

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²) :
Lot 469: 685 m²

FLOOR AREA (m²):
L1: 171 m² (no change)
Mezzanine: 67 m² (proposed)
TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
237 m²

FLOOR SPACE RATIO: .35: 1

SITE COVERAGE (%): 28%

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none (4 provided)

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):
OTD-1

PROPOSED ZONE:
No change to zone. No change of use .

SITE AREA (m²):
Lot 470: 687 m²

FLOOR AREA (m²):
L1: 76 m² (no change)
Mezzanine: 16 m² (proposed)
TOTAL: 92 m² (proposed)

COMMERCIAL FLOOR AREA (m²):
92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%): 12%

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

BUILDING SETBACKS (m)
OTD-1 Zone, therefore, no setbacks required.

REGISTERED OWNER
Mike & Lee Spence
5067 Cordova Bay Road
Victoria, BC
V8Y 2K1
tel: 250.818.5465
lee.spence.112@gmail.com

ARCHITECT
dHKiarchitects
977 Fort Street
Victoria, BC
V8V 3K3
Charles Kierulff
tel: 250.658.3367
crk@dhk.ca

STRUCTURAL CONSULTANT
Sorensen TRILOGY Engineering Ltd.
215 - 737 Goldstream Avenue
Victoria, BC
V9B 2X4
Brian Lang
tel: 250.800.2117
brian@soresenTRILOGY.ca

MECHANICAL CONSULTANT
Avalon Mechanical Consultants Ltd.
300 - 1245 Esquimalt Road
Victoria, BC
V9A 3P2
Mirek Demidow
tel: 250.384.4128
fax: 250.384.4134

ELECTRICAL CONSULTANT
Williams Engineering
202-51 Bastion Square
Victoria, BC
V8W 1J1
Michael Phillips
tel: 778.406.0023 ext.6001
MPhillips@williamsengineering.com

REFERENCED DOCUMENT: CITY OF VICTORIA SIGNAGE BYLAW 14-097

ZONE 1
Arterial Commercial
1:1 Ratio Permitted (maximum total area: 9 m²)

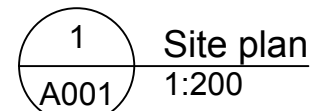
SIGN TYPE
Combination Sign: Business name painted on facade (mural style).

SIGN AREA AS SHOWN
8.9 sq m

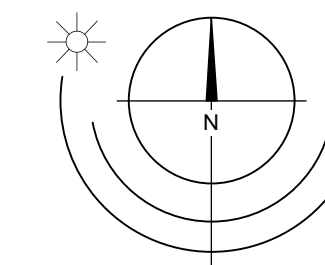
Note: Final sign design to be done by others in compliance to current sign bylaws.

Architectural	
A001	Project Data & Site Plan
A201	Level 1 & Mezzanine Floor Plan
A202	Roof Top Plan
A203	Seating Plan
A401	Elevations
A501	Sections
A601	Materials Board

- 1 Enlarge existing concrete pad
- 2 Staff bike parking relocated
- 3 CO₂ unit added under stair
- 4 Water closets, storage room and bar area reconfigured. No change to enclosed area.
- 5 Mechanical screening area enlarged to accommodate the addition of new glyco unit
- 6 Food preparation area with trellis over added
- 7 Location of exit gate and exit stair shifted
- 8 Changes to liquor service areas. No change to total Occupant Load
- 9 Change to sign design (by others) - refer to A401 & A401
- 10 Reduce window size
- 11 Repaint Herald St. facade as per materials schedule - refer to A401 & A401
- 12 Interior stair to continue to roof
- 13 Building Code Summary updated to reflect proposed roof design



- Building occupancy is limited to 178 people as per approved liquor licence, with an additional 99 people on the roof (unlicensed) for a total of 277 people. Total Number of water closets provided (3.7.2.2.A) is 9. All water closet stalls are private and unisex. Sign with occupant limit to be posted on site.
- Accessible washroom provided is ground floor universal washroom (3.7.2.10).



1		12 NOV 2019		Re-Issued for Development Per
Rev	Date	31 DEC 2018	Description	Issued for Development Per
print date		12 NOV 2019	drawing file	
drawn by	r/c		checked by	
scales	As Noted		project number	17

NOTE: All dimensions are shown in millimeters.

RE-ISSUED FOR DEVELOPMENT PERMIT



de Hooft & Kierulf architects

1777 Fort Street
Victoria BC V8Y 3K3
T 1-250-688-3367

project name

Herald Brew Pub

506 Herald Street
Victoria, BC

drawing title

Project Data & Floor Plan

COMPONENTS PROPOSED: THESE PLANS AND DETAILS ADDRESS THE PROPERTY OF HER HOOFT AND KIERULF ARCHITECTS TO BE USED FOR THE ALL THINGS RELATED TO THE BUILDING OF THE HERALD BREW PUB AND NOT BE REPRODUCED OR COPIED WITHOUT WRITTEN PERMISSION.

NANAIMO OFFICE
102-5150 Dublin Way
Nanaimo BC V9T 5R8
T 1-250-685-5810

DATE: 01/11/2011

PROJECT NO: 1101

PROJECT NAME: HERALD BREW PUB

PROJECT ADDRESS: 506 HERALD STREET, VICTORIA, BC

PROJECT TYPE: RESTAURANT / PUB

PROJECT STATUS: PRELIMINARY

PROJECT OWNER: HERALD BREW PUB

PROJECT ARCHITECT: DE HOOFT & KIERULF ARCHITECTS

PROJECT ENGINEER: [REDACTED]

PROJECT CONSULTANT: [REDACTED]

PROJECT CONTRACTOR: [REDACTED]

PROJECT SUBMITTER: [REDACTED]

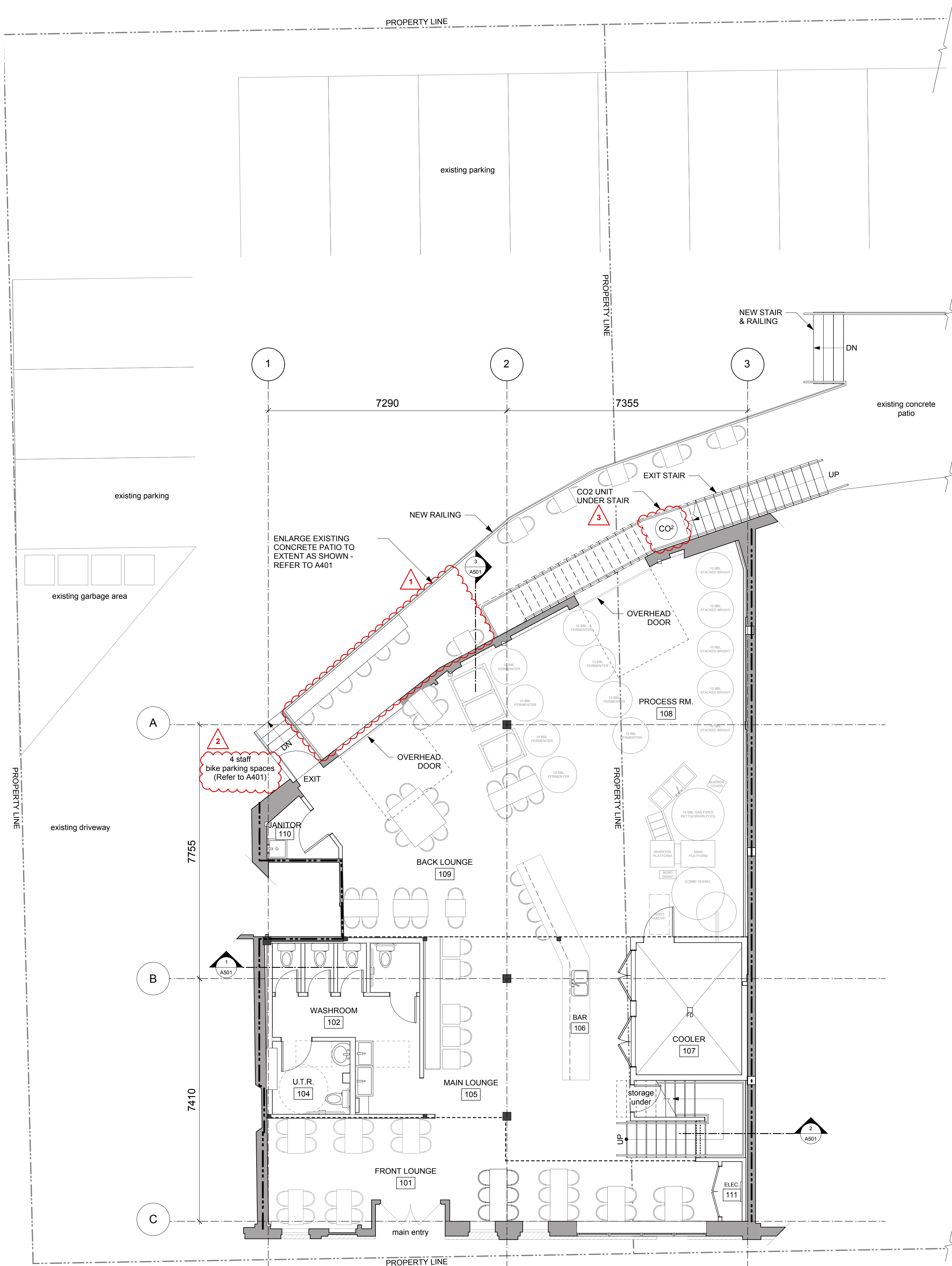
PROJECT REVIEWER: [REDACTED]

PROJECT APPROVER: [REDACTED]

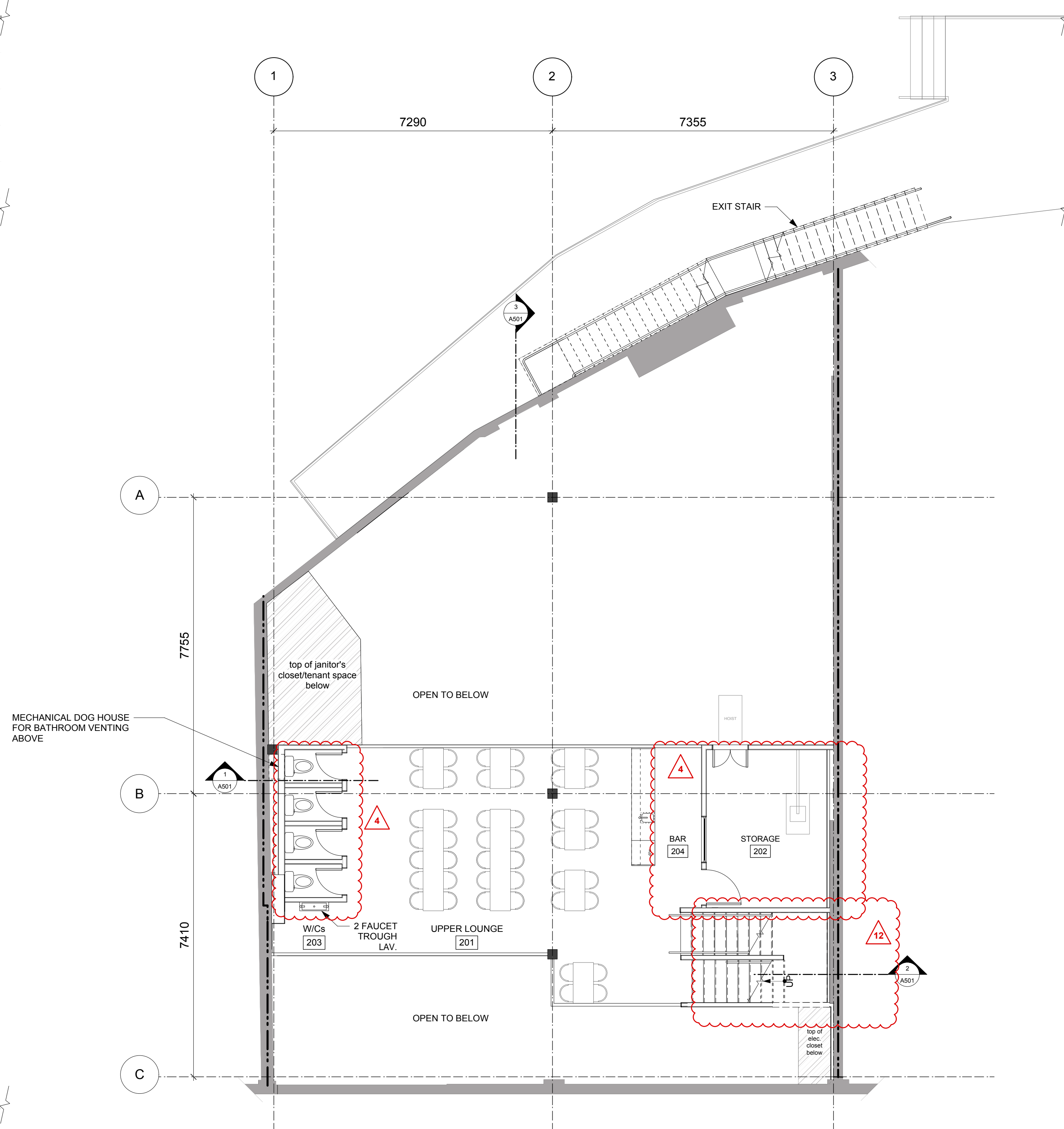
PROJECT DATE: 01/11/2011

PROJECT SCALE: 1/8" = 1'-0"

PROJECT SHEET: 1



1 Level 1 Floor Plan
Scale: 1:75

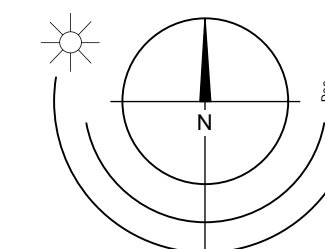


2 Mezzanine Floor Plan
Scale: 1:75

- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
 - Shaded walls are existing.
 - All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

Revisions List

- Enlarge existing concrete pad
- Staff bike parking relocated
- CO₂ unit added under stair
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- Reduce window size
- Repaint Herald St. facade as per materials schedule - refer to A401 & A601
- Interior stair to continue to roof
- Building Code Summary updated to reflect proposed roof design



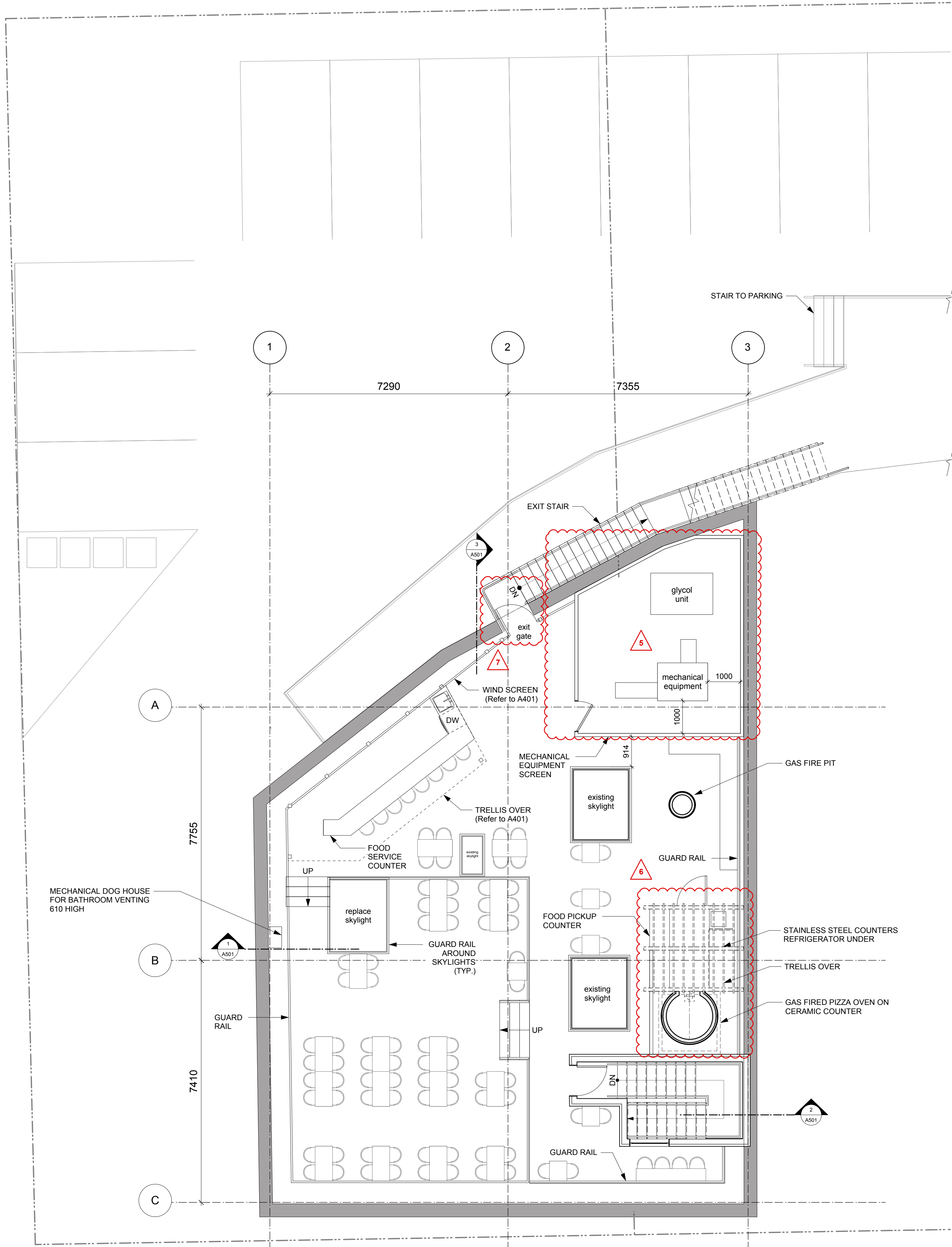
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1	12 NOV 2019	Re-issued for Development Permit
Rev	Date	Description
	31 DEC 2018	Issued for Development Permit
print date	12 NOV 2019	drawing file
drawn by	RBC	checked by CRK
scale	1:75	project number 1748

NOTE: All dimensions are shown in millimeters.

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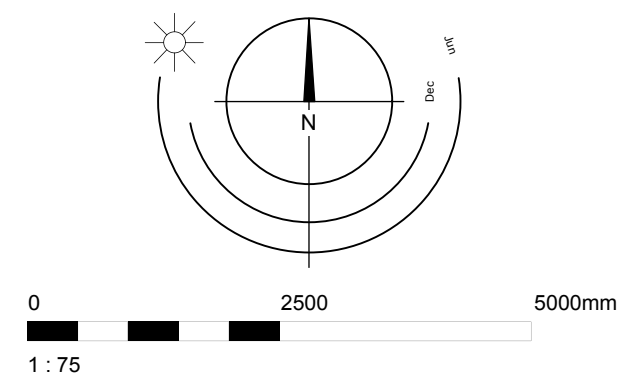
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VICTORIA OFFICE 977 Fort Street Victoria BC V8V 2K3 T 1-250-608-3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2W6 T 1-250-585-5810
Herald Brew Pub 506 Herald Street Victoria, BC	
Level 1 & Mezzanine Floor Plan	
project name	sheet no.
A201	1



1 Rooftop Plan
A202 Scale: 1:75

- General Notes**
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
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Rev	Date	Description
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Victoria BC V8V 2K3
T 1-250-608-3367

NANAIMO OFFICE
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Nanaimo BC V9T 2K6
T 1-250-585-5810

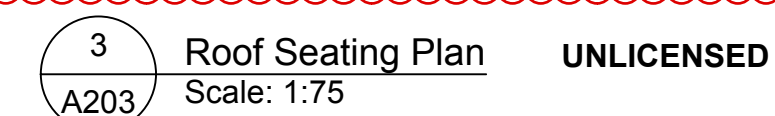
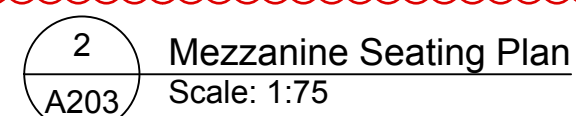
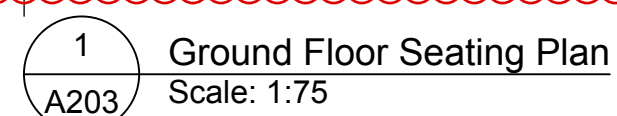
project name
Herald Brew Pub
506 Herald Street
Victoria, BC

Roof Top Floor Plan

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sheet no.
A202

index no.
1





de Hoog & Kierulf architects

VICTORIA OFFICE
 977 Fort Street
 VICTORIA BC V8V 3K3
 T 1-250-658-3367

project name

Herald Brew Pub
 506 Herald Street
 Victoria, BC

drawing title

Seating Plan

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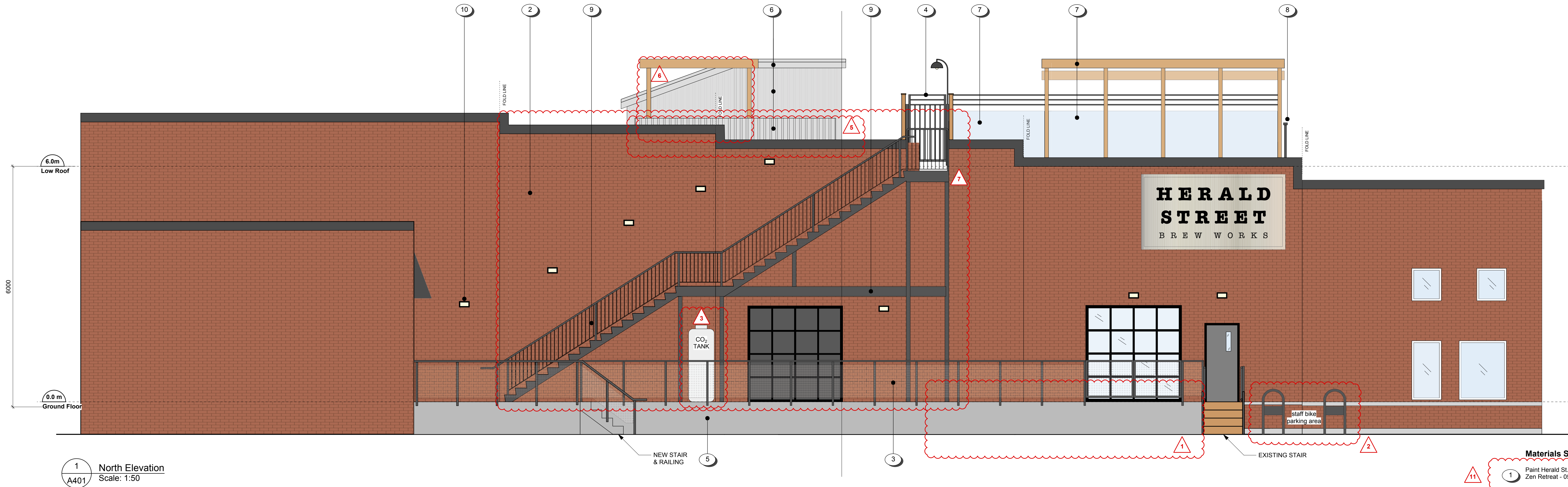
NANAIMO OFFICE
 102-5190 Dublin Way
 Nanaimo BC V9T 2A8
 T 1-250-655-5810

REVISED BY

A203

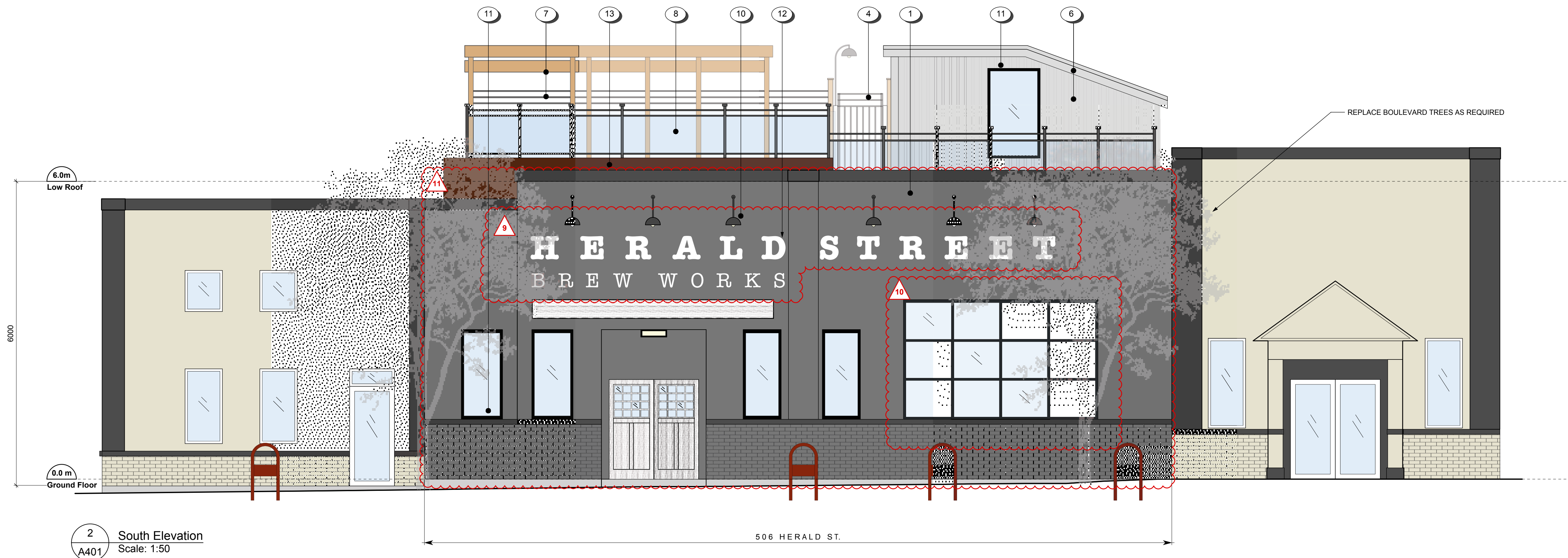
NUMBER OF

1



Materials Schedule

- 1 Paint Herald St. facade: Cloverdale - Zen Retreat - 0535
- 2 Retain existing brick (typ.)
- 3 Prefinished aluminum guardrail frame - Dark Grey. Climb-proof mesh inset - Anodized.
- 4 Prefinished aluminum gate - Dark Grey. Fir posts - Clear Stain.
- 5 Paint new concrete infill to match existing.
- 6 Anodized metal.
- 7 1828 mm high windbreak with translucent tempered glass and prefinished aluminum frame - Dark Grey. Fir posts and trellis - Clear Stain.
- 8 Prefinished aluminum guardrail frame - Dark Grey. Translucent tempered glass inset.
- 9 Prefinished aluminum stair, pickets and railing - Dark Grey.
- 10 New lighting to co-ordinate with existing (by others).
- 11 Paint all trim: Cloverdale - Subway - 0536
- 12 New mural-style painted sign (by others). Refer to Sign Bylaw Summary, A001.
- 13 New wood decking.



Revisions List

- 1 Enlarge existing concrete pad
- 2 Staff bike parking relocated
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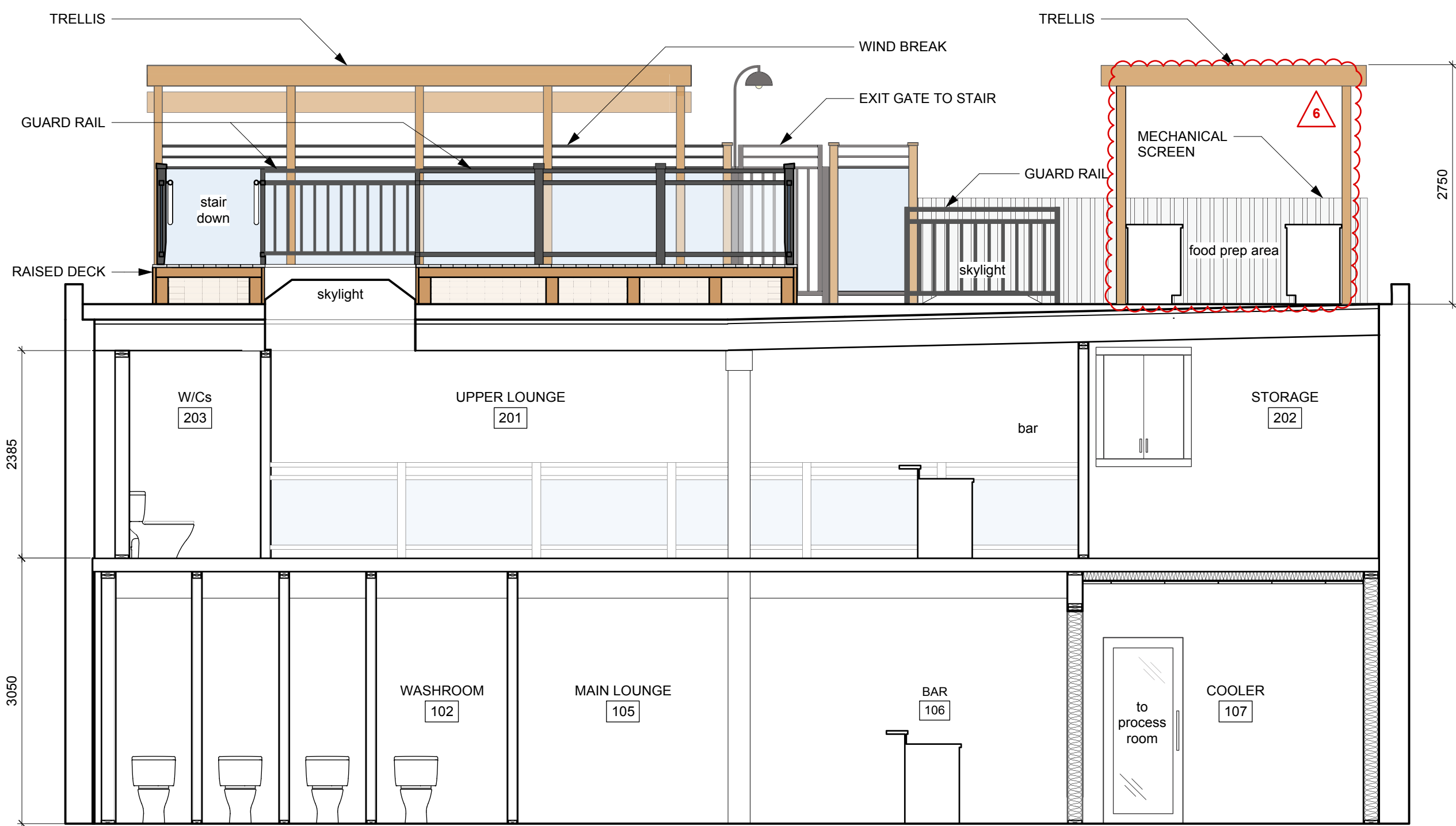
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Rev	Date	Description	Issued for Development Permit
1	12 NOV 2019		Re-issued for Development Permit
2	31 DEC 2018		Issued for Development Permit
3	12 NOV 2019		
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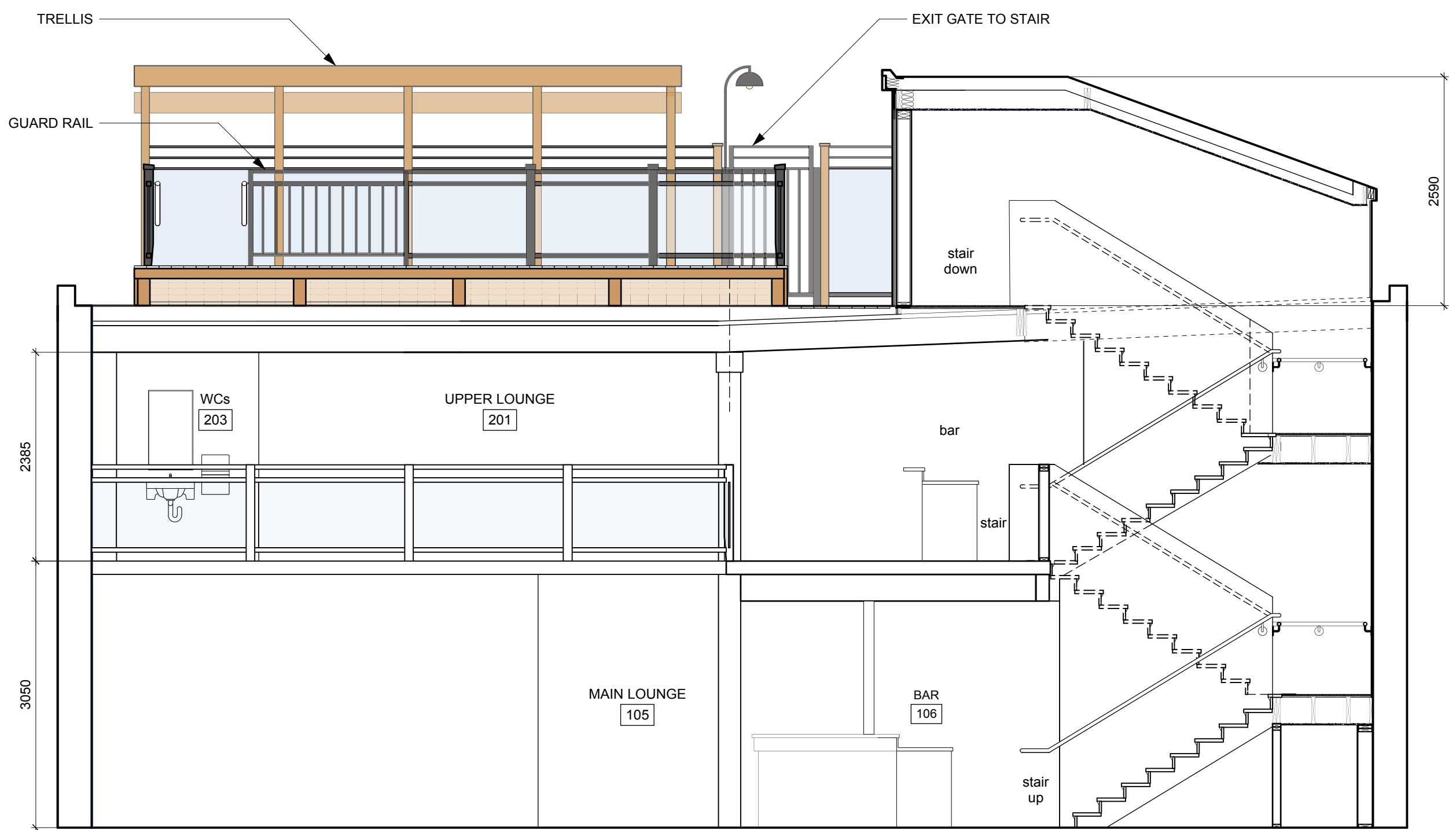
NOTE: All dimensions are shown in millimeters.

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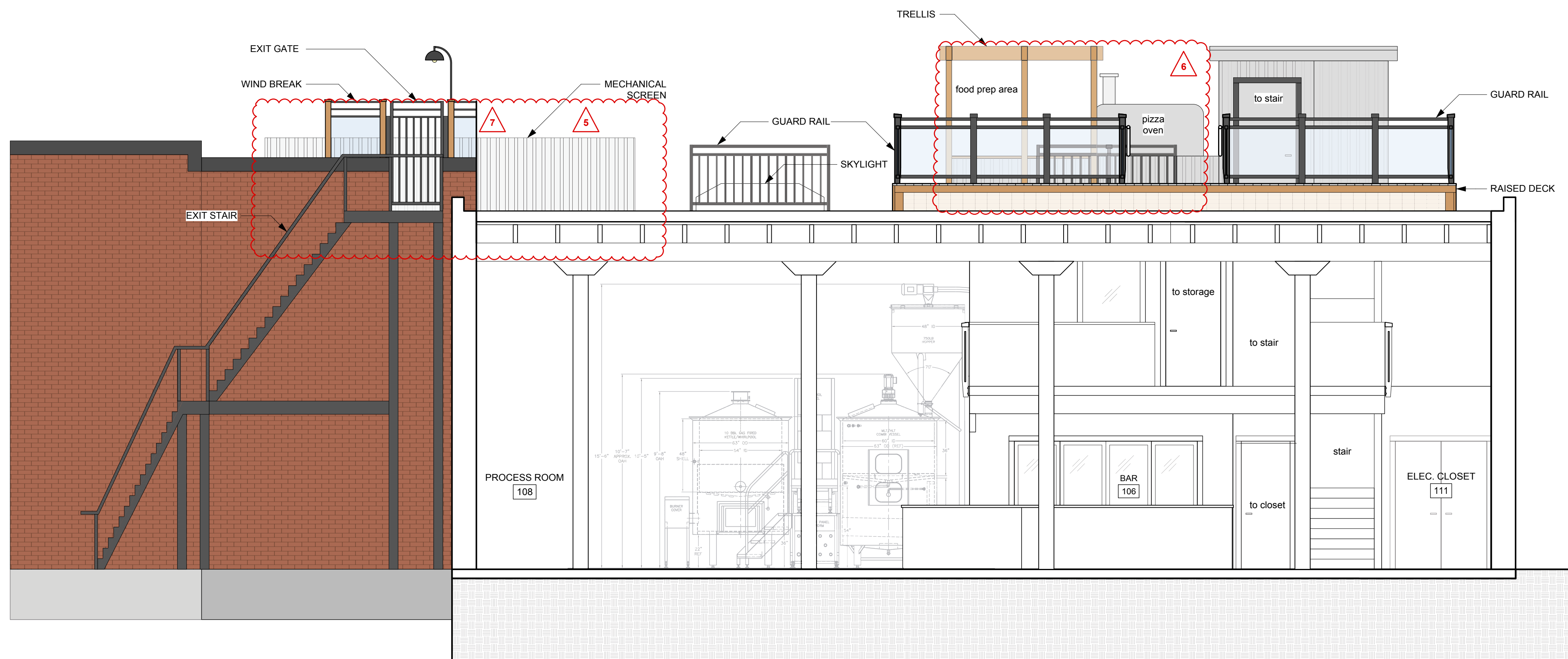
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VICTORIA OFFICE 977 Fort Street VICTORIA BC V8V 3K3 T 1-250-858-5387	NANAIMO OFFICE 102-5190 Dublin Way NANAIMO BC V9T 2K6 T 1-250-585-5810
Herald Brew Pub 506 Herald Street Victoria, BC	
Elevations	
project name	drawing no.
A401	1



1 Building Section
A501 Scale: 1:50



2 Building Section
A501 Scale: 1:50



3 Building Section
A501 Scale: 1:50

Revisions List

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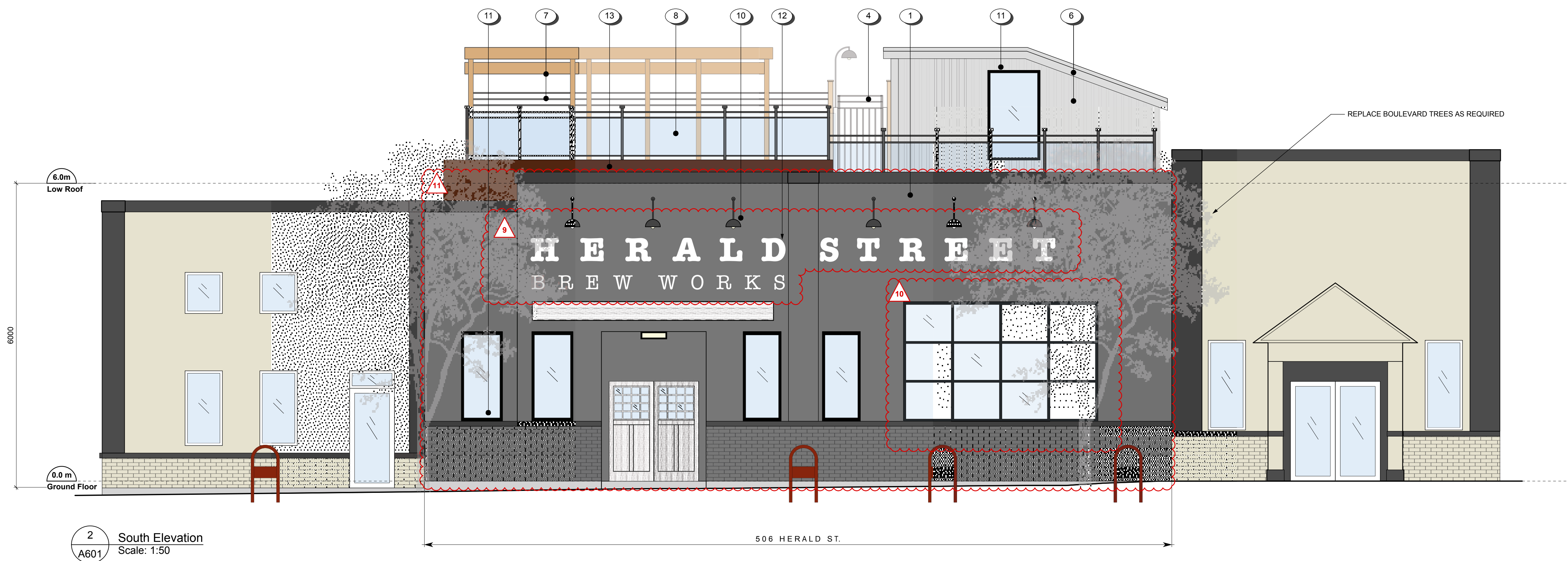
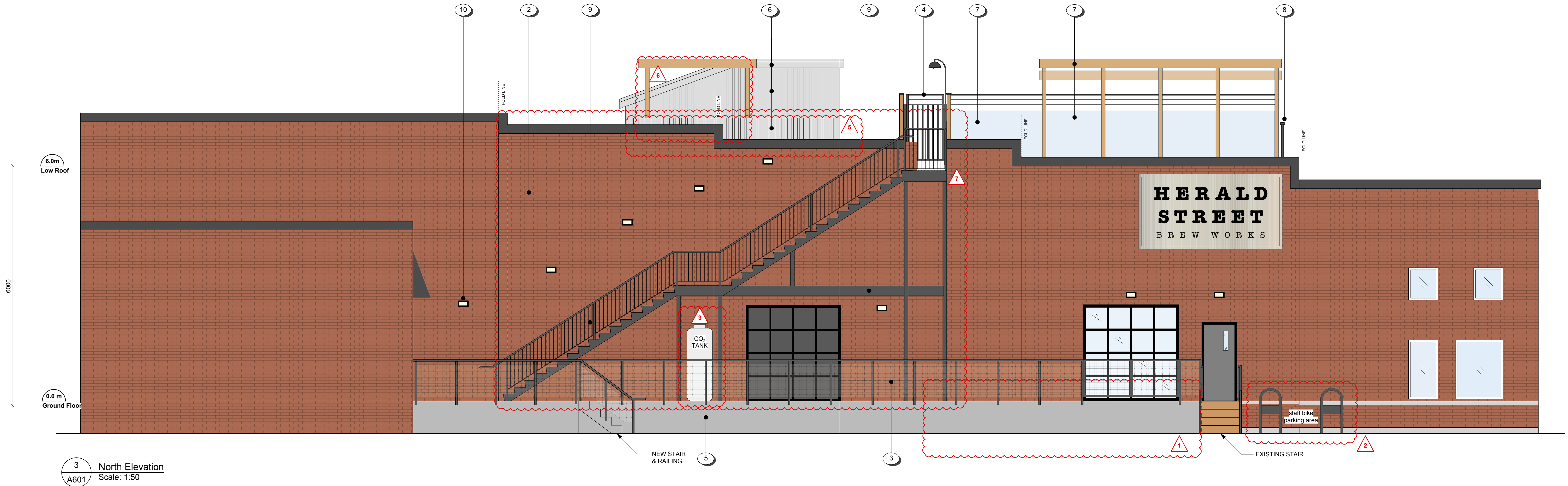
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8	12 NOV 2019	Issued for Development Permit
9	12 NOV 2019	Issued for Development Permit
10	12 NOV 2019	Issued for Development Permit
11	12 NOV 2019	Issued for Development Permit
12	12 NOV 2019	Issued for Development Permit
13	12 NOV 2019	Issued for Development Permit

NOTE: All dimensions are shown in millimeters.

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project name Herald Brew Pub 506 Herald Street Victoria, BC	project no. A501
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Revisions List

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0 1250 2500mm

1:50