

SMARTSTOP SELF - STORAGE DOBNEY FOUNDRY, VICTORIA, B.C.

APPLICATION FOR DELEGATED DEVELOPMENT PERMIT



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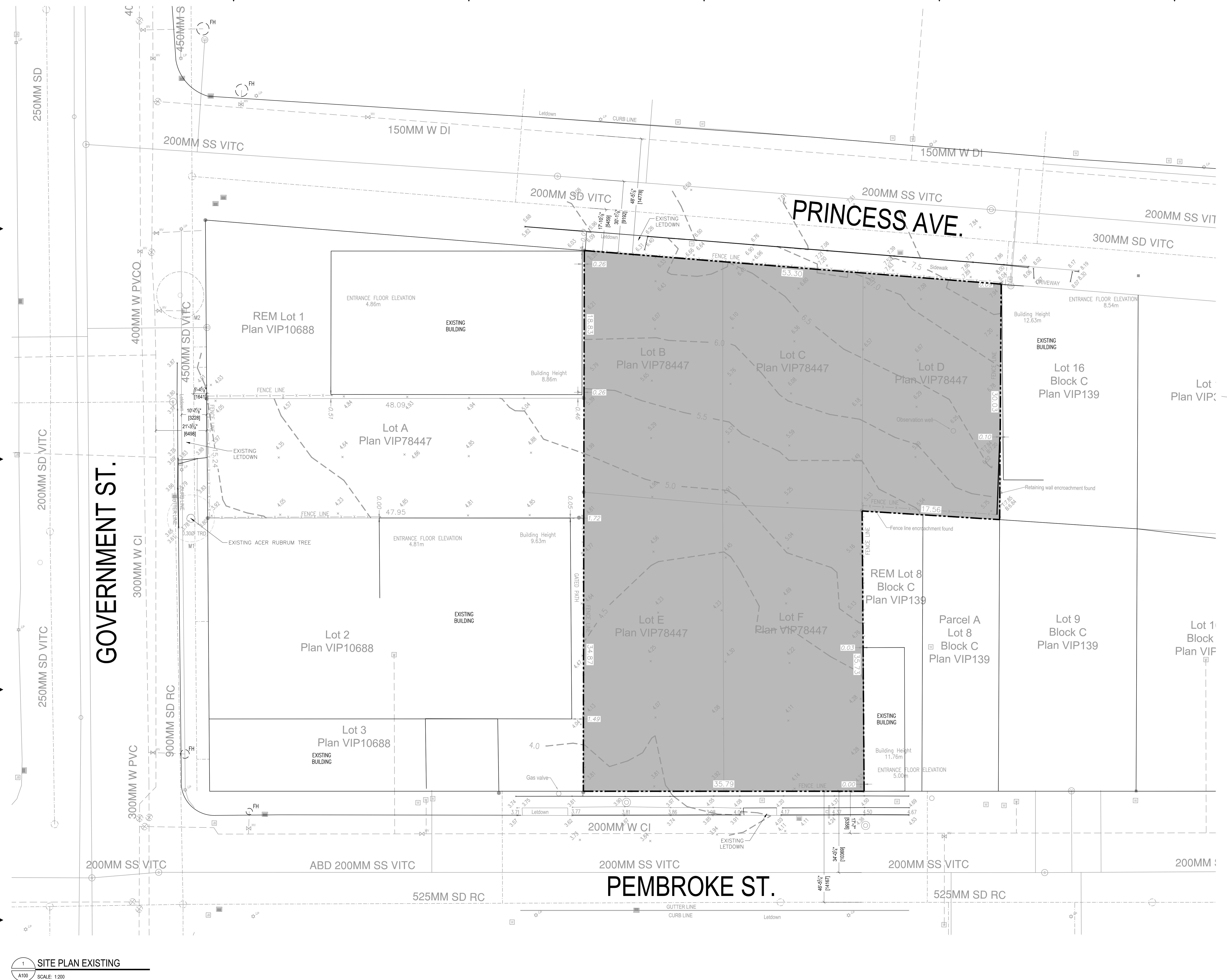
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FOR DELEGATED DEVELOPMENT PERMIT

GENERAL NOTES TYPICAL:

- CONTRACTOR OR PERMIT HOLDER TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONTRACTOR IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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9	2024-04-12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
8	2024-04-09	FOR TENDER
7	2024-04-05	FOR DEVELOPMENT PERMIT
6	2024-04-01	FOR DEVELOPMENT PERMIT
5	2024-03-31	FOR DEVELOPMENT PERMIT
4	2024-04-05	FOR DEVELOPMENT PERMIT
3	2024-04-01	FOR DEVELOPMENT PERMIT
2	2024-04-01	FOR DISCUSSION
1	2023-04-06	FOR DISCUSSION
*	YYYY-MM-DD	REVISIONS

LEGEND - LINE TYPES

- WATER MAIN LINES
- STORM WATER MAIN LINES
- ELECTRICAL CONDUIT

DESIGNER:

CIVIL:

ELECTRICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON,
TEL: 905 507 0800

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON,
TEL: 905 507 0800

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC,
TEL: 250 386 7794

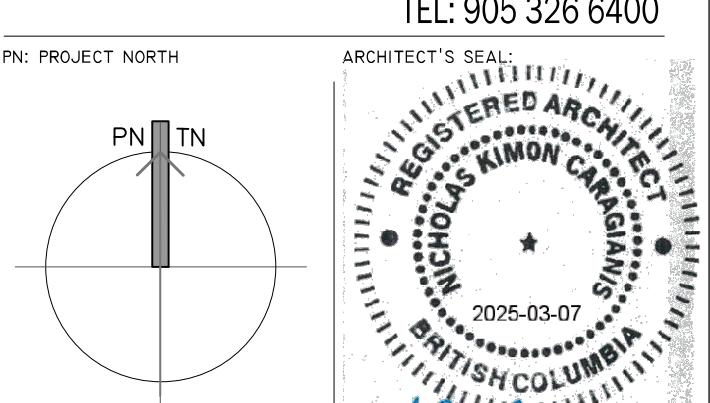
PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Bumaby BC Canada V5C6G9
TEL: 604.294.0011

SMARTCENTRES

3200 HIGHWAY 7, SUITE 230

VAUGHAN, ON, L4K 5Z5

TEL: 905 326 6400



WPT ARCHITECTURE INC

wpt@wptarchitecture.ca

WPT PROJECT #: 2022-0076.01

MUNICIPAL #: 621, 627, 629 PRINCESS AVENUE AND 616, 624 PEMBROKE STREET

CLIENT CONTRACT #: VICTORIA SELF STORAGE INC

PROJECT NAME AND LOCATION: VICTORIA, BRITISH COLUMBIA

SHEET NAME: SITE PLAN EXISTING

SCALE: 1:200

DRAWN BY: AF

SHEET #: A100X

GOVERNMENT

PRINCESS AVE.

PROJECT INFORMATION TABLE		
ITEM	REQUIRED/ PERMITTED	PROPOSED
ZONE (EXISTING)		M2-I Zone, DOUGLAS-BLANSHARD INDUSTRIAL DISTRICT
SITE AREA (m ²)		2,932
TOTAL FLOOR AREA (m ²)*	N/A	8,682
WAREHOUSE ACCESSORY RETAIL (m ²)		516
FLOOR SPACE RATIO	Max 3.0	2.96
SITE COVERAGE %	N/A	93.10%
OPEN SITE SPACE %	N/A	6.9%
HEIGHT OF BUILDING (m)	15m	14.952m
NUMBER OF STOREYS	N/A	4 Floors + 1 Partial Basement + 1 Full Basement
PARKING STALLS (NUMBER) ON SITE		
WAREHOUSE BUILDING AREA (m ²)**	N/A	13,083
WAREHOUSE ACCESSORY RETAIL AREA (m ²)***	N/A	516
WAREHOUSE **	131	12 INTERIOR PARKING SPACES 2 LOADING BAYS 3 ADDITIONAL PARKING SPACES WHEN LOADING BAYS ARE NOT IN USE FOR A TOTAL OF 15 PARKING SPACES.
WAREHOUSE ACCESSORY RETAIL ***	6	
STREET PARKING		
ACCESSIBLE PARKING SPACES		
STANDARD	0	1 VAN
VAN	1	
ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE (****)		
2 OR 5% OF TOTAL REQUIRED VEHICLE PARKING	8	8
BICYCLE PARKING (STORAGE AND RACK)		
RETAIL ***	SHORT TERM	9 SHORT TERM + 16 LONG TERM
	LONG TERM	
WAREHOUSE	SHORT TERM	
	LONG TERM	
BUILDING SETBACKS (m)		
FRONT YARD (PEMBROKE STREET)	No setback required	0.612m
REAR YARD (PRINCESS AVE)	No setback required	0
SIDE YARD (INTERIOR SIDE)	3.0m or 0m	0.458m
SIDE YARD (GOVERNMENT STREET)	3.0m or 0m	0.452m
COMBINED SIDE YARDS	N/A	N/A
NOTES:		
(*) MEASURED TO INTERIOR FACE OF EXTERIOR WALL, EXCLUDES INTERIOR PARKING + LOADING, PARTIAL BASEMENT 1 & BASEMENT 2 LONG TERM BICYCLE STORAGE AND ELEVATOR SHAFT.		
(**) WAREHOUSE BUILDING AREA FOR PARKING CALCULATION INCLUDES ALL FLOORS, OFFICE, PARTIAL BASEMENT 1 & BASEMENT 2; EXCLUDES INTERIOR PARKING + LOADING AND WAREHOUSE ACCESSORY RETAIL (1 SPACE X 100m ²).		
(***) WAREHOUSE ACCESSORY RETAIL USE PARKING CALCULATION BASED ON RETAIL (1 SPACE X 80m ²)		
((**)) EVCL (ELECTRICAL VEHICLE CHARGING INFRASTRUCTURE) 240V (30 AMP)		

GENERAL NOT

1. REINSTATE SIDEWALKS, ASPHALT CURBS TO COMPLY WITH CITY STANDARDS.
2. FOR DIMENSIONS AND BLOW-UP OF BICYCLE STORAGE, SEE DW A111A.
3. ALL GRADING TO BE CONFIRMED BY CIVIL ENGINEER.

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2. FOR DIMENSIONS AND BLOW-UP OF BICYCLE STORAGE, SEE DW A111A.
3. ALL GRADING TO BE CONFIRMED BY CIVIL ENGINEER

	SELF STORE
	INT. LOADING PARKING
	WAREHOUSE ACCESSORY

GRAPHIC SCALE

A horizontal scale line with tick marks. The text 'GRAPHIC SCALE' is at the top left. The number '5' is at the left end, '0' is in the middle, and '10' is at the right end. The word 'meters' is written below '10'.

SITE PLAN BASED ON SURVEY BY
EXPLORER FILE 11874
DATED 2022-11-30

The diagram shows a rectangular room with a hatched area in the upper portion. A dashed line extends from the right side of the hatched area, with a small square at its end. The floor plan also includes a dashed line on the left side and a stepped line at the bottom.

The diagram illustrates a building's cross-section with the following features:

- Ground Floor:** The bottom level is defined by a blue hatched area. It includes a rectangular room on the left, a central rectangular room, and a smaller room on the right. A small blue hatched area is located at the bottom right corner.
- Split Floor:** The level above the ground floor is defined by an orange hatched area. It features a large rectangular room on the left, a central rectangular room, and a smaller room on the right. A small orange hatched area is located at the bottom right corner.
- Roof:** The top level is defined by a green hatched area, which is stepped and slopes down towards the right.
- Legend:** A legend is located at the bottom right, consisting of a black square and a black circle.

The diagram shows the layout of the 2nd floor. The main area is hatched with orange diagonal lines. A rectangular room at the top is outlined in black and contains a dashed line forming a cross pattern. A small inset in the center-right shows a detailed view of a section of the floor, with labels 'A', 'B', and 'C' indicating specific points. A large L-shaped cutout is present on the right side of the main hatched area. A dashed line extends from the top right corner of the main area towards the right edge of the page.

2ND FLOOR

The floor plan illustrates a large rectangular area with orange hatching, representing the main structure. A central entrance is marked with a dashed rectangular frame. To the right, a smaller rectangular structure is attached, featuring dimensions of 20' [6096] and 63-5/8" [19352]. The main area has dimensions of 41' [12498] and 63-5/8" [19352]. Dashed lines indicate additional boundaries or dimensions.

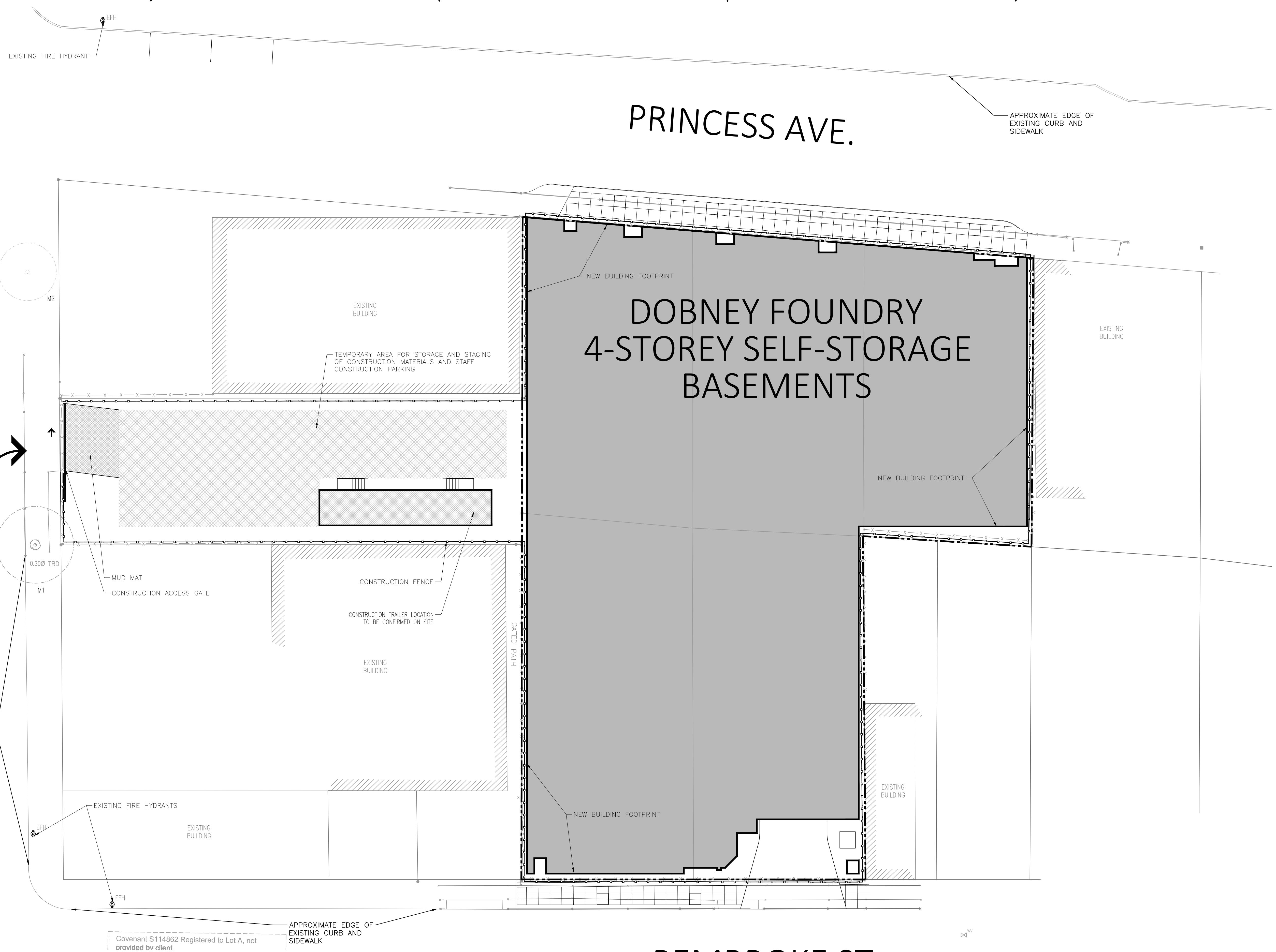
The image shows a technical drawing of a building's footprint with a north arrow pointing upwards. To the right is a circular registered architect's seal for Nicholas Kimon Caragianis, dated March 7, 2025, from the Province of British Columbia.

The logo for WPT Architecture Inc. It features a graphic of several dark, elongated, pointed leaves on the left, partially overlapping a white rectangular area. To the right of this graphic, the company name is written in a large, serif, all-caps font. Below the main name is a thick black horizontal line. At the bottom of the page, there is a dark grey footer bar containing the company's email address in a white, sans-serif font.

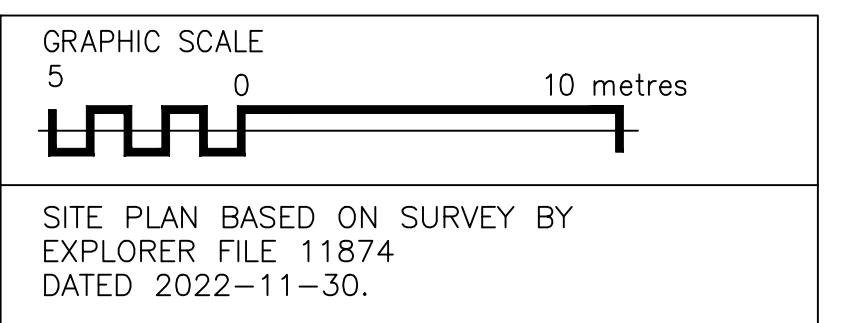
JECT #: 0076.01	MUNICIPAL #:
JECT #:	CLIENT CONTRACT #:
NAME AND LOCATION:	
VICTORIA SELF STORAGE INC 627, 629 PRINCESS AVENUE AND 616, 624 PEMBROKE STREET VICTORIA, BRITISH COLUMBIA	
ME:	

ARCHITECTURAL SITE PLAN

GOVERNMENT ST.



1 CONSTRUCTION MANAGEMENT PLAN
A101A SCALE: 1:200



SITE PLAN BASED ON SURVEY BY EXPLORER FILE 11874 DATED 2022-11-30.

TIMEFRAME:
17 MONTHS CONSTRUCTION PERIOD

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9 2024.11.02 ISSUED FOR DELEGATED DEVELOPMENT PERMIT

8 2024.11.22 ISSUED FOR ADDENDUM 01

7 2024.11.25 FOR DEVELOPMENT PERMIT

6 2023.12.20 FOR DEVELOPMENT PERMIT

5 2023.10.30 FOR DEVELOPMENT PERMIT

4 2023.08.15 FOR DEVELOPMENT PERMIT

3 2023.04.21 FOR DEVELOPMENT PERMIT

2 2023.04.14 FOR DESIGNATION

1 2023.04.06 FOR DISCUSSION

• YYYY-MM-DD REVISIONS

DESIGNER:

CIVIL:

ELECTRICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

QUASAR
250 ROUNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

LANDSCAPE:

PMG LANDSCAPE ARCHITECTS
C100 4185 Still Creek Drive
Burnaby BC Canada V5C6G9
TEL: 604.294.0011

CLIENT LOGO:



CLIENT:

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH



TN: TRUE NORTH

ARCHITECT:

WPT ARCHITECTURE INC



wpt@wptarchitecture.ca

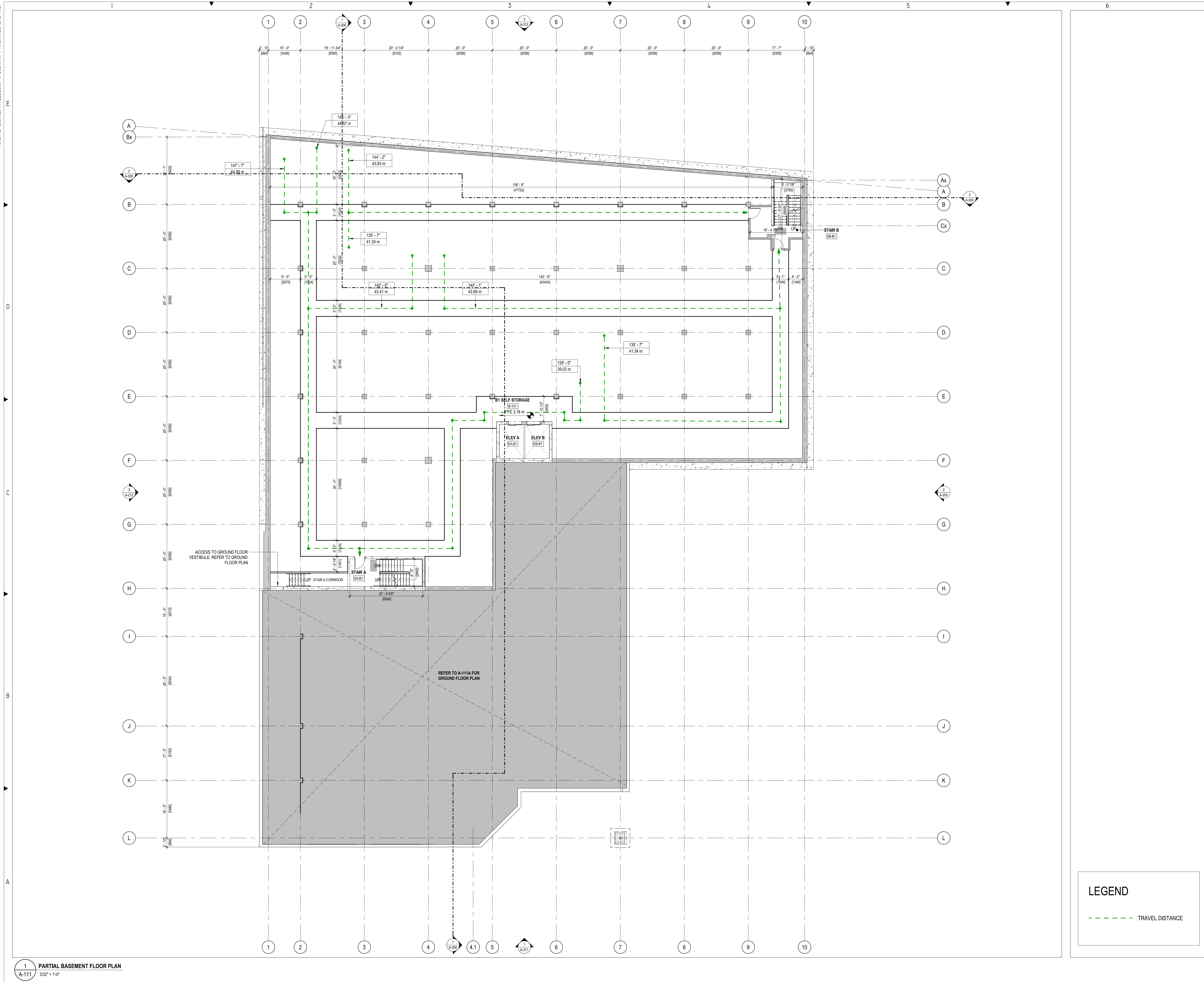
WPT PROJECT #: 2024.03.29 | MUNICIPAL #: 2024.03.29
CLIENT PROJECT #: 2024.03.29 | CLIENT CONTRACT #: 2024.03.29

PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

CONSTRUCTION
MANAGEMENT PLAN

SCALE: 1:200 SHEET #:
DRAWN BY: AF
A101



ELEGATED DEVELOPMENT PERMIT

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11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
03.05	FOR DEVELOPMENT PERMIT
12.20	FOR DEVELOPMENT PERMIT
10.31	FOR DEVELOPMENT PERMIT
08.15	FOR DEVELOPMENT PERMIT
04.21	FOR DEVELOPMENT PERMIT
04.14	FOR DISCUSSION
04.06	FOR DISCUSSION
MM-DD	REVISIONS

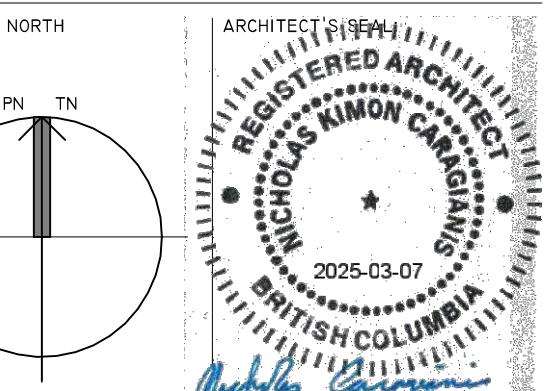
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TEL: 905 507 0800

AL:
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TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL 604 533 2000

185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011



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
JECT #: 00076.01 MUNICIPAL #:

NAME AND LOCATION:
TRIA SELF STORAGE INC
7, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

FINAL BASEMENT FLOOR PLAN

SHEET #:

A-|||



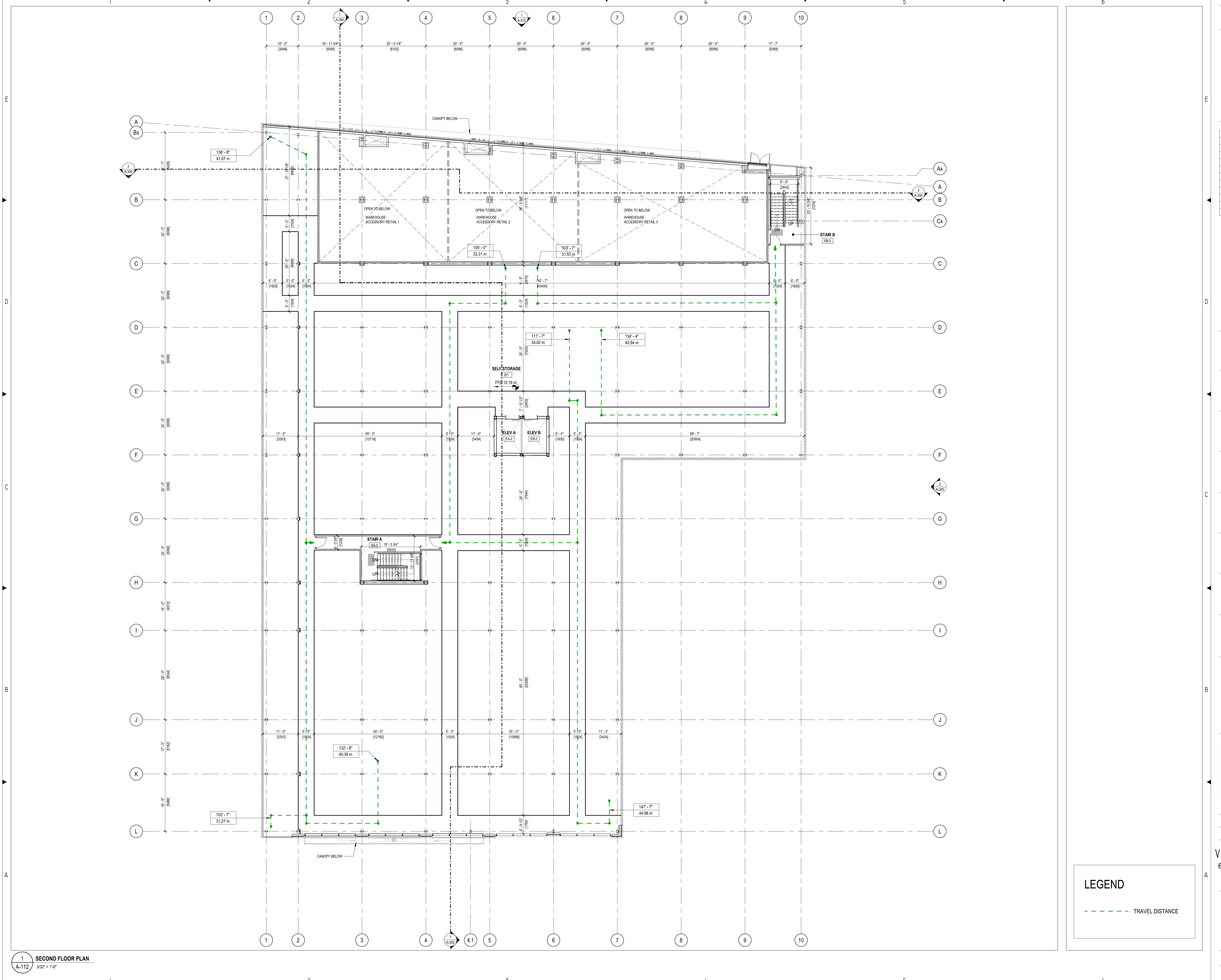
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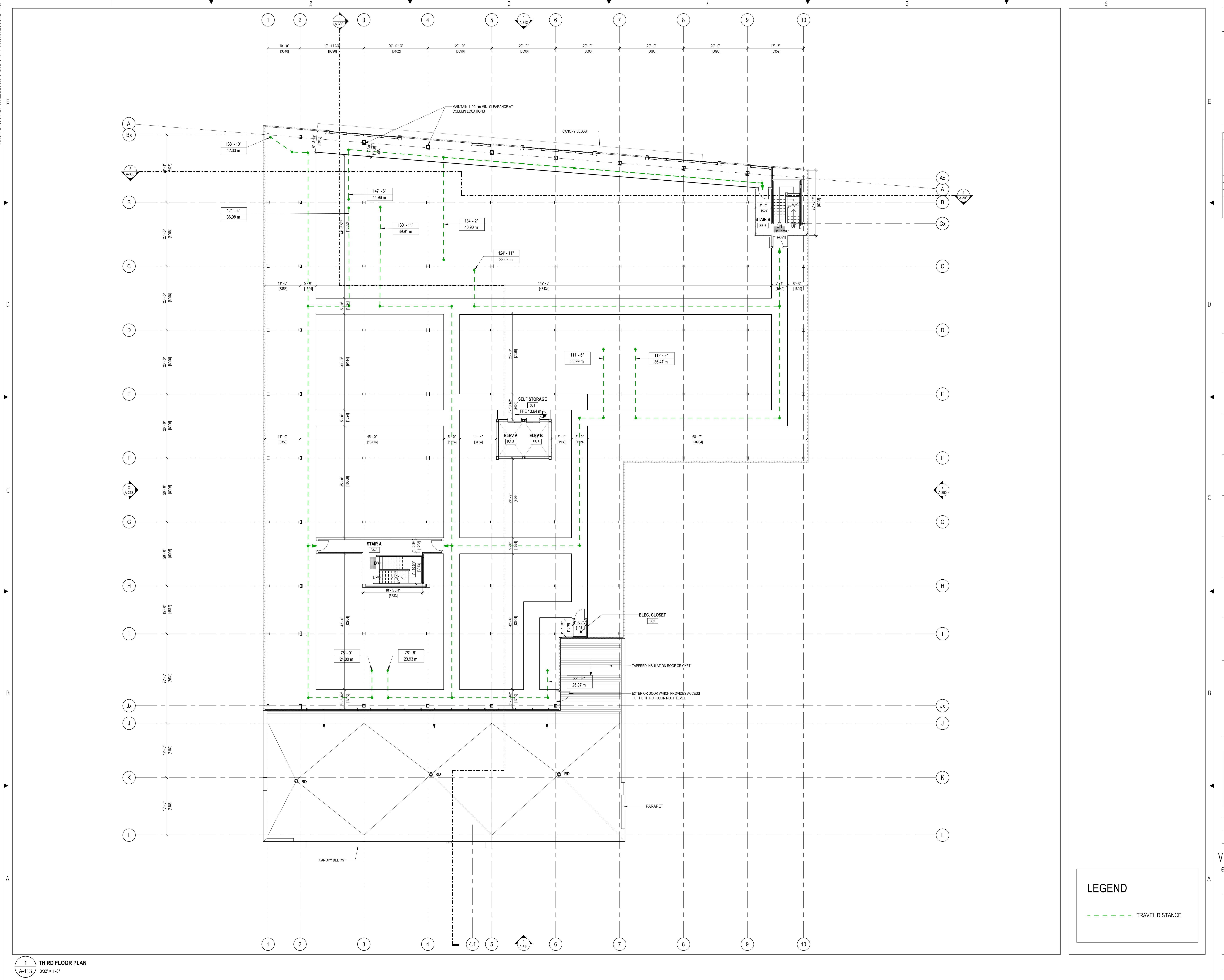
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1	2023.04.14	FOR DISCUSSION

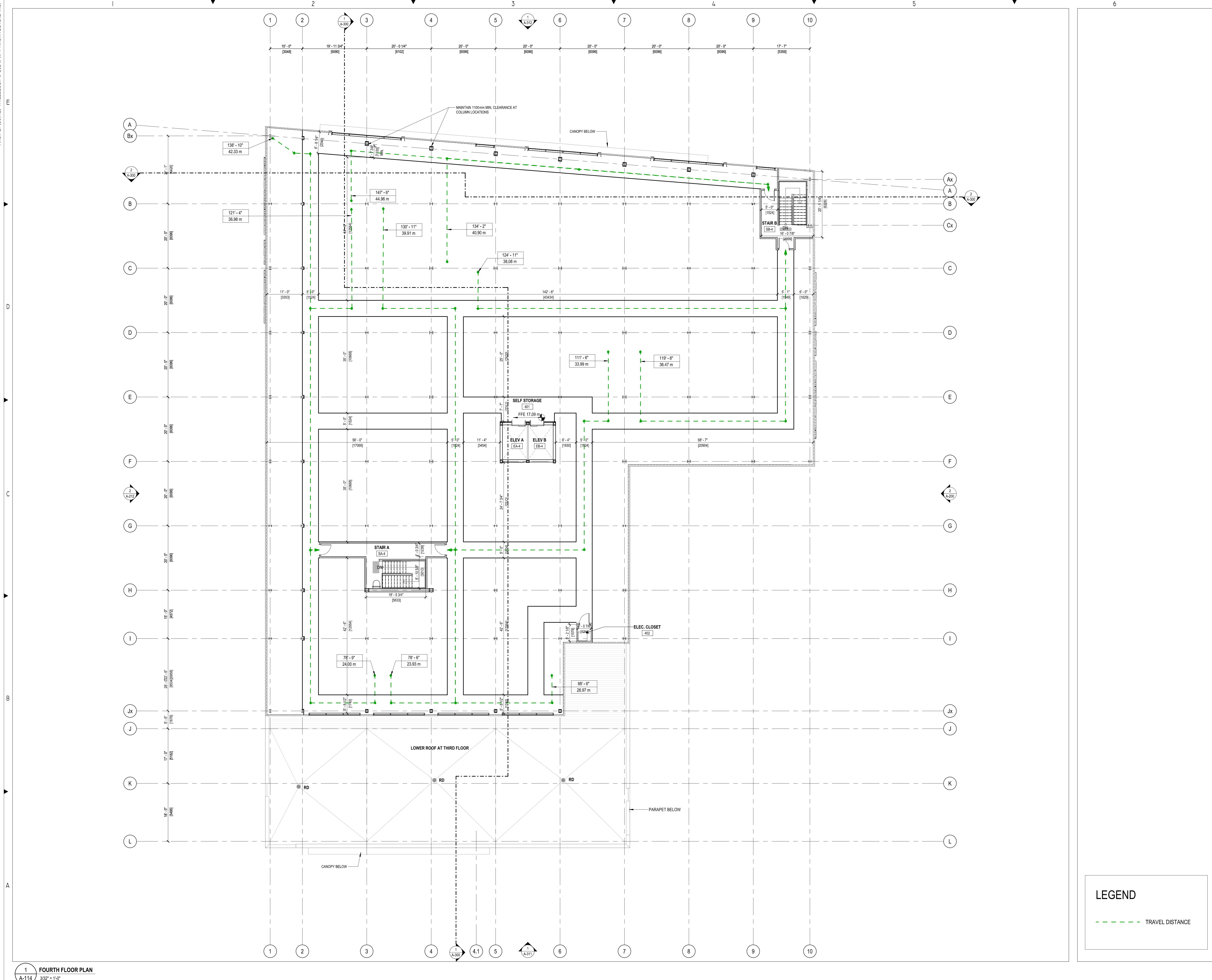
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##	YYYY-MM-DD	REVISIONS



LEGATED DEVELOPMENT PERMIT

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1.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
3.22	FOR DEVELOPMENT PERMIT
3.05	FOR DEVELOPMENT PERMIT
2.20	FOR DEVELOPMENT PERMIT
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QUASAR
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WOODBRIDGE, ON.

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VICTORIA, BC.

TEL: 230 300 7794

100-20557 98 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

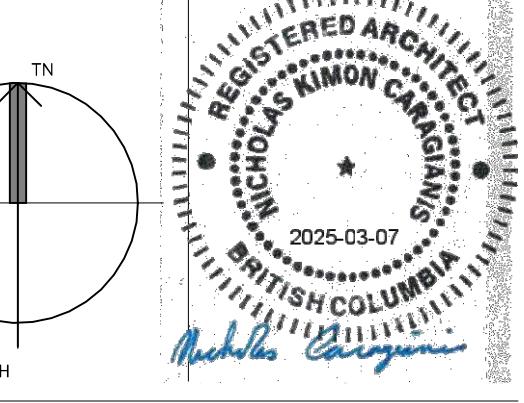
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LL CREEK DRIVE, SUITE C100
BURNABY, BC
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SMARTCENTRES[®]

REAL ESTATE INVESTMENT TRUST

3200 HIGHWAY 7, SUITE 230
VAUGAN, ON, L4K 5Z5
TEL: 905 326 6400



TRACT #:	MUNICIPAL #:
76.01	
TRACT #:	CLIENT CONTRACT #:

ME AND LOCATION:

IA SELF STORAGE INC
629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

FOURTH FLOOR PLAN

SHEET #:

A-114

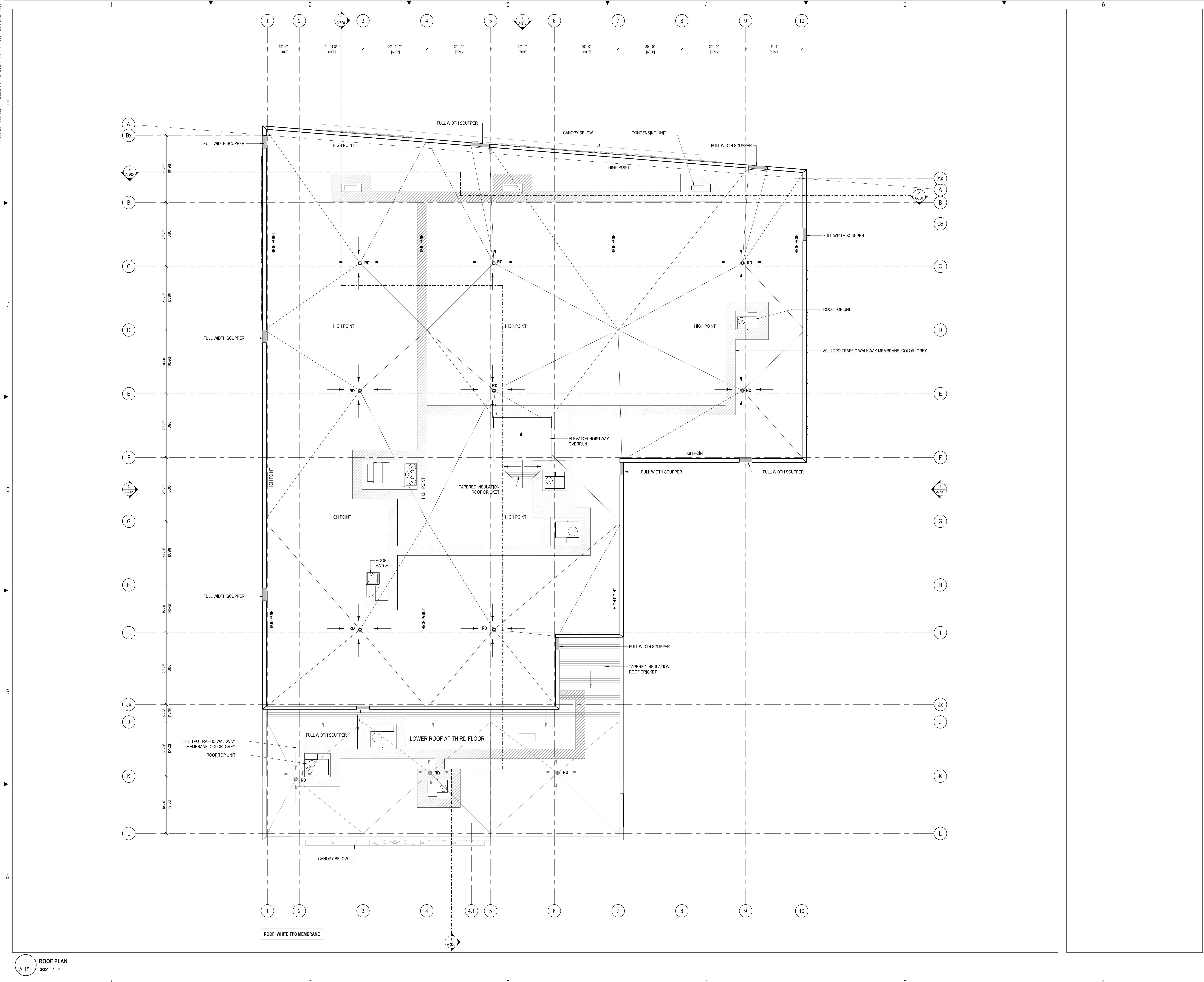
LEGEND

— — — — — TRAVEL DISTANCE

FOURTH FLOOR PLAN

SHEET #:

A-14



LEGATED DEVELOPMENT PERMIT

NOTES TYPICAL:
THE CONSULTANT IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND INACCURACIES TO THE ARCHITECT IN WRITING PRIOR TO COMMENCING WITH THE WORK.

NOTES ARE TO BE READ IN CONJUNCTION WITH ALL CONSULTANT'S DOCUMENTATION.

DO NOT USE DRAWINGS. DO NOT USE DOCUMENTS FOR CONSTRUCTION UNLESS INDICATED AS "FOR CONSTRUCTION" AND SIGNED BY THE ARCHITECT AND CONSULTANTS. DRAWINGS AND CONSTRUCTION MUST COMPLY WITH APPROPRIATE CODES, BYLAWS, PROVINCIAL AND FEDERAL AND LOCAL REQUIREMENTS.

NOTES REMAIN THE PROPERTY OF THE CONSULTANTS AND MAY NOT BE USED OR REPRODUCED WITHOUT WRITTEN CONSENT.

1.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
3.22	FOR DEVELOPMENT PERMIT
3.05	FOR DEVELOPMENT PERMIT
2.20	FOR DEVELOPMENT PERMIT
0.31	FOR DEVELOPMENT PERMIT
3.15	FOR DEVELOPMENT PERMIT
4.21	FOR DEVELOPMENT PERMIT
M-DD	REVISIONS

ONS

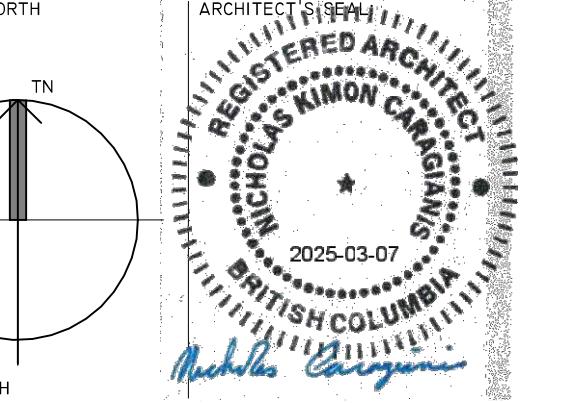
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905-507-0800

RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

35 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011



✓



UNIT #:	MUNICIPAL #:
76.01	
STRUCTURE #:	CLIENT CONTRACT #:

ME AND LOCATION:
IA SELF STORAGE INC
629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

ROOF PLAN

SHEET #:

A-15

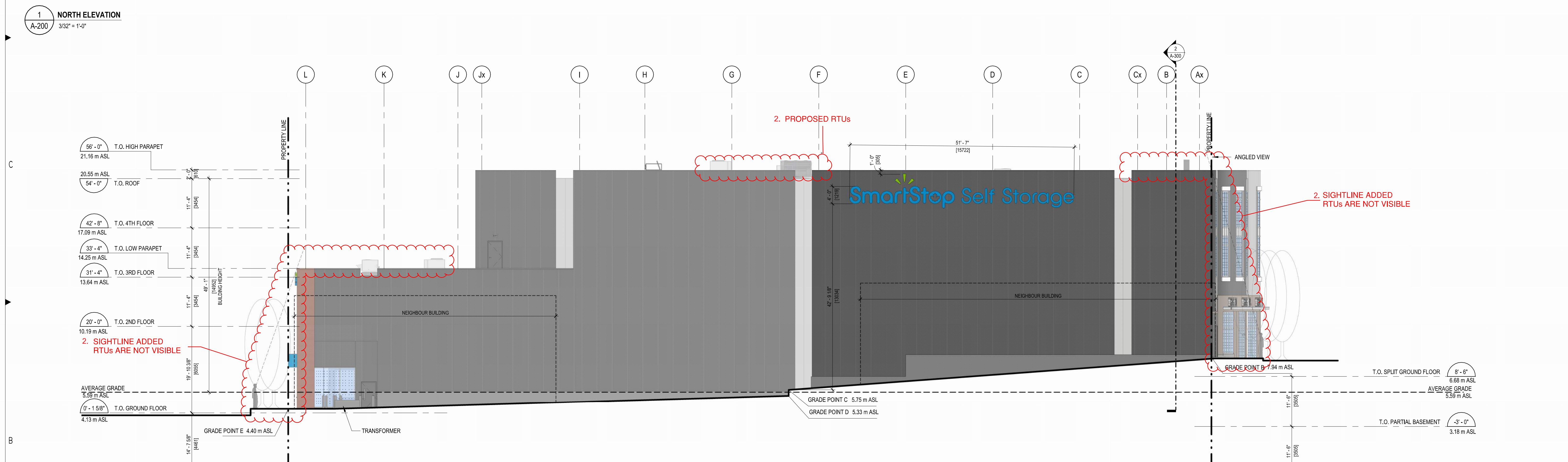
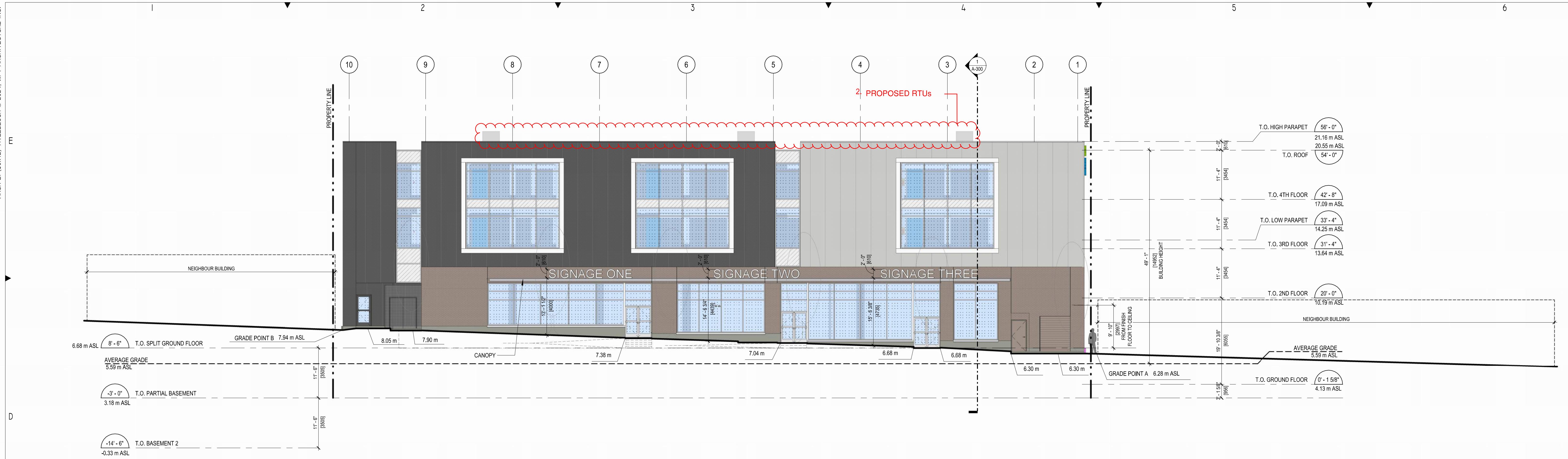
— 1 —

GENERAL NOTES TYPICAL:

- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL DRAWINGS, DIMENSIONS, DETAILS, SPECIFICATIONS AND DOCUMENTS, AND VERIFY SITE CONDITIONS, AND REPORT ALL ERRORS, OMISSIONS AND DEFECTS TO THE ARCHITECT AND CONSULTANTS IN WRITING PRIOR TO PROCEEDING WITH THE WORK.
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8	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
7	2024.03.01	FOR DEVELOPMENT PERMIT
6	2023.12.20	FOR DEVELOPMENT PERMIT
5	2023.10.31	FOR DEVELOPMENT PERMIT
4	2023.08.15	FOR DEVELOPMENT PERMIT
3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION

YYYY-MM-DD REVISIONS



REGISTERED ARCHITECTURE BRITISH COLUMBIA

KIMON CHAN

2025-03-07

Nicholas Gargano

WPT ARCHITECTURE INC

wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01

MUNICIPAL #:

CLIENT PROJECT #:

CLIENT CONTRACT #:

PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC

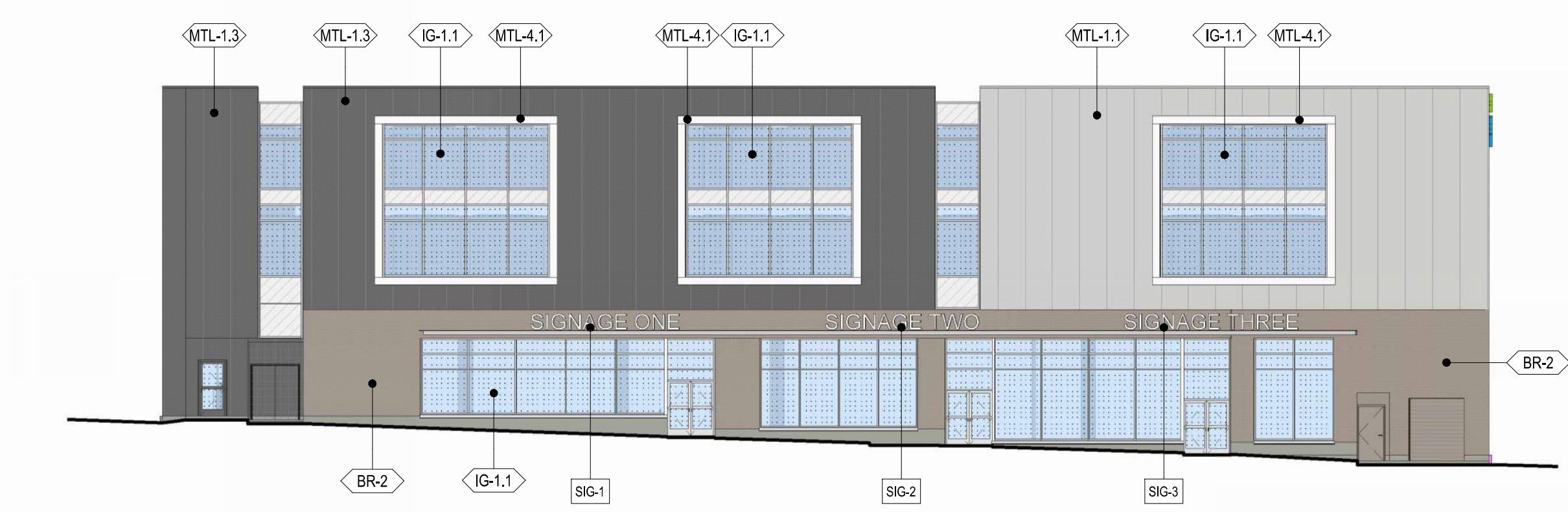
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET

VICTORIA, BRITISH COLUMBIA

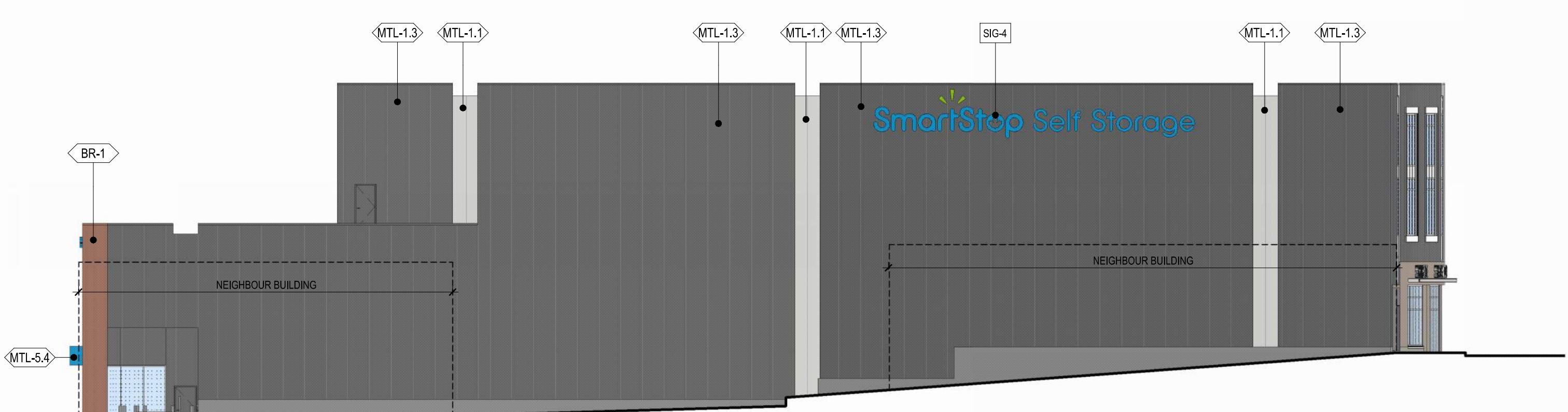
SHEET NAME: NORTH AND EAST EXTERIOR ELEVATIONS

SCALE: AS INDICATED
DRAWN BY: KB

SHEET #: A-200



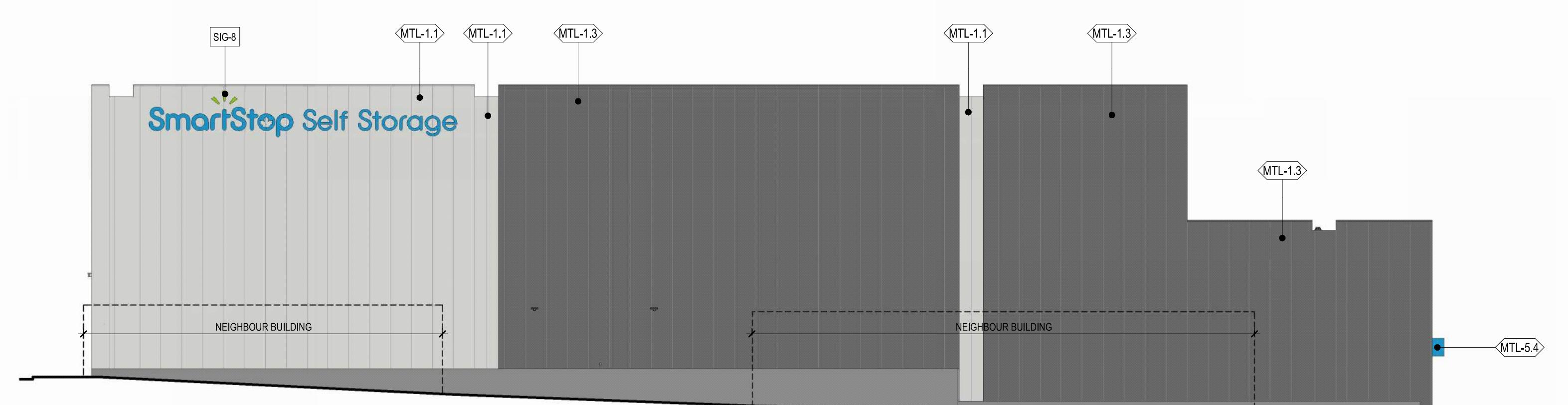
1 NORTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



2 EAST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



3 SOUTH ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"



4 WEST ELEVATION EXTERIOR FINISHES
A-210 1/16" = 1'-0"

BY LAW NO. 14-097 | ARTERIAL COMMERCIAL SIGN ZONE

A fascia sign shall not have a display surface exceeding 9 m² (96.88 sq ft).

NORTH ELEVATION

SIGNAGE 1 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.0 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 2 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.4 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 18 sq. ft. (1.67 m²)

SIGNAGE 3 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 4.7 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 22.6 sq. ft. (2.1 m²)

EAST ELEVATION

SIGNAGE 4 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 13 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)

SOUTH ELEVATION

SIGNAGE 5 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 9 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 23.4 sq. ft. (2.17 m²)

SIGNAGE 6 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 2.6 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 4.3 sq. ft. (0.4 m²)

SIGNAGE 7 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 12.5 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 11 sq. ft. (1.02 m²)

WEST ELEVATION

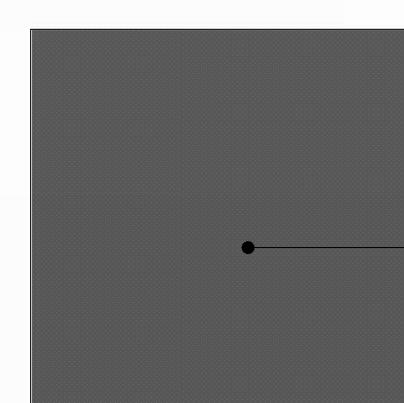
SIGNAGE 8 - FASCIA SIGNAGE, CHANNEL LETTER TYPE 50mm DEEP @ 12.5 m MEASURED FROM SIDE WALK TO BOTTOM OF SIGNAGE.
AREA = 69.65 sq. ft. (6 m²)



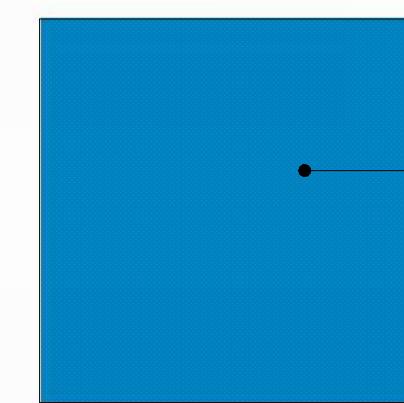
MTL-1.1 INSULATED METAL PANEL ACCENT PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7064 "PASSIVE"



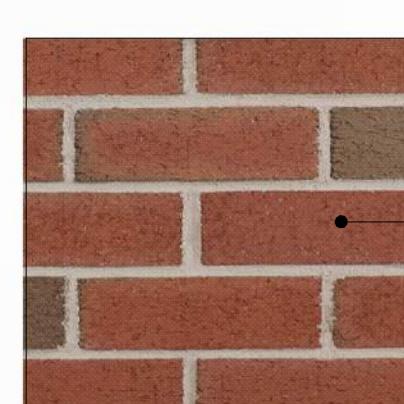
MTL-4.1 ALUMINUM COMPOSITE PANEL DISPLAY FEATURE WALL
ORIENTATION - HORIZONTAL/VERTICAL
COLOUR - WHITE



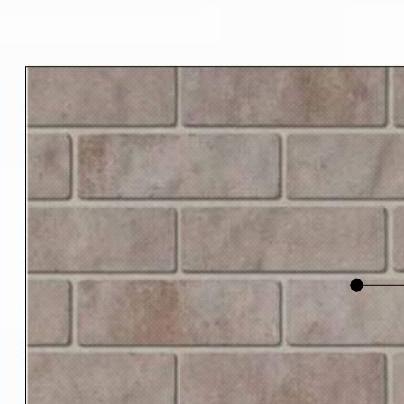
MTL-1.3 INSULATED METAL PANEL MAIN PANEL
ORIENTATION - VERTICAL
COLOUR - SW 7674 "PEPPERCORN"



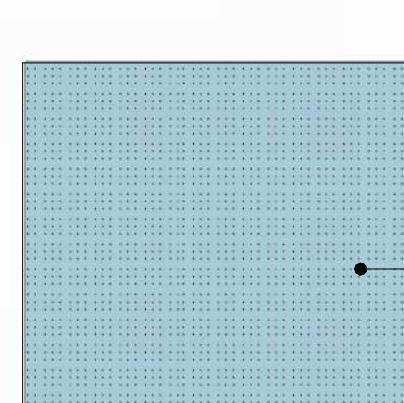
MTL-5.4 METAL LINEAR PANEL CANOPY FASCIA & SOFFIT
ORIENTATION - VERTICAL
COLOUR - PMS 7461 "SMARTSTOP BLUE"



BR-1 BRICK MASONRY SELECT AREAS AT BASE OF BUILDING
COLOUR - COLOUR - 200 FLASHED MATT



BR-2 BRICK MASONRY SELECT AREAS AT BASE OF BUILDING
COLOUR - COLOUR - VIVACE PRP MILANO



IG-1.1 CLEAR GLAZING CURTAIN WALL
COLOUR - LIGHT BLUE

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FOR DELEGATED DEVELOPMENT PERMIT
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7	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
6	2024.10.23	ISSUED FOR BUILDING PERMIT COMMENTS
5	2024.10.15	ISSUED FOR SIGNAGE TENDER
4	2024.10.10	ISSUED FOR TENDER
3	2024.09.03	ISSUED FOR PERMIT
2	2024.08.08	ISSUED FOR 70% SUBMISSION
1	2024.03.05	FOR DEVELOPMENT PERMIT

YYYY-MM-DD REVISIONS

CIVIL:
ELECTRICAL:
MECHANICAL:
STRUCTURAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800
STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794
BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992
LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 0011
CLIENT LOGO:

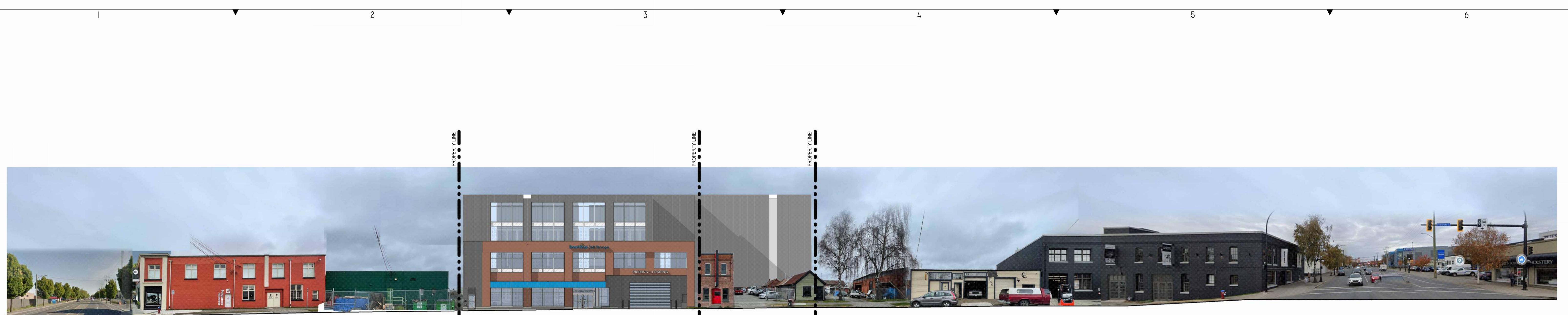
SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST
CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECT:
REGISTERED ARCHITECT
KIMON CHAN
BRITISH COLUMBIA
2025-03-07
Nicholas Chingyan
Signature

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA
SHEET NAME:

EXTERIOR FINISHES
SCALE: 1/16" = 1'-0"
DRAWN BY: KB
SHEET #: A-210



1 SOUTH - PEMBROKE STREET
A-212 1:275



2 WEST - GOVERNMENT STREET
A-212 1:275



3 NORTH - PRINCESS AVENUE
A-212 1:275

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4	2023.10.31	FOR DEVELOPMENT PERMIT
3	2023.08.15	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DISCUSSION
1	2023.04.06	FOR DISCUSSION
		## YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
 250 ROWNTREE DAIRY RD,
 WOODBRIDGE, ON.
 TEL: 905 507 0800

MECHANICAL:
QUASAR
 250 ROWNTREE DAIRY RD,
 WOODBRIDGE, ON.
 TEL: 905 507 0800

STRUCTURAL:
RJC
 1515 DOUGLAS STREET, SUITE 330
 VICTORIA, BC.
 TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
 100-20339 96 AVENUE
 LANGLEY, BC.
 TEL: 604 533 2992

LANDSCAPING:
PMG
 4185 STILL CREEK DRIVE, SUITE C100
 BURNABY, BC
 TEL: 604 294 001

CLIENT LOGO:
 
SMARTCENTRES
 REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
 3200 HIGHWAY 7, SUITE 230
 VAUGHAN, ON L4K 5Z5
 TEL: 905 326 6400

PN: PROJECT NORTH
 PN TN
 ARCHITECTURE
 REGISTERED ARCHITECT
 KIMON CHAMBERS
 2025-03-07
 BRITISH COLUMBIA
 TN: TRUE NORTH
 ARCHITECT:
 **WPT
ARCHITECTURE
INC**
 wpt@wptarchitecture.ca

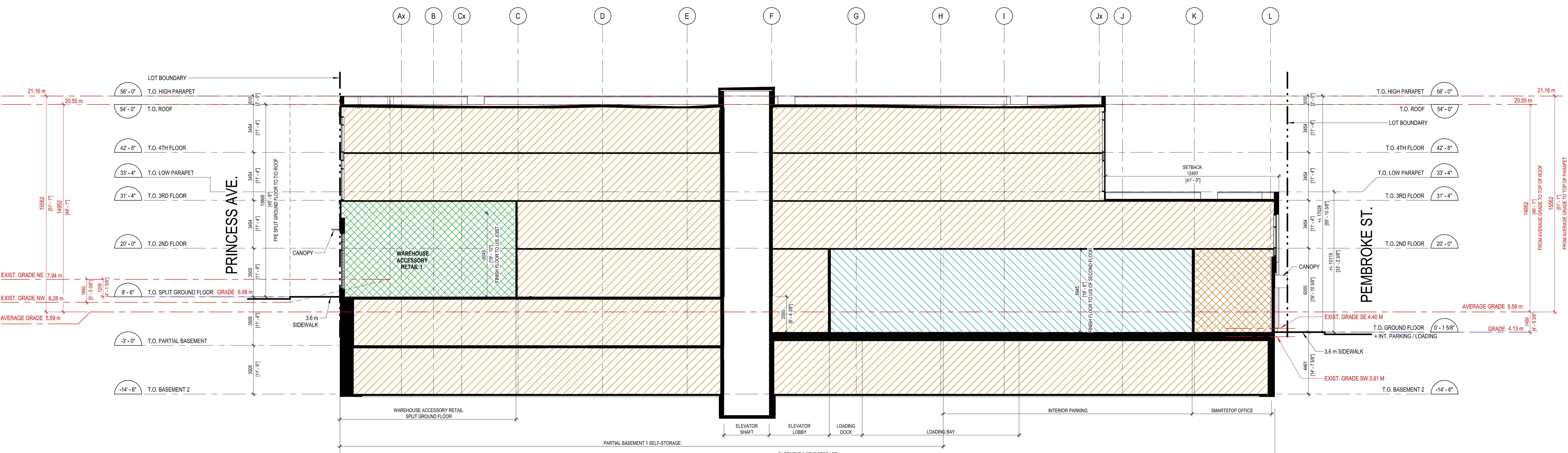
WPT PROJECT #: 2022.0076.01
 MUNICIPAL #:
 CLIENT PROJECT #:
 CLIENT CONTRACT #:
 PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
 621, 627, 629 PRINCESS AVENUE AND
 616, 624 PEMBROKE STREET
 VICTORIA, BRITISH COLUMBIA
 SHEET NAME:

EXTERIOR CONTEXT
 ELEVATIONS

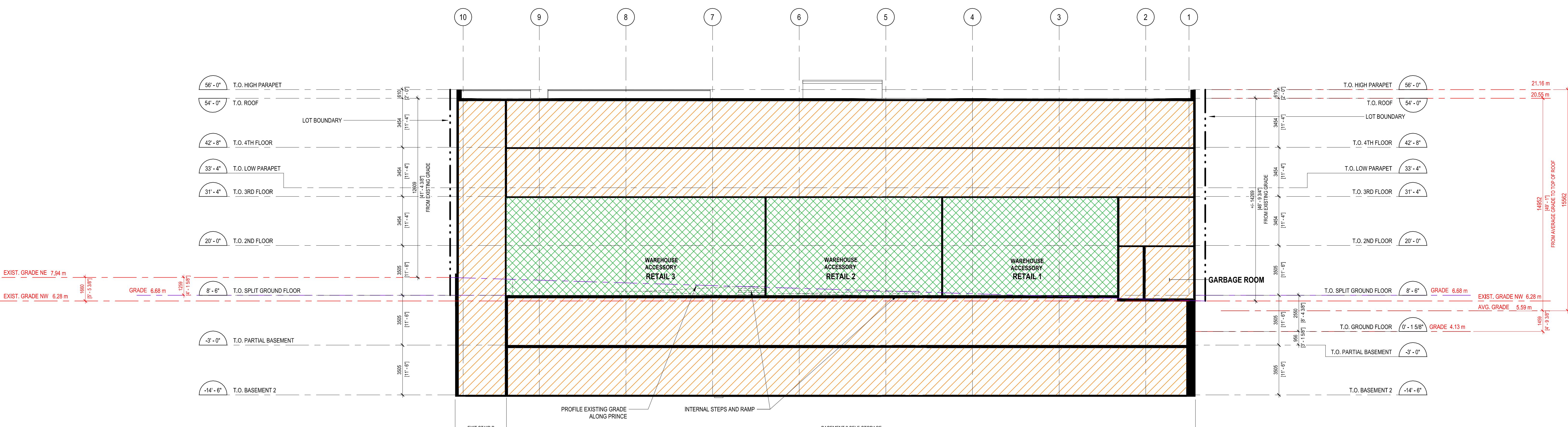
SCALE: 1:275
 DRAWN BY: KB
 SHEET #: A-212

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1.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
3.05	FOR DEVELOPMENT PERMIT
2.20	FOR DEVELOPMENT PERMIT
0.31	FOR DEVELOPMENT PERMIT
3.15	FOR DEVELOPMENT PERMIT
4.21	FOR DEVELOPMENT PERMIT
4.14	FOR DISCUSSION
4.06	FOR DISCUSSION
M-DD	REVISIONS



BUILDING SECTION 1



BUILDING SECTION 2

NOTE: ALL GRADING TO BE CONFIRMED AT SITE

1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

6:
35 STILL CREEK DRIVE, SUITE C100
BURNABY, BC

TEL: 604 294 0011

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REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5

VAUGHAN, ON, L4R 3Z3
TEL: 905 326 6400

The logo for WPT Architecture Inc. is positioned in the top right corner. It features a stylized graphic of several leaves on the left, rendered in a dark grey or black color. To the right of the graphic, the company name is written in a large, serif, black font. The text is arranged in three lines: 'WPT' on the top line, 'ARCHITECTURE' on the middle line, and 'INC' on the bottom line. A thin horizontal line extends from the bottom of the 'INC' text to the right, creating a visual separator for the contact information below.

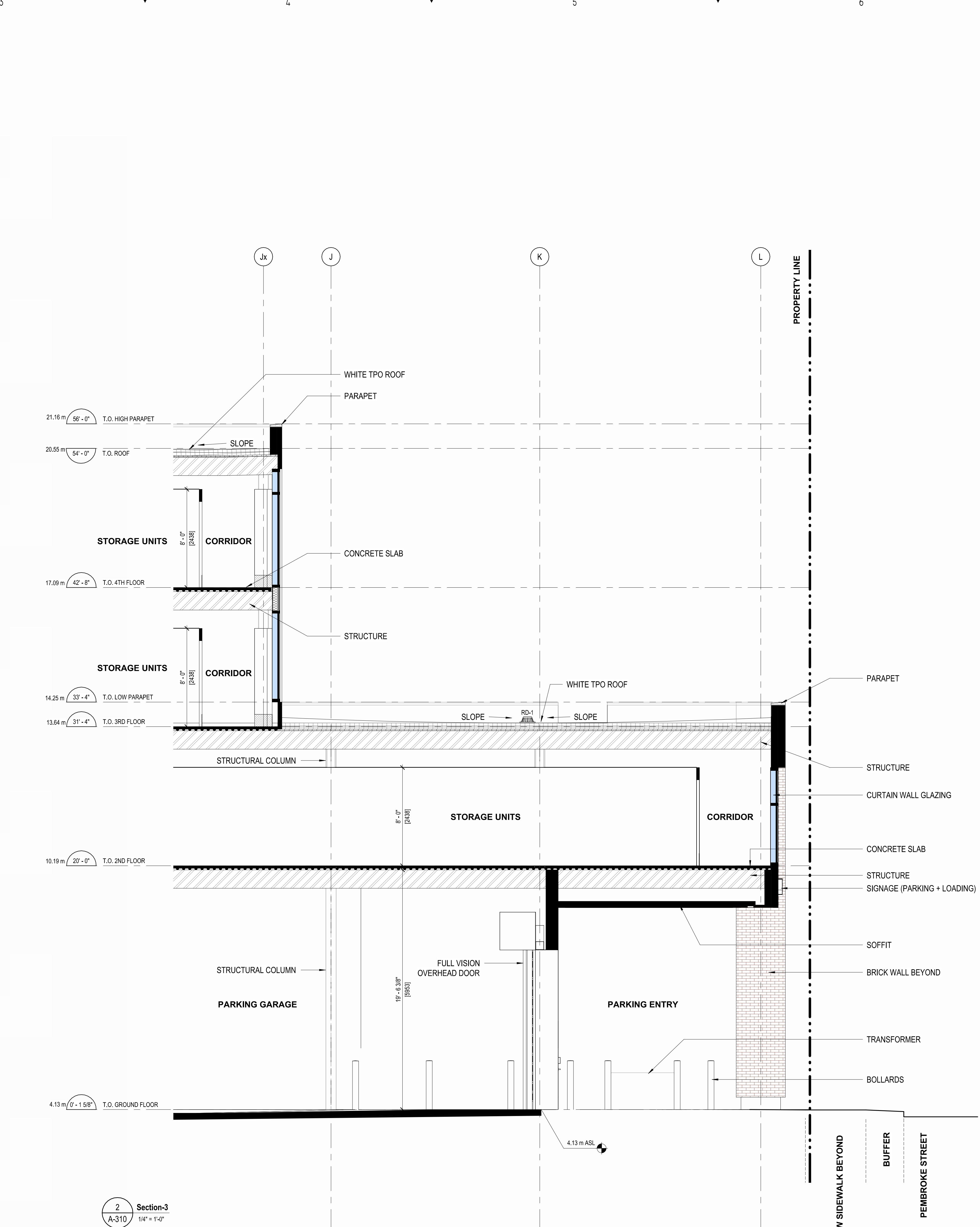
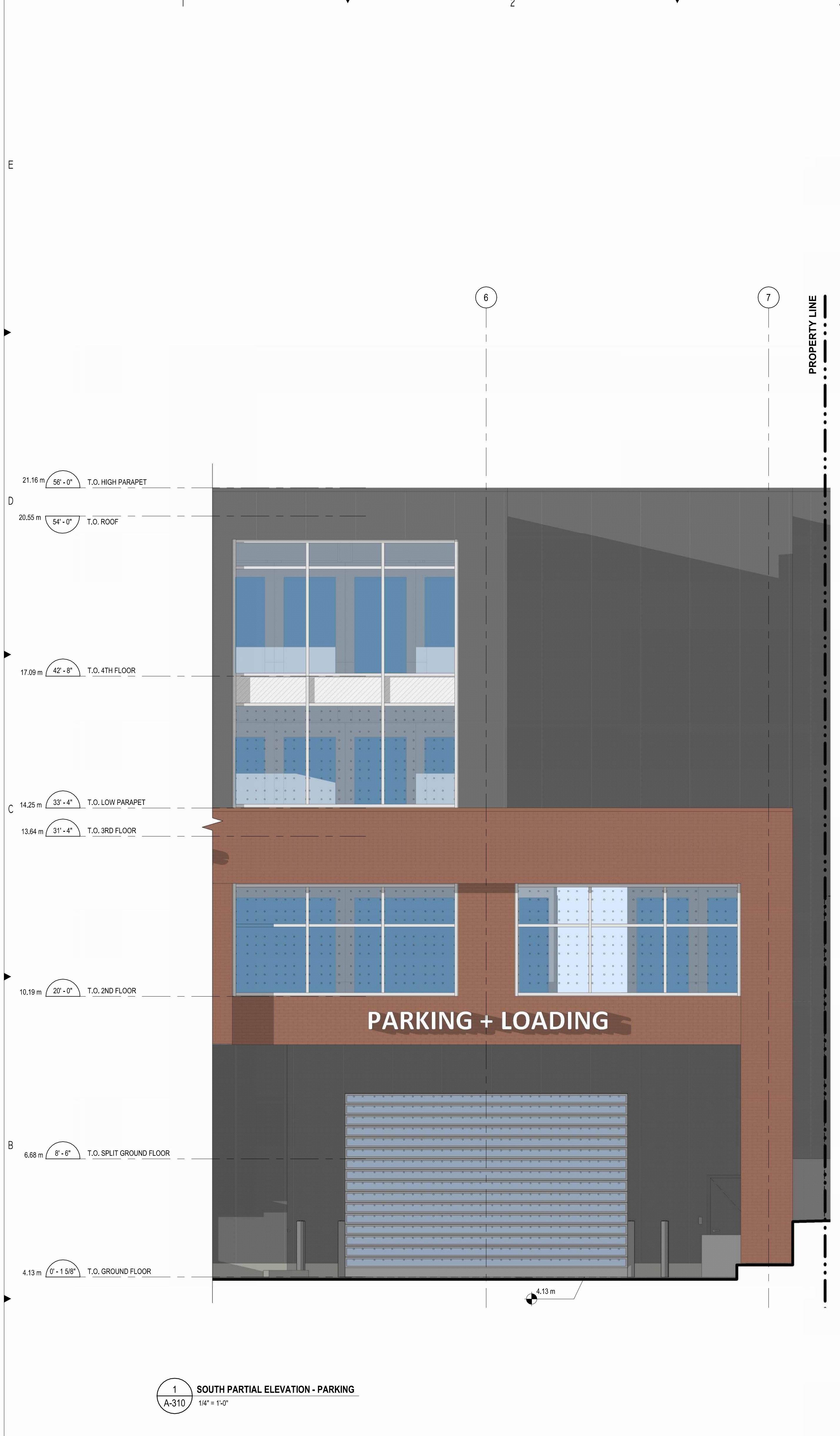
TRACT #:	MUNICIPAL #:
76.01	
TRACT #:	CLIENT CONTRACT #:

ME AND LOCATION:
IA SELF STORAGE INC
629 PRINCESS AVENUE AND

629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

BUILDING SECTIONS

SHEET #: A-300



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3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT
	#	YYYY-MM-DD REVISIONS

6 2024.11.12 ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5 2024.03.05 FOR DEVELOPMENT PERMIT
4 2023.12.20 FOR DEVELOPMENT PERMIT
3 2023.10.31 FOR DEVELOPMENT PERMIT
2 2023.08.15 FOR DEVELOPMENT PERMIT
1 2023.04.21 FOR DEVELOPMENT PERMIT
YYYY-MM-DD | REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TN
TN: TRUE NORTH
ARCHITECT:

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
PARTIAL SOUTH ELEVATION
AND SECTION

SCALE: 1/4" = 1'-0"
DRAWN BY: PM
SHEET #: A-310

NOTE: ALL GRADING TO BE CONFIRMED AT SITE

A-310



VIEW FROM PRINCESS AVENUE LOOKING SOUTH-WEST AT THE NORTH FAÇADE

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2	2023.08.15	FOR DEVELOPMENT PERMIT	
1	2023.04.21	FOR DEVELOPMENT PERMIT	
			## YYYY-MM-DD REVISIONS

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
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250 ROWNTREE DAIRY RD.
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TEL: 905 507 0800

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VICTORIA, BC.
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LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

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SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

CLIENT:
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3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
TN: TRUE NORTH
ARCHITECTURE
REGISTERED ARCHITECT
KIMON CHAN
BRITISH COLUMBIA
2025-03-07
Signature

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: SHEET #:
PM A-400



VIEW FROM PEMBROKE STREET LOOKING NORTH-WEST AT THE SOUTH FAÇADE

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6	2024.11.12	ISSUED FOR DELEGATED DEVELOPMENT PERMIT
5	2024.03.05	FOR DEVELOPMENT PERMIT
4	2023.12.20	FOR DEVELOPMENT PERMIT
3	2023.10.31	FOR DEVELOPMENT PERMIT
2	2023.08.15	FOR DEVELOPMENT PERMIT
1	2023.04.21	FOR DEVELOPMENT PERMIT

YYYY-MM-DD | REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:
QUASAR
250 ROWNTREE DAIRY RD,
WOODBRIDGE, ON.
TEL: 905 507 0800

STRUCTURAL:
RJC
1515 DOUGLAS STREET, SUITE 330
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:
PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:
SmartStop
Self Storage
SMARTCENTRES
REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
PN TN
TN: TRUE NORTH
ARCHITECT:
Signature: *Michelle Chang*

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
MUNICIPAL #:
CLIENT PROJECT #:
CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:
VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:
PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: A.F
A-401



STREET LEVEL VIEW ON PEMBROKE STREET

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WOODBRIDGE, ON.
TEL: 905 507 0800

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QUASAR
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RJC
1515 DOUGLAS STREET, SUITE 330
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REAL ESTATE INVESTMENT TRUST

CLIENT:
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH
PN TN
TN: TRUE NORTH
ARCHITECTURE
REGISTERED ARCHITECT
KIMON CHAN
BRITISH COLUMBIA
2025-03-07
Signature

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01
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VICTORIA SELF STORAGE INC
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616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA
SHEET NAME:

PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: A.F
A-402



STREET LEVEL VIEW ON PRINCESS AVENUE

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TN: TN
TN: TRUE NORTH
ARCHITECTURE
REGISTERED ARCHITECT
KIMON CHAN
BRITISH COLUMBIA
2025-03-07
Signature

WPT ARCHITECTURE INC
wpt@wptarchitecture.ca

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616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA

SHEET NAME:

PERSPECTIVE VIEW

SCALE: SHEET #:
DRAWN BY: DRAWN BY:
PM PM
A-403

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AERIAL VIEW LOOKING NORTH-EAST AT THE PROPOSED BUILDING IN CONTEXT

GENERAL NOTES TYPICAL:

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		## YYYY-MM-DD REVISIONS

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:
QUASAR
 250 ROWNTREE DAIRY RD.
 WOODBRIDGE, ON.
 TEL: 905 507 0800

MECHANICAL:
QUASAR
 250 ROWNTREE DAIRY RD.
 WOODBRIDGE, ON.
 TEL: 905 507 0800

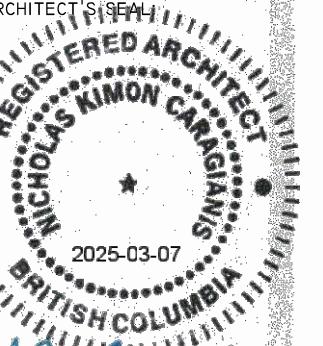
STRUCTURAL:
RJC
 1515 DOUGLAS STREET, SUITE 330
 VICTORIA, BC.
 TEL: 250 386 7794

BUILDING ENVELOPE:
WSP
 100-20339 96 AVENUE
 LANGLEY, BC.
 TEL: 604 533 2992

LANDSCAPING:
PMG
 4185 STILL CREEK DRIVE, SUITE C100
 BURNABY, BC
 TEL: 604 294 001

CLIENT LOGO:
SmartStop
 Self Storage
SMARTCENTRES
 REAL ESTATE INVESTMENT TRUST

SMARTCENTRES
 3200 HIGHWAY 7, SUITE 230
 VAUGHAN, ON L4K 5Z5
 TEL: 905 326 6400

PN: PROJECT NORTH
 TN: TN
 TN: TRUE NORTH
 ARCHITECT: 

WPT ARCHITECTURE INC
 wpt@wptarchitecture.ca

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:

CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

VICTORIA SELF STORAGE INC
 621, 627, 629 PRINCESS AVENUE AND
 616, 624 PEMBROKE STREET
 VICTORIA, BRITISH COLUMBIA

SHEET NAME:

3D ARIAL VIEW

SCALE: SHEET #:
 DRAWN BY: SHEET #:
 PM A-410

GENERAL NOTES TYPICAL:

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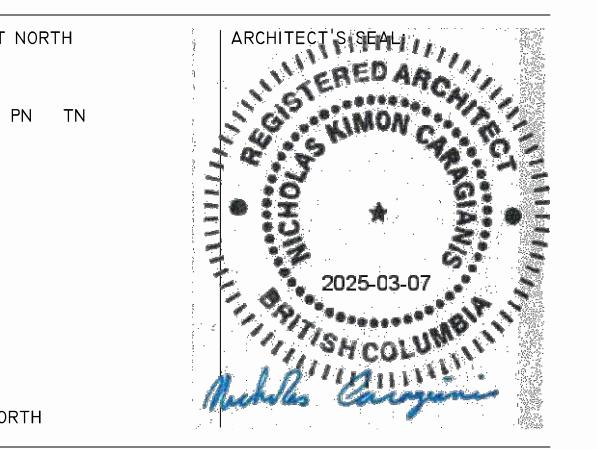


AERIAL VIEW LOOKING NORTH-WEST AT THE PROPOSED BUILDING IN CONTEXT

SCALE: SHEET #:
DRAWN BY: PM
A-411

WPT PROJECT #: 2022.0076.01 MUNICIPAL #:
CLIENT PROJECT #: CLIENT CONTRACT #:
PROJECT NAME AND LOCATION: VICTORIA SELF STORAGE INC
621, 627, 629 PRINCESS AVENUE AND
616, 624 PEMBROKE STREET
VICTORIA, BRITISH COLUMBIA
SHEET NAME:

3D ARIAL VIEW





PERSPECTIVE VIEW LOOKING NORTH-EAST AT SOUTH WEST CORNER



PERSPECTIVE VIEW LOOKING NORTH-WEST AT SOUTH EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-WEST AT NORTH-EAST CORNER



PERSPECTIVE VIEW LOOKING SOUTH-EAST AT NORTH-WEST CORNER

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1	2023.04.21	FOR DEVELOPMENT PERMIT

YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

QUASAR
250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
TEL: 905 507 0800

MECHANICAL:

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250 ROWNTREE DAIRY RD.
WOODBRIDGE, ON.
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STRUCTURAL:

RJC
1515 DOUGLAS STREET, SUITE 150
VICTORIA, BC.
TEL: 250 386 7794

BUILDING ENVELOPE:

WSP
100-20339 96 AVENUE
LANGLEY, BC.
TEL: 604 533 2992

LANDSCAPING:

PMG
4185 STILL CREEK DRIVE, SUITE C100
BURNABY, BC
TEL: 604 294 001

CLIENT LOGO:



SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON L4K 5Z5
TEL: 905 326 6400

PN: PROJECT NORTH

TN: TN

ARQUITECTO: KIMON CHAMBERS
REGISTERED ARCHITECT
BRITISH COLUMBIA
2025-03-07
Signature

TN: TRUE NORTH

ARCHITECT:



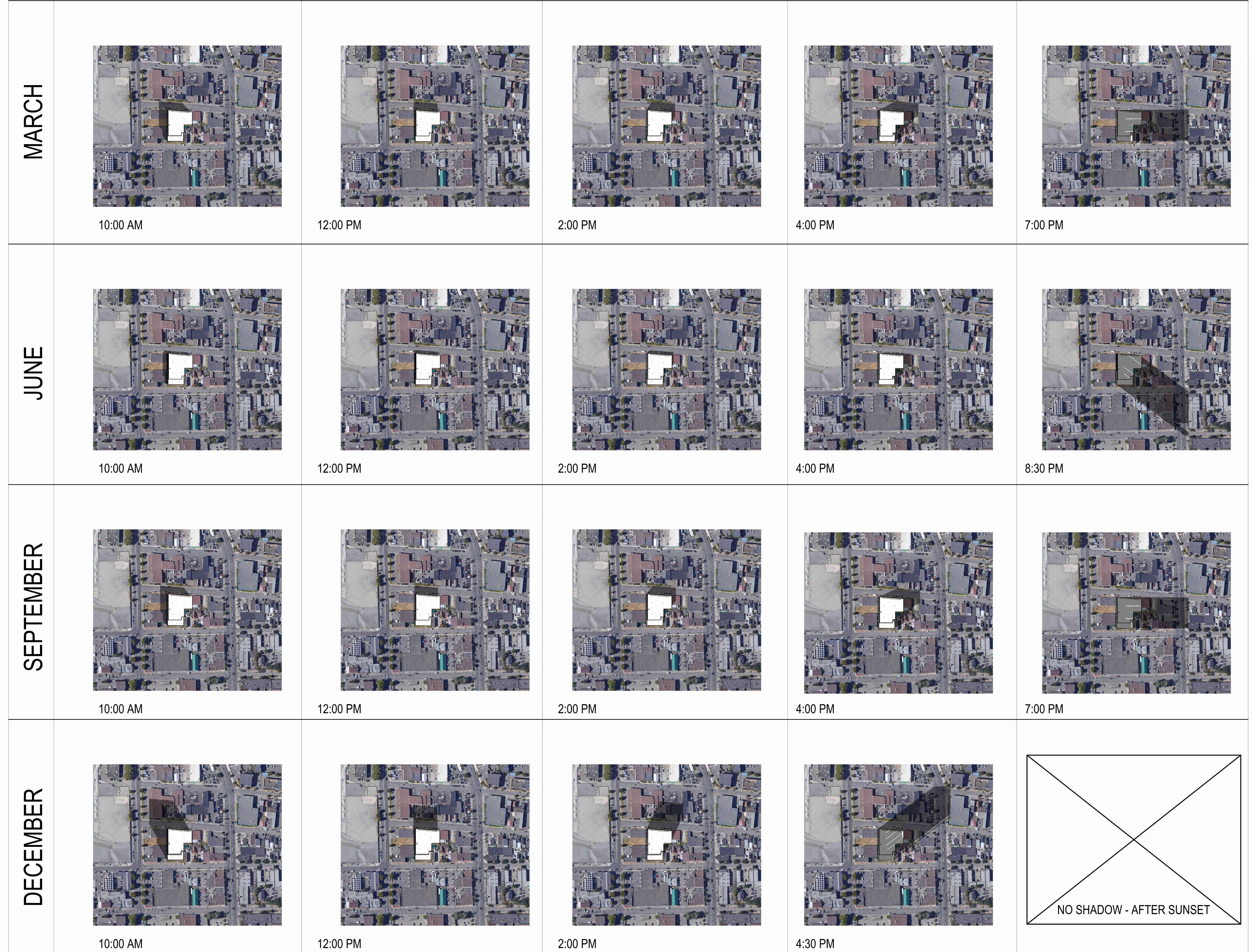
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616, 624 PEMBROKE STREET
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SHEET NAME:

3D PERSPECTIVES

SCALE: SHEET #:
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3	2023.04.21	FOR DEVELOPMENT PERMIT
2	2023.04.14	FOR DEVELOPMENT PERMIT
1	2023.04.06	FOR DISCUSSION
		# YYYY-MM-DD REVISIONS

CIVIL:

ELECTRICAL:

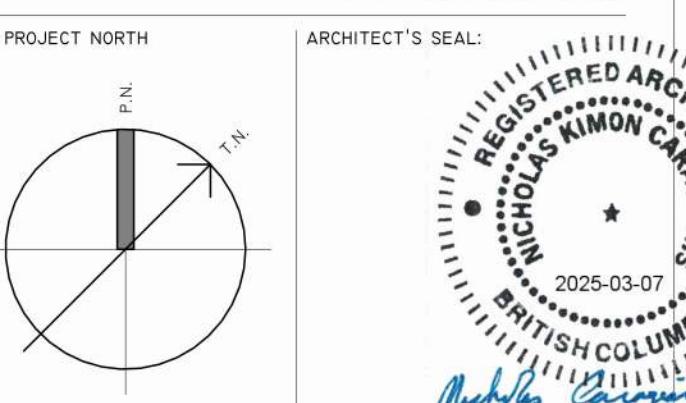
MECHANICAL:

STRUCTURAL:

PLANNING:

LANDSCAPING:
PMG LANDSCAPE ARCHITECTS
C100 4165 STILL CREEK DRIVE
BURNABY BC CANADA V5C6G9
TEL: 604.294.0011

CLIENT LOGO:
 
SMARTCENTRES
3200 HIGHWAY 7, SUITE 230
VAUGHAN, ON, L6A 5Z5
TEL: 905.326.6400

PN: PROJECT NORTH ARCHITECT'S SEAL:

TN: TRUE NORTH
ARCHITECT:


**WPT
ARCHITECTURE
INC**
wpt@wptarchitecture.ca

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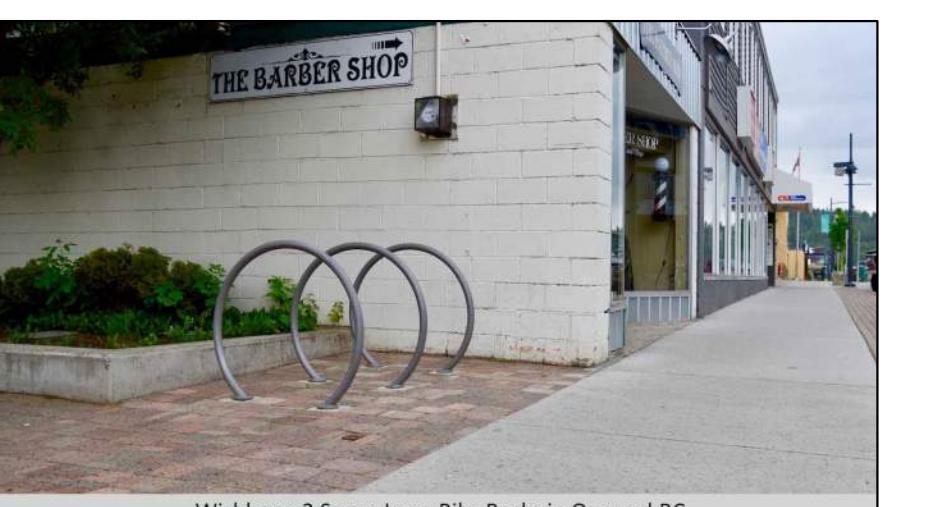
CLIENT PROJECT #: CLIENT CONTRACT #:

PROJECT NAME AND LOCATION:

**SMART STOP
DOBNEY FOUNDRY
VICTORIA, BC**
SHEET NAME:

SCALE: N.T.S. SHEET #:
DRAWN BY: A.F.

A 901



GINKGO BILoba 'PRINCETON SENTRY'

QUERCUS FRAINETTO 'SCHMIDT'

WISHBONE INDUSTRIES:
LOOP BIKE RACK - LBRP-1-SS MOUNT TO CONCRETE SIDEWALK PAD

NOTES:
CITY OF VICTORIA IRRIGATION:
1. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, MUST FOLLOW CITY OF VICTORIA SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION SCHEDULE C, BYLAW 12-042, SUBDIVISION BYLAW.
2. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION. CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48HRS NOTICE FOR IRRIGATION INSPECTIONS.
3. REQUIRED INSPECTIONS FOR IRRIGATION:
- IRRIGATION SLEEVES PRIOR TO BACKFILLING.
- OPEN TRENCH MAINLINE AND LATERAL LINES.
- PRESSURE TEST.
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).
NOTE: INSTALLATION OF WATER SERVICE TO BE AT THE EXPENSE OF THE APPLICANT. PARKS IS NOW REQUESTING THAT 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.
HARD SURFACES. INSTALLATION WHERE A 90-DEGREE BEND IS REQUIRED SHOULD BE INSTALLED USING 100MM SDR 28 GSX (22.5 DEGREE) LONG SWEEPS. PLEASE INSTALL AT 400MM DEPTH.

CITY OF VICTORIA SPECIFICATIONS:
1. STREET TREES MUST HAVE ONE DOMINANT CENTRAL LEADER OR SINGLE STRAIGHT TRUNK, 6-8CM DIAMETER CALIPER MEASURED 15CM ABOVE GROUND, AND WELL-BALANCED CROWN WITH BRANCHING STARTING AT 1.8-2.5M ABOVE GROUND. TREES MUST BE PLANTED PER THE CITY OF VICTORIA SUPPLEMENTAL DRAWING SD P5 (TREE PLANTING IN SIDEWALK WITH TREE GUARD) AND THE CANADIAN LANDSCAPE STANDARD.
2. SOIL TEST REPORT AND MEDICAL CERTIFICATE FOR THE GROWING MEDIA FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS TREETPERMITS@VICTORIA.CA FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD.
3. SCHEDULE B3-4 AND SCHEDULE C: THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW NO 12-042 AND TH ASSOCIATED SCHEDULE CAN BE FOUND ON THE CITY OF VICTORIA BYLAWS WEBPAGE.
4. PROPOSED STREET TREE LOCATIONS AND SPECIES SELECTION REQUIRES PARKS APPROVAL. PROPOSED STREET TREE LOCATIONS MUST BE INDICATED AND SHALL RESPECT THE MINIMUM OFFSETS FROM INFRASTRUCTURE OUTLINED IN VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW, SCHEDULE C. TREES PLANTED 1.0M OR LESS FROM CURBS OR SIDEWALKS ARE TO HAVE ROOT BARRIERS TO PROTECT CIVIL INFRASTRUCTURE. PLEASE CONTACT ROB HUGHES, RHUGHES@VICTORIA.CA AND ALSO COPY TREETPERMITS@VICTORIA.CA 48 HOURS PRIOR TO THE REQUIRED INSPECTION TIME TO SCHEDULE AN INSPECTION.

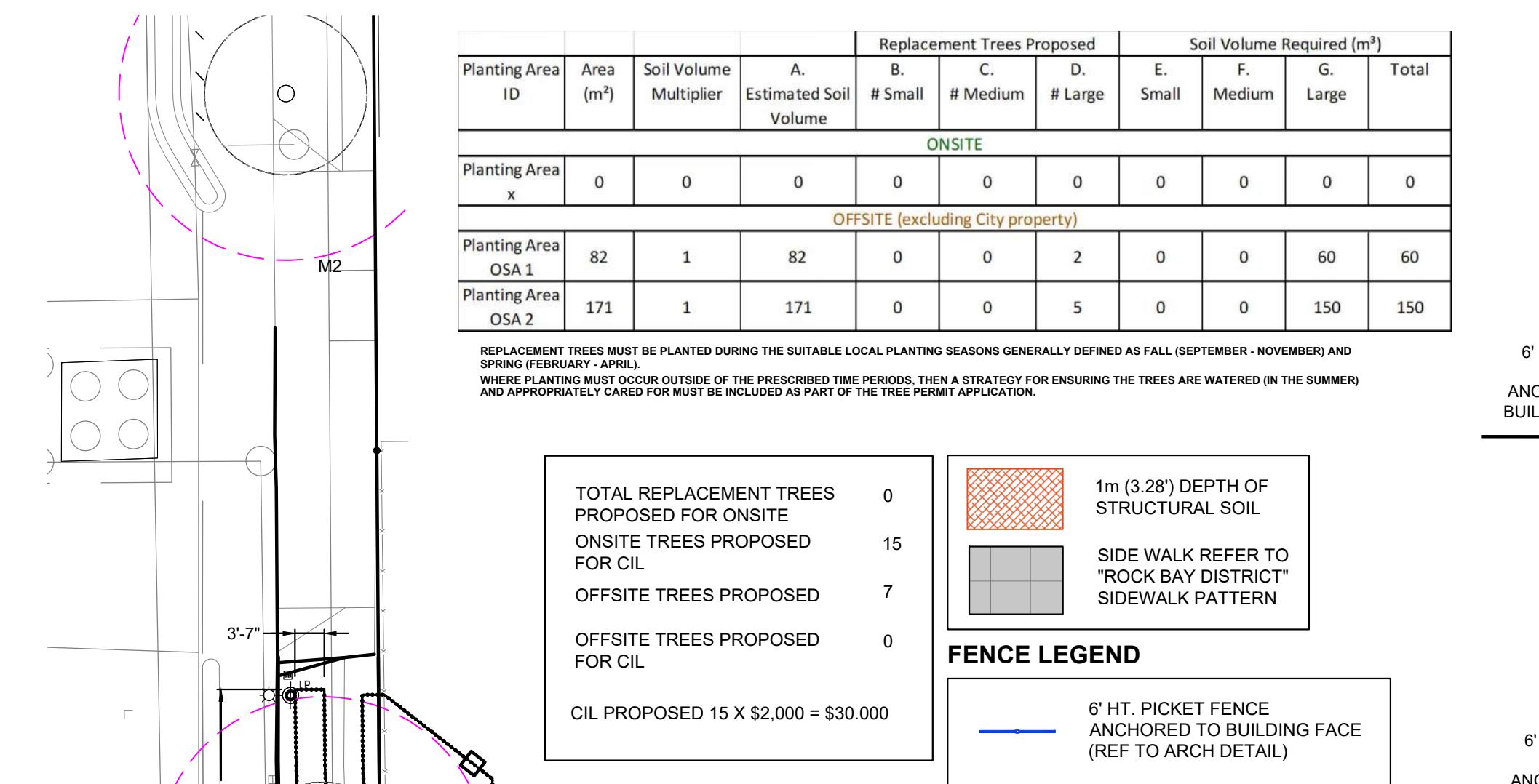
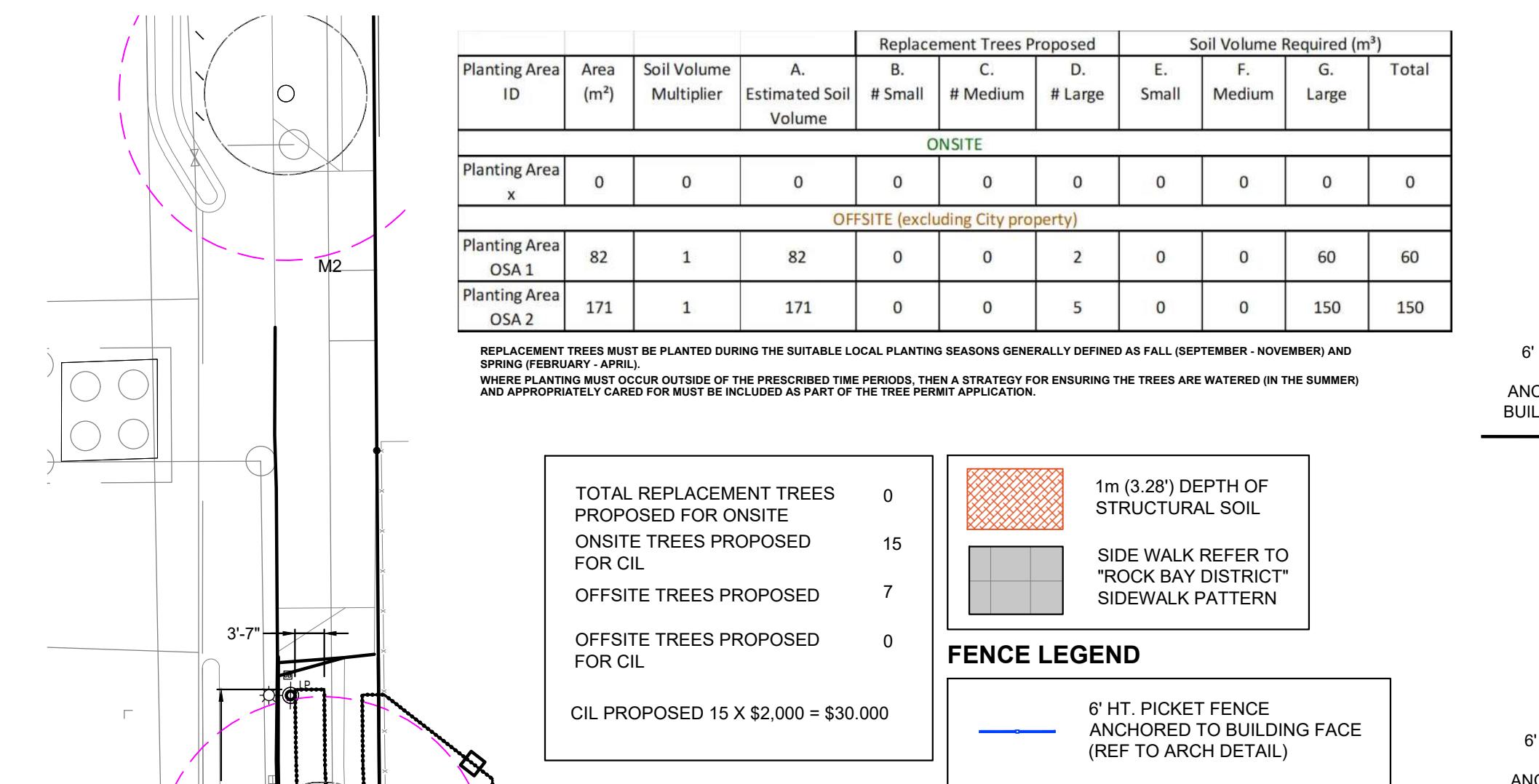
REQUIRED PARKS INSPECTIONS FOR STREET TREE PLANTING:

1. INSPECTION OF EXCAVATED TREE PITS, STRUCTURAL SOIL, ROOT BARRIERS.
2. INSPECTION OF TREE STOCK PRIOR TO PLANTING.
3. INSPECTION OF INSTALLED TREE - PLANTING, GRATE/GUARD, STAKES, ETC. TREES MUST BE IN GOOD HEALTH AND CONDITION WITH NO VISIBLE SIGNS OF DISEASE, INSECT PESTS, OR DAMAGE, AND COMPLY WITH THE LATEST VERSION OF THE CANADIAN LANDSCAPE STANDARD.

PLANT SCHEDULE										PMG PROJECT NUMBER: 23-064	
KEY	QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS	CITY OF VICTORIA SCHEDULE E SIZE						
TREE	2	GINKGO BILoba 'PRINCETON SENTRY'	PRINCETON SENTRY MAIDENHAIR HUNGARIAN OAK	7CM CAL: 2M STD: B&B 6CM CAL: 1.8M STD: B&B: CLIMATE RESILIENT	LARGE	LARGE					
	5	QUERCUS FRAINETTO 'SCHMIDT'									

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD, LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CNLIA STANDARD. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER MEASUREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * SEARCH AND REVIEW: MAKE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER MAINLAND AND FRAZER VALLEY. * SUBSTITUTIONS: OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUESTS TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY. ALL LANDSCAPE MATERIAL AND WORKMANSHIP MUST MEET OR EXCEED BC LANDSCAPE STANDARD AND CANADIAN LANDSCAPE STANDARD LATEST EDITION. ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY

NOTES:
1. CONTRACTOR TO PROVIDE DESIGN-BUILD HIGH EFFICIENCY IRRIGATION SYSTEM THAT MEETS CITY OF VICTORIA STANDARDS. DEVELOPER AND/OR LANDSCAPE ARCHITECT TO REVIEW DESIGN PRIOR TO SUBMISSION TO COV NO LESS THAN 30 DAYS PRIOR TO INSTALLATION.
2. TEMPORARY CONSTRUCTION STAGING AREA TO BE LOCATED AT 2121 GOVERNMENT STREET.



PART ONE GENERAL REQUIREMENTS

1 REFERENCES

1.1 Canadian Landscape Standard, latest edition, prepared by the Canadian Society of Landscape Architects and the Canadian Landscape & Nursery Association, jointly. All work and materials shall meet standards as set out in the Canadian Landscape Standard unless superseded by this specification or as directed by Landscape Architect with written instruction.

1.2 MASTER MUNICIPAL SPECIFICATIONS & STANDARD DETAILS, 2000 edition, prepared by the Consulting Engineers of British Columbia, Roadbuilders and Heavy Construction Association, and the Municipal Engineers Division

1.3 STANDARD FOR LANDSCAPE IRRIGATION SYSTEM, 2008 Prepared by the Irrigation Industry Association of British Columbia

1.4 MUNICIPAL BYLAWS AND ENGINEERING SPECIFICATIONS WHERE NOTED

1.5 TESTING

1.5.1 A current (not more than one month) test for all growing medium to be used on this site is required. Provide and pay for testing by an independent testing facility pre-approved by the Landscape Architect. Deliver growing medium test results to Landscape Architect for review and approval prior to placement. Refer to Section 3.4 Growing Medium Testing for procedure.

1.5.2 Owner reserves the right to test or re-test materials. Contractor responsible to pay for testing if materials do not meet specification.

1.6 SUBMISSIONS

1.6.1 Any alternate products differing from that contained in the contract documents must be pre-approved by the Landscape Architect.

1.6.2 Submittals to consist of product sample or manufacturer's product description.

1.7 SITE REVIEW

1.7.1 Before the terms of the Landscape Architect's Contract with the Owner and where the Landscape Architect is the designated reviewer, the Landscape Architect will observe construction as is necessary in their opinion to confirm conformance to the plans and specifications. Contact Owner's Representative to arrange for site observation at the appropriate times. Allow two days notice. Observation schedule may include but will not be limited to the following:

1.7.1.1 Start Up Site Meeting. General Contract. Prior to any site disturbance, a meeting with the general contractor to review tree preservation issues, general landscape issues and municipal requirements.

1.7.1.2 Site Walk-Through. Landscape Contract of Separation. At the start of work with Owner's Representative, Site Superintendent and Landscape Contractor, a meeting is to be held to review expected work and to verify the acceptability of the subgrade and general site conditions to the Landscape Contractor. Providing growing medium results for the meeting.

1.7.1.3 Pre-construction Walk-Throughs. Review of different aspects of the work may be dealt with on any site visit. Such elements may include: Site Layout, Rough Grading, Growing Medium - quality, depths, finish grading, Drainage and Irrigation Materials, Lawns or Grass areas, Planting - plant material including negotiations with suppliers, nursery inspections, plant sizes, quality, quantity, planting practice and layout, tree support, Mulch, Irrigation Systems, Play Equipment, Site furniture, and other elements of the site development where the Landscape Architect is the designated reviewer such as Pedestrian Pavings, Fencing, Non-structural walls and slabs, Soil Pavers, Irrigation Systems, etc. Accounting of all substitutions, deletions, plant counts, preparations of deficiency list, and recommendations for completion.

1.7.1.4 Certificate of Completion. Upon the declaration of Substantial Performance, a recommendation for the issuance of the Certificate of Completion will be made to the Payment Certifier as defined in the contract.

1.7.1.5 Deficiency Review. Prior to the completion of the holdback period, check for completion of deficiencies. Once completed, a Schedule 'C' will be issued where required.

1.7.1.6 Warranty Review. Prior to the completion of the warranty period (12-18 months after issuance of the Certificate of Completion), review all warranty material and report recommendations for warranty replacement.

1.8 WORKMANSHIP

1.8.1 Unless otherwise instructed in the Contract Documents, the preparation of the subgrade shall be the responsibility of the General Contractor. Placement of growing medium constitutes acceptance of the subgrade by the Landscape Contractor. Any subsequent corrections to the subgrade required are the responsibility of the Landscape Contractor.

1.8.2 All work and superintendence shall be performed by personnel skilled in landscape contracting. In addition, all personnel applying herbicides and/or pesticides shall hold a current license issued by the appropriate authorities.

1.8.3 A site visit is required to become familiar with site conditions before bidding and before start of work.

1.8.4 Confirm location of all services before proceeding with any work.

1.8.5 Notify Landscape Architect of any discrepancies. Obtain approval from Landscape Architect prior to deviating from the plans.

1.8.6 Take appropriate measures to avoid environmental damage. Do not dump any waste materials into water bodies. Conform with all federal, provincial and local statutes and guidelines.

1.8.7 Collect and dispose of all debris and/or excess material from landscape operation. Keep paved surfaces clean and repair damage resulting from landscape work. Repairs are to be completed prior to final acceptance.

1.8.8 Where new work connects with, and where existing work is altered, make good to match existing undisturbed condition.

1.9 WARRANTIES

1.9.1 Guarantee all materials and workmanship for a minimum period of one full year from the date of Certificate of Completion.

1.9.2 Refer to individual sections for specific warranties.

PART TWO SCOPE OF WORK

2.1 SCOPE OF WORK

2.1.1 Other conditions of Contract may apply. Confirm Scope of Work at time of tender.

2.1.2 Work includes supply of all related items and performing all operations necessary to complete the work in accordance with the drawings and specifications and generally consists of the following:

2.1.2.1 Removal of Existing Trees where shown on drawings.

2.1.2.2 Finishing and Landscape Drainage.

2.1.2.3 Removal of existing structures.

2.1.2.4 Testing of imported growing medium and/or site topsoil.

2.1.2.5 Supply and incorporation of additives to meet the requirements of soil test and Test One.

2.1.2.6 Preparation of planting beds, supply of plant material and planting.

2.1.2.7 Preparation of planting areas, supply of materials and seedling.

2.1.2.8 Preparation of Lawns, supply of materials and sodding.

2.1.2.9 Supply and placement of Park Benches.

2.1.2.10 SEPARATE THE Establishment Maintenance, Section 3.11.

2.1.2.12 Other work: Work other than this list, not specified by Landscape Architect.

2.2 MATERIALS

2.2.1 Growing Medium: Conform to Canadian Landscape Standard for definitions of imported and on-site topsoil. Refer to Table One below.

TABLE ONE. PROPERTIES OF GROWING MEDIUM AND LEVELS OF MODERATE AREAS			
Canadian System of Soil Classification Textural Class "Loamy Sand" to "Sandy Loam"			
Applications	Low Traffic Areas	High Traffic Areas	Planting Areas and Planters
Low Traffic Areas	Tree and Large Shrubs	Lawns	Planting Areas and Planters
High Traffic Areas			
Planting Areas and Planters			
Growing Medium Types	ZL	ZH	ZP

2.2.2 Texture

Percent Of Dry Weight of Total Growing Medium			
Coarse Gravel	0 - 1%	0 - 1%	0 - 1%
larger than 25mm			
All Gravel	0 - 5%	0 - 5%	0 - 5%
larger than 2mm			

2.2.3 Percent Of Dry Weight of Growing Medium Excluding Gravel

Percent Of Dry Weight of Growing Medium Excluding Gravel			
Sand	50 - 80%	70 - 90%	40 - 80%
larger than 0.02mm	10 - 25%	0 - 15%	10 - 25%
smaller than 0.05mm			

2.2.4 Soil

Percent Of Dry Weight of Growing Medium Excluding Gravel			
Silt	10 - 25%	0 - 15%	10 - 25%
larger than 0.002mm			
smaller than 0.005mm			

2.2.5 Clay

Percent Of Dry Weight of Growing Medium Excluding Gravel			
Clay	0 - 25%	0 - 15%	0 - 25%
smaller than 0.002mm			

2.2.6 Organic Content (coast)

Percent Of Dry Weight of Growing Medium Excluding Gravel			
Organic Content (coast)	3 - 10%	3 - 5%	10 - 20%
Organic Content (interior)	3 - 5%	3 - 5%	15 - 20%

2.2.7 Asddy (pH)

Percent Of Dry Weight of Growing Medium Excluding Gravel			
Asddy (pH)	6.0 - 7.0	6.0 - 7.0	4.5 - 6.5

2.2.8 Drainage

Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate to heavy rain or irrigation.

2.2.9 Fertilizer: An organic and/or inorganic compound containing Nitrogen (N), Phosphate (P), and Potash (soluble K) in proportions required by soil test.

2.2.10 Lime: Ground agricultural limestone. Meets requirements of the Canadian Landscape Standard.

2.2.11 Organic Additive: Commercial compost product to the requirements of the Canadian Landscape Standard, latest edition and pre-approved by the Landscape Architect. Recommended suppliers: The Answer Garden Products, Fraser Richmond Soils & Fibre, Stream Organics Management.

2.2.12 Sand: Clean, washed sand to meet the requirements of the Canadian Landscape Standard.

2.2.13 Compacted Bulk Mulch: 10mm (3/8") minus Fir/Hemlock bark chips and fines, free of chunks and sticks, dark brown in colour and free of all soil, stones, roots or other extraneous matter. Fresh orange in colour bark will be rejected.

2.2.14 Herbicides and Pesticides: If used, must conform to all federal, provincial and local statutes. Applicators must hold current licenses issued by the appropriate authorities in the area.

2.2.15 Filter Fabric: A non-biodegradable blanket or other filtering membrane that will allow the passage of water but not fine soil particles. (Such as MIRAFI 140 NL, GEOLIN NL OR AMBO 455 or alternate product pre-approved by the Landscape Architect.)

2.2.16 Drainage Piping if required: Schedule 40 PVC nominal sizes.

2.2.17 Drain Rock: Clean, round inert, durable, and have a maximum size of 19mm and containing no material smaller than 10mm.

2.2.18 Plant Material: To the requirements of the Canadian Landscape Standard. Refer to 3.9, Plants and Planting. All plant material must be provided from a certified disease free nursery. Provide proof of certification.

2.2.19 Sod: Refer to individual sections in this specification.

2.2.20 Supplier and installers of segmental block walls: To provide engineering drawings for all walls; signed and sealed drawings for all walls, individually, in excess of 12m, or combinations of walls collectively in excess of 12m. Installations must be reviewed and signed off by Certified Professional Engineer; include cost of engineering services in Tender price.

2.2.21 Miscellaneous: Any other material necessary to complete the project as shown on the drawings and described herein.

PART THREE SOFT LANDSCAPE DEVELOPMENT

3.1 RETENTION OF EXISTING TREES

3.1.1 Prior to any work on site - protect individual trees or plant groupings indicated as retained on landscape plans as vegetation retention areas.

3.1.2 In some instances the Landscape Architect will tag trees or areas to retain. Discuss tree retention areas at a start-up meeting with the Landscape Architect.

3.1.3 A physical barrier must be installed to delineate clearing boundaries. Refer to physical barrier detail. If detail not provided, comply with local municipal requirements.

3.1.4 No machine travel through or within vegetation retention areas or under crowns of trees to be retained is allowed.

3.1.5 Do not strip soil, construction materials, or excavated materials within vegetation retention areas.

3.1.6 Do not park, fuel or service vehicles within vegetation retention areas.

3.1.7 No debris fires, clearing fires or trash burning shall be permitted within vegetation retention areas.

3.1.8 No excavations, drain or service trenches nor any other disruption shall be permitted within vegetation retention areas without a review of the proposed encroachment by the Landscape Architect.

3.1.9 Do not cut branches or roots of retained trees without the approval of the Landscape Architect.

3.1.10 Any damage to existing vegetation intended for preservation will be subject to evaluation by an I.S.A. Certified Arborist using the "Guide for Plant Appraisal", Eighth Edition, 1992.

3.1.11 Replacement planting of equivalent value to the disturbance will be required. The cost of the evaluation and of the replacement planting will be the responsibility of the General Contractor and/or the personnel responsible for the disturbance.

3.1.12 In situations where required construction may disturb vegetation intended for preservation, contact Landscape Architect for review prior to commencing construction.

3.2 GRADES

3.2.1 Ensure subgrade is prepared to depths specified in Section 3.5, Growing Medium Supply, below. Where planting is indicated close to existing trees, prepare suitable planting pockets for material indicated on the planting plan. Shape subgrade to eliminate free standing water and conform to the site grading and drainage plan.

3.2.2 On slopes in excess of 31% trench subgrade across slope to 6" (15cm) minimum at 15m (5 ft) intervals minimum.

3.2.3 Scars the entire subgrade immediately prior to placing growing medium. Re-cultivate where vehicular traffic results in compaction during the construction procedures. Ensure that all planting areas are smoothly contoured after light compaction to finished grades.

3.2.4 Eliminate standing water from all finished grades. Provide a smooth, firm and even surface and conform to grades shown on the Landscape Drawings. Do not exceed maximum and minimum grades defined by the Canadian Landscape Standard.

3.2.5 Construct swales true to line and grade, smooth and free of high points. Minimum slope 2%, maximum side slopes 10%. Ensure positive drainage to collection points.

3.2.6 Slope not to exceed the following maximums: Rough Grass 31%, Lawns 4.1%, Landscape plantings 2%.

3.2.7 Finished soil/mulch elevation of building to comply with municipal requirements.

3.2.8 Inform Landscape Architect of completion of finish grade prior to placement of seed, sod, plants or mulch.

3.3 LANDSCAPE DRAINAGE

3.3.1 Related Work: Growing medium and Finish Grading, Grass areas, Trees Shrubs and Groundcovers, Planters, Curb Walls.

3.3.2 Work Included: Site finishing and surface drainage. Installation of any drainage systems detailed on landscape plans. Note: Catch basins shown on landscape plans for coordination only, confirm scope of work prior to bid.

3.3.3 Coordinate all landscape drainage work with that of site drainage. Refer to engineering drawings and specifications for connections and other drainage work.

3.3.4 Make joints tight and accurate with all joints sealed.

3.3.5 Make joints tight and accurate with all joints sealed.

3.3.6 Make joints tight and accurate with all joints sealed.

3.3.7 Make water-tight connections to existing drains, new or existing manholes or catchbasins where indicated or as directed by Landscape Architect.

3.3.8 Plug upstream ends of pipe with waterproof caps.

3.3.9 Surround and cover pipe with drain rock in uniform 150mm layers to various depths as shown in details, minimum 100mm.

3.3.10 Ensure positive drainage.

3.3.11 Back fill remainder of trench as indicated.

3.3.12 Back fill remainder of trench as indicated.

3.3.13 Protect subdrains from floatation during installation.

3.4 GROWING MEDIUM TESTING

3.4.1 Submit representative sample of growing medium proposed on this project to an independent laboratory. Provide test results to Landscape Architect prior to planting. Test results to be provided.

3.4.2 Provide all growing medium samples to the laboratory for analysis.

3.4.3 Acidic pH and quantities of lime or sulfur required to bring within specified range.

3.4.4 Nutrient levels of principle and trace elements and recommendations for required soil amendments.

3.4.5 Carbon/Nitrogen ratio.

3.5 GROWING MEDIUM SUPPLY AND PLACEMENT

3.5.1 Supply all growing medium required for the performance of the Contract. Do not load, transport or spread growing medium when it is so wet that its structure is likely to be damaged.

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PART ONE - GENERAL	
1.1 COPYRIGHT	
1. The Structural Soil specification is provided as an instrument of service and remains the property of PMG Landscape Architects. The information provided in this specification is for exclusive use by our client for the specific project noted. This information contained in this document may not be reproduced or distributed, in whole or in part, without the permission of PMG Landscape Architects.	
1.2 SCOPE OF WORK	
<p>1. The work of this section shall govern the supply of all equipment, materials and labour necessary for the preparing and placing and compacting Structural Soil Mix on a prepared sub grade.</p> <p>2. It is the intent that the structural soil mixture will provide the necessary load bearing characteristics for light load hard surface paving areas while allowing and promoting the development of tree roots. The long term goals is the promotion of healthy, long lived trees while reducing the potential negative implications of large scale root development under hard surface areas.</p> <p>3. Refer to drawings for location and dimension of structural soil mixture.</p> <p>4. All other related work as described in the drawings and/or this specification.</p>	
1.3 RELATED WORK	
<p>1. Section 02100, Landscape Requirements</p> <p>2. Section 02110, Landscape Drainage</p> <p>3. Section 02810, Irrigation System</p> <p>4. Section 02933, Sodding (Seeding)</p> <p>5. Section 02906, Planting Trees, Shrubs, and Groundcover</p>	
1.4 RELATED MASTER MUNICIPAL SPECIFICATION	
<p>1. Contractor to report all conflicts with civil engineering to Landscape Architect</p> <p>2. Section 02210, Site Grading</p> <p>3. Section 02223, Excavating, Trenching, and Backfilling</p> <p>4. Section 02226, Aggregates and Granular Materials</p> <p>5. Section 02664, Waterworks</p> <p>6. Section 02721, Storm Sewers</p> <p>7. Section 02725, Manholes and Catch Basins</p>	
1.5 STANDARDS	
<p>1. BCSLA/BCLNA Landscape Standard (most current edition)</p> <p>2. Canadian System of Soil Classification</p>	
1.6 QUALITY ASSURANCE	
<p>1. All structural soil material used in street tree planting shall be from a source approved by the Consultant and all similar materials supplied to the site shall be of similar nature and from a single source 14 days prior to supplying any material to the site, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner, at the Contractor's expense and indicating the particle size characteristics of the proposed material in written form as laid out in 2.1 of this section.</p> <p>2. All nutritive admixtures to structural soil material supplied to the site shall be from a source approved by the Consultant and all similar nutritive admixtures supplied to the site shall be of similar nature and from a single source 14 days prior to supplying any nutritive admixture, inform the Consultant of proposed source and provide a copy of an analysis undertaken by a recognized testing agency approved by the owner. The test report shall quantify and qualify the following characteristics of the proposed nutritive admixture:</p> <p>2.1 Gravel, sand and fines content each as a % of dry weight mineral</p> <p>2.2 Organic material content as a percentage of dry weight.</p> <p>2.3 Acidity (pH)</p> <p>2.4 Salinity in millimhos/cm at 25 degrees C.</p> <p>2.5 Basic fertility (total nitrogen available K, Ca, Mg, P)</p> <p>2.6 Recommendation for incorporation of necessary amendments.</p> <p>3. Provide and pay for all required testing of materials proposed for use on this project. At the Consultant's discretion, all materials may be re-tested. Contractor will be responsible for costs of re-testing if materials do not meet specification and for correction of the deficiency.</p> <p>4. Cost of imported materials shall include cost of modifications from source to ensure that these materials meet specifications.</p> <p>5. Acceptance of material at source does not preclude future rejection if material fails to conform to requirements specified.</p> <p>6. Confirm compaction of subgrade and structural soil by Geotechnical Reports from qualified Geotechnical Engineer.</p> <p>7. Aggregate Test:</p> <p>7.1 Provide source and sieve designation of intended aggregate material prior to ordering</p> <p>7.2 At the Landscape Architect's discretion, materials may be retested. Contractor is responsible for costs of testing if sample does not meet specification and for correction of any deficiency.</p> <p>7.3 Submit 2.5kk sample of stone to Landscape Architect prior to mixing. Sample should be labelled to include source of material submitted.</p> <p>8. Structural Soil Mix Design:</p> <p>8.1 Prepare sample of structural soil mix with proposed mix ratios for approval by Landscape Architect a minimum of 14 days prior to placement. Notify Landscape Architect minimum 2 days prior to mixing samples.</p> <p>8.2 Landscape Architects may request additional samples of Structural Soil mixture to be tested in the event that further refinement of the mixture is necessary.</p>	
1.7 SCHEDULING	
<p>1. Obtain approval from Consultant of schedule 14 days in advance of structural soil preparation or delivery of material to site. Co-ordination of the installation of the structural soil mixture is critical. Ensure scheduling has been co-ordinated with all consultants and related contractors.</p> <p>2. Schedule to include:</p> <p>2.1 date for commencement of preparation of structural soil at source</p> <p>2.2 sub grade preparation at site</p> <p>2.3 shipping dates</p> <p>2.4 arrival dates on site</p> <p>2.5 installation dates</p> <p>3. Schedule work to co-ordinate with installation of any drainage, irrigation, tree grate footings, lighting, paving etc.</p> <p>4. Complete work to ensure tree planting will occur under optimum conditions</p> <p>5. Do not handle or place structural soil mix in rain.</p>	
1.8 FIELD REVIEW	
<p>1. Start up meeting with Consultant is required to confirm the areas of installation and mixing. If not previously submitted, ensure growing medium sample and test report, aggregate stone sample and structural soil sample and report are supplied at the Start-up Meeting.</p> <p>2. Co-ordinate site meeting with Consultant at the following times:</p> <p>2.1 drainage installation and connection</p> <p>2.2 irrigation installation</p> <p>2.3 mixing of structural soil mixture</p> <p>2.4 installation of structural soil mixture</p> <p>2.5 sub grade preparation and layout.</p> <p>2.6 installation of trees</p> <p>3. Where materials are installed in phases, it is the contractors responsibility to inform the Consultant of critical installation times for each phase as noted in Section 1.8.2</p>	
1.9 SAMPLES	
<p>1. Provide 2 kg samples of all materials required for the preparation of structural soil minimum 14 days prior to commencement of installation. Samples of all material shall be submitted with test report from approved testing agency as per section 1.3.2 and 1.3.3</p>	
1.10 PRODUCT HANDLING	
<p>1. All materials used in the composition of structural soil shall not be prepared, worked or traveled upon when in a wet or frozen condition.</p> <p>2. Supply and handle dolomite lime, fertilizer, stabilizer and other chemical amendments in standard, sealed, waterproof containers with net weight and product analysis clearly marked on exterior of package.</p>	
1.11 DELIVERY, STORAGE AND PROTECTION	
<p>1. For structural soil prepared at source and delivered to site, deliver all materials to site in such a manner as to prevent damage to or separation of all materials used in the preparation of structural soil.</p> <p>2. On-site storage of prepared structural soil shall be undertaken in such a manner as to prevent damage or separation of any materials.</p> <p>3. Structural soils to be installed as soon as practicable after mixing, any structural soils stored overnight whether on-site or at source shall be covered with tarpaulin of material approved by the Consultant until such time as materials installed.</p> <p>4. All material to be stockpiled shall be protected in accordance with B.C. Ministry of Environment guidelines.</p>	

PART TWO - PRODUCTS																							
2.1 GROWING MEDIUM																							
<p>1. TABLE ONE:</p> <p>1.1 Provide all growing medium required to complete the work.</p> <p>1.2 Comply with the requirements of Table 1, below</p> <p>1.3 Organic material in the growing medium must be well decomposed to prevent oxygen consumption caused as a result of decomposition of the organic matter in the soil mixture.</p>																							
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2.2 AGGREGATE																							
<p>1. Clean inert stone of high angularity is preferred over washed gravel.</p> <p>2. Stone dimension aspect ratio should approach 1:1 with a maximum of 2:1 length: width: depth.</p> <p>3. Single size stone, 75mm clear sieve designation Blasted Quarry Rock.</p> <p>4. Aggregate to be used for structural soil shall be free of any foreign elements or material. Provide samples and test reports as described in section 1.5 and 1.8</p> <p>5. Aggregate quality: Material shall be sound hard, durable, free from soft, thin, elongated or laminated particles, organic material, clay lumps or material, or other substances that would act in a deleterious manner or use intended.</p>																							
2.3 SOIL STABILIZER																							
<p>1. A non-toxic organic binder.</p> <p>Product: Stabilizer, The Original Natural Binder, as available from Veratec, Aldergrove, BC. 604-607-3002 (Or approved equal)</p>																							
2.4 GRANULAR BASE																							
1. To Master Municipal Specification Section 02226, Aggregates and Granular Materials.																							
2.5 PAVING MATERIALS																							
1. Refer to architectural drawings.																							
2.6 FILTER FABRIC																							
<p>1. Non Woven filter fabric shall be installed as a separation layer directly above the compacted structural soil mixture. Do not install fabric until adequate compaction of the structural soil mixture has been confirmed.</p> <p>2. Filter fabric shall be selected and designed to withstand wear and tear during construction without deterioration of its strength and filtering properties. Conform to the following ASTM designations:</p> <p>- Grab Tensile Strength ASTM-D-632 400 kN</p> <p>- Tensile Elongation ASTM-D-632 50%</p> <p>- Static CBR Puncture Test ASTM-D-6241</p> <p>- Flow Rate ASTM-D-4491 610 l/min/m²</p> <p>3. Fabric shall be Amoco 4545 or approved equivalent.</p>																							
3.1 SUB GRADE																							
<p>1. Excavate sub grade to establish tree pit / trench as indicated on contract drawings. Place the structural soil under the paving adjacent to the planting pits, NOT in the planting pits themselves.</p> <p>2. Areas designated as structural soil tree pits for street tree planting shall be prepared to ninety-five percent (95%) Modified Proctor Density and shall be free of stones, debris, root branches, toxic materials, building materials and other deleterious materials to the approval of the civil engineer.</p>																							
3.2 PREPARATION OF EXISTING GRADE																							
<p>1. Verify that grades are correct. If discrepancies occur, notify Consultant and do not commence work until directed.</p> <p>2. Excavate trench to Master Municipal Specification Section 02223, Trenching, Excavation and Compaction allowing for design depth and width of structural soil mix.</p> <p>2.1 Refer to contract drawings for areas to be treated and to details for dimensions</p> <p>2.2 Compact to 95% Modified Proctor Density</p> <p>2.3 Subgrade elevations shall slope parallel to the finished grades and/or toward the subsurface drain lines as indicated on the civil engineering drawings.</p> <p>4. Do not proceed with the installation of the structural soil material until all walls, curbs, and utility work in the area has been installed. Structural elements or design features that are dependent on the structural soil mixture for support may be postponed until after the installation of the mixture.</p> <p>5. Re-compact disturbed subgrade to requirements of master municipal specifications and civil engineering drawings.</p>																							
3.3 SUB DRAINS																							
<p>1. Install to requirements of Master Municipal Specifications. Refer to Section 02664, Waterworks, Section 02721, Storm Sewers, and Section 02725, Manholes and Catch Basins</p> <p>1.1 Install prior to installation of the structural soil mixture.</p> <p>1.2 Co-ordinate all contract drainage work with other drainage on-site</p> <p>1.3 Confirm location of storm sewer connections with civil engineer</p>																							
3.4 IRRIGATION																							
<p>1. Install to requirements of Section 02810, Irrigation System. Refer also to Irrigation Drawings.</p> <p>1.1 Install irrigation main lines in co-ordination with installation of the structural soil. Confirm timing at start-up meeting</p> <p>1.2 Co-ordinate all contract irrigation work with other civil engineering and drainage on-site</p> <p>1.3 Confirm location of irrigation connections with civil engineer</p>																							
3.5 MIXING STRUCTURAL SOIL MATERIAL																							
<p>1. Ensure consistent even distribution of all components by thorough mixing. The ratio of components will vary and may require adjustment to ensure the soil volume is adequate to fill all voids in the stone.</p> <p>2. Base Ratio of Materials:</p> <p>- 4 cu metre of aggregate stone section 2.2</p> <p>- 1.75 cu metre of Growing Medium section 2.1</p> <p>× Water as required</p> <p>× The amount of water required will vary according to moisture present in growing medium.</p> <p>3. Combine the stone, growing medium and Stabilizer product into a thorough, homogeneous mixture. Moisten mixture with fine spray of clean potable water while mixing to activate Stabilizer product.</p>																							
3.6 MIXING																							
<p>1. Do not OVER MIX, OVER HANDLING can result in separation of the growing medium from the stone. Further and final mixing will occur during the placement of the material.</p> <p>2. All mixing shall be performed on a flat hard, level surface approved by the consultant, using the appropriate soil mixing equipment.</p> <p>3. Prepare sample Structural Soil Mixes to determine ratio of mix components. Submit sample with test results for approval.</p>																							

PART THREE - EXECUTION (cont)	
3.7 PLACEMENT	
<p>1. Subgrade shall be approved by the Consultant prior to placement of the structural soil mixture.</p> <p>2. Structural soil shall be moist, but not saturated with water when placed. Placement shall be handled to avoid damage to drainage structures, irrigation equipment, concrete structure or pavement.</p> <p>3. Place Stone mixture in 300mm lifts through entire area of structural soil mixture.</p> <p>4. Compact each lift of structural soil material with vibrating drum roller to the satisfaction of the civil engineer.</p> <p>5. Provide Geotechnical Report to confirm compaction. Test to ensure uniform, acceptable compaction rates have been achieved for each lift and in all areas of structural soil mixture. Refer to Quality Assurance, section 15</p> <p>6. Provide a uniformly firm and level surface allowing for specified depths of road base and / or growing medium to meet finished design grade.</p> <p>7. Installation of structural soil in the location of the tree is not recommended. Various techniques such as reinforced wood boxes, steel boxes, large diameter PVC pipe, etc. have been employed to allow for sand to be installed at the tree location with the compacted structural soil surrounding the hole. At the time of tree installation, the sand is removed and growing medium (as per Section 2.1) added to surround the root ball.</p>	
3.8 INSTALLATION OF FILTER FABRIC	
<p>1. After approval of structural soil mixture compaction, install Filter Fabric.</p> <p>2. Ensure minimum 60cm overlap of all fabric seams and beyond edge of structural soil.</p>	
3.9 GRANULAR BASE MATERIAL	
<p>1. Place minimum 75 mm granular base on top of filter fabric over structural soil layer.</p> <p>2. Compact granular base to 95% Modified Proctor Density. Compaction must be consistent with other surrounding granular base materials.</p> <p>3. All areas shall be graded to the contours and elevations indicated on the contract drawings. Ensure positive drainage.</p>	
3.10 PROTECTION	
<p>1. Protect existing conditions from damage or staining and make good any damage.</p> <p>2. All damage will be repaired at the expense of the installation contractor.</p>	
3.11 TREE PLANTING	
<p>1. Remove structural soil or other backfill material (sand, see comments in section 3.7.1) from the full dimensions of the tree grate area (1.2m x 1.2m x depth of root ball).</p> <p>2. Re compact all material below root ball to original specified density to prevent settling of the root ball in the hole.</p> <p>3. Ensure tree is planted in the exact centre of the specified planting station straight and true.</p> <p>4. Install tree in accordance with BCSLA Landscape Standard. Cut away synthetic root ball twine, cut back improperly sized wire baskets, pull back burlap from around trunk etc.</p> <p>5. Backfill with Growing Medium as per Section 2.1. Ensure the same growing medium used in the structural soil mix is installed as backfill material.</p> <p>6. Place 50mm depth composted fir/hem bark mulch over the top of the open tree pit area.</p>	
3.12 TREE GRATES	
1. Site Furniture and to contract drawings for tree grates, frames and footings.	
3.13 ACCEPTANCE	
<p>1. Consultant shall inspect structural soil "in place" and determine acceptance of material, and finish grading prior to paving.</p> <p>2. Finish grade shall be to within 15mm of proposed grades within 3.0m of any adjacent fixed elevation and to within 15mm of proposed grades over any other 3.0 length. Finish grades shall not be uniformly high or low.</p>	
3.14 SURPLUS MATERIAL	
<p>1. Remove all excess fill soils and mix stock piles and dispose of all waste materials, trash and debris from the site.</p> <p>2. Clean up any soil or dirt spilled on any paved surface at the end of each working day.</p> <p>3. Upon completion of the structural soil mixture installation. Leave area broom-clean. Avoid washing the area until all of the paving has been completed.</p>	
3.15 PROJECT	
<p>1. 19. 25.MAR.05 REV. PER NEW SITE PLAN BA</p> <p>18. 25.JAN.15 REV. PER CITY COMMENTS JL</p> <p>17. 24.NOV.21 NEW SITE PLAN JL</p> <p>16. 24.NOV.12 NEW CIVIL PLAN JL</p> <p>15. 24.OCT.25 NEW SITE PLAN JL</p> <p>14. 24.OCT.21 ISSUED FOR PERMIT COMMENTS JL</p> <p>13. 24.OCT.07 RE-ISSUED FOR TENDER JL</p> <p>12. 24.SEP.24 ISSUED FOR TENDER JL</p> <p>11. 24.SEP.19 UPDATE FOR COMMENTS JL</p> <p>10. 24.AUG.26 UPDATE PER COMMENTS CLG</p> <p>9. 24.APR.05 REV. PER NEW SITE PLAN BA</p> <p>8. 24.MAR.22 UPDATE BUILDING PLAN BA</p> <p>7. 24.FEB.29 REV. PER CITY COMMENTS BA</p> <p>6. 24.FEB.27 REV. PER CITY COMMENTS BA</p> <p>5. 24.JAN.24 REV. PER PARKS COMMENTS BA</p> <p>4. 23.DEC.18 SITE PLAN/CITY COMMENTS BA</p> <p>3. 23.OCT.30 SITE PLAN/CITY COMMENTS BA</p> <p>2. 23.JUL.21 SHIFT TREE/ ADD SOIL VOLUM</p>	