

TELUS living



PROPOSED RESIDENTIAL DEVELOPMENT

1908 FOUL BAY ROAD
DEVELOPMENT PERMIT RESUBMISSION
2026-03-20 VICTORIA, B.C.

83 MULTI FAMILY UNITS
 SITE ADDRESS: 1908 FOUL BAY ROAD
 LEGAL: LOT 1, SECTION 76,VICTORIA DISTRICTPLAN 26773

Code Review Summary

| | L1 to L6 | Basement |
|---------------------------------------|----------------------|----------------------|
| Occupancy | Group C | Group F- Div 3 |
| Bldg. Area (m ²) | 1,116 m ² | 2,095 m ² |
| Bldg. Height (storeys) | 6 storeys | Basement (1 level) |
| Sprinklered | Yes | Yes |
| Construction Article(s) | 3.2.2.51 | 3.2.2.84 |
| Max. Area Permitted (m ²) | 1,500 m ² | 7,200 m ² |
| Construction Type | Combustible | Non-combustible |
| Floor Fire Resistance Rating | 1h | 1h |
| Mezzanine Fire Resistance Rating | N/A | N/A |
| Roof Fire Resistance Rating | 1h | 1h |

NOTES:
 1. This project is designed to comply with the BC Building Code 2024 except for section 3.8.5 adaptable design and section 4.1.8 seismic which are to be designed to BCBC 2018 as directed in Ministerial Order BA 2024 04.

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CONSULTANT LIST

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Vancouver, BC, V6C 1C7

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Vancouver BC, V6J 1V4

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3-864 Queens Ave,
Victoria BC, V8T 1M5

CIVIL

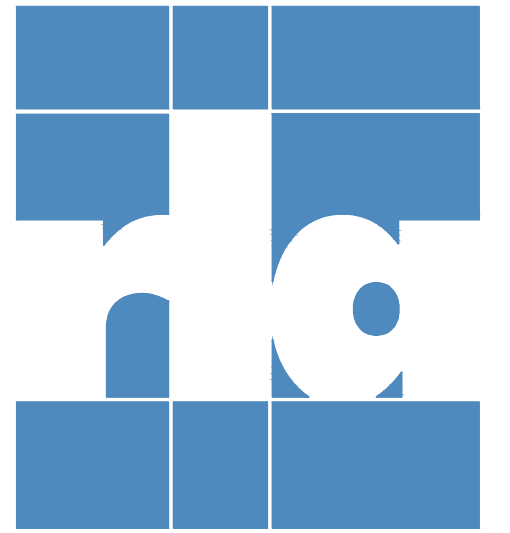
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Victoria BC, V8X 4A3

ARBORIST

Talbot Mackenzie & Associates
3575 Douglas St
Victoria BC, V8Z 7H6

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Revisions

September 11, 2024
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September 19, 2024
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October 25, 2024
 Issued for CALUC Review

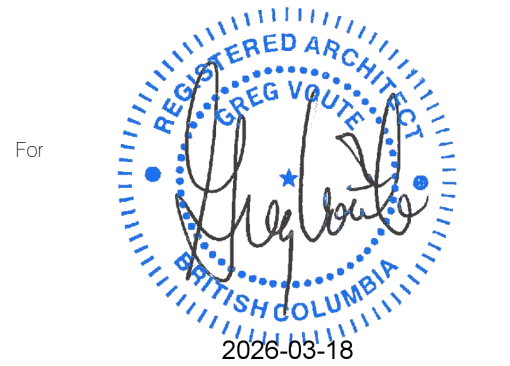
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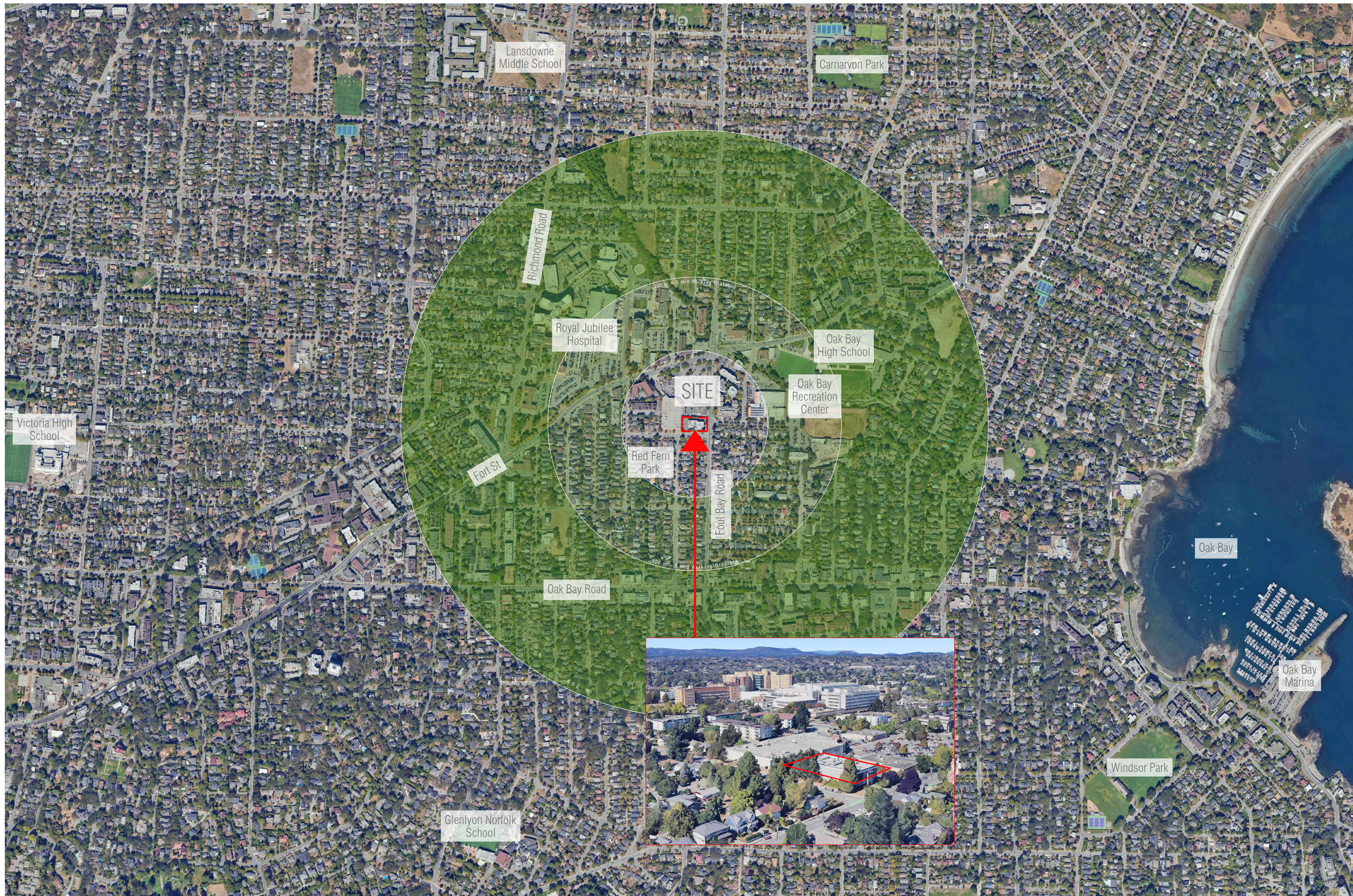
Project
 1908 FOUL BAY
 Multi-Unit Residential



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A-0.01



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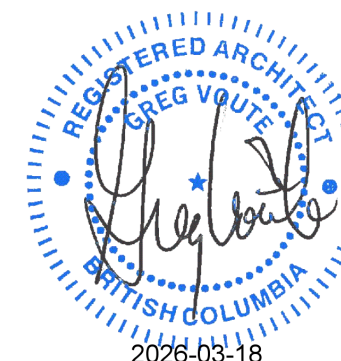
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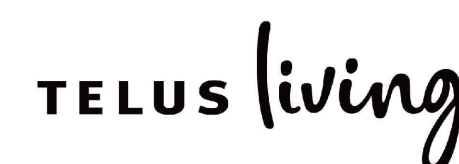
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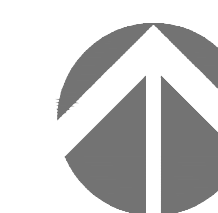
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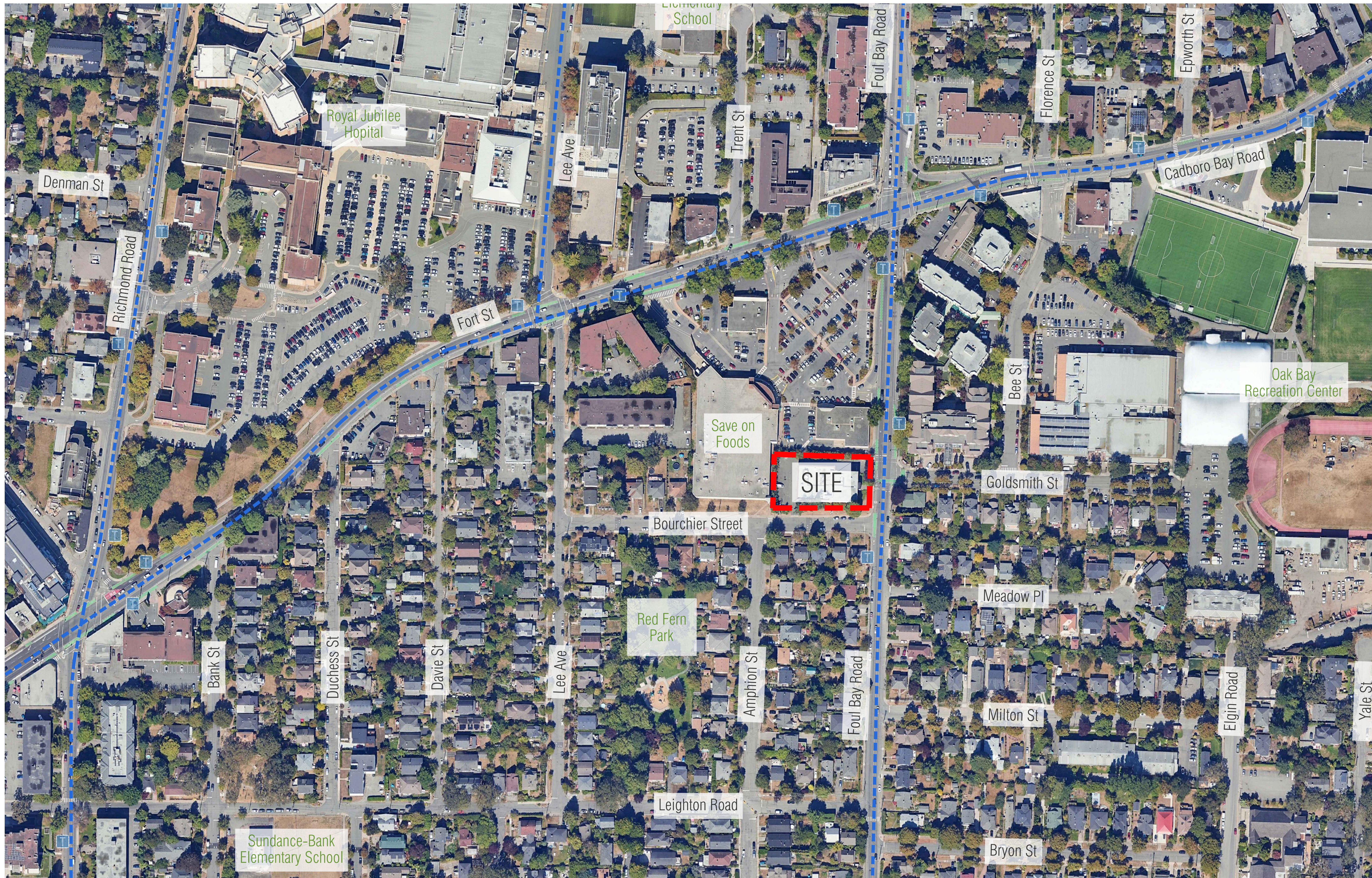
Project Location Map

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Project Location Map



A-0.02



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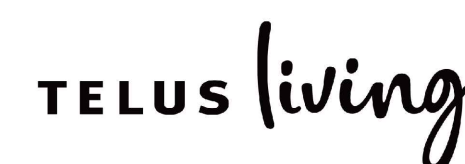
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For

Project
 1908 FOUL BAY
 Multi-Unit Residential



Context Plan

Scale: N/A
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Context Plan



A-0.03



1



2



3



4



5



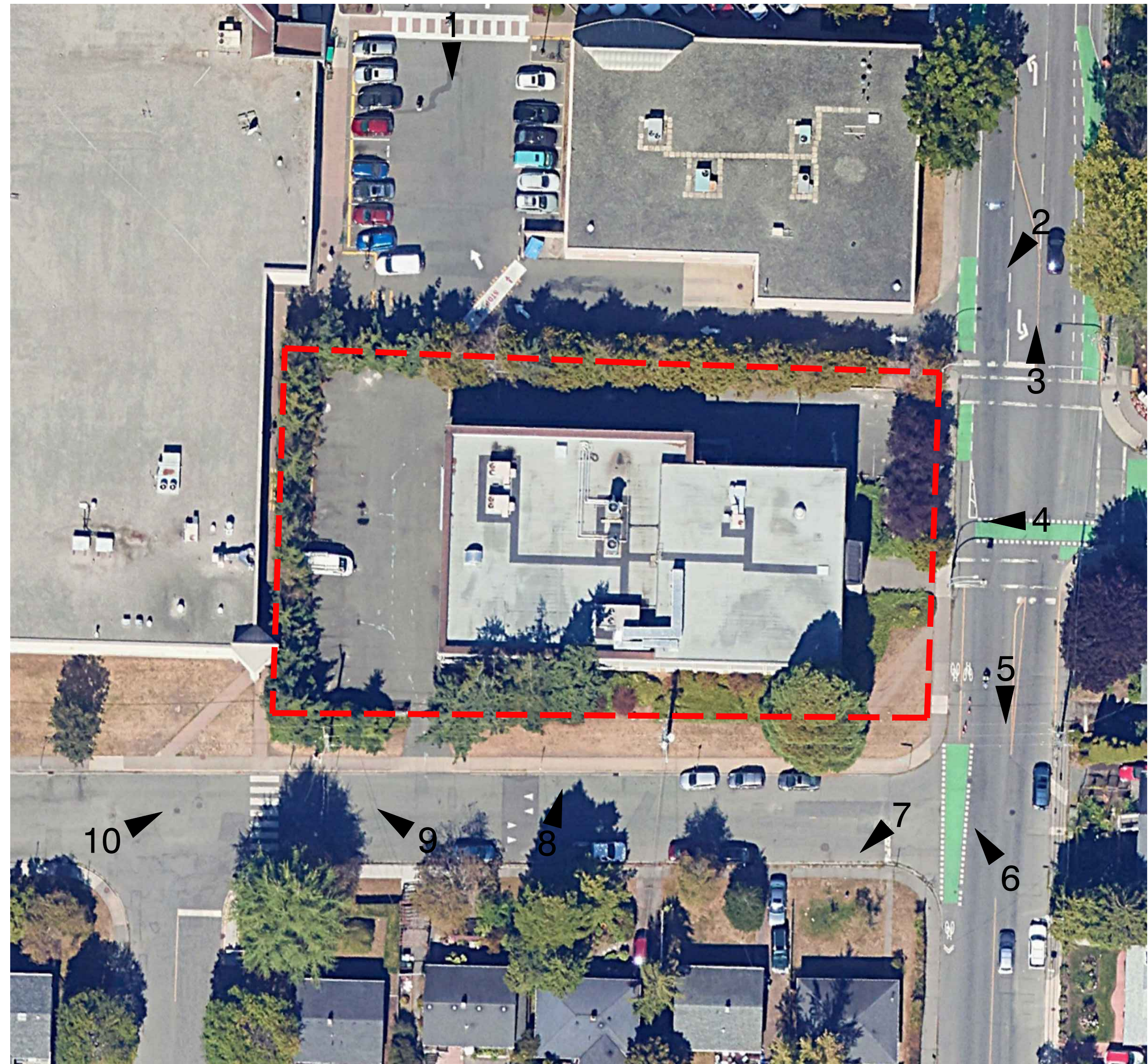
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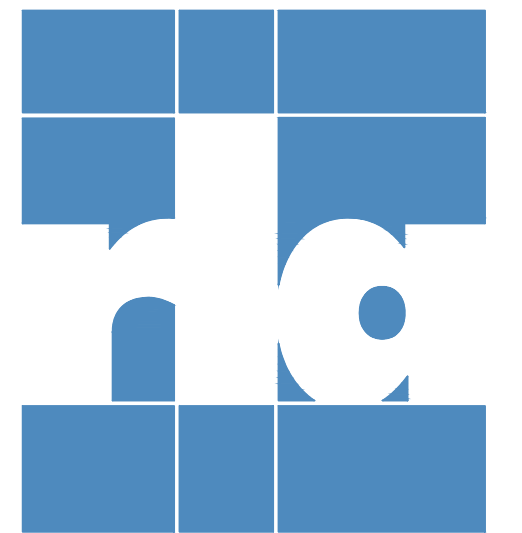
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9



10



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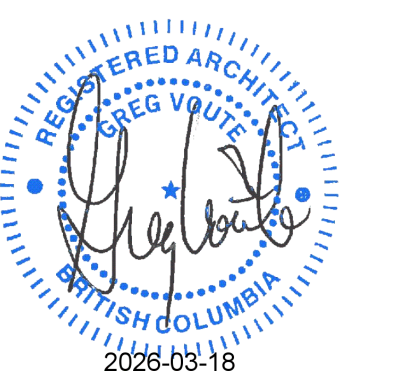
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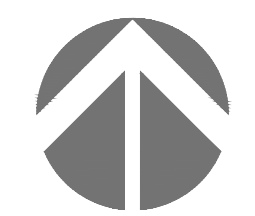
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Project
1908 FOUL BAY
Multi-Unit Residential



Photos of Existing
Site Conditions
Scale: N/A
March 20, 2026

Photos of Existing Site Condition



A-0.04



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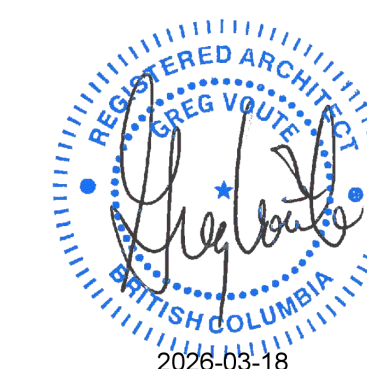
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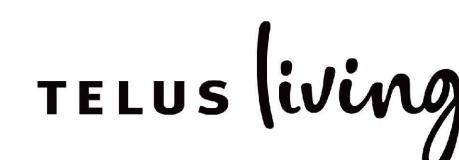
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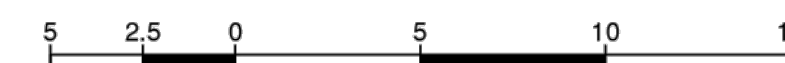
Project
1908 FOUL BAY
Multi-Unit Residential



Survey

Scale: N/A
March 20, 2026

A-0.05



The intended plot size of this plan is 594mm in width by 420mm in height (ISO A2 size) when plotted at a scale of 1:250

All distances are in metres and decimals thereof.

Legal Description:
LOT 1, SECTION 76, VICTORIA DISTRICT,
PLAN 26773

PID: 002-426-137
Date of Field Survey: March 10th, 2023.

Vertical Datum CGVD28 (HTV2.0).

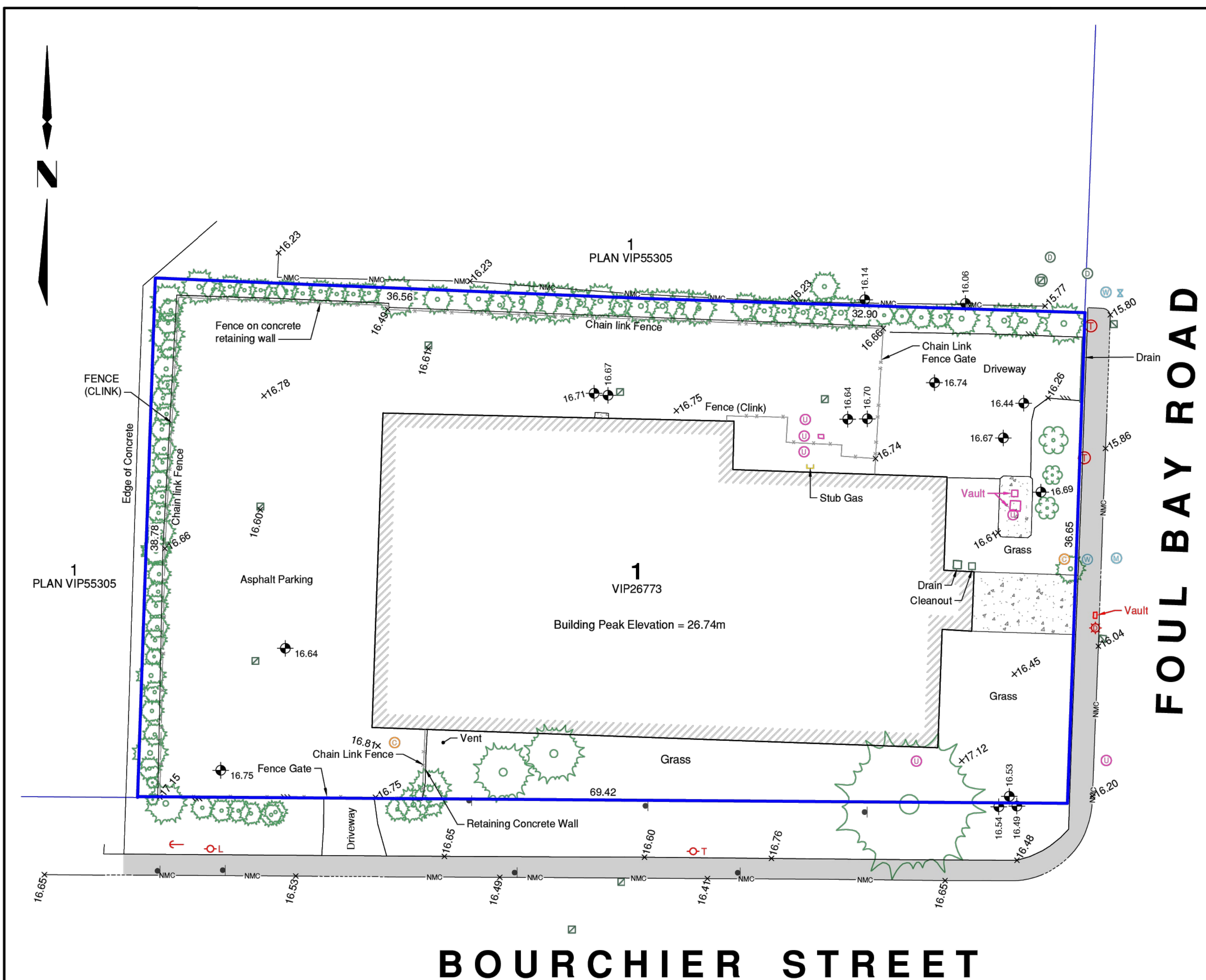
Tree symbols are diagrammatic only to show relative sizes.

Overhead lines are diagrammatic only and may not include all connections.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. GeoVerra Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

- LEGEND**
- denotes catchbasin
 - denotes catchbasin/manhole
 - denotes drain manhole
 - denotes water manhole
 - denotes water meter
 - denotes unknown utility
 - denotes communications manhole
 - denotes hydro pole with light
 - denotes hydro pole with transformer
 - denotes pole anchor
 - denotes streetlight davit
 - denotes unknown utility manhole
 - denotes sign
 - denotes stubout
 - denotes traffic signal pole
 - denotes fence
 - denotes overhead wire
 - denotes building outline
 - denotes concrete pad
 - denotes sidewalk
 - denotes edge of pavement
 - denotes non-mountable curb
 - denotes curb letdown
 - denotes coniferous tree
 - denotes deciduous tree
 - denotes monitoring well, elevation 23.75 (22.95)
 - denotes property line



BOURCHIER STREET

FOUL BAY ROAD

Certified Correct this 27th day of April, 2023
Anna Niraz Digitally signed by Anna Niraz V915V
VI9T5V Date: 2023.04.27 11:47:58 -0700
Anna Niraz, BCLS 964

| | | | | | | | | | | | | |
|---------|--|------------|------------------------|-----|-----|------------------|--|--------------|--------------------|------------|-----------|--------------|
| ISS/REV | | DATE | DESCRIPTION | DRN | CHK | CLIENT: | <p>795 Market Street Victoria, BC • V8T 0B4 t: 250-342-9767 • www.geoverra.com</p> | PROJECT: | 1908 FOUL BAY ROAD | TITLE: | SITE PLAN | |
| 0 | | 2023-04-20 | ORIGINAL PLAN PREPARED | KH | MLE | CLIENT REF. NO.: | | PROJECT NO.: | 23-00890-001 | SCALE: | As-Noted | DRAWING NO.: |
| | | | | | | | | DISCIPLINE: | GEOMATICS | SHEET NO.: | 1 of 1 | |

Survey

Development Statistics

TELUS LIVING Development Statistics: updated 2026-03-16

Project Address: 1908 Foul Bay, Victoria, BC

Zoning:
Current: City of Victoria TCD-1 Zoning (Single Family Dwelling District)

Proposed: New Zone

| Site Stats | |
|--------------------------------|--|
| Site Area | 28,105 sf 2,611.04 sm |
| Dedication Area | 1,185 sf 110.09 sm |
| Post Dedication, Net Site Area | 26,920 sf 2,500.95 sm |
| Site Coverage | Max Allowable 80% Proposed 84% |
| Floor Space Ratio (FSR) | sf 2.52 67,870 sf (6 storeys) 6,305 sm |

| Units Mix | | | | | | |
|----------------------------|-----------------------|--------|-----------|------------------|-----|------|
| Units | Mix Units Size | Units | Total | | | |
| S Studio | 7% 434 sf | 6 | 2,604 sf | Studio | 7% | |
| A1 1 Bedroom | 30% 530 sf | 26 | 13,780 sf | 1 Bedroom | 43% | |
| A2 1 Bedroom + Flex | 14% 656 sf | 12 | 7,872 sf | | | |
| A2e 1 Bedroom | 6% 581 sf | 5 | 2,905 sf | 1 Bedroom + Flex | 14% | |
| A2ap 1 Bedroom (adaptable) | 7% 581 sf | 6 | 3,486 sf | | | |
| B1 2 Bedroom 2 Bath | 5% 798 sf | 4 | 3,192 sf | 2 Bedroom | 23% | |
| B2 2 Bedroom 2 Bath | 7% 852 sf | 6 | 5,112 sf | | | |
| C2 2 Bedroom 2 Bath Corner | 11% 797 sf | 10 | 7,970 sf | | | |
| D1 3 Bedroom 2 Bath Corner | 7% 991 sf | 6 | 5,946 sf | 3 Bedroom | 14% | |
| D2 3 Bedroom 2 Bath Corner | 7% 1090 sf | 6 | 6,540 sf | | | |
| | 100% | | | | | |
| | Average net Unit size | 683 sf | 87 | 59,407 sf | | |
| Total GFA | | | | 71,694 sf | | |
| | Efficiency | | | 83% | | 100% |

| Parking | | | | | | |
|-------------------------------|---|------------|-----------------|----------------|-------------------------|-------------|
| Car Parking | Required Residential (Core Area) | Units | Required Stalls | Proposed | Parking Area | |
| 45 sm (484 sf) | < 45 sm (484 sf) | 0.60 /unit | 6 | 4 | 22,550 sf 2,095.1 m2 | |
| | < 70 sm (753 sf) | 0.70 /unit | 49 | 34 | | |
| | > 70 sm (753 sf) | 1.10 /unit | 32 | 35 | | |
| | | | 87 Total | 73 | | |
| | Required Accessible 2 cars / 51-75 spaces | | 2 incl'd above | 2 incl'd above | | |
| | Required Van Accessible 1 car / 51-75 spaces | | 1 incl'd above | 1 incl'd above | | |
| | Total Residential Cars | | 73 | 54 | | |
| | Required Visitor 0.10 /unit | 87 | 9 | 7 | | |
| | Required Visitor Accessible 0 cars / 6-25 visitor spaces | | 0 incl'd above | 0 incl'd above | | |
| | Required Visitor Van Accessible 1 car / 6-25 visitor spaces | | 1 incl'd above | 1 incl'd above | | |
| | Total Visitors Parking | | 9 | 7 | | |
| | Total | | 82 | 61 | | 0.70 |
| Long Term Bike Parking | | | | | | |
| | Required | | | Proposed | | |
| Greater of 6 or | < 45 sm (484 sf) | 1.00 /unit | 6 | 6 | | |
| | > 45 sm (484 sf) | 1.25 /unit | 81 | 101 | | |
| | | | Total | 107 | 108 | |
| Short Bike Parking | | | | | | |
| | Required | | | | | |
| Greater of 6 or | 0.1 /unit | 87 | 9 | 8 | | |

| RENTAL APARTMENT UNITS | | | | | | | | | | | |
|--|------------------|------------------|------------------|------------------|------------------|------------------|------------------|-------------|-----------|------------------|----------|
| Room Type | Parking | Main Floor | 2nd Floor | 3rd Floor | 4th Floor | 5th Floor | 6th Floor | Total Units | Unit Area | Total Area | Unit Mix |
| S Studio | | 1 | 1 | 1 | 1 | 1 | 1 | 6 | 434 SF | 2,604 SF | 7% |
| A1 1 Bedroom | | 5 | 5 | 4 | 4 | 4 | 4 | 26 | 530 SF | 13,780 SF | 30% |
| A2 1 Bedroom + Flex | | 2 | 2 | 2 | 2 | 2 | 2 | 12 | 656 SF | 7,872 SF | 14% |
| A2e 1 Bedroom | | 0 | 1 | 1 | 1 | 1 | 1 | 5 | 581 SF | 2,905 SF | 6% |
| A2ap 1 Bedroom (adaptable) | | 1 | 1 | 1 | 1 | 1 | 1 | 6 | 581 SF | 3,486 SF | 7% |
| B1 2 Bedroom 2 Bath | | 0 | 0 | 1 | 1 | 1 | 1 | 4 | 798 SF | 3,192 SF | 5% |
| B2 2 Bedroom 2 Bath | | 1 | 1 | 1 | 1 | 1 | 1 | 6 | 852 SF | 5,112 SF | 7% |
| C2 2 Bedroom 2 Bath Corner | | 0 | 2 | 2 | 2 | 2 | 2 | 10 | 797 SF | 7,970 SF | 11% |
| D1 3 Bedroom 2 Bath Corner | | 1 | 1 | 1 | 1 | 1 | 1 | 6 | 991 SF | 5,946 SF | 7% |
| D2 3 Bedroom 2 Bath Corner | | 1 | 1 | 1 | 1 | 1 | 1 | 6 | 1,090 SF | 6,540 SF | 7% |
| #UNIT / FLOOR | | 12 | 15 | 15 | 15 | 15 | 15 | 87 | Avg Unit | | |
| UNIT AREA/FLOOR | | 7,910 SF | 10,085 SF | 10,353 SF | 10,353 SF | 10,353 SF | 10,353 SF | | 683 SF | 59,407 SF | 100% |
| | | | | | | | | | net | | |
| Common Area | | 1,242 SF | 1,269 SF | 1,272 SF | 1,272 SF | 1,272 SF | 1,272 SF | | | 7,599 SF | |
| Entry Lobby (Open to 2nd Floor) | | 271 SF | 271 SF | | | | | | | 542 SF | |
| Amenity Room | | 593 SF | | | | | | | | SF | |
| Bike Rooms | | 1,583 SF | | | | | | | | | |
| Exterior Wall | | 415 SF | 311 SF | 311 SF | 311 SF | 311 SF | 311 SF | | | | |
| FLOOR AREA (Excludes Bike Room and Exterior Wall) for FSR Calculation | | 10,016 SF | 11,354 SF | 11,625 SF | 11,625 SF | 11,625 SF | 11,625 SF | | | 67,870 SF | |
| GROSS FLOOR AREA (includes ground floor bike rooms and Exterior Wall) | 22,550 SF | 12,014 SF | 11,936 SF | 11,936 SF | 11,936 SF | 11,936 SF | 11,936 SF | | | 71,694 SF | |
| NET EFFICIENCY | | 66 % | 84 % | 87 % | 87 % | 87 % | 87 % | | | 83 % | |
| Unit area over Gross Floor Area | | | | | | | | | | | |
| FSR | | 2094.9 sm | 930.5 sm | 1054.8 sm | 1080.0 sm | 1080.0 sm | 1080.0 sm | | | 6305.3 sm | |

| RESIDENTIAL UNIT MIX SUMMARY | | |
|------------------------------|-------|-------|
| | Mix % | Units |
| S Studio | 7% | 6 |
| A1 A2e A2ap One Bedroom | 49% | 43 |
| A2 One Bedroom Flex | 7% | 6 |
| B1 B2 C2 Two Bedroom | 23% | 20 |
| D1 D2 Three Bedroom | 14% | 12 |



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Project
1908 FOUL BAY
Multi-Unit Residential



Development Statistics

Scale: N/A
March 20, 2026



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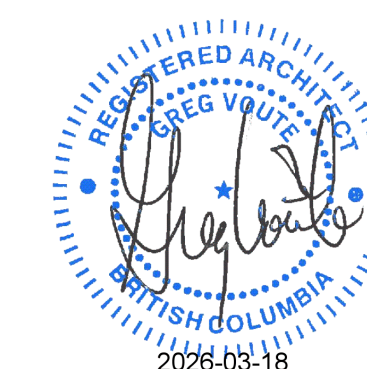
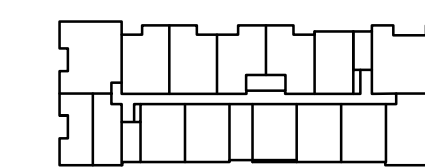
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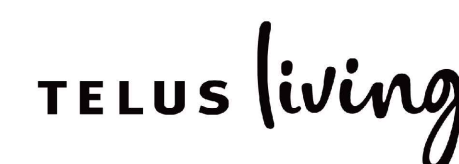
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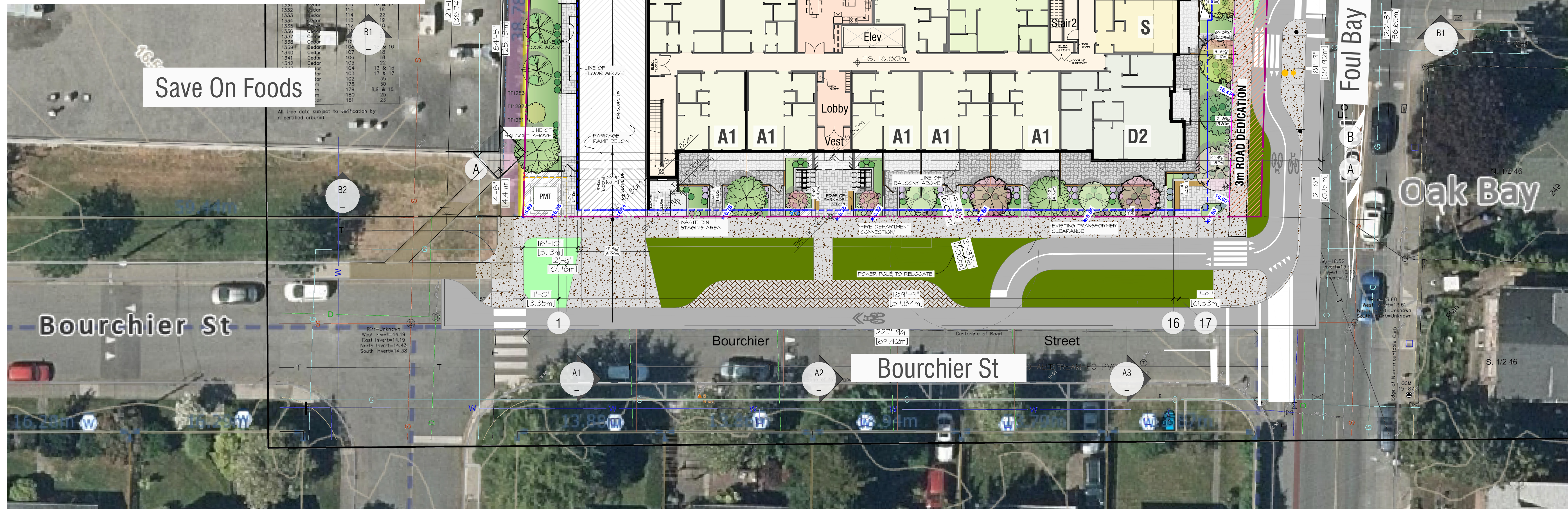
Context Aerial View

Scale:
 March 20, 2026

Aerial View of Proposed Building in Relation to Flanking Buildings

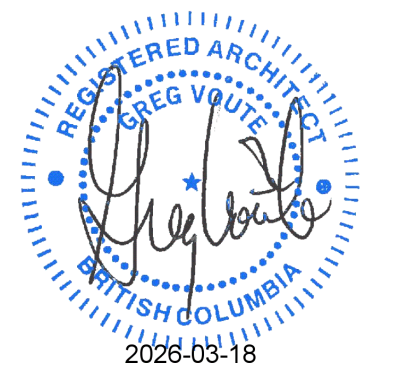
A-0.07

| PROJECT INFORMATION TABLE | | |
|--|---|-----------------------|
| | Proposal | Zone Standard (TCD-1) |
| Site area (m ²) | 2,611.04 m ² | |
| Site area (m ²) post dedication | 2,500.95 m ² | |
| Total floor area (m ²) | 6,305.33 m ² | |
| Commercial floor area (m ²) | N/A | |
| Floor space ratio | 2.52 | 1.6 |
| Site coverage (%) (includes parkade) | 83.8% | 80% |
| Height of building (m) | 20.78 m | 14 m |
| Number of storeys | 6 | 8 |
| Parking stalls (number) on site | 61 | 73 |
| Bicycle parking number (Class 1 and Class 2) | 8 | 9 |
| Building Setbacks (m) | | |
| Front yard (South Side Bouchier Street) | 2.31m | 0 m |
| Rear yard (North Side) | 1.16m | 6 m |
| Side yard (East Side Foul Bay Road) | 3.87m | 0 m |
| Side yard (West Side) | 2.60m | 0 m |
| Combined side yards | N/A | |
| Residential Use Details | | |
| Total number of units | 87 | |
| Unit type, e.g., 1-bedroom | Studio, 1-bedroom, 2-bedroom, 3-bedroom | |
| Ground-orientated units | 12 | |
| Minimum unit floor area (m ²) | 40 m ² | |
| Total residential floor area (m ²) | 5,525 m ² | |

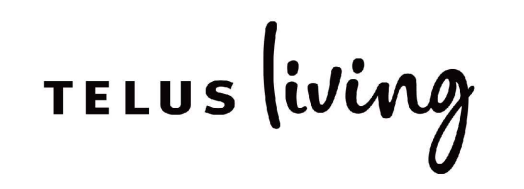


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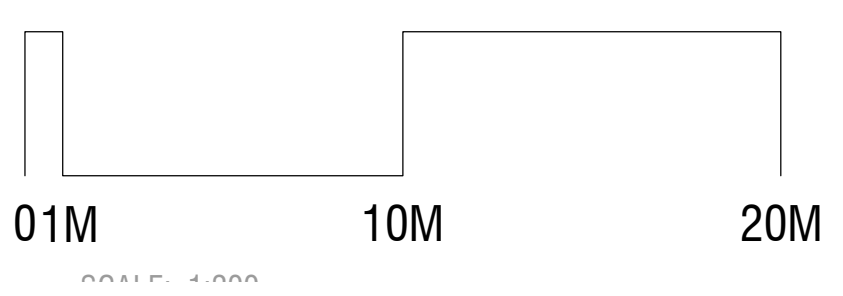
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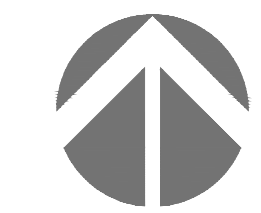
Project
 1908 FOUL BAY
 Multi-Unit Residential



Site Plan
 Scale: 1:200
 March 20, 2026



Site Plan & Project Information



A-1.01



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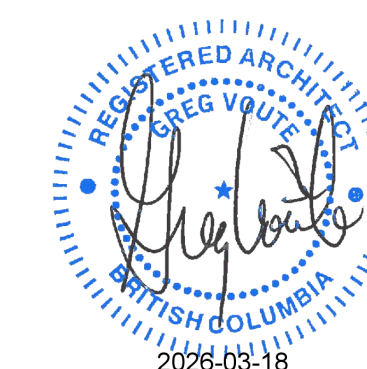
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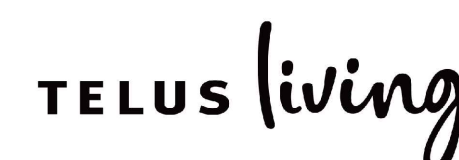
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Project
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 Multi-Unit Residential



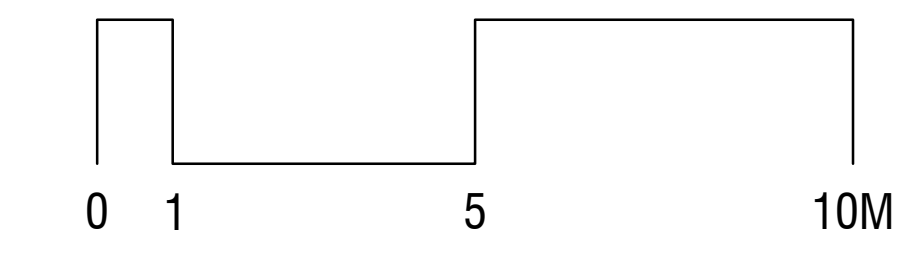
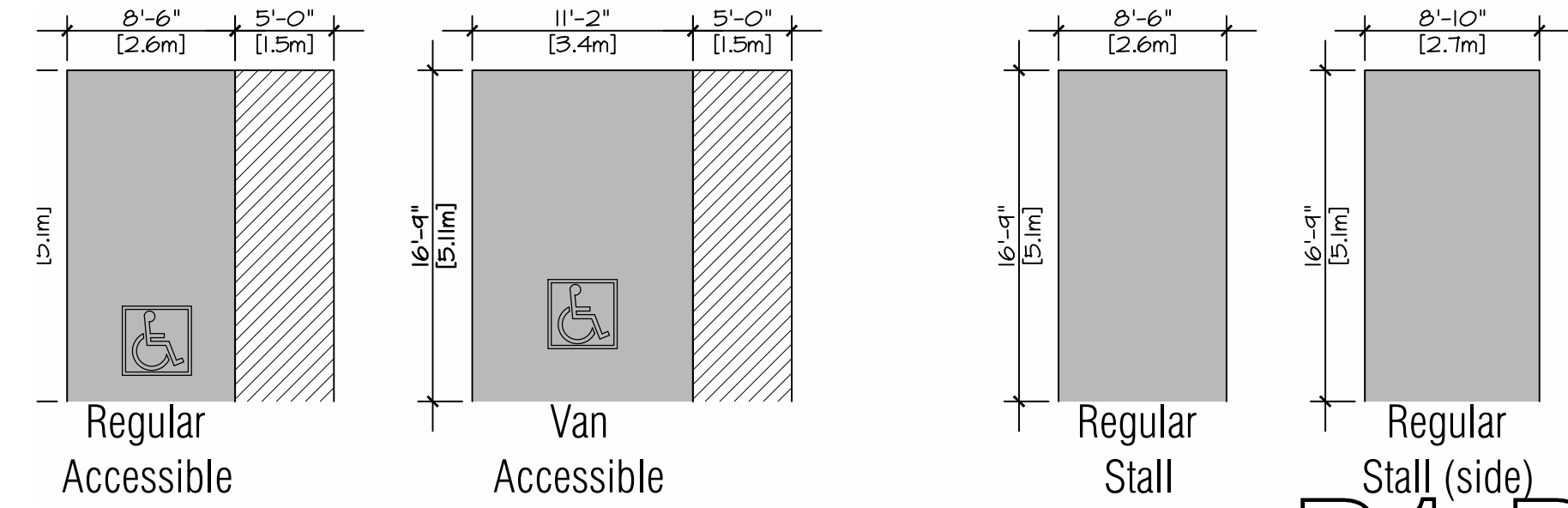
P1 Parking Level Plan

Scale: 1:100
 March 20, 2026



Bourchier Street

Note:
 Each Accessible Parking Space or Van Accessible Parking Space must be marked with signage in accordance with the dimensions and specifications illustrated in Figures 2,3 and 4, Part 5-Section 5.1.7.2 Victoria City Zoning Bylaw 2018 (September, 2025 amended version).



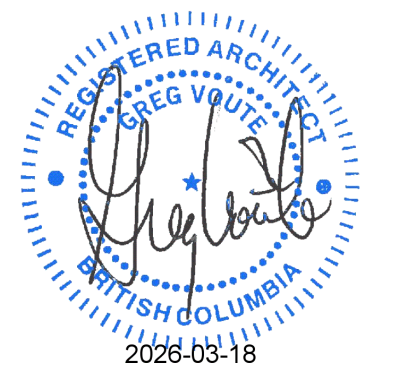
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P1 Parking Level Plan A-2.01

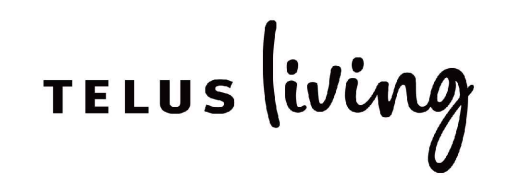


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1908 FOUL BAY
Multi-Unit Residential

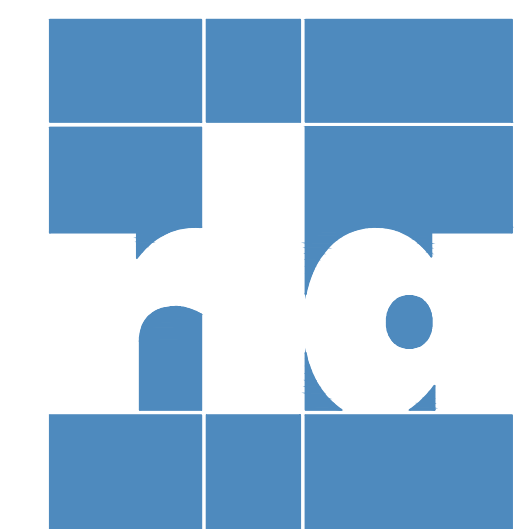


Main Floor Plan
 Scale: 1:100
 March 20, 2026

Main Floor Plan



A-2.02



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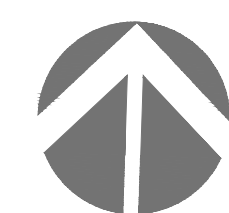
1908 FOUL BAY
 Multi-Unit Residential



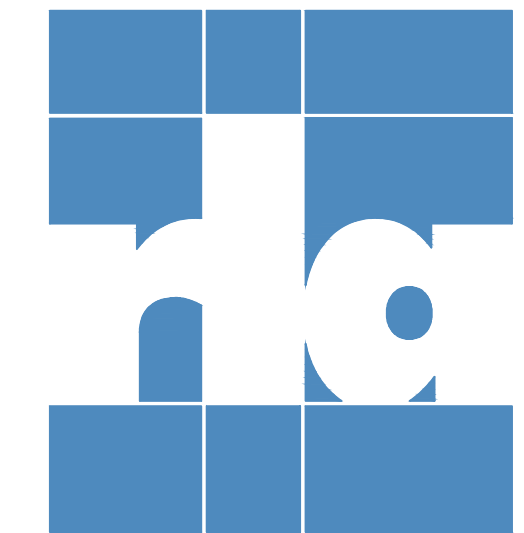
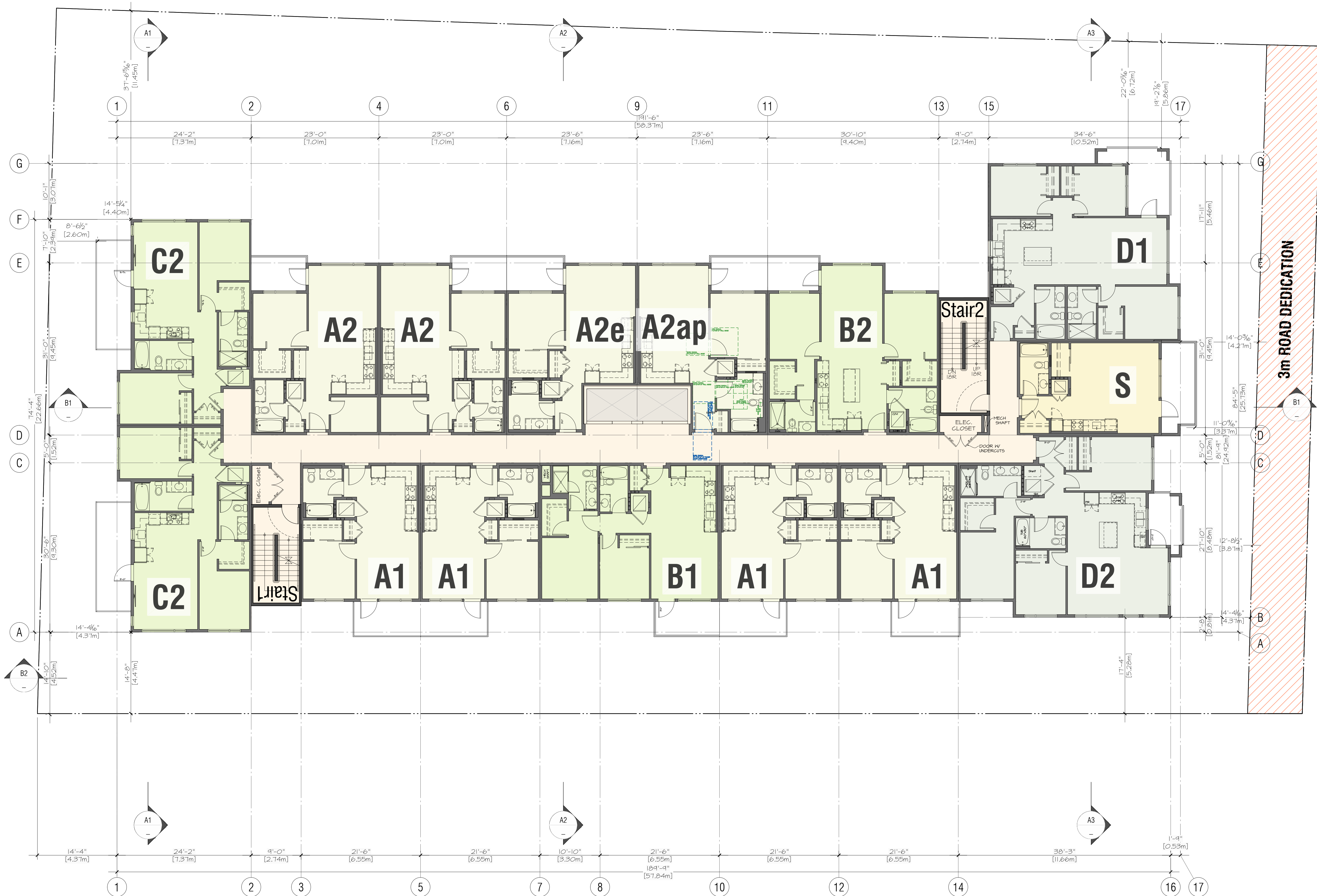
Typical Floor Plan

Scale: 1:100
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Level 2 Floor Plan



A-2.03



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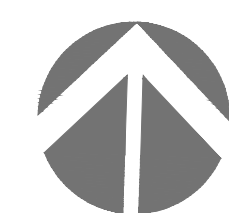


For
 Project
 1908 FOUL BAY
 Multi-Unit Residential

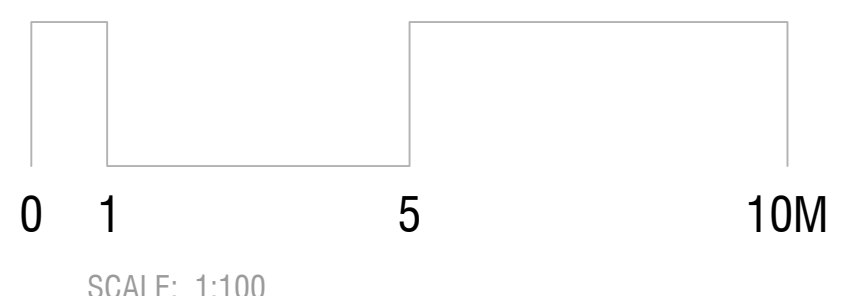
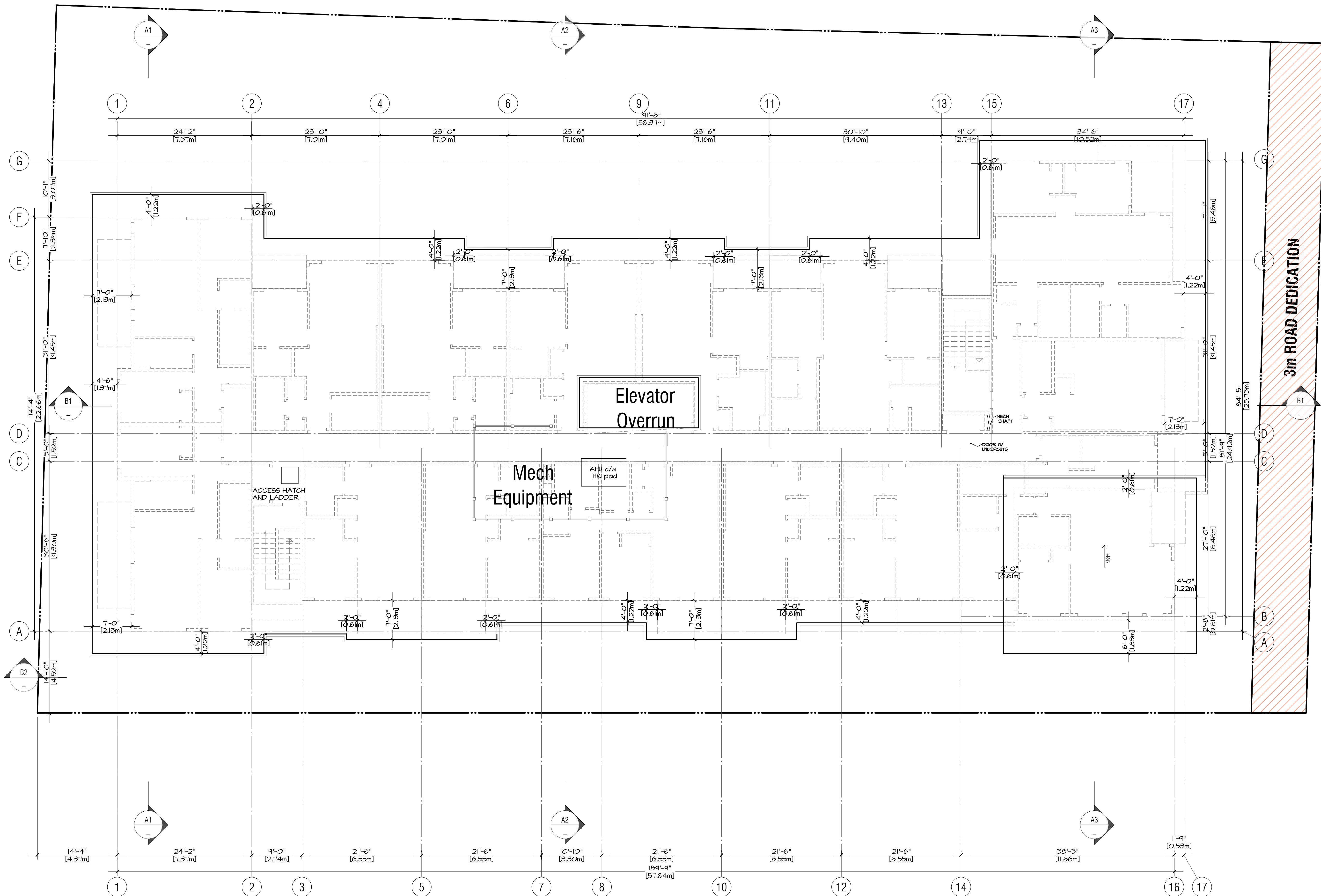


Typical Floor Plan
 Scale: 1:100
 March 20, 2026

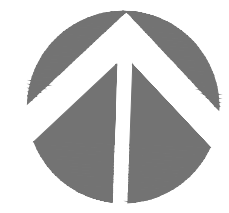
Typical Floor Plan



A-2.04



Roof Plan



A-2.05



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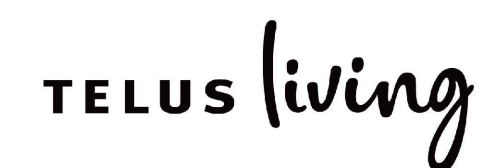
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Project
1908 FOUL BAY
Multi-Unit Residential



Roof Plan
Scale: 1:100
March 20, 2026

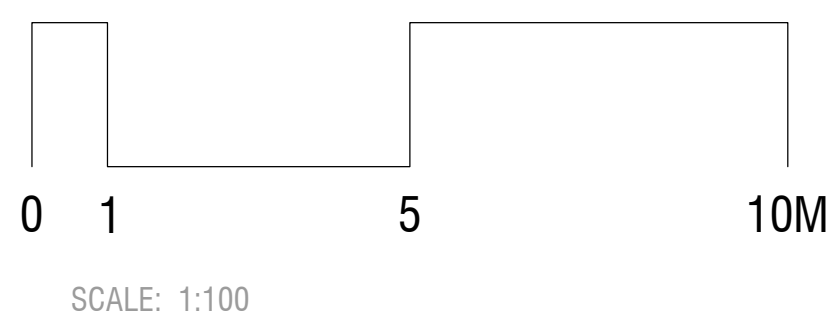
Material Legend

Provide samples of all exterior colours & materials for review & approval

- 1 Roofing**
2- PLY SBS Roofing, Light Grey
- 2 Fascia: Dark**
Fibre Cement
B.C. HC-154 - Hale Navy
- 3 Soffit: Feature Wood**
Fibre Cement, Wood-like Colour
- 4 Soffit: Typical - Light Grey**
Fibre Cement
B.M. HC-169 - Coventry Grey
- 5 Soffit: Typical - Dark Grey**
Fibre Cement
B.M. 2128-20 - Abyss
- 6a Panels: Dark Grey**
Fibre Cement Panels
B.M. 2128-20 - Abyss
- 6b Panels: Neutral**
Fibre Cement Panels
B.M. CC-454 - Cobblestone
- 7 Panels: Rust Red**
Fibre Cement Panels
Woodtone: Rosewood
- 8 LedgeStone:**
Providence LedgeStone
- 9a Vertical Siding: Off White**
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b Vertical Siding: Light Gray**
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Coventry Gray
- 10 Windows: Vinyl Dark**
Vinyl Window Frames, Charcoal Colour
- 11 Windows: Curtain Wall**
Aluminum Frames, Charcoal Colour
- 12 Metal Flashing: Feature**
Match Colour to Adjacent Material
- 13 Privacy Screens & Guards**
Aluminum Frame & Glass Panel Guards and Privacy Screens, Charcoal Colour
- 14 Metal Fence -Charcoal Grey**
Aluminum Fence, Charcoal Colour
- 15 Feature beams - Charcoal Grey**
Fibre Cement Cladded
B.M. 2128-20 - Abyss
- 16 Architectural Concrete**
Exposed Concrete (Painted At Parts of the Building Envelope)
- 17 Sunshades - Charcoal Grey**
Aluminum Frame, Charcoal Colour
- 18 Trims:Dark Grey**
B.M. HC-178 Charcoal Slate
- 19 Trims:Light Grey**
B.M. 2124-40 Thundercloud Grey



South Elevation-Bouchier Street



Elevation - South



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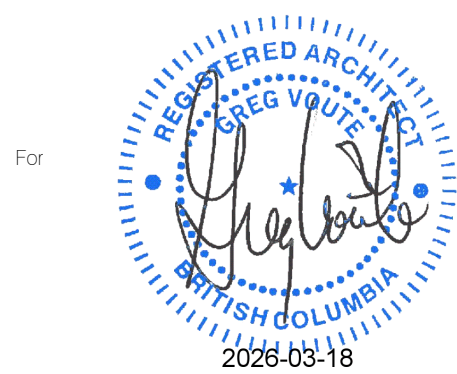
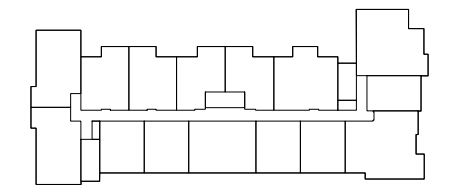
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Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
March 20, 2026

A-3.01

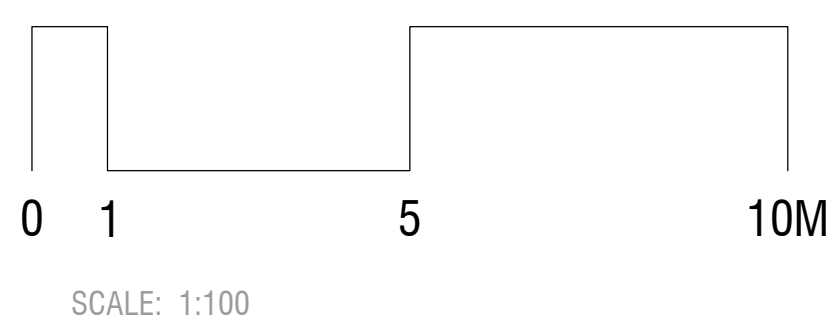
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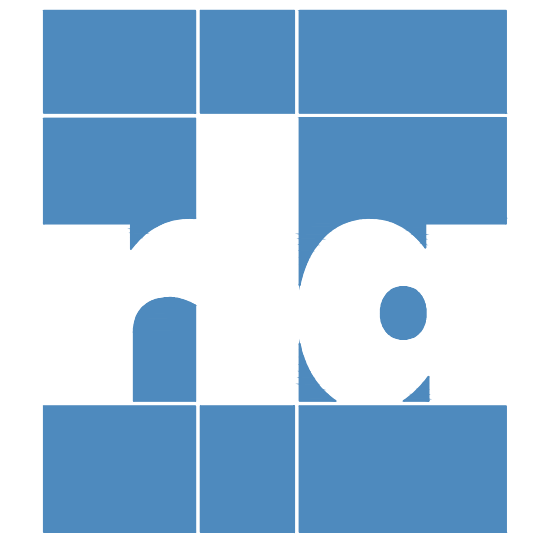
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2- PLY SBS Roofing, Light Grey
- 2 **Fascia: Dark**
Fibre Cement
B.C. HC-154 - Hale Navy
- 3 **Soffit: Feature Wood**
Fibre Cement, Wood-like Colour
- 4 **Soffit: Typical - Light Grey**
Fibre Cement
B.M. HC-169 - Coventry Grey
- 5 **Soffit: Typical - Dark Grey**
Fibre Cement
B.M. 2128-20 - Abyss
- 6a **Panels: Dark Grey**
Fibre Cement Panels
B.M. 2128-20 - Abyss
- 6b **Panels: Neutral**
Fibre Cement Panels
B.M. CC-454 - Cobblestone
- 7 **Panels: Rust Red**
Fibre Cement Panels
Woodtone: Rosewood
- 8 **Ledgestone:**
Providence Ledgestone
- 9a **Vertical Siding: Off White**
Fibre Cement Vertical Board & Batten
B.M. OC-17 - White Dove
- 9b **Vertical Siding: Light Gray**
Fibre Cement Vertical Board & Batten
B.M. HC-169 - Coventry Grey
- 10 **Windows: Vinyl Dark**
Vinyl Window Frames, Charcoal Colour
- 11 **Windows: Curtain Wall**
Aluminum Frames, Charcoal Colour
- 12 **Metal Flashing: Feature**
Match Colour to Adjacent Material
- 13 **Privacy Screens & Guards**
Aluminum Frame & Glass Panel Guards and Privacy Screens, Charcoal Colour
- 14 **Metal Fence - Charcoal Grey**
Aluminum Fence, Charcoal Colour
- 15 **Feature beams - Charcoal Grey**
Fibre Cement Cladded
B.M. 2128-20 - Abyss
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Exposed Concrete (Painted At Parts of the Building Envelope)
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Aluminum Frame, Charcoal Colour
- 18 **Trims: Dark Grey**
B.M. HC-178 Charcoal Slate
- 19 **Trims: Light Grey**
B.M. 2124-40 Thundercloud Grey



North Elevation

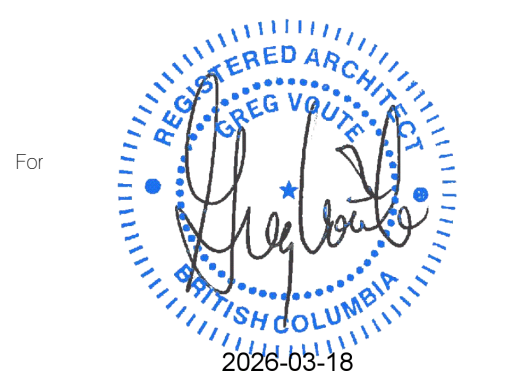
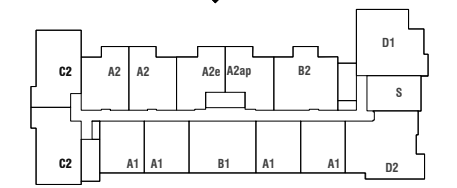


Elevation - North



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Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
March 20, 2026

A-3.02

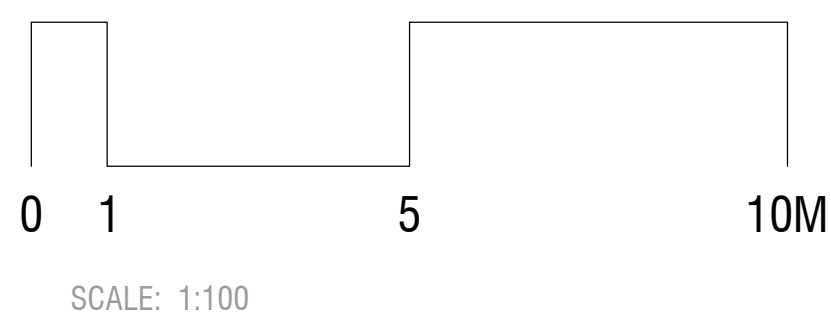
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Fibre Cement
B.C. HC-154 - Hale Navy
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Fibre Cement
B.M. HC-169 - Coventry Grey
- 5 **Soffit: Typical - Dark Grey**
Fibre Cement
B.M. 2128-20 - Abyss
- 6a **Panels: Dark Grey**
Fibre Cement Panels
B.M. 2128-20 - Abyss
- 6b **Panels: Neutral**
Fibre Cement Panels
B.M. CC-454 - Cobblestone
- 7 **Panels: Rust Red**
Fibre Cement Panels
Woodtone: Rosewood
- 8 **Ledgestone:**
Providence Ledgestone
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B.M. 2128-20 - Abyss
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Aluminum Frame, Charcoal Colour
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B.M. HC-178 Charcoal Slate
- 19 **Trims: Light Grey**
B.M. 2124-40 Thundercloud Grey



East Elevation-Foul Bay Road

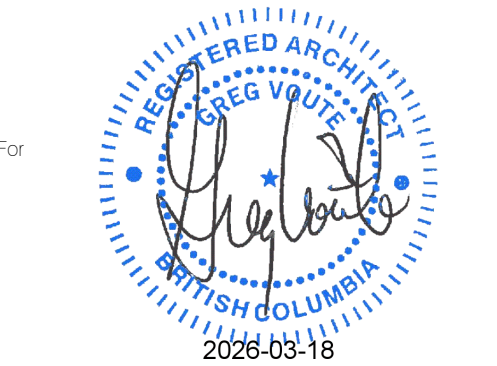
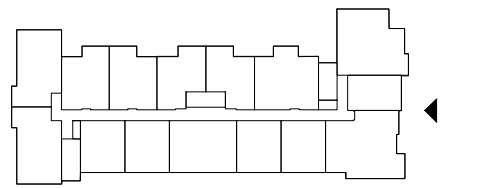


Elevation - East



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Project
1908 FOUL BAY
Multi-Unit Residential



Elevations

Scale: 1:100
March 20, 2026

A-3.03

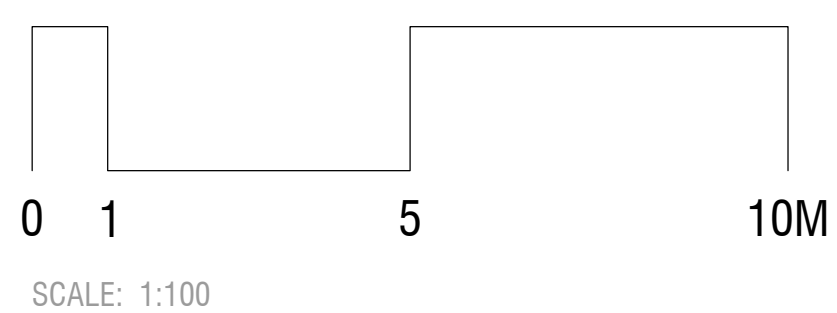
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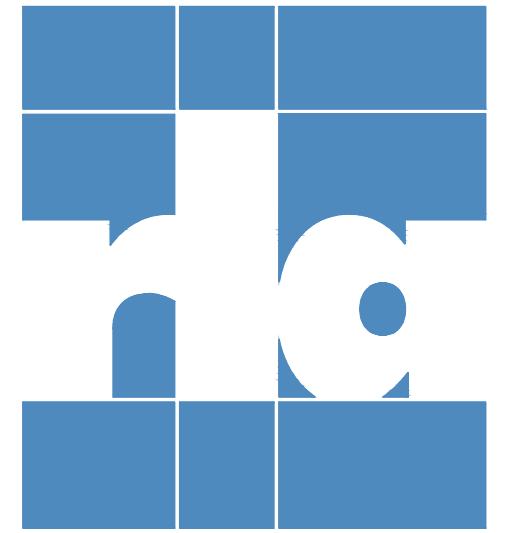
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Fibre Cement
B.M. HC-169 - Coventry Grey
- 5 **Soffit: Typical - Dark Grey**
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- 6a **Panels: Dark Grey**
Fibre Cement Panels
B.M. 2128-20 - Abyss
- 6b **Panels: Neutral**
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Fibre Cement Panels
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Aluminum Fence, Charcoal Colour
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B.M. HC-178 Charcoal Slate
- 19 **Trims: Light Grey**
B.M. 2124-40 Thundercloud Grey



West Elevation



Elevation - West



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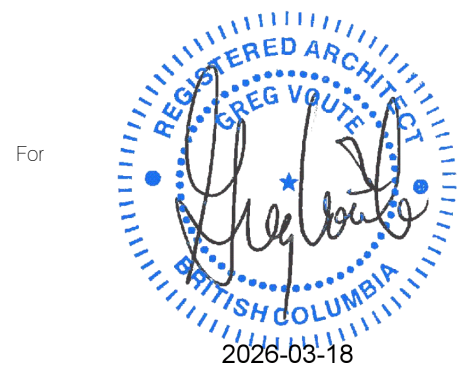
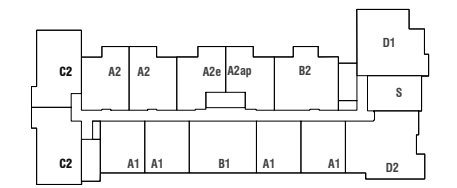
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Project
1908 FOUL BAY
Multi-Unit Residential



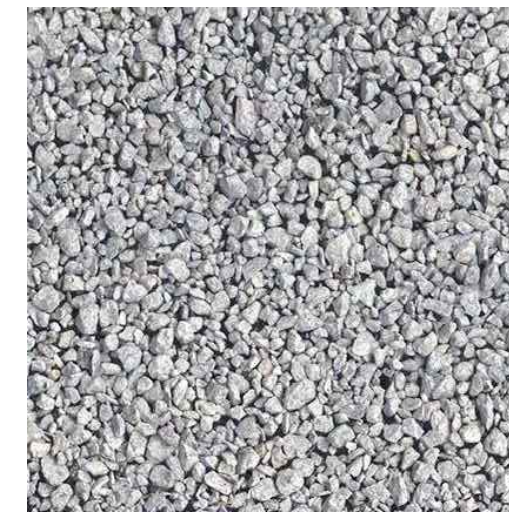
Elevations

Scale: 1:100
March 20, 2026

A-3.04



- Roofing
- Fascia - Dark Grey
- Soffit - Feature Wood
- Fiber Cement Vertical Board & Batten - Coventry Gray
- Fiber Cement Wrapped Feature Beams
- Trim - Light Grey
- Metal Guardrails
- Panels - Neutral
- Panels - Rust Red
- Sunshades Charcoal Grey
- Vinyl Windows - Dark
- Trim - Dark
- Fiber Cement Vertical Board & Batten - Off White
- Trim - White
- Fiber Cement Panel-Wood Like
- Fiber Cement Vertical Board & Batten - Coventry Gray
- Windows: - Curtain Wall
- Architectural Concrete
- Providence LedgeStone



1 Roofing
2-Ply SBS Roofing
Coloured Light Gray



2 Fascia
Fibre Cement - Light Gray / Dark Gray
B.M. HC 154 - Hale Navy
Concealed Fasteners



3 Soffit: Feature Wood
Wood-like Fibre Cement Board
7" Exposure, Pacific Sands Fisher Coating
Scandinavian Oak
Colour matched fasteners

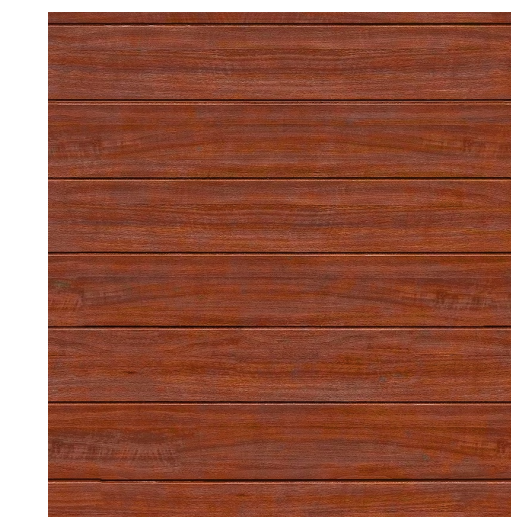


4 Soffit
Fibre Cement - Light Gray / Dark Gray
B.M. HC-169 - Coventry Gray
B.M. 2128-20 - Abyss
Concealed Fasteners



6a Panels
Fibre Cement - Dark Gray
B.M. 2128-20 - Abyss
Concealed Fasteners

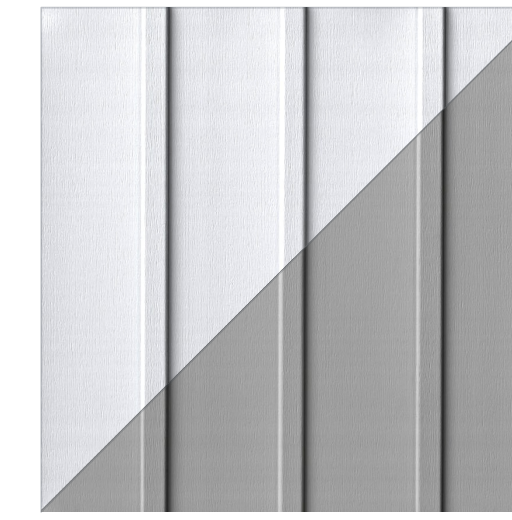
6a B.M. CC-454 - Cobblestone
Concealed Fasteners



7 Panels
Fibre Cement - Rust Red
Woodtone: Rosewood



8 LedgeStone
Providence LedgeStone



9a Panels
Fibre Cement- Off White / Light Gray
Vertical Board & Batten
B.M. OC-17 - White Dove
B.M. HC-169 - Coventry Gray

9b



10 Vinyl Windows
High Performance Low-E
Dark Coloured - Dark Charcoal Vinyl



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Colour Material Board

Scale: NTS
March 20, 2026



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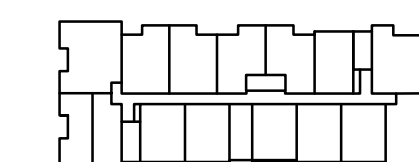
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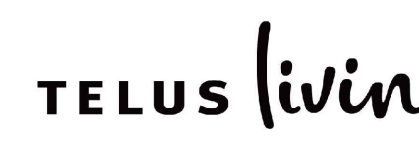
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Streetscape Elevation - South

A-3.06



Project
1908 FOUL BAY
Multi-Unit Residential



Streetscape Elevations
South

Scale: 1:150
March 20, 2026



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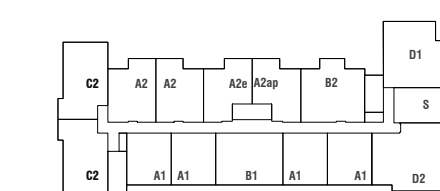
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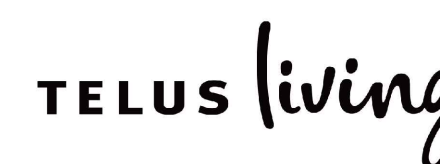
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Project
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Multi-Unit Residential



Streetscape Elevations
East

Scale: 1:150
March 20, 2026



SCALE: 1:150

Streetscape Elevation - East

A-3.07



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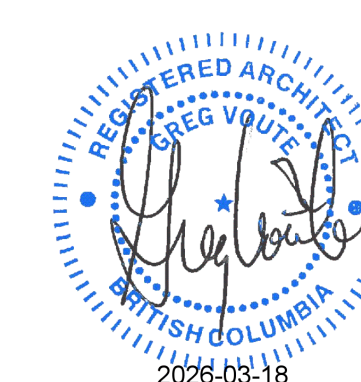
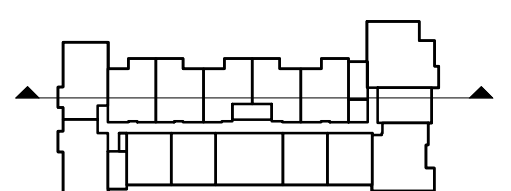
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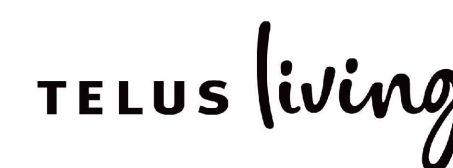
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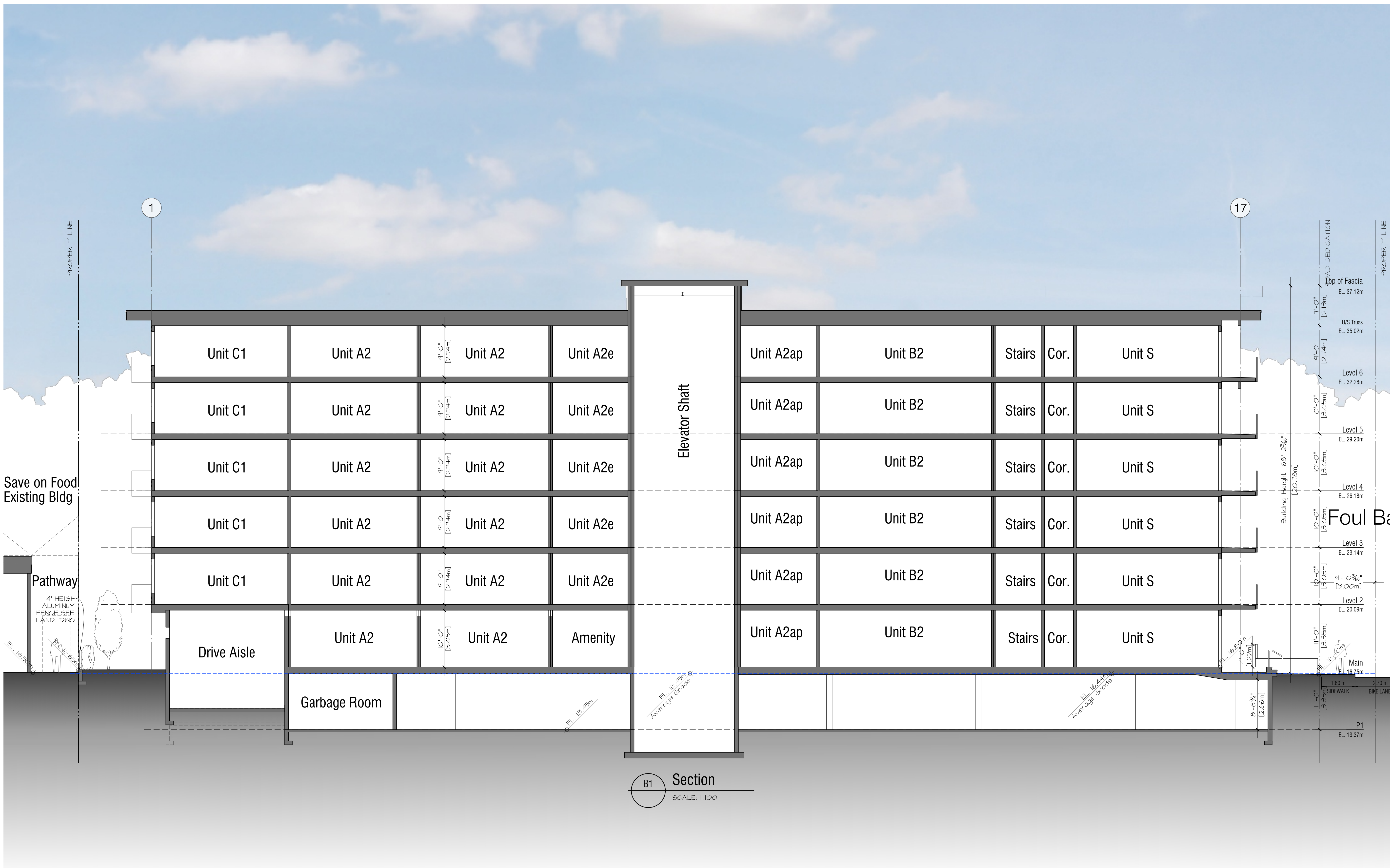


Project
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Multi-Unit Residential

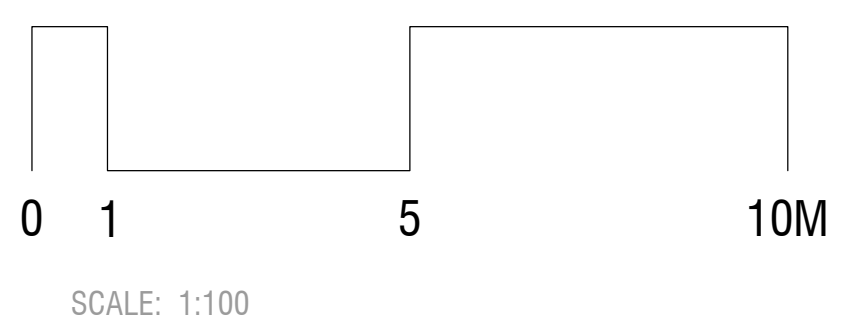


Sections

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March 20, 2026

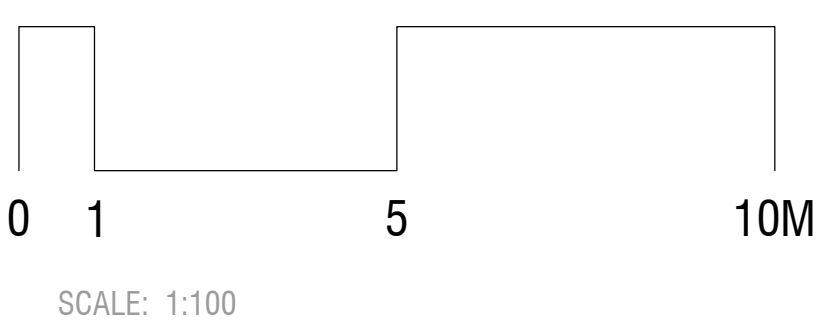
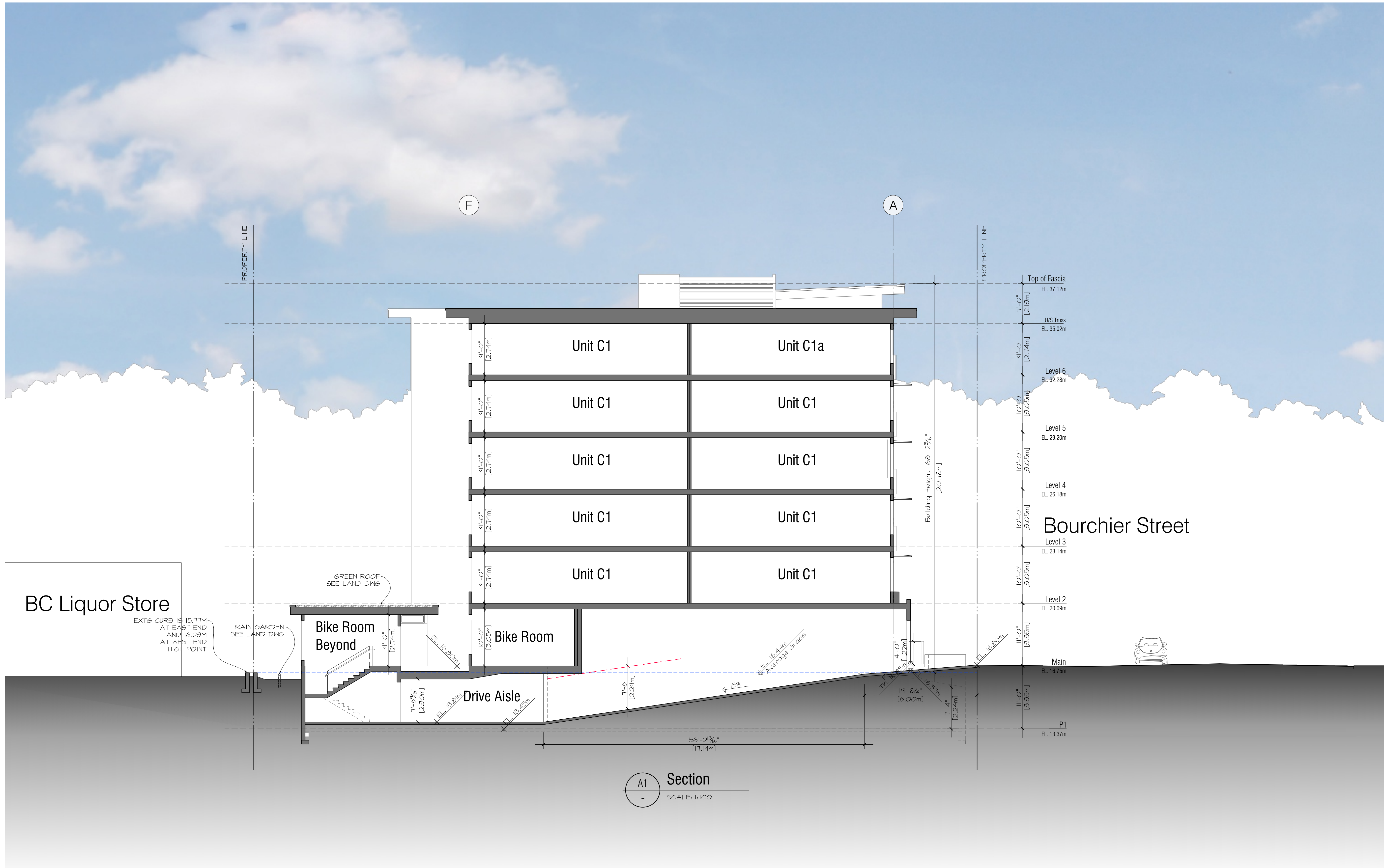


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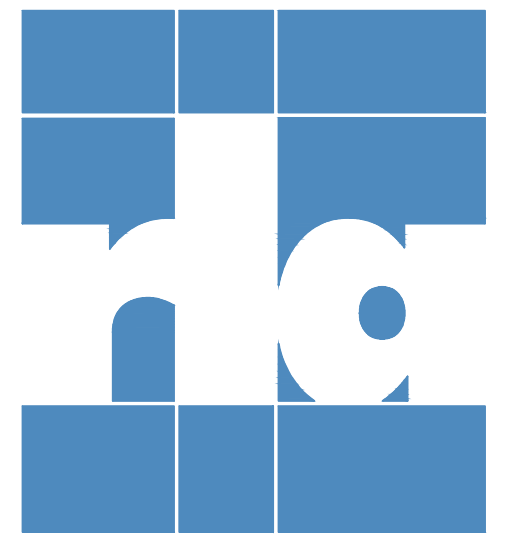


Section - B1

A-4.01



Section -A1



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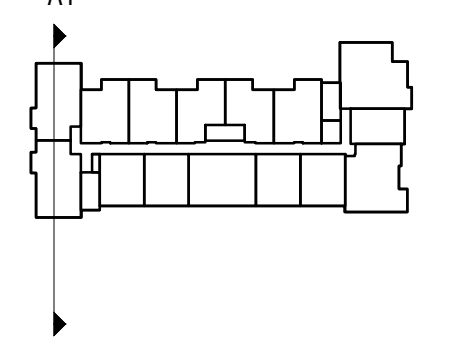
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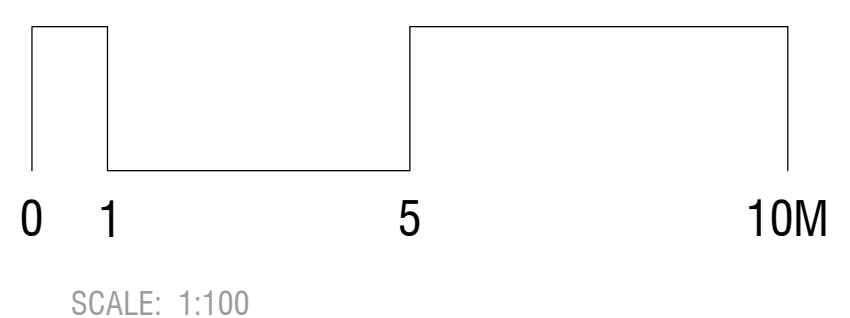
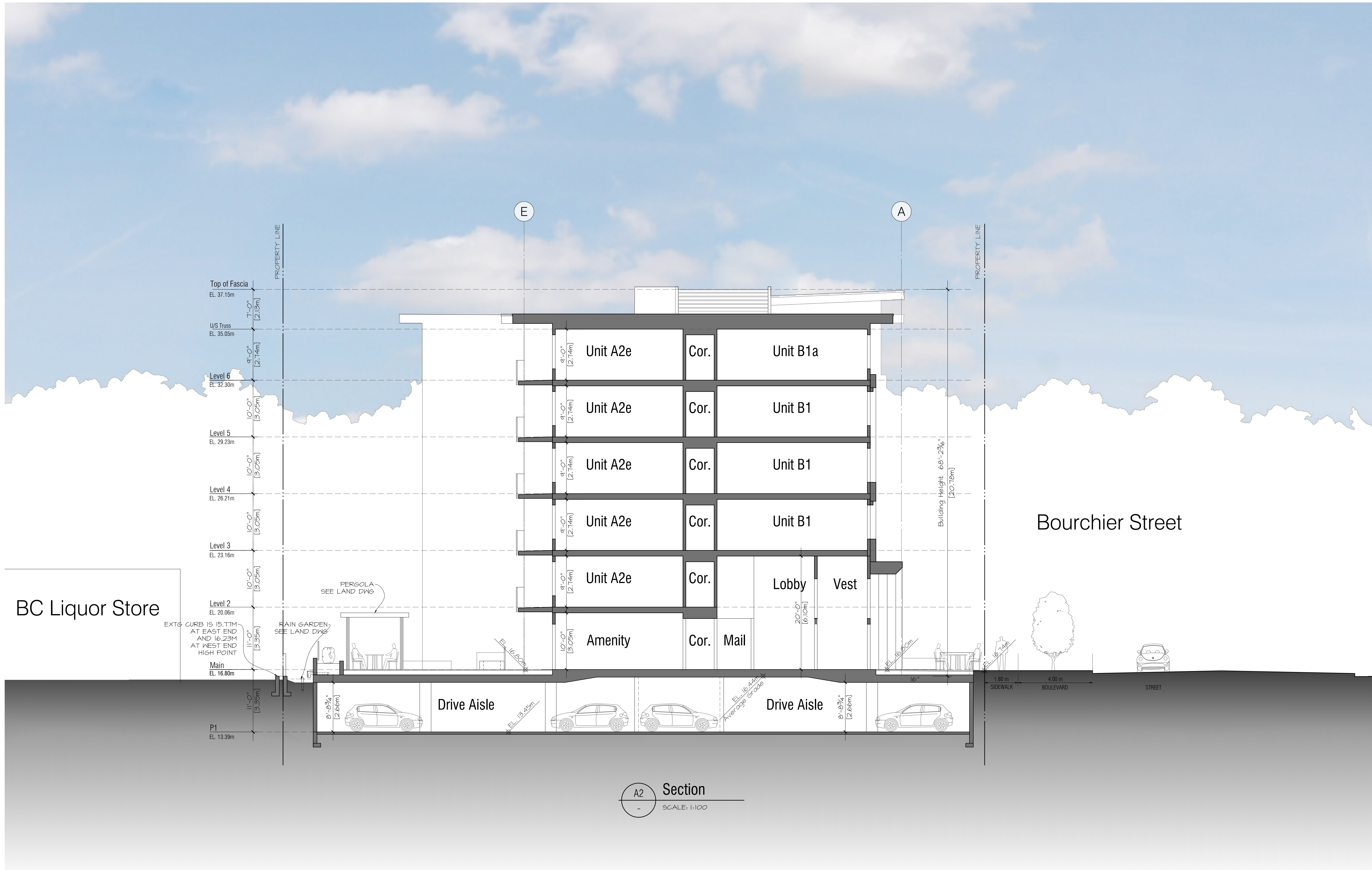


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 1908 FOUL BAY
 Multi-Unit Residential

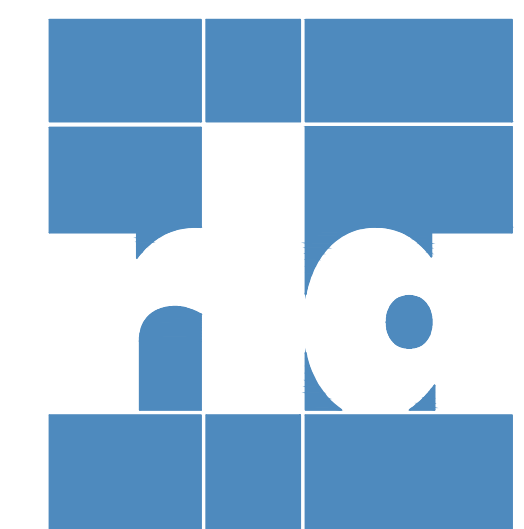


Sections
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 March 20, 2026

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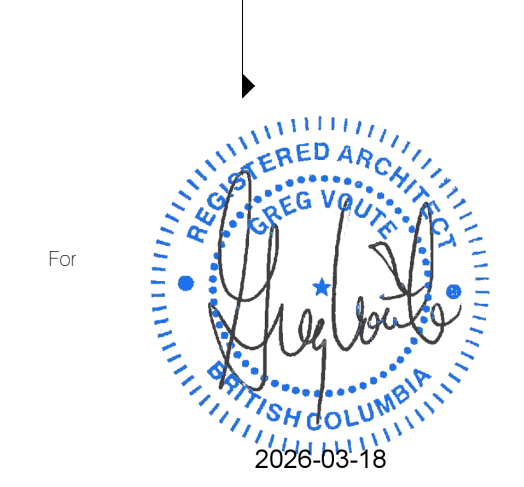
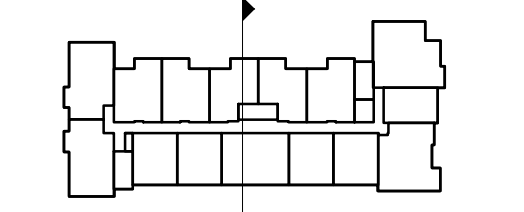


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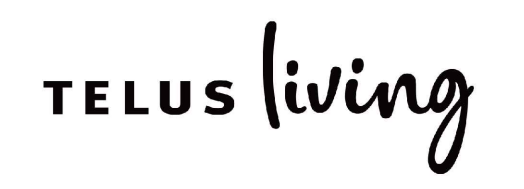


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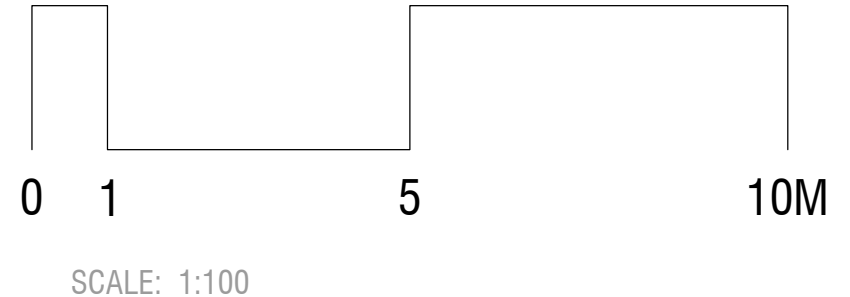
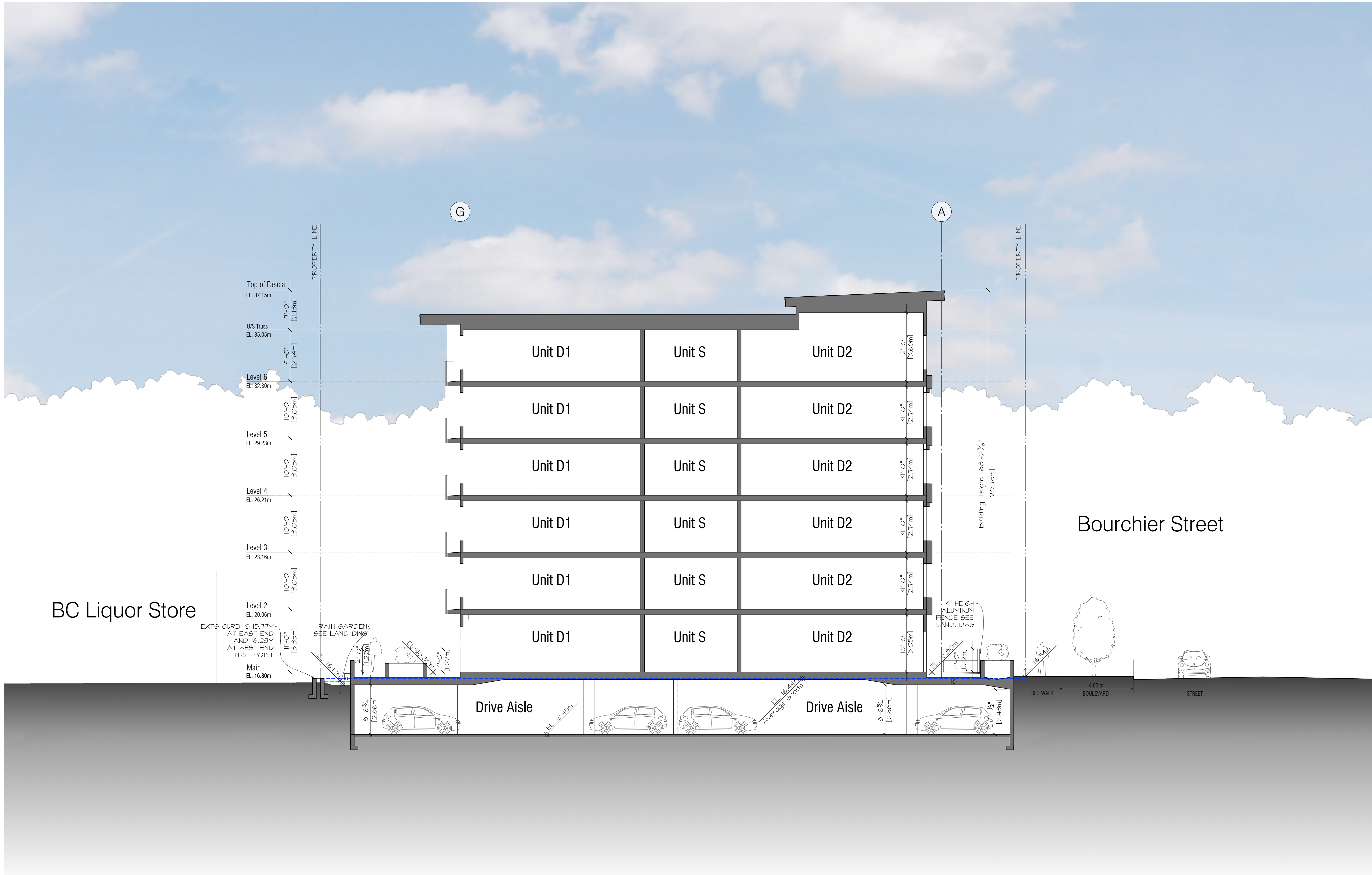


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 Multi-Unit Residential

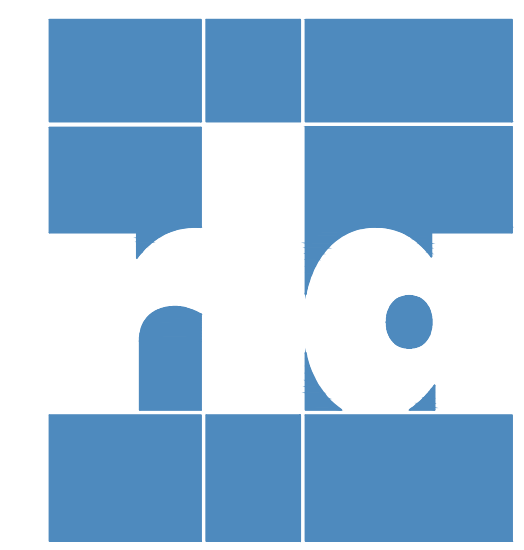


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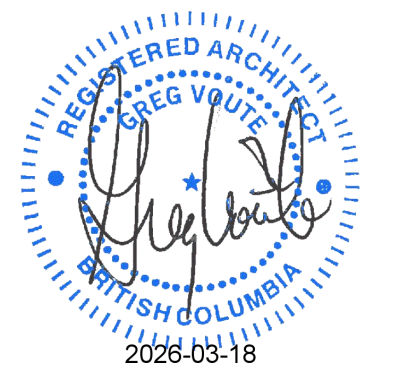
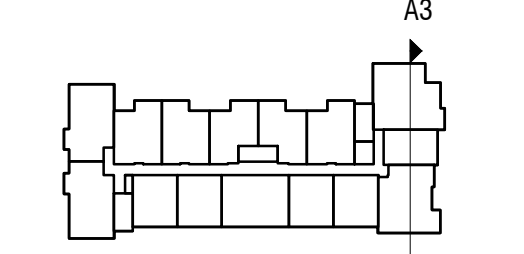


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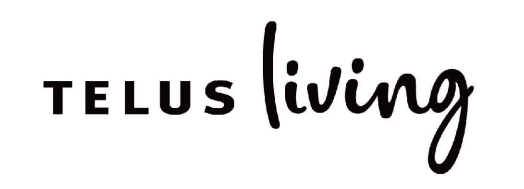


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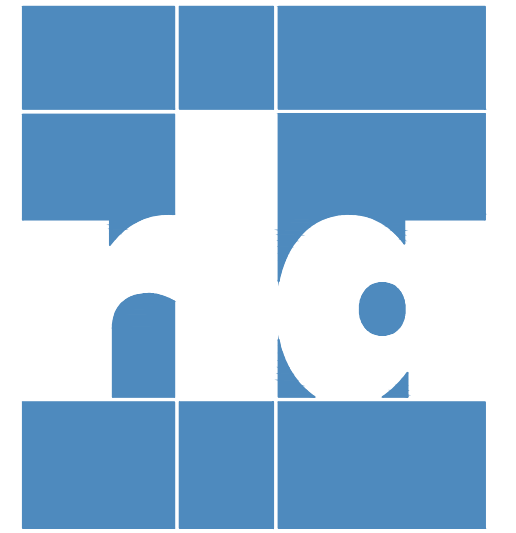


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Sections
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A-4.03



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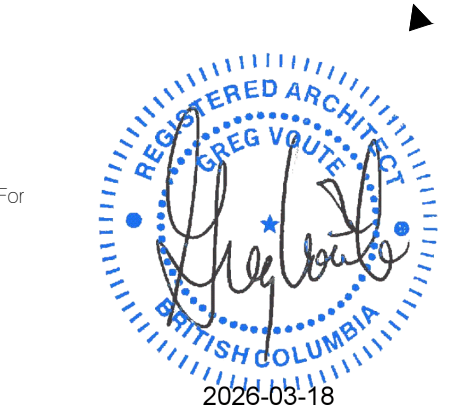
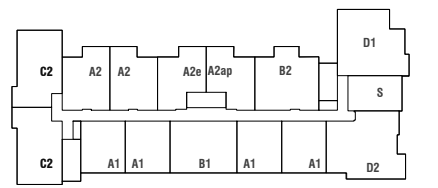
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 Multi-Unit Residential

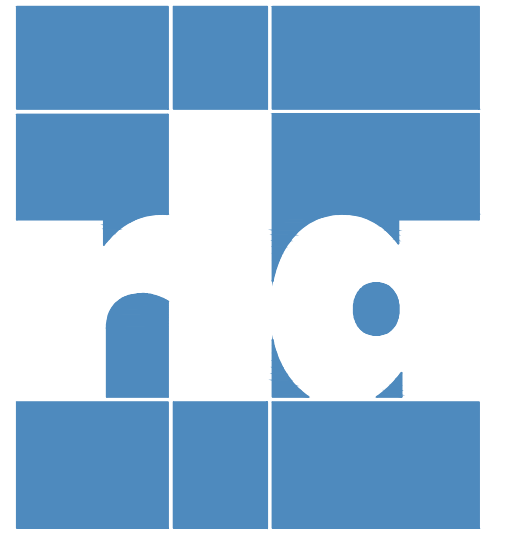


Views

Scale:
 March 20, 2026

Concept Model View - SE corner-Bourchier

A-5.01



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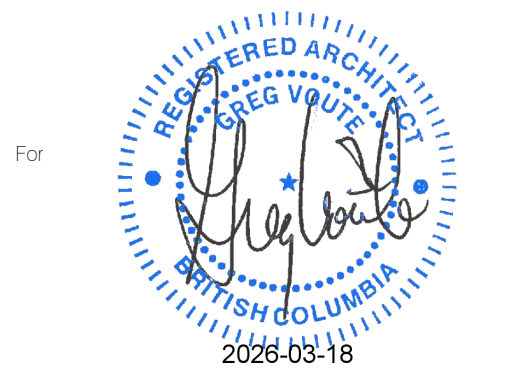
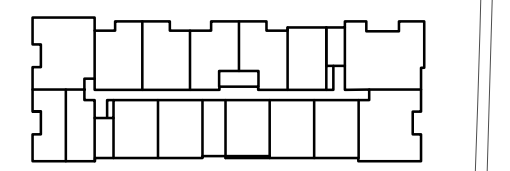
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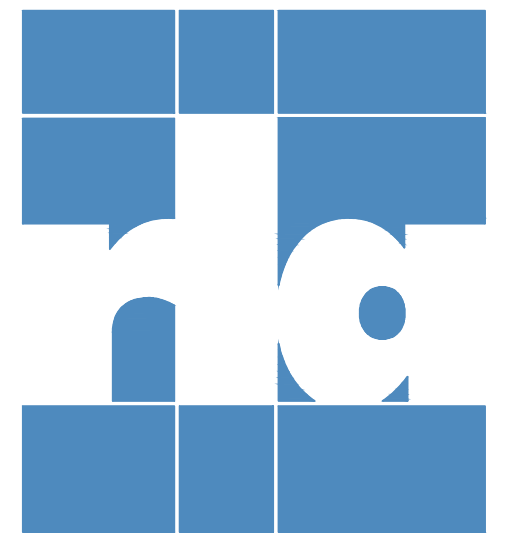
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Views

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Concept Model View - NE-Foul Bay A-5.02



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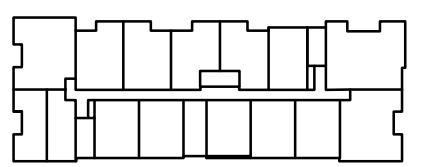
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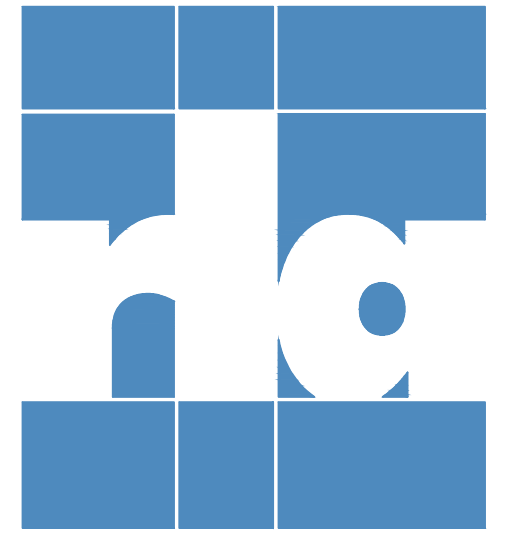
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Views

Scale:
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Concept Model View - Entry A-5.03



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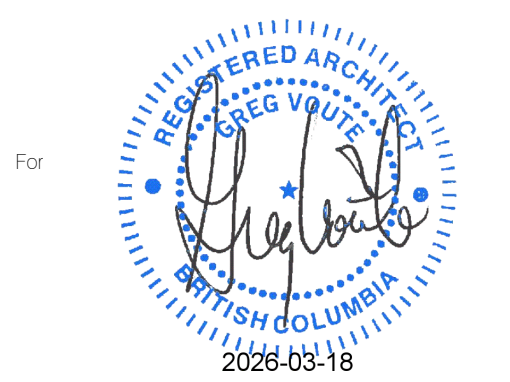
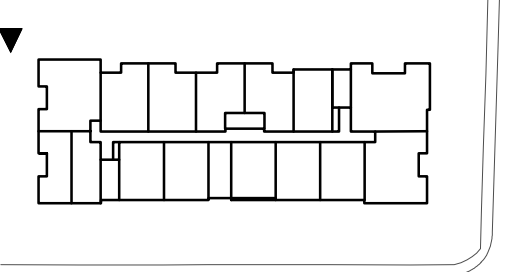
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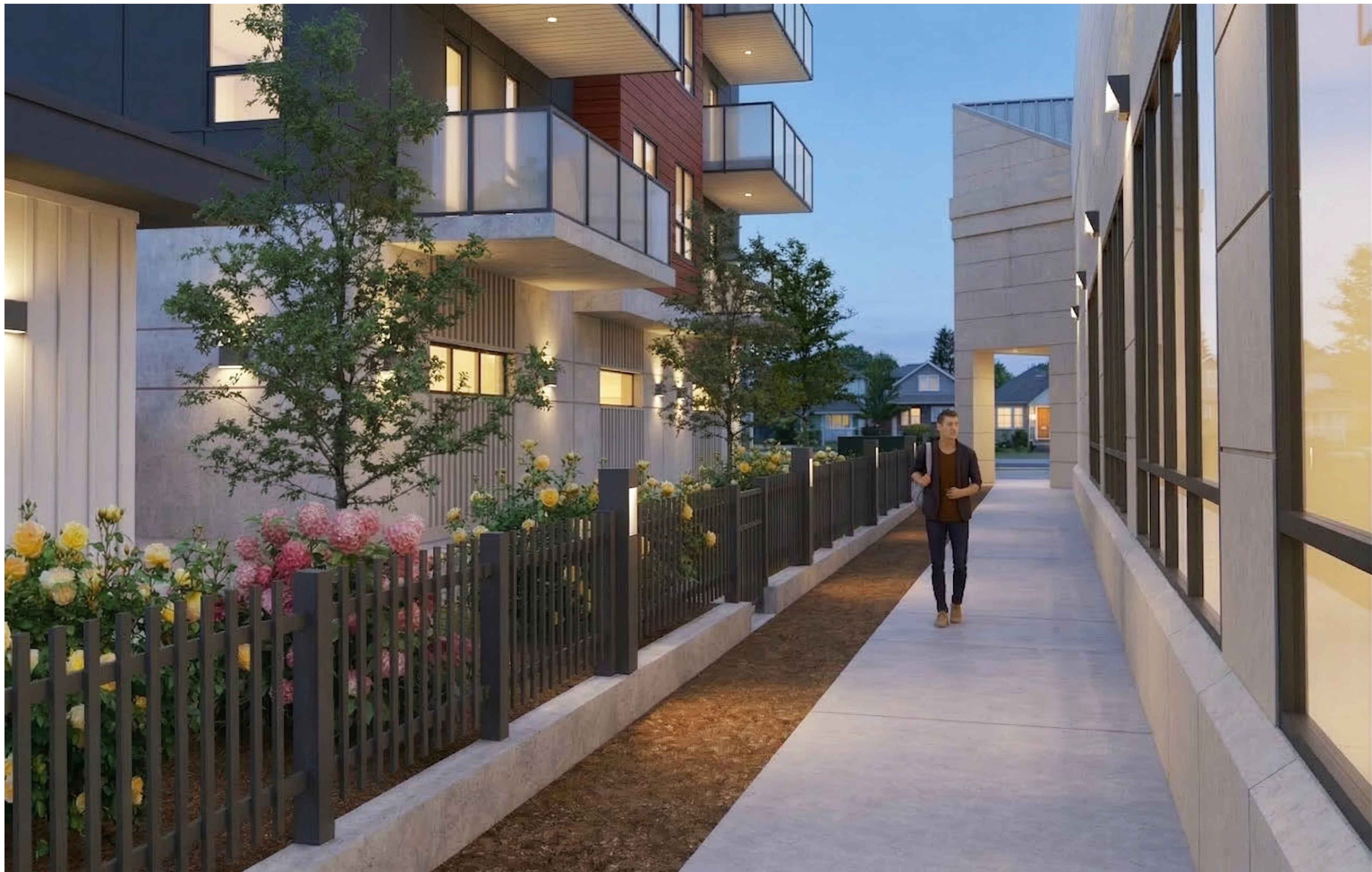
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Views

Scale:
 March 20, 2026

Pathway Concept Model-Day View



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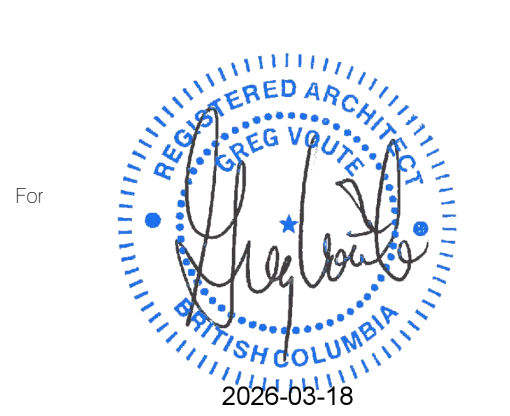
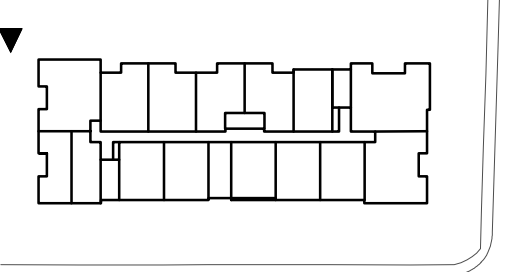
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Project
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 Multi-Unit Residential



Views

Scale:
 March 20, 2026

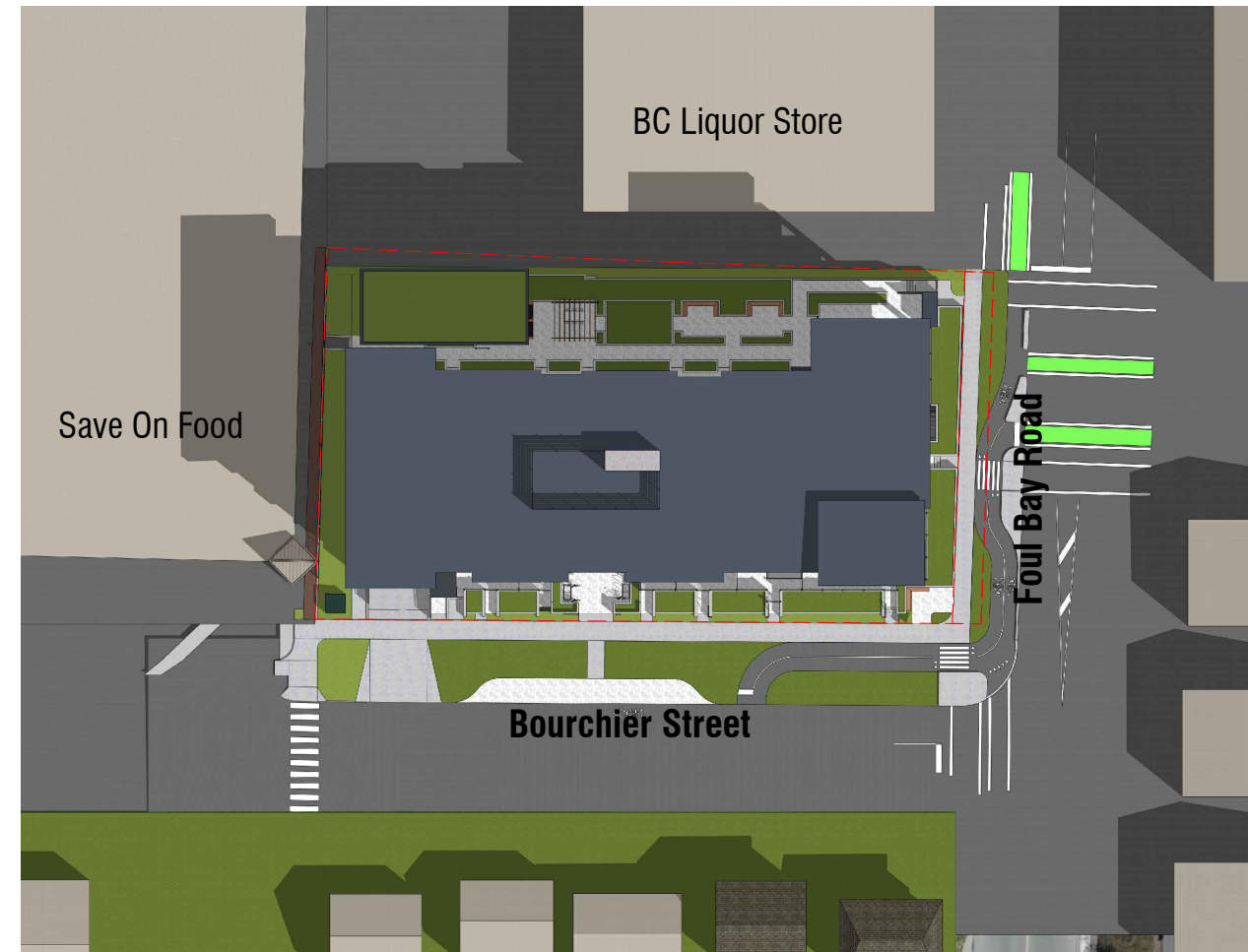
Pathway Concept Model-Night View A-5.05

SPRING EQUINOX

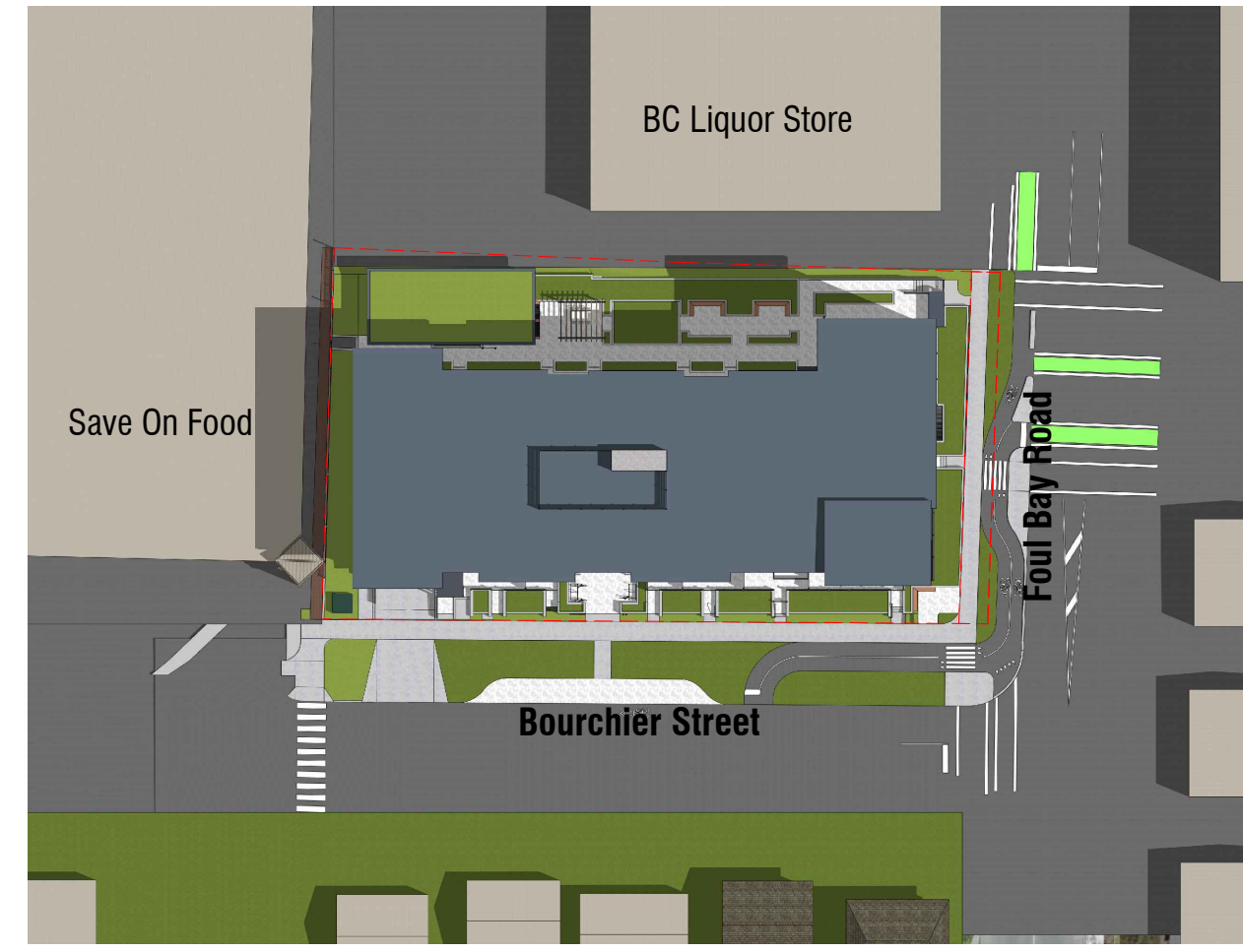
SUMMER SOLSTICE

FALL EQUINOX

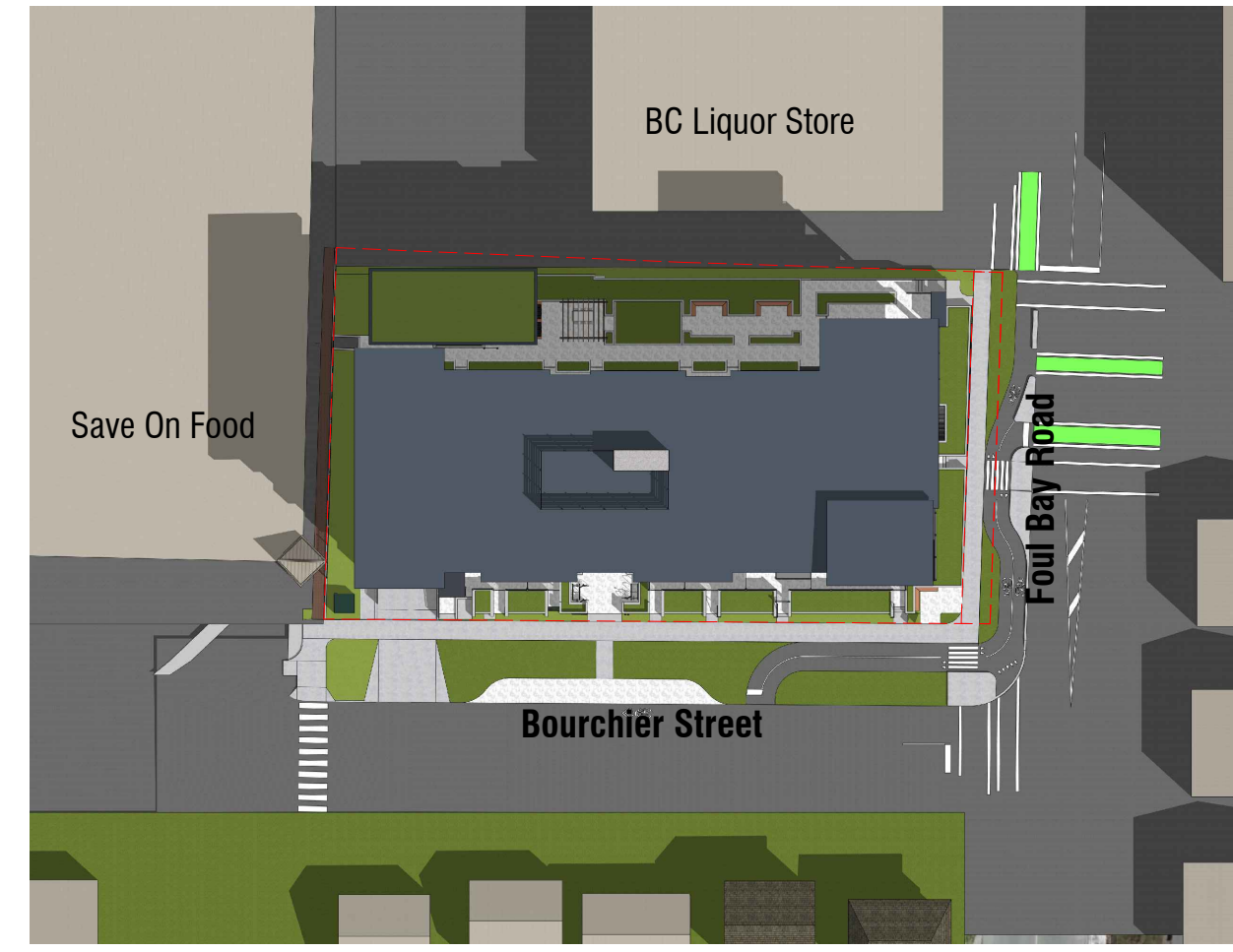
WINTER SOLSTICE



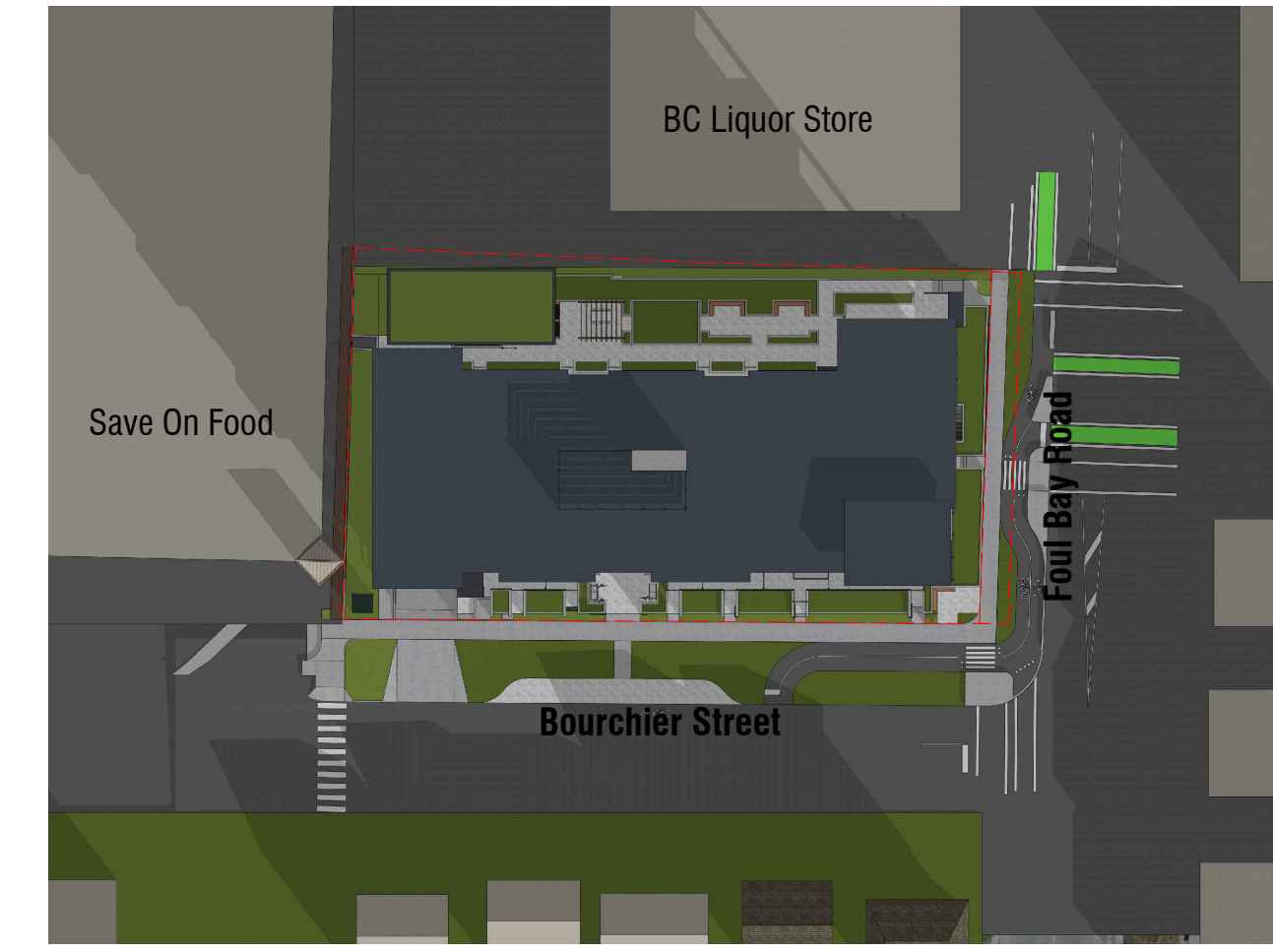
March 21st, 9:00 A.M.



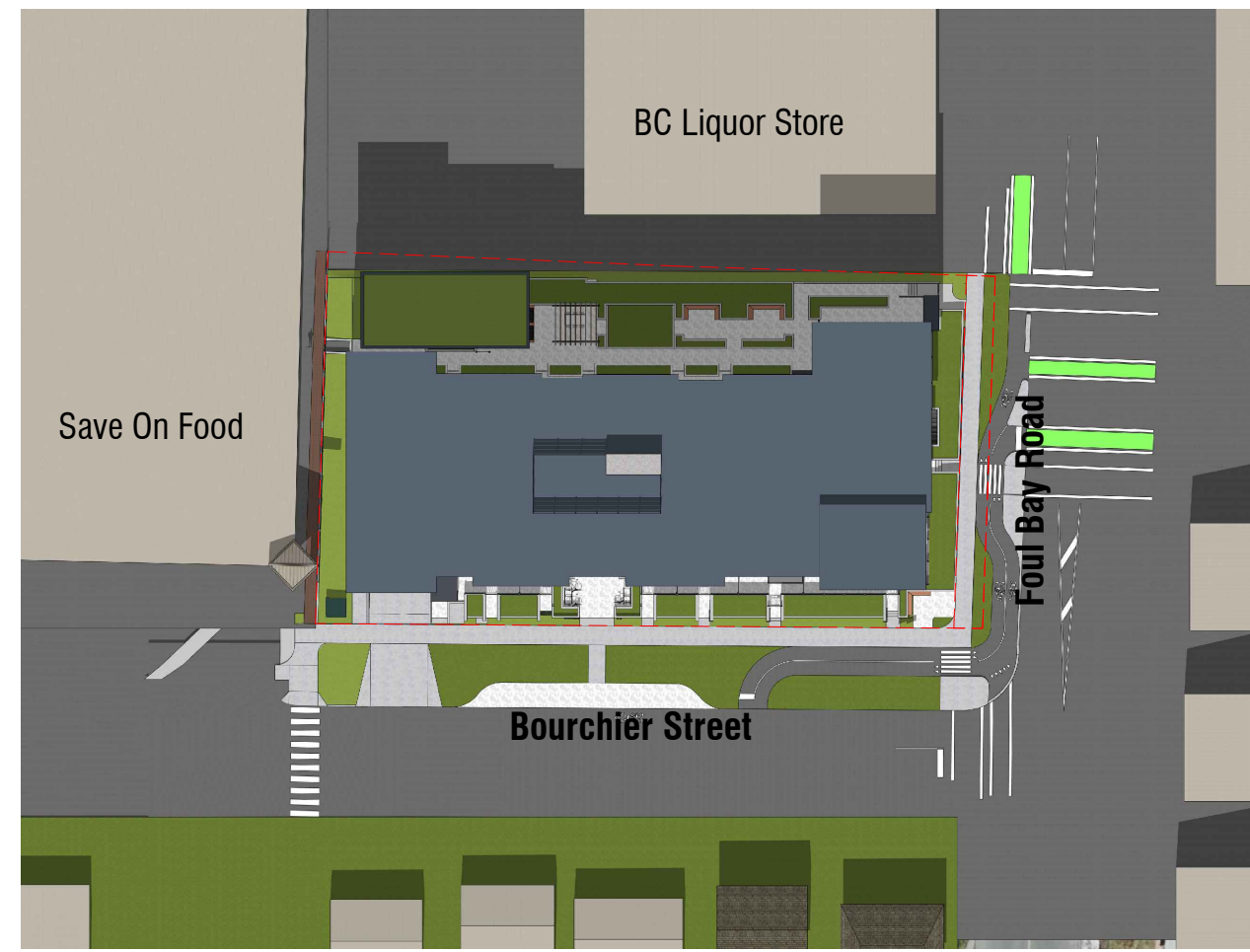
June 21st, 9:00 A.M.



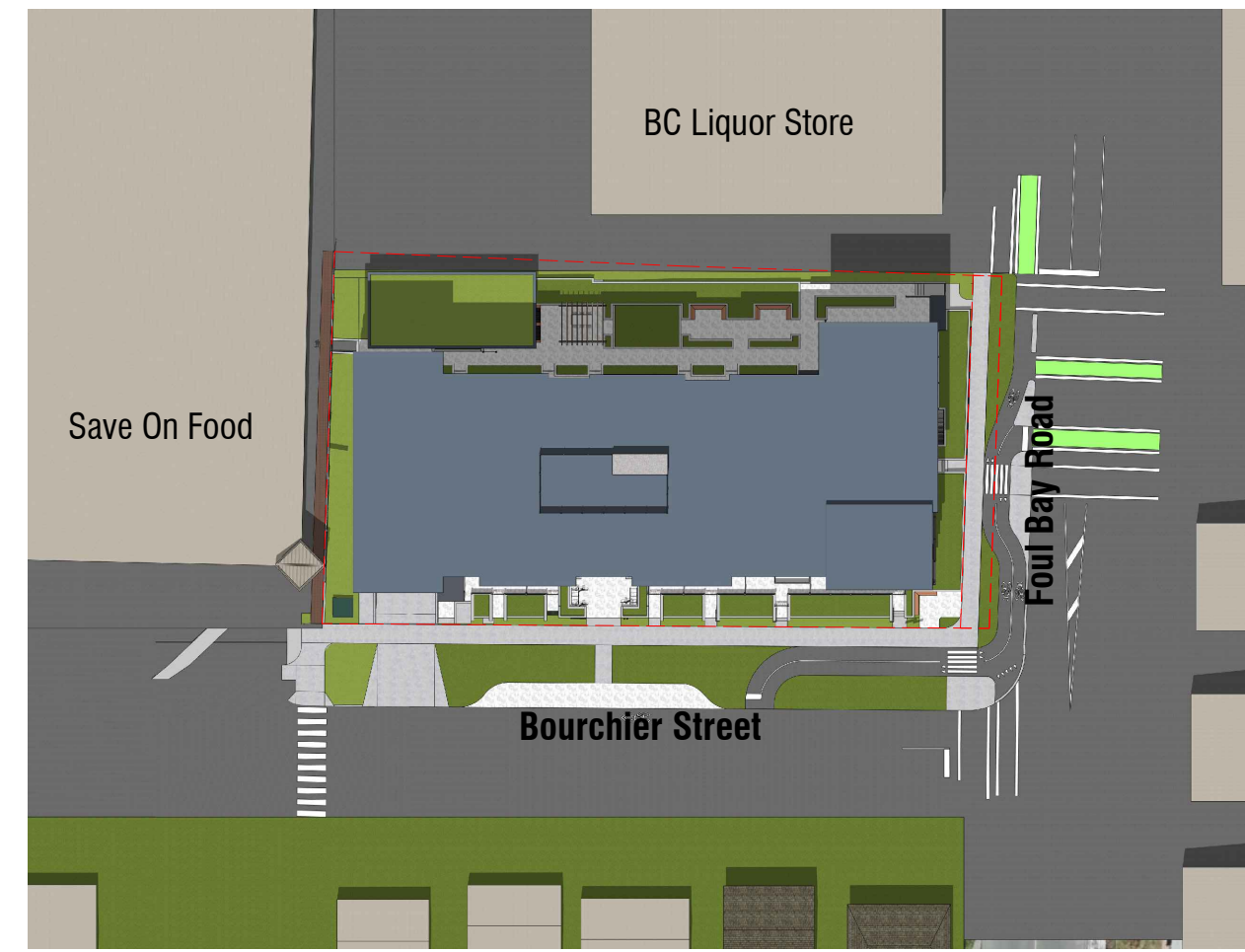
September 21st, 9:00 A.M.



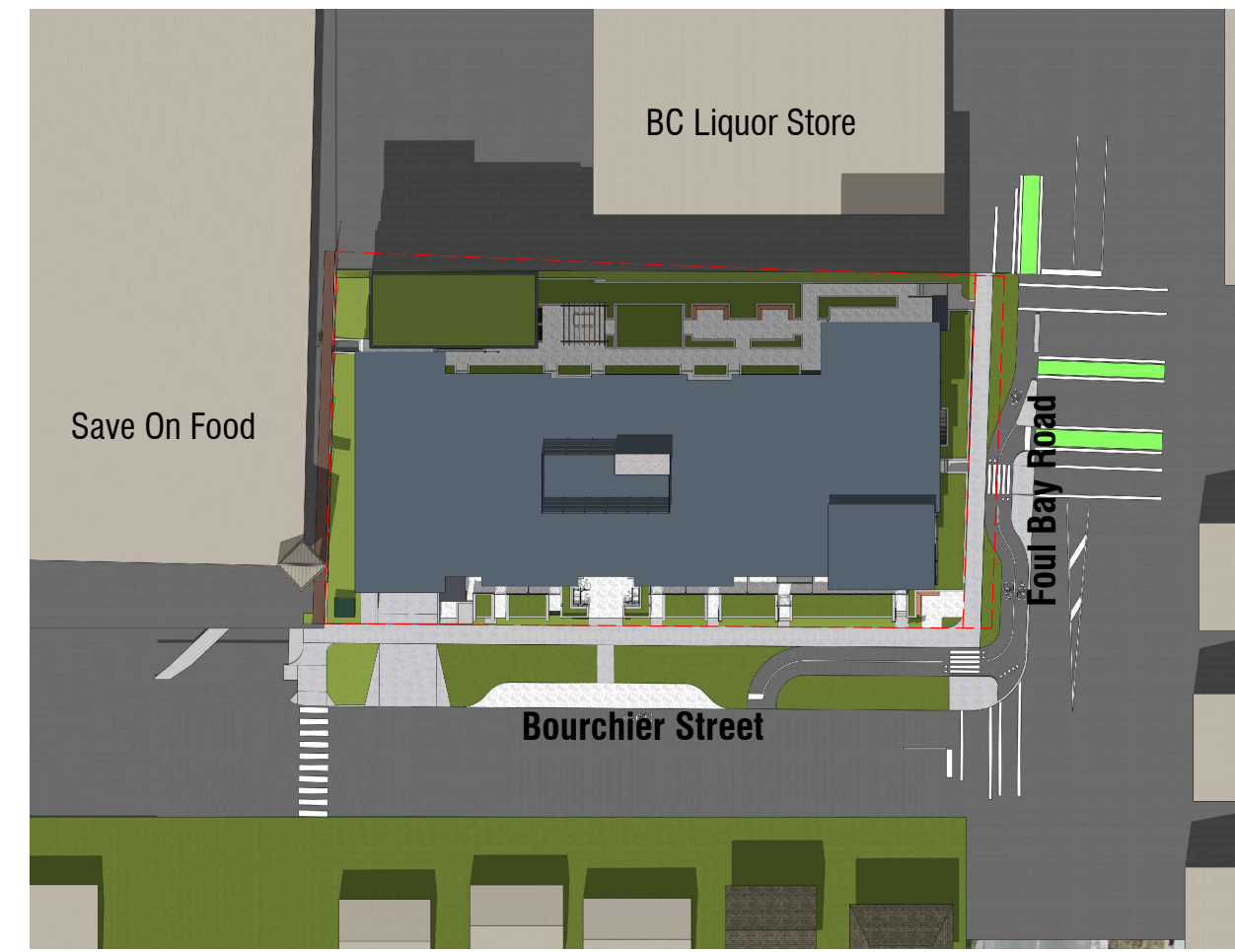
December 21st, 9:00 A.M.



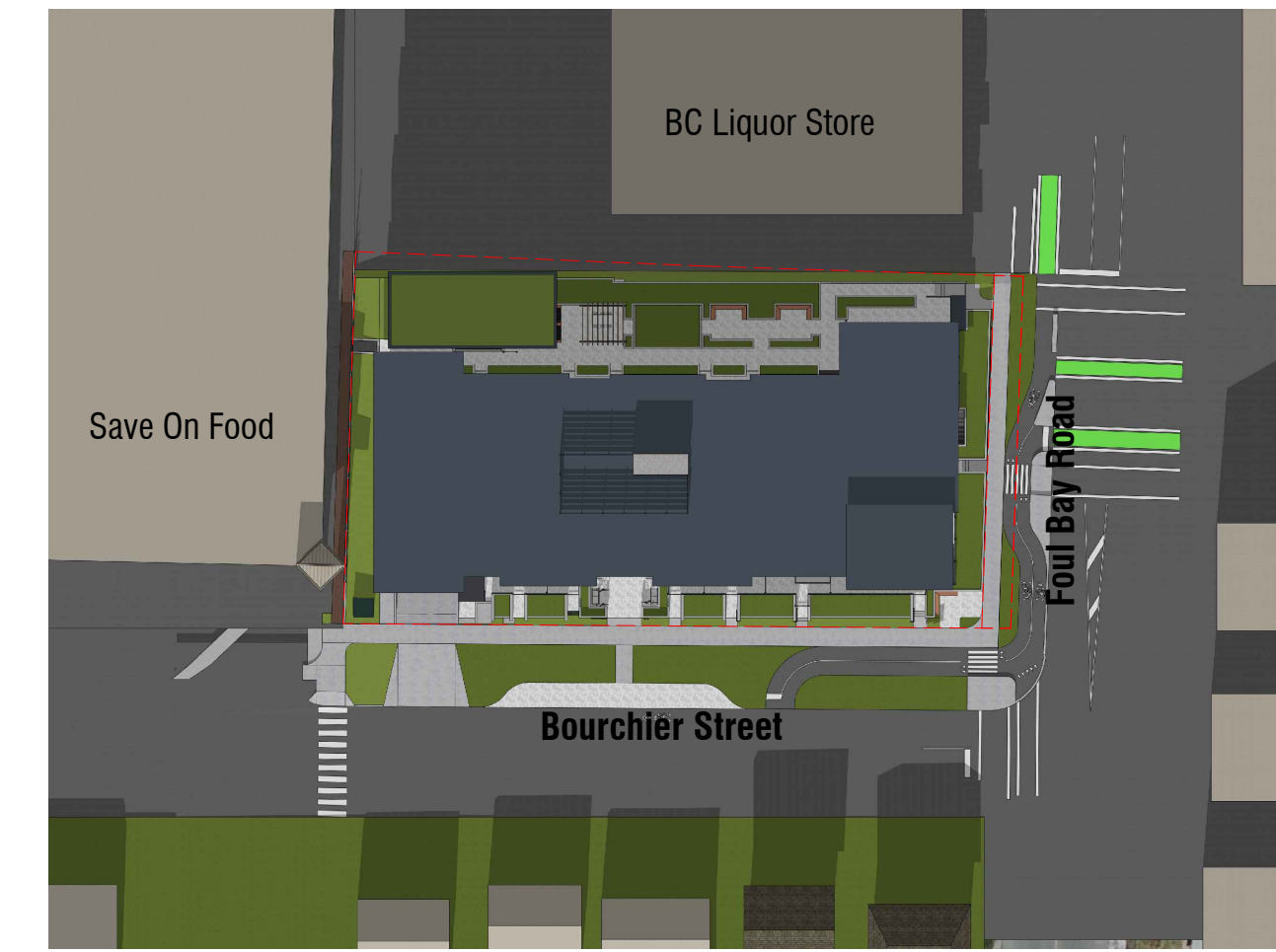
March 21st, 12:00 P.M.



June 21st, 12:00 P.M.



September 21st, 12:00 P.M.



December 21st, 12:00 P.M.



March 21st, 3:00 P.M.



June 21st, 3:00 P.M.



September 21st, 3:00 P.M.



December 21st, 3:00 P.M.



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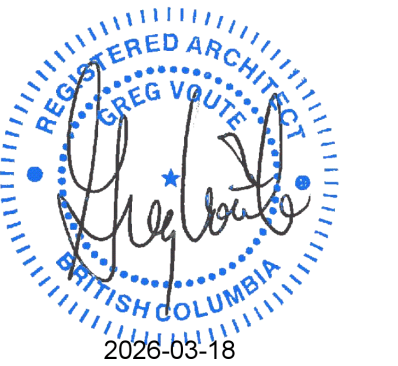
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For

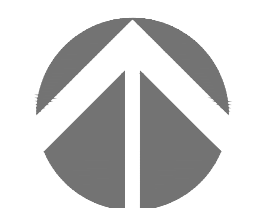
Project
1908 FOUL BAY
Multi-Unit Residential



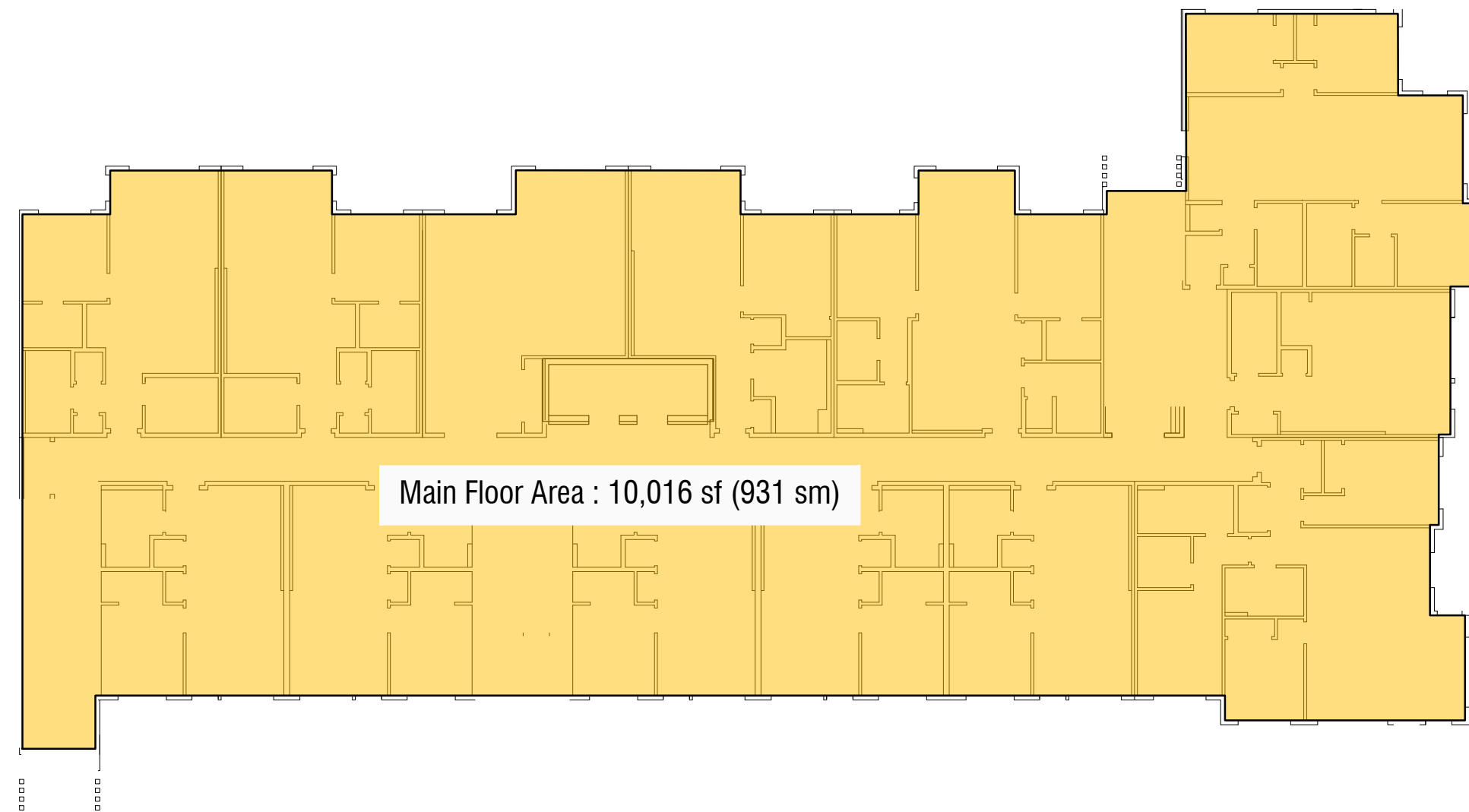
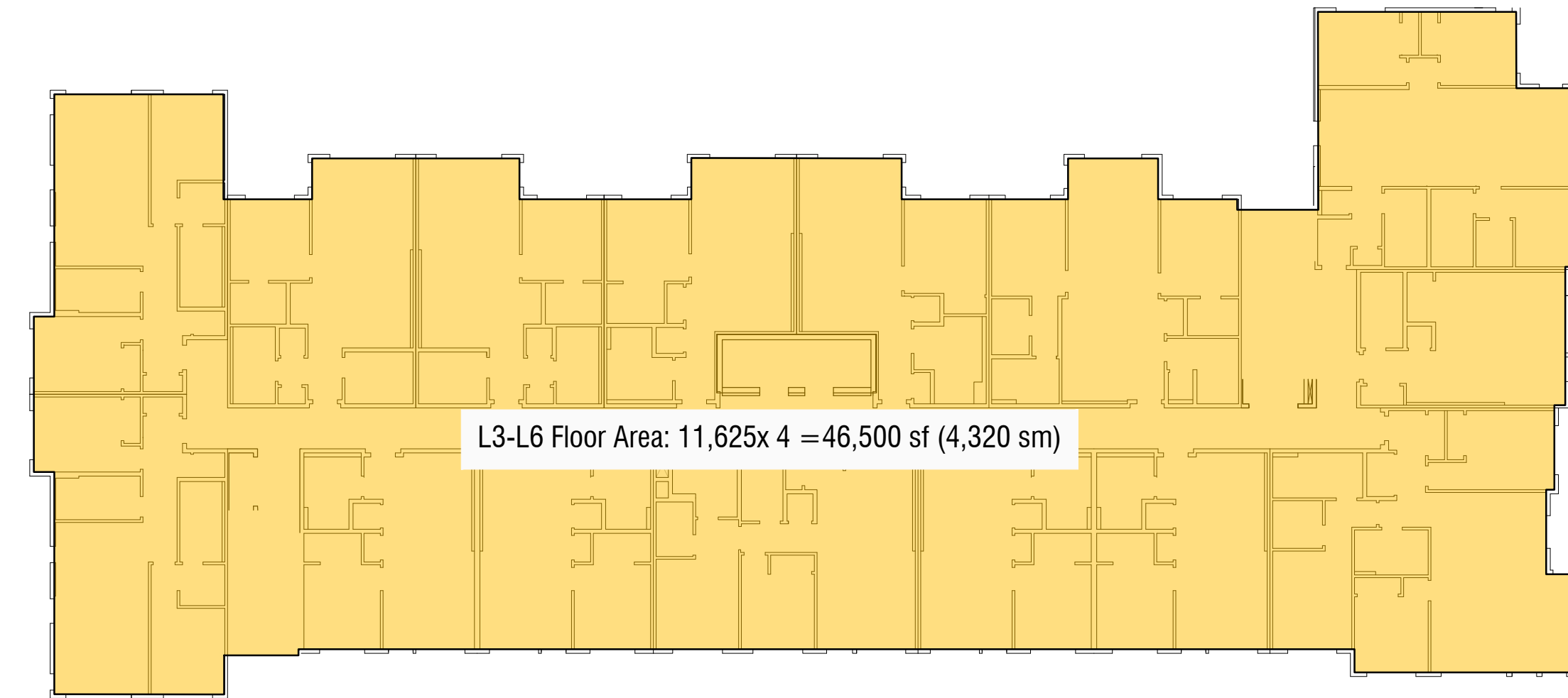
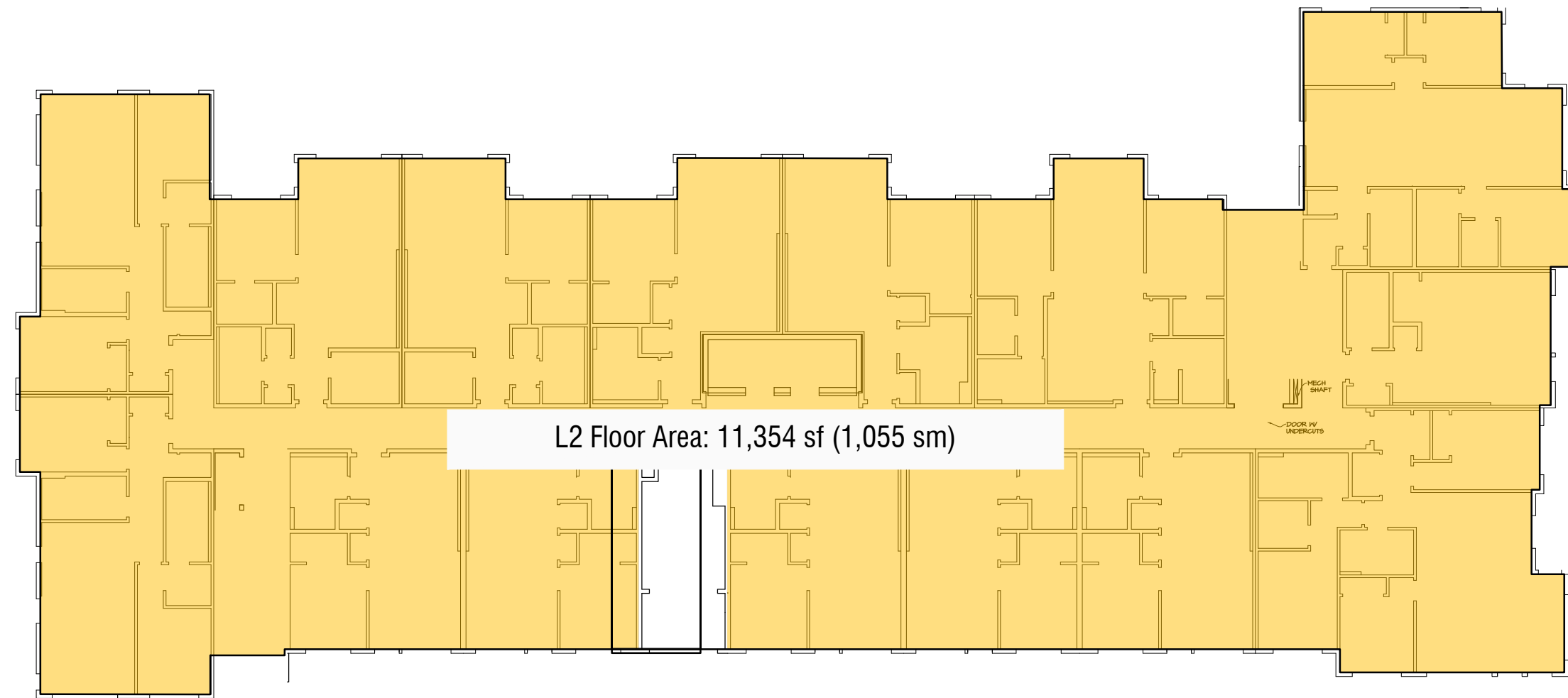
Shadow Study

Scale: N/A
March 20, 2026

Shadow Study



A-6.00



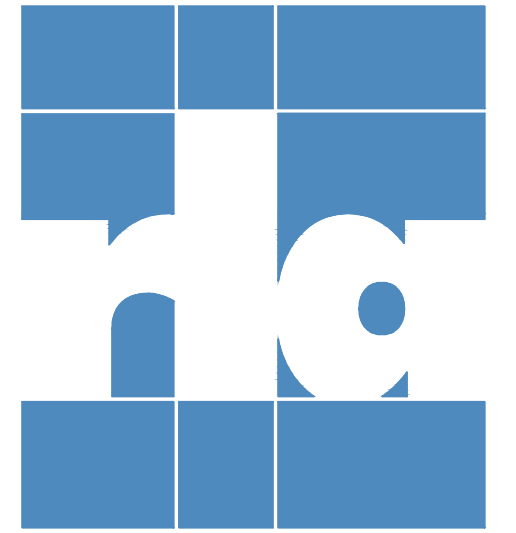
TOTAL FLOOR AREA CALCULATION (for FSR)

| | | |
|--------------|------------------|-----------------|
| Main Floor | 10,016 sf | 931 sm |
| L2 Floor | 11,354 sf | 1,055 sm |
| L3-L6 Floor | 46,500 sf | 4,320 sm |
| Total | 67,870 sf | 6,305 sm |

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"Floor Area" is measured to the interior surface of the exterior walls of Buildings and includes the area of any mezzanine, exterior hallway, exterior staircase, loft or partial Storey, and excludes the following :

- the area of any Balcony, veranda, exposed deck, patio or roof;
- the area of any Crawlspace or Basement;
- the area of Rooftop Structures;
- the area used or intended to be used for required parking or movement of motor vehicles, which is calculated starting from the lowest level of the Building;
- the area that is used to provide bicycle parking required by this bylaw; and
- the area of any exterior hallway or exterior staircase, for Buildings existing prior to August 1, 2018



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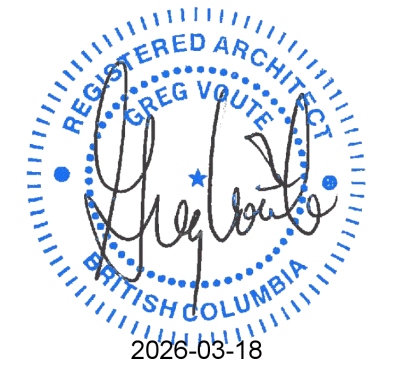
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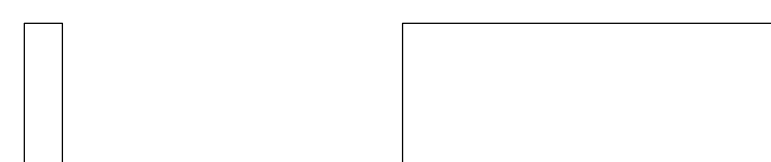
For

Project
 1908 FOUL BAY
 Multi-Unit Residential



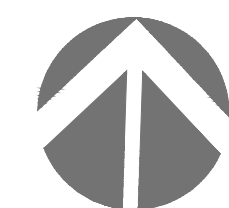
Key Plan - Area Calculations

Scale: 1:100
 March 20, 2026



SCALE: 1:200

Key Plan - Area Calculations



A-7.01



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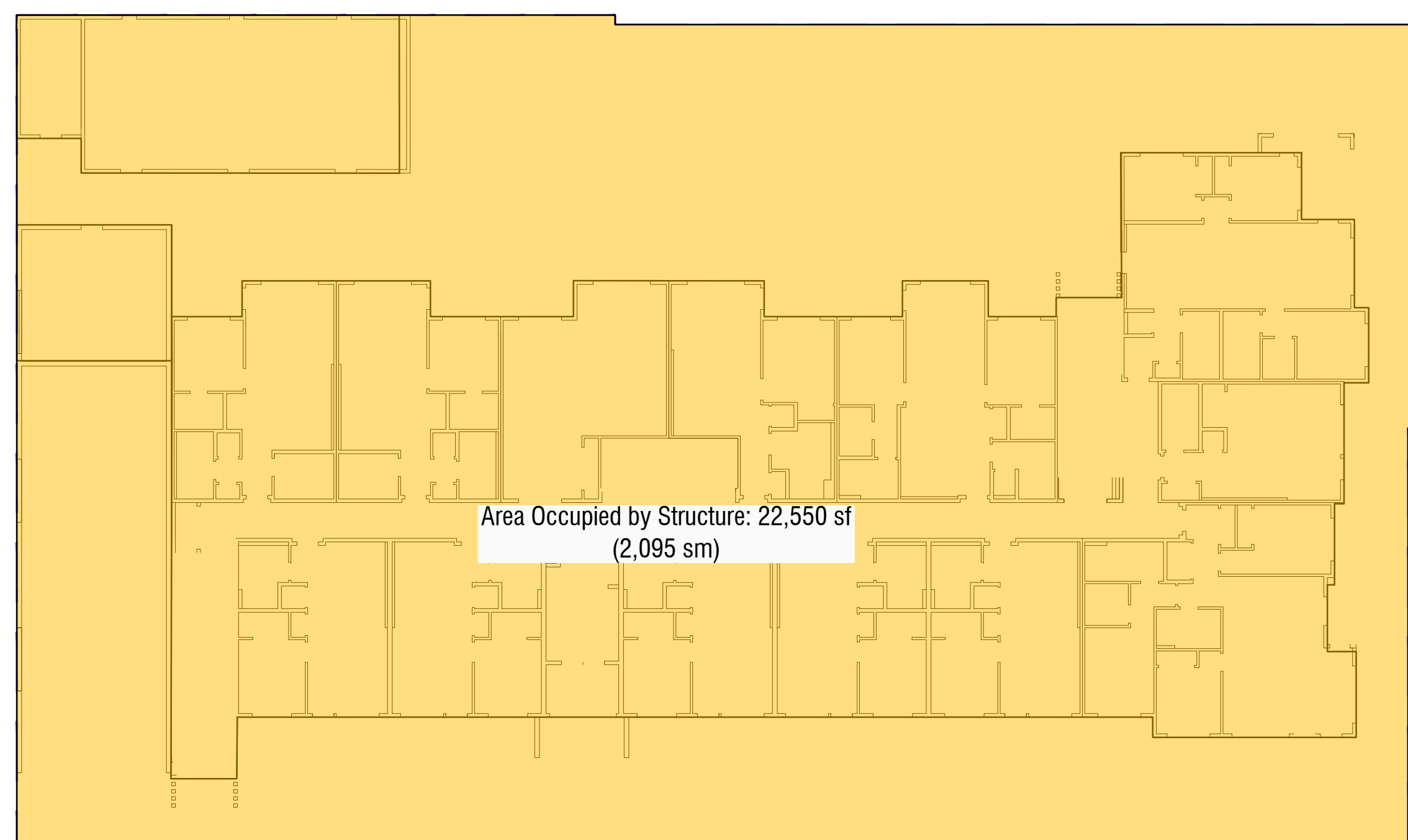
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SITE COVERAGE CALCULATION

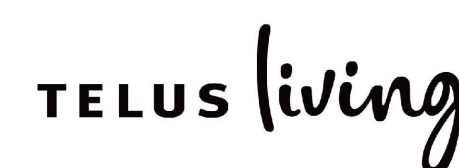
| | Structure Area | Lot Area (post dedication) |
|---------------|--------------------|----------------------------|
| | 22,550 sf 2,095 sm | 26,920 sf 2,501 sm |
| Site Coverage | 83.8% | |

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"**Lot Coverage**" means the horizontal area of all Buildings and outdoor covered areas on a Lot, expressed as a percentage of the Lot Area.

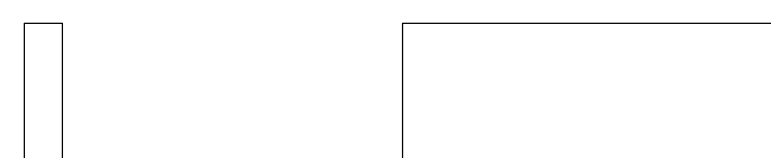


Project
1908 FOUL BAY
Multi-Unit Residential



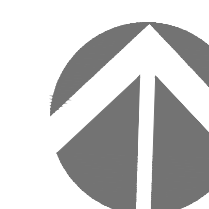
Key Plan - Site Coverage

Scale: 1:200
March 20, 2026



SCALE: 1:200

Key Plan - Site Coverage



A-7.02



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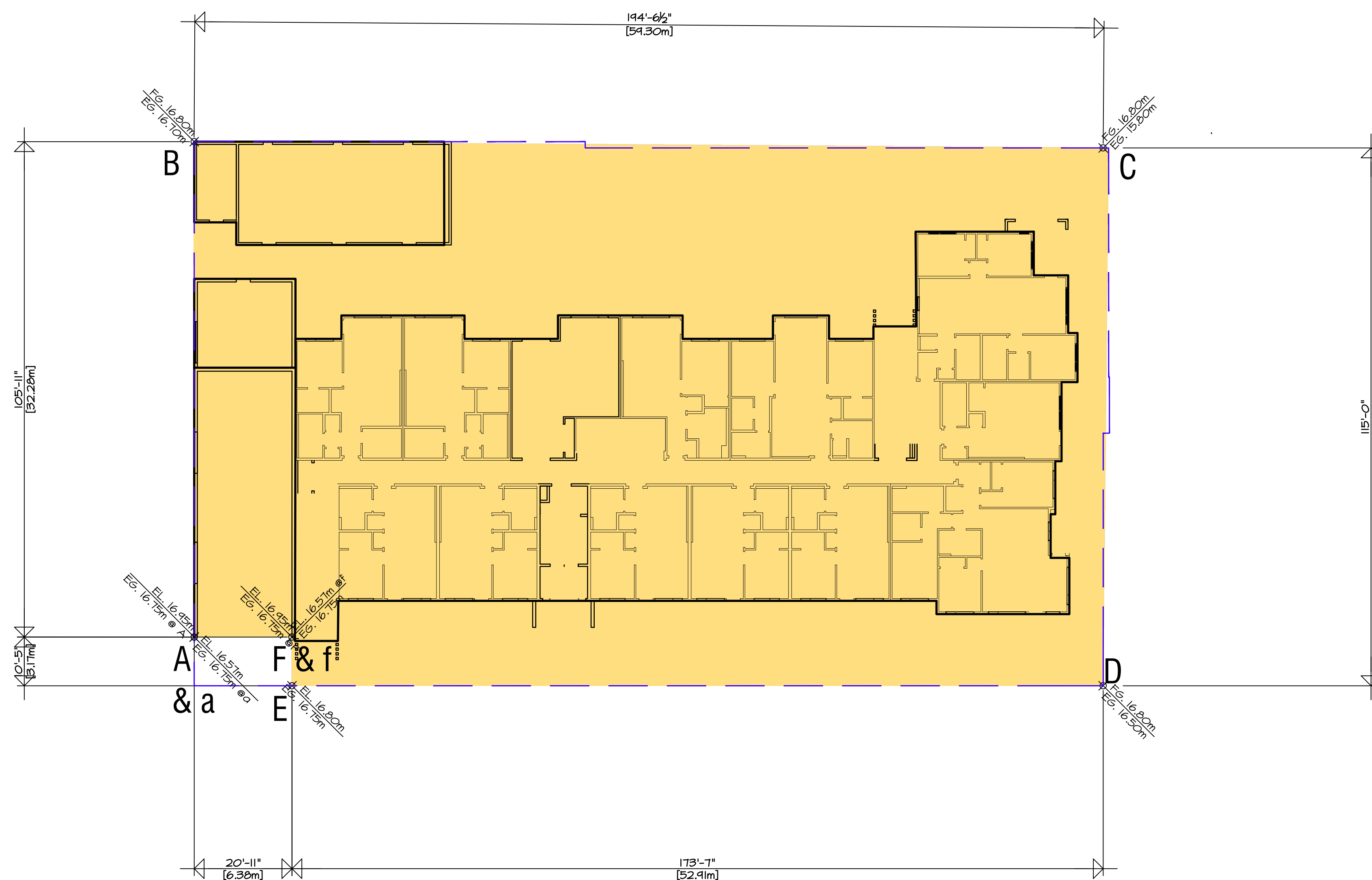
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Average Grade Calculation

| Wall Section | Average Grade | | Length | | |
|--------------|---------------------|-------|--------|---------------|---------|
| A-B | $(16.57 + 16.70)/2$ | 16.64 | x | 32.28 | m = 537 |
| B-C | $(16.70 + 15.80)/2$ | 16.25 | x | 59.30 | m = 964 |
| C-D | $(15.80 + 16.50)/2$ | 16.15 | x | 35.05 | m = 566 |
| D-E | $(16.50 + 16.75)/2$ | 16.65 | x | 52.91 | m = 881 |
| E-F | $(16.75 + 16.75)/2$ | 16.66 | x | 3.17 | m = 53 |
| F-A | $(16.75 + 16.75)/2$ | 16.75 | x | 6.38 | m = 107 |
| f-a | $(16.57 + 16.57)/2$ | 16.57 | x | 6.38 | m = 106 |
| Total | | | | 195.47 | m 3,213 |

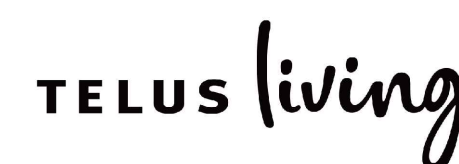
Average Grade Total height / Total Perimeter length
 $3,107 / 189.09 = 16.44$ m

DEFINITIONS (from City of Victoria Zoning Bylaw 2018)

"Grade" means the elevation calculated by averaging the elevation of natural grade or finished grade, whichever is lower at any points at which any part of a building comes into contact with the surface of a lot, excluding any artificial mounds of earth or rocks placed at or near the wall of a building



Project
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 Multi-Unit Residential



Average Grade Overlay

Scale: 1:200
 March 20, 2026



Average Grade Overlay

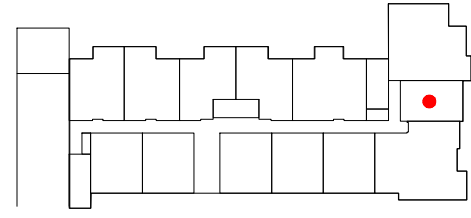
A-7.03

Unit S - Studio

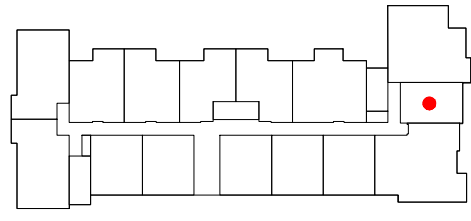
1 Bed + 1 Bath
434 sf

6 Units Total (6 of 87)

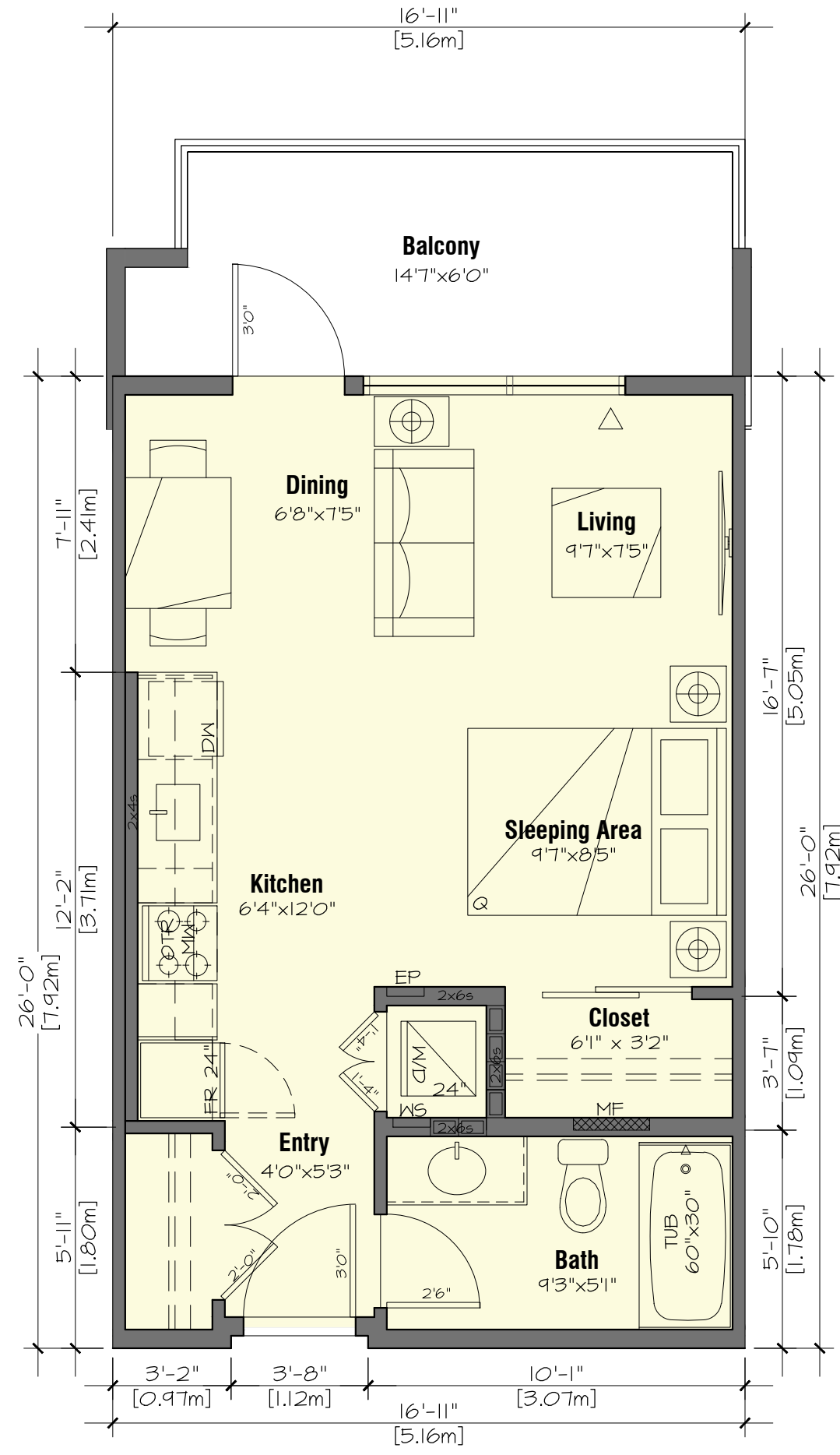
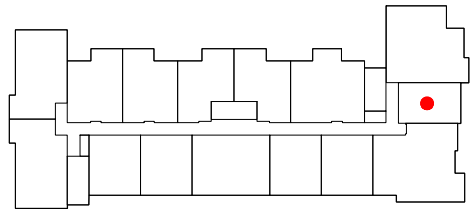
Level 1:



Level 2:



Level 3-6:

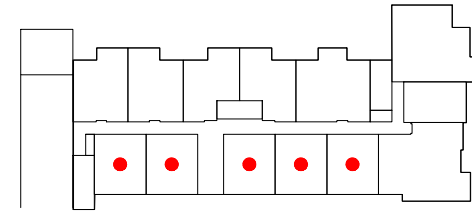


A1 - 1 Bedroom

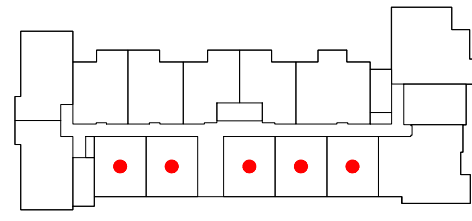
1 Bed + 1 Bath
530 sf

26 Units Total (26 of 87)

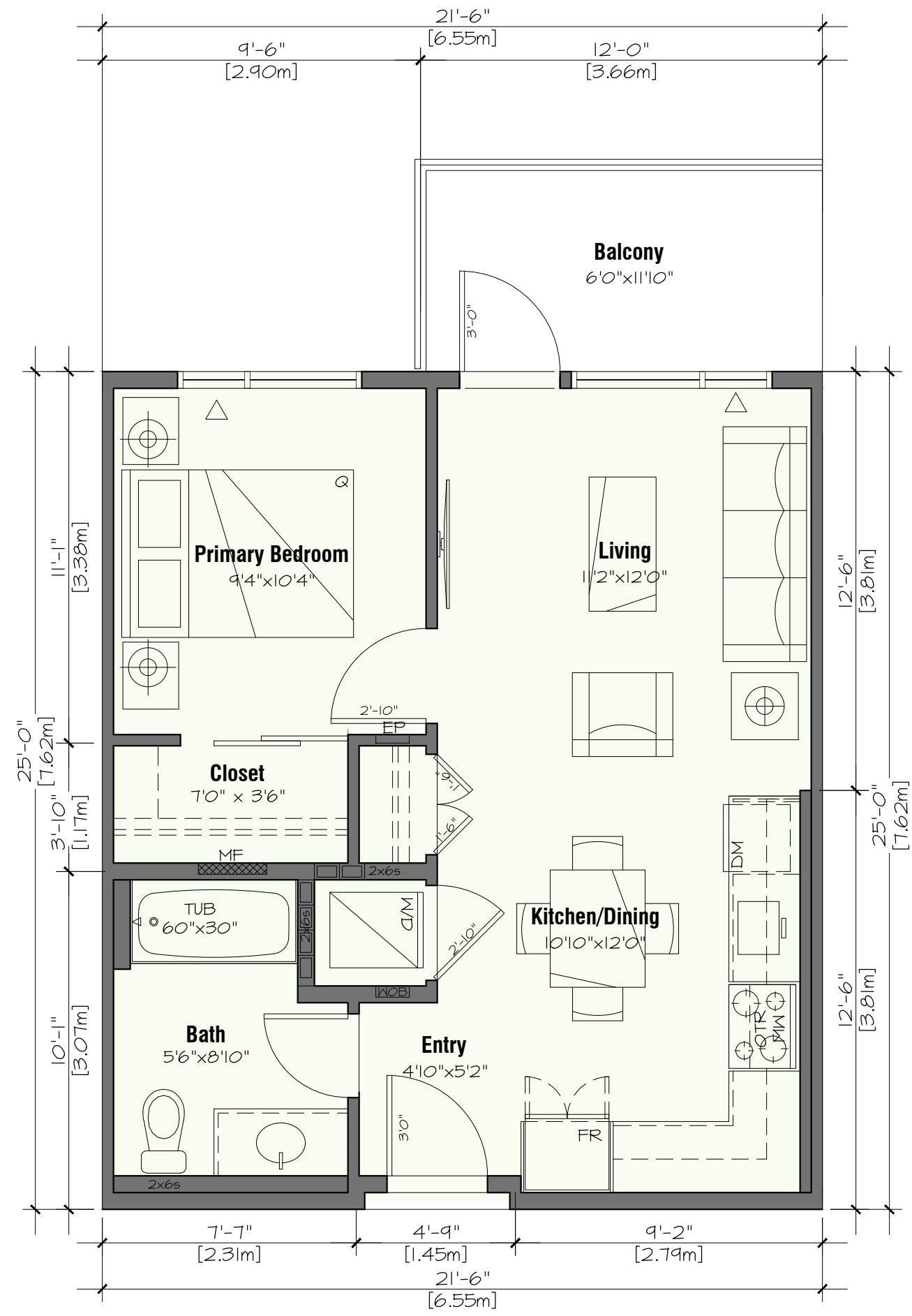
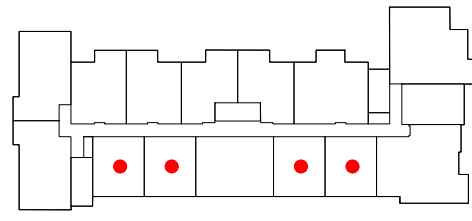
Level 1:



Level 2:



Level 3-6:

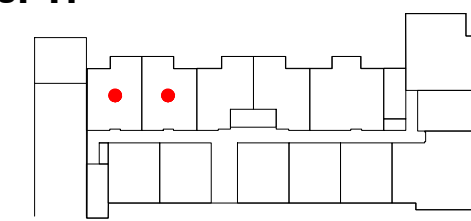


A2 - 1 Bedroom + Flex

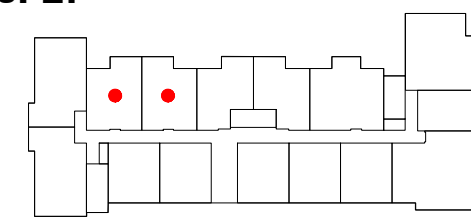
1 Bed + 1 Bath
656 sf

12 Units Total (12 of 87)

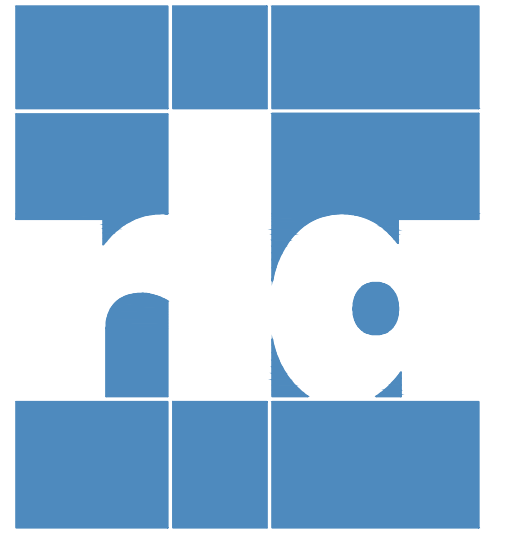
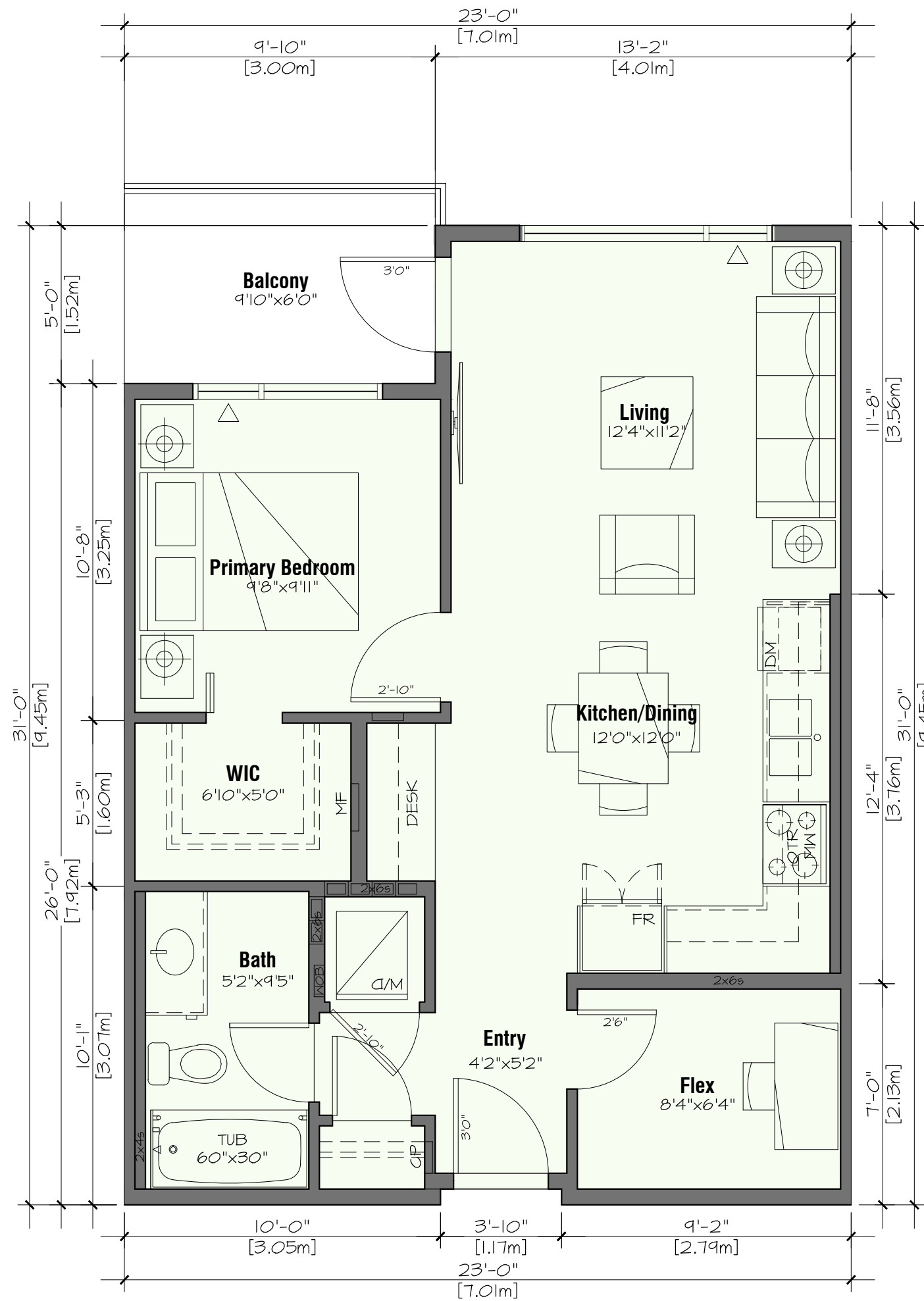
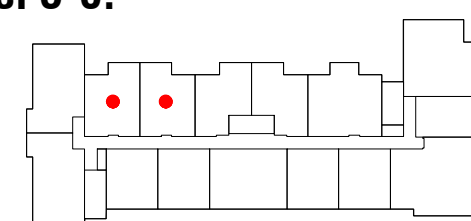
Level 1:



Level 2:



Level 3-6:



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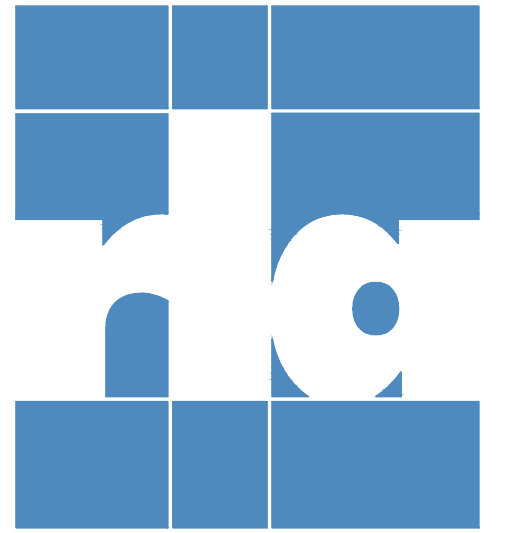
Project
1908 FOUL BAY
Multi-Unit Residential



Unit Plans

Scale: 1/4" = 1' - 0"
March 20, 2026

A-8.01



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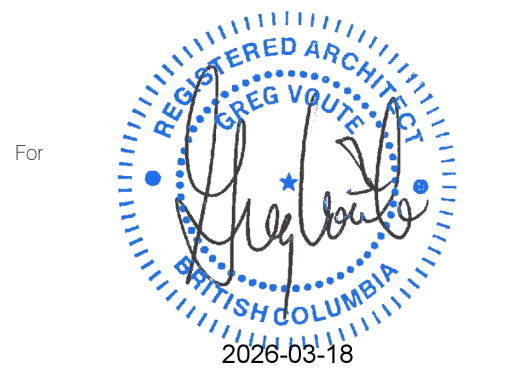
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Project
 1908 FOUL BAY
 Multi-Unit Residential



Unit Plans

Scale: 1/4" = 1' - 0"
 March 20, 2026

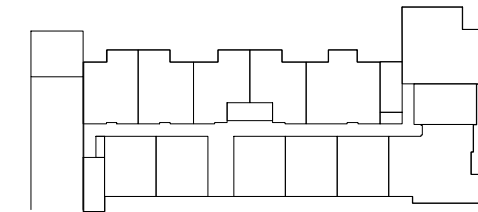
A-8.02

A2e - 1 Bedroom

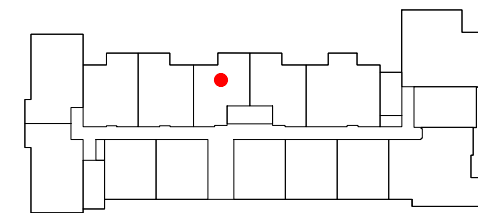
1 Bed + 1 Bath
 581 sf

5 Units Total (5 of 87)

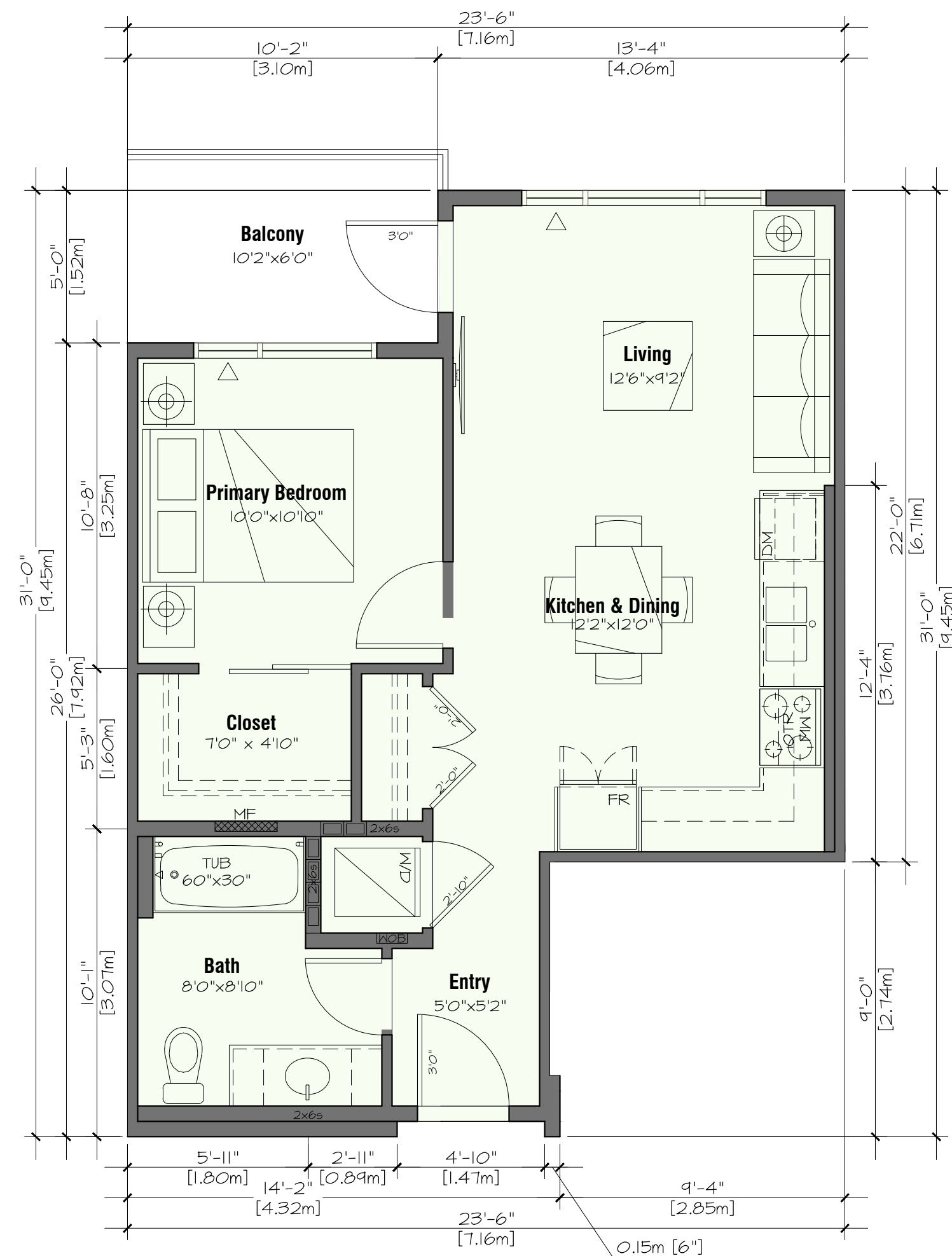
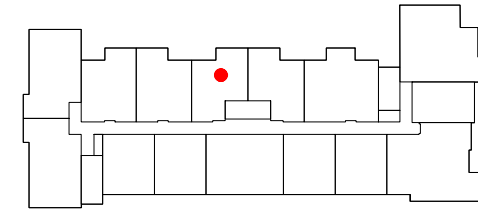
Level 1:



Level 2:



Level 3-6:



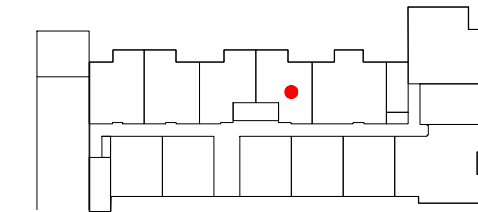
A2ap - 1 Bedroom

1 Bed + 1 Bath
 581 sf

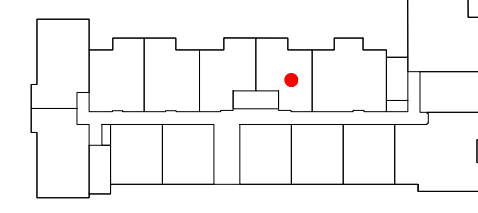
Adaptable Units (2018 Compliance)

5 Unit Total (6 of 87)

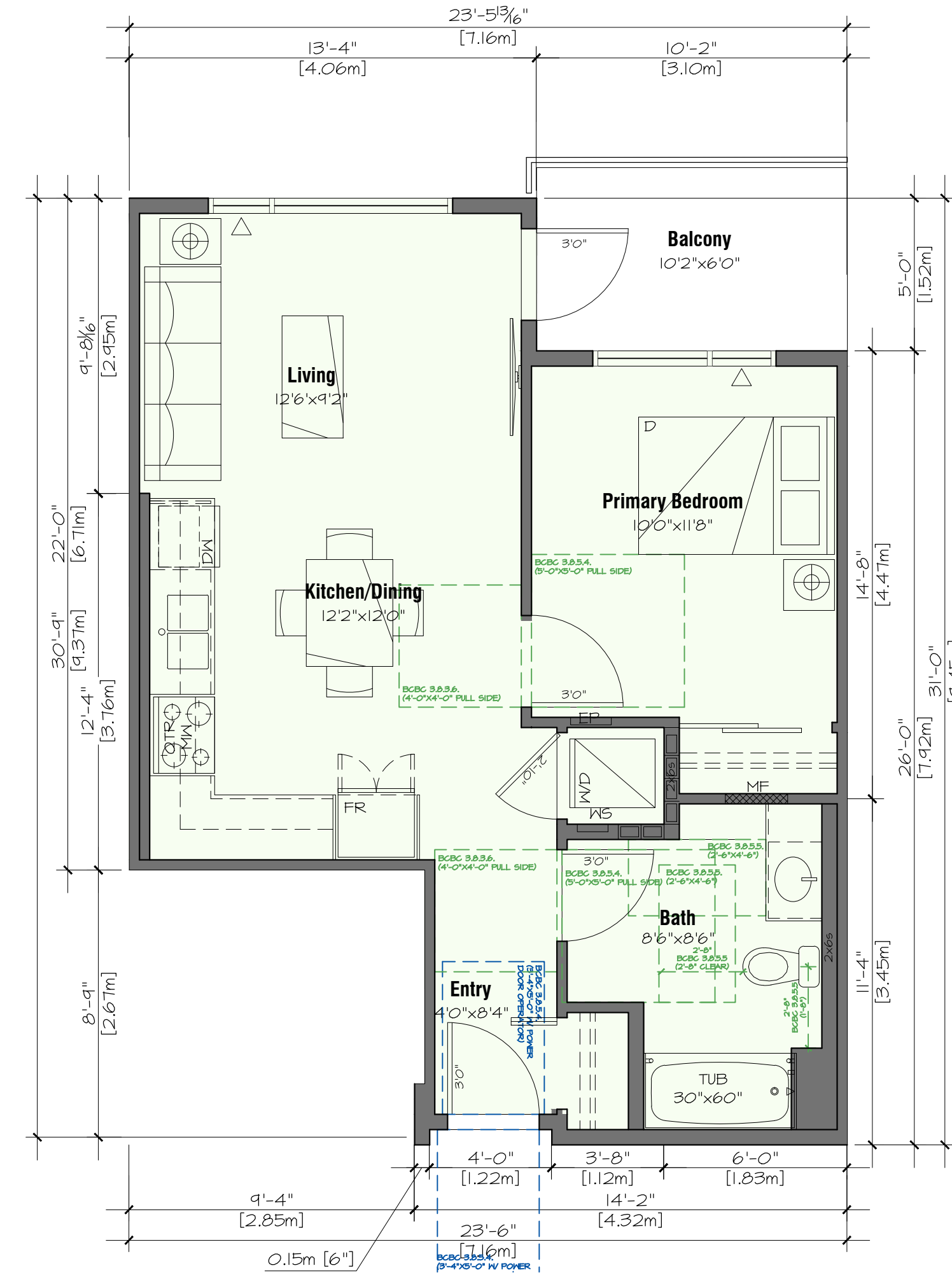
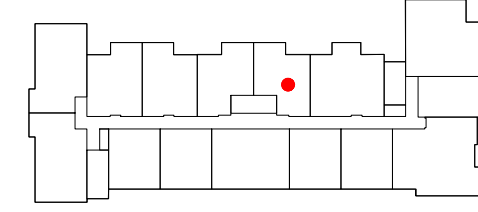
Level 1:



Level 2:



Level 3-6:



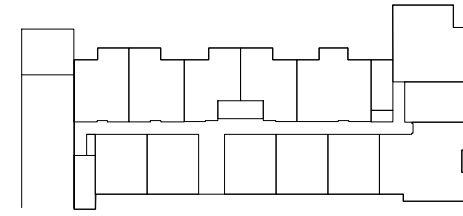
A-8.02

B1 - 2 Bedroom

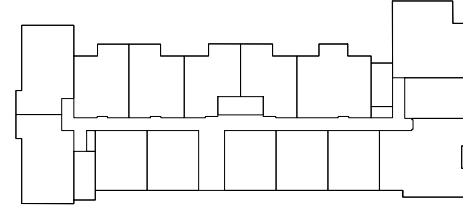
2 Bed + 2 Bath
798 sf

4 Units Total (4 of 87)

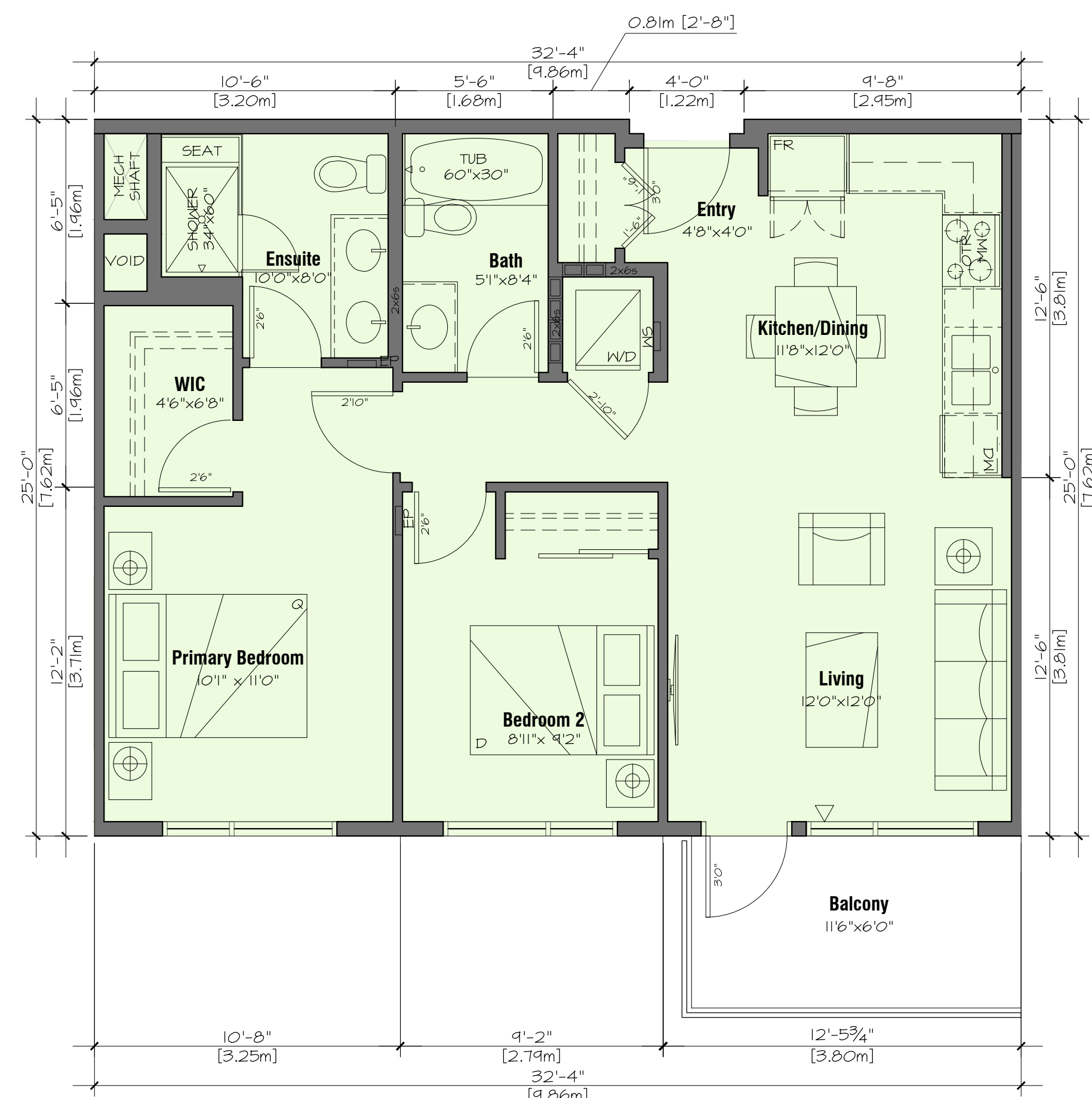
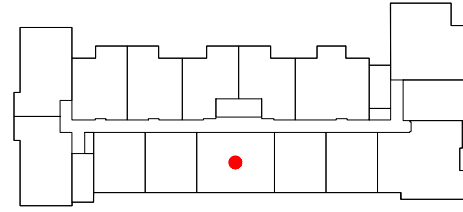
Level 1:



Level 2:



Level 3-6:

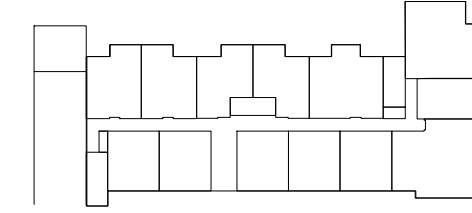


C2 - 2 Bedroom Corner Unit

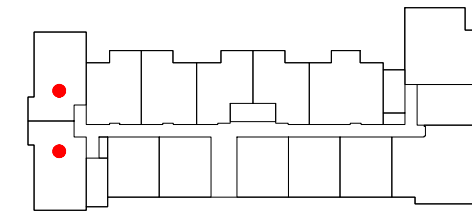
2 Bed + 2 Bath
797 sf

6 Units Total (10 of 87)

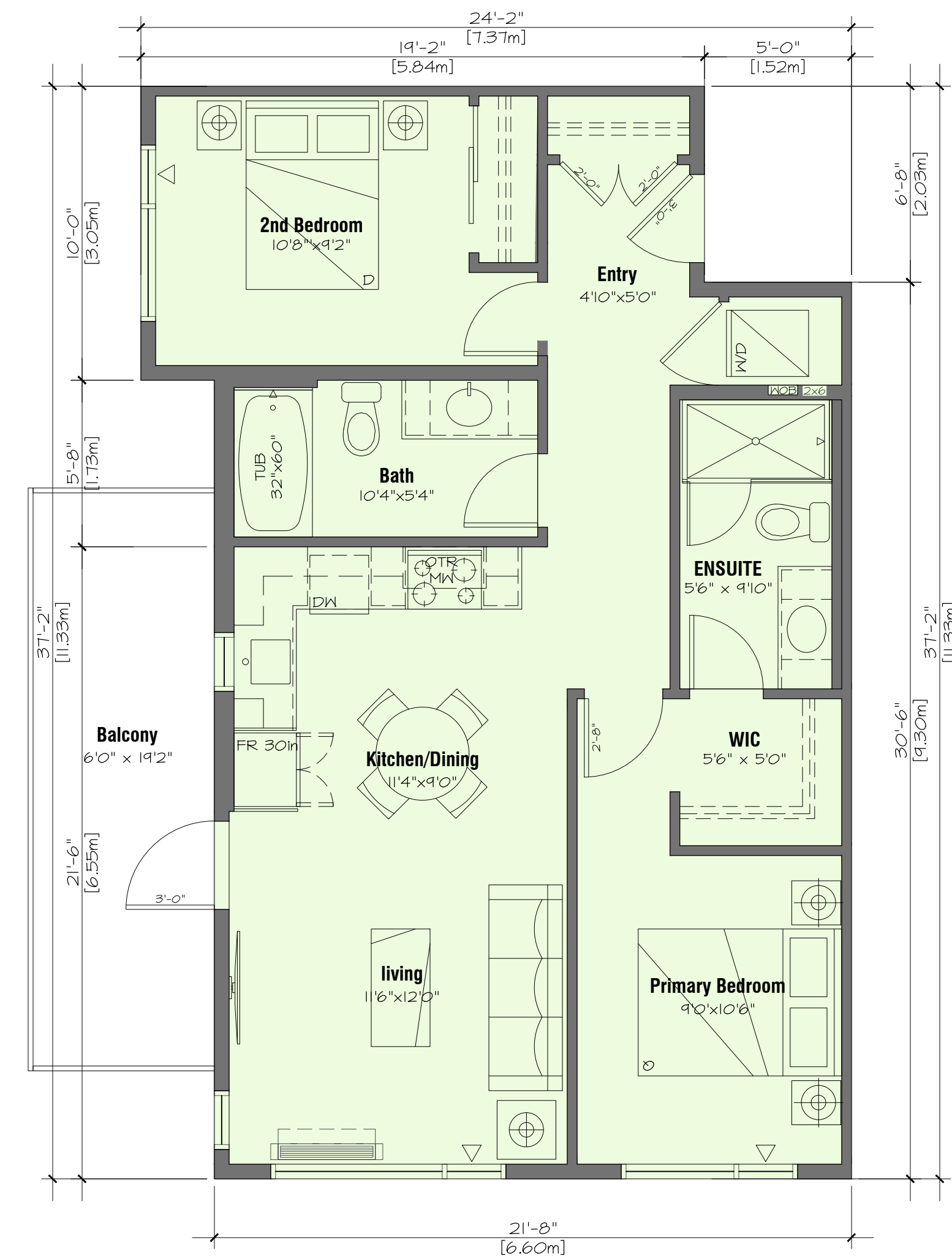
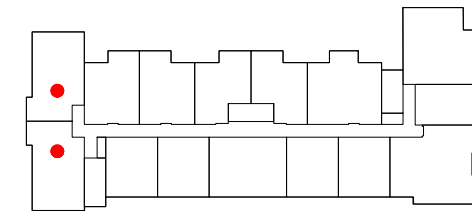
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Level 2:



Level 3-6:

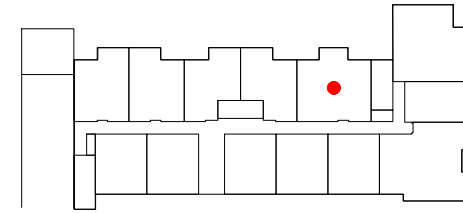


B2 - 2 Bedroom Unit

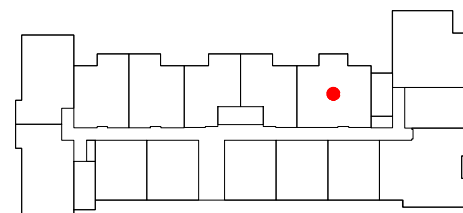
2 Bed + 2 Bath
852 sf

6 Units Total (6 of 87)

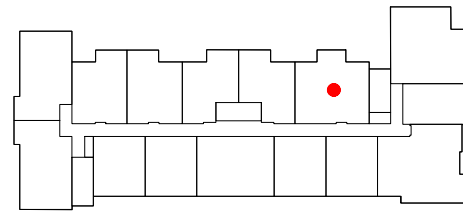
Level 1:



Level 2:



Level 3-6:



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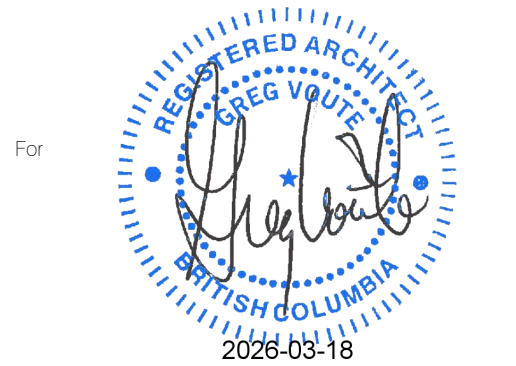
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Project
1908 FOUL BAY
Multi-Unit Residential



Unit Plans

Scale: 1/4" = 1' - 0"
March 20, 2026

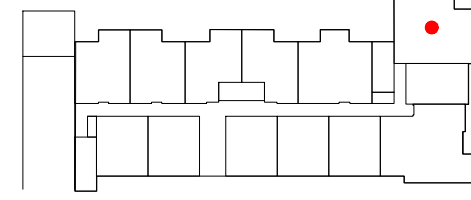
A-8.03

D1 - 3 Bedroom Corner Unit

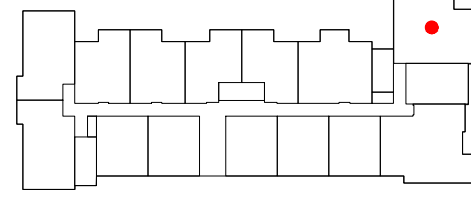
3 Bed + 2 Bath
991 sf

8 Units Total (6 of 87)

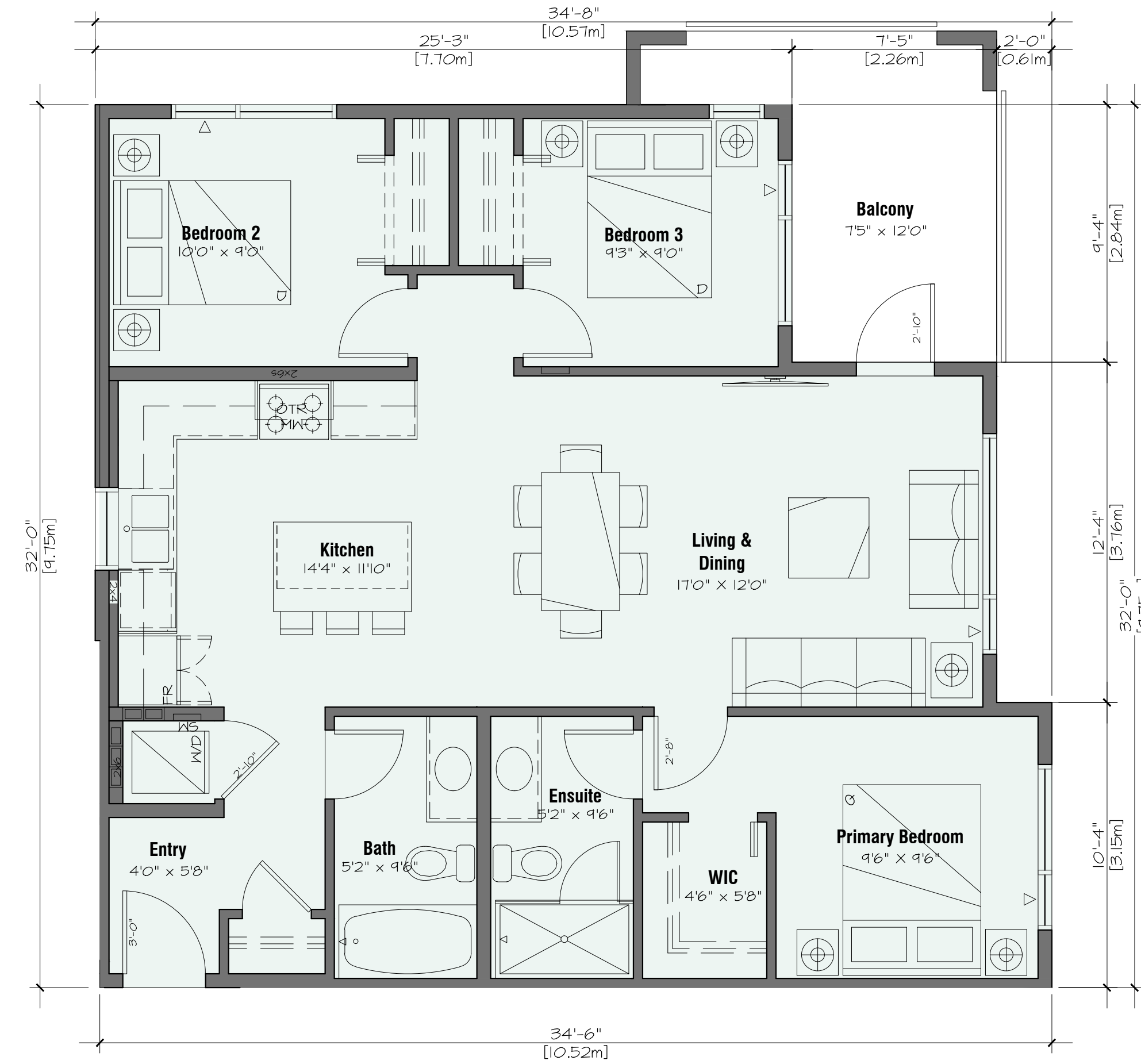
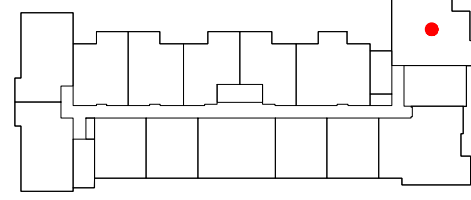
Level 1:



Level 2:



Level 3-6:

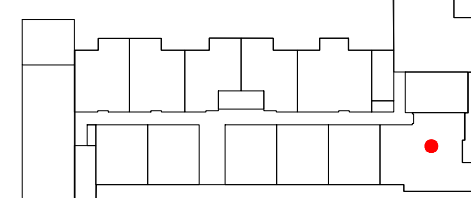


D2 - 3 Bedroom Corner Unit

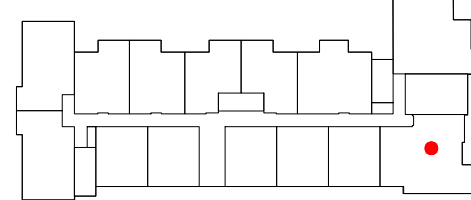
3 Bed + 2 Bath
1090 sf

8 Units Total (6 of 87)

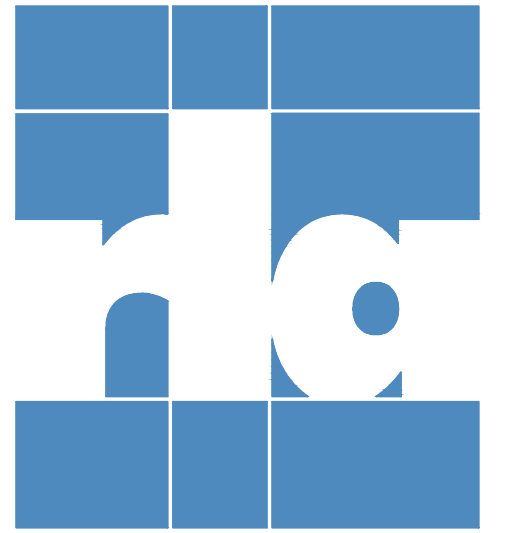
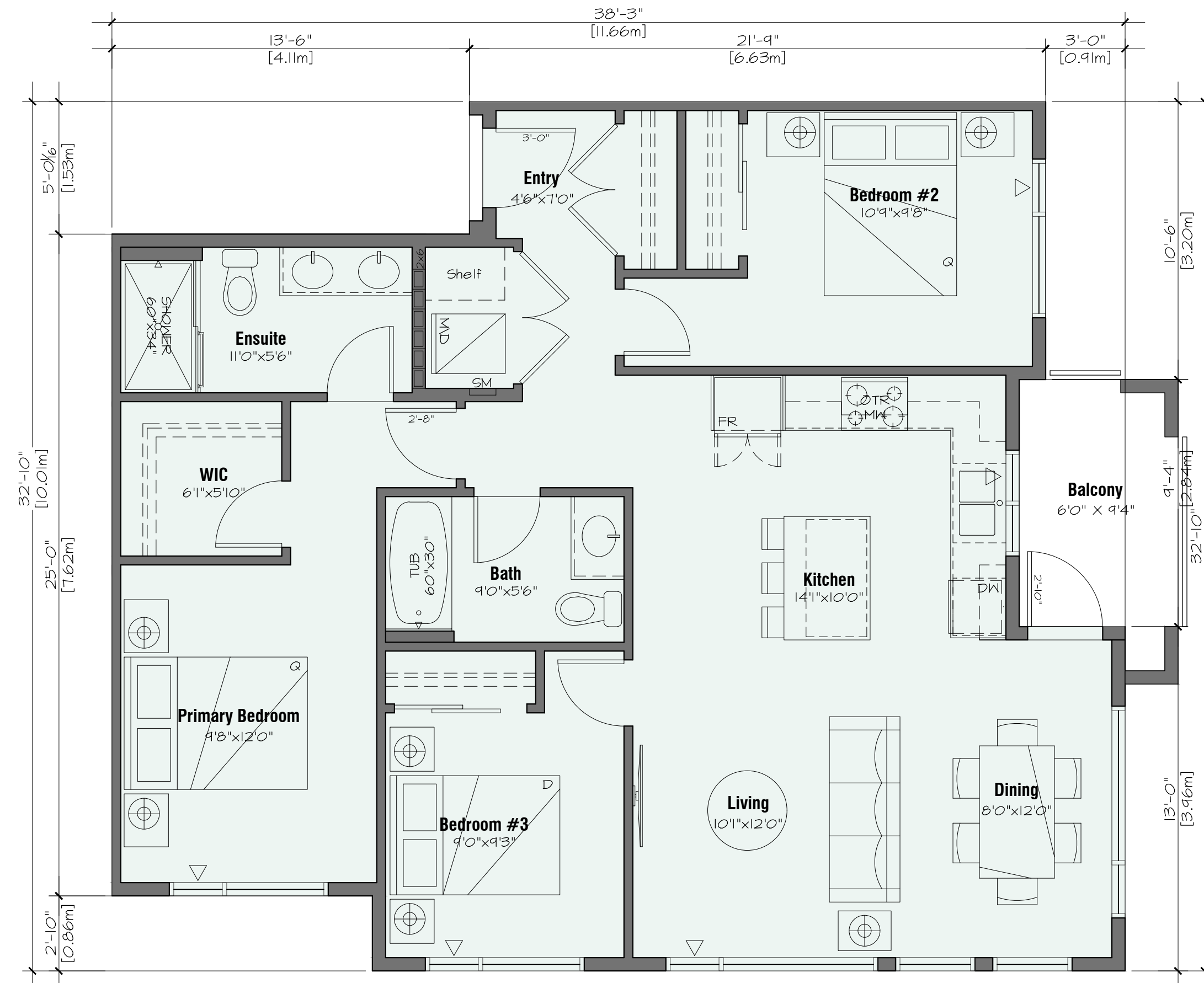
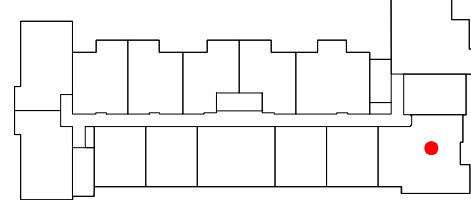
Level 1:



Level 2:



Level 3-6:



ARCHITECTS INCORPORATED
1454 West 8th Avenue Vancouver BC V6J1V4
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Revisions

September 11, 2024
Pre-Application City Review

September 19, 2024
City Technical Review

October 25, 2024
Issued for CALUC Review

April 28, 2025
Issued for DP

September 19, 2025
Issued for DP Resubmission

December 15, 2025
Issued for DP Resubmission

March 18, 2026
Issued for DP Resubmission

March 20, 2026
Issued for DP Resubmission



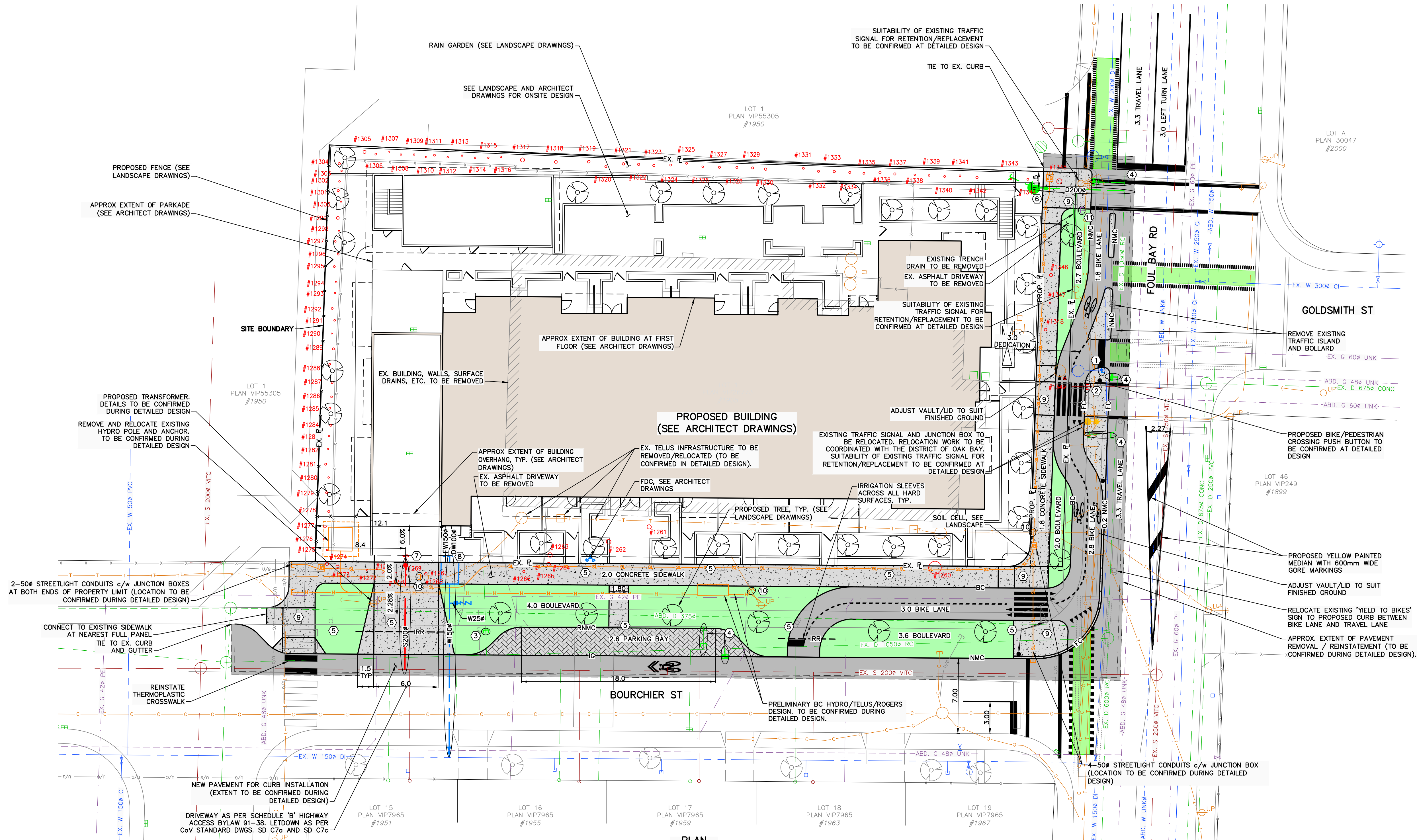
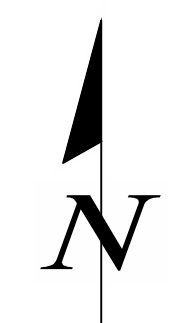
Project
1908 FOUL BAY
Multi-Unit Residential



Unit Plans

Scale: 1/4" = 1' - 0"
March 20, 2026

A-8.04



PLAN 1:200

SHEET NOTES

| No. | DESCRIPTION |
|-----|--|
| 1 | EXISTING WATER SERVICE TO BE CAPPED AND ABANDONED BY COV FORCES AT DEVELOPER'S EXPENSE. |
| 2 | EXISTING SANITARY SERVICE TO BE CAPPED AND ABANDONED. |
| 3 | EXISTING STORM SERVICE TO BE CAPPED AND ABANDONED. |
| 4 | REMOVE EXISTING CATCH BASIN, REMOVE OR CAP & ABANDON EXISTING CATCH BASIN LEAD. REPLACE WITH NEW CATCH BASIN AS PER COV STD. DWG. SD11B c/w 150mm PVC LEAD. |
| 5 | EXISTING SIGN TO BE REMOVED / REINSTATED |
| 6 | NEW 200mm STORM SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY COV FORCES AT DEVELOPER'S EXPENSE. |
| 7 | NEW 200mm SANITARY SERVICE CONNECTION c/w INSPECTION CHAMBER TO PROPERTY LINE BY COV FORCES AT DEVELOPER'S EXPENSE. |
| 8 | NEW 100mm DOMESTIC WATER SERVICE CONNECTION AND 150mm FIRE WATER SERVICE CONNECTION c/w METER VAULT (PER COV DWG. SD W21), METER SIZE TO BE CONFIRMED AT DETAILED DESIGN, AND 25mm IRRIGATION SERVICE c/w BACKFLOW PREVENTOR BY COV FORCES AT DEVELOPER'S EXPENSE. |
| 9 | CROSSWALK LETDOWN CONFIGURATIONS, SIGNAGE, AND WARNING STRIPS TO BE CONFIRMED DURING DETAILED DESIGN. |
| 10 | EXISTING H/T/C SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN). |
| 11 | EXISTING GAS SERVICE TO BE CAPPED AND ABANDONED BY UTILITY FORCES AT DEVELOPER'S EXPENSE (TO BE CONFIRMED DURING DETAILED DESIGN). |

EXISTING TREE TO REMAIN, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)
 ○ EXISTING TREE TO BE REMOVED, SCALED TO TREE TRUNK DIAMETER (SEE ARBORIST REPORT)

PLAN NOTES:

- FOR BUILDING INFORMATION, SEE DRAWINGS BY RLA ARCHITECTS.
- FOR LANDSCAPING, SEE DRAWINGS BY LADR LANDSCAPE ARCHITECTS.
- FOR TREE INFORMATION, SEE ARBORIST REPORT BY TALBOT MACKENZIE AND ASSOCIATES.
- UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
- ALL EXISTING ON-SITE BUILDINGS, DRIVEWAYS, PARKING LOTS, RETAINING WALLS, ETC. TO BE REMOVED AND DISPOSED OFF-SITE.
- ALL EXISTING SERVICES TO BE CAPPED BY CITY OF VICTORIA FORCES AT DEVELOPER'S EXPENSE UNLESS OTHERWISE NOTED.
- BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND GIS INFORMATION PROVIDED BY THE CITY OF VICTORIA. ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BCONECALL).
- ONSITE WALKWAYS, WALLS, BENCHES, BICYCLE STALLS AND OTHER LANDSCAPE FEATURES NOT SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

CAUTION: EXISTING UTILITIES KNOWN TO BE IN THE PROJECT VICINITY ARE SHOWN SCHEMATICALLY AND INCLUDE, BUT ARE NOT LIMITED TO: BC HYDRO, CITY OF VICTORIA WATER/SANITARY/STORM DRAIN, FORTISBC, AND TELUS COMMUNICATIONS. FIELD LOCATES REQUIRED PRIOR TO CONSTRUCTION. HAND DIG WERE REQUIRED.

LEGAL PLAN & AND SURVEY INFORMATION PROVIDED BY GEOVERRA

SEE ARCHITECTURAL AND LANDSCAPING DRAWINGS FOR ADDITIONAL INFORMATION

PRELIMINARY STORM WATER CALCULATIONS*

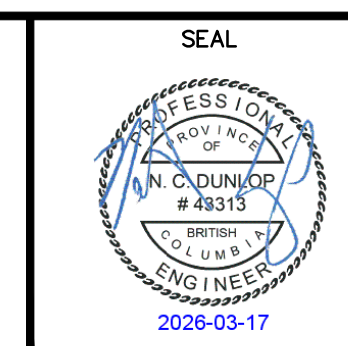
| | |
|--|----------------------|
| TOTAL SITE AREA (T.A.) | 2,505 m ² |
| APPROX IMPERVIOUS AREA (I.A.) | 2,118 m ² |
| REQUIRED RAIN GARDEN BASE AREA (I.A. x 5%) | 106 m ² |

*CALCULATIONS BASED ON CITY OF VICTORIA RAINWATER MANAGEMENT RAIN GARDEN SIZING FOR WATER QUALITY TREATMENT. BASED ON 32 mm OF RAINFALL FLOWING THROUGH THE GROWING MEDIUM OF THE RAIN GARDEN WITH THE ASSUMPTION THAT LONG-TERM HYDRAULIC CONDUCTIVITY OF THE GROWING MEDIUM IS 20 mm/hr WHICH RESULTS IN A SIZING FACTOR OF 5% WHEN 200mm OF PONDING IS ALLOWED TO DRAIN IN 48 hrs FROM START OF RAINFALL EVENT.

MARCH 17, 2026

ISSUED FOR DEVELOPMENT PERMIT

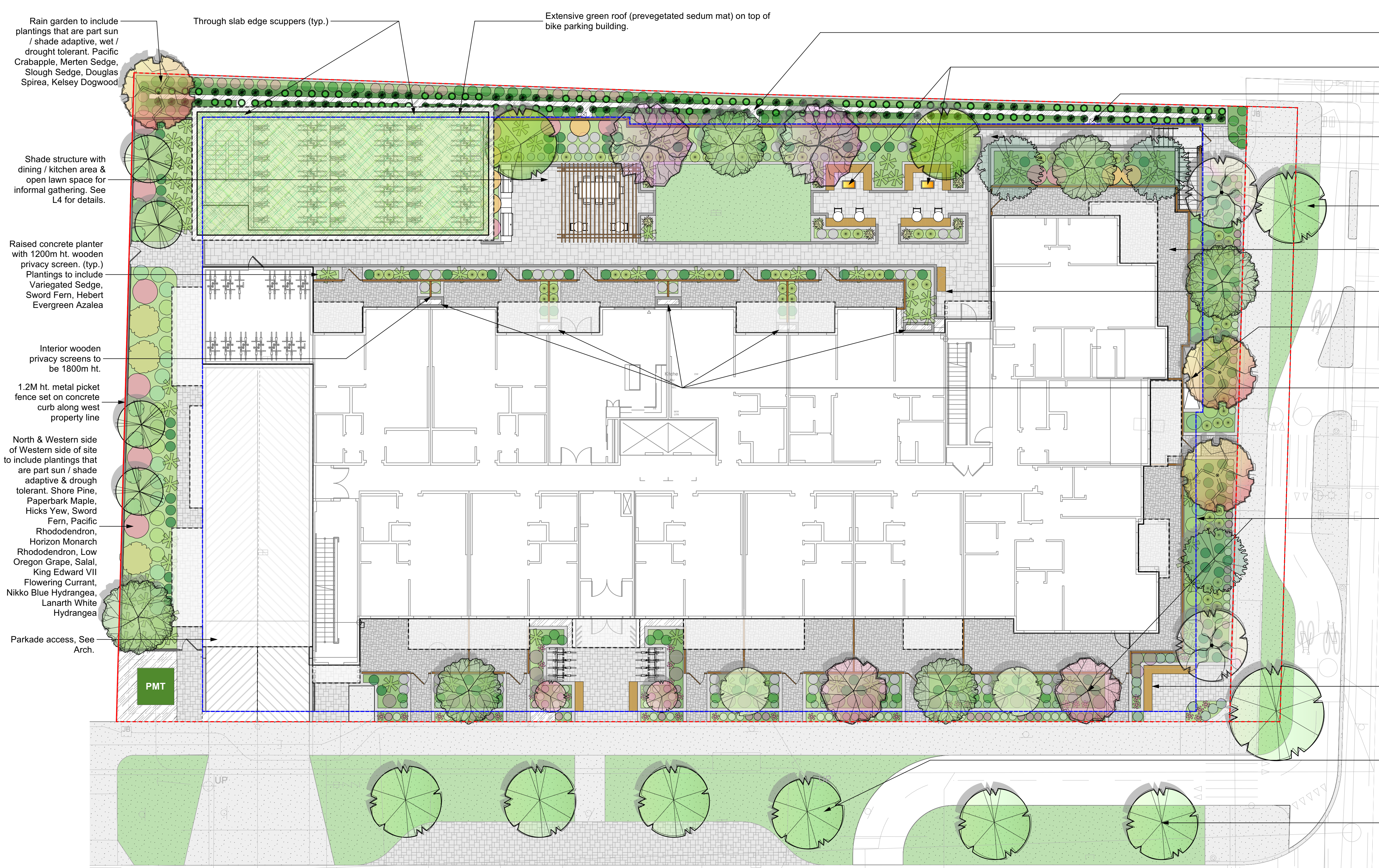
PERMIT TO PRACTICE
McElhanney Ltd.
PERMIT NUMBER: 1003299
Engineers and Geoscientists of BC



| | |
|------------------------------|----------------------------------|
| PROJECT: | 1908 FOUL BAY ROAD, VICTORIA, BC |
| TITLE: | PRELIMINARY CIVIL PLAN |
| SCALE HORIZ: 1:200 | VERT: N/A |
| PROJECT NO. 24-103 | ISSUED/REVISION 6 |
| APPROVING AUTHORITY FILE NO. | |
| DRAWING NO. 24-103-CSP | |

McElhanney
500 - 3960 QUADRA STREET
VICTORIA, BC V8X 4A3
PH (250) 370-9221

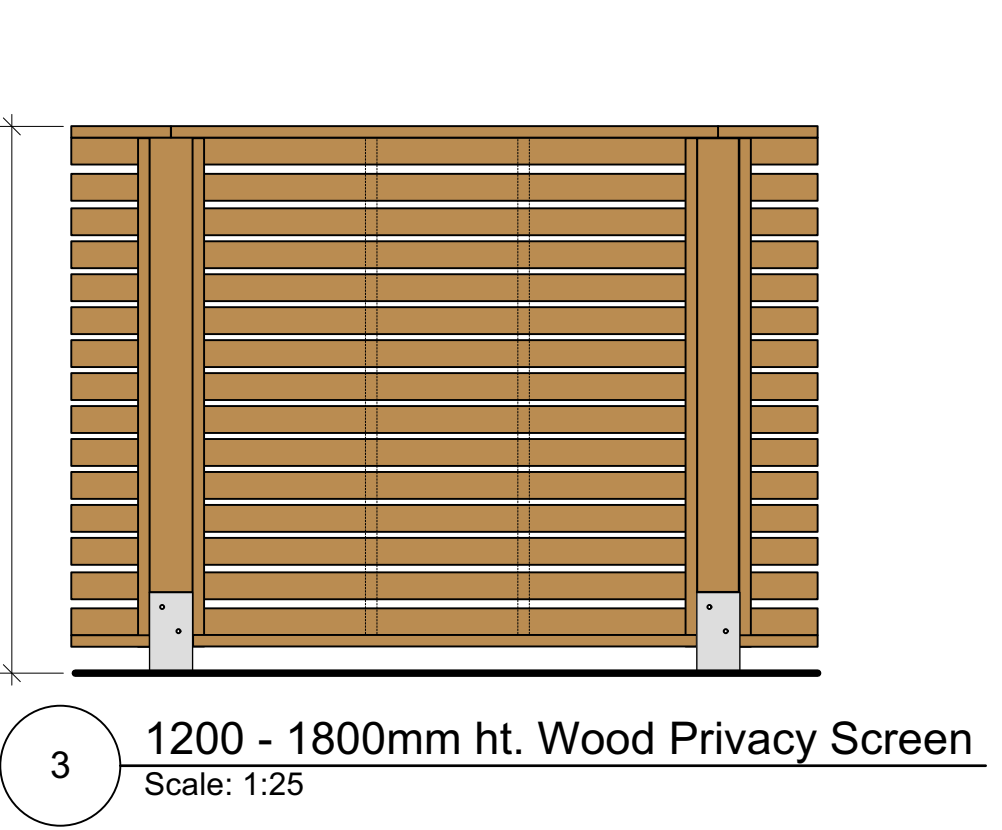
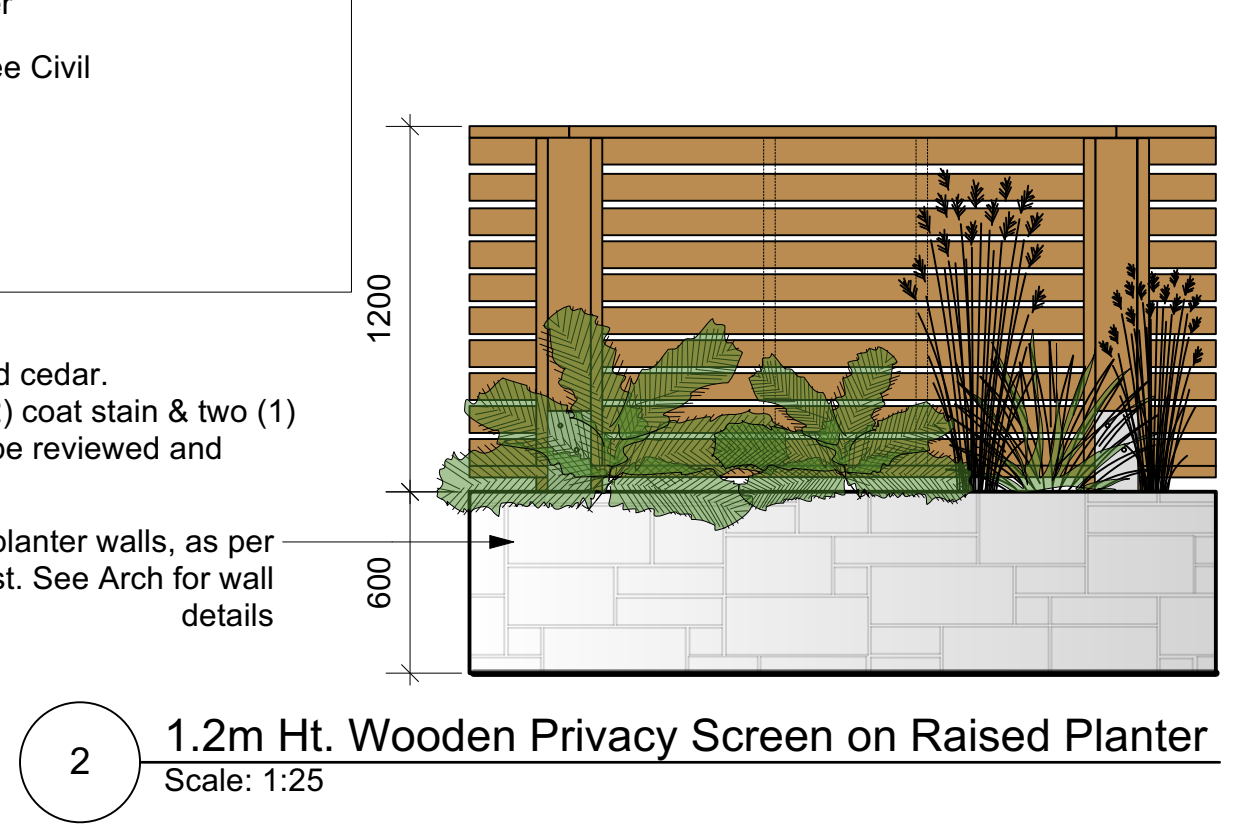
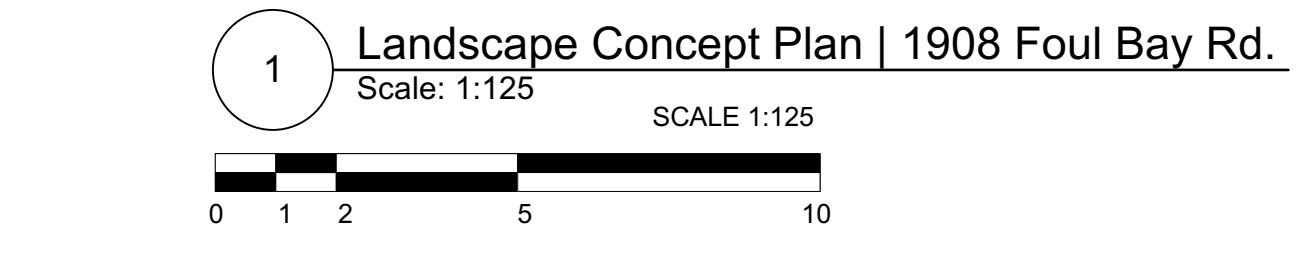
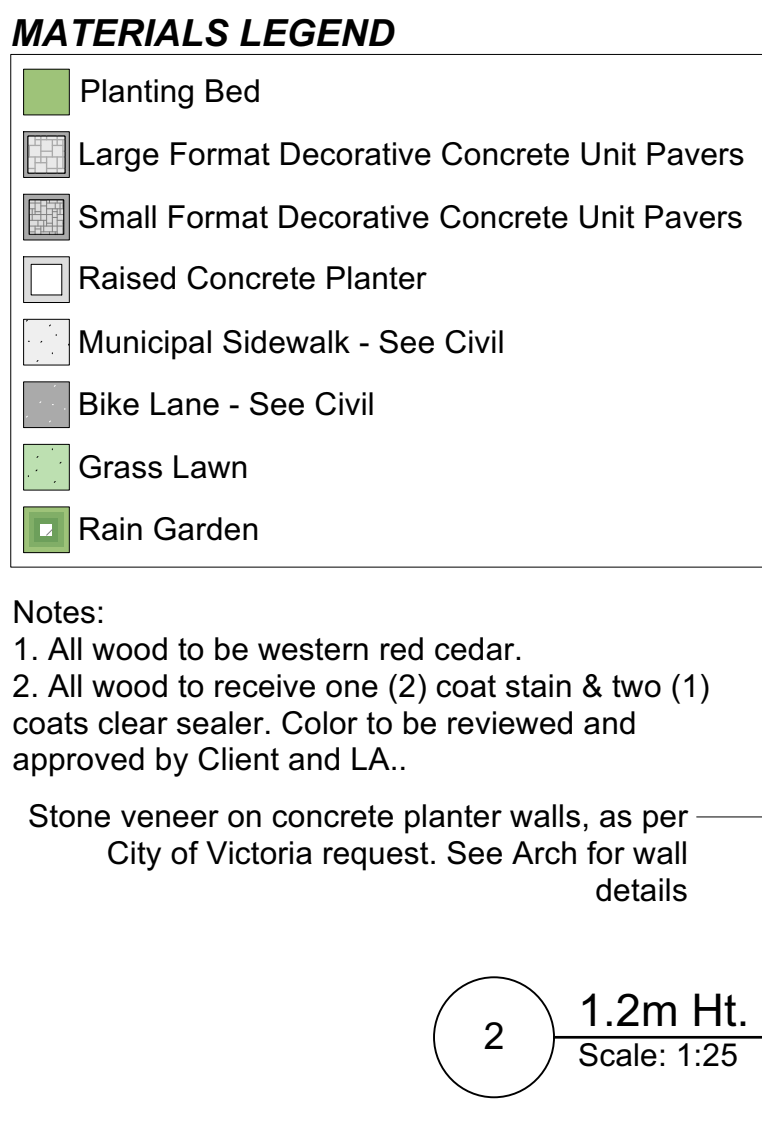
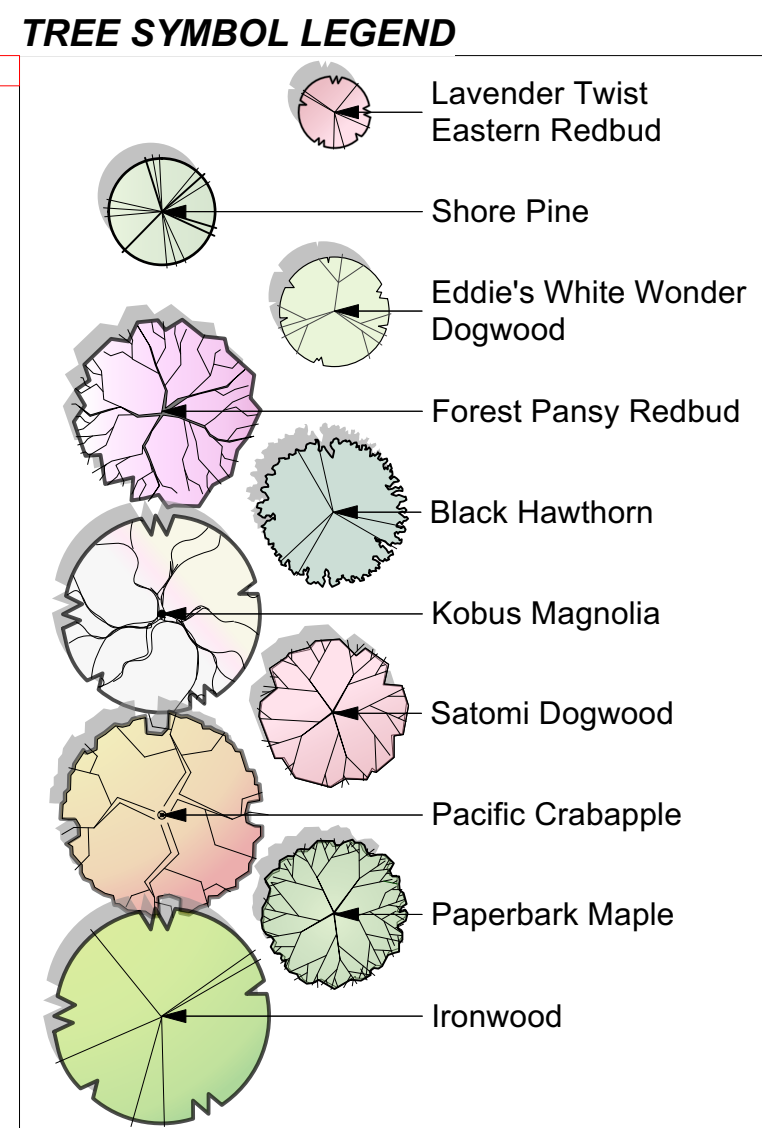
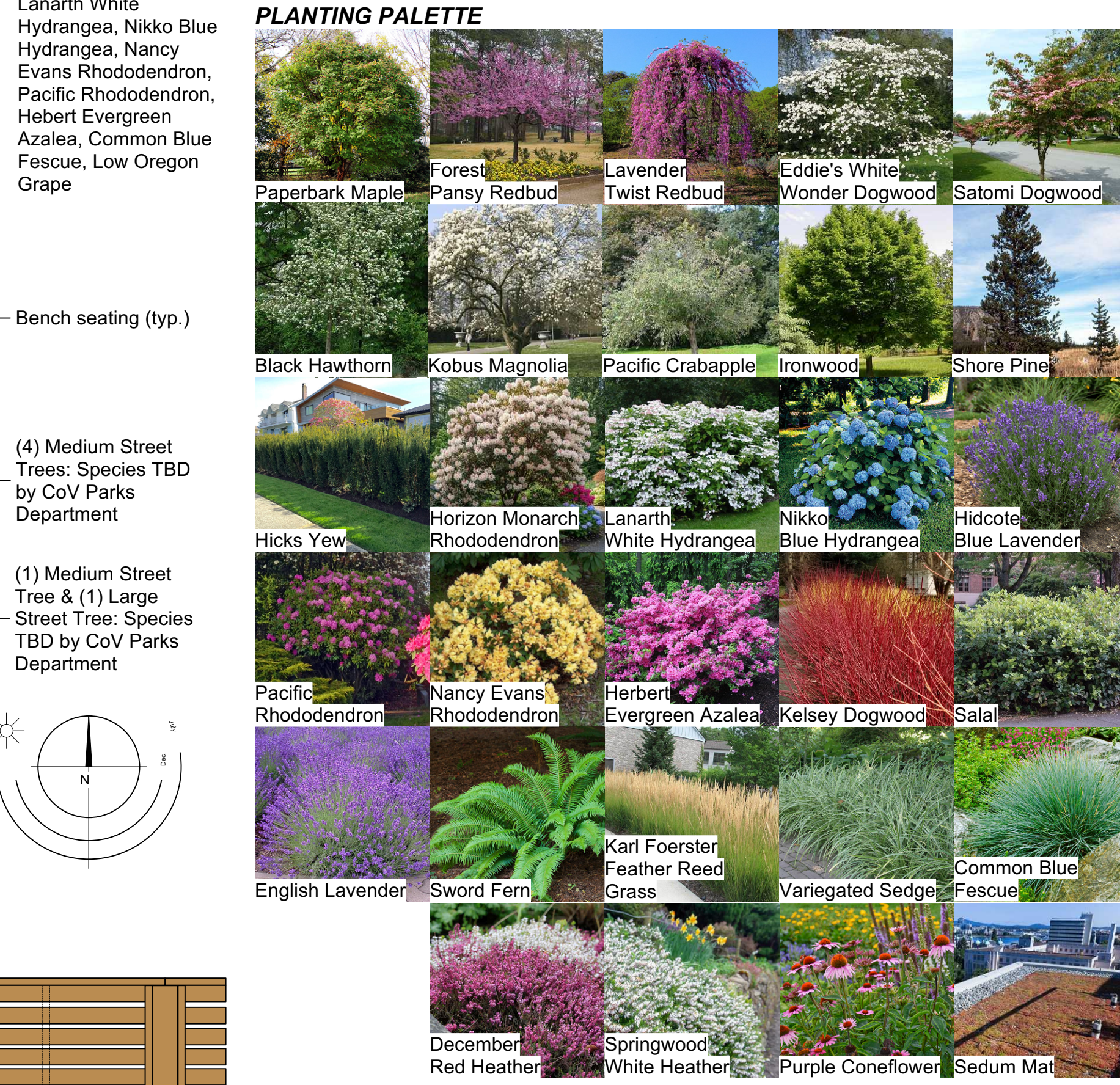
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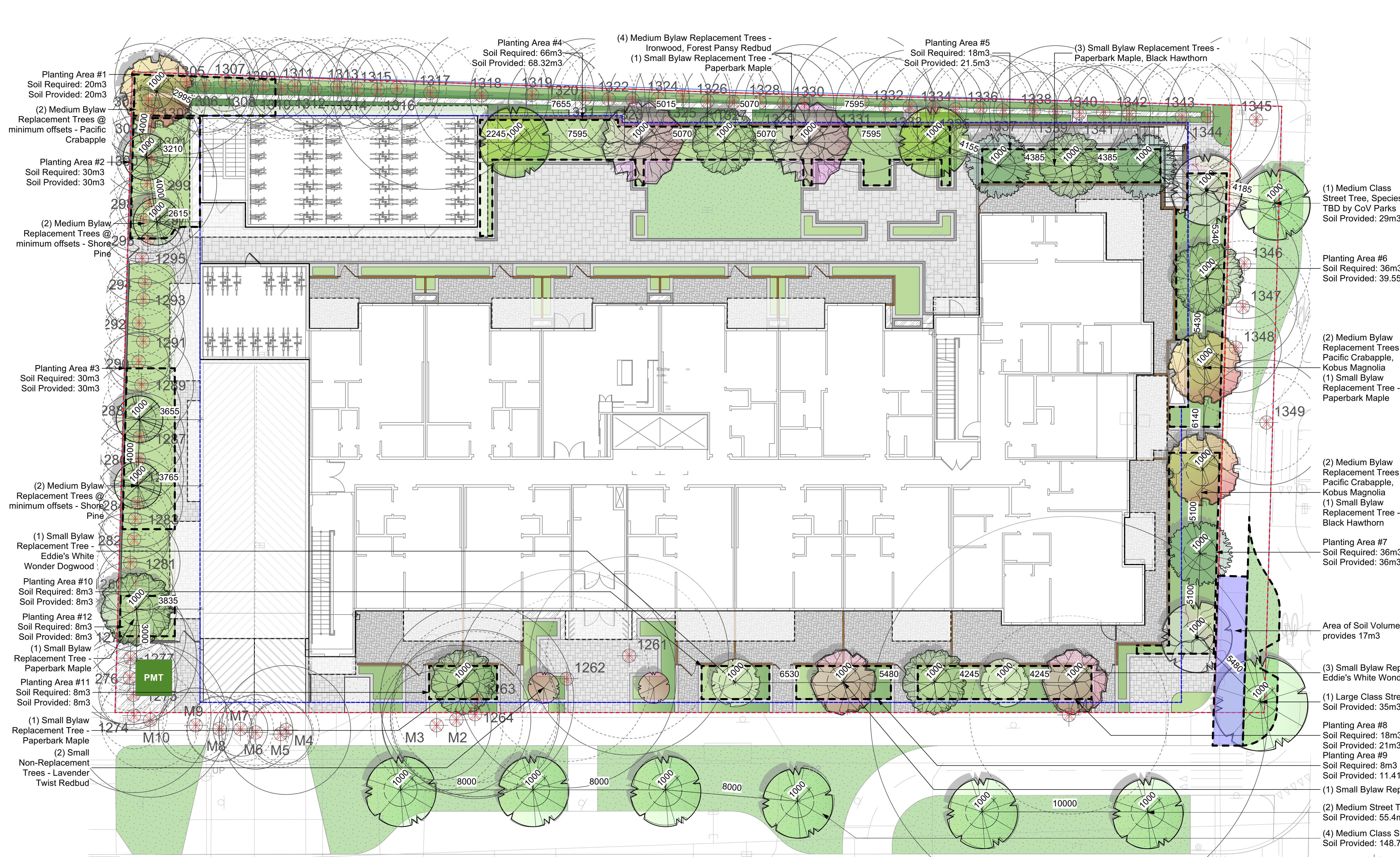
Recommended Nursery Stock

| Trees | Botanical Name | Common Name | Size | |
|--------------------------------------|---|-------------------------------|----------|--------|
| On Site Total: 28 | Acer griseum | Paperbark Maple | 6cm cal. | |
| | Cercis canadensis 'Forest Pansy' | Forest Pansy Redbud | 6cm cal. | |
| | Cercis canadensis 'Lavender Twist' | Lavender Twist Eastern Redbud | 6cm cal. | |
| | Cornus 'Eddie's White Wonder' | Eddie's White Wonder Dogwood | 6cm cal. | |
| | Cornus kousa 'Satomi' | Satomi Dogwood | 6cm cal. | |
| | Crataegus douglasii | Black Hawthorn | 6cm cal. | |
| | Magnolia kobus | Kobus Magnolia | 6cm cal. | |
| | Malus fusca | Pacific Crabapple | 6cm cal. | |
| | Ostrya virginiana | Ironwood | 6cm cal. | |
| | Pinus contorta | Shore Pine | 6cm cal. | |
| | Street Trees - Species to be determined by the City of Victoria Parks Dept. | | | 2m ht. |
| | Off Site Total: 8 | Large Shrubs | | |
| | | Total: 11 | | |
| | | Medium Shrubs | | |
| | Total: 86 | | | |
| Small Shrubs | | | | |
| Total: 300 | | | | |
| Perennials, Annuals and Ferns | | | | |
| Total: 403 | | | | |
| Groundcovers | | | | |
| Total: 108 | | | | |

Notes:
 1. All work to be completed to current (CLS) Canadian Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

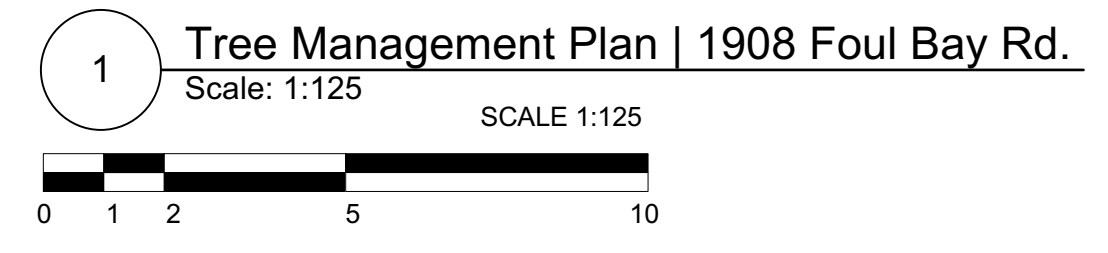
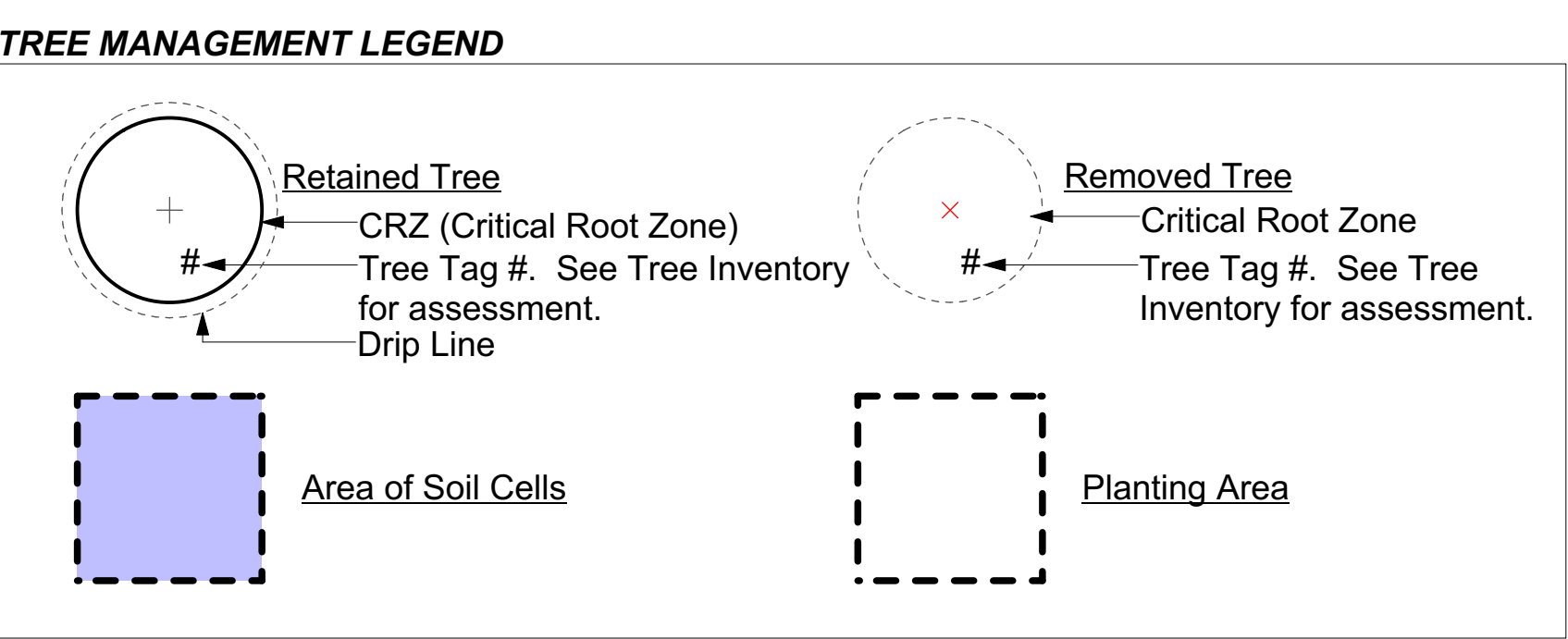
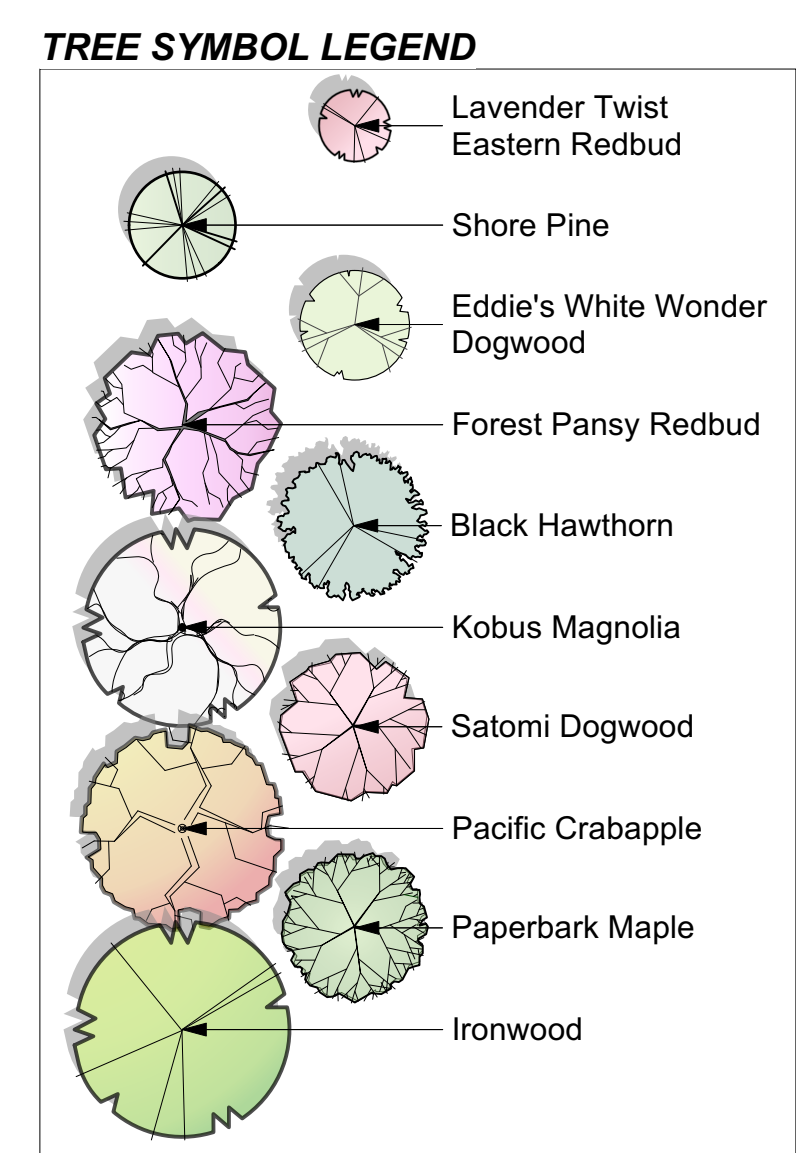


Landscape Concept Plan | 1908 Foul Bay Rd.

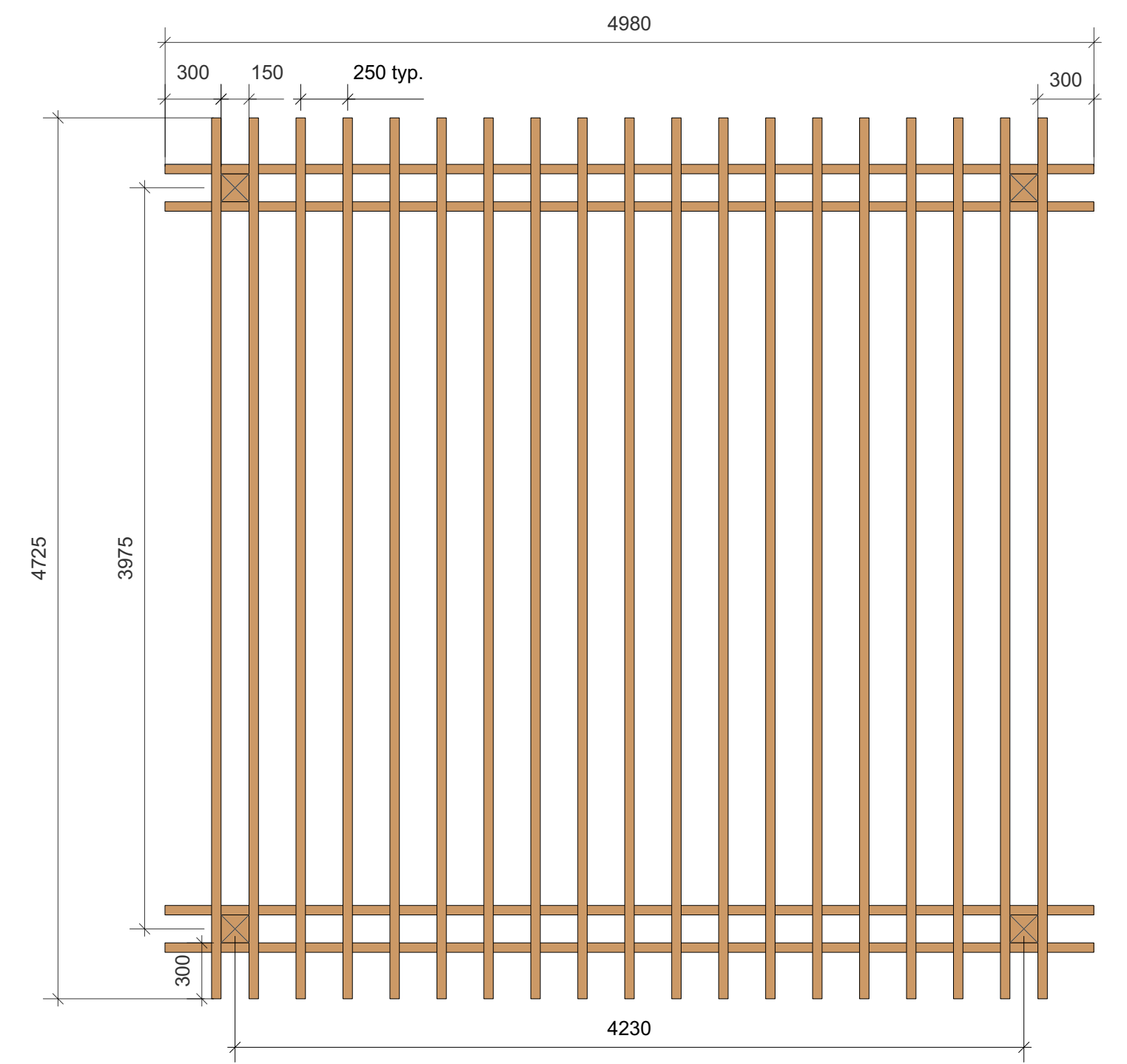
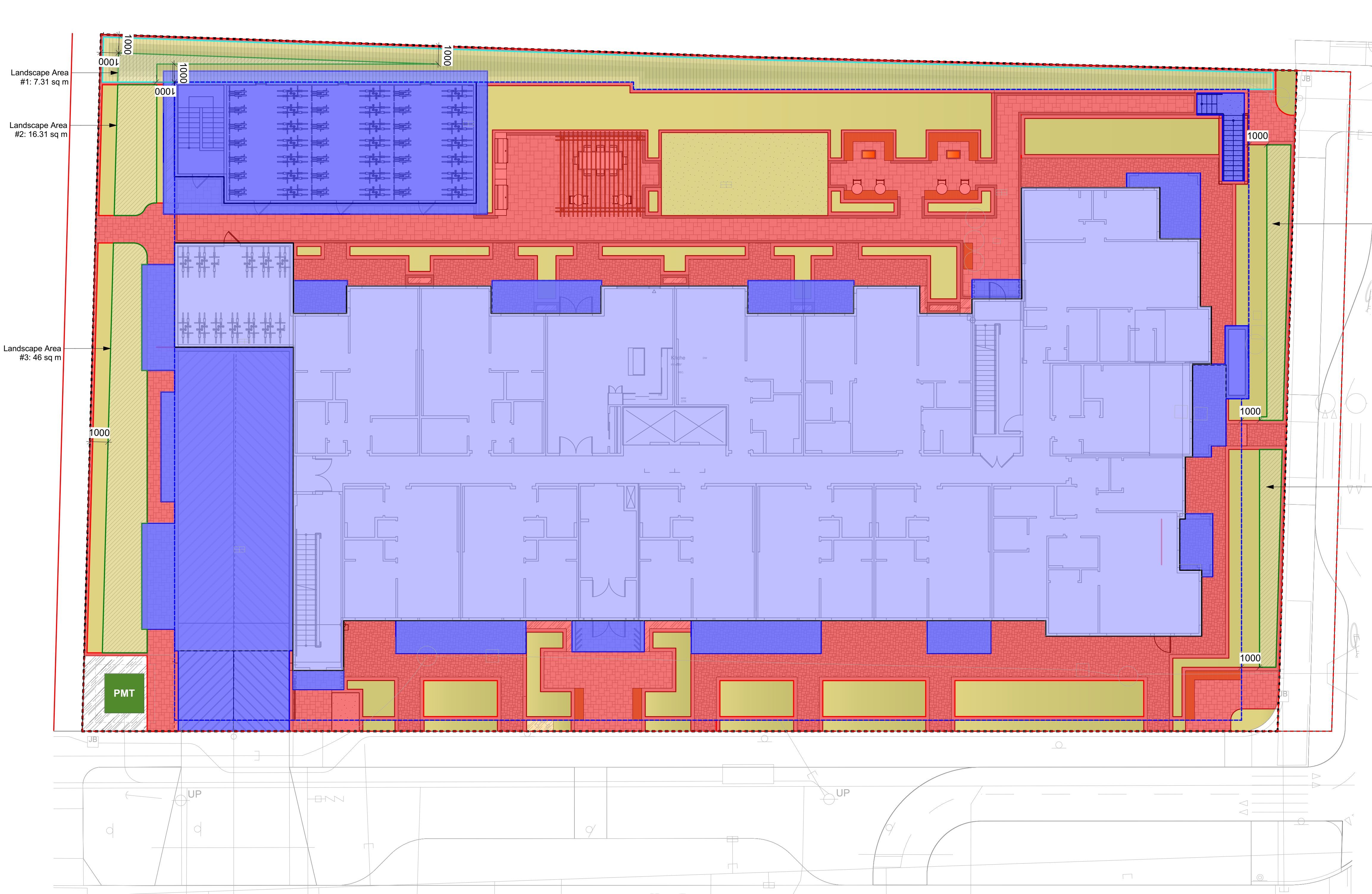


| TREE PRESERVATION SUMMARY | | | |
|---|-------|------------|---------|
| | Count | Multiplier | Total |
| ONSITE Minimum replacement tree requirement | | | |
| A. Protected Trees Removed | 12 | x 1 | A. 12 |
| B. Replacement Trees Proposed per Schedule "E", Part 1 | 13 | x 1 | B. 13 |
| C. Replacement Trees Proposed per Schedule "E", Part 2 | 13 | x 0.5 | C. 6.5 |
| D. Replacement Trees Proposed per Schedule "E", Part 3 | 0 | x 1 | D. 0 |
| E. Total replacement trees proposed (B+C+D) Round down to nearest whole number | | | E. 19.5 |
| F. Onsite replacement tree deficit (A-E) Record 0 if negative number | | | F. 0 |
| ONSITE Minimum trees per lot requirement (onsite trees) | | | |
| G. Tree minimum on lot | | | G. 13 |
| H. Protected trees retained (other than specimen trees) | | x 1 | H. 0 |
| I. Specimen trees retained | 0 | x 3 | I. 0 |
| J. Trees per lot deficit (G-(B+C+H+I)) Record 0 if negative number | | | J. 0 |
| OFFSITE Minimum replacement tree requirement (offsite trees) | | | |
| K. Protected trees Removed | | x 1 | K. 0 |
| L. Replacement trees proposed per Schedule "E" Part 1 or Part 3 | | x 1 | L. 0 |
| M. Replacement trees proposed from Schedule "E" Part 2 | 0 | x 0.5 | M. 0 |
| N. Total replacement trees proposed (L+M) Round down to nearest whole number | | | N. 0 |
| O. Offsite replacement tree deficit (K-N) Record 0 if negative number | | | O. 0 |
| Cash-in-lieu requirement | | | |
| P. Onsite trees proposed for cash-in-lieu. Enter F. or J. whichever is the greater number | | | P. 0 |
| Q. Offsite trees proposed for cash-in-lieu. Enter O | | | Q. 0 |
| R. Cash-in lieu proposed ((P+Q) x \$2000) | | | R. 0 |

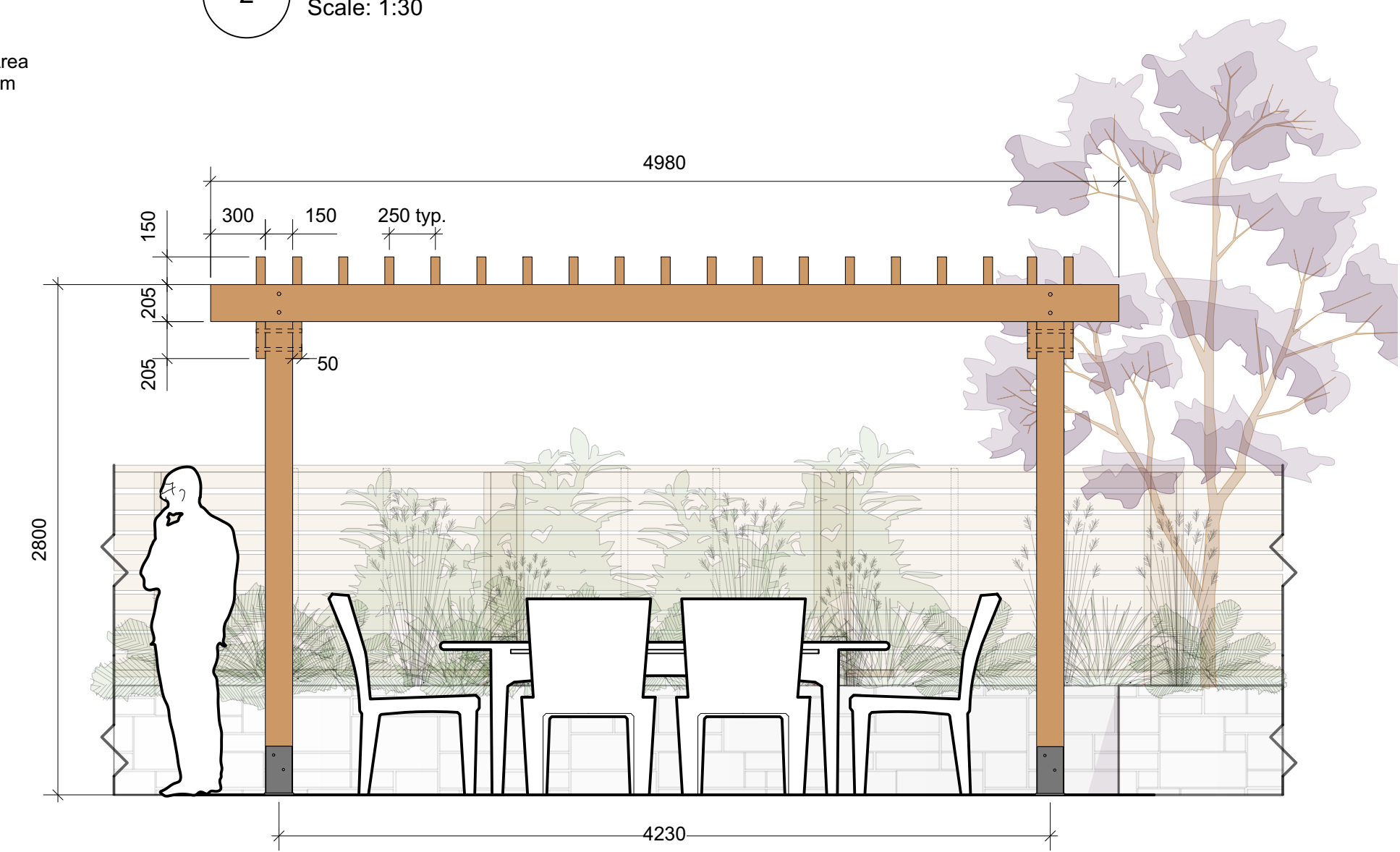
| Planting Area ID | Soil Table | | Replacement Tree Proposed | | | Soil Volume Required (M3) | | | | |
|--|------------|-------------------------|---------------------------|--------|---------|---------------------------|------------------------------|-----------------------------------|-----------------------------------|-------|
| | Area (M2) | Soil Volume multiplier* | A Estimated Soil Volume | #Small | #Medium | #Large | Small | Medium | Large | Total |
| Onsite | | | | | | | | | | |
| 1 | 20 | 1 | 20 | | 1 | | 0 | 20 | 0 | 20 |
| 2 | 28.7 | 1.05 | 30 | | 2 | | 0 | 30 | 0 | 30 |
| 3 | 30 | 1 | 30 | | 2 | | 0 | 30 | 0 | 30 |
| 4 | 68.32 | 1 | 68.32 | 1 | 4 | | 6 | 60 | 0 | 66 |
| 5 | 21.5 | 1 | 21.5 | 3 | | | 18 | 0 | 0 | 18 |
| 6 | 39.55 | 1 | 39.55 | 1 | 2 | | 6 | 30 | 0 | 36 |
| 7 | 36 | 1 | 36 | 1 | 2 | | 6 | 30 | 0 | 36 |
| 8 | 21 | 1 | 21 | 3 | | | 18 | 0 | 0 | 18 |
| 9 | 11.41 | 1 | 11.41 | 1 | | | 8 | 0 | 0 | 8 |
| 10 | 8 | 1 | 8 | 1 | | | 8 | 0 | 0 | 8 |
| 11 | 8 | 1 | 8 | 1 | | | 8 | 0 | 0 | 8 |
| 12 | 8 | 1 | 8 | 1 | | | 8 | 0 | 0 | 8 |
| Offsite (Excluding City Property) | | | | | | | | | | |
| AreaOSA | | | | | | | | | | |
| (Excluding City Property) | | | | | | | E | F | G | TOTAL |
| Calculation | | | | | | | IF B =1, BX8 IF B >1, BX6 | IF C =1, CX20 IF C >1, CX15 | IF B =1, BX35 IF B >1, BX30 | E+F+G |



Tree Management Plan | 1908 Foul Bay Rd.

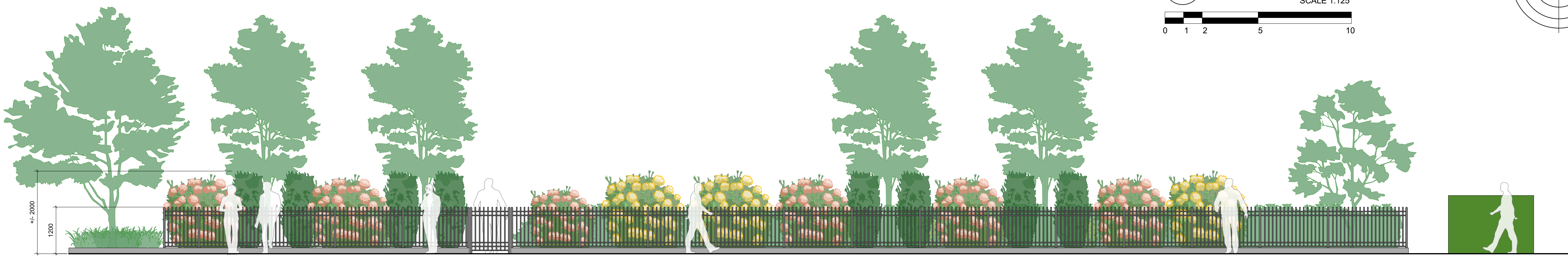
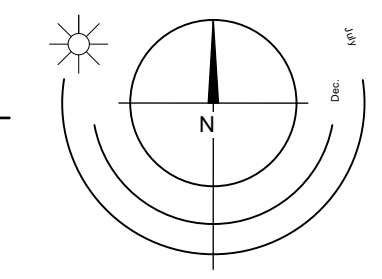


2 Pergola Detail | Plan View
Scale: 1:30



3 Pergola Detail | Side View
Scale: 1:30

1 Landscape Concept Plan | 1908 Foul Bay Rd.
Scale: 1:125
SCALE 1:125
0 1 2 5 10



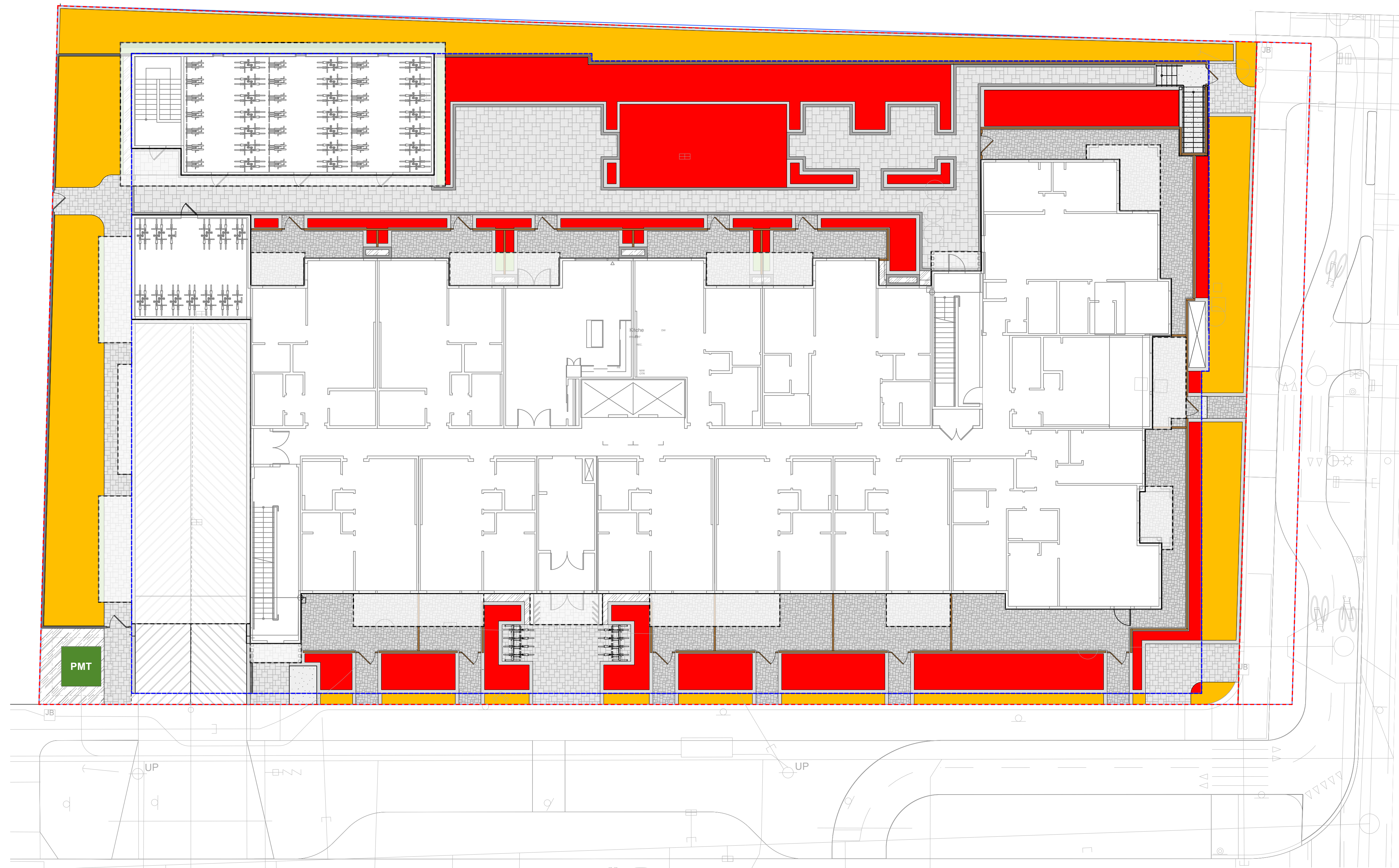
4 Landscape Concept - West Elevation (View from Offsite Path)
Scale: 1:60

Open Site Space Takeoffs

| | |
|---------------|--|
| [Dashed Line] | Lot Area: 2501 sq m |
| [Blue] | Building, Parking, Accessory Buildings: 1422 sq m 56.86% |
| [Red] | Open Lot Space: 1062 sq m 42.46% |
| [Red] | Hardscape: 549 sq m 51.69% of OLS |
| [Yellow] | Soft Landscaping: 513 sq m 48.31% of OLS |
| [Green] | 6% LS Goal 100 sq m 4% of Lot Area |
| [Blue/Green] | Rain Garden 107.54 sq m |

- [Red Dashed Line] Property Line
- [Blue Dashed Line] Extent of Parkade

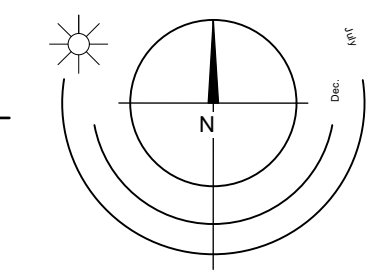
Landscape Concept Plan | 1908 Foul Bay Rd.



| |
|--|
| Takeoff #3 - On Slab Landscape Area |
| Lot Area: 2501 sq m |
| ■ Landscape Area: 244 sq msq m 11.9% |
| Takeoff #4 - Off Slab Landscape Area |
| Lot Area: 2501 sq m |
| ■ Landscape Area: 269 sq m sq m 10.76% |

- Property Line
- Extent of Parkade

1 Landscape Concept Plan | 1908 Foul Bay Rd.
 Scale: 1:125
 SCALE 1:125
 0 1 2 5 10



Landscape Concept Plan | 1908 Foul Bay Rd.