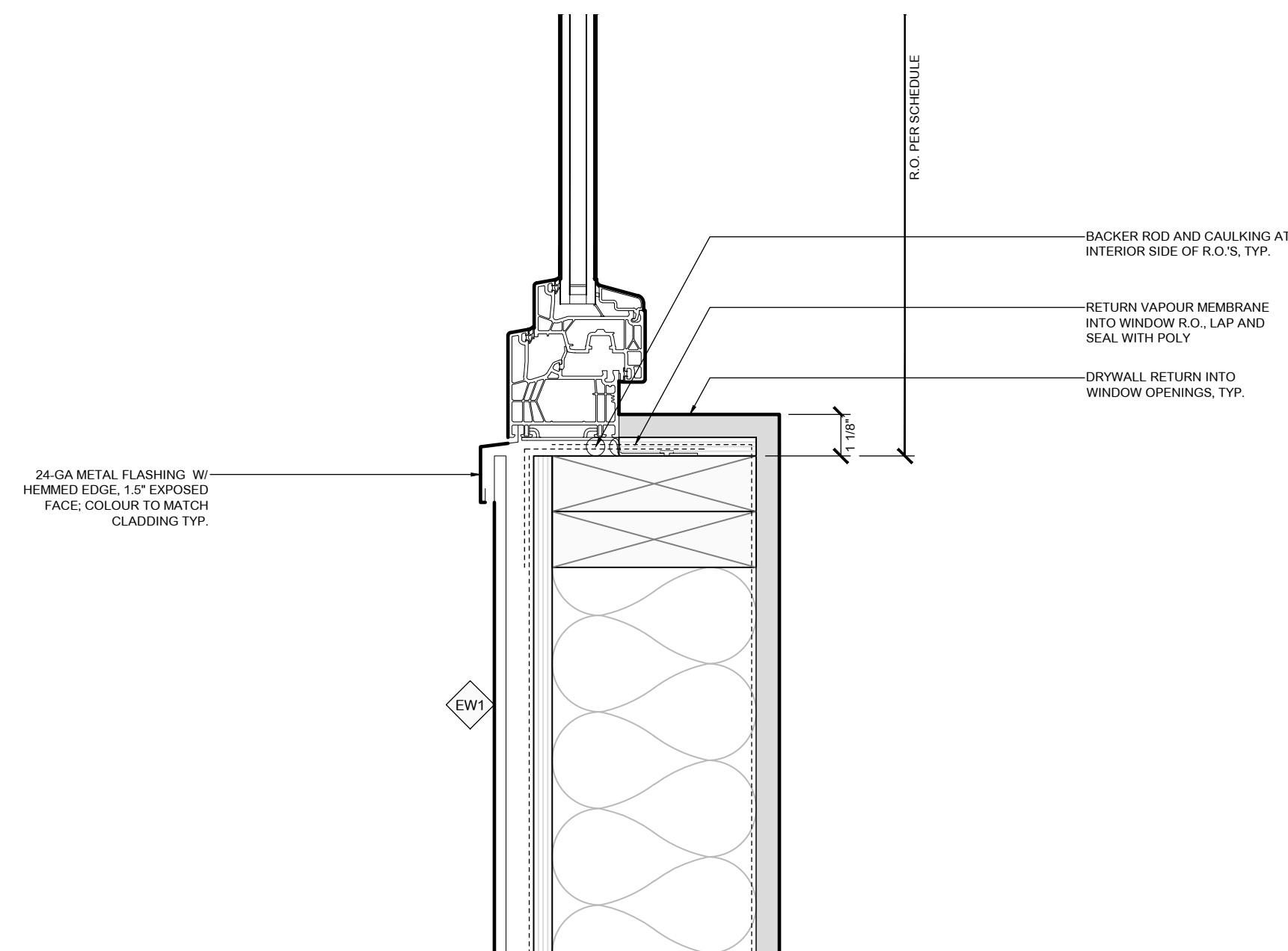




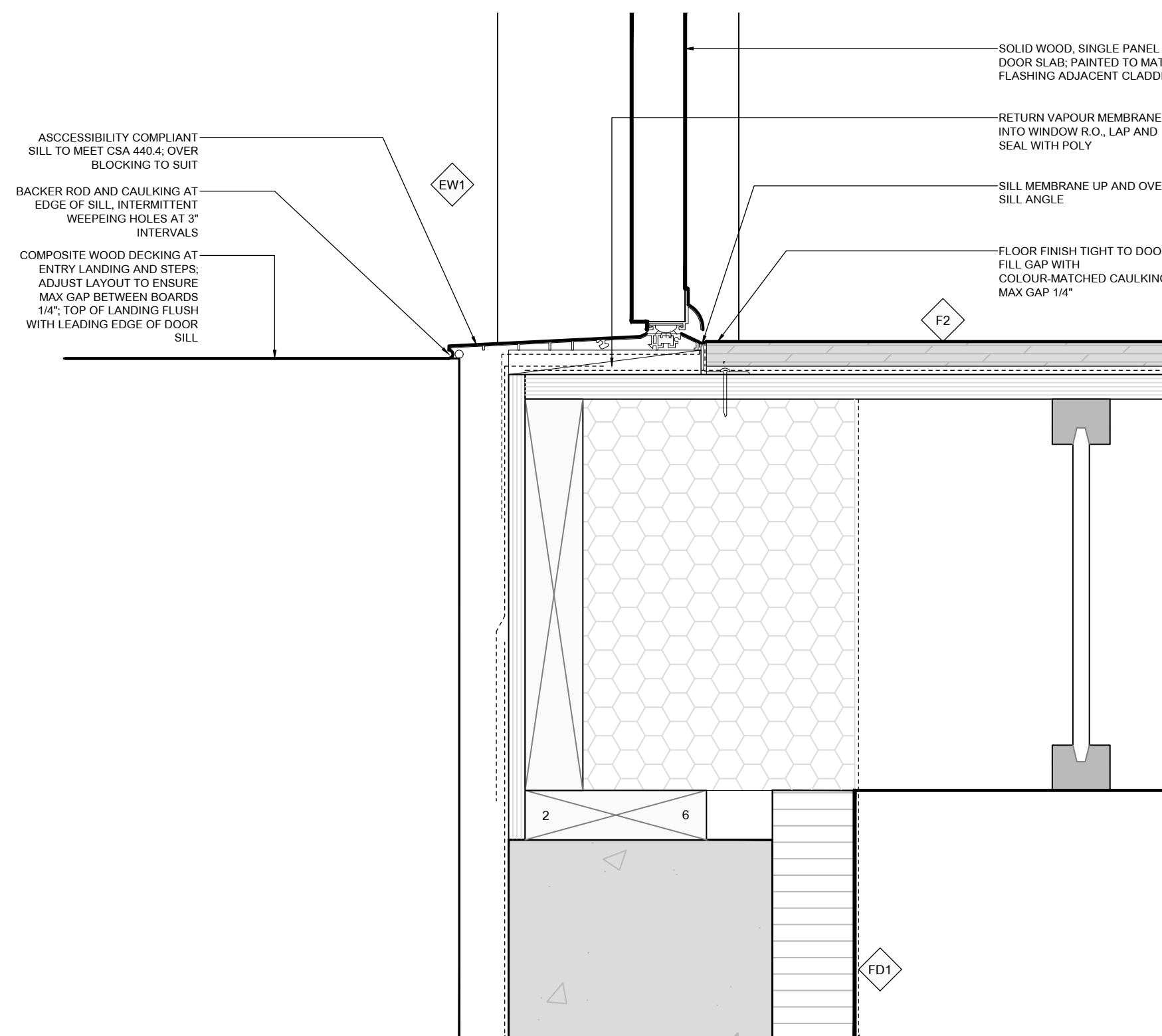
1 TYP. WINDOW HEADER
SCALE: 3" = 1'-0"



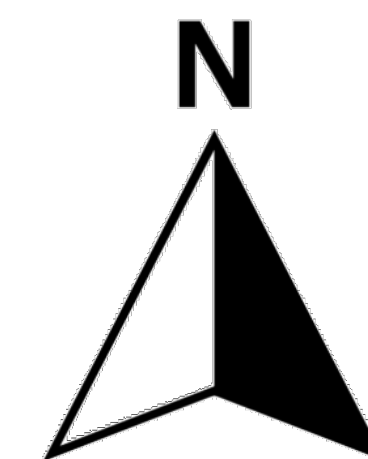
2 TYP. DOOR HEADER
SCALE: 3" = 1'-0"



3 TYP. WINDOW SILL
SCALE: 3" = 1'-0"



4 TYP. DOOR SILL
SCALE: 3" = 1'-0"



The Northerly 55 Feet of
Parcel A (DD 33821-I) of
Section 68, Victoria District

OUR FILE : 34940	REV : OCT 24/24
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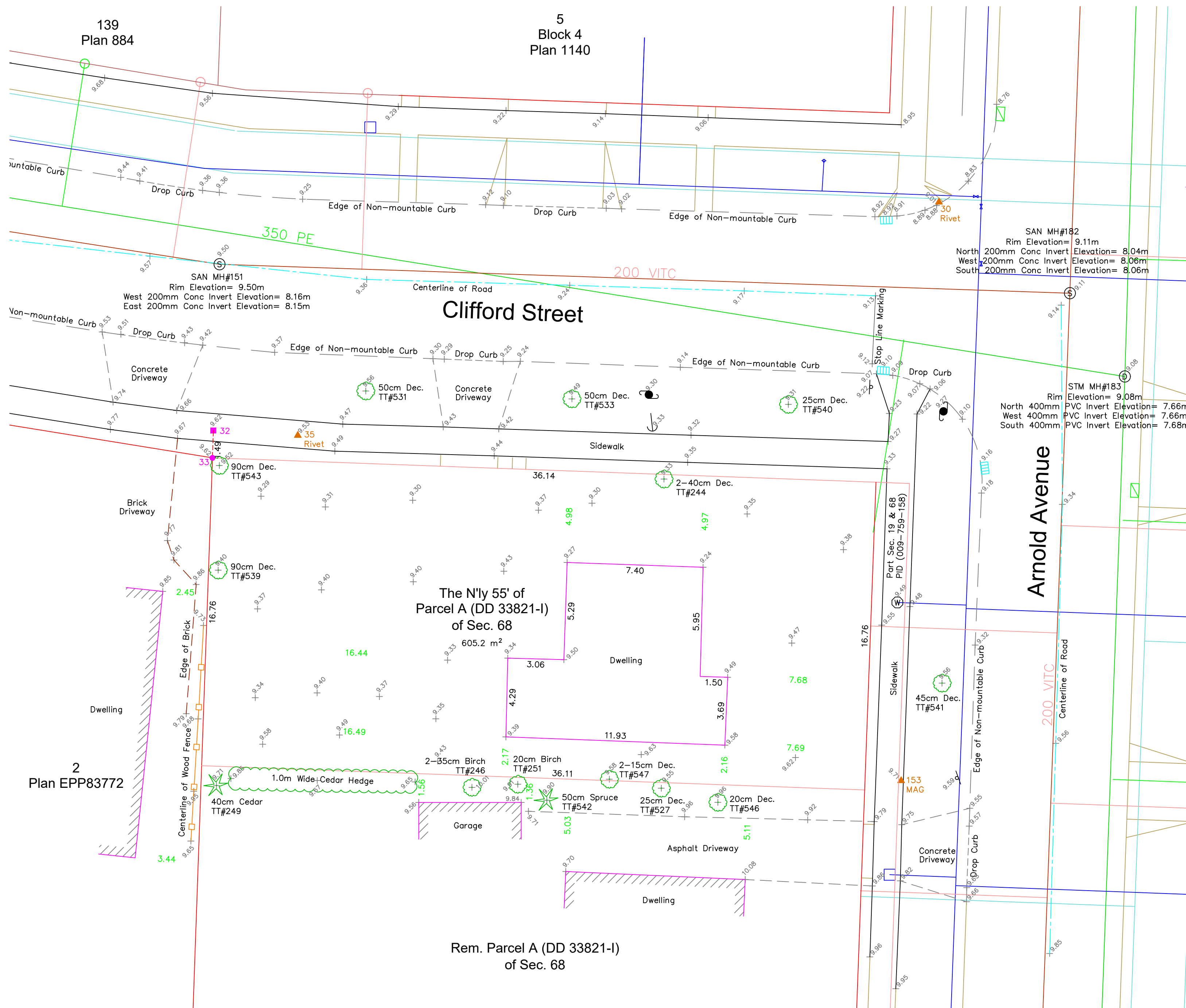
4212 GLANFORD AVE, VICTORIA, B.C. V8Z 4B7
TEL: 250-727-2214 FAX: 250-727-3395
E-MAIL : info@jeanderson.com
VICTORIA-NANAIMO-PARKSVILLE-CAMPBELL RIVER

V: _Projects\34940\06\03\Microsurvey\34940.dwg



- --- Denotes Standard Iron Post Found
- --- Denotes Lead Plug Found
- --- Denotes Traverse Station Placed
- --- Denotes Catch Basin
- --- Denotes Coniferous Tree
- --- Denotes Deciduous Tree
- --- Denotes Tree Tag Number
- --- Denotes Drain Manhole
- --- Denotes Sewer Manhole
- --- Denotes Street Sign
- --- Denotes Typical Spot Elevation
- --- Denotes Utility Pole
- --- Denotes Utility Pole Anchor
- --- Denotes Water Service
- --- Denotes Conc
- --- Denotes PVC

Underground servicing shown schematically and acquired from Victoria GIS



Lot dimensions shown are based on plan attached to document deposited under DD 110071 and may vary upon registration of a Reference Plan under Section 100(1)(a), Land Title Act.

