



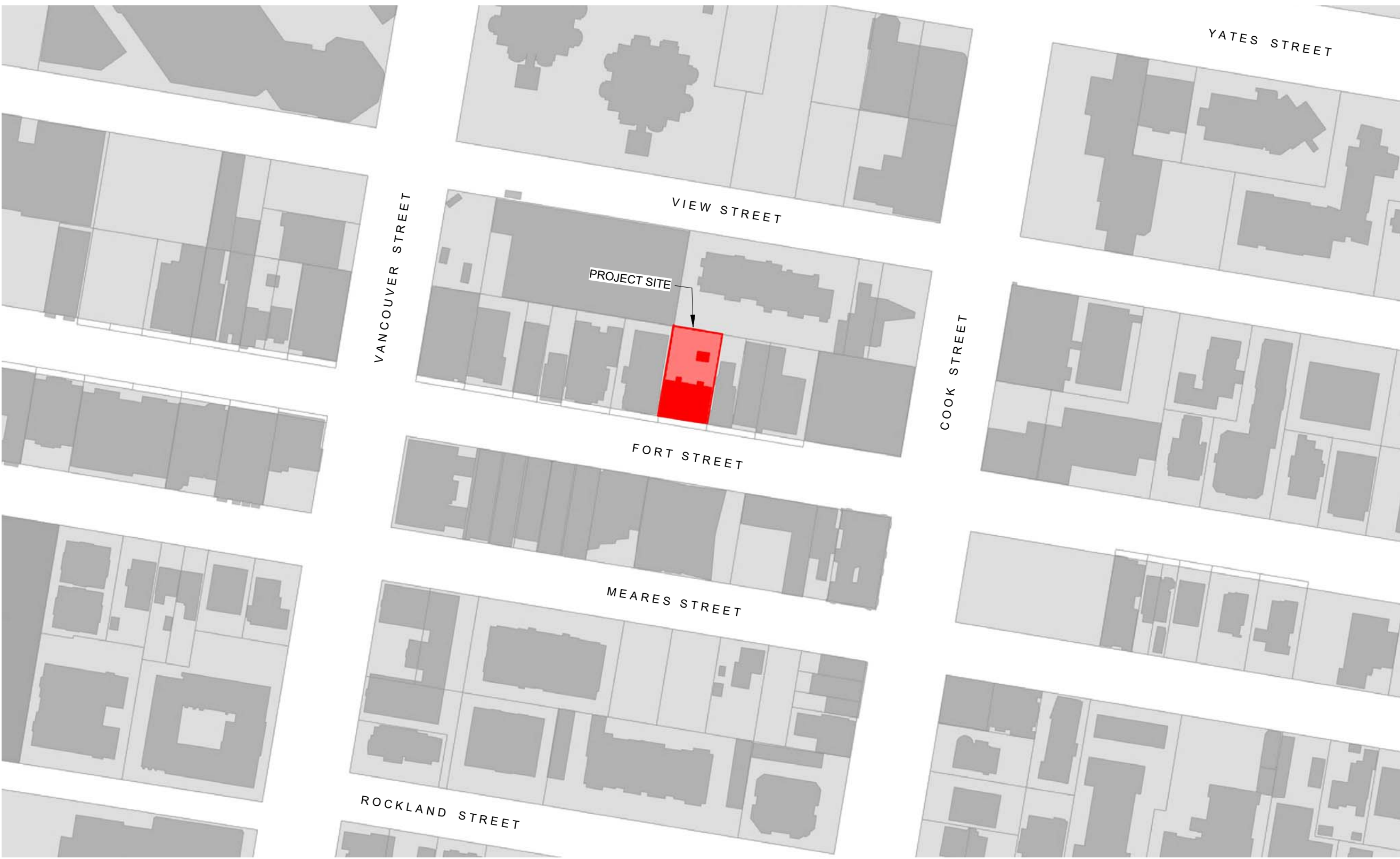
CITY OF VICTORIA

Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date

December 3, 2021



PROJECT LOCATION PLAN (NTS)

CONTACTS

OWNER
1030 Fort Street Holdings Ltd.
Care of Jawl Properties Ltd.
1515 Douglas St Suite 200
Victoria, BC V8W 2G4

ARCHITECT
Cascadia Architects
101 - 804 Broughton Street
Victoria, BC V8W 1E4

LANDSCAPE DESIGNER
Murdoch de Greeff
200 - 524 Cuduthel Road
Victoria, BC V8Z 1G1

CIVIL ENGINEER
WSP
301-3600 Uptown Blvd.
Victoria, BC V8Z 089

Robert Jawl
rkj@jawlproperties.com
250.475.0338

Gregory Damant, Architect AIBC
greg@cascadiaarchitects.ca
250.590.3223

Scott Murdoch, Landscape Architect, R.P. Bio.
scott@mdidesign.ca
250.412.2891

Ben Harms, P. Eng.
Ben.Harms@wsp.com
250.384.5510

LIST OF DRAWINGS

ARCHITECTURAL
A000 Cover
A010 Perspectives
A050 Spatial Separation
A051 Code Analysis
A100 Site Plan and Project Data
A101 Proposed Floor Plans
A102 Roof Plan
A200 Building Elevations S-W
A201 Building Elevations N-E
A300 Building Sections
A500 Context & Shadow Study

LANDSCAPE

L1.01 Landscape Materials

CIVIL

C1 Conceptual Site Servicing Plan
C02 Conceptual Surface Works & Site Grading

JAWL PROPERTIES
1030 FORT STREET
NOV 30, 2021

Project #	Date	Revision
2112	NOV 30, 2021	3
Sheet #	A000	

CASCADIA ARCHITECTS INC
101 - 804 Broughton Street
Victoria V8W 1E4 Canada
250.590.3223
cascadiaarchitects.ca





VIEW FROM FORT STREET WEST



VIEW OF FORT STREET FRONTAGE



VIEW OF NORTH FACING FACADE



VIEW FROM FORT STREET EAST

2.2.3.2, 4.2.4.3

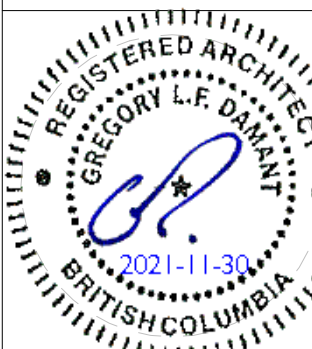
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

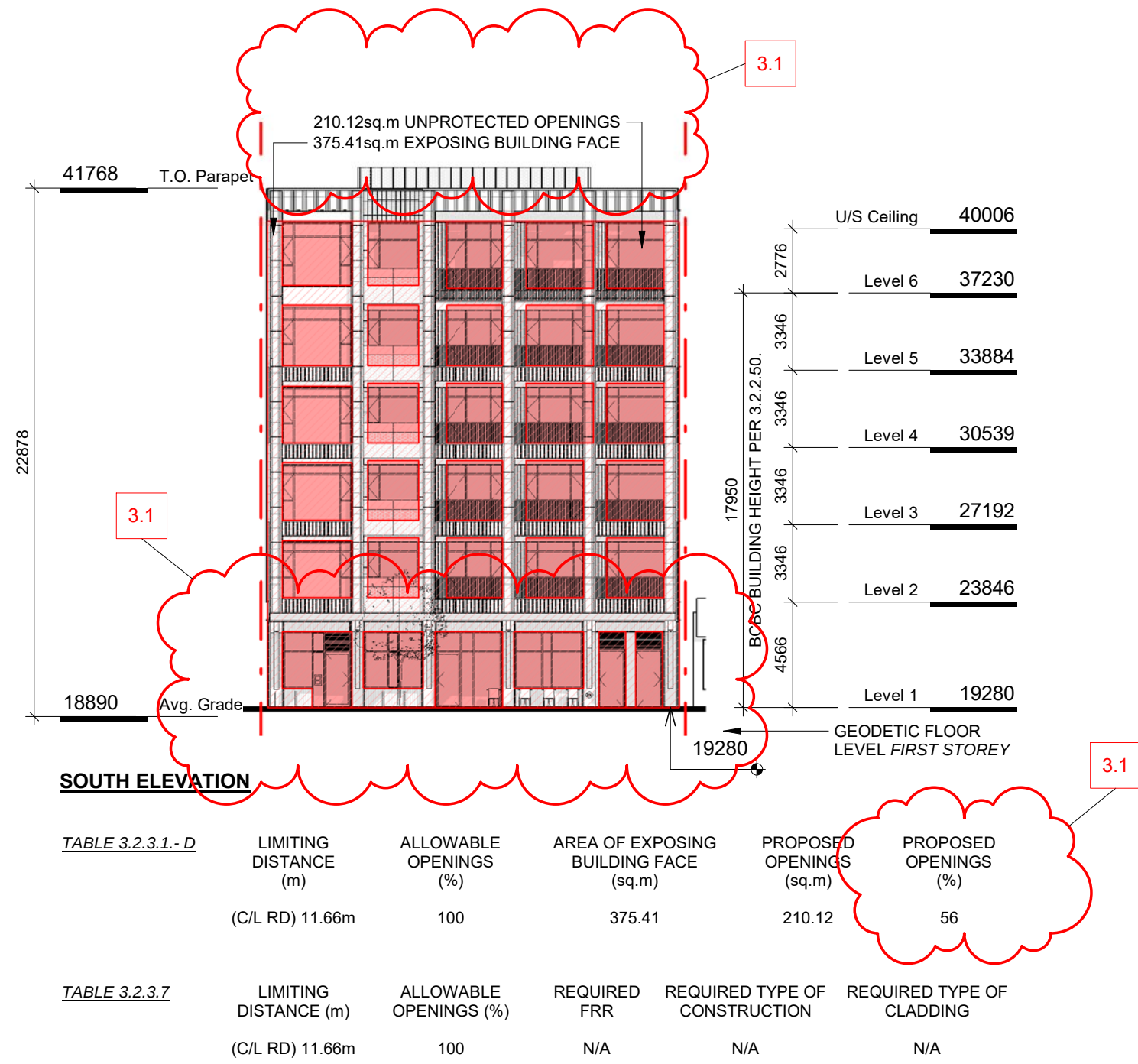


CASCADIA ARCHITECTS INC

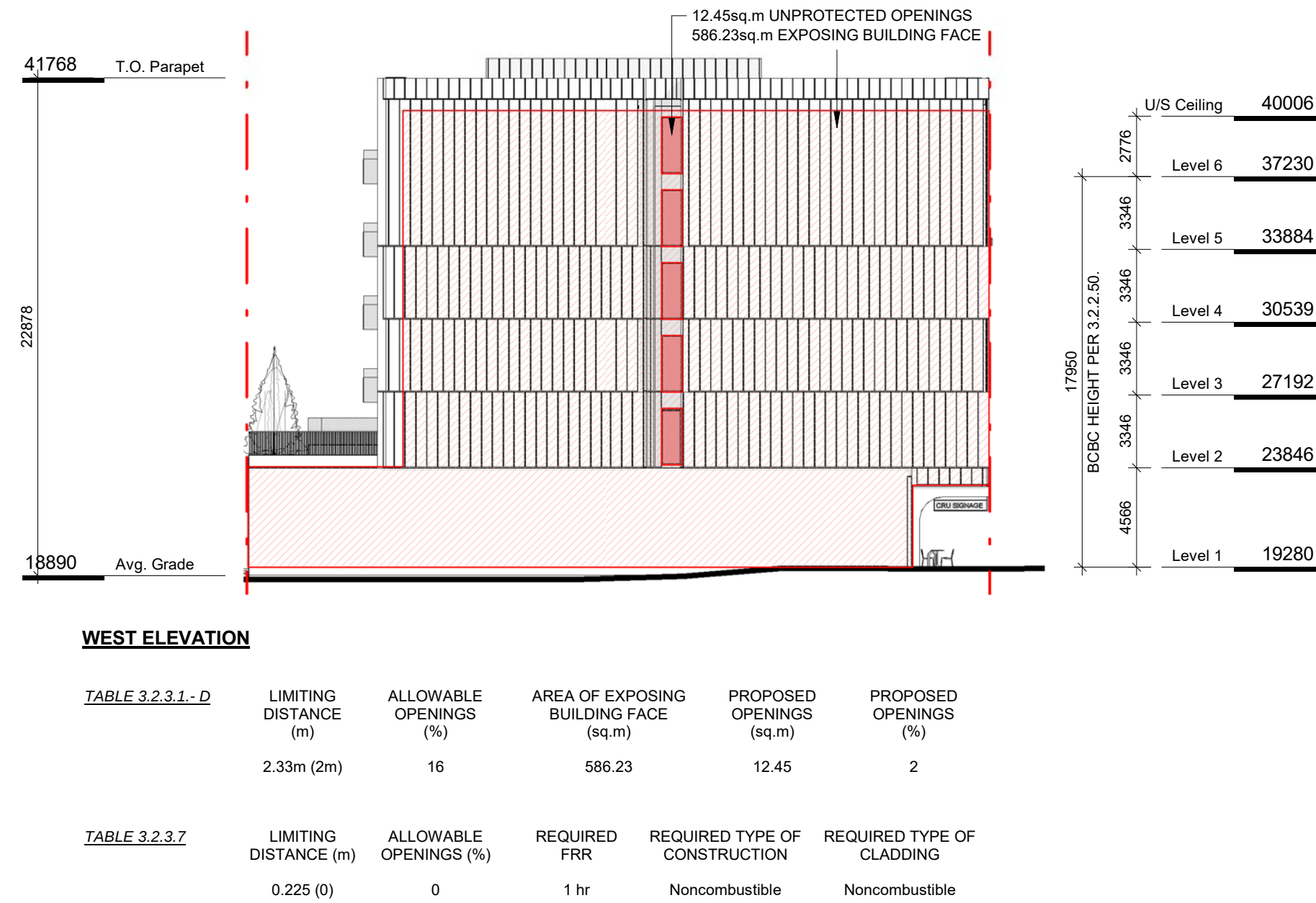
Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project		1030 FORT STREET
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		Perspectives
Date		NOV 30, 2021
Scale	Project #	2112
Revision		3
Sheet #		A010

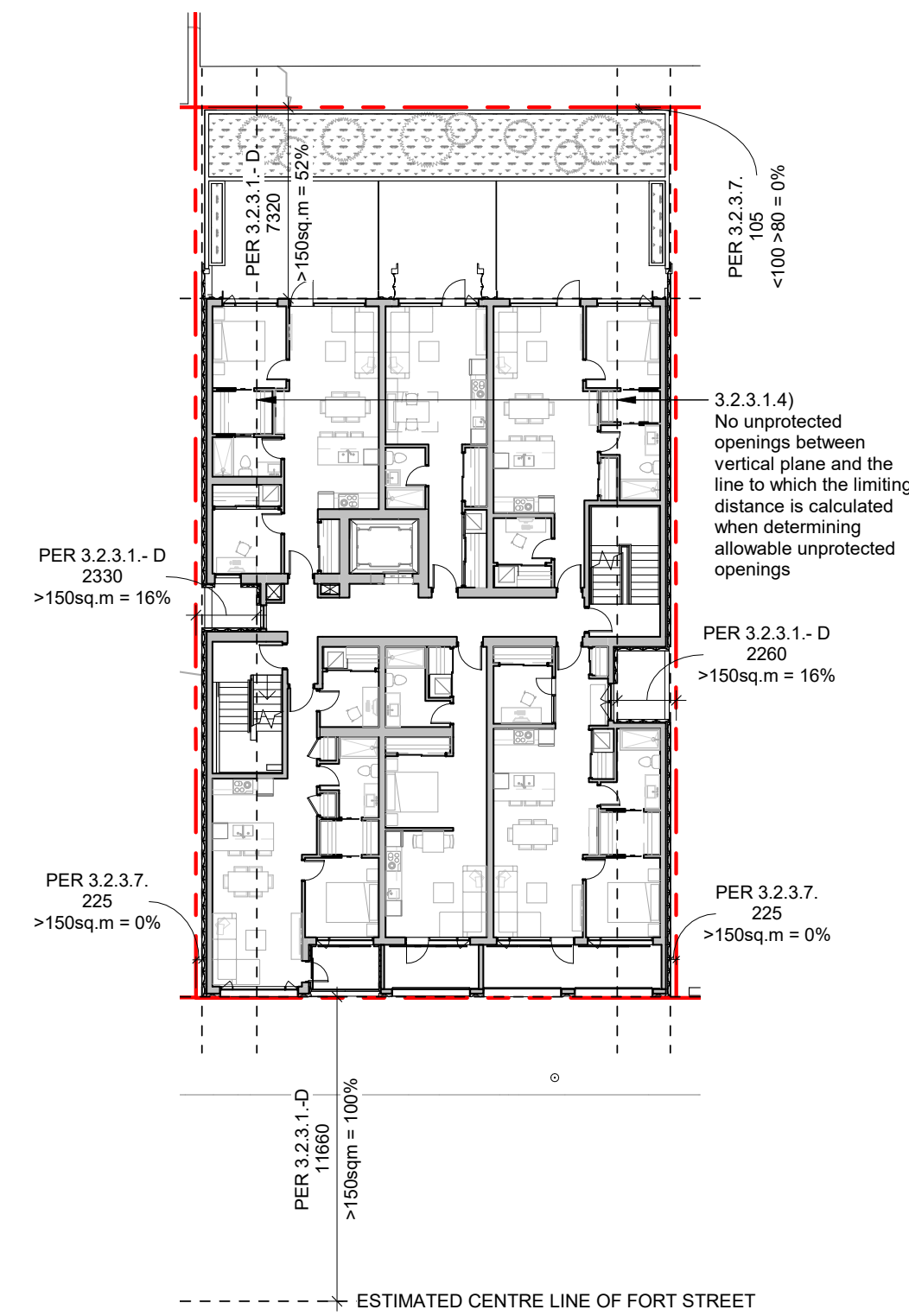




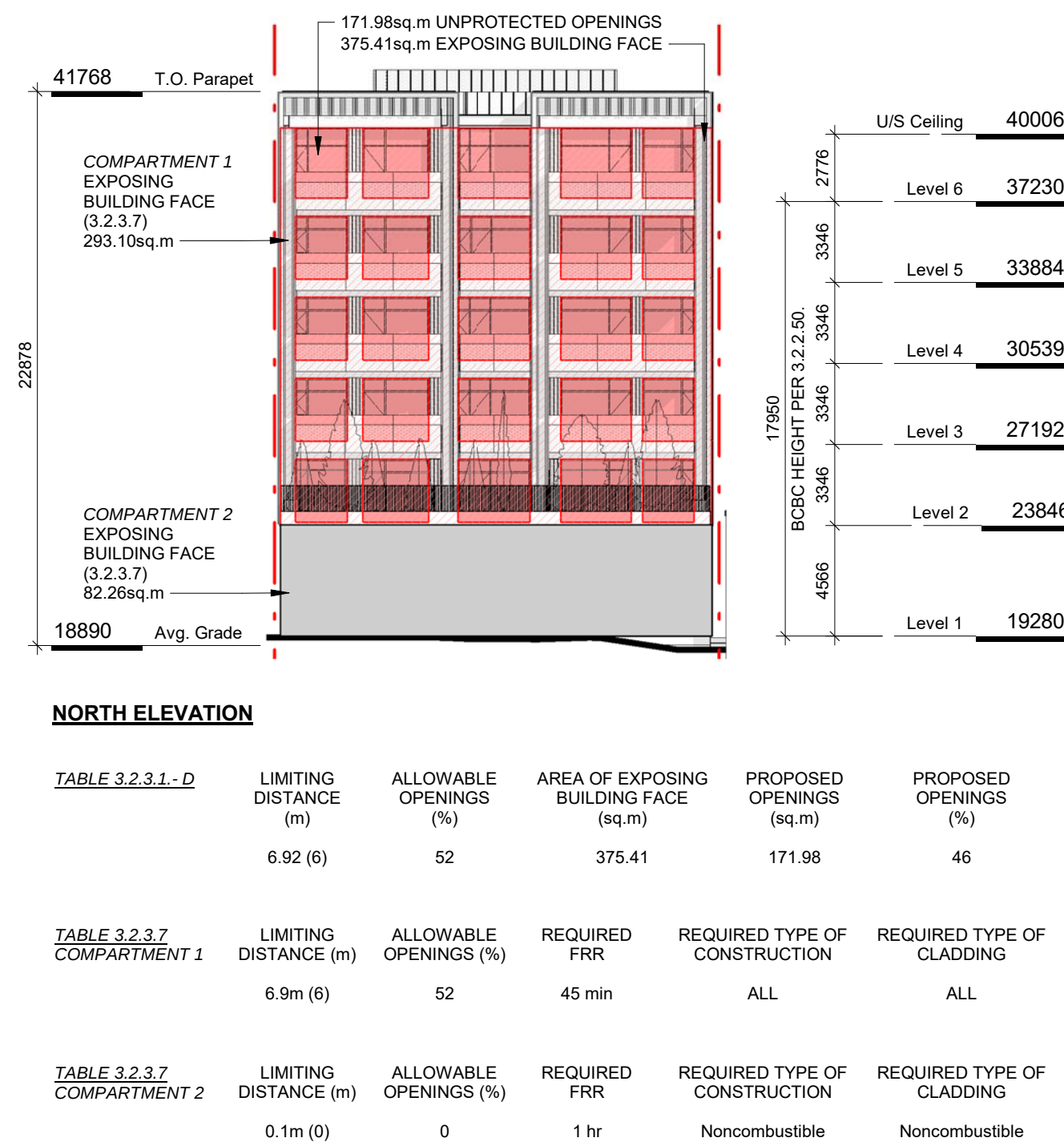
3 South Elevation - LD Key
SCALE = 1 : 250



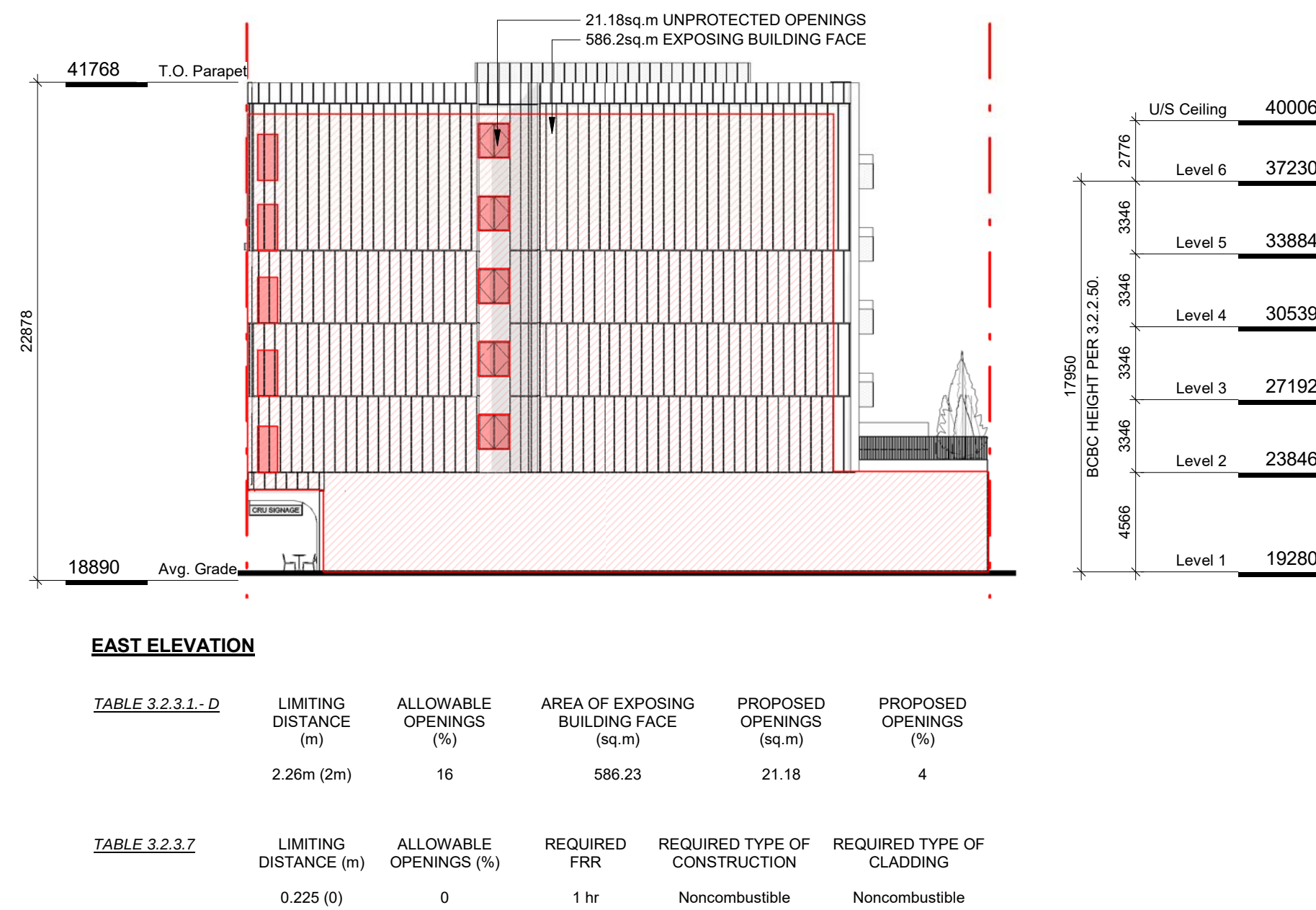
6 West Elevation - LD Key
SCALE = 1 : 250



9 Spatial Separation Keyplan
SCALE = 1 : 250



5 North Elevation - LD Key
SCALE = 1 : 250



4 East Elevation - LD Key
SCALE = 1 : 250

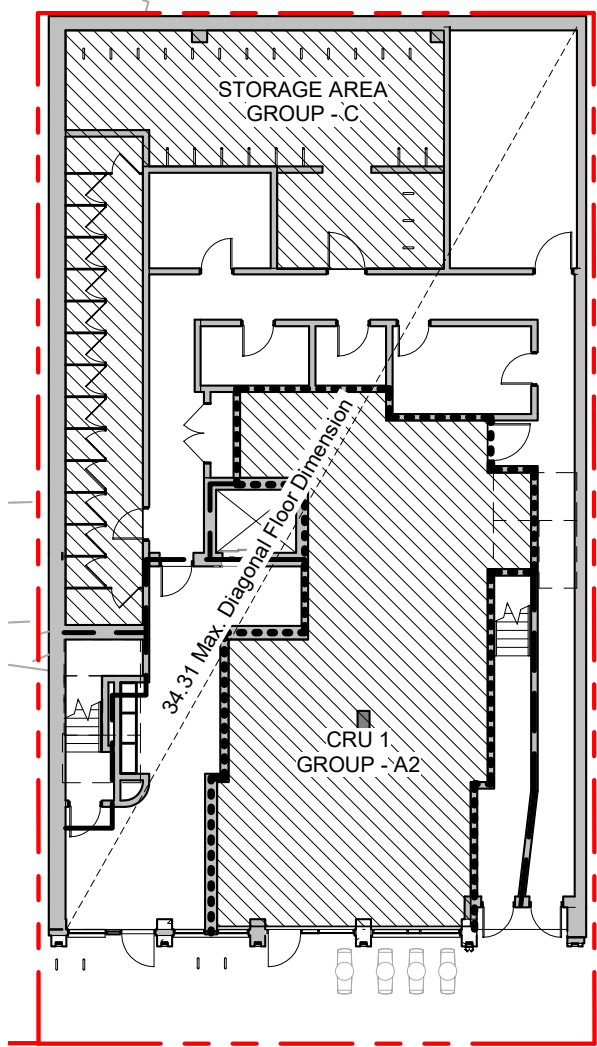
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
NO.	DESCRIPTION	DATE

CASCADIA ARCHITECTS INC

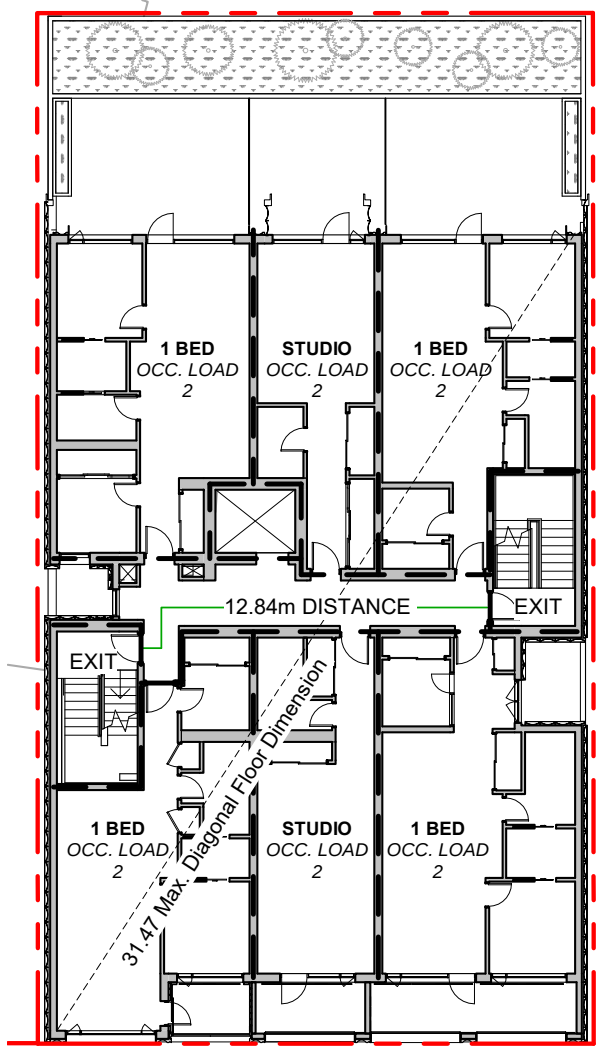
Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project	
1030 FORT STREET	
JAWL PROPERTIES	
1030 Fort Street, Victoria BC	
Sheet Name	
Spatial Separation	
Date	
NOV 30, 2021	
Scale	Project #
1 : 250	2112
Revision	3
NOV 30, 2021	
Sheet #	A050





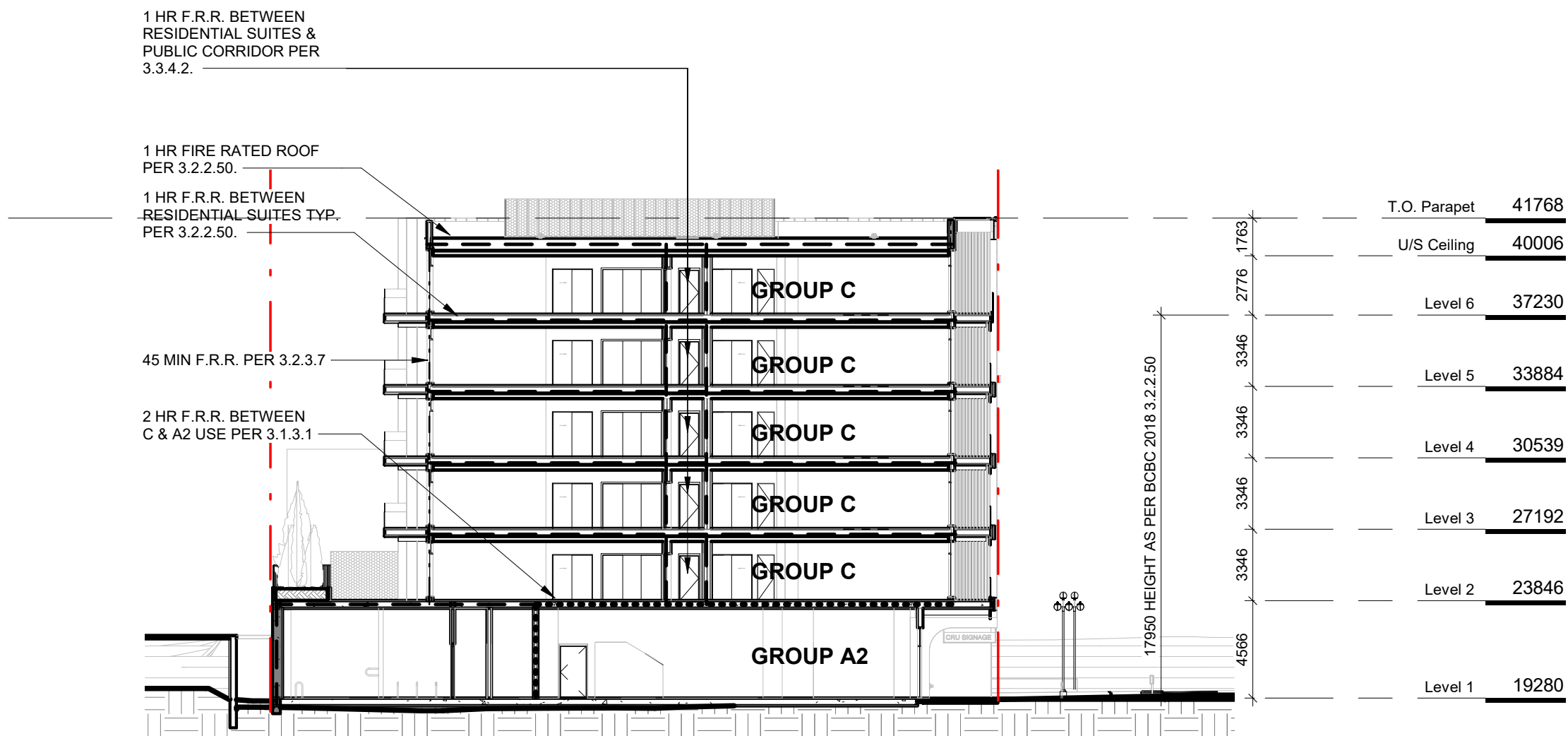
OCCUPANCY: Group A2
FLOOR AREA:
137sq.m
OCCUPANT LOAD (Dining):
1.2sq.m/person = 114 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 114 = 695.4mm
or 1100mm
Stairs
the greater of 8mm x 114 = 912mm
or 1100mm
OCCUPANCY: Group C
FLOOR AREA:
114sq.m
OCCUPANT LOAD (Storage):
46sq.m/person = 3 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 3 = 18.3mm
or 1100mm
Stairs
the greater of 8mm x 3 = 24mm
or 1100mm



OCCUPANCY: Group C
OCCUPANT LOAD:
6 Bedrooms x 2 persons/bedroom
= 12 persons
MINIMUM EXIT WIDTH:
Ramps, Corridors, Passageways
the greater of 6.1mm x 24 = 146.4mm
or 1100mm
Stairs
the greater of 8mm x 24 = 192.0mm
or 1100mm

1 Level 1 Code Plan
SCALE = 1 : 250

2 Level 2-6 Typ. Code Plan
SCALE = 1 : 250



3 F.R.R. Separations - Key Section
SCALE = 1 : 250

BUILDING CODE ANALYSIS

PROJECT TYPE	☒ NEW CONSTRUCTION	☐ RENOVATION	☐ ADDITION
GOVERNING BUILDING CODE	2018 BC BUILDING CODE	☒ PART 3	☐ PART 9
MAJOR OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☐ ☐ ☐ ☐ ☐ ☐ ☒ ☐ ☐ ☐ ☐	3.1.2.1
SUPERIMPOSED OCCUPANCY	A1 A2 A3 A4 B1 B2 B3 C D E F1 F2 F3	☐ ☒ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐ ☐	3.2.2.7
BUILDING AREA	576	m²	1.4.1.2
GRADE	18.75	m geodetic	1.4.1.2
BUILDING HEIGHT (STOREYS, m)	6	STOREYS ABOVE GRADE	<18 m, LEVEL 1 TO LEVEL 6
	0	STOREYS BELOW GRADE	1.4.1.2, 3.2.2.50

FIRE RESISTANCE RATING - KEY	
-----	UNRATED FIRE SEPERATIONS
- - - - -	45 MIN
-----	1 HOUR
-----	1.5 HOUR
-----	2 HOUR

BUILDING FIRE SAFETY & CONSTRUCTION CLASSIFICATION

CLASSIFICATION	GROUP C, UP TO 6 STOREYS, SPRINKLERED	3.2.2.50
No. OF STREETS FACING	1	3.2.2.10
CONSTRUCTION TYPES PERMITTED	☒ COMBUSTIBLE ☐ NON-COMBUSTIBLE	3.2.2.50
FIRE ALARM SYSTEM	YES NO	3.2.4.1
STANDPIPE SYSTEM	YES NO	3.2.5.8
HIGH BUILDING	YES NO	3.2.6.1
INTERCONNECTED FLOOR SPACE	YES NO	3.2.8

FIRE RESISTANCE RATINGS

HORIZONTAL SEPARATIONS	1 hr FLOORS 1 hr MEZZANINE 1 hr ROOF	3.2.2.50
LOADBEARING WALLS, COLUMNS & ARCHES	1 hr (NOT LESS THAN THAT REQUIRED FOR SUPPORTED STRUCTURE)	3.2.2.50
EXITS	1 hr	3.4.4.1
MAJOR OCCUPANCY SEPARATION	2 hr C to A2	3.1.3.1

EXITS FROM FLOOR AREAS

NUMBER OF EXITS REQUIRED	2	3.4.2.1
SEPARATION OF EXITS (MIN.)	1/2 MAX. DIAGONAL FLOOR AREA, BUT NEED NOT BE > 9 m	3.4.2.3
MAX. TRAVEL DISTANCE ALLOWED	45 m, GROUP C 45 m, GROUP A2	3.4.2.5
MEZZANINE	YES NO	3.2.8

OCCUPIED FLOOR AREAS & OCCUPANT LOAD

LEVEL 1	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	0 bds	C (Residential)	1.4.1.2, 3.1.17.1
LEVEL 2 - 6	0	sq.m, A2 (Dining)	0	sq.m, C (Storage)	6 bds	C (Residential)	1.4.1.2, 3.1.17.1
TOTAL	137	sq.m, A2 (Dining)	114	sq.m, C (Storage)	30 bds	C (Residential)	1.4.1.2, 3.1.17.1
OCCUPANT LOAD	114	1.2sq.m./person	3	46sq.m./person	60	2 persons*bdrm	3.1.17.1

WATER CLOSETS

	OCCUPANT LOAD	REQUIRED	PROVIDED
LEVEL 1(A2)	114 PERSONS	2 M 3 F	T.B.D. AT T.I.

ACCESSIBILITY

UNIVERSAL WASHROOM	REQUIRED AT LEVEL 1	3.8.2.8.3
--------------------	---------------------	-----------

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
NO.	DESCRIPTION	DATE



CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project	1030 FORT STREET
	JAWL PROPERTIES 1030 Fort Street, Victoria BC
Sheet Name	Code Analysis
Date	NOV 30, 2021
Scale	As indicated
Project #	2112
Revision	NOV 30, 2021 3
Sheet #	A051



1 Proposed Site Plan

SCALE = 1 : 100

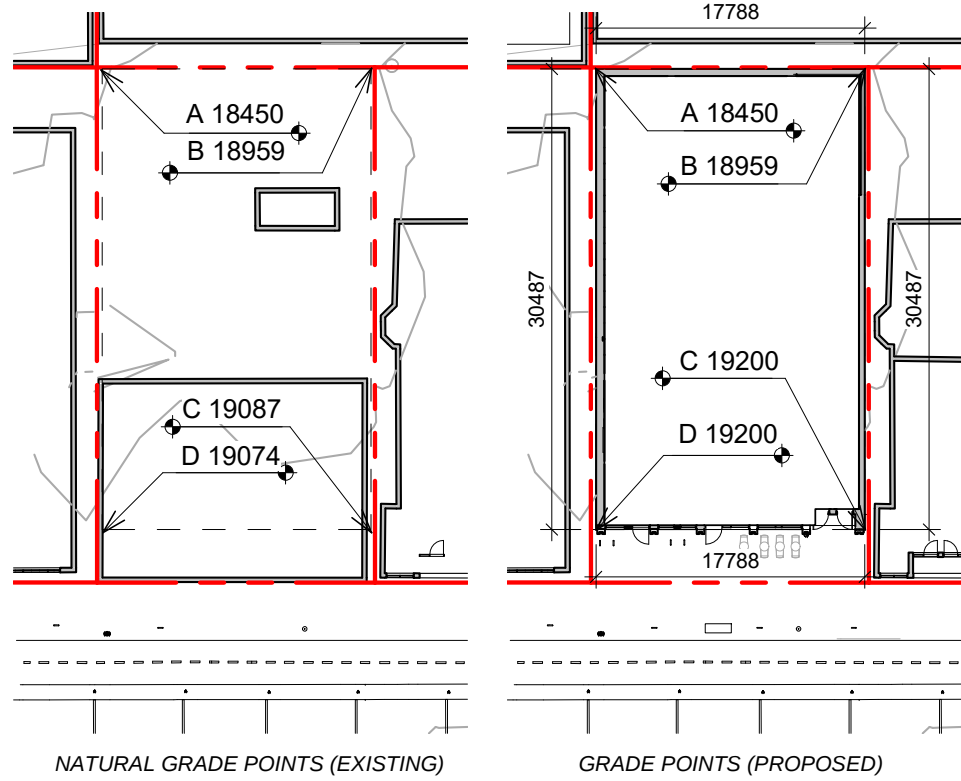
MUNICIPALITY	CITY OF VICTORIA
MUNICIPAL ADDRESS	1030 FORT STREET, VICTORIA BC
LEGAL DESCRIPTION	LOT 1010, VICTORIA CITY, EXCEPT THE SOUTHERLY 8 FEET THEREOF
PROJECT DESCRIPTION	6 STOREY BUILDING 5 STOREYS RESIDENTIAL OVER 1 STOREY COMMERCIAL

ZONE (EXISTING)		CA-42
PROPOSED ZONE		UNKNOWN
SITE AREA (m ²)		628.5m ²
TOTAL FLOOR AREA (m ²)		2,460m ²
COMMERCIAL FLOOR AREA (m ²)		137m ²
FLOOR SPACE RATIO		4 : 1
SITE COVERAGE (%)		97.5%
OPEN SITE SPACE (%)		14%
ROOF STRUCTURE (%)		26%
HEIGHT (m)		22.28m
NUMBER OF STOREYS		6
	REQUIRED	PROVIDED
PARKING STALLS (#) ON SITE	24	0
BICYCLE PARKING (#) SHORT TERM	8	8
BICYCLE PARKING (#) LONG TERM	36	48

FRONT YARD	0.04m
REAR YARD (LEVEL 1)	0.10m
REAR YARD (TO BUILDING FACE LEVEL 2-6)	7.35m
SIDE YARD (W)	0.23m
SIDE YARD (E)	0.23m
COMBINED SIDE YARDS	0.46m

TOTAL NUMBER OF UNITS	30
UNIT TYPE	1 BD+ DEN (20), STUDIO (10)
GROUND-ORIENTATED UNITS	0
MINIMUM UNIT FLOOR AREA (m ²)	36.7m ²
TOTAL RESIDENTIAL FLOOR AREA (m ²)	1,651m ²

ZONING REGULATION BYLAW FLOOR AREAS		ZONING BYLAW 2018 FLOOR AREAS	
Level 1	444.74 m ²	Level 1	450.87 m ²
Level 2	403.03 m ²	Level 2	408.60 m ²
Level 3	403.08 m ²	Level 3	408.60 m ²
Level 4	403.08 m ²	Level 4	408.60 m ²
Level 5	403.08 m ²	Level 5	408.60 m ²
Level 6	403.08 m ²	Level 6	408.60 m ²
Grand total: 6	2460.08 m ²	Grand total: 6	2493.84 m ²
FLOOR SPACE RATIO		FLOOR SPACE RATIO	
2460m ² / 628.5m ²	= 3.9:1	2515m ² / 628.5m ²	4:1
	rounded - 4:1		
SITE COVERAGE		ROOFTOP STRUCTURE	
608.5m ² / 628.5m ²	= 0.97 (97%)	% COVERAGE	
		129.6m ² / 491.0m ²	= 0.264 (26%)
OPEN SITE SPACE			
85.6m ² / 628.5m ²	= 0.14 (14%)		
AVERAGE GRADE		GRADE POINTS:	
(PROPOSED)		(NATURAL)	
A:	18.450	A:	18.450
B:	18.960	B:	18.960
C:	19.200	C:	19.090
D:	19.200	D:	19.070
GRADE POINTS:			
A-B:	((18.450 + 18.960)/2)	x	17.8 = 332.95
B-C:	((18.960 + 19.090)/2)	x	30.5 = 580.26
C-D:	((19.090 + 19.070)/2)	x	17.8 = 339.62
D-A:	((19.070 + 18.450)/2)	x	30.5 = 572.18
		96.6	1,825.01
AVERAGE GRADE = 18.25/0.96,6 = 18.89			



3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project _____

1030 FORT STREET

JAWL PROPERTIES

1030 Fort Street, Victoria BC

Sheet Name

1030 FORT STREET

JAWL PROPERTIES

1030 Fort Street, Victoria BC

Sheet Name

Site Plan and Project Data

NOV 30, 2021

Scale

2112

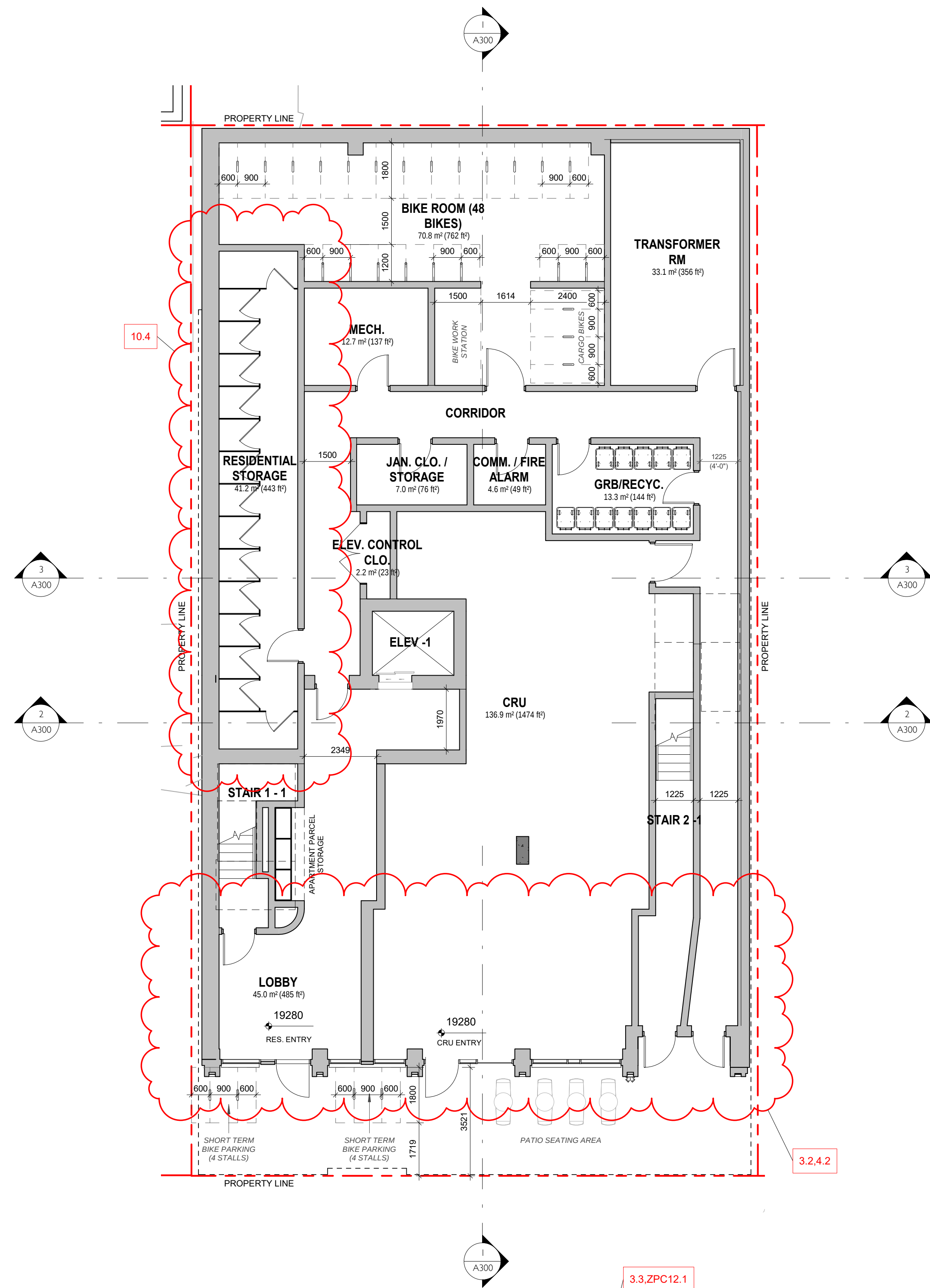
Revision	△
----------	---

3

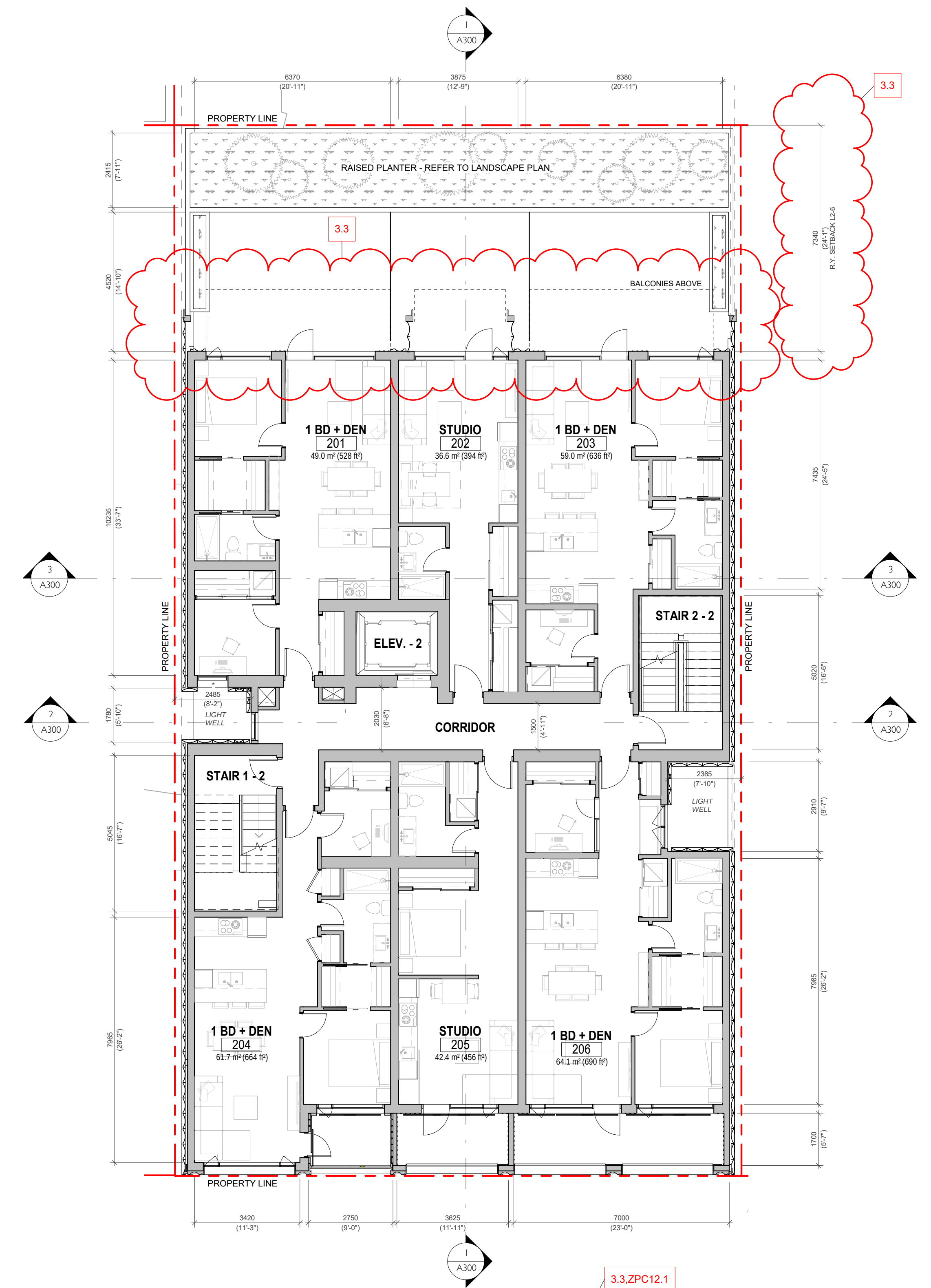
Sheet #

A100

11/30/2021 10:48:09 AM



1 Level 1 Proposed Plan
SCALE = 1 : 100



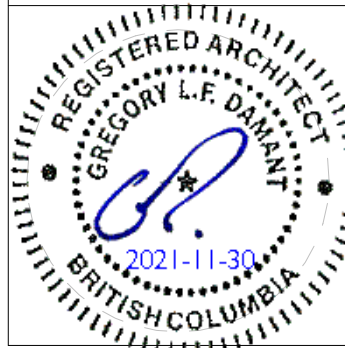
2 Levels 2-6 Typical Proposed Plan
SCALE = 1 : 100

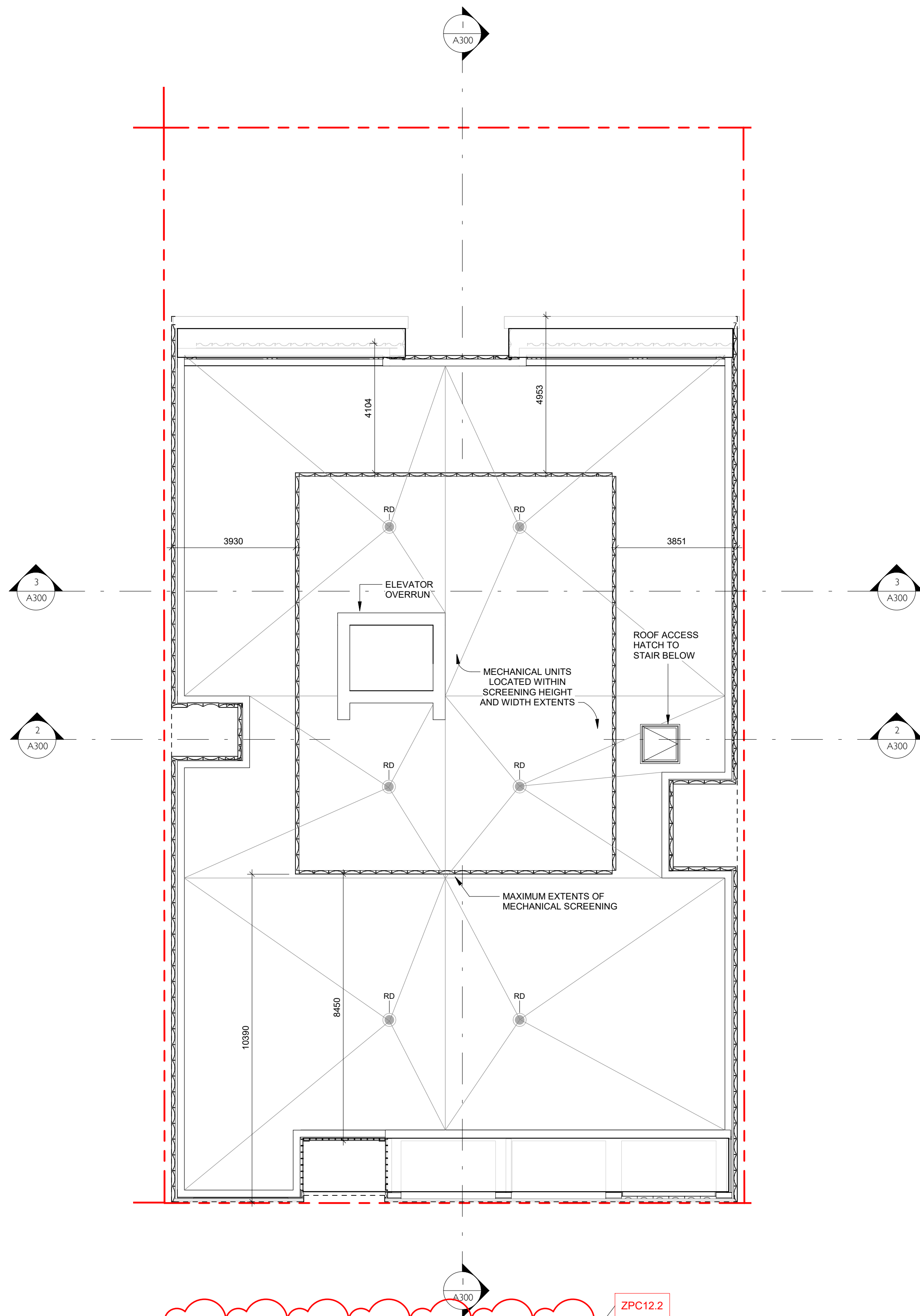
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project		1030 FORT STREET	
		JAWL PROPERTIES 1030 Fort Street, Victoria BC	
Sheet Name		Proposed Floor Plans	
Date		NOV 30, 2021	
Scale	1 : 100	Project #	2112
Revision		NOV 30, 2021 3	
Sheet #		A101	

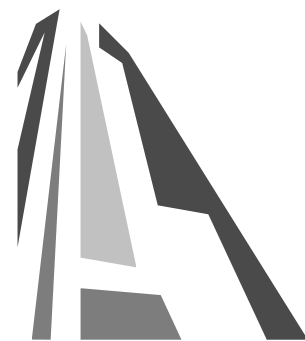




ZONING BYLAW 2018 - ROOF AREA: 491sq.m
ZONING BYLAW 2018 - ROOFTOP STRUCTURE EXTENTS: 130sq.m

ZPC12.2

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
NO.	DESCRIPTION	DATE



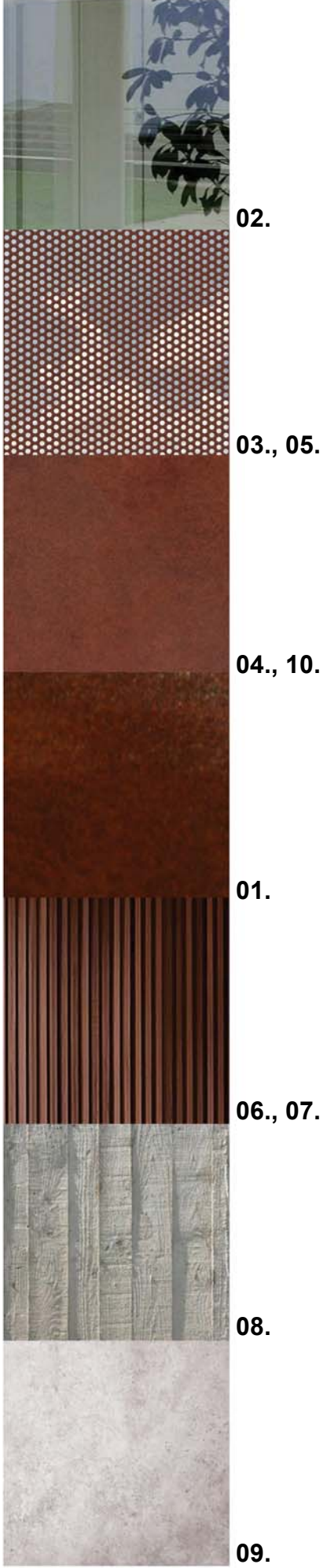
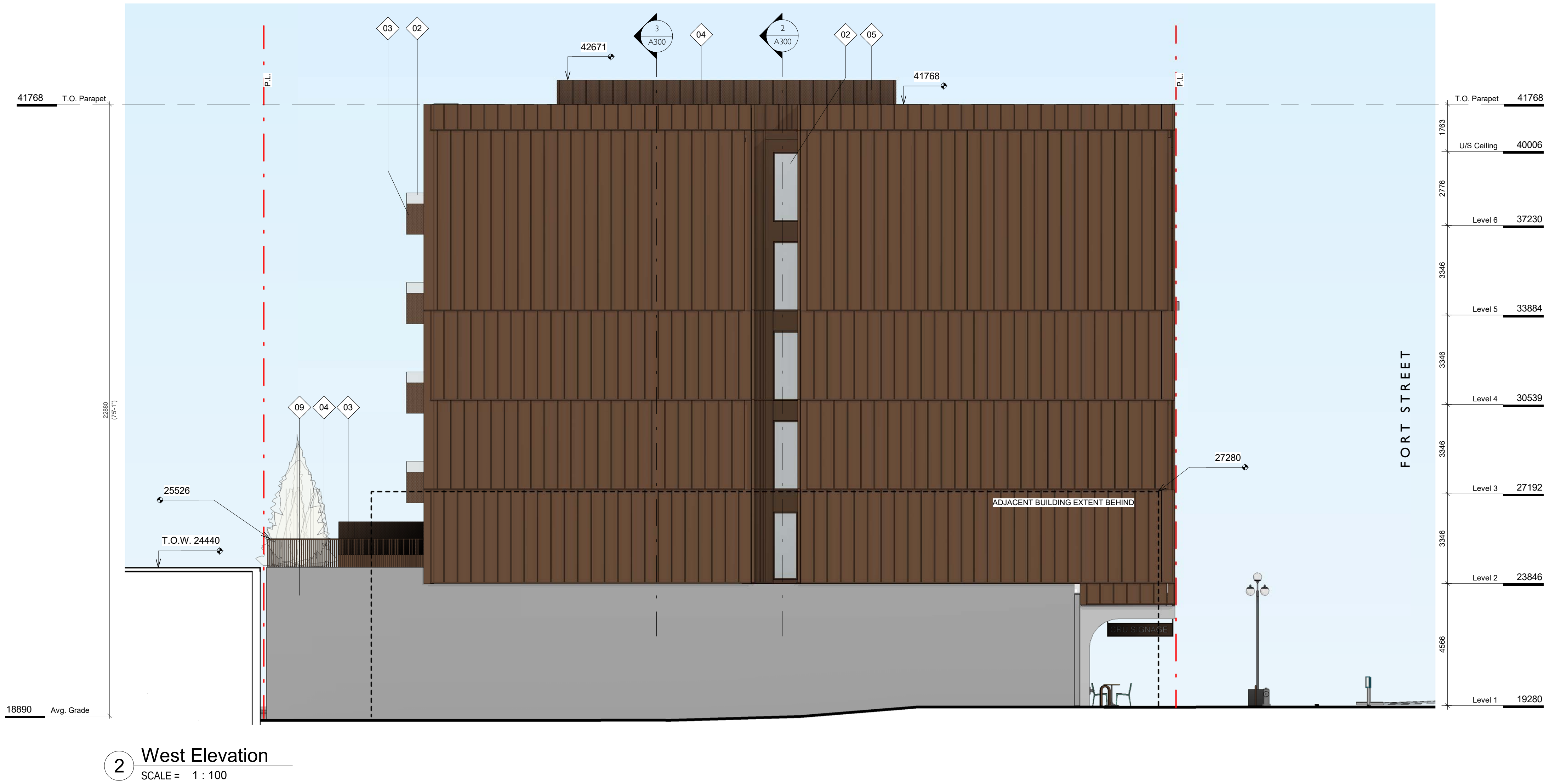
CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project	
1030 FORT STREET	
JAWL PROPERTIES 1030 Fort Street, Victoria BC	
Sheet Name	
Roof Plan	
Date	
NOV 30, 2021	
Scale	Project #
1 : 100	2112
Revision	3
NOV 30, 2021	
Sheet #	A102

DRAFT





FINISH MATERIALS

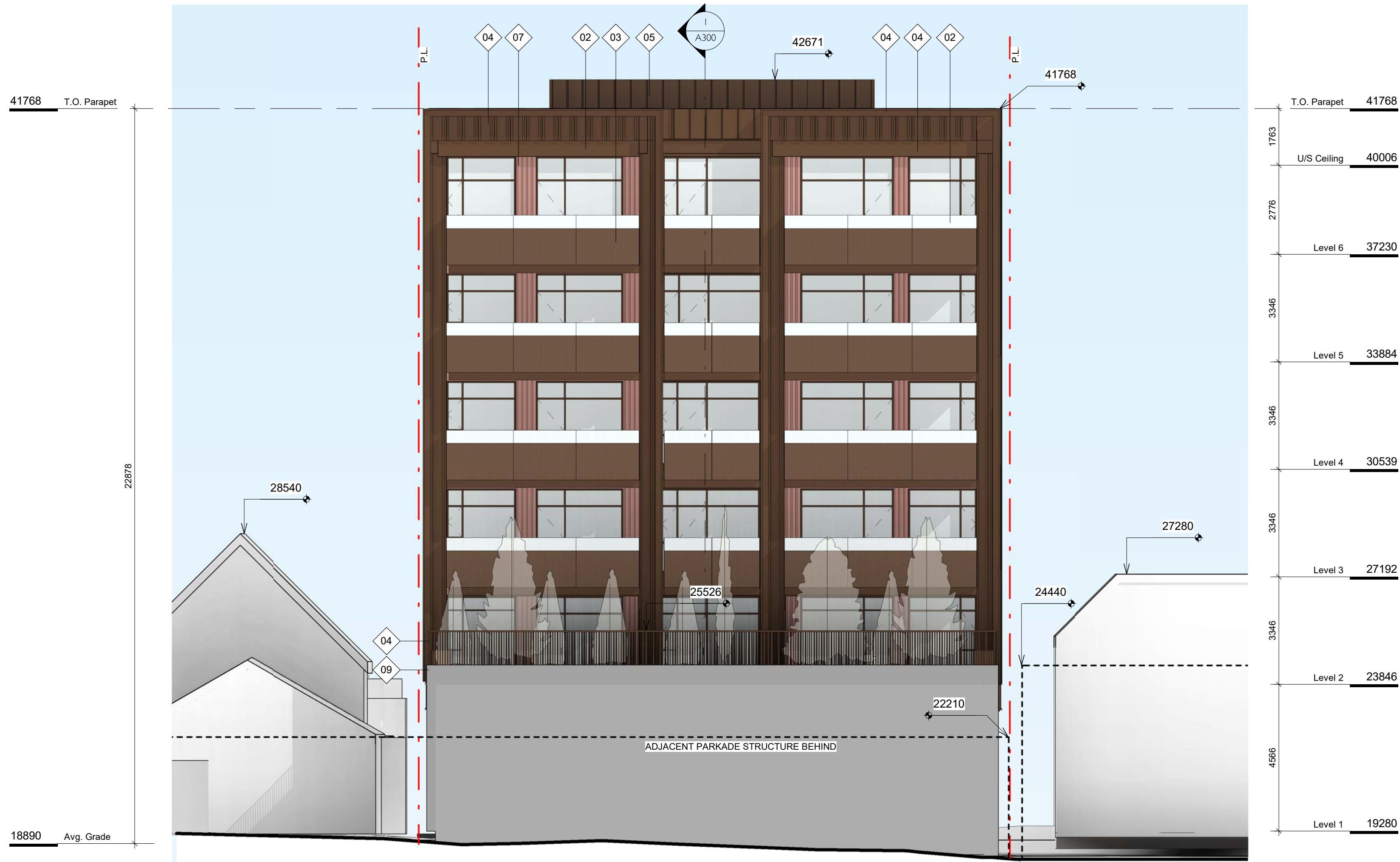
- 01. TERRA COTTA
- 02. TRANSPARENT GLAZING
- 03. FRITTED GLASS
- 04. PRE-FINISHED METAL
- 05. PRE-FINISHED PERFORATED METAL
- 06. WOOD GRAIN TEXTURED FINISH
- 07. CEMENTITIOUS PANEL
- 08. ARCHITECTURAL CONCRETE
- 09. CONCRETE
- 10. MECHANICAL LOUVRE

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Building Elevations S-W		
Date		
NOV 30, 2021		
Scale	Project #	
As indicated	2112	
Revision	NOV 30, 2021	3
Sheet #	A200	

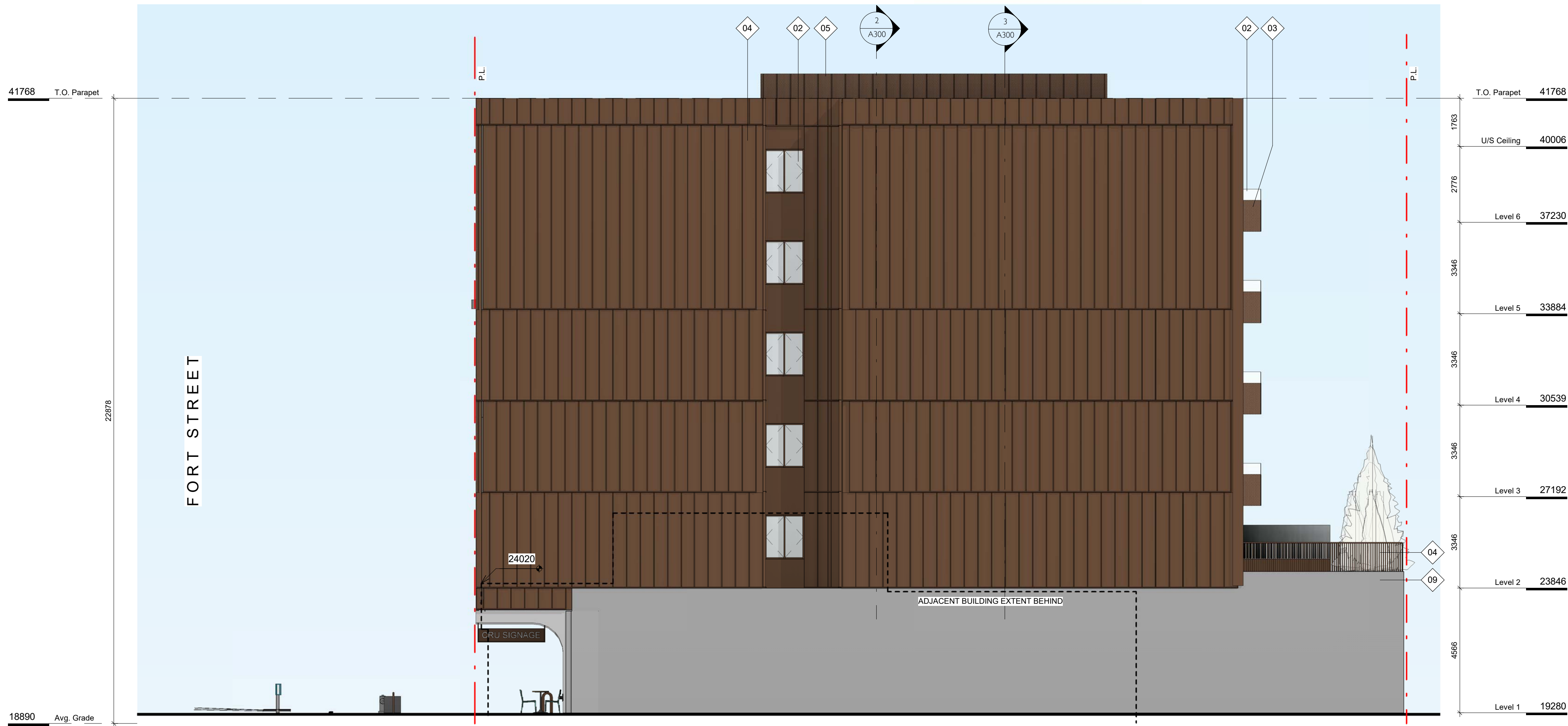


1 North Elevation
SCALE = 1 : 100



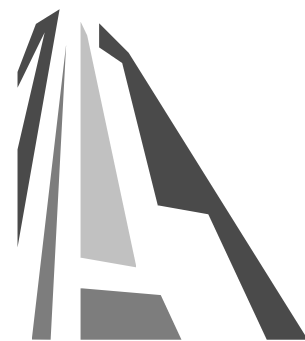
FINISH MATERIALS

- 01. TERRA COTTA
- 02. TRANSPARENT GLAZING
- 03. FRITTED GLASS
- 04. PRE-FINISHED METAL
- 05. PRE-FINISHED PERFORATED METAL
- 06. WOOD GRAIN TEXTURED FINISH
- 07. CEMENTITIOUS PANEL
- 08. ARCHITECTURAL CONCRETE
- 09. CONCRETE
- 10. MECHANICAL LOUVRE



2 East Elevation
SCALE = 1 : 100

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

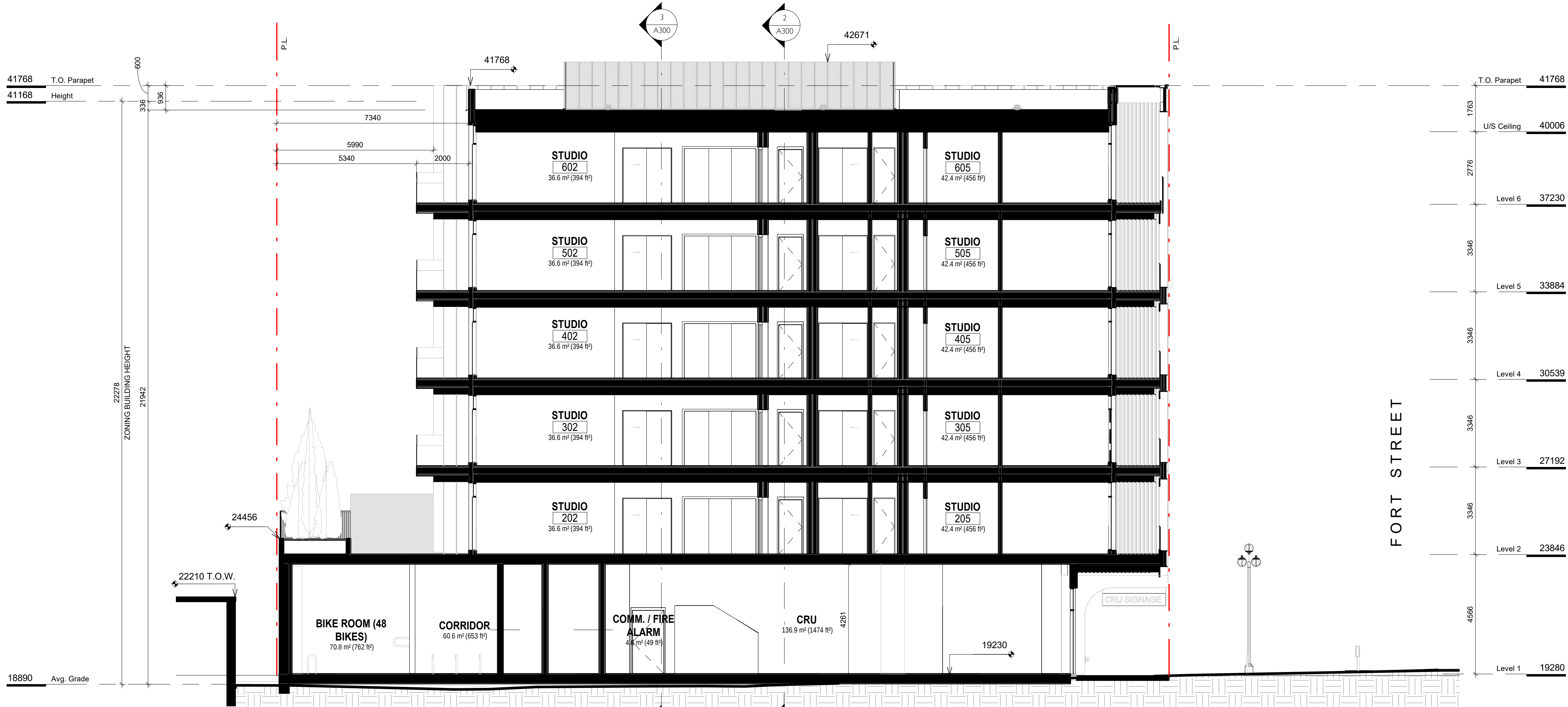


CASCADIA ARCHITECTS INC

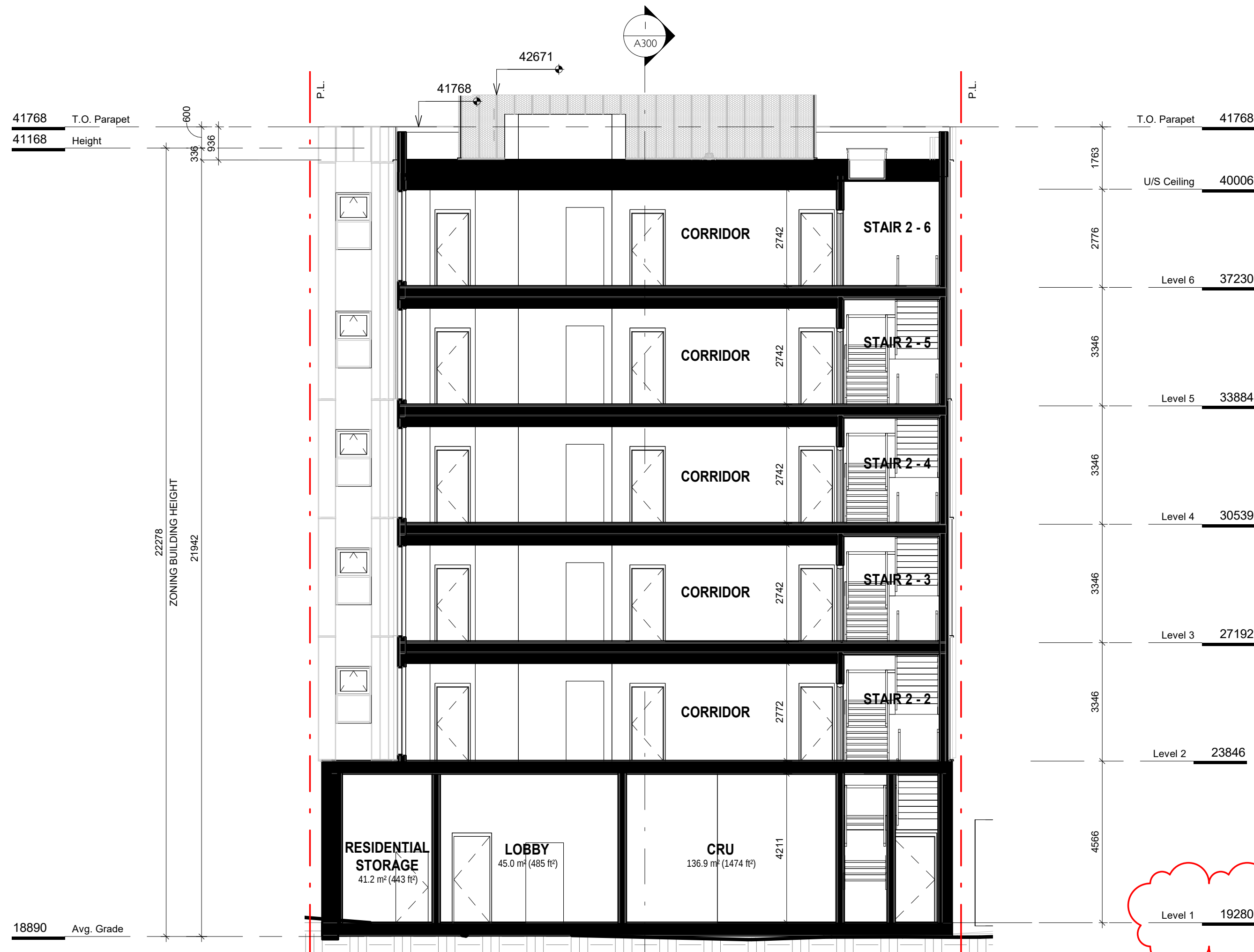
Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Building Elevations N-E		
Date		
NOV 30, 2021		
Scale	Project #	
As indicated	2112	
Revision	NOV 30, 2021	3
Sheet #	A201	

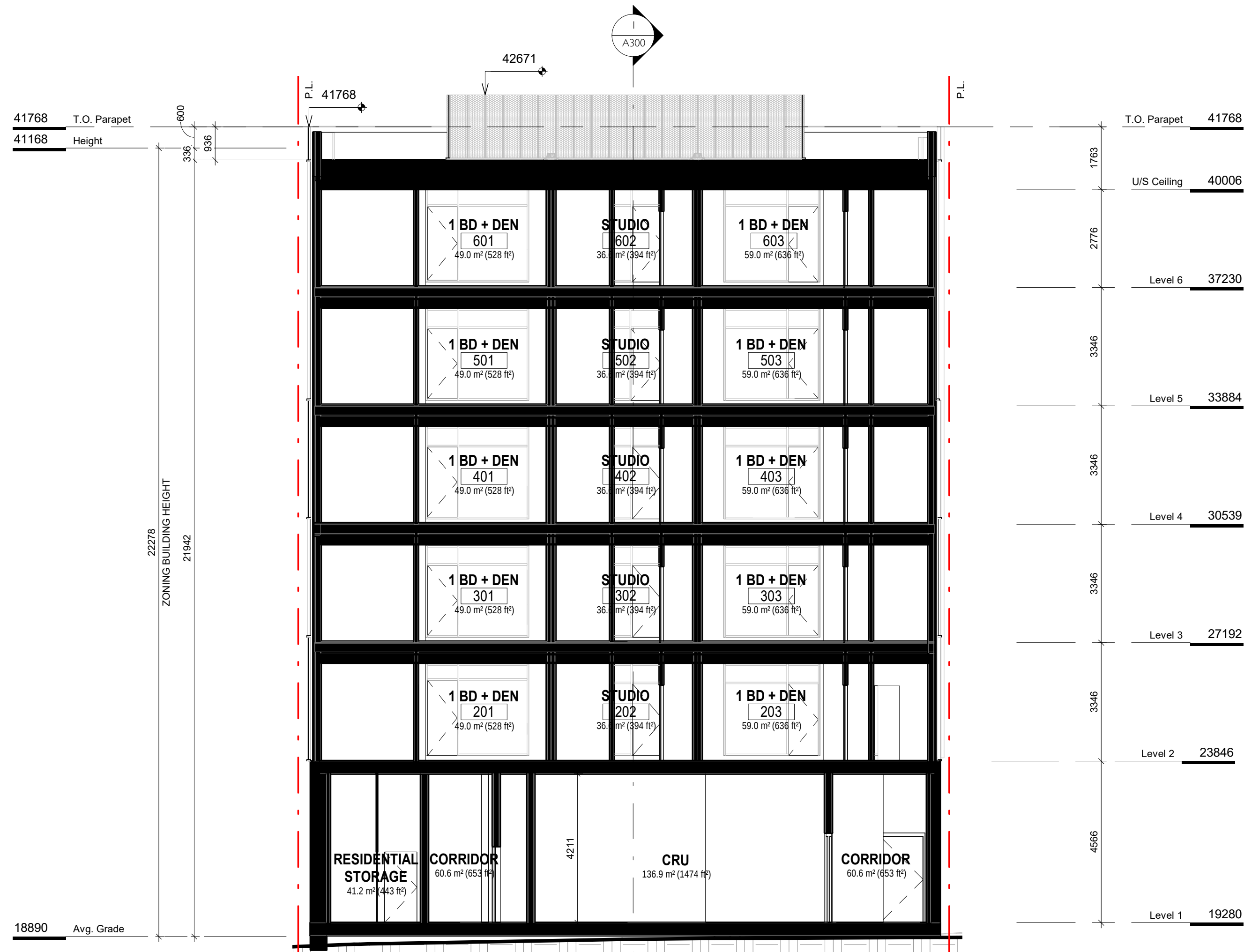




1 Building Section 1
SCALE = 1 : 100



2 Building Section 2
SCALE = 1 : 100



3 Building Section 3
SCALE = 1 : 100

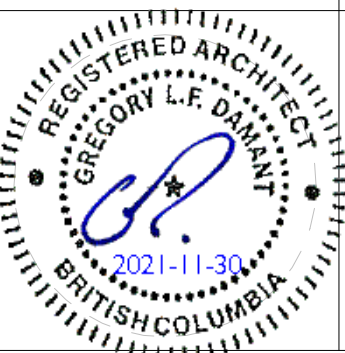
3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE

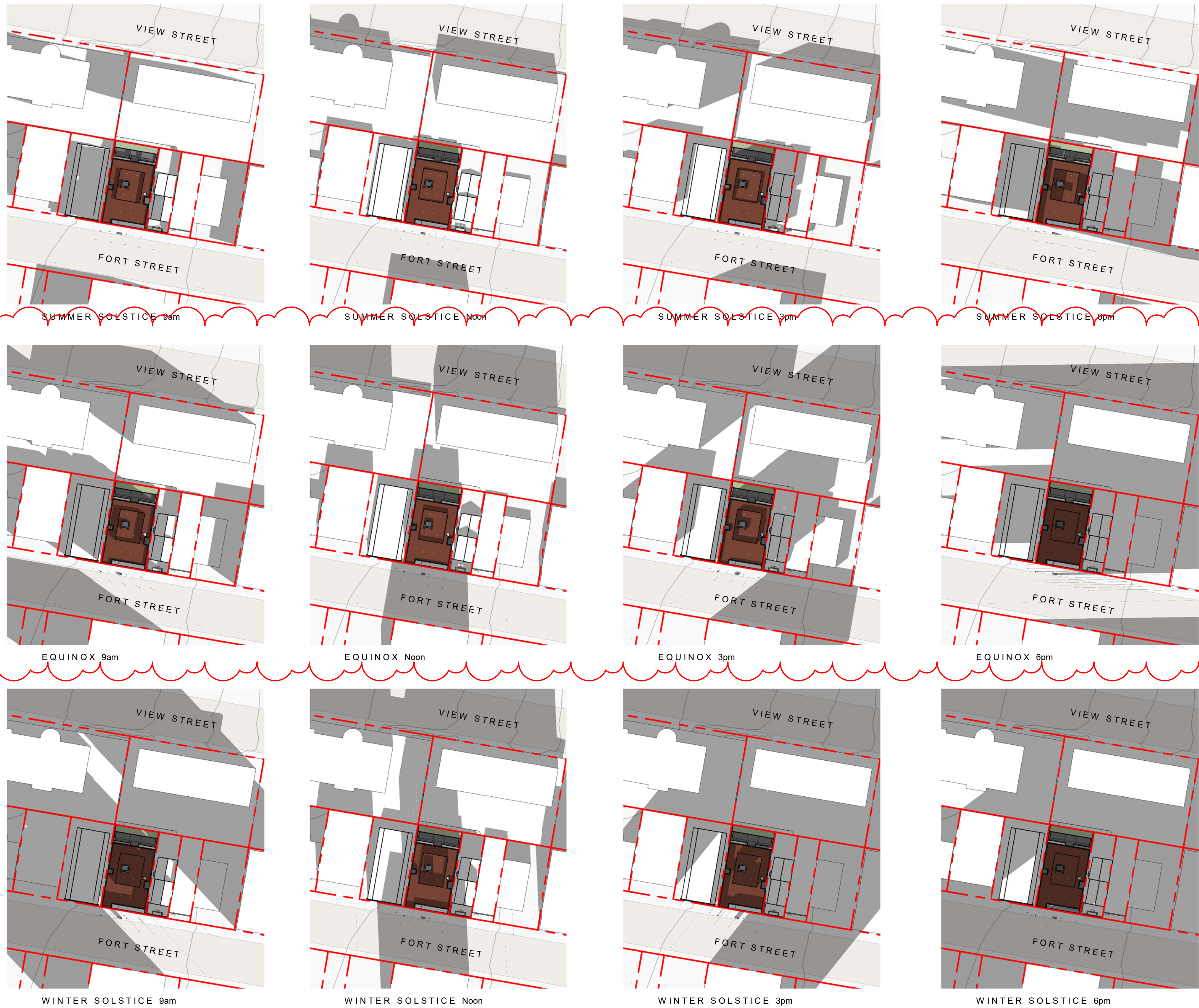


CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project		
1030 FORT STREET		
JAWL PROPERTIES		
1030 Fort Street, Victoria BC		
Sheet Name		
Building Sections		
Date		
NOV 30, 2021		
Scale	Project #	
1 : 100	2112	
Revision		
NOV 30, 2021		3
Sheet #		
		A300

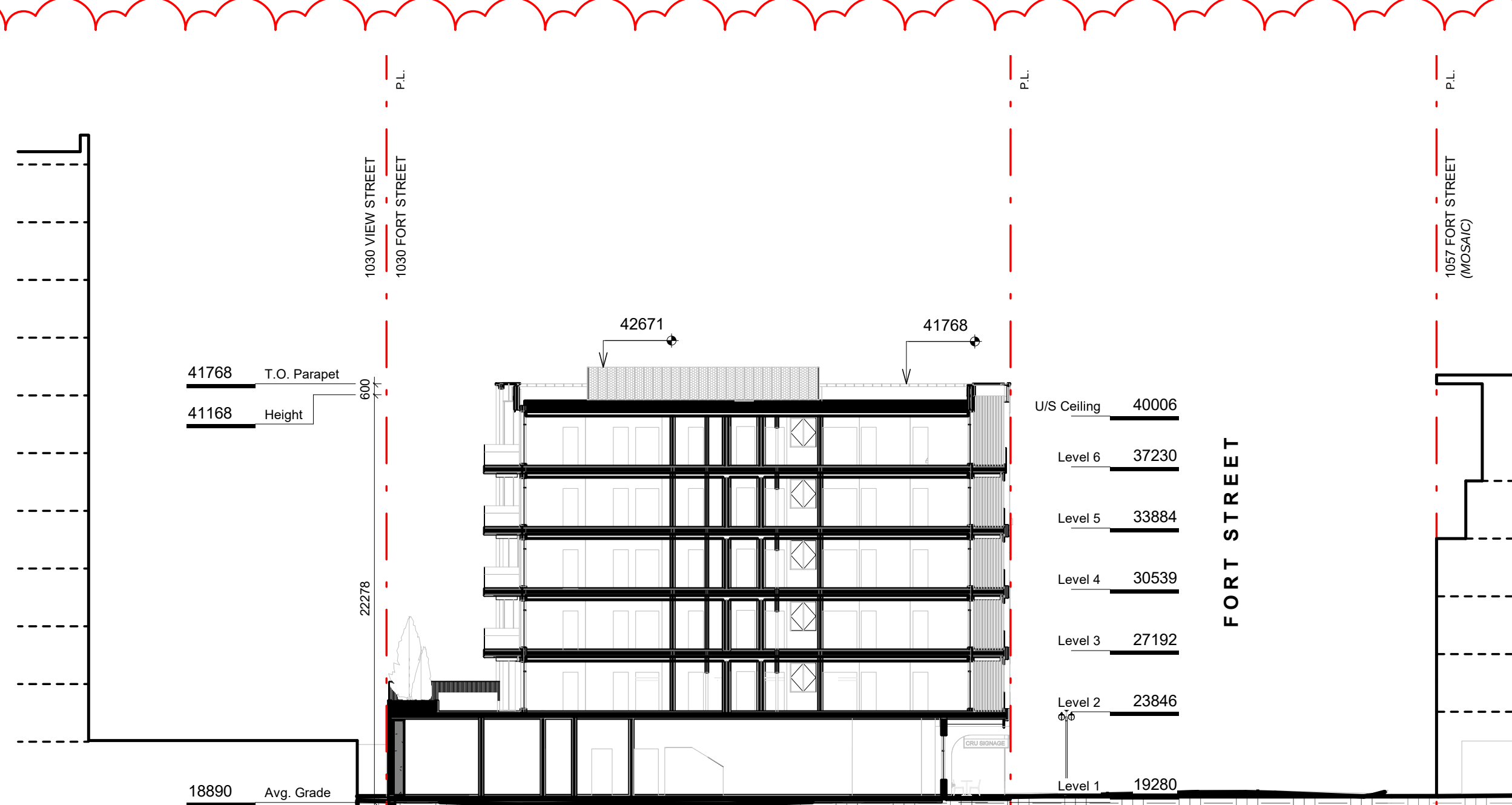




3.4



1 South Elevation - Fort Street Context
SCALE = 1 : 250



14 Section - Fort Street & Context
SCALE = 1 : 250

3	Issued for RZ/DP Rev1	NOV 30, 2021
2	Issued for RZ/DP	SEPT 15, 2021
1	Issued for Development Tracker	AUG 03, 2021
NO.	DESCRIPTION	DATE



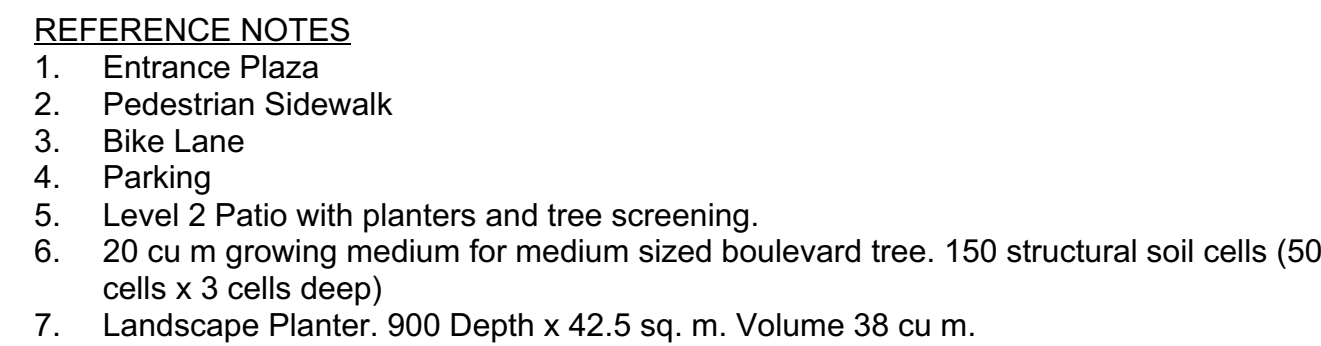
CASCADIA ARCHITECTS INC

Copyright reserved. These drawings and the design contained therein or which may be inferred therefrom are, and at all times remain, the exclusive property of Cascadia Architects Inc. Cascadia Architects holds the copyright and ownership in the said drawings, which cannot be used for any purpose without the express written consent of Cascadia Architects.

Project	1030 FORT STREET	
	JAWL PROPERTIES	
	1030 Fort Street, Victoria BC	
Sheet Name	Context & Shadow Study	
Date	NOV 30, 2021	
Scale	As indicated	Project # 2112
Revision	NOV 30, 2021	3
Sheet #	A500	



11/30/2021 9:09:49 AM



Refer to Architectural for Guard Rail Details

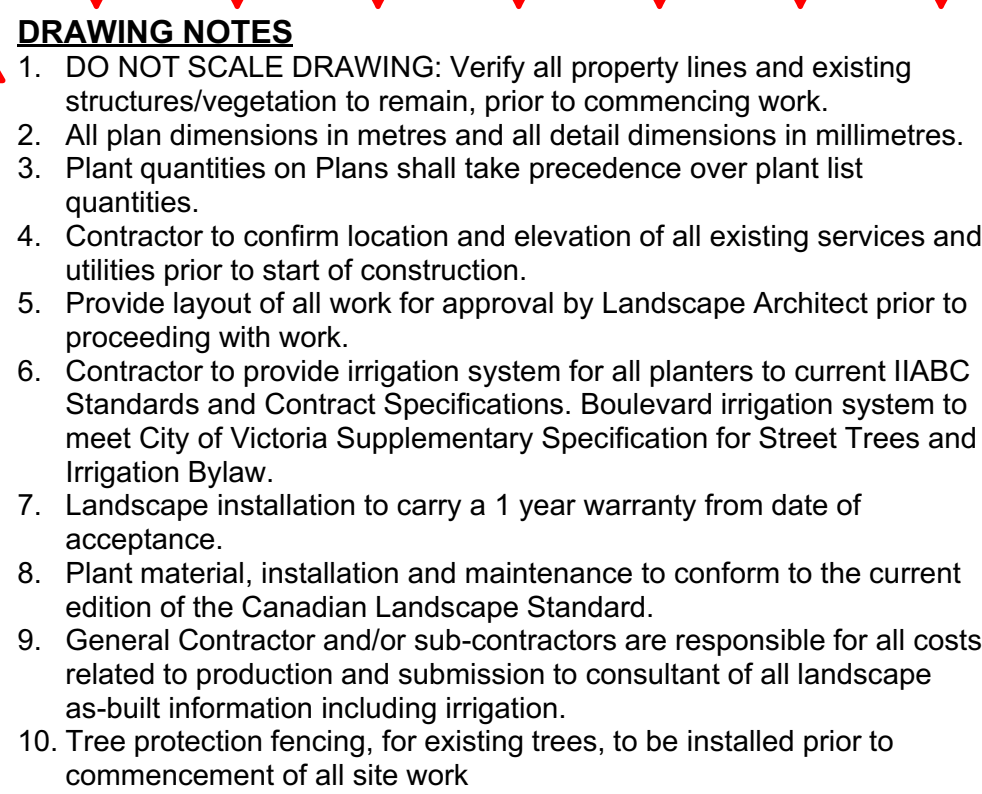
900 mm Growing Medium (plus drainage layer)

PROPERTY LINE

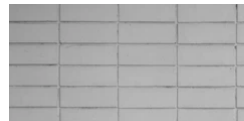
006

0 2 3 m

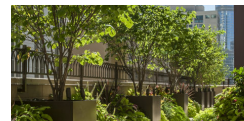
2 Section 1
Scale: 1:50



MATERIAL PALETTE



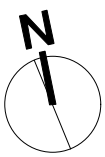
PAVING



SHADE PLANTING



SCREENING



2	Rev 1.	2021-11-30
1	DP	03/Aug/2021
rev no	description	date

 **Murdoch
de Greeff** INC
Landscape Planning & Design

200 - 524 Coulthart Road
Victoria, BC V8Z 1Y1

Phone: 250.412-2891
Fax: 250.412-2892



2021-11-30 2021-11-30

client

Jawl Properties Ltd,
1515 Douglas St Suite 200,
Victoria, BC

project
1030 Fort Street
1030 Fort Street,
Victoria, B.C.

sheet title

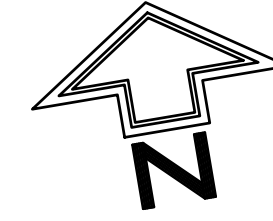
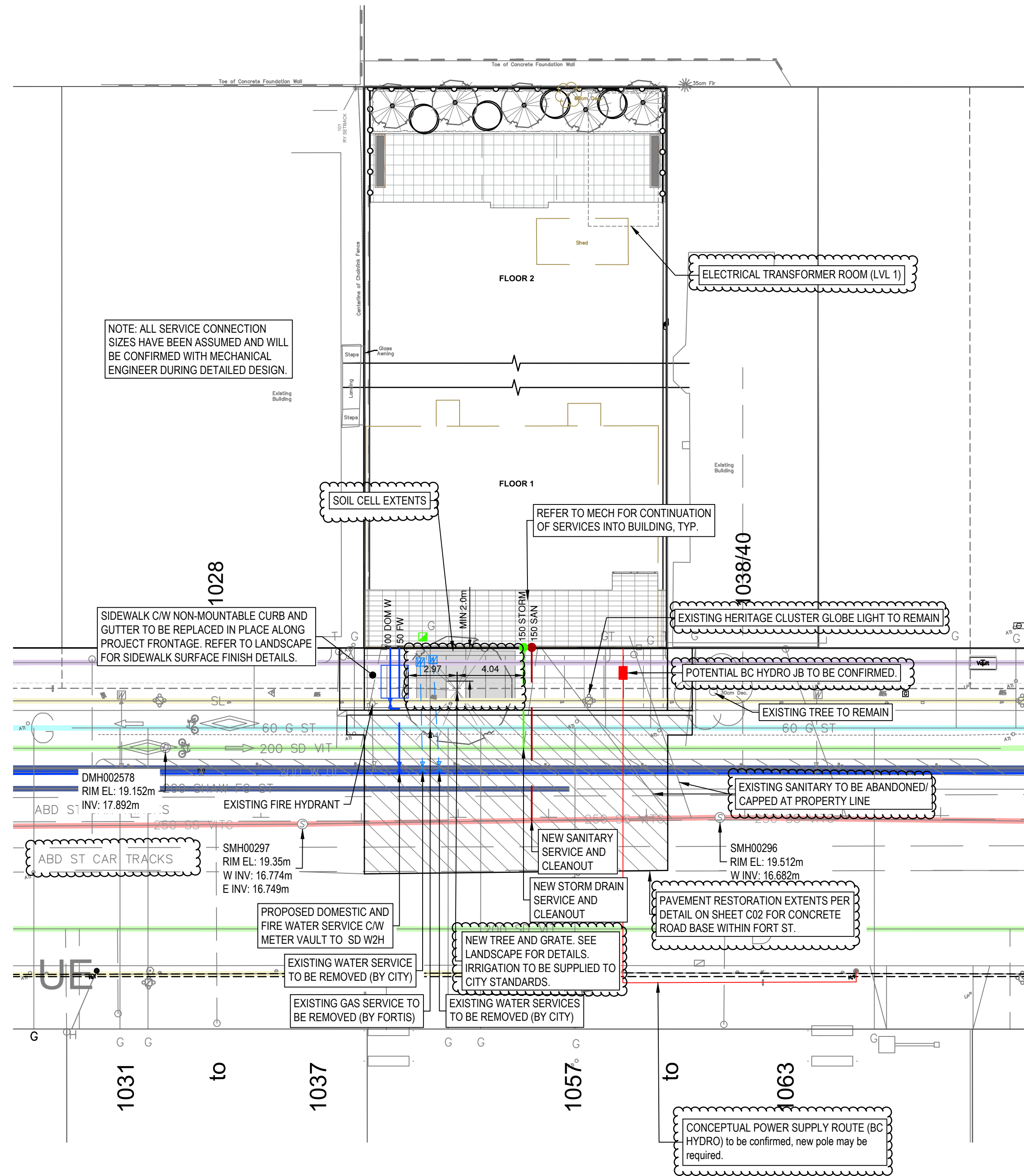
Landscape Materials

project no.		121.29
scale	1: 100	@ 24"x36"
drawn by		EB
checked by		SM/PdG
revision no.	sheet no.	

L1.01

1. ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION DOCUMENT (MCMC) PLATINUM EDITION, AND THESE DRAWINGS.
2. ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
3. PERMIT TO CONSTRUCT WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORKS COMMENCE. NOTIFY CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
4. ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS OF ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
5. CONTACT BC-1 (1-800-474-8886), BC HYDRO, TELUS, SHAW CABLE, AND FORTIS BC FOR UNDERGROUND UTILITY LOCATIONS 72 HOURS PRIOR TO CONSTRUCTION.
6. CONTRACTOR TO VIDEO INSPECT EXISTING 200mm STORM DRAIN BETWEEN EAST AND WEST PROPERTY LINES ALONG PROJECT FRONTAGE PRE AND POST CONSTRUCTION TO CONFIRM PIPE CONDITION.
7. EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
8. ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE RELAYED TO ENGINEER AND CITY TECHNICIAN IMMEDIATELY.
9. ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
10. CITY AGREES TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE, AT THE DEVELOPER'S EXPENSE.
11. WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CREW, AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
12. CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVICING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDROTEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
13. UNDERGROUND WIRING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
14. OVERHEAD WIRING IS NOT SHOWN ON CONTRACT DRAWINGS.
15. STREETS SHALL BE SWEEP CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
16. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER BYLAW.
17. DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS.
18. ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MCMC AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
19. PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRICADES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW AND EMERGENCY VEHICLE ACCESS. OUTBOUND ARTERIAL ROAD TRAVEL LANES TO BE OPEN AFTER 3.00 P.M.
20. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OR SWEEPING ALL EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
21. ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
22. COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAYS WITH CITY OF VICTORIA WORKS CREWS.
23. REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TELUS, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
24. FIELD SURVEY COMPLETED BY GEOVERRA 2020/2021.
25. CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.

ADDRESS	1030 FORT STREET
LOT:	REM 1010
BLOCK:	
PLAN:	VIP1A
ZONING:	CA-42
LAND USE:	COMMERCIAL/RESIDENTIAL



SERVICE	ESTIMATED SIZE	UTILITY PROVIDER	INSTALLATION FORCES	COST(\$) ¹
WATER	150mm	City of Victoria	City of Victoria	At Cost
SANITARY	150mm	City of Victoria	City of Victoria	At Cost
STORM DRAIN	150mm	City of Victoria	City of Victoria	At Cost
GAS	² Unconfirmed	Fortis	Utility Contractor	Based on Size
HYDRO	³ Unconfirmed	BC Hydro	Utility Contractor	Based on Size
COMMUNICATIONS	³ Unconfirmed	Telus/Shaw	Utility Contractor	Based on Size

² Design loads and service size to be confirmed by mechanical and Electrical consultants during detailed design stage.

WORKS AND SERVICES CHECK TABLE				
PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
		NAME	SIGNATURE	
UTILITY	BC HYDRO			
	TELUS			
	FORTIS BC			
	SHAW			
MUNICIPAL	UNDERGROUND UTILITIES			
	TRANSPORTATION DESIGN & INFRASTRUCTURE			
	LAND DEVELOPMENT			

SURFACE DETAIL			SEWER LATERAL			TEL MANHOLE			HYDRO/TEL POLE TO BE REMOVED			LEGEND		
	STORM DRAIN MANHOLE		HYDRO MANHOLE		TEL POLE		SIGNAL PULL BOX - SIDEWALK			SANITARY				
	STORM DRAIN MANHOLE		HYDRO POLE		WATER VALVE ON MAIN		LIGHT/SIGNAL PULL BOX - STREET			STORM				
	CATCH BASIN		HYDRO POLE WITH DIP		WATER SERVICE VALVE		LIGHT POLE (STEEL)			WATER				
	DRAIN CLEANOUT		JOINT POLE		WATER METER		SIGNAL POLE (STEEL)			HYDRO				
	DRAIN LATERAL		HYDRO POLE WITH LIGHT		BOULEVARD SERVICE		LIGHT/SIGNAL POLE (STEEL)			LIGHTING				
	SANITARY SEWER MANHOLE		HYDRO SERVICE BOXES		FIRE HYDRANT		CLUSTER LAMP - TYPE A			GAS				
	SANITARY SEWER VENT		HYDRO VAULT		REDUCER		CLUSTER LAMP - TYPE B			TEL/CABLE				
	SEWER CLEANOUT				LIGHT MANHOLE		STREET SIGN							
					LIGHT PULL BOX - SIDEWALK		PARKING METER							
					TEL VAULT									
					TEL POLE WITH DIP									
					TEL POLE WITH LIGHT									
					TEL SERVICE BOXES									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									
					TEL POLE WITH LIGHT									
					TEL VAULT									

COPYRIGHT:	####	####	####	####	####	####	####	####	####
THIS DRAWING AND DESIGN IS COPYRIGHT PROTECTED WHICH SHALL NOT BE USED, REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC.	####	####	####	####	####	####	####	####	####
	####	####	####	####	####	####	####	####	####
	####	####	####	####	####	####	####	####	####
	####	####	####	####	####	####	####	####	####
	####	####	####	####	####	####	####	####	####
DISCLAIMER:	####	####	####	####	####	####	####	####	####
THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.									
	1	2021/12/01	RE-ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING			BH	CD	JCS	BH
	0	2021/09/15	ISSUED FOR DEVELOPMENT PERMIT/RE-ZONING			BH	CD	JCS	BH
THIS DRAWING IS NOT TO BE SCALED.	ISSREV	YYYY-MM-DD	DESCRIPTION			DES	DRN	CHK	PM

SEAL



2021-12-01

	CLIENT
--	--------

JAWL PROPERTIES LTD.
1515 Douglas St Suite 200,
Victoria, BC

CLIENT REF. NO
#####



301-3600 Uptown Blvd
Victoria BC, Canada
V8Z 0B9
T+1 250-384-5510
F+1 250-386-2844
wsp.com

PROJECT: **1030 FORT STREET
MIXED-USE DEVELOPMENT**

PROJECT NO:	211-06978-00
SCALE:	1:200
DISCIPLINE:	

CIVIL

TITLE: **CONCEPTUAL CIVIL PLAN**

DRAWING NO: **C01**

SHEET NO: 1 OF 2

FOR DEVELOPMENT PERMIT/RE-ZONING

ISS/REV: **1**

10 m

GOEP: PINNA NET/CAN/C50/CAN/CIT/IN/1/C/PROJECT/2021/11/0979-00_1039.FORT.IT_1/IN/2/USE/DEVELOPMENT/14.0.TECH.PROF.SERVICE/14.0.CIVIL/2/DOCU/PRO/DOCS/21/0979-00_SERVICE/CONCEPT.Plan.Dwg. 2021/12/01 9:24 AM By: Haiman, Bin

