

TELUS OCEAN

ISSUED FOR REZONING AND DEVELOPMENT PERMIT APPLICATION

2020.07.15



DRAWING LIST

ARCHITECTURAL

SHEET NUMBER	SHEET NAME	LAST ISSUANCE DATE
A000	COVER SHEET	2020.07.15
A001	SITE-EXISTING	2020.07.15
A010	SITE PLAN	2020.07.15
A011	SITE PLAN - GROUND PLANE	2020.07.15
A101	PLAN - LEVEL P3 - REZONING	2020.07.15
A102	PLAN - LEVEL P2 - REZONING	2020.07.15
A103	PLAN - LEVEL P1 - REZONING	2020.07.15
A104	PLAN - LEVEL 1 - REZONING	2020.07.15
A105	PLAN - LEVEL 1 - MEZZANINE - REZONING	2020.07.15
A106	PLAN - LEVEL 2 - REZONING	2020.07.15
A107	PLAN - LEVEL 3 - REZONING	2020.07.15
A108	PLAN - LEVEL 4 - REZONING	2020.07.15
A109	PLAN - LEVEL 5 - REZONING	2020.07.15
A110	PLAN - LEVEL 6 - REZONING	2020.07.15
A111	PLAN - LEVEL 7 - REZONING	2020.07.15
A112	PLAN - LEVEL 8 - REZONING	2020.07.15
A113	PLAN - LEVEL 9 - REZONING	2020.07.15
A114	PLAN - LEVEL 10 - REZONING	2020.07.15
A115	PLAN - LEVEL 11 - REZONING	2020.07.15
A116	PLAN - UPPER ROOF - REZONING	2020.07.15
A301	ELEVATION - WEST - REZONING	2020.07.15
A302	ELEVATION - EAST - REZONING	2020.07.15
A303	ELEVATION - SOUTH - REZONING	2020.07.15
A304	CONTEXT ELEVATIONS - REZONING	2020.07.15
A401	SECTION A - REZONING	2020.07.15
A402	SECTION D - REZONING	2020.07.15
A403	SECTION F - REZONING	2020.07.15
A1000	SHADOW STUDIES - SPRING EQUINOX	2020.07.15
A1001	SHADOW STUDIES - SUMMER SOLSTICE	2020.07.15
A1002	SHADOW STUDY - FALL EQUINOX	2020.07.15
A1003	SHADOW STUDY - WINTER SOLSTICE	2020.07.15

CONSULTANT LIST

ARCHITECTURAL DAVID DOW, DIAMOND SCHMITT ARCHITECTS 384 ADELAIDE STREET WEST, SUITE 100, TORONTO, ON, M5V 1R7 (604) 862-8800 X 269, DDOW@DSAI.CA	LANDSCAPE KELTY MCKINNON, PFS STUDIO 1777 WEST 3RD AVENUE, VANCOUVER, BC, V6J 1K7 (604) 736-5168 X 138, KMCKINNON@PFS.BC.CA
CIVIL CARL WILKINSON, J.E. ANDERSON & ASSOCIATES 4212 GLANFORD AVENUE, VICTORIA, BC, V8Z 4B7 (250) 727-2214, CWILKINSON@JEANDERSON.COM	TRANSPORTATION JASON POTTER, BUNT & ASSOCIATES ENGINEERING LTD. SUITE 530, 645 FORT STREET, VICTORIA, BC, V8W 1G2 (250) 592-6122, JPOTTER@BUNTENG.COM
STRUCTURAL CLINT PLETT, READ JONES CHRISTOFFERSEN, LTD. (778) 746-1125, CPLETT@RJC.CA	MECHANICAL ANDY CHONG, INTEGRAL GROUP SUITE 101, 1019 WHARF STREET, VICTORIA, BC, V8W 2Y9 (250) 418-1288 X 5001, ACHONG@INTEGRALGROUP.COM
ELECTRICAL ANCA COJOCARU, INTEGRAL GROUP SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1S4 (604) 687-1800 X 2097, ACOJOCARU@INTEGRALGROUP.COM	SUSTAINABILITY EMILY CODLIN, INTEGRAL GROUP SUITE 180, 200 GRANVILLE STREET, VANCOUVER, BC, V6C 1S4 (604) 687-1800 X 2040, ECODLIN@INTEGRALGROUP.COM
COVER SHEET FRANK MATTIA, LMDG 4TH FLOOR, 780 BEATTY STREET, VANCOUVER, BC, V6B 2M1 (604) 682-7146 X 419, FMATTIA@LMDG.COM	

CIVIC ADDRESS:
749 DOUGLAS STREET, VICTORIA, BC

LEGAL DESCRIPTION:
LOT 1 OF LOTS 207, 209, 210, 228, AND 1270B
VICTORIA, PLAN 31886

PROJECT DETAILS

EXISTING ZONING: CA-4

EXISTING USE: CAR RENTAL & PARKING LOT

PROPOSED USE: OFFICE & COMMERCIAL

Project Information Table	
Zone (Existing)	CA-4
Proposed zone or site specific zone If unsure, state "new zone"	New zone
Site area (m²)	2581.95
Total floor area (m²)	14378.96
Commercial floor area (m²)	354.79
Floor space ratio	5.57
Site coverage (%)	69.45%
Open site space (%)	47.87%
Height of building (m)	53.21
Number of storeys	11
Parking stalls (number) on site	127
Bicycle parking number (Class 1 and Class 2)	100+40
Building Setbacks (m)	
Front yard	2.00 (Douglas Street to overhang)
Rear yard	5.66 (Penwell Connection)
Side yard (indicate which side)	0.19 (Humboldt Street to overhang)
Side yard (indicate which side)	n/a
Combined side yards	n/a
Residential Use Details	
Total number of units	n/a
Unit type e.g., 1 bedroom	n/a
Ground-oriented units	n/a
Minimum unit floor area (m²)	n/a
Total residential floor area (m²)	n/a

Vehicle parking requirements in Core Area			
Use	Floor Area (sm)	Ratio (stall / sm)	Stalls req'd
Office	9446.95	1/70	135
Medical Office	1456	1/50	30
Restaurant	360	1/40	9
Retail	93.46	1/80	2
176			

Bicycle parking requirements		Long term		Short term	
Use	Floor Area (sm)	Ratio (stall / sm)	Stalls req'd	Ratio (stall / sm)	Stalls req'd
Office	9446.95	1/150	63	1/400	24
Medical Office	1456	1/200	8	1/300	5
Restaurant	360	1/400	1	1/100	4
Retail	93.46	1/200	1	1/200	1
long term:		73		short term:	
				34	

OPEN SITE SPACE		SITE COVERAGE	
Structure & Driveways		Main Building Area Footprint (m2) =	
Main Building Area Footprint (m2) =		1586.97	
Parking Ramp (m2)=		Parking Entry Above 1.2m (m2)=	
O		206.12	
Driveways (m2)=		Total (m2)	
62.09		1793.09	
Total (m2)		Lot Area (m2)	
1346.09		2581.95	
A		Site Coverage = A/B *100%=	
Lot Area (m2)		69.45%	
2581.95		B	
Open Area (m2) = B-A		C	
1235.86			
Open Site Space = C/B * 100%=		47.87%	

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No.	Date	Description
2	2020.07.15	Rezoning-DP Application



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Tel: 416 862 8800 Fax: 416 862 5508 info@dsai.ca www.dsai.ca

TELUS OCEAN

749 Douglas St, Victoria, BC

COVER SHEET

Scale:
Project No: 1911
Date: 2019/08/13

A000

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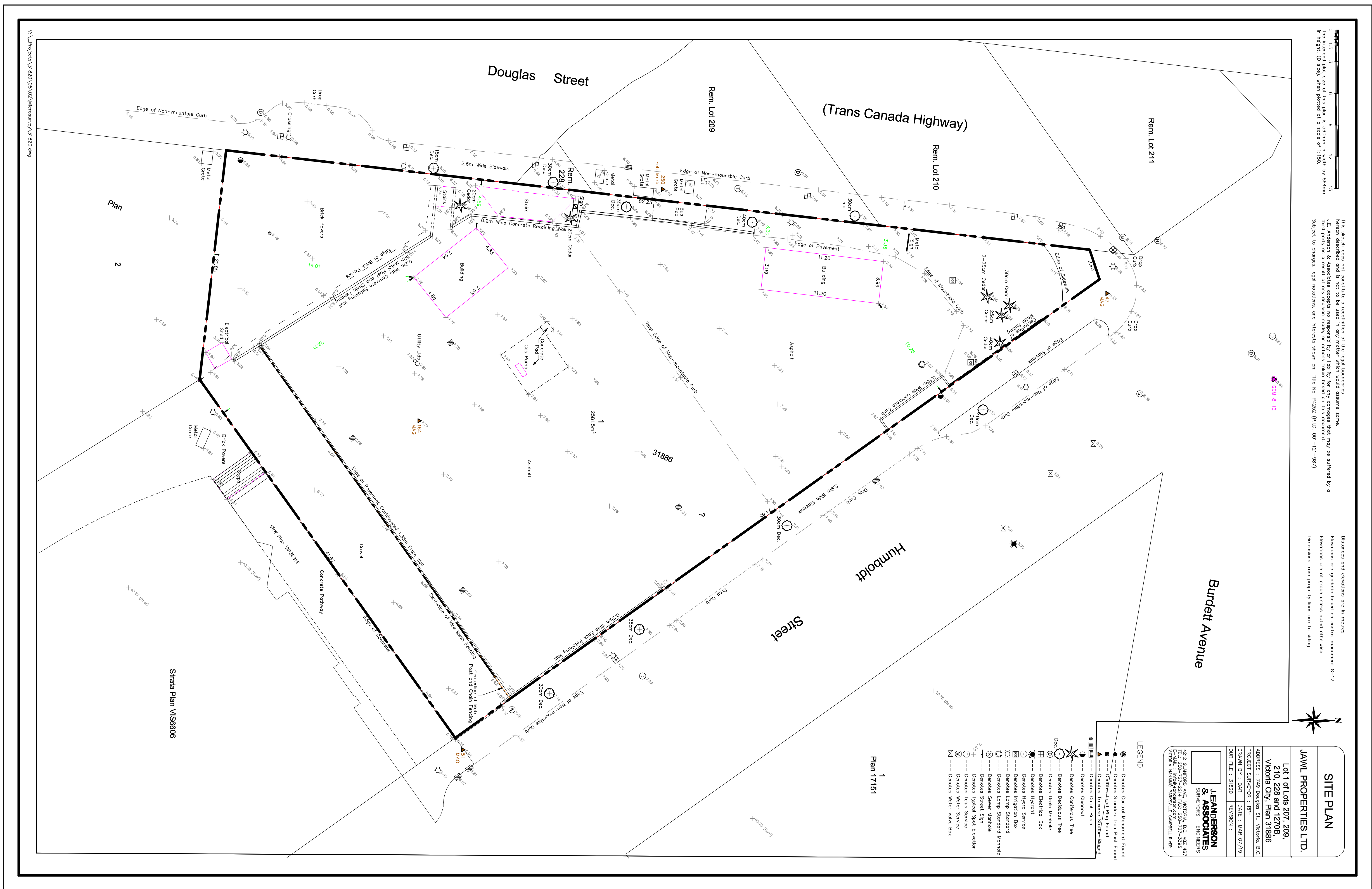
767 Douglas St, Victoria, BC

SITE-EXISTING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

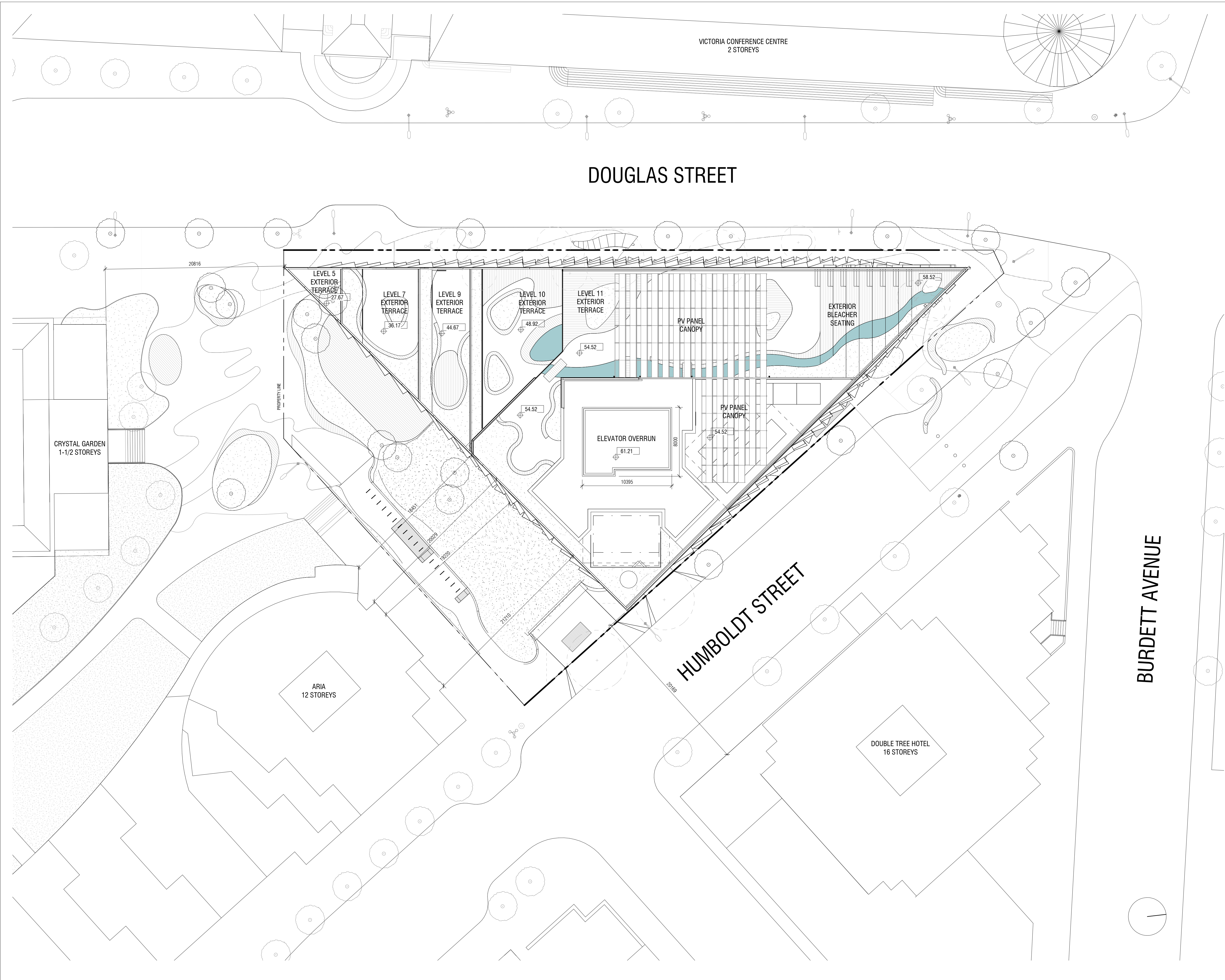
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LEGEND - PLAN SYMBOLS:

- EXISTING TREE
- DEMOLISHED TREE
- NEW TREE

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SITE PLAN

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A010



AVERAGE GRADE CALCULATIONS

Finished Grade (FG) Grade Points	Natural Grade (NG) Grade Points	Selected Grade Grade Points
A 7	6.38	6.38
B 6.80	6.36	6.36
C 7.00	6.37	6.37
D 7.00	6.37	6.37
E 7.00	6.51	6.51
F 7.9	7.67	7.67
G 7.9	7.9	7.90
H 7.45	7.4	7.40
I 7.47	7.32	7.32
J 7.32	7.16	7.16
K 7.00	6.6	6.60
L 7.00	6.8	6.80
M 7.00	6.36	6.36
N 7.00	6.41	6.41

Calculation Grade Points	Average of Points	Distance Between Points	Totals
A & B	(6.38+6.3...)	x 11.60	73.89
B & C	(6.36+6.37...)	x 3.45	21.96
C & D	(6.37+6.37...)	x 6.05	38.54
D & E	(6.37+6.51...)	x 3.45	22.22
E & F	(6.51+7.67)...)	x 33.79	239.57
F & G	(7.67+7.90...)	x 4.88	37.99
G & H	(7.90+7.40...)	x 36.38	278.31
H & I	(7.40+7.32...)	x 3.99	29.37
I & J	(7.32+7.16)...)	x 7.06	51.11
J & K	(7.16+6.60...)	x 28.67	197.25
K & L	(6.60+6.8...)	x 5.23	35.04
L & M	(6.80+6.3...)	x 14.18	93.30
M & N	(6.36+6.41...)	x 6.26	39.97
N & A	(6.41+6.38...)	x 5.75	36.77
Total		170.74	1195.29

Average Grade Calculation = 1195.29 / 170.7...
FG=FINISHED GRADE
NG=NATURAL GRADE

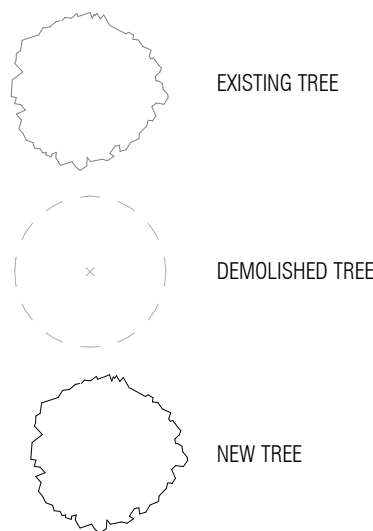
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LEGEND - PLAN SYMBOLS:



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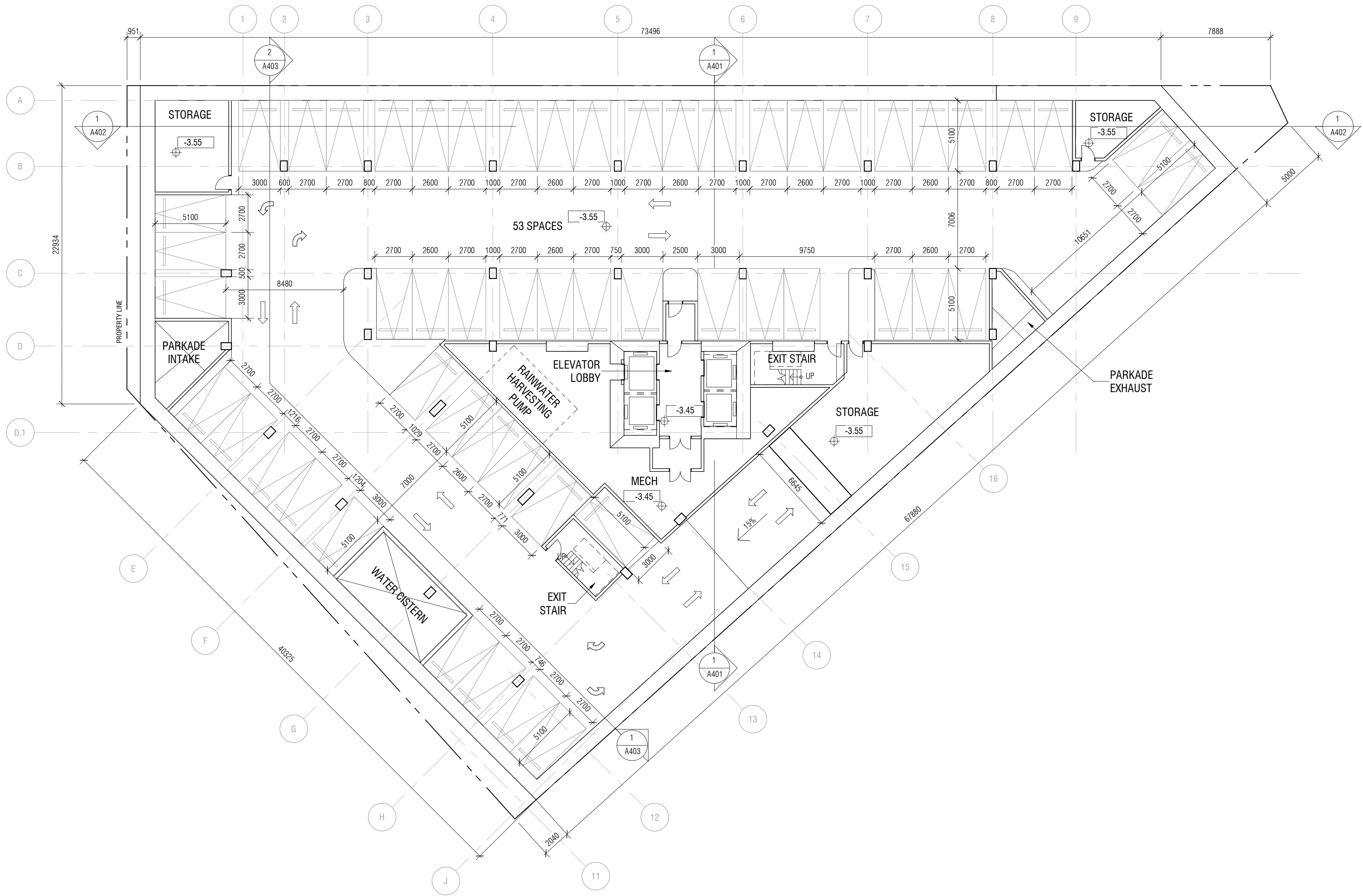
SITE PLAN - GROUND PLANE

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A011

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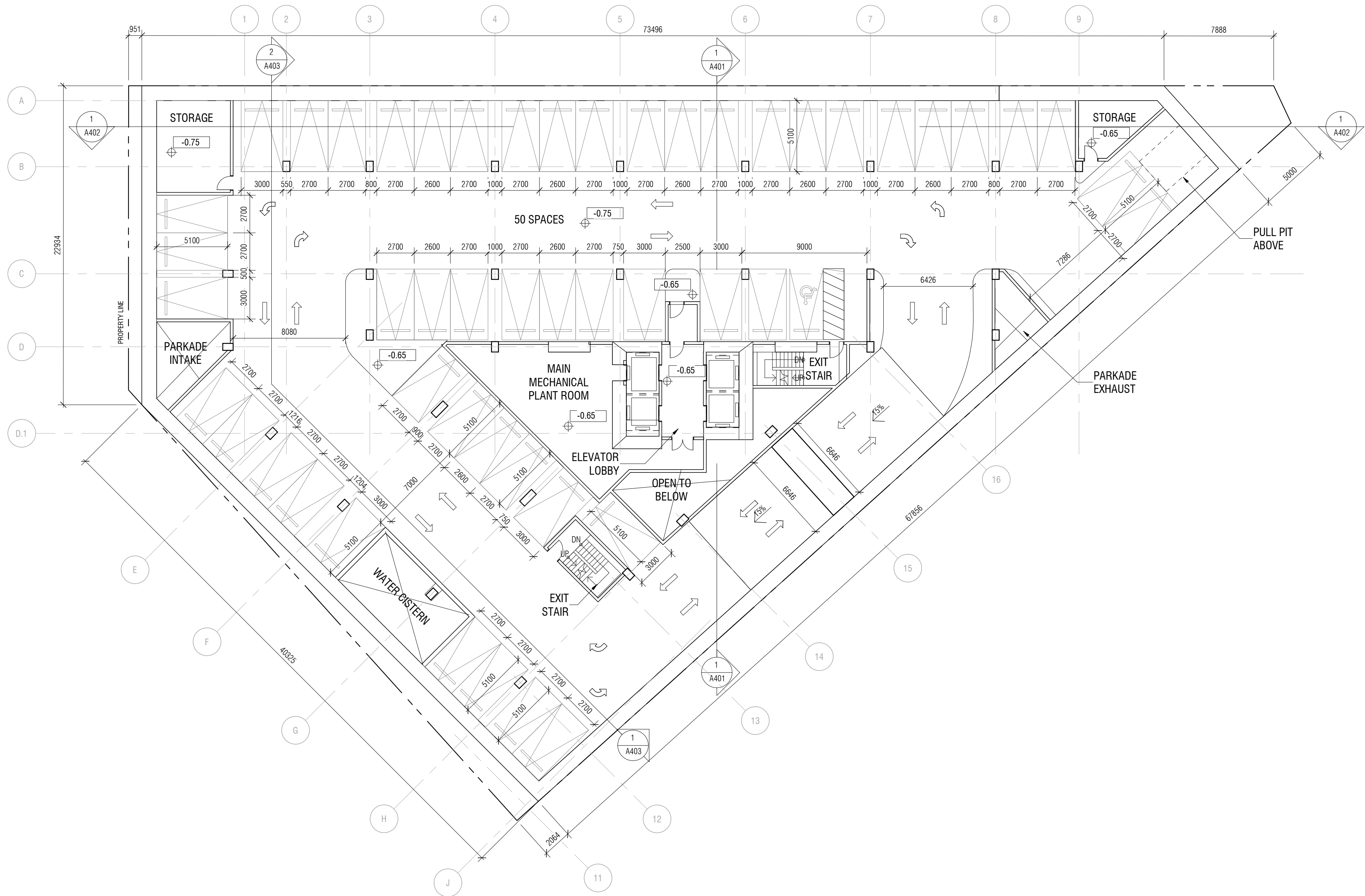
PLAN - LEVEL P3 - REZONING

Scale: 1 : 200
Project No: 1911
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A101

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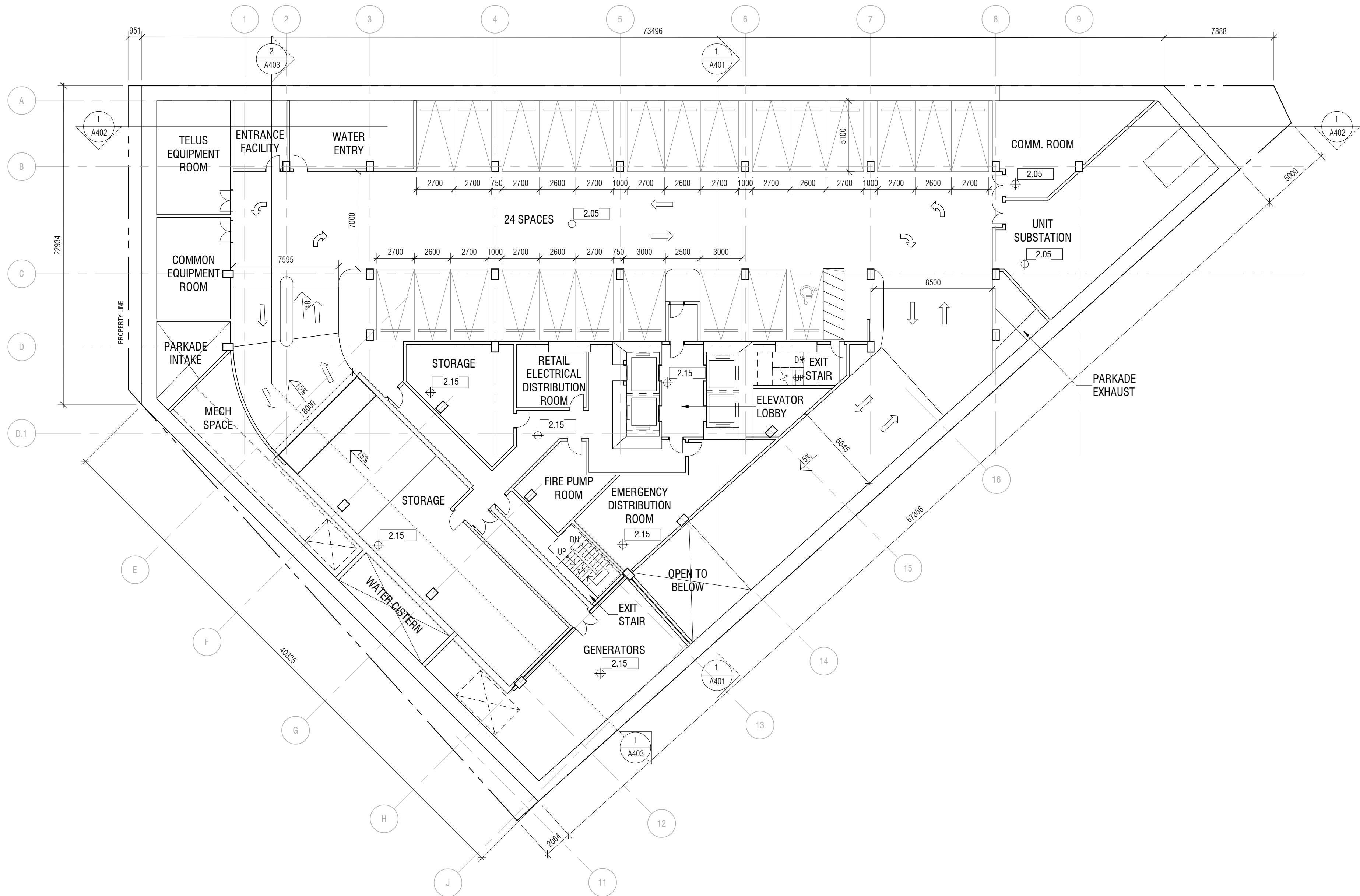
PLAN - LEVEL P2 - REZONING

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PLAN - LEVEL P1 - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A103

Area Schedule (Gross Building - Rezoning) L1		
Level	Name	Area
LEVEL 1	Floor Area	737.32 m²
LEVEL 1	Floor Area (Retail)	354.79 m²
Grand total: 2		1092.12 m²

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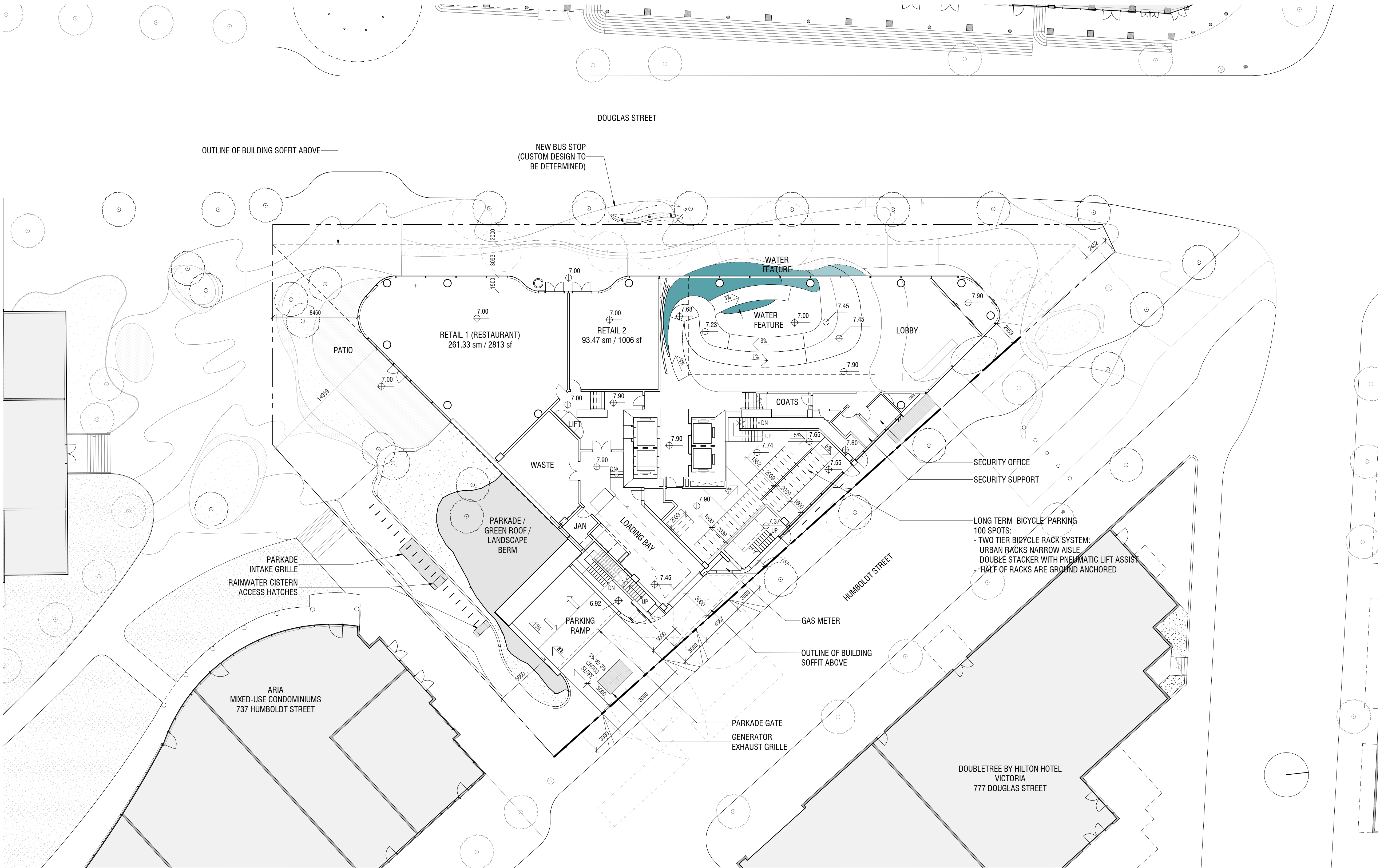
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PLAN - LEVEL 1 - REZONING

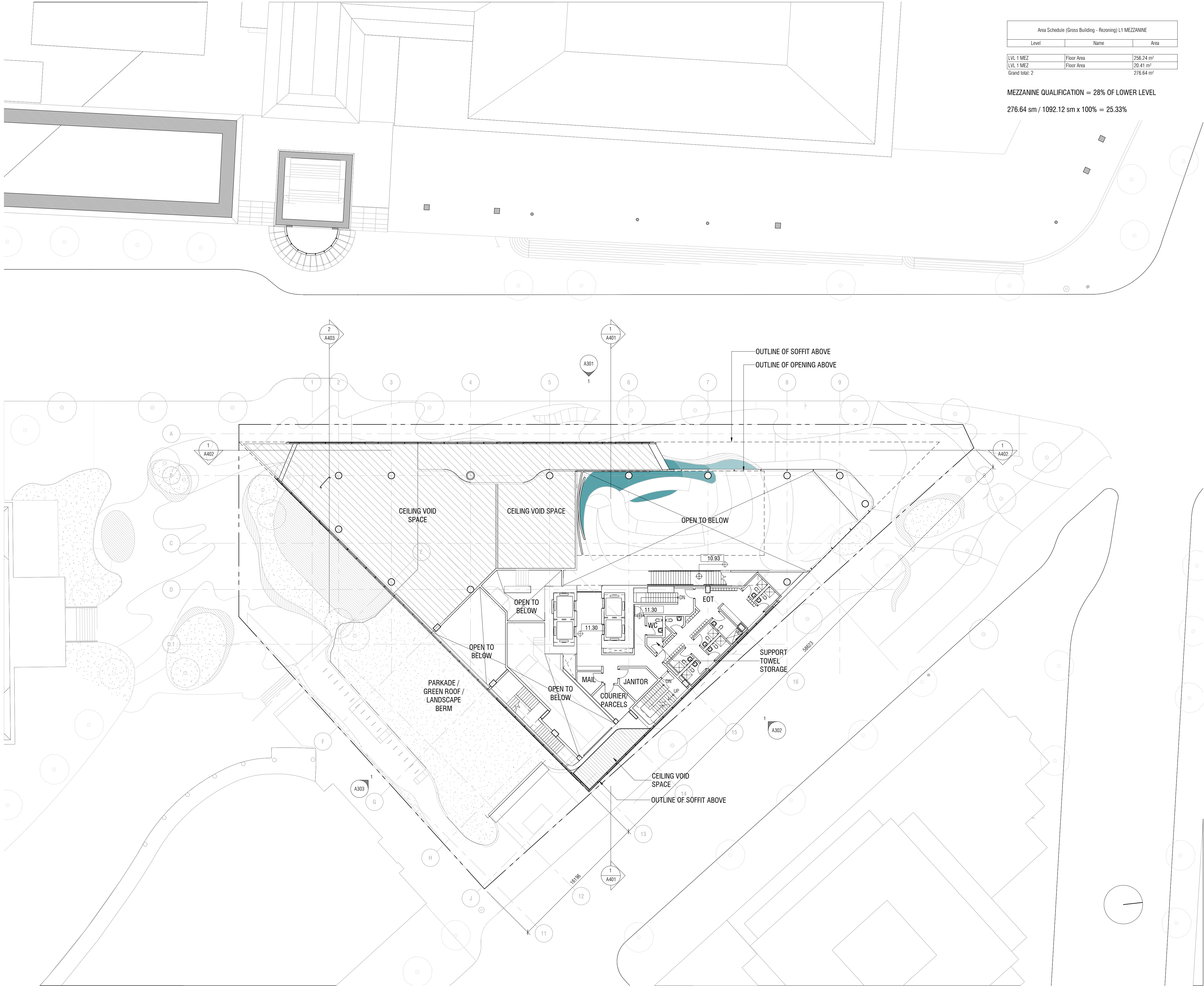
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A104



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Area Schedule (Gross Building - Rezoning) L1 MEZZANINE		
Level	Name	Area
LVL 1 MEZ	Floor Area	256.24 m²
LVL 1 MEZ	Floor Area	20.41 m²
Grand total: 2		276.64 m²

MEZZANINE QUALIFICATION = 28% OF LOWER LEVEL

276.64 sm / 1092.12 sm x 100% = 25.33%

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PLAN - LEVEL 1 - MEZZANINE - REZONING

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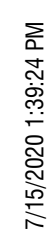
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PLAN - LEVEL 2 - REZONING

A106



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VICTORIA CONFERENCE CENTRE
720 DOUGLAS STREET

Area Schedule (Gross Building - Rezoning) L3		
Level	Name	Area
LEVEL 3	Floor Area	1456.17 m²
Grand total: 1		1456.17 m²

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PLAN - LEVEL 3 - REZONING

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Area Schedule (Gross Building - Rezoning) L4		
Level	Name	Area
LEVEL 4	Floor Area	1595.19 m²
Grand total: 1		1595.19 m²

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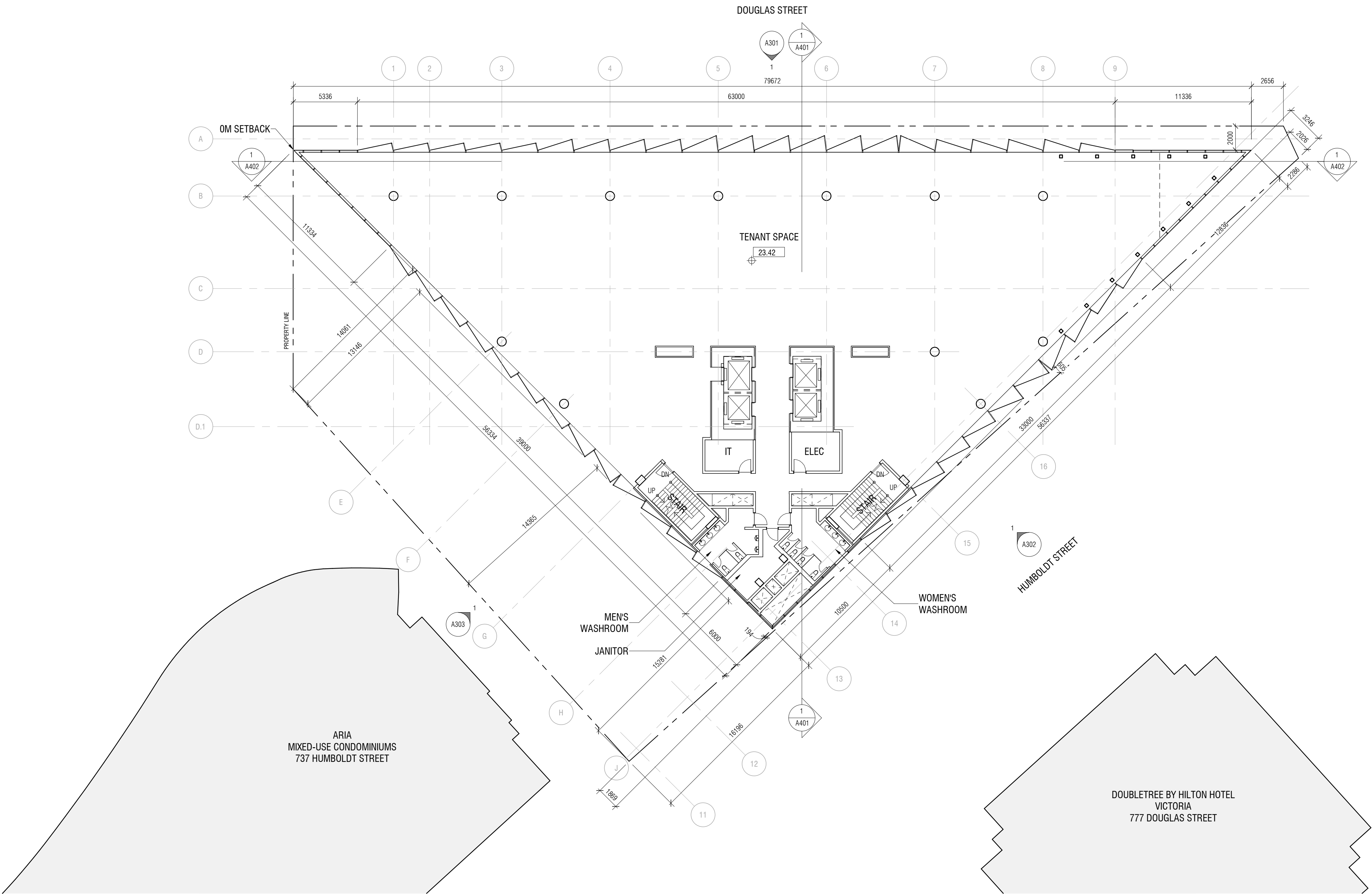
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PLAN - LEVEL 4 - REZONING

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749 Douglas St, Victoria, BC

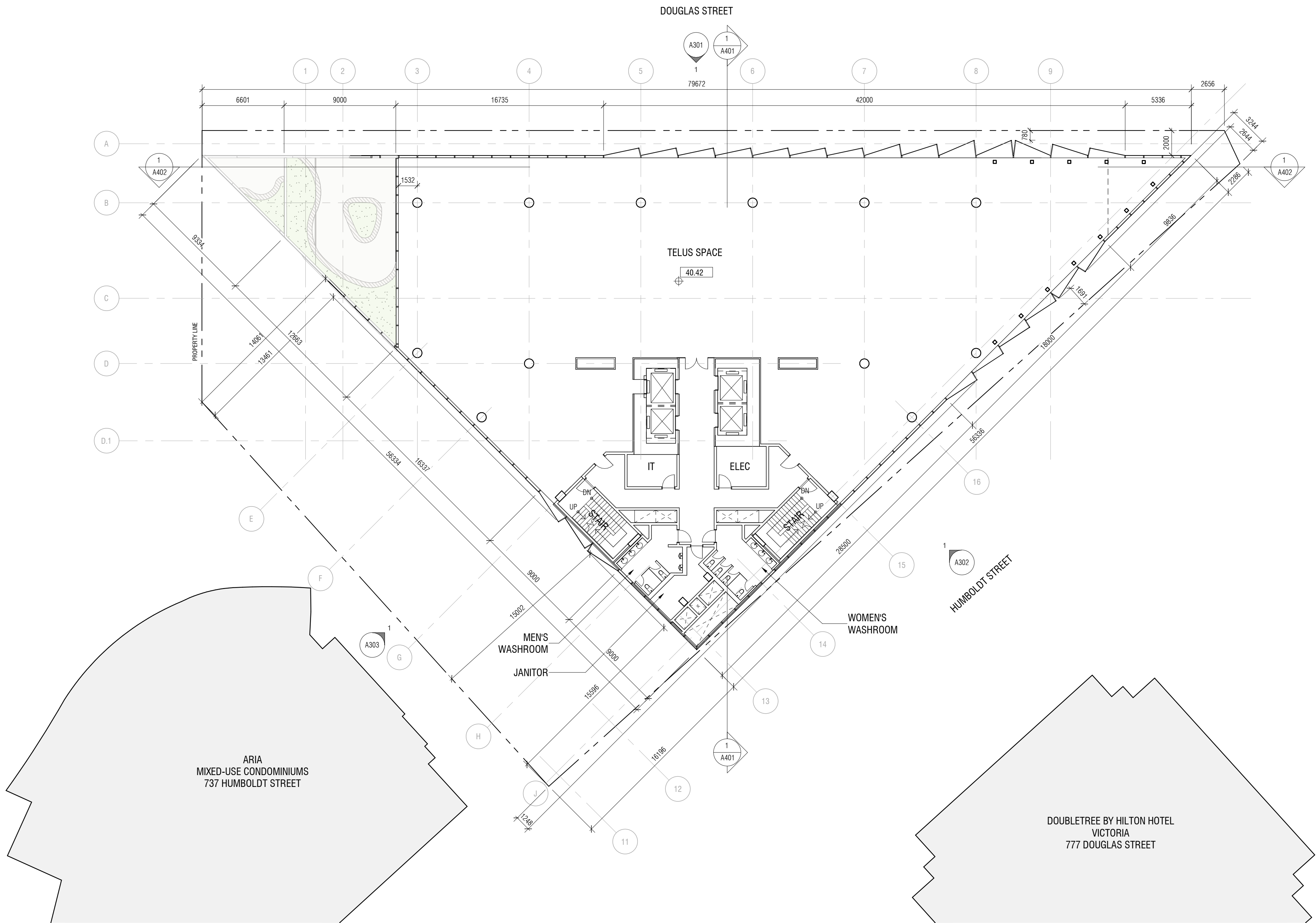
Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A111

C:\Users\shueggier\OneDrive\Files\1911 Telus Ocean_schueggier.rvt

7/15/2020 1:11:59 PM

Area Schedule (Gross Building - Rezoning) L8		
Level	Name	Area
LEVEL 8	Floor Area	1446.52 m²
Grand total: 1		1446.52 m²



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CONSTRUCTION

ISSUED		
No.	Date	Description
1	2020.06.30	Rezoning Pre-application
2	2020.07.15	Rezoning-CP Application

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TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 8 - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A112

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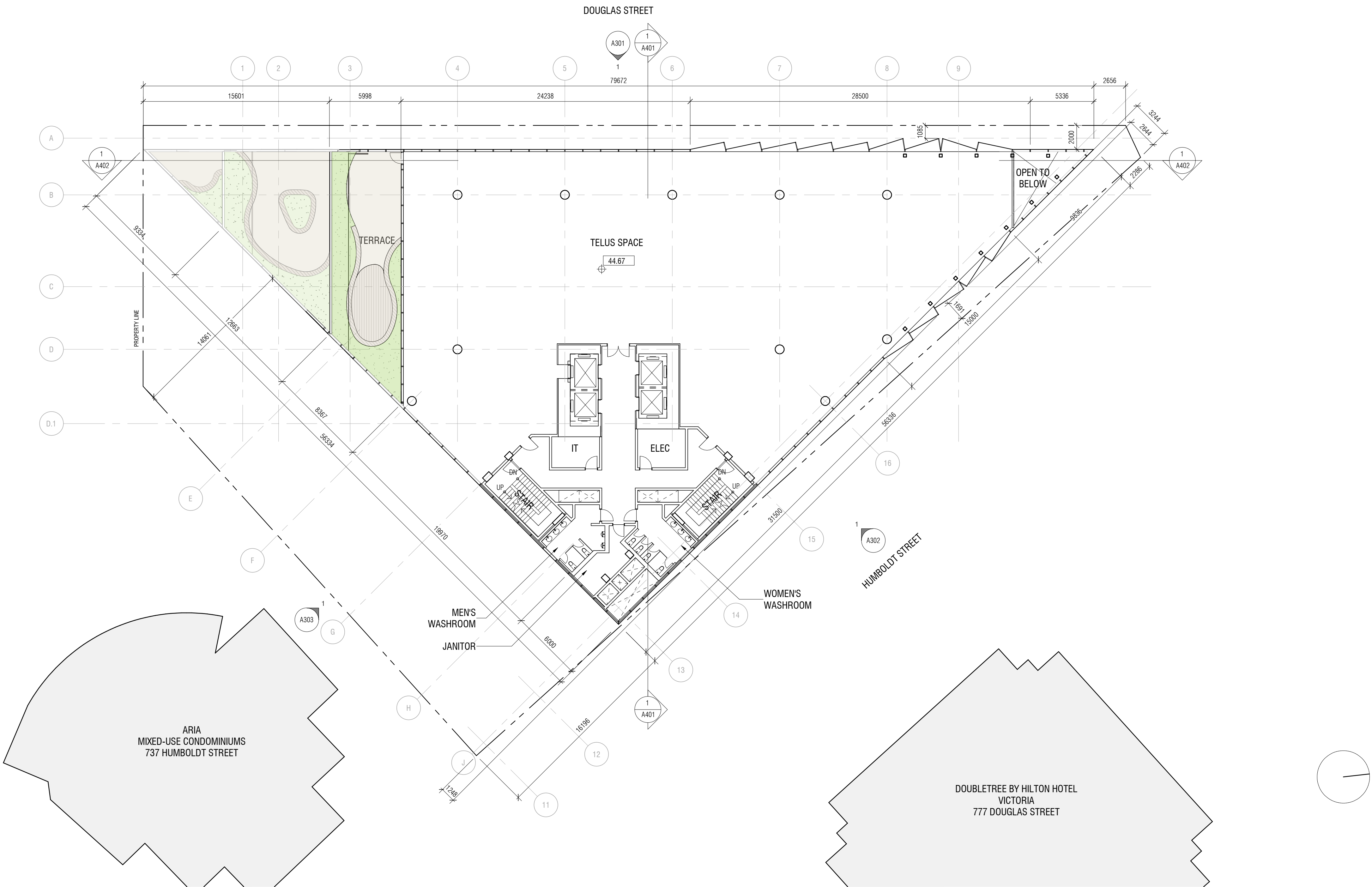
7/15/2020 1:12:22 PM

Area Schedule (Gross Building - Rezoning) L9		
Level	Name	Area
LEVEL 9	Floor Area	1303.92 m²
Grand total: 1		1303.92 m²

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ISSUED			
No.	Date	Description	
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TELUS OCEAN

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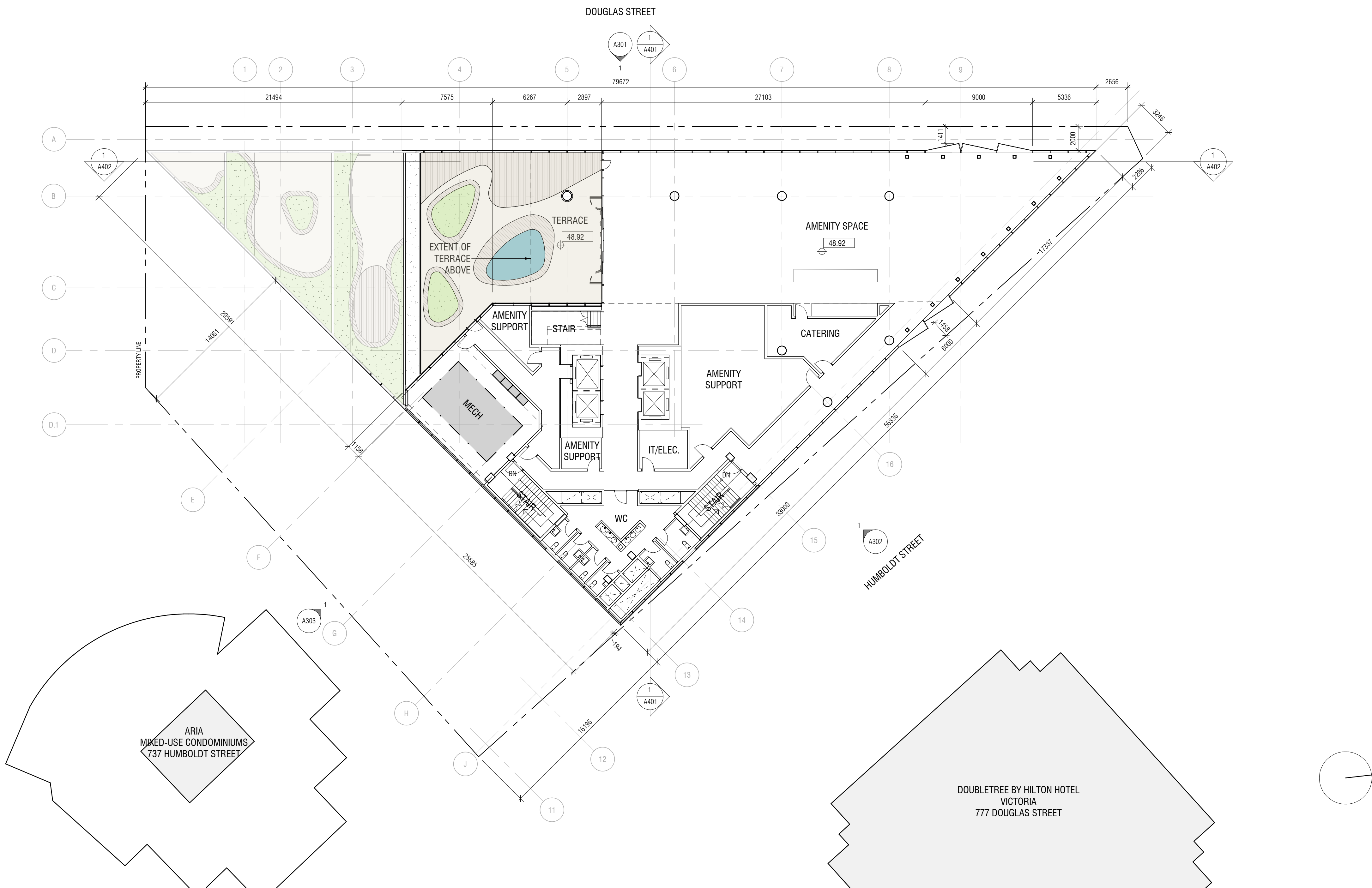
PLAN - LEVEL 9 - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A113

C:\Users\shungger\Revit Files\1911 Telus Ocean_schunegger.rvt

7/15/2020 1:40:23 PM



Area Schedule (Gross Building - Rezoning) L10		
Level	Name	Area
LEVEL 10	Floor Area	1069.87 m²
Grand total: 1		1069.87 m²

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TELUS OCEAN

749 Douglas St, Victoria, BC

PLAN - LEVEL 10 - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A114

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7/15/2020 1:41:02 PM

Area Schedule (Gross Building - Rezoning) L11		
Level	Name	Area
LEVEL 11 / LOWER ROOF	Floor Area	228.73 m²
Grand total: 1		228.73 m²

NOT FOR
CONSTRUCTION

ISSUED

No.	Date	Description
1	2020.06.30	Rezoning Pre-application
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TELUS OCEAN

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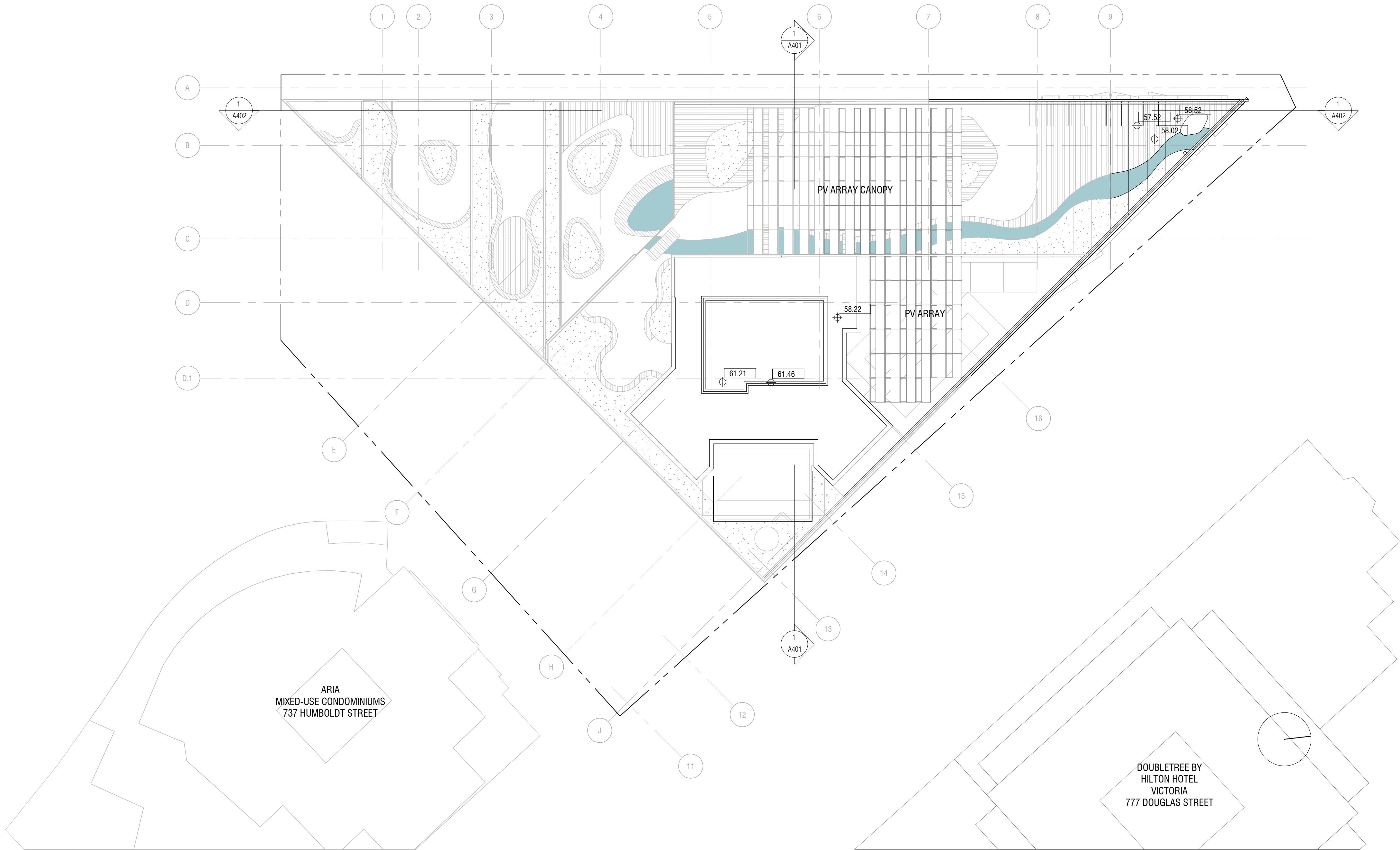
PLAN - LEVEL 11 - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A115

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7/15/2020 1:39:56 PM



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TELUS OCEAN

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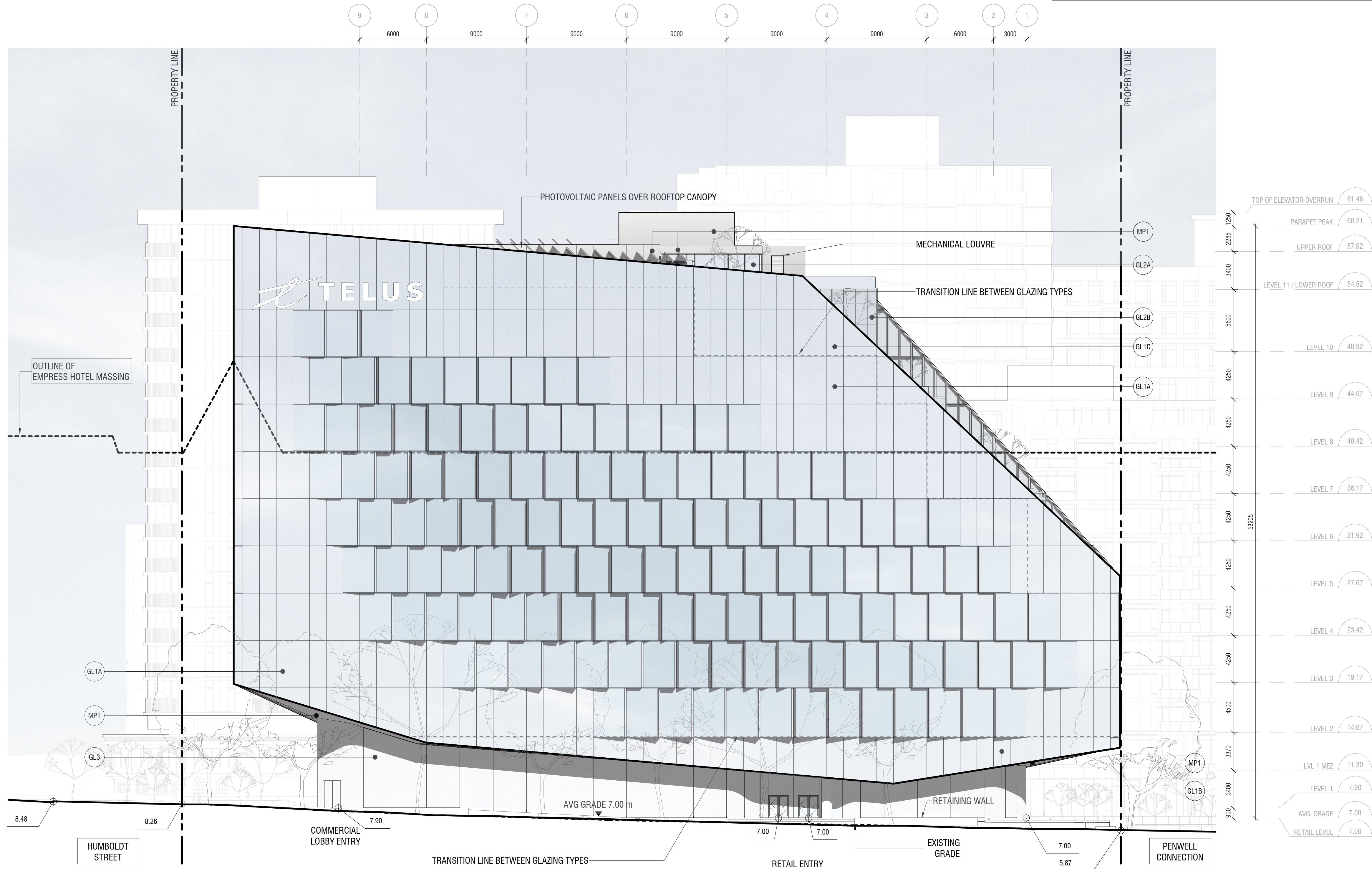
PLAN - UPPER ROOF - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A116

C:\Users\ZAI\Pwnt Files\1911 Telus Ocean_ZAI.rvt

7/15/2020 3:43:13 PM



LEGEND

- GL1A CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
- GL1B CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
- GL1C CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
- GL2A CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
- GL2B CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
- GL3 CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
- GL4 GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 4)
- MP1 SATIN SILVER FINISH ALUMINUM METAL PANELS
- MP2 SATIN SILVER FINISH ACOUSTIC METAL SCREEN (WITH CLIMBING VINES)
- ST1 STONE CLADDING

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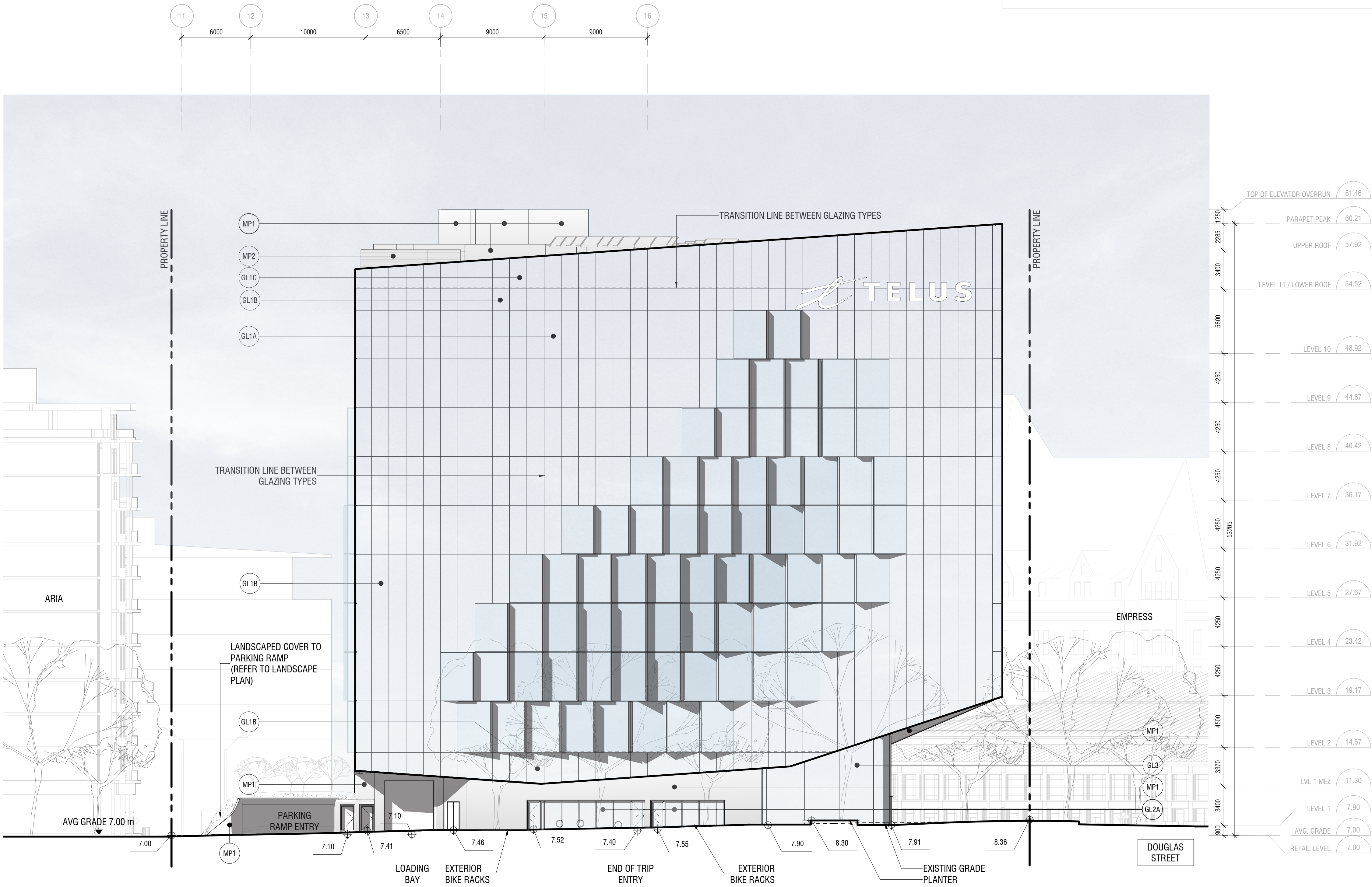
ELEVATION - WEST - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A301

C:\Users\ZAI\Pwnt Files\1911 Telus Ocean_ZAI.rvt

7/15/2020 1:33:49 PM



LEGEND

- GL1A CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
- GL1B CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
- GL1C CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
- GL2A CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
- GL2B CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
- GL3 CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
- GL4 GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 4)
- MP1 SATIN SILVER FINISH ALUMINUM METAL PANELS
- MP2 SATIN SILVER FINISH ACOUSTIC METAL SCREEN (WITH CLIMBING VINES)
- ST1 STONE CLADDING

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TELUS OCEAN

749 Douglas St, Victoria, BC

ELEVATION - EAST - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A302

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No.	Date	Description
1	2020.06.30	Rezoning Pre-application
2	2020.07.15	Rezoning-DP Application

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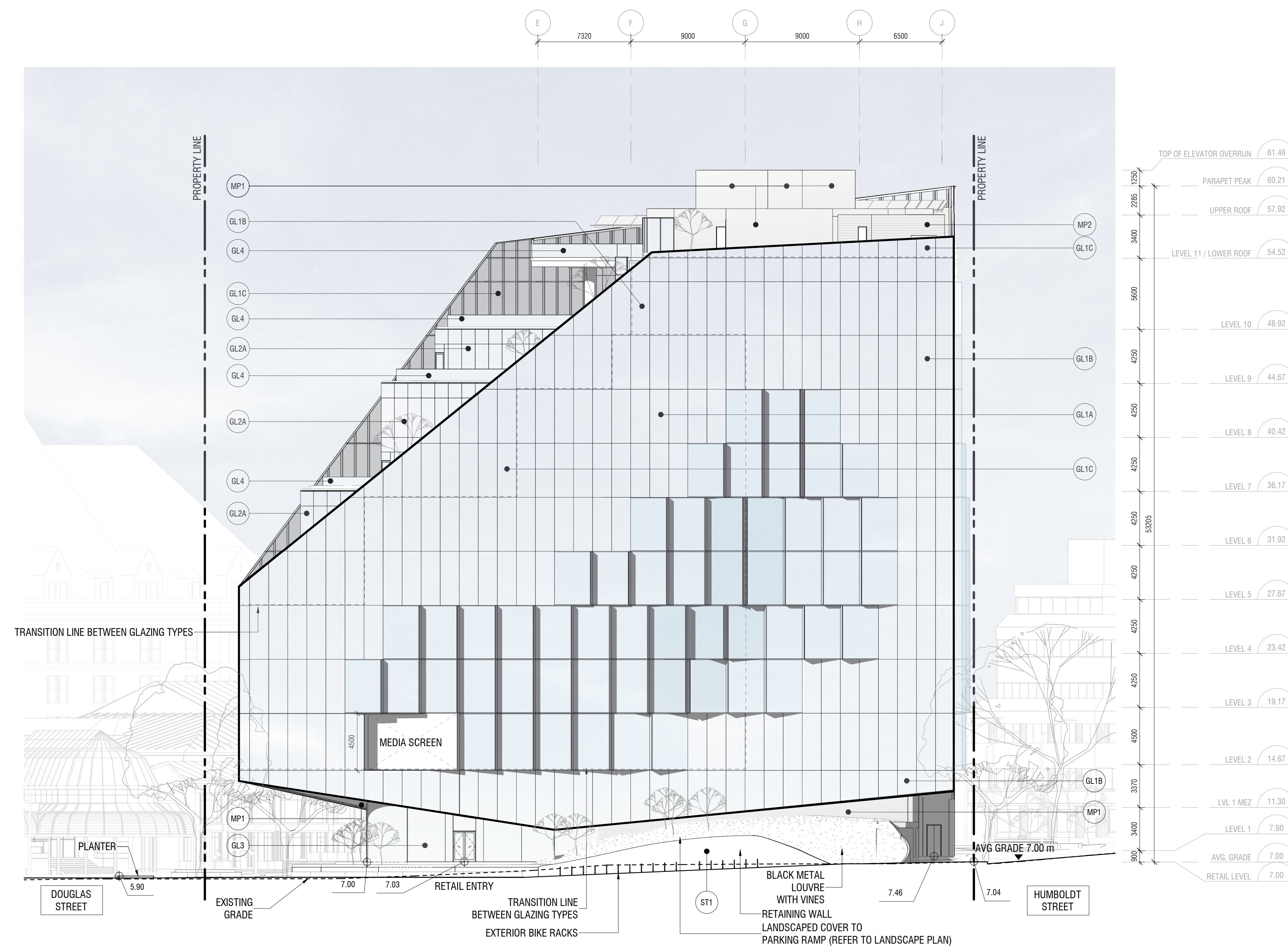
749 Douglas St, Victoria, BC

ELEVATION - SOUTH - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A303

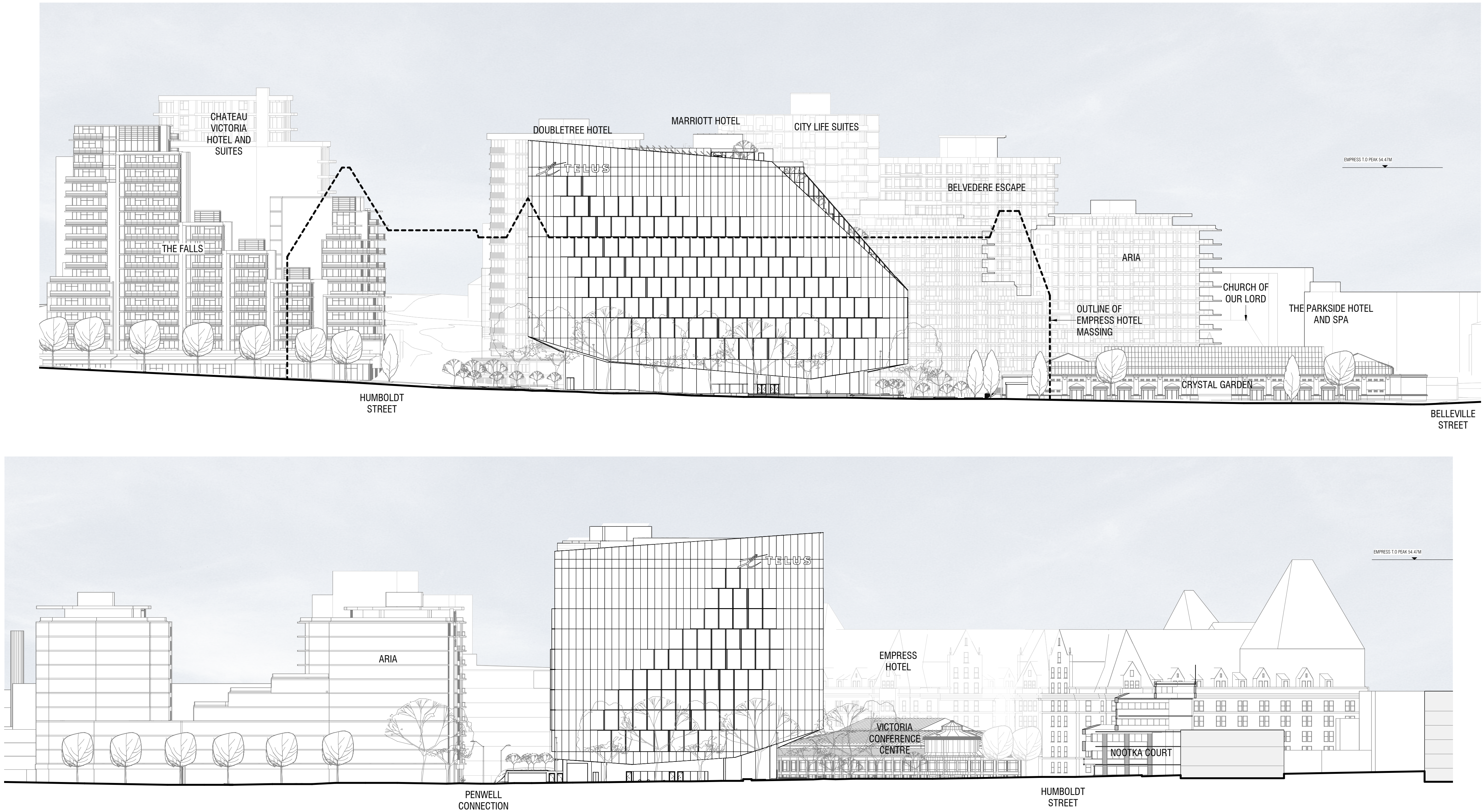
GL1A	CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 1)
GL1B	CAPLESS INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 1)
GL1C	CAPLESS VISION GLASS CURTAIN WALL (GLASS TYPE 1) - WINDBREAK / GUARD
GL2A	CAPPED INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 2)
GL2B	CAPPED INSULATED SHADOWBOX SPANDREL PANEL CURTAIN WALL (GLASS TYPE 2)
GL3	CAPLESS INSULATED VISION GLASS CURTAIN WALL (GLASS TYPE 3)
GL4	GLASS AND ALUMINUM GUARDRAIL (GLASS TYPE 4)
MP1	SATIN SILVER FINISH ALUMINUM METAL PANELS
MP2	SATIN SILVER FINISH ACOUSTIC METAL SCREEN (WITH CLIMBING VINES)
ST1	STONE CLADDING



7/15/2020 1:35:07 PM

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7/15/2020 3:37:59 PM



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TELUS OCEAN

749 Douglas St, Victoria, BC

CONTEXT ELEVATIONS - REZONING

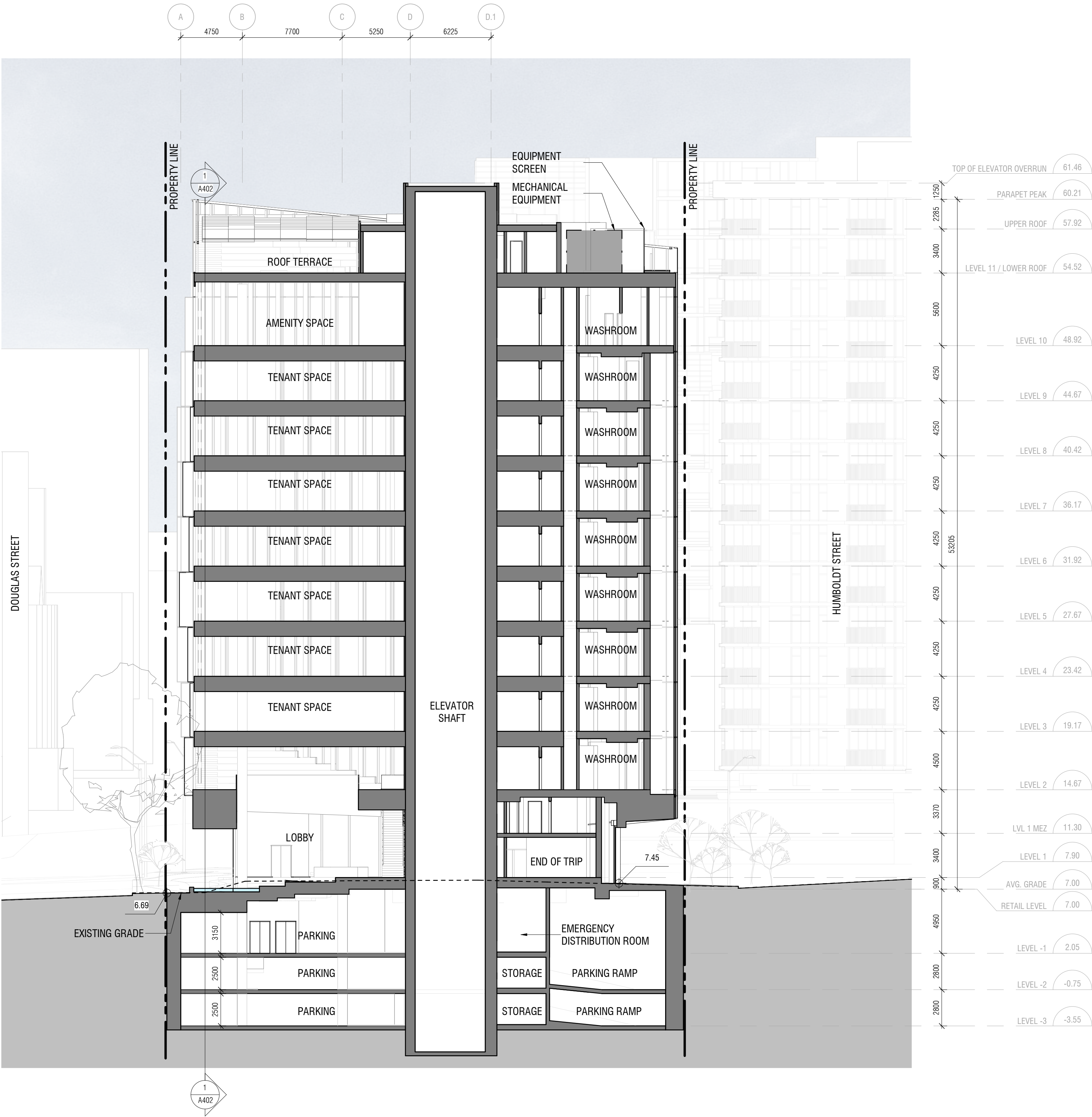
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Project No: 1911
Date: 2019/08/13

A304

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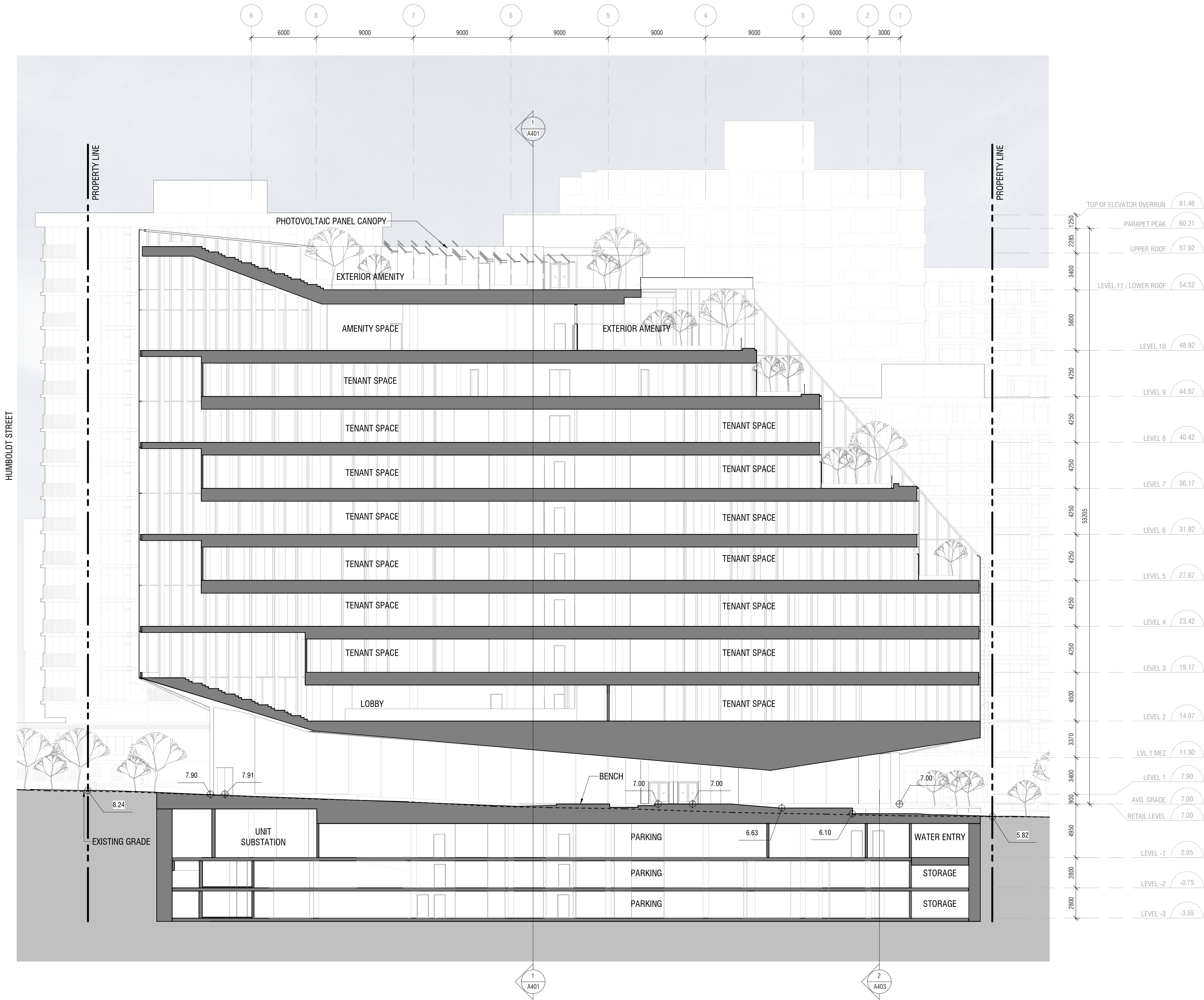
SECTION A - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A401

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7/15/2020 3:41:16 PM



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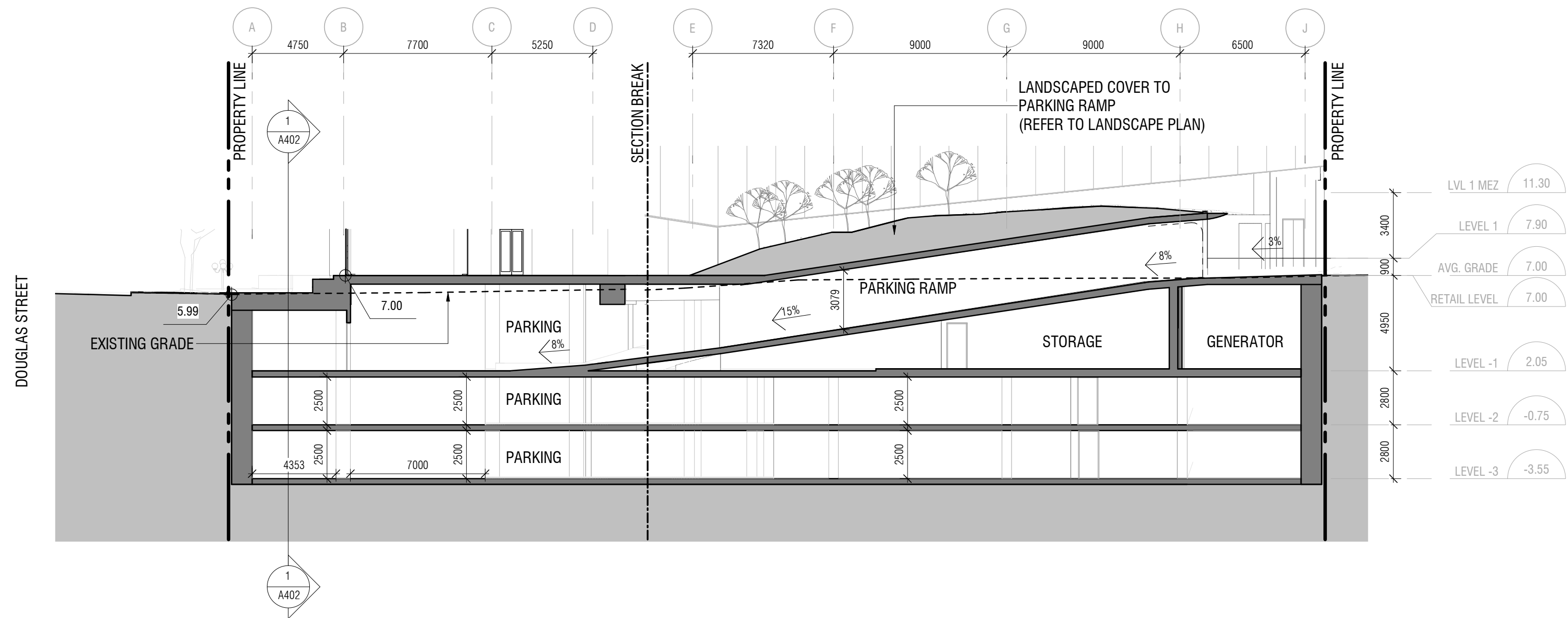
TELUS OCEAN

749 Douglas St, Victoria, BC

SECTION D - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A402



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TELUS OCEAN

749 Douglas St, Victoria, BC

SECTION F - REZONING

Scale: 1 : 200
Project No: 1911
Date: 2019/08/13

A403



Existing
March 21 - 9am



Proposed
March 21 - 9am



Existing
March 21 - 12pm



Proposed
March 21 - 12pm



Existing
March 21 - 3pm



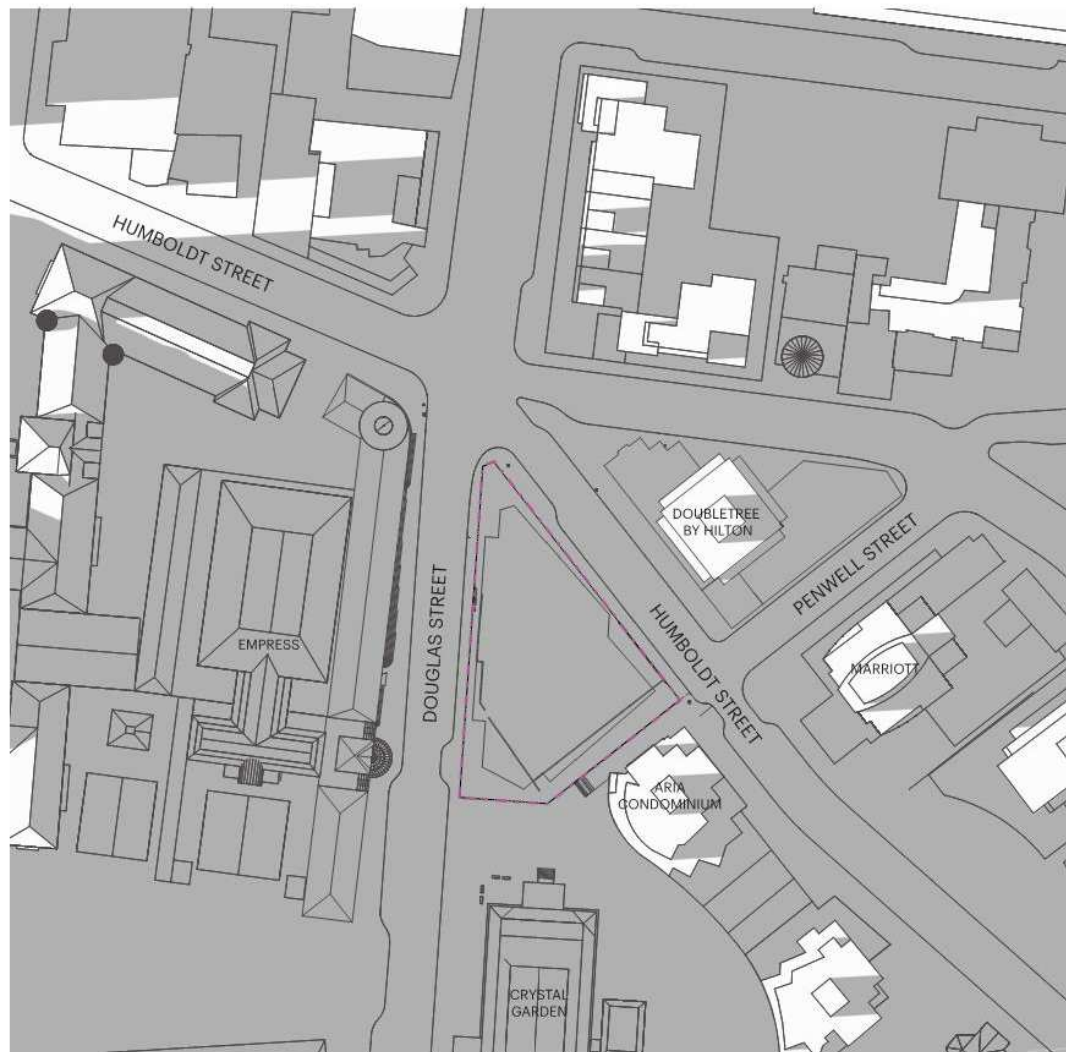
Proposed
March 21 - 3pm



Existing
March 21 - 6pm



Proposed
March 21 - 6pm



Existing
March 21 - 9pm



Proposed
March 21 - 9pm

SHADOW STUDY
SPRING EQUINOX

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ISSUED		
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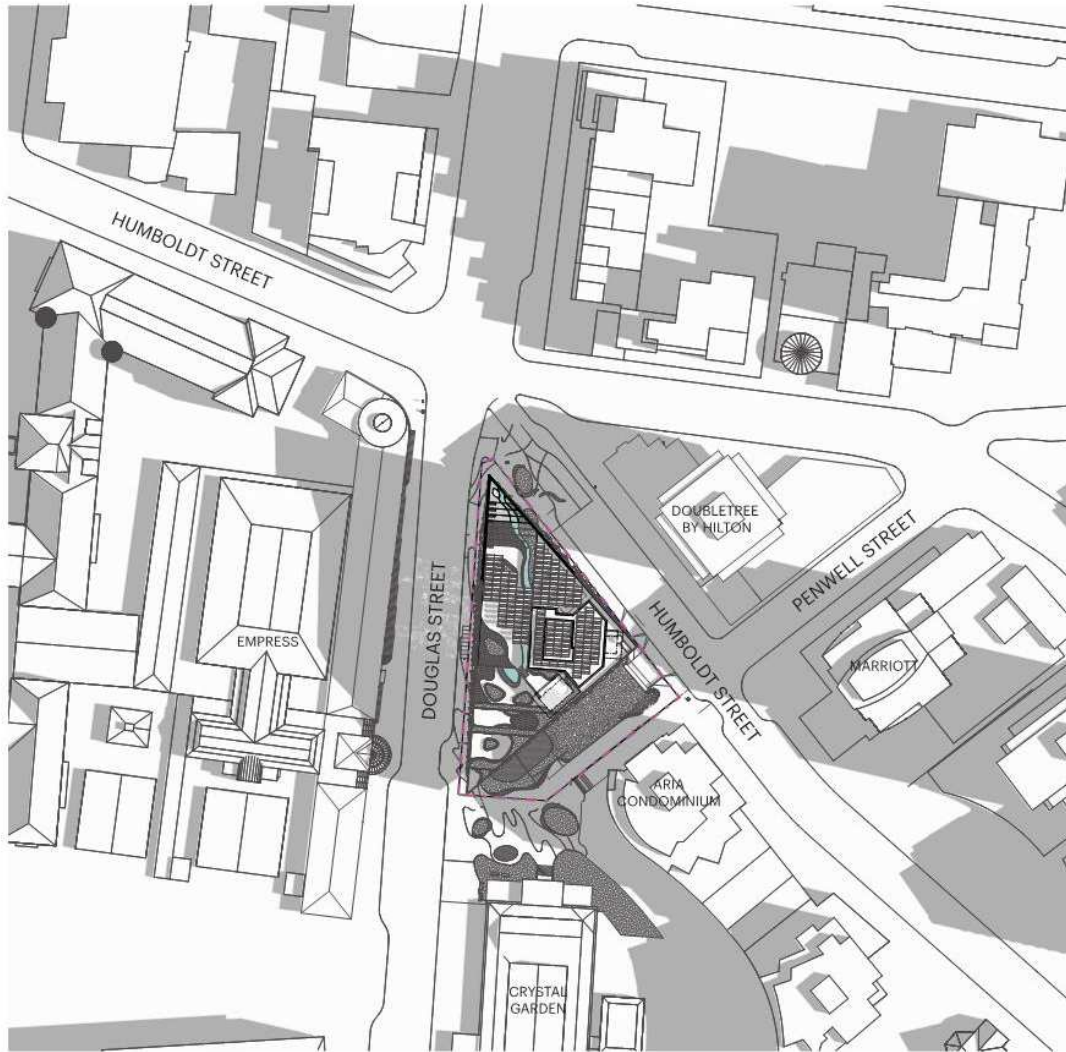
SHADOW STUDIES - SPRING EQUINOX

Scale:
Project No: 1911
Date: 2019/08/13

A1000



Existing
June 21 - 9am



Proposed
June 21 - 9am



Existing
June 21 - 12pm



Proposed
June 21 - 12pm



Existing
June 21 - 3pm



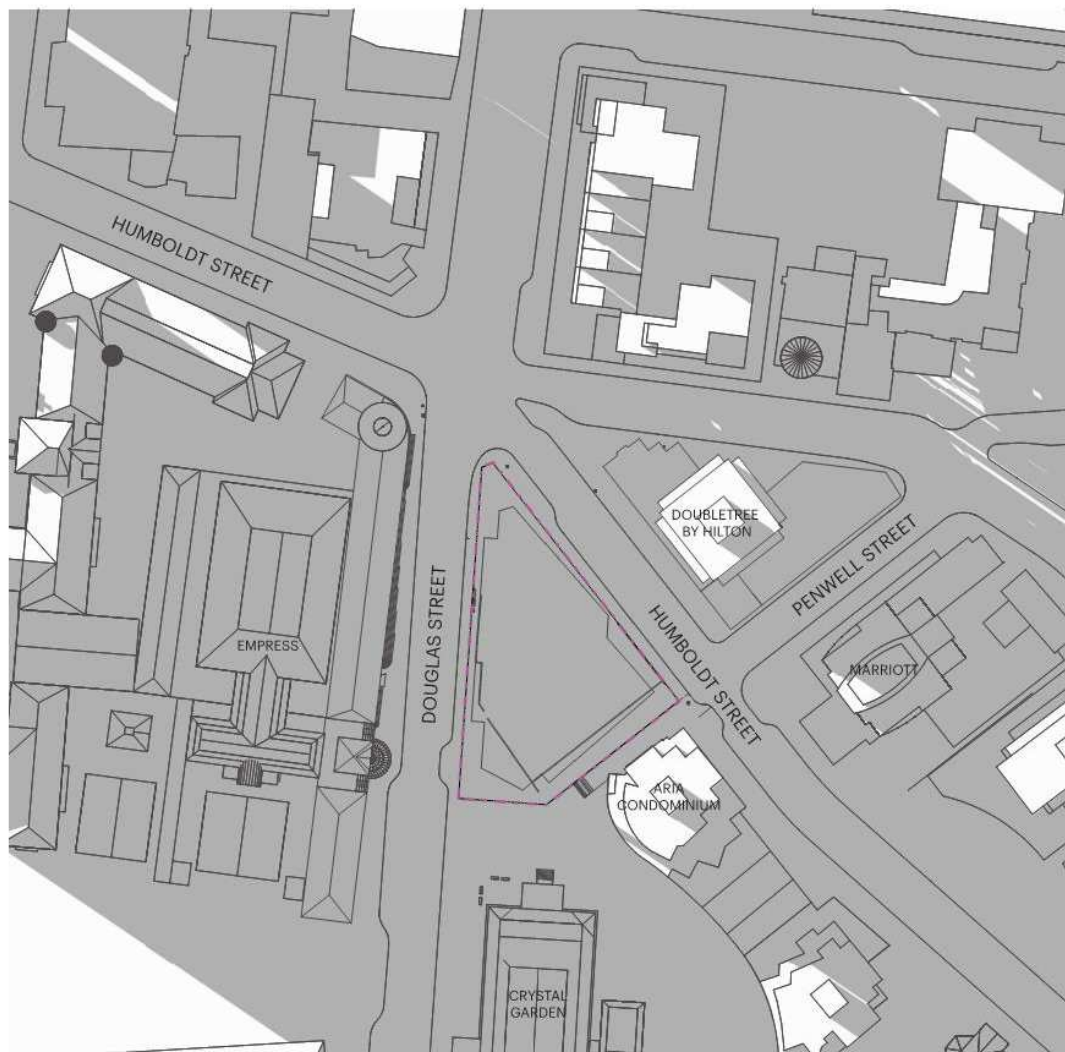
Proposed
June 21 - 3pm



Existing
June 21 - 6pm



Proposed
June 21 - 6pm



Existing
June 21 - 9pm



Proposed
June 21 - 9pm

NOT FOR
CONSTRUCTION

ISSUED

No.	Date	Description
2	2020.07.15	Rezoning-DP Application

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TELUS OCEAN

767 Douglas St, Victoria, BC

SHADOW STUDIES - SUMMER SOLSTICE

Scale:
Project No: 1911
Date: 2019/08/13

A1001



Existing
Sept 23 - 9am



Proposed
Sept 23 - 9am



Existing
Sept 23 - 12pm



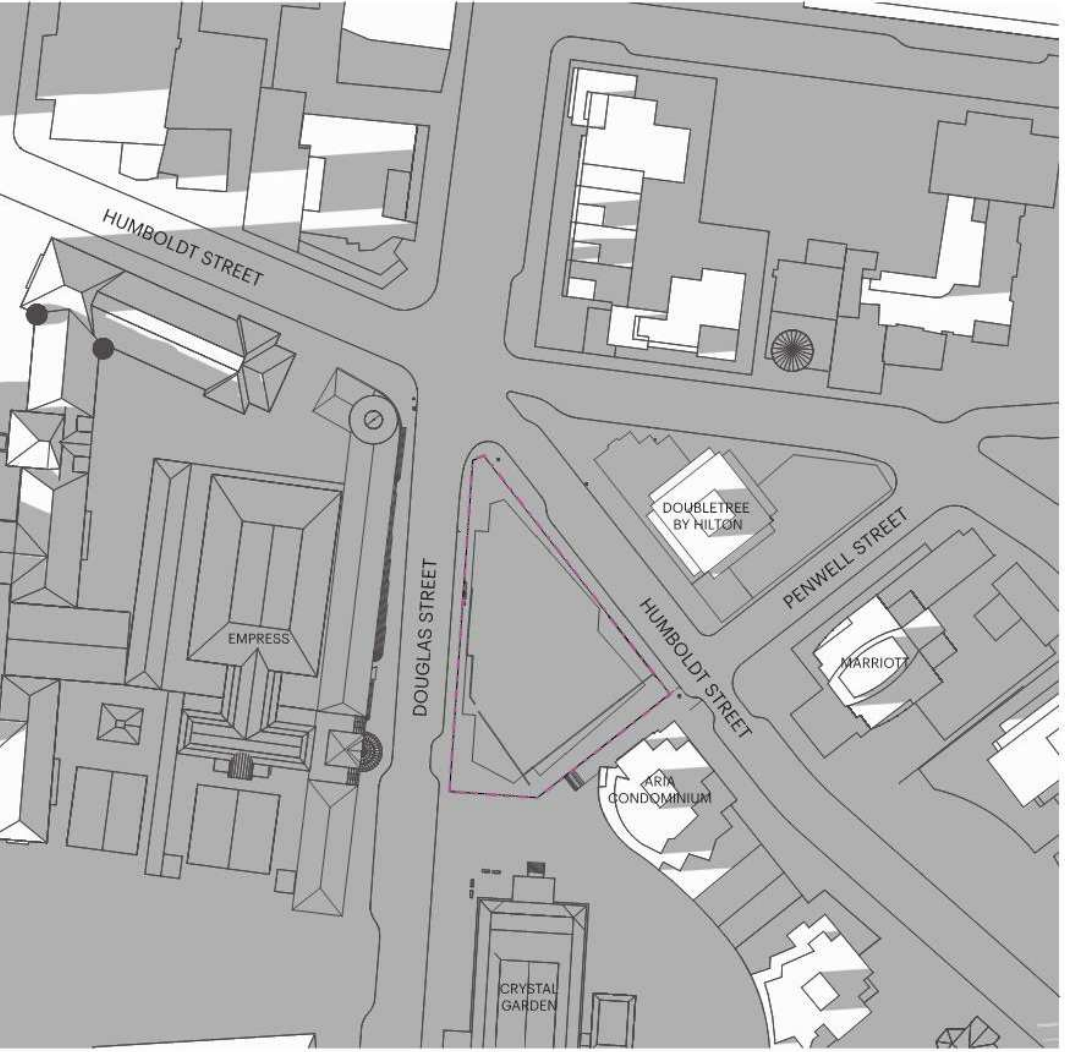
Proposed
Sept 23 - 12pm



Existing
Sept 23 - 3pm



Proposed
Sept 23 - 3pm



Existing
Sept 23 - 6pm



Proposed
Sept 23 - 6pm



Existing
Sept 23 - 9pm



Proposed
Sept 23 - 9pm

SHADOW STUDY
FALL EQUINOX

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CONSTRUCTION

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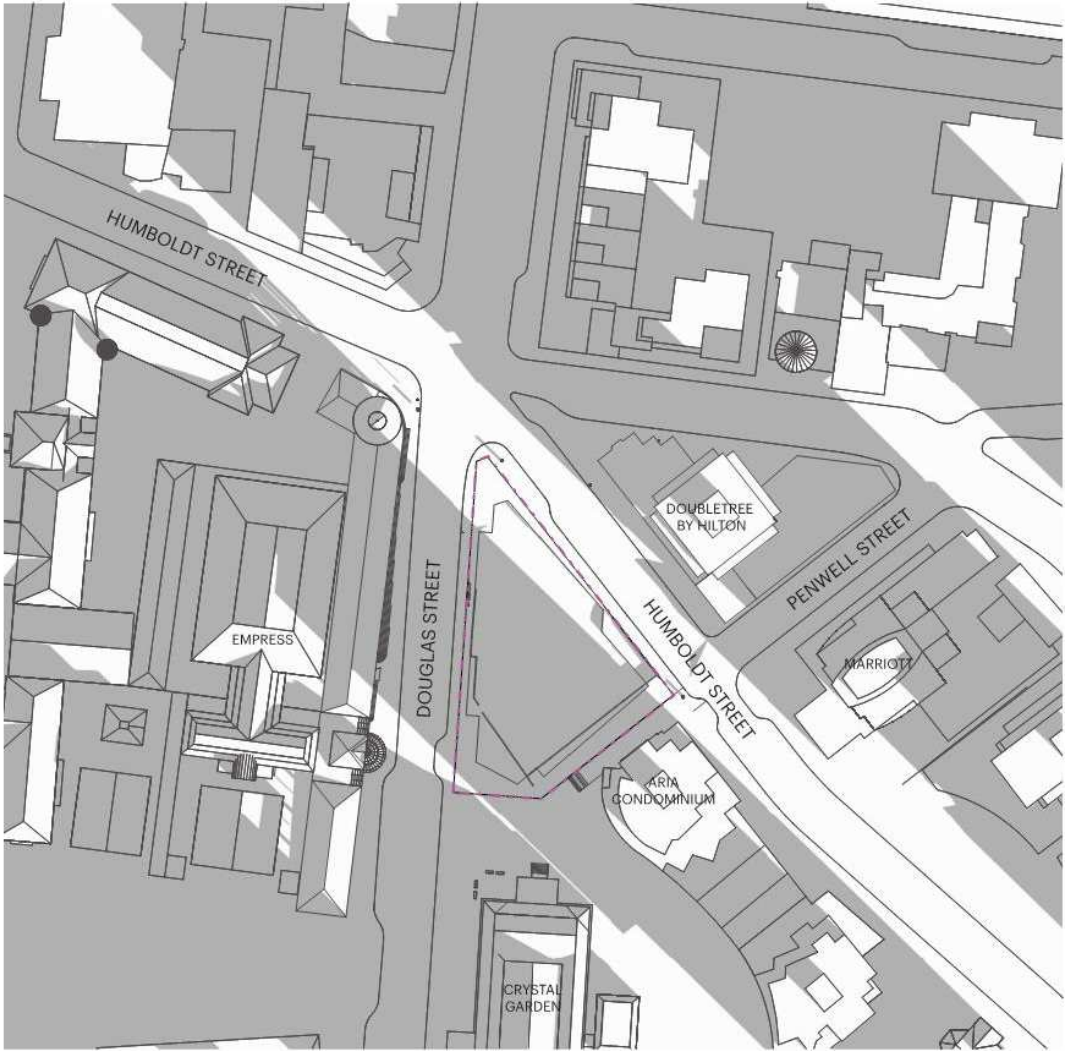
TELUS OCEAN

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SHADOW STUDY - FALL EQUINOX

Scale:
Project No: 1911
Date: 2019/08/13

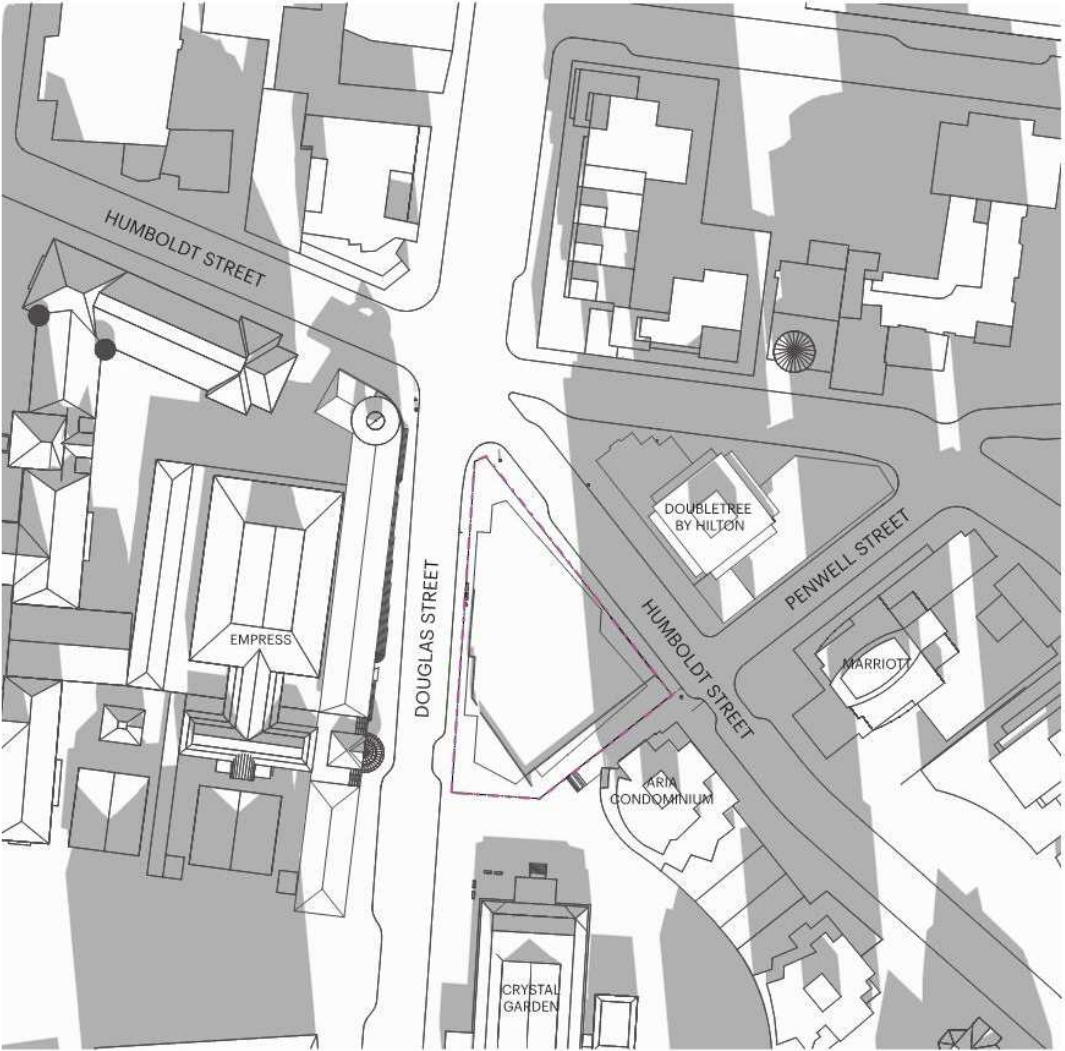
A1002



Existing
Dec 22 - 9am



Proposed
Dec 22 - 9am



Existing
Dec 22 - 12pm



Proposed
Dec 22 - 12pm



Existing
Dec 22 - 3pm



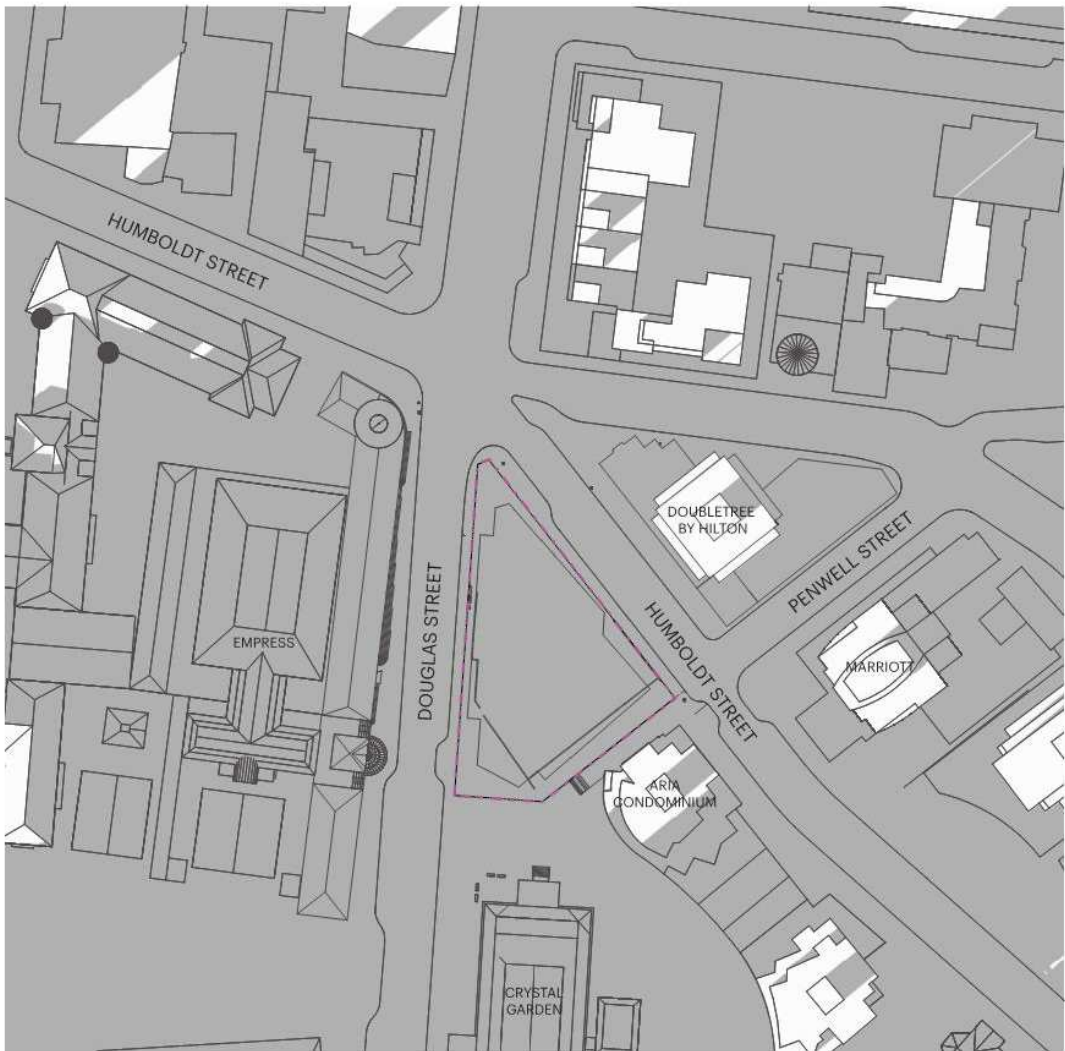
Proposed
Dec 22 - 3pm



Existing
Dec 22 - 6pm



Proposed
Dec 22 - 6pm



Existing
Dec 22 - 9pm



Proposed
Dec 22 - 9pm

SHADOW STUDY WINTER SOLSTICE

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CONSTRUCTION

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TELUS OCEAN

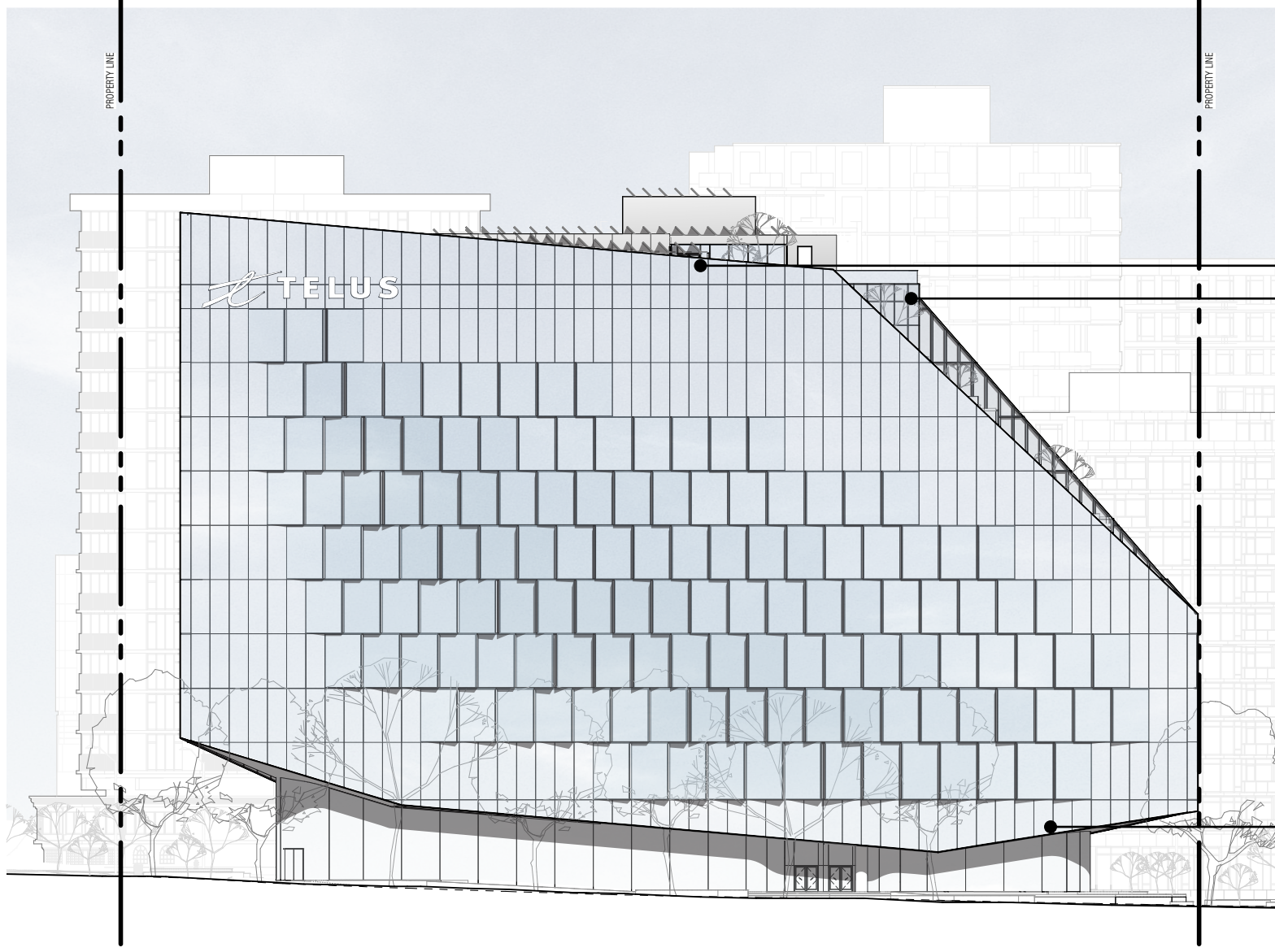
767 Douglas St, Victoria, BC

SHADOW STUDY - WINTER SOLSTICE

Scale:
Project No: 1911
Date: 2019/08/13

A1003

Telus Ocean Cladding Materials



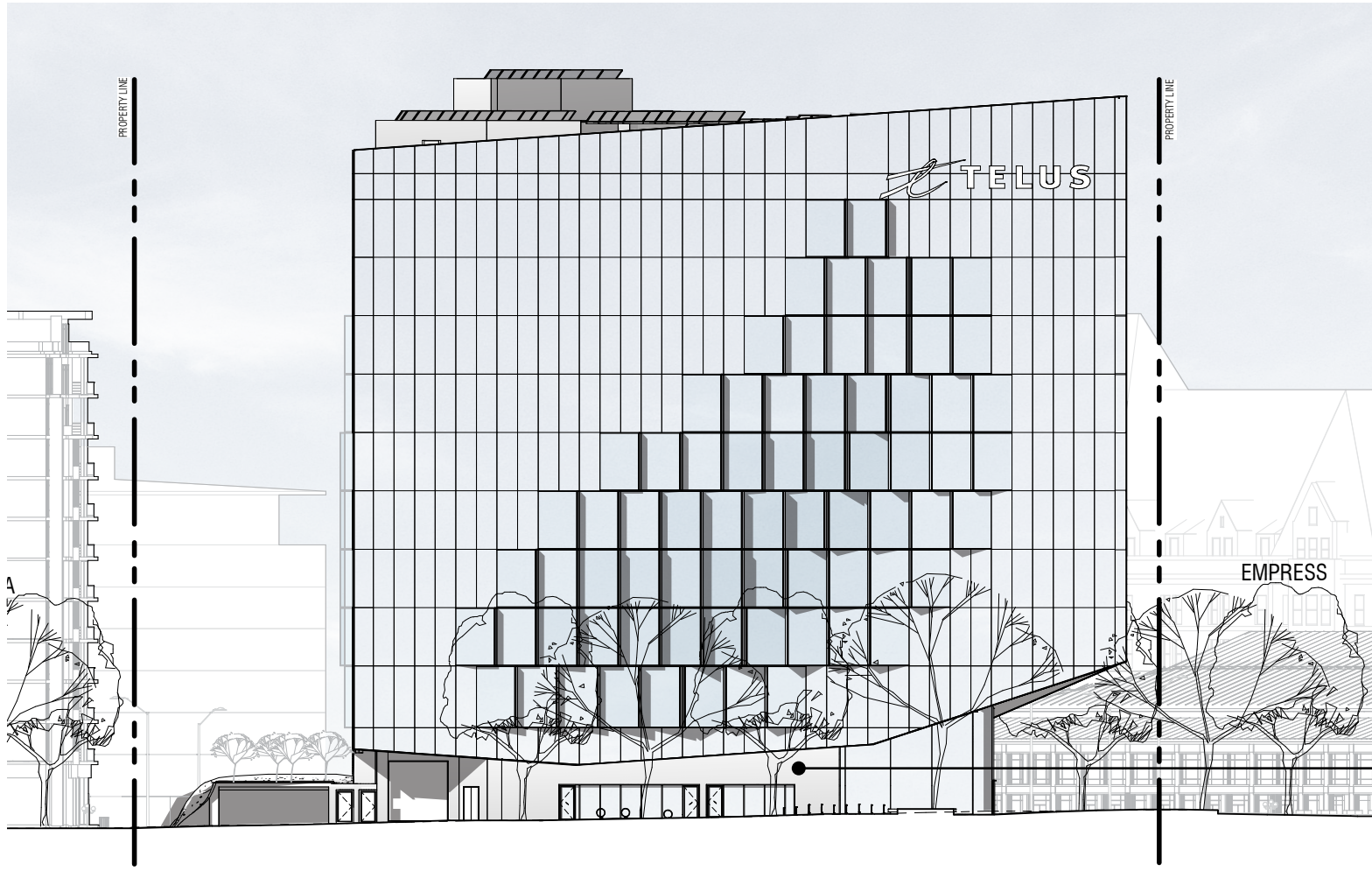
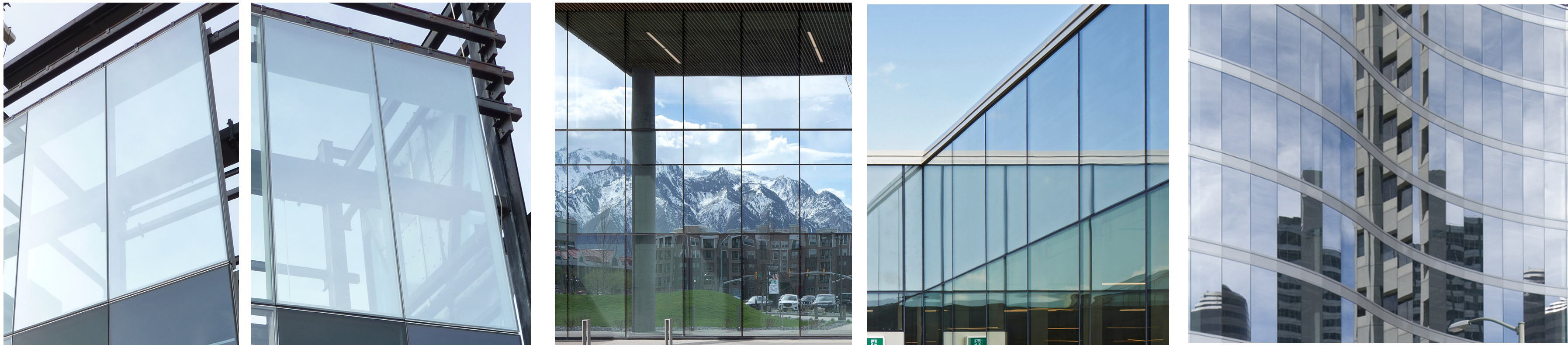
GL1

**Exterior glazing: High Reflectance Glass
High Performance Capless Curtain Wall System**

Glass:
Clear, with reflective coating on outer surface (25% or higher exterior reflectivity)

GL1A - Vision glass in insulated units
GL1B - Shadowbox spandrel units
GL1C - Vision glass guard / wind screen panels

Silicone joint sealant - charcoal ●



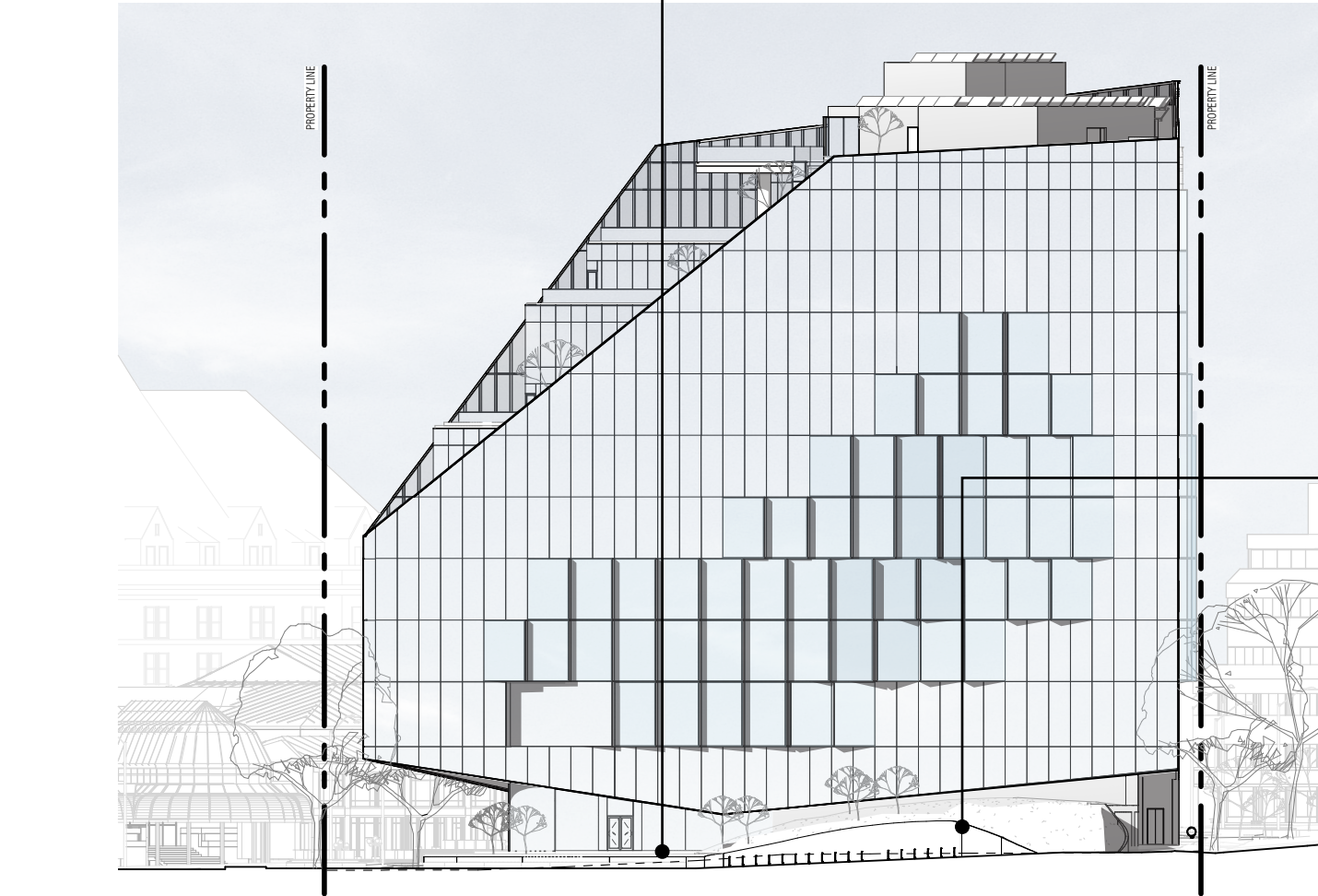
GL2

**Exterior glazing: High Reflectance Glass
High Performance Capped Curtain Wall System**

Glass:
Clear, with reflective coating on outer surface (25% or higher exterior reflectivity)

GL1A - Vision glass in insulated units
GL1B - Shadowbox spandrel units
GL1C - Vision glass guard / wind screen panels

Mullion cap finish - anodized aluminum ●

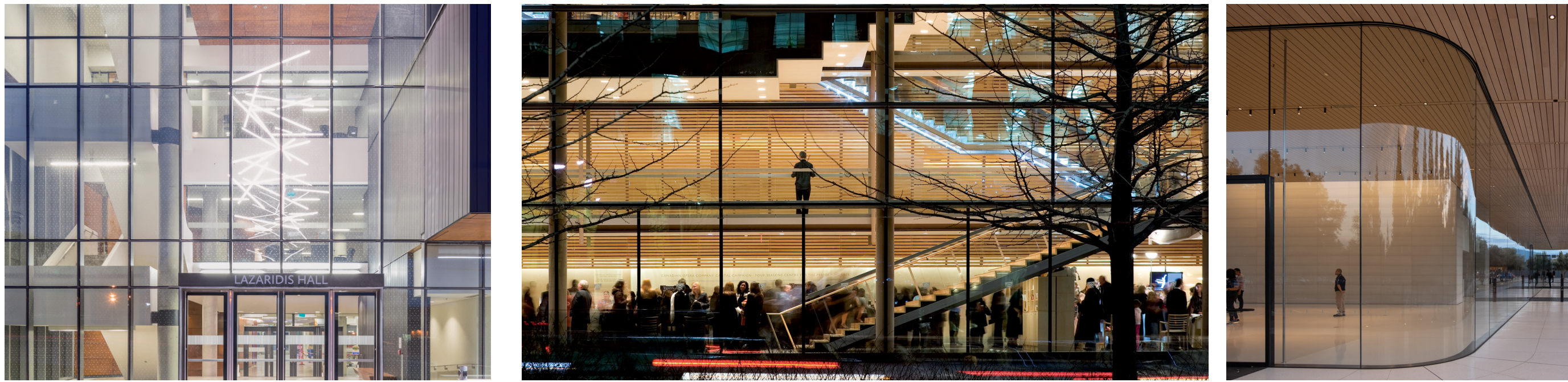


GL3

**Exterior glazing: Low Reflectance Glass
High Performance Capless Curtain Wall System**

Glass:
Ultra clear, low-reflectivity (14% or lower),
vision glass in insulated units

Silicone joint sealant - charcoal ●



GL4

Exterior glass guardrails: High Reflectance Glass

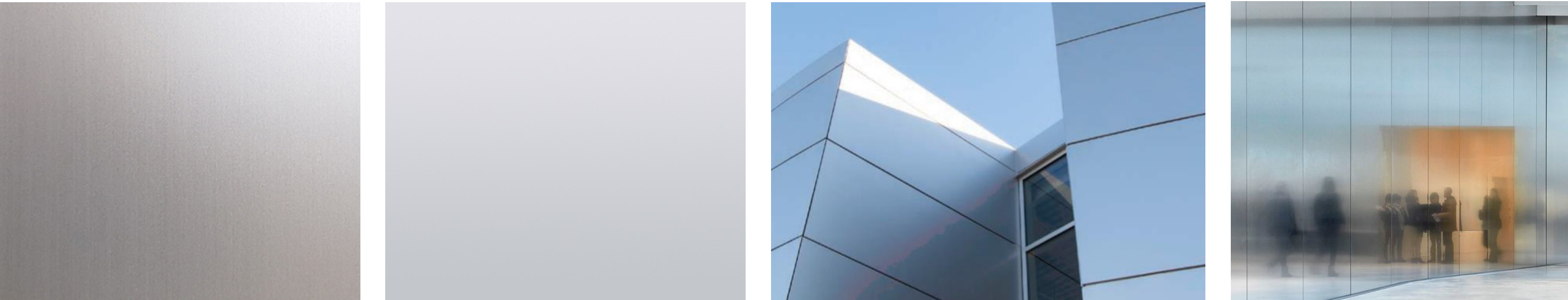
same as GL1C

MP1

**Exterior cladding and soffits:
Composite metal panels silver metallic finish**

Panels: Composite Aluminum or similar

Finish: clear fine-brushed aluminum or steel
or light/medium grey silver metallic coating



WD1

**Site features and site benches
Wood plank**

Cedar or composite boards

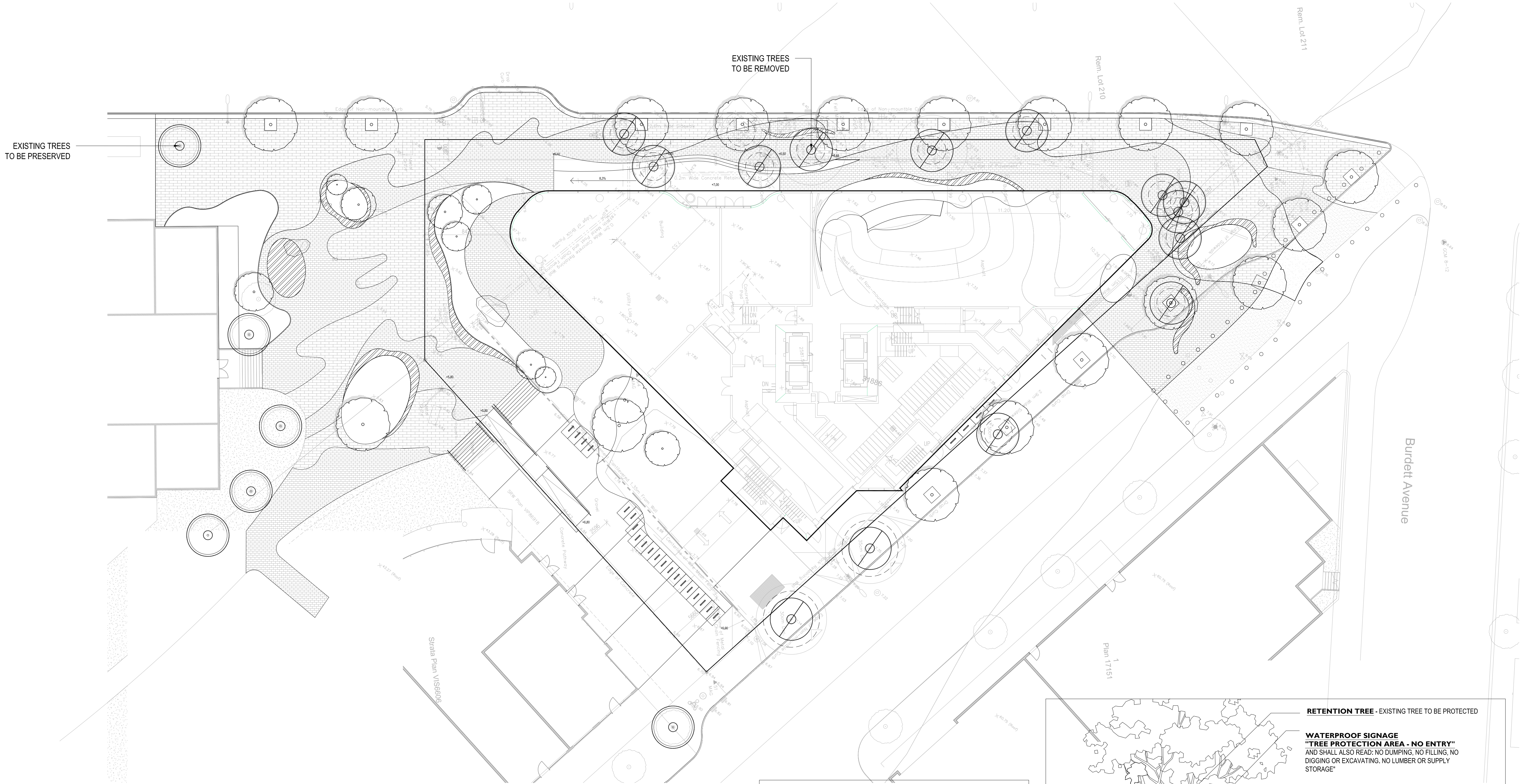


ST1

**Feature stone
Smooth slabs and venter**

Haddington stone - honed w/ anti-graffiti coating





1 TREE MANAGEMENT PLAN
L2.01 SCALE: 1:200

LEGEND

TREES TO BE PRESERVED

TREES TO BE REMOVED

TREE PROTECTION FENCING

NOTES:

- NOTES:
- ALL CONSTRUCTION WORK CLOSE TO EXISTING TREES TO BE RETAINED SHALL BE DONE UNDER THE SUPERVISION OF A CERTIFIED ARBORIST AND IN CONSULTATION WITH THE PARK BOARD ARBORIST. SUCH WORK SHALL INCLUDE BUT NOT BE LIMITED TO, ANY EXCAVATION NEAR OR WITHIN THE TREE PROTECTION ZONES, ALL MODIFICATIONS TO SITE GRADING NEAR THE TREE PROTECTION AREAS, ALL ROOT PRUNING, ANY REQUIRED BRANCH PRUNING, AND ANY OTHERWISE NECESSARY ENCROACHMENT INTO THE TREE PROTECTION AREAS.
 - NO STORAGE OF BUILDING /CONSTRUCTION MATERIALS WITHIN OR AGAINST PROTECTION BARRIER.
 - PROTECTION FENCE IS NOT TO BE LIFTED OR REMOVED AT ANY TIME FOR VEHICULAR ACCESS. VEHICLES AND HEAVY EQUIPMENT CAN CAUSE SOIL COMPACTION IN THE ROOT ZONE DEPLETING THE AIR SPACE THAT IS ESSENTIAL TO THE TREE'S HEALTH.
 - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO LANDSCAPE FEATURES REMOVAL AND / OR RELOCATION.
 - TRENCHING FOR UTILITY CONNECTIONS TO BE COORDINATED WITH ENGINEERING DEPARTMENT TO ENSURE SAFE ROOT ZONES OF RETAINED TREES. METHODS OF TREE PROTECTION FOR STREET TREES TO BE APPROVED BY CITY OF BURNABY.

RETENTION TREE - EXISTING TREE TO BE PROTECTED

WATERPROOF SIGNAGE
"TREE PROTECTION AREA - NO ENTRY"
AND SHALL ALSO READ: NO DUMPING, NO FILLING, NO DIGGING OR EXCAVATING, NO LUMBER OR SUPPLY STORAGE

SNOW FENCING - (PLASTIC MESH SCREENING) SECURELY FASTENED TO WOOD FRAME

SOLID BARRIER
50x100 (2"x4") WOOD POSTS
50x100 (2"x4") WOOD CROSS BRACE RAILS NAILED TO:
50x100 (2"x4") TOP AND BOTTOM WOOD RAILS

RETENTION TREE - EXISTING TREE TO BE PROTECTED

WOOD FRAME
-REFER TO ARBORIST REPORT

NOTES

REFER TO ARBORIST REPORT

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

ARCHITECT:
DIAMOND SCHMITT ARCHITECTS
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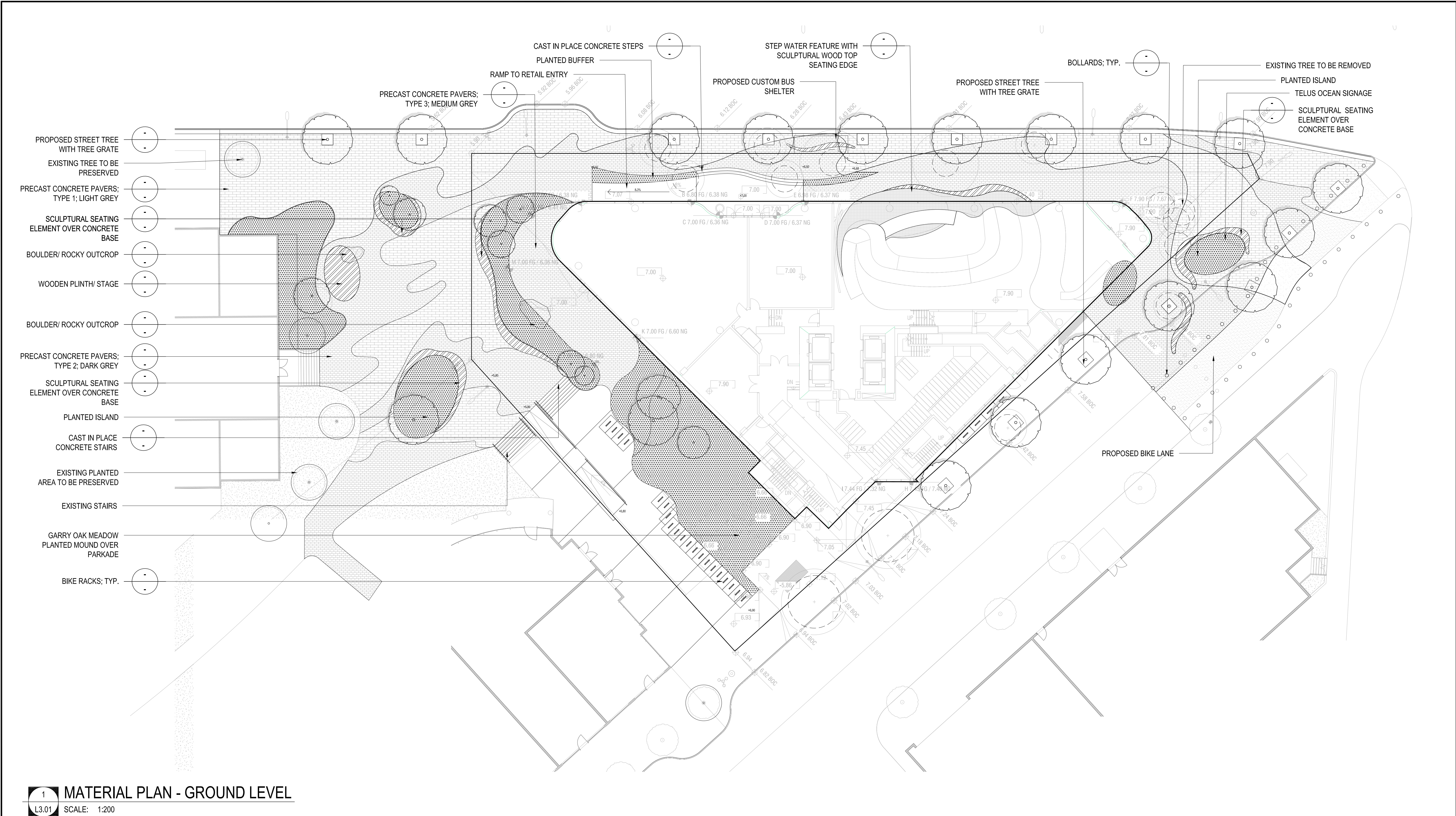
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PROJECT NAME:
TELUS OCEAN

DRAWING TITLE:
TREE MANAGEMENT PLAN

PFS PROJECT NUMBER: 20007	DATE: 07/15/2020
DRAWN BY: JW	CHECKED BY: NM
SCALE: 1:200	
DWG. NO.:	

L2.01 OF: XX



1 MATERIAL PLAN - GROUND LEVEL
L3.01 SCALE: 1:200

LEGEND

- P1

PRECAST CONCRETE PAVING TYPE 1- REFER TO SPECIFICATIONS
- P2

PRECAST CONCRETE PAVING TYPE 2 - REFER TO SPECIFICATIONS
- P3

PRECAST CONCRETE PAVING TYPE 3- REFER TO SPECIFICATIONS
- P4

CAST-IN-PLACE (CIP) CONCRETE PAVING - REFER TO SPECIFICATIONS
- P5

PRECAST TEXTURED CONCRETE PAVING COLOURED - - REFER TO SPECIFICATIONS
- P6

FLUSH WOOD DECK- REFER TO SPECIFICATIONS
- PROPOSED TREE
- EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- PROPERTY LINE
- C.I.P. CONCRETE SEAT WALL W/ WOOD TOP
- WATER FEATURE

GENERAL NOTES:

- Do not scale drawings. Use dimensional information as noted in drawings. Contact the Landscape Architect immediately if there is any ambiguity, lack of information or inconsistency. Disregard for this note and extra costs incurred will not be accepted.
- All lines and dimensions are parallel or perpendicular to the lines from which they are measured/ referenced unless noted otherwise.
- The Contractor shall verify dimensions shown on drawings and notify the Landscape Architect of any discrepancies or inconsistencies prior to construction.
- Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
- The Contractor shall be responsible for verifying the property line.

CLIENT:

PROJECT TEAM:

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STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

MATERIAL PLAN
GROUND LEVEL

PFS PROJECT NUMBER: 20007
DATE: 07/15/2020

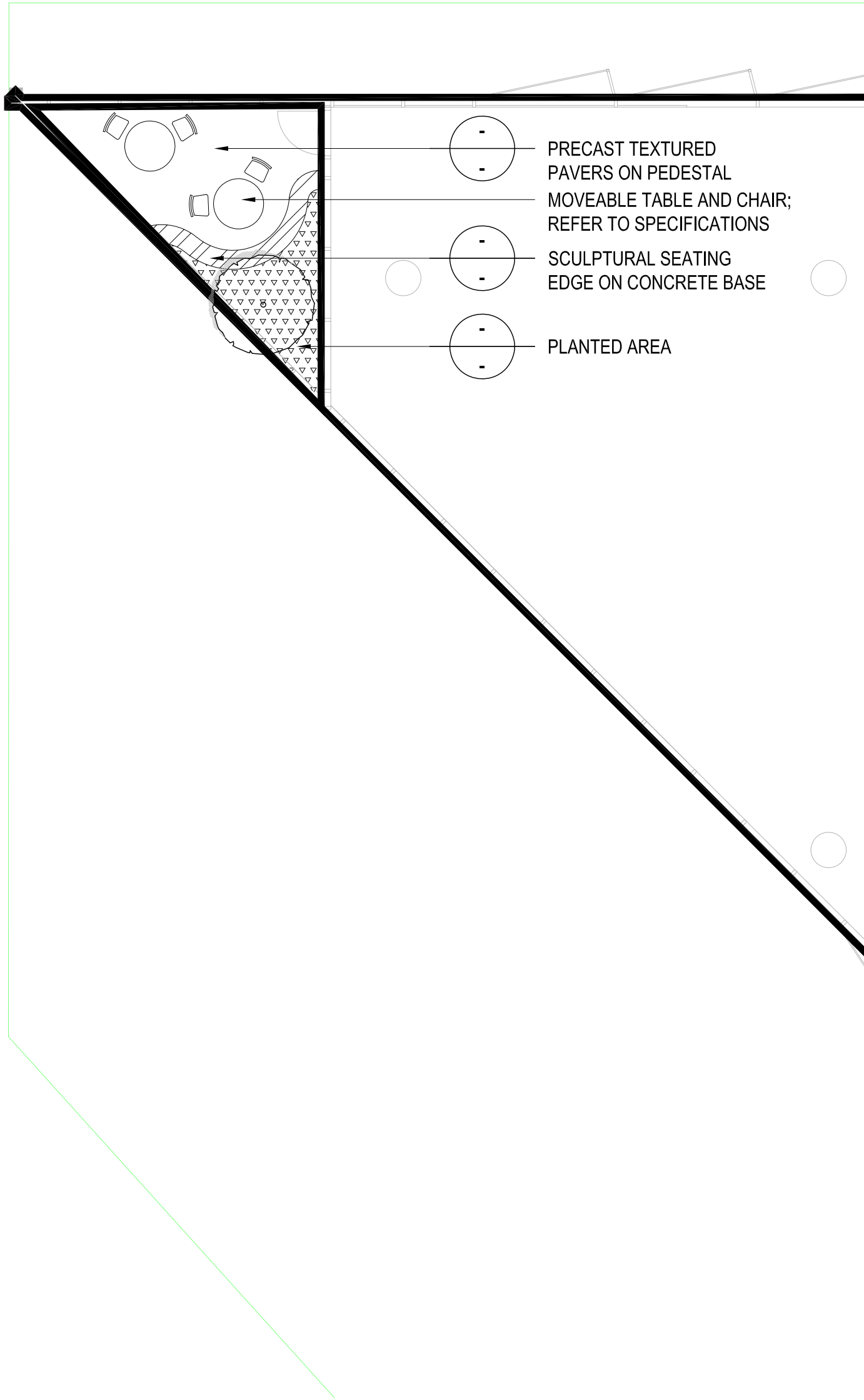
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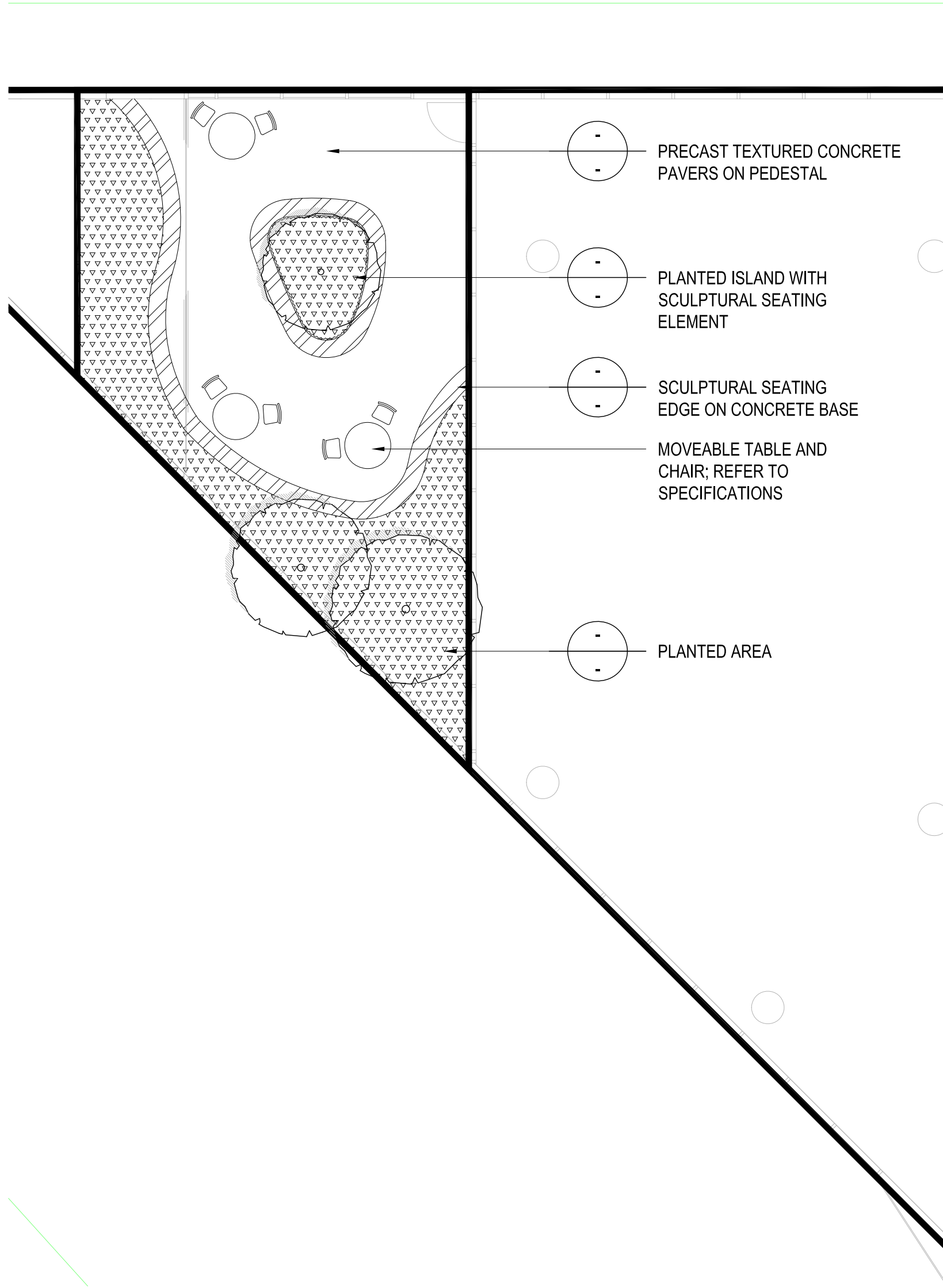
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L3.01

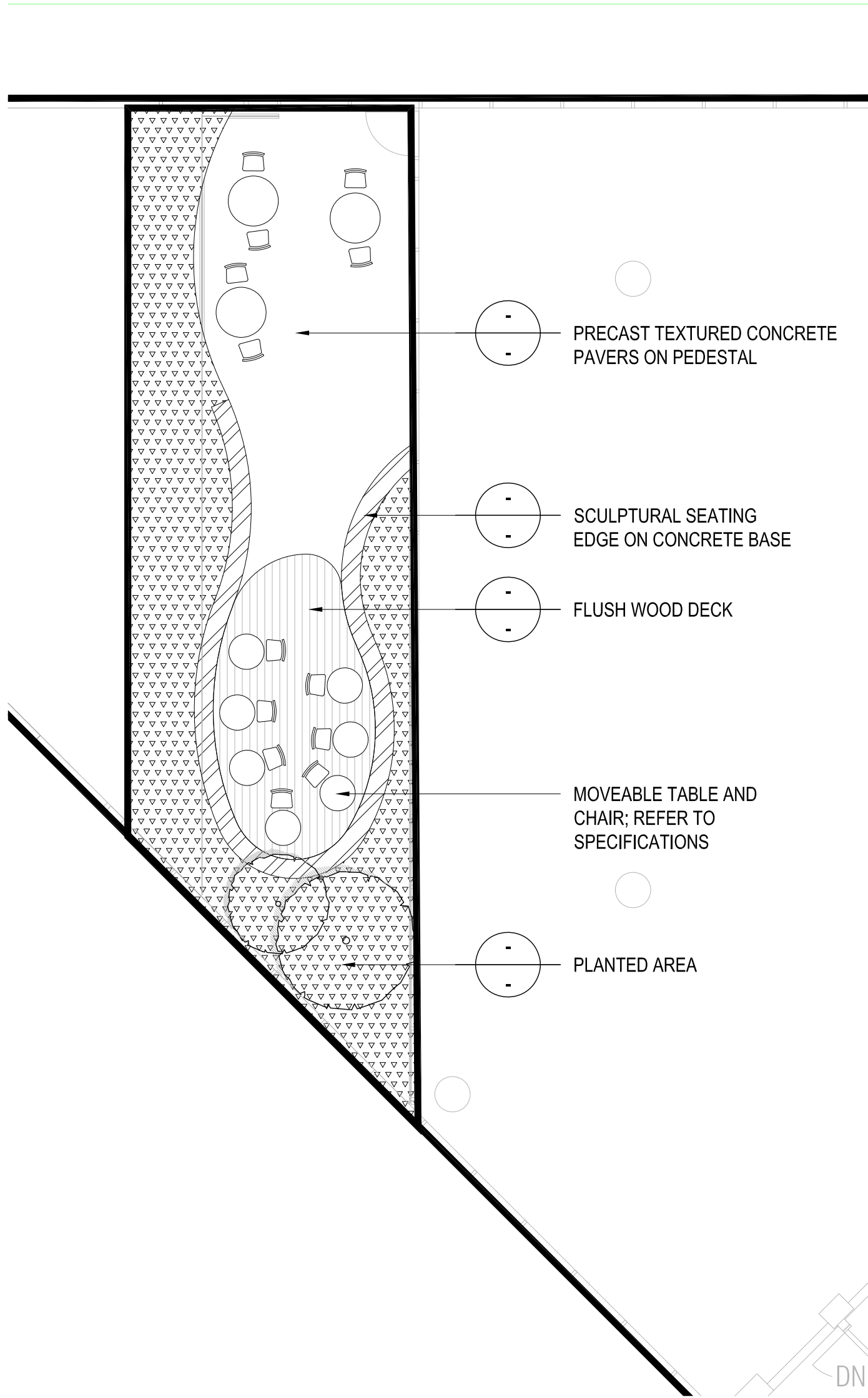
OF: XX



1 MATERIAL PLAN - LEVEL 5
L3.02 SCALE: 1:100



2 MATERIAL PLAN - LEVEL 7
L3.02 SCALE: 1:100



3 MATERIAL PLAN - LEVEL 9
L3.02 SCALE: 1:100

LEGEND

- P1 PRECAST CONCRETE PAVING TYPE 1- REFER TO SPECIFICATIONS
- P2 PRECAST CONCRETE PAVING TYPE 2 - REFER TO SPECIFICATIONS
- P3 PRECAST CONCRETE PAVING TYPE 3- REFER TO SPECIFICATIONS
- P4 CAST-IN-PLACE (CIP) CONCRETE PAVING - REFER TO SPECIFICATIONS
- P5 PRECAST TEXTURED CONCRETE PAVING COLOURED - - REFER TO SPECIFICATIONS
- P6 FLUSH WOOD DECK- REFER TO SPECIFICATIONS

- PROPOSED TREE
- PROPERTY LINE
- C.I.P. CONCRETE SEAT WALL W/ WOOD TOP
- WATER FEATURE

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- The Contractor shall be responsible for verifying the property line.

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STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

MATERIAL PLAN
LEVEL 5 - LEVEL 9

PFS PROJECT NUMBER:
22007

DATE:
07/15/2020

DRAWN BY:
JW

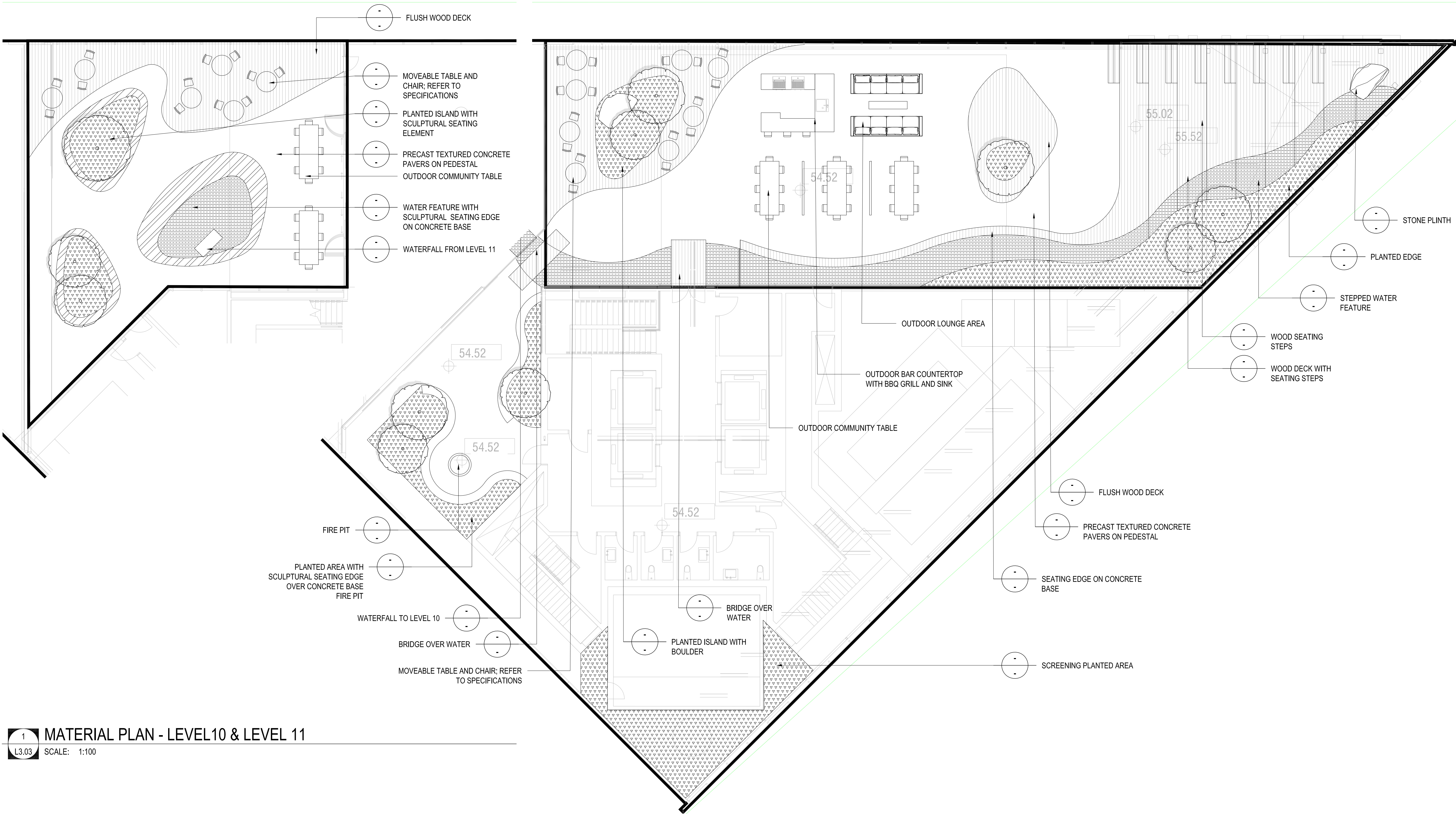
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NM

SCALE:
1:100

DWG. NO.:

L3.02

OF: XX



1 MATERIAL PLAN - LEVEL 10 & LEVEL 11
L3.03 SCALE: 1:100

LEGEND

- P1 PRECAST CONCRETE PAVING TYPE 1- REFER TO SPECIFICATIONS
- P2 PRECAST CONCRETE PAVING TYPE 2 - REFER TO SPECIFICATIONS
- P3 PRECAST CONCRETE PAVING TYPE 3- REFER TO SPECIFICATIONS
- P4 CAST-IN-PLACE (CIP) CONCRETE PAVING - REFER TO SPECIFICATIONS
- P5 PRECAST TEXTURED CONCRETE PAVING COLOURED - - REFER TO SPECIFICATIONS
- P6 FLUSH WOOD DECK- REFER TO SPECIFICATIONS

- PROPOSED TREE
- PROPERTY LINE
- C.I.P. CONCRETE SEAT WALL W/ WOOD TOP
- WATER FEATURE

GENERAL NOTES:

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- 4) Contractor to provide a staked-out location on site for review and approval by Landscape Architect prior to any excavation or installation.
- 5) The Contractor shall be responsible for verifying the property line.

CLIENT:

PROJECT TEAM:

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PFS Studio
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STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

MATERIAL PLAN
LEVEL 10 - LEVEL 11

PFS PROJECT NUMBER: 22007
DATE: 07/15/2020

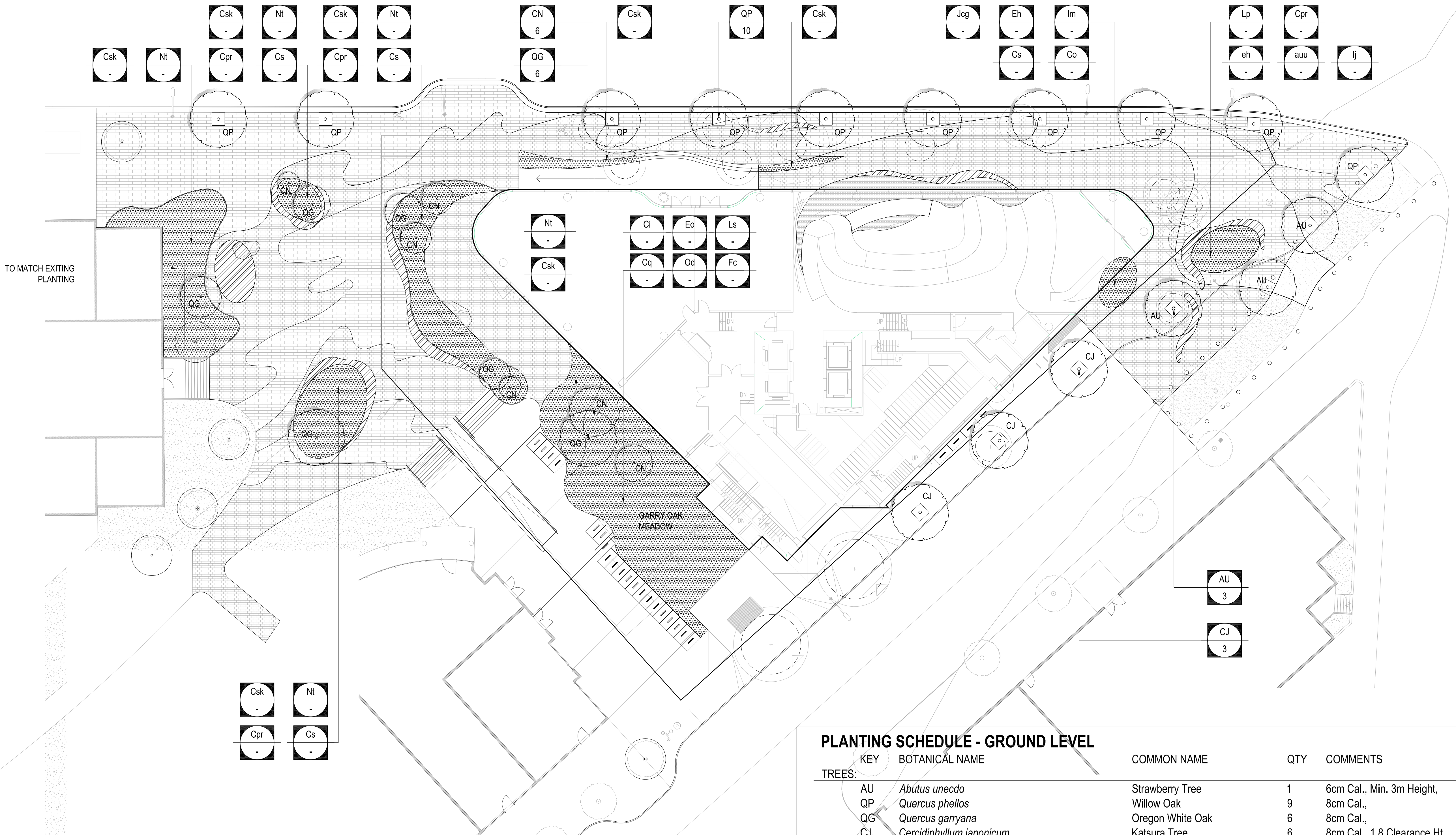
DRAWN BY: JW
CHECKED BY: NM

SCALE:
1:100

DWG. NO.:

L3.03

OF: XX



1 PLANTING PLAN - GROUND LEVEL
L6.01 SCALE: 1:200

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.

2. ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.

3. ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.

4. FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.

5. ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.

6. ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.

7. ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.

8. ALLOW 750-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
9. ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.

10. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.

11. ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.

12. THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

PLANTING SCHEDULE - GROUND LEVEL

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES:				
AU	<i>Abutus unecdo</i>	Strawberry Tree	1	6cm Cal., Min. 3m Height,
QP	<i>Quercus phellos</i>	Willow Oak	9	8cm Cal.,
QG	<i>Quercus garryana</i>	Oregon White Oak	6	8cm Cal.,
CJ	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6	8cm Cal., 1.8 Clearance Ht.
CSK	<i>Cornus nuttallii</i>	Pacific Dogwood	6	8cm Cal., Multi-stem., 3 stems
SHRUBS AND GRASSES:				
Hd	<i>Holodiscus discolor</i>	Ocean Spray	-	#5 Pot, 750mm o.c.
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#5 Pot, 750mm o.c.
Plb	<i>Philadelphus Lewisii 'Blizzard'</i>	Blizzard Dwarf Mock Orange	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea 'Kelseyi'</i>	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera pileata</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Eh	<i>Equisetum hyemale</i>	Horsetail	-	#3 Pot, 300mm o.c.
Cpr	<i>Ceanothus gloriosus 'Point Reyes'</i>	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Jcg	<i>Juncus 'Carmen's Grey</i>	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
Cs	<i>Cenchrus setaceu</i>	Fountain grass	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican feathergrass	-	#3 Pot, 450mm o.c.
Co	<i>Carex obnupta</i>	Slough Sedge	-	#3 Pot, 450mm o.c.
Cs	<i>Carex stipata</i>	Awl Fruited Sedge	-	#3 Pot, 450mm o.c.
GROUNDCOVERS:				
Im	<i>Lirope muscari</i>	Lily Turf	-	#1 Pot, 300mm o.c.
se	<i>Sedum ellacombianum</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.
ss	<i>Sedum spurium fuldaglut</i>	Sedum Fulda Glow	-	#1 Pot, 300mm o.c.
auu	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
lj	<i>Lathyrus japonicus</i>	Beach Pea	-	#1 Pot, 300mm o.c.
is	<i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
eh	<i>Erika spp.</i>	Heather Variety	-	#1 Pot, 300mm o.c.

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

ARCHITECT:
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PLANNING • URBAN DESIGN • LANDSCAPE ARCHITECTURE

STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

PLANTING PLAN
GROUND LEVEL

PFS PROJECT NUMBER:

20007

DATE:

07/15/2020

DRAWN BY:

JW

CHECKED BY:

NM

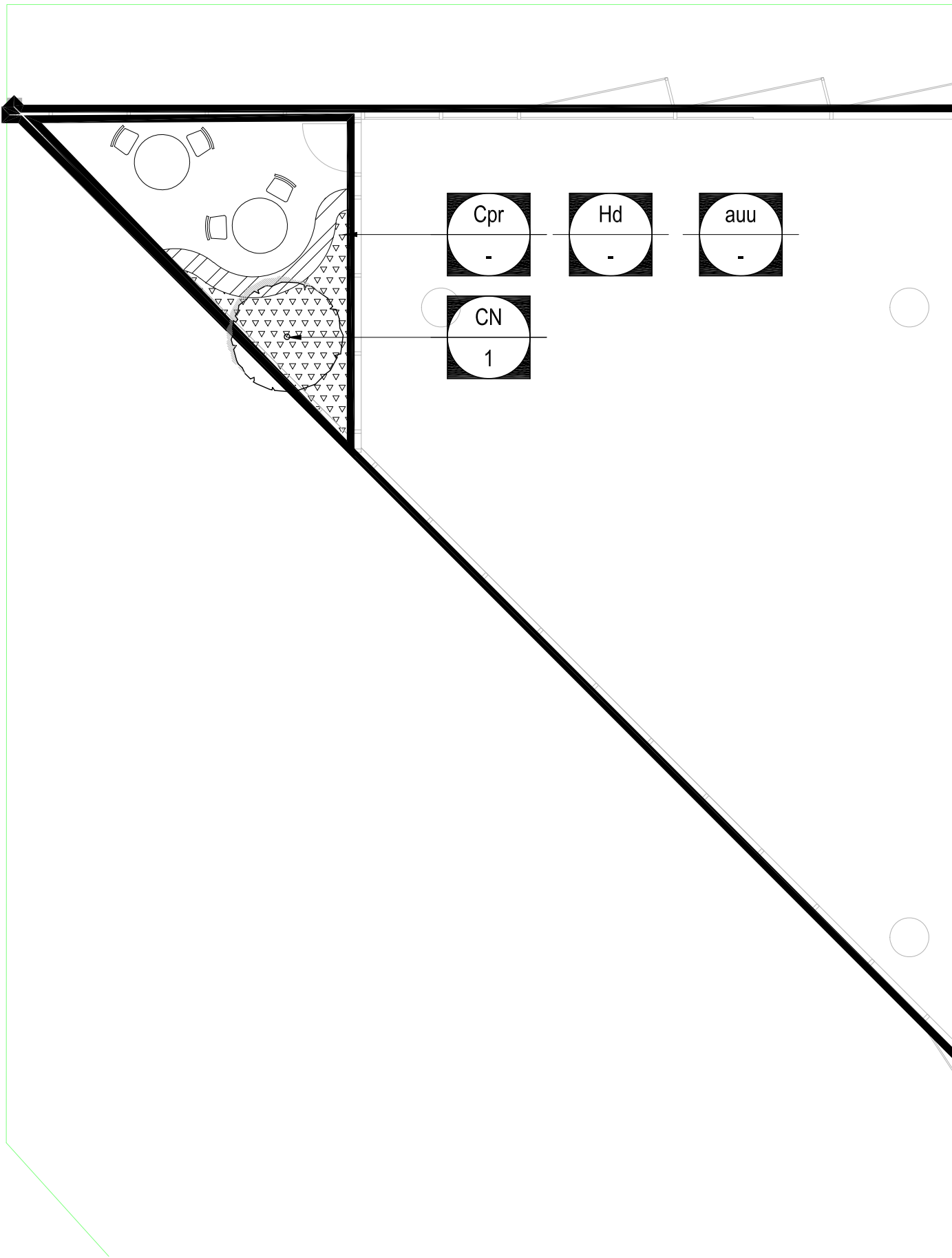
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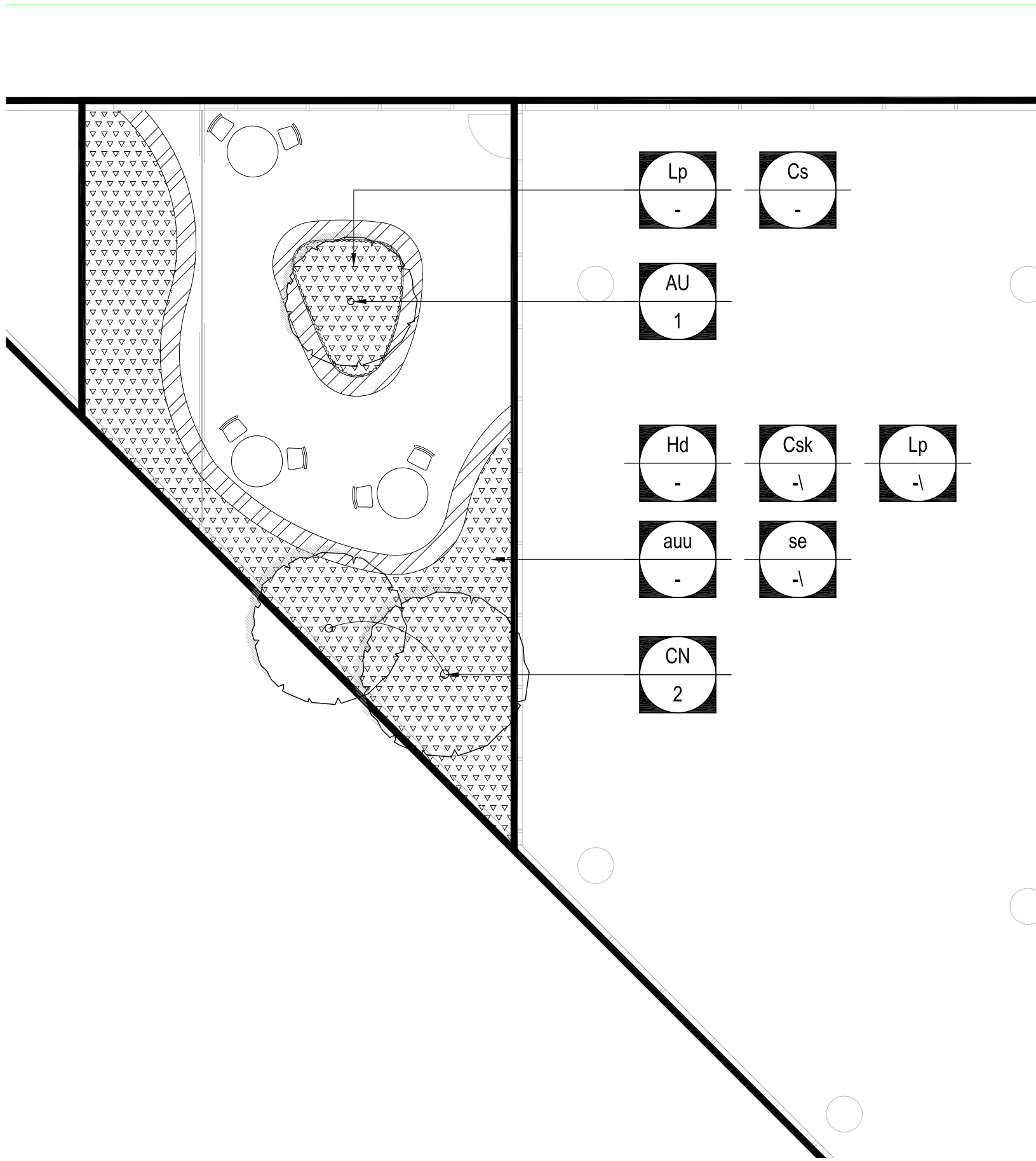
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L6.01

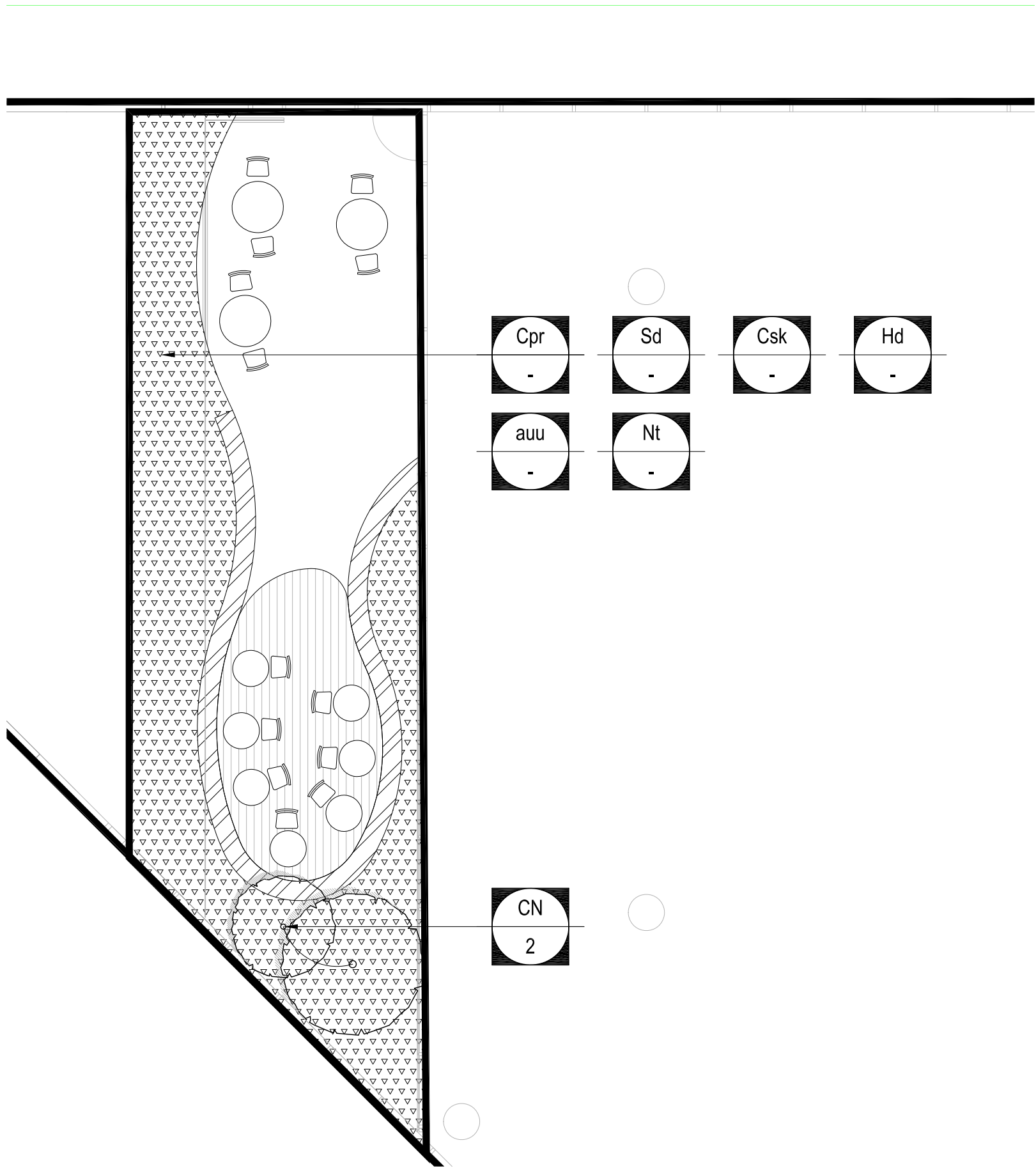
OF: XX



1 PLANTING PLAN - LEVEL 5
L6.02 SCALE: 1:100



2 PLANTING PLAN - LEVEL 7
L6.02 SCALE: 1:100



3 PLANTING PLAN - LEVEL 9
L6.02 SCALE: 1:100

PLANTING SCHEDULE - GROUND LEVEL

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES:				
AU	<i>Abutus unecdo</i>	Strawberry Tree	1	6cm Cal., Min. 3m Height,
QP	<i>Quercus phellos</i>	Willow Oak	9	8cm Cal.,
QG	<i>Quercus garryana</i>	Oregon White Oak	6	8cm Cal.,
CJ	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6	8cm Cal., 1.8 Clearance Ht.
CSK	<i>Cornus nuttallii</i>	Pacific Dogwood	6	8cm Cal., Multi-stem., 3 stems
SHRUBS AND GRASSES:				
Hd	<i>Holodiscus discolor</i>	Ocean Spray	-	#5 Pot, 750mm o.c.
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#5 Pot, 750mm o.c.
Plb	<i>Philadelphus Lewisii 'Blizzard'</i>	Blizzard Dwarf Mock Orange	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea 'Kelseyi'</i>	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera pileata</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Eh	<i>Equisetum hyemale</i>	Horsetail	-	#3 Pot, 300mm o.c.
Cpr	<i>Ceanothus gloriosus 'Point Reyes'</i>	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Jcg	<i>Juncus 'Carmen's Grey</i>	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
Cs	<i>Cenchrus setaceu</i>	Fountain grass	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican feathergrass	-	#3 Pot, 450mm o.c.
Co	<i>Carex obnupta</i>	Slough Sedge	-	#3 Pot, 450mm o.c.
Cs	<i>Carex stipata</i>	Awl Fruited Sedge	-	#3 Pot, 450mm o.c.
GROUNDCOVERS:				
Im	<i>Liriope muscari</i>	Lily Turf	-	#1 Pot, 300mm o.c.
se	<i>Sedum ellacombianum</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.
ss	<i>Sedum spurium fuldaglut</i>	Sedum Fulda Glow	-	#1 Pot, 300mm o.c.
auu	<i>Arctostaphyos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
lj	<i>Lathyrus japonicus</i>	Beach Pea	-	#1 Pot, 300mm o.c.
is	<i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
eh	<i>Erika spp.</i>	Heather Variety	-	#1 Pot, 300mm o.c.

PLANTING NOTES

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- ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
- ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALLOW 760-800 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
- ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL ELM MUST BE SOURCED FROM A CERTIFIED DED FREE SOURCE.
- THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT - LEAD CONSULTANT
PFS Studio
1777 West 3rd Avenue
Vancouver, BC V6J 1K7

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ISSUANCE:

No.	Date	Details	By
1	07-15-2020	ISSUED FOR REZONING / DP	XX

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STAMP:

PROJECT NAME:

TELUS OCEAN

DRAWING TITLE:

PLANTING PLAN
LEVEL 5 - LEVEL 9

PFS PROJECT NUMBER:
22007

DATE:
07/15/2020

DRAWN BY:
JW

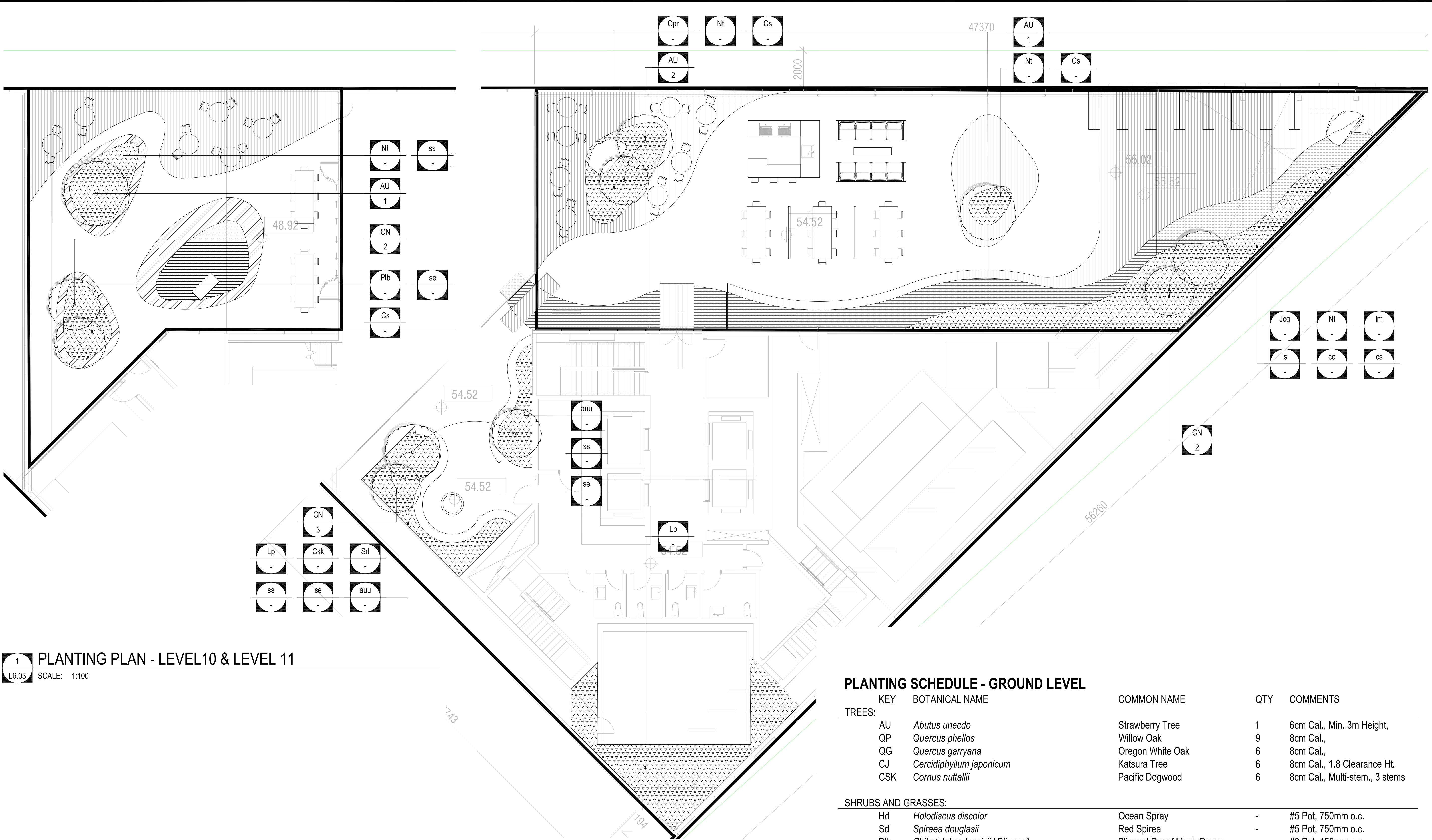
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NM

SCALE:
1:100

DWG. NO.:

L6.02

OF: XX



1 PLANTING PLAN - LEVEL 10 & LEVEL 11
L6.03 SCALE: 1:100

PLANTING NOTES

- ALL PLANT MATERIAL SHALL CONFORM TO CANADIAN LANDSCAPE STANDARDS. NURSERIES SHALL BE S.O.D. CERTIFIED.
- ALL PRUNING OF EXISTING TREES & SHRUBS TO BE UNDERTAKEN WITH APPROVAL OF THE PROJECT ARBORIST.
- ALL PRUNING DURING THE MAINTENANCE PERIOD MUST BE DONE BY AN ISA CERTIFIED ARBORIST.
- FINAL LOCATION OF ALL PLANTING MATERIAL TO BE APPROVED BY PROJECT LANDSCAPE ARCHITECT ON SITE.
- ALL PLANT MATERIAL MUST BE SUPPLIED AT THE SIZES INDICATED AND CONFORMS WITH THE SPECIFICATION.
- ALL PLANT MATERIAL SHALL BE WELL-ESTABLISHED AND UNIFORM IN SHAPE AND SIZE.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED.
- ALLOW 750-900 DIA. NO PLANTING ZONE/CLEAR OPENING AROUND ALL TREE BASES.
- ANY DISCREPANCIES ARE TO BE VERIFIED BY THE CONSULTANT FOR REVIEW AND RESPONSE.
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY AND QUANTITY OF PLANT MATERIAL SPECIFIED, ALLOWING FOR ANY AND ALL REQUIRED APPROVALS. PLANTS SUBSTITUTIONS NOT CONFIRMED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT WILL BE REJECTED.
- ALL ELM MUST BE SOURCED FROM A CERTIFIED DEF FREE SOURCE.
- THE CONTRACTOR MUST MAKE AN ALLOWANCE FOR A 20% OVER SUPPLY OF PLANT MATERIAL TO ALLOW FOR FAILED STOCK DURING THE MAINTENANCE PHASE.

PLANTING SCHEDULE - GROUND LEVEL

KEY	BOTANICAL NAME	COMMON NAME	QTY	COMMENTS
TREES:				
AU	<i>Abutus unecdo</i>	Strawberry Tree	1	6cm Cal., Min. 3m Height,
QP	<i>Quercus phellos</i>	Willow Oak	9	8cm Cal.,
QG	<i>Quercus garryana</i>	Oregon White Oak	6	8cm Cal.,
CJ	<i>Cercidiphyllum japonicum</i>	Katsura Tree	6	8cm Cal., 1.8 Clearance Ht.
CSK	<i>Cornus nuttallii</i>	Pacific Dogwood	6	8cm Cal., Multi-stem., 3 stems

SHRUBS AND GRASSES:

Hd	<i>Holodiscus discolor</i>	Ocean Spray	-	#5 Pot, 750mm o.c.
Sd	<i>Spiraea douglasii</i>	Red Spirea	-	#5 Pot, 750mm o.c.
Plb	<i>Philadelphus Lewisii 'Blizzard'</i>	Blizzard Dwarf Mock Orange	-	#3 Pot, 450mm o.c.
Csk	<i>Cornus sericea 'Kelsey'</i>	Dwarf Kelsey Dogwood	-	#3 Pot, 450mm o.c.
Lp	<i>Lonicera pileata</i>	Box-leaved Honeysuckle	-	#3 Pot, 450mm o.c.
Eh	<i>Equisetum hyemale</i>	Horsetail	-	#3 Pot, 300mm o.c.
Cpr	<i>Ceanothus gloriosus 'Point Reyes'</i>	Point Reyes Creeper	-	#3 Pot, 450mm o.c.
Jcg	<i>Juncus 'Carmen's Grey'</i>	Carmen's Grey Rush	-	#3 Pot, 300mm o.c.
Cs	<i>Cenchrus setaceu</i>	Fountain grass	-	#3 Pot, 450mm o.c.
Nt	<i>Nassella tenuissima</i>	Mexican feathergrass	-	#3 Pot, 450mm o.c.
Co	<i>Carex obnupta</i>	Slough Sedge	-	#3 Pot, 450mm o.c.
Cs	<i>Carex stipata</i>	Awl Fruited Sedge	-	#3 Pot, 450mm o.c.

GROUNDCOVERS:

Im	<i>Liriope muscari</i>	Lily Turf	-	#1 Pot, 300mm o.c.
se	<i>Sedum ellacombianum</i>	Hardy Sedum	-	#1 Pot, 300mm o.c.
ss	<i>Sedum spurium fuldaglut</i>	Sedum Fulda Glow	-	#1 Pot, 300mm o.c.
auu	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	-	#1 Pot, 300mm o.c.
Ij	<i>Lathyrus japonicus</i>	Beach Pea	-	#1 Pot, 300mm o.c.
is	<i>Iris setosa</i>	Dwarf Arctic Iris	-	#1 Pot, 300mm o.c.
eh	<i>Erka spp.</i>	Heather Variety	-	#1 Pot, 300mm o.c.

CLIENT:

PROJECT TEAM:

LANDSCAPE ARCHITECT - LEAD CONSULTANT
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