



EXISTING SITE LOCATION



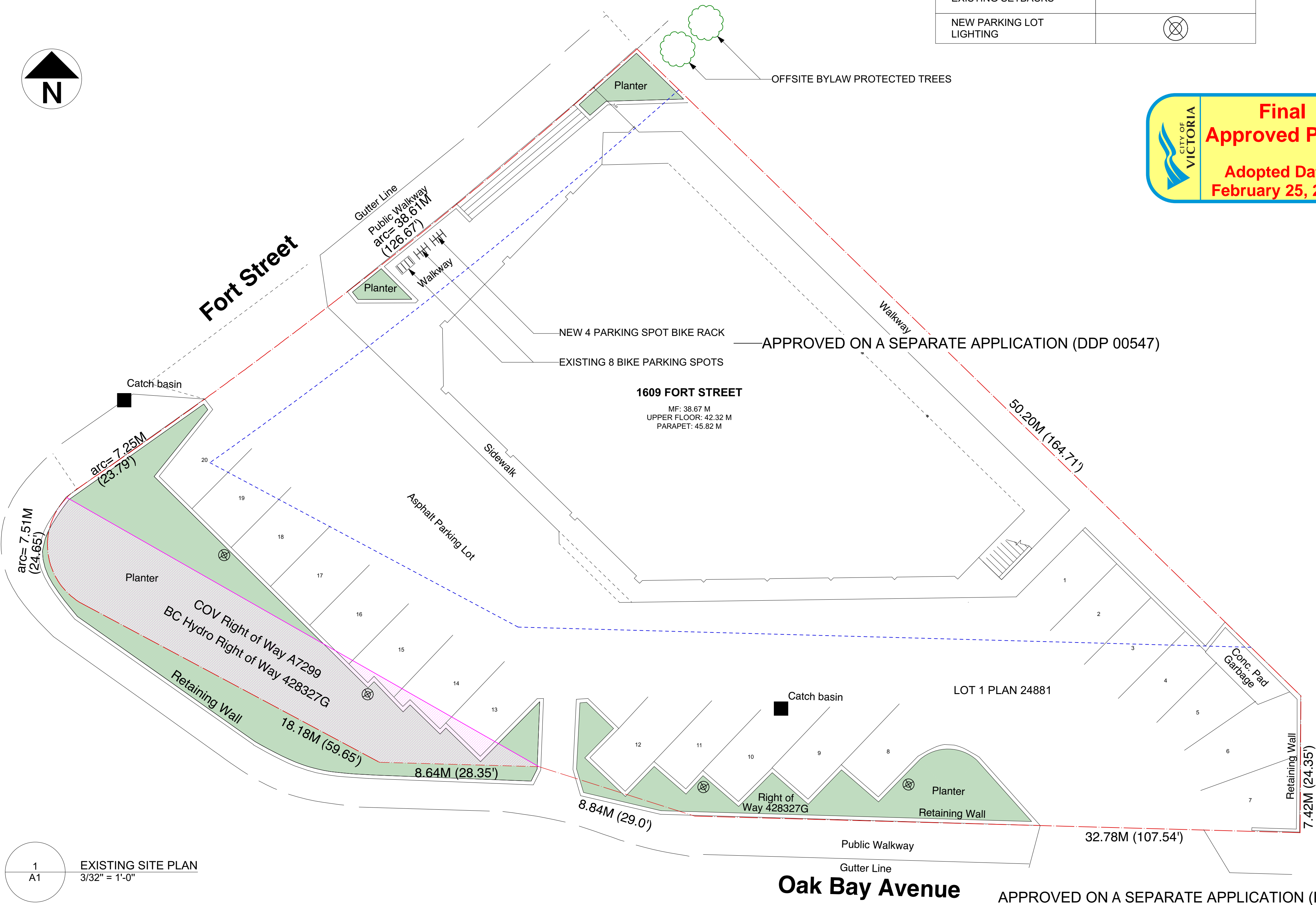
EXISTING BUILDING - FORT STREET



EXISTING BUILDING - OAK BAY AVENUE

DRAWING LEGEND	
EXISTING PROPERTY LINE	---
EXISTING SETBACKS	----
NEW PARKING LOT LIGHTING	⊗

ZONING DATA TABLE					
	ZONE STANDARD		PROPOSAL (IF DIFFERENT FROM ZONE STANDARD)		
ZONING	C1-J ZONE, LIMITED COMMERCIAL JUNCTION DISTRICT		-		
SITE AREA (m2)	NOT MENTIONED IN ZONE STANDARD		1614.9 sqm		
TOTAL FLOOR AREA (m2)	TOTAL ALLOWABLE IS 888.2 sqm		EXISTING: TOTAL:	795.2 sqm 91.1 sqm 886.3 sqm	
FLOOR SPACE RATIO	0.55 TO 1		0.549 TO 1		
SITE COVERAGE %	SHALL NOT EXCEED 30%		28.7%		
OPEN SITE SPACE %	NOT MENTIONED IN ZONE STANDARD		14.15%		
HEIGHT (m)	SHALL NOT EXCEED 8 m		7.15 m TO PARAPET		
NUMBER OF STOREYS	NOT MENTIONED IN ZONE STANDARD		2 STOREYS		
PARKING STALLS (NUMBER) ON SITE	SHALL BE PROVIDED IN ACCORDANCE WITH SCHEDULE 'C' - 18 REQUIRED		20 PARKING STALLS PROVIDED ON SITE		
BUILDING SETBACK (m)					
OAK BAY AVENUE	10.6 m		-		
FORT STREET	3 m		-		
INTERSECTION OF OAK BAY AVE AND FORT STREET	10.6 m		-		
VEHICLE PARKING REQUIREMENTS (BASED ON CITY OF VICTORIA SCHEDULE C)					
BUSINESS	USE	AREA (sqm)	SCHEDULE C CALCULATION	TOTAL SPACES REQUIRED	
SECOND FLOOR OFFICE SPACE	OFFICE	432.5	1 SPACES PER 55 sqm	7.9 (8)	
DRAGON GATE RESTAURANT	RESTUARANT	126.8	1 SPACES PER 25 sqm	5.1 (5)	
VESSEL LIQUOR STORE	RETAIL	240.8	1 SPACES PER 50 sqm	4.8 (5)	
MONEY MART	FINANCIAL SERVICE	86.2	1 SPACES PER 40 sqm	2.1 (2)	
20 PARKING SPOTS ARE REQUIRED, 20 PARKING SPOTS ARE PROVIDED					
BIKE PARKING REQUIREMENTS					
BUSINESS	USE	AREA (sqm)	LONG TERM CALCULATION	SHORT TERM CALCULATION	TOTAL SPACES REQUIRED
2ND FLOOR OFFICE SPACE	OFFICE	432.5	0 SPACES PER DDP 00547	1 SPACES PER 400 sqm = 1.1	1
DRAGON GATE RESTAURANT	RESTUARANT	126.8	0 SPACES (existing building)	1 SPACES PER 100 sqm = 1.3	1.3 (1)
VESSEL LIQUOR STORE	RETAIL	240.8	0 SPACES (existing building)	1 SPACES PER 200 sqm = 1.2	1.2 (1)
MONEY MART	FINANCIAL SERVICE	86.2	0 SPACES (existing building)	1 SPACES PER 200 sqm = 0.4	0.4 (1)
4 BIKE PARKING SPOTS ARE REQUIRED 8 SHORT TERM BIKE SPOTS ARE EXISTING & 4 MORE SPOTS WERE PROVIDED ON DDP 00547 IN LIEU OF 1 LONG TERM BIKE PARKING SPACE (12 TOTAL)					



Final Approved Plans
Adopted Date: February 25, 2021

PROJECT:

VESSEL LIQUOR STORE DVP

PROJECT ADDRESS:

1609 FORT STREET
VICTORIA, BC

CLIENT:

VESSEL LIQUOR STORE

steller
ARCHITECTURAL CONSULTING
210-4252 Commercial Court
Victoria, BC V8Z 4M2
250-294-8076

Revisions

Received Date: December 21, 2020

ISSUED FOR: DATE:

REVISION NO.: DATE:

1 AUG 19, 2020

2 NOV 12, 2020

3 DEC 21, 2020

SAC PROJECT NO.: **VES-01-19**

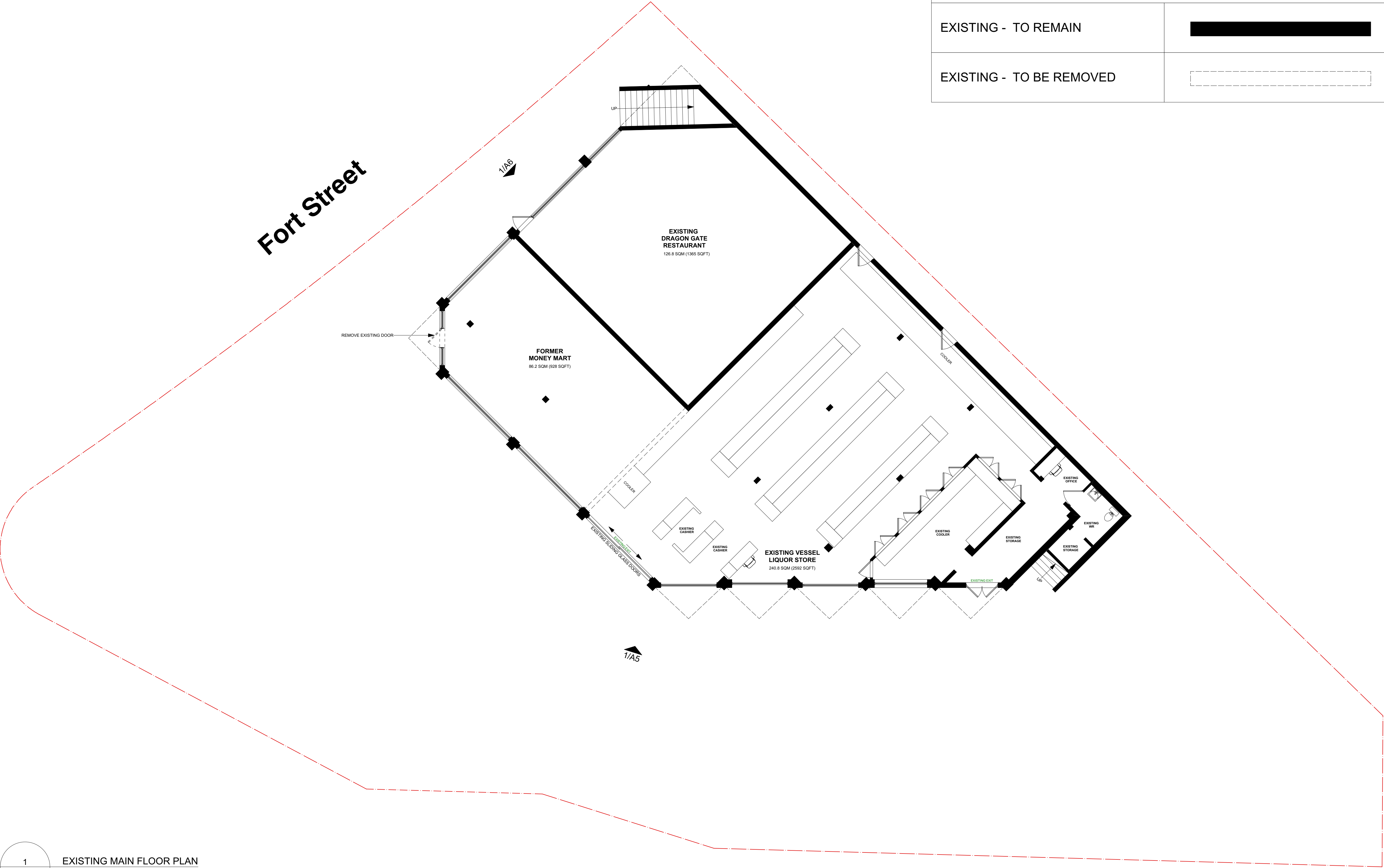
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DATE: **DECEMBER 21, 2020**

SCALE: **AS NOTED**

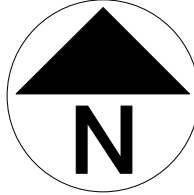
DRAWING TITLE: **SITE PLAN**

DRAWING NUMBER: **A1**



DRAWING LEGEND	
EXISTING PROPERTY LINE	

PARTITION LEGEND	
EXISTING - TO REMAIN	
EXISTING - TO BE REMOVED	



1
A2
EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

Oak Bay Avenue

PROJECT:
VESSEL LIQUOR
STORE DVP

PROJECT ADDRESS:
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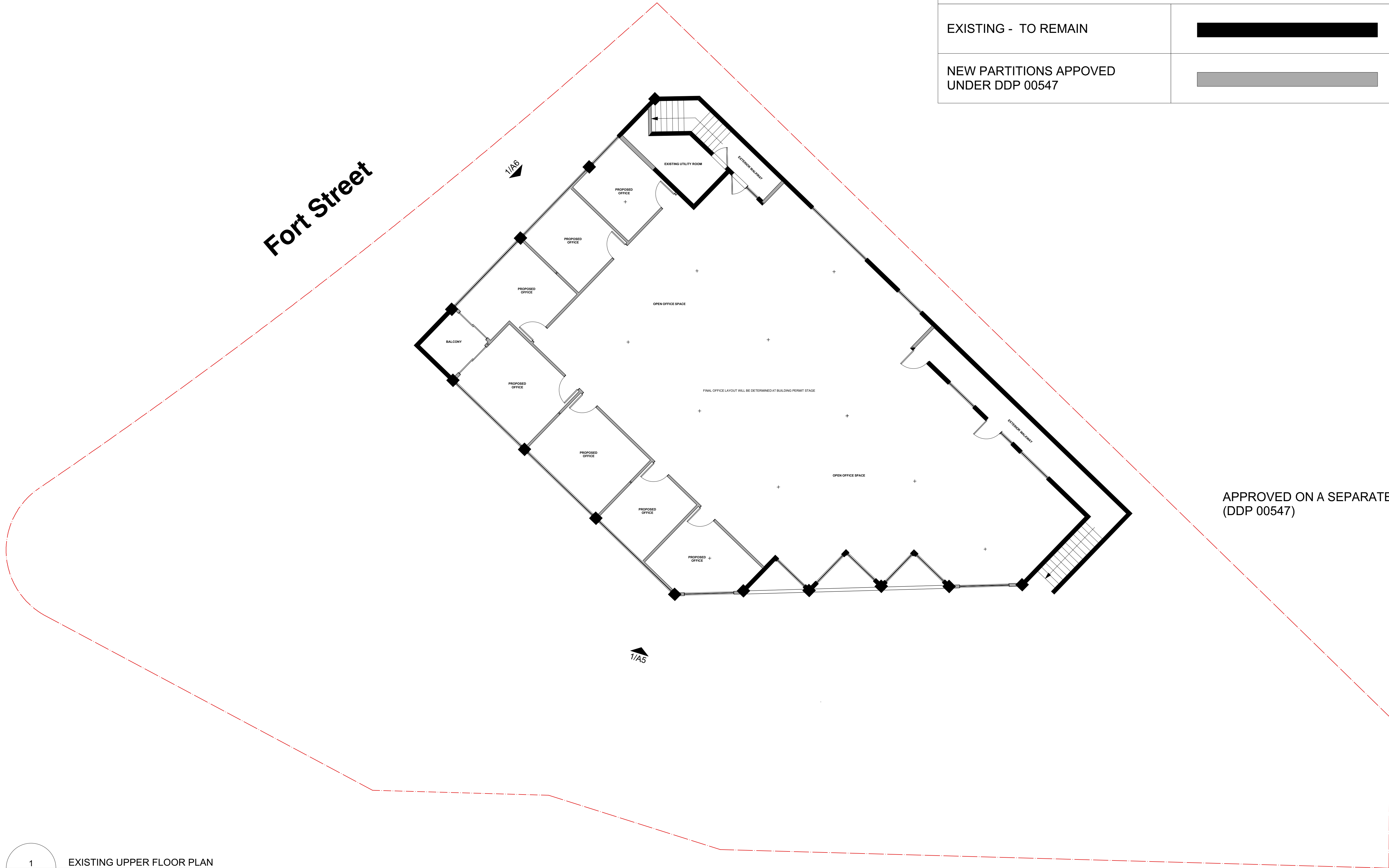
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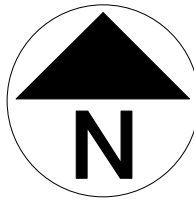
DRAWING TITLE:
EXISTING MAIN
FLOOR PLAN

DRAWING NUMBER:
A2



DRAWING LEGEND	
EXISTING PROPERTY LINE	

PARTITION LEGEND	
EXISTING - TO REMAIN	
NEW PARTITIONS APPROVED UNDER DDP 00547	



1
A3
EXISTING UPPER FLOOR PLAN
SCALE: 1/8" = 1'-0"

APPROVED ON A SEPARATE APPLICATION
(DDP 00547)

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DECEMBER 18, 2020

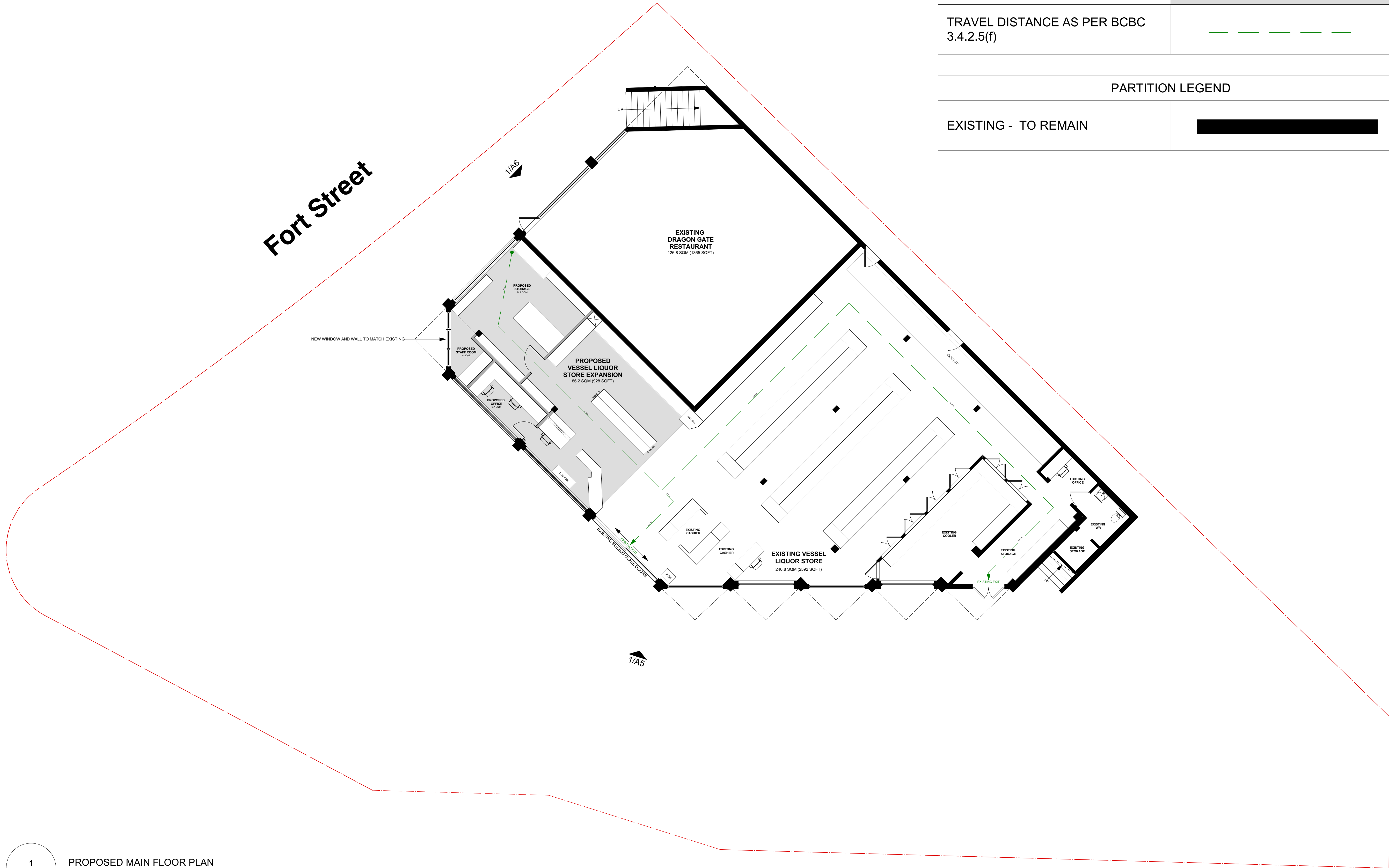
SCALE:
AS NOTED

DRAWING TITLE:

**EXISTING UPPER
FLOOR PLAN**

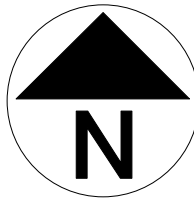
DRAWING NUMBER:

A3



DRAWING LEGEND	
EXISTING PROPERTY LINE	
PROPOSED EXPANSION SPACE	
TRAVEL DISTANCE AS PER BCBC 3.4.2.5(f)	

PARTITION LEGEND	
EXISTING - TO REMAIN	



1
A4
PROPOSED MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"

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SCALE:
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DRAWING TITLE:

**PROPOSED MAIN
FLOOR PLAN**

DRAWING NUMBER:

A4

Oak Bay Avenue



EXISTING VIEW FROM OAK BAY AVE

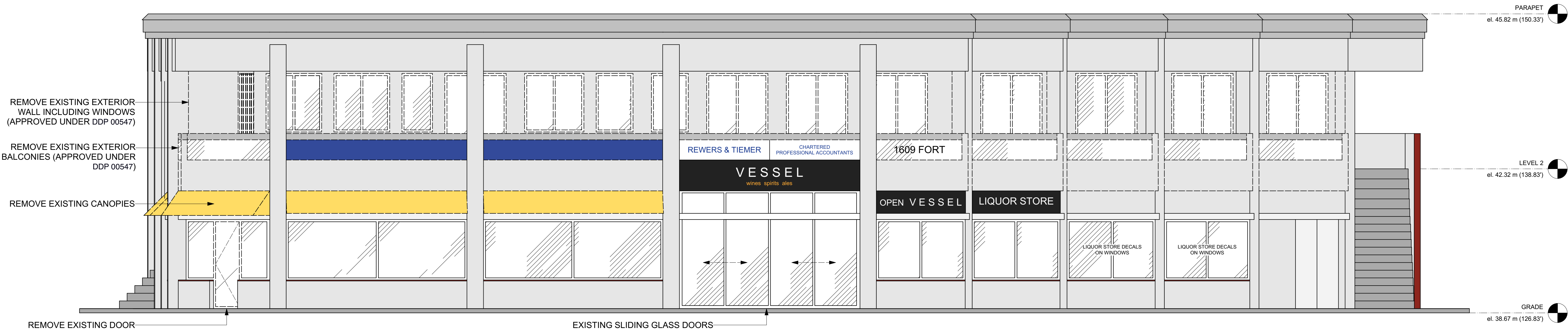


PROPOSED VIEW FROM OAK BAY AVE

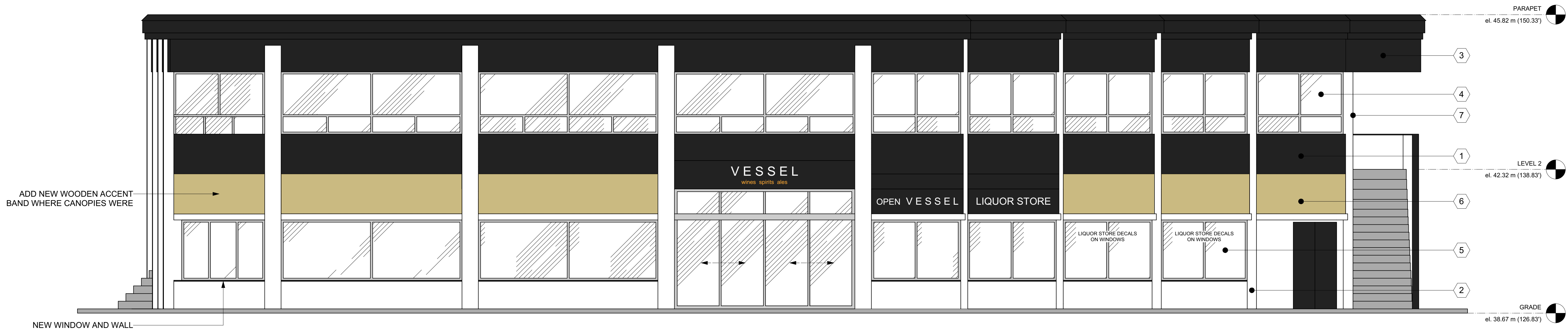
FINISHES LEGEND	
1	PAINT EXISTING STUCCO BENJAMIN MOORE "SIMPLY WHITE" 2143-70
2	PAINT ALL EXISTING BRICK BENJAMIN MOORE "SIMPLY WHITE" 2143-70
3	PAINT EXISTING TRIM BENJAMIN MOORE "BLACK JACK" 2133-20
4	EXISTING PATIOS TO BE REMOVED, CREATE CONTINUOUS EXTERIOR WALL TO RECIEVE NEW GLAZING
5	OPTION TO REPLACE EXISTING WINDOWS WITH NEW TO MATCH NEW WINDOWS ON SECOND FLOOR
6	ACCENT WOOD CLADDING AT SIGN BAND LEVEL & SOFFITS
7	OPTIONAL PAINTED OR PIN-MOUNTED SIGNAGE, FACE-LIT W/ NEW WALL MOUNT GOOSE NECK BLACK METAL LIGHTS

MATERIALS

- BUILDING/TRIM PAINT -**
BENJAMIN MOORE 'BLACK JACK' 2133-20
- BRICK PAINT -**
BENJAMIN MOORE 'SIMPLY WHITE' 2143-70
- ALUMINUM WINDOWS -** BLACK (IF ALL NEW) OR ANNOZIDED
ALUMINUM IF MATCHING EXISTING
- WOOD -** VERTICAL TONGUE & GROOVE CEDAR SIDING IN
NATURAL STAIN (OR SIMILAR)



1
A5
EXISTING ELEVATION
SCALE: 1:50



2
A5
PROPOSED ELEVATION
SCALE: 1:50
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DECEMBER 21, 2020

SCALE:
AS NOTED

DRAWING TITLE:
EXISTING &
PROPOSED
ELEVATIONS

DRAWING NUMBER:
A5




EXISTING VIEW FROM FORT STREET

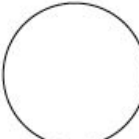



PROPOSED VIEW FROM FORT STREET


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 **BRICK PAINT -**
BENJAMIN MOORE 'SIMPLY WHITE' 2143-70

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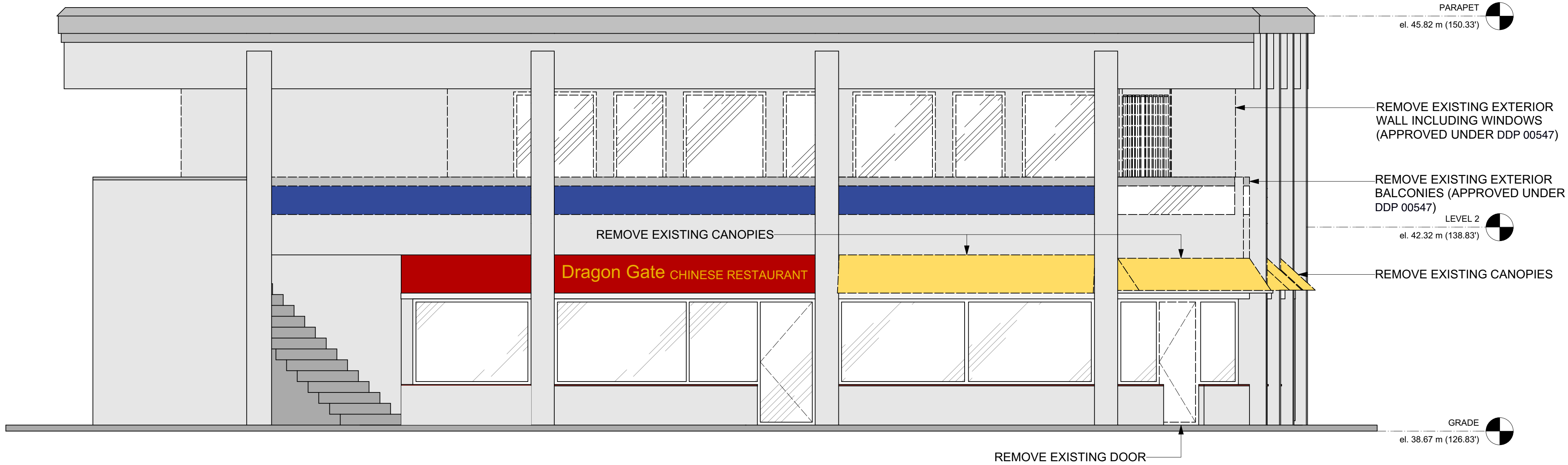
DATE:
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SCALE:
AS NOTED

DRAWING TITLE:
**EXISTING &
PROPOSED
ELEVATIONS**

DRAWING NUMBER:

A6



1
A6
EXISTING ELEVATION
SCALE: 1:50



2
A6
PROPOSED ELEVATION
SCALE: 1:50
APPROVED ON A SEPARATE APPLICATION (DDP 00547)