ZONING INFORMATION - LOT 469

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING):

PROPOSED ZONE:

No change to zone. No change of use .

SITE AREA (m²):

Lot 469:

FLOOR AREA (m²):

171 m² (no change) Mezzanine: 67 m² (proposed)

TOTAL: 237 m² (proposed)

COMMERCIAL FLOOR AREA (m²):

FLOOR SPACE RATIO: .35: 1

SITE COVERAGE (%):

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 8 (existing, no change)

PARKING STALLS REQUIRED: none

LOT 486

LOT 469

685 sq. m.

S

0

EXISTING PARKING

506 HERALD STREET

AREA A =

311.9 m²

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none (4 provided)

LOT 485

18418

LOT 470

4.8 m²

AREA 8 = 111.1 m²

EXISTING

AREA C = 137.8 m²

687 sq. m.

BUILDING SETBACKS (m)

OTD-1 Zone, therefore, no setbacks required.

ZONING INFORMATION - LOT 470

CIVIC ADDRESS: 506 Herald Street, Victoria, BC

ZONE (EXISTING): OTD-1

PROPOSED ZONE:

No change to zone. No change of use

SITE AREA (m²): Lot 470:

FLOOR AREA (m2):

76 m² (no change) 16 m² (proposed) Mezzanine:

92 m² (proposed)

COMMERCIAL FLOOR AREA (m2): 92 m²

FLOOR SPACE RATIO: .13: 1

SITE COVERAGE (%): 12%

HEIGHT OF BUILDING (m): 6.0 m (no change)

NUMBER OF STOREYS: 1

PARKING STALLS ON SITE: 4 (existing, no change)

PARKING STALLS REQUIRED: none

BICYCLE PARKING NUMBER (CLASS 1 & CLASS 2): none

364.7 m²

BUILDING SETBACKS (m)

LOT 484

ME NO ME FIRE EXIT 24.2 ME

EXISTING BUILDING

HERALD STREET

AREA 0 = 295.4 m²

72, 163

88° 00' 25° "

OTD-1 Zone, therefore, no setbacks required.

PROJECT INFORMATION

REGISTERED OWNER

Mike & Lee Spence

5067 Cordova Bay Road

tel: 250.818.5465 Victoria. BC V8Y 2K1 lee.spence.112@gmail.com

ARCHITECT

V9A 3P2

LOT 482

LOT 473

LOT 483

LOT 472

AREA F = 597.5 m²

EXISTING BUILDING

dHKiarchitects 977 Fort Street Charles Kierulf Victoria, BC tel: 250.658.3367 V8V 3K3 crk@dhk.ca

STRUCTURAL CONSULTANT

Sorensen TRILOGY Engineering Ltd. 215 - 737 Goldstream Avenue

Brian Lang Victoria, BC tel: 250.880.2117 V9B 2X4 brianl@sorensenTRILOGY.ca

MECHANICAL CONSULTANT

Avalon Mechanical Consultants Ltd. 300 - 1245 Esquimalt Road Victoria. BC

Mirek Demidow tel: 250.384.4128 fax: 250.384.4134

ELECTRICAL CONSULTANT

Williams Engineering Michael Phillips 202-31 Bastion Square tel: 778.406.0023 ext.6001 Victoria, BC MPhillips@williamsengineering.com V8W 1J1

SIGNAGE BYLAW SUMMARY

REFERENCED DOCUMENT: CITY OF VICTORIA SIGNAGE BYLAW 14-097

ZONE 1

Arterial Commercial 1:1 Ratio Permitted (maximum total area: 9 m²)

SIGN TYPE

Combination Sign: Business name painted on facade (mural style).

SIGN AREA AS SHOWN

8.9 sq m

Note: Final sign design to be done by others in

compliance to current sign bylaws.

BUILDING CODE SUMMARY - 506 Herald Street, Victoria, BC

■ REFERENCED DOCUMENT: BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

BUILDING AREA [Building Footprint]: 1900 m2 overall, 260 m² for A-2 506 Herald Street

BUILDING HEIGHT: One (1) storey

NUMBER OF STREETS FACING: One (1)

SPRINKLERED: Yes

MAJOR OCCUPANCY CLASSIFICATIONS: Group E (3.2.2.67) and A2 (3.2.2.27). 3.2.2.67 is more restrictive.

SEPARATION OF MAJOR OCCUPANCIES: (3.1.3.1)

Minimum fire-resistance rating of fire separation, Group E to A-2: 2 hours., Group A-2 to A-2 - none.

CONSTRUCTION TYPE (3.1.4): Combustible Heavy Timber Construction

OCCUPANT LOAD (3.1.17):

1.2 m²/person for dining and beverage.

4.6 m² /person for process rooms

Ground Floor:

Gross Floor Area 260 m² (served by 2 exits front and rear) Total Load: 123 people Ground Floor Restaurant Area: $124 \text{ m}^2 = 103 \text{ people}$

 $73 \text{ m}^2 = 16 \text{ people}$ Ground Floor Process Area:

$19 \text{ m}^2 = 4 \text{ people}$ Cooler:

Mezzanine:

Gross Floor Area 83 m² (served by 1 stair down to Ground Floor) Total Load: 67 people

Mezzanine Restaurant Area: $56 \text{ m}^2 = 67 \text{ people}$

Rooftop:

Gross Area 167 m² (served by 2 exits front and rear) Total Load: 200 people (seasonal).

Rooftop Restaurant Area: $167 \text{ m}^2 = 200 \text{ people}$

Total Calculated Occupant Load: 390; Occupant load limited and posted per 3.1.17.1.2) to 277 people.

CONSTRUCTION REQUIREMENTS (3.2.2.67):

Group E, up to 3 storeys, Sprinklered

• 1) A building classified as Group E is permitted to conform to Sentence(2) provided a) except as permitted by Sentences 3.2.2.7.(1) and 3.2.2.18.(2), the building is sprinklered throughout, b) it is not more than 3 storeys in building height, and

c) it has abuilding area not more than

i) 7 200 m2 if 1 storey in building height,

2) The building referred to in Sentence (1) is permitted to be of combustible construction or noncombustible construction used singly or in combination, and

a) floor assemblies shall be fire separations with a fire - resistance rating not less than 45min,

b) mezzanines shall have, if of combustible construction, a fire-resistance rating not less than 45 min, c) loadbearing walls, columns and arches supporting an assembly required to have a fire-resistance rating shall

i) have a fire-resistance rating not less than 45 min, or ii) be of noncombustible construction, and

d) loadbearing walls, columns and arches supporting a fire separation shall have a fire-resistance rating not less than that required for the fire separation.

FIRE ALARM AND DETECTION SYSTEMS (3.2.4):

Signal to Fire Department required, 2 stage. Will notify that an alert signal has been initiated (3.2.4.8.3)
Building is one storey and less than 2000 m², and therefore can be one fire zone. An annunciator is not

required if there is only one zone (3.2.4.9(2,3))

 Visual and audible trouble signal to be provided at main entrance (3.2.4.4) • Electrical supervision of fire alarm system required (3.2.4.10)

 Smoke detectors not required (3.2.4.12) Fire alarm system monitoring required (3.2.4.16)

Manual pull stations required at exits (3.2.4.17)

EXITS AND EGRESS:

Travel Distance to an exit is 45 m maximum (3.4.2.5); 8.5 m (Ground Floor), 13 m (Mezzanine), 29 m (Roof) actual.

Minimum Width of Exits (3.4.3.2):

Doorways:

Exit corridor / passageway: 1100 mm 900 mm 800 mm

WASHROOMS:

 Building occupancy is limited to 178 people as per approved liquor licence, with an additional 99 people on the roof (unlicensed) for a total of 277 people. Total Number of water closets provided (3.7.2.2.A) is 9. All water closet stalls are private and unisex. Sign with occupant limit to be posted on site.

• Accessible washroom provided is ground floor universal washroom (3.7.2.10).

Revisions List

Enlarge existing concrete pad

DRAWING LIST

Project Data & Site Plan

Roof Top Plan

Seating Plan

Materials Board

Elevations

Sections

Level 1 & Mezzanine Floor Plan

Architectural

A201

A202

A203

A401

A501

2 Staff bike parking relocated

 $\binom{3}{3}$ CO₂ unit added under stair

enclosed area.

Water closets, storage room and bar 4 \ area reconfigured. No change to

Mechanical screening area enlarged to √ 5 \ accommodate the addition of new glycol

Food preparation area with trellis over **6** \ added

Location of exit gate and exit stair 7 shifted

Changes to liquor service areas. No 8 \ change to total Occupant Load

Change to sign design (by others) -9 \ refer to A401 & A001

/10\ Reduce window size

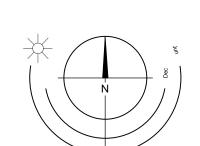
Repaint Herald St. facade as per materials schedule - refer to A401 &

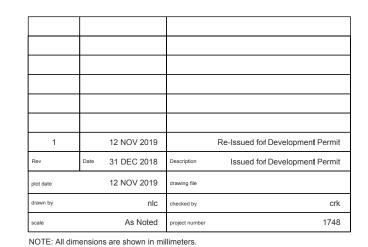
/12\ Interior stair to continue to roof

Building Code Summary updated to 13\ reflect proposed roof design



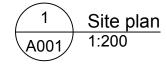
Revisions Bubbled areas indicate revisions compared to the previously **Received Date:**



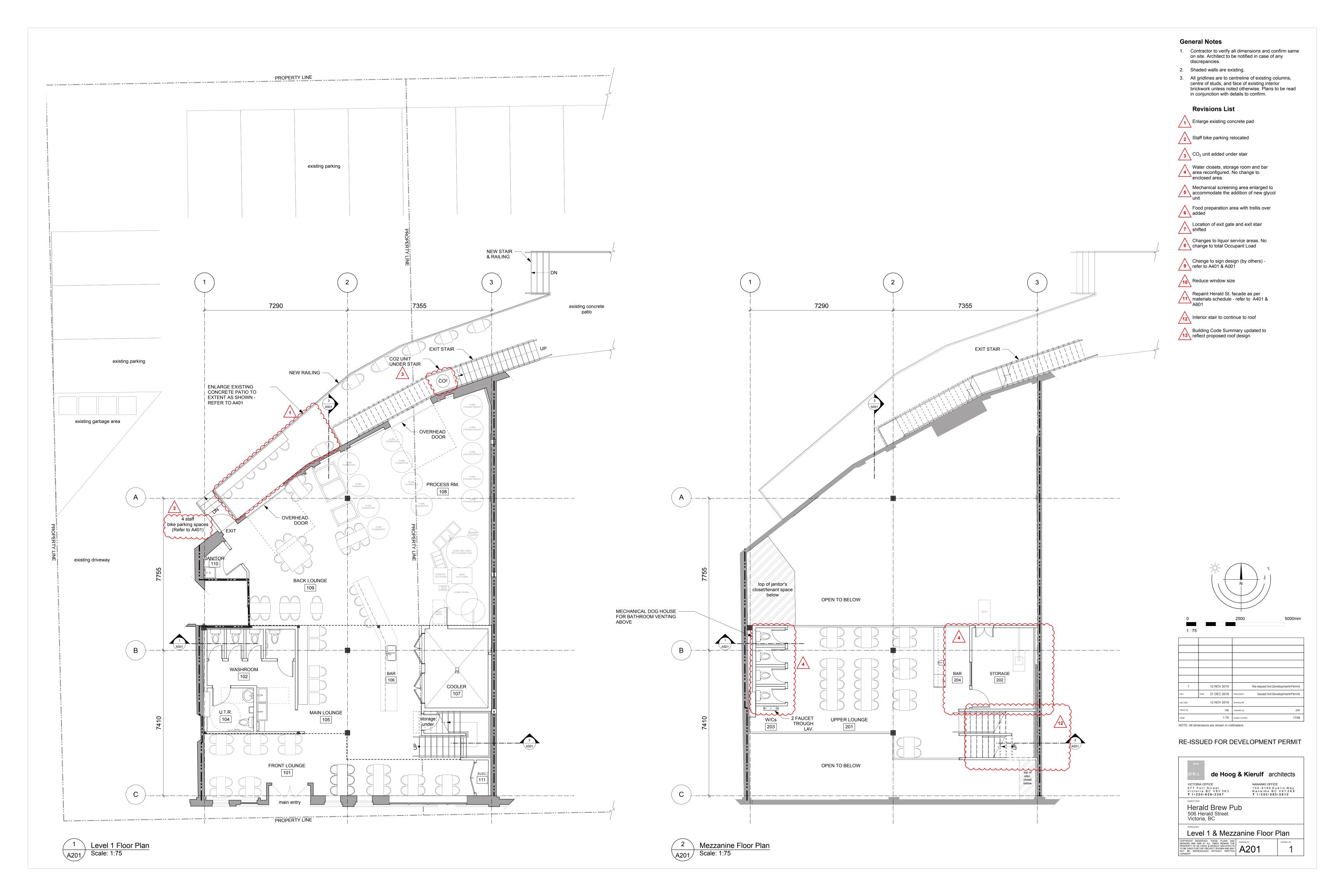


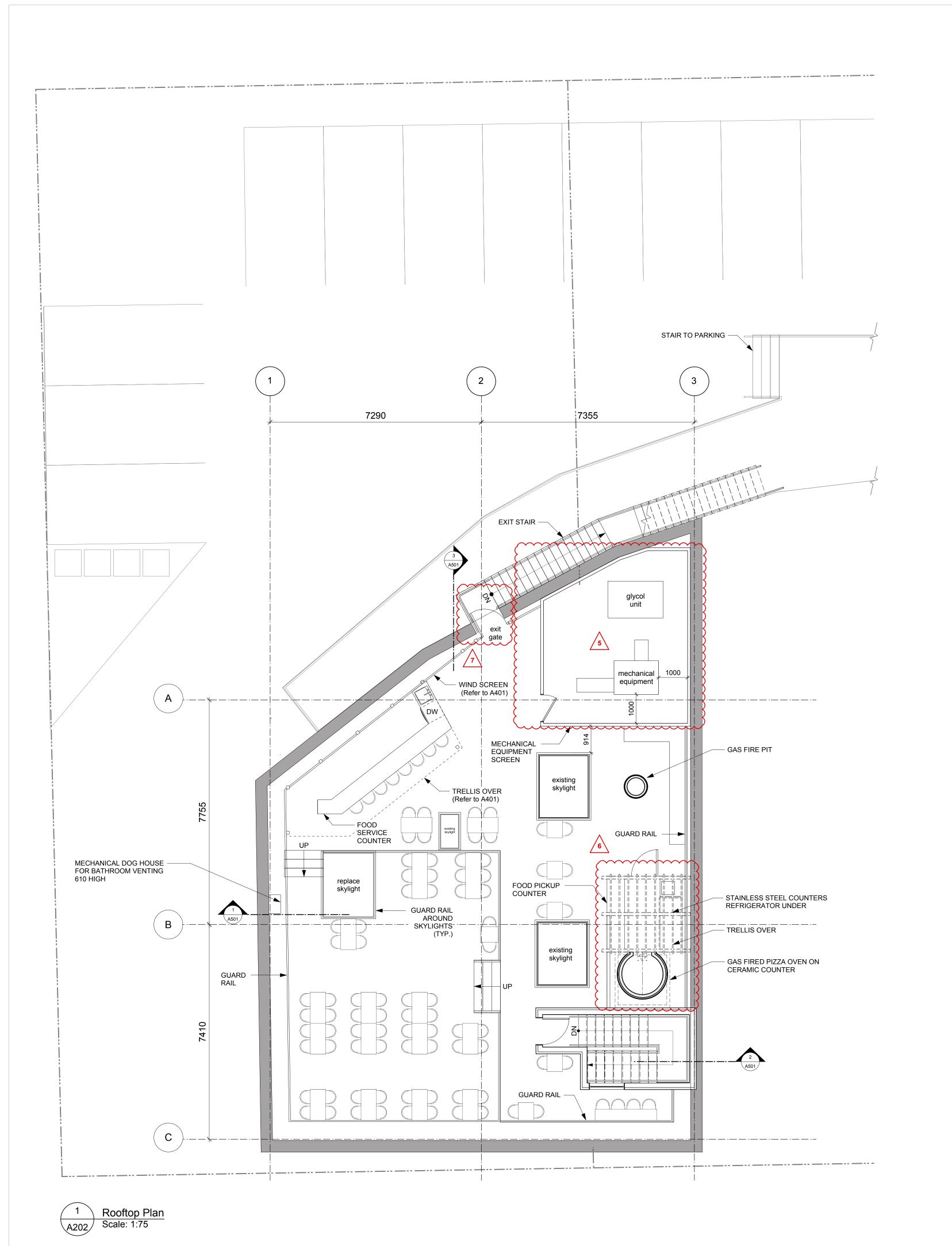
RE-ISSUED FOR DEVELOPMENT PERMIT





BLDG.





General Notes

- 1. Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- Shaded walls are existing.
- All gridlines are to centreline of existing columns, centre of studs, and face of existing interior brickwork unless noted otherwise. Plans to be read in conjunction with details to confirm.

Revisions List

1 Enlarge existing concrete pad

Staff bike parking relocated

 \bigcirc CO₂ unit added under stair

Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol

Location of exit gate and exit stair **/** 7 \ shifted

6 added

Changes to liquor service areas. No change to total Occupant Load

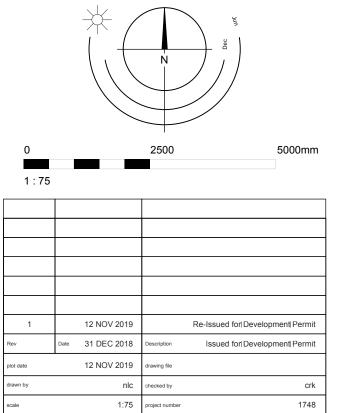
Change to sign design (by others) - refer to A401 & A001

10 Reduce window size

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

12 Interior stair to continue to roof

Building Code Summary updated to reflect proposed roof design

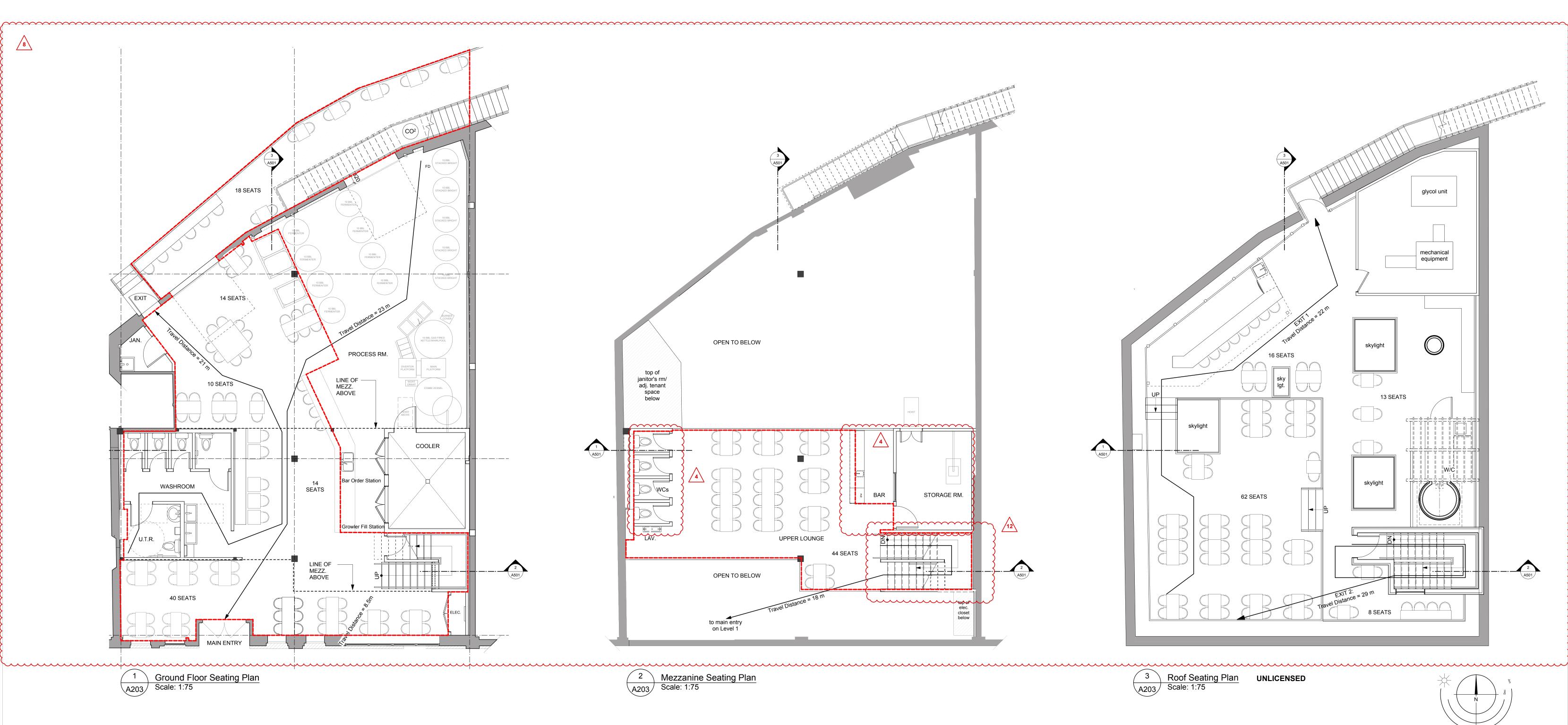


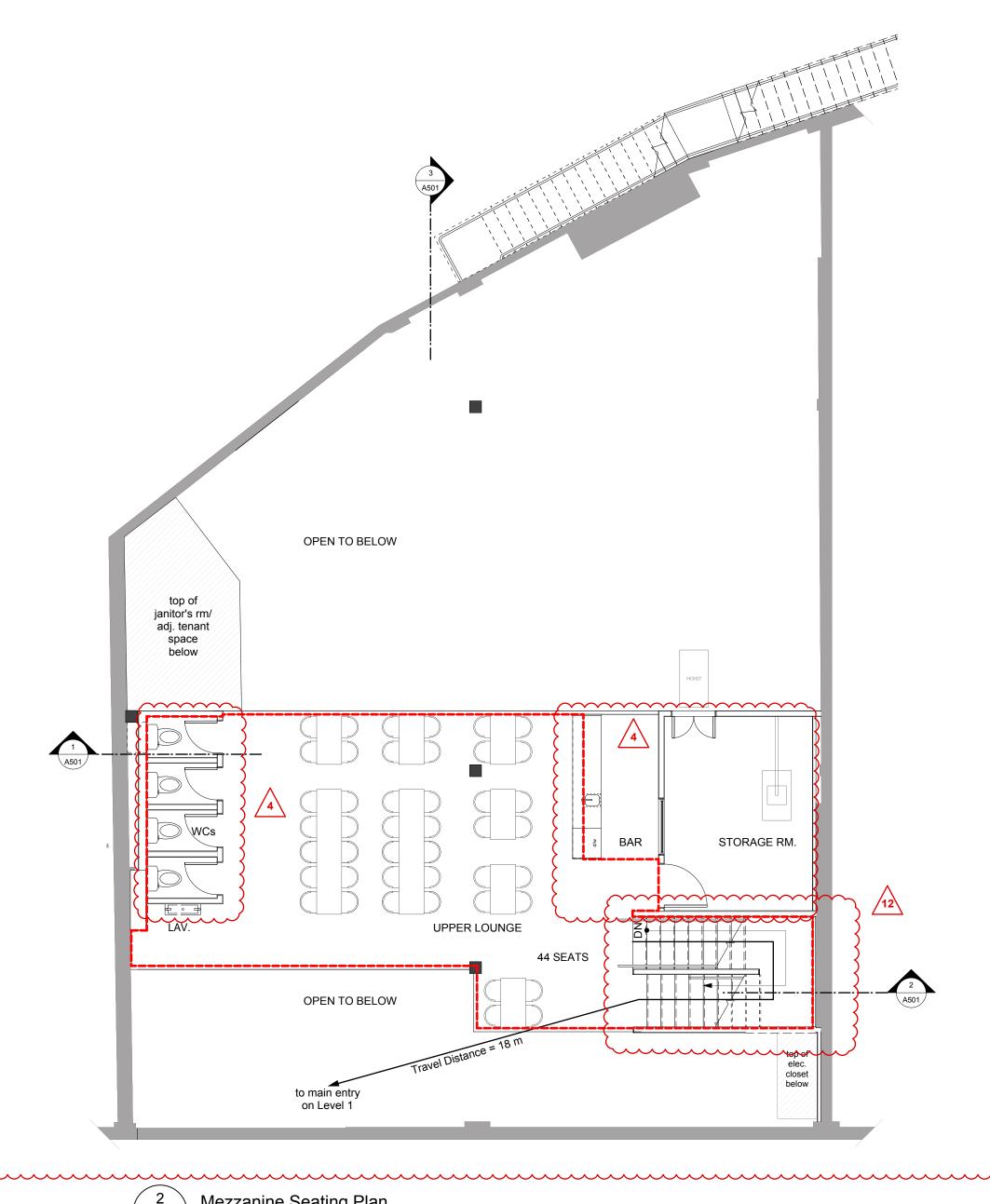
RE-ISSUED FOR DEVELOPMENT PERMIT

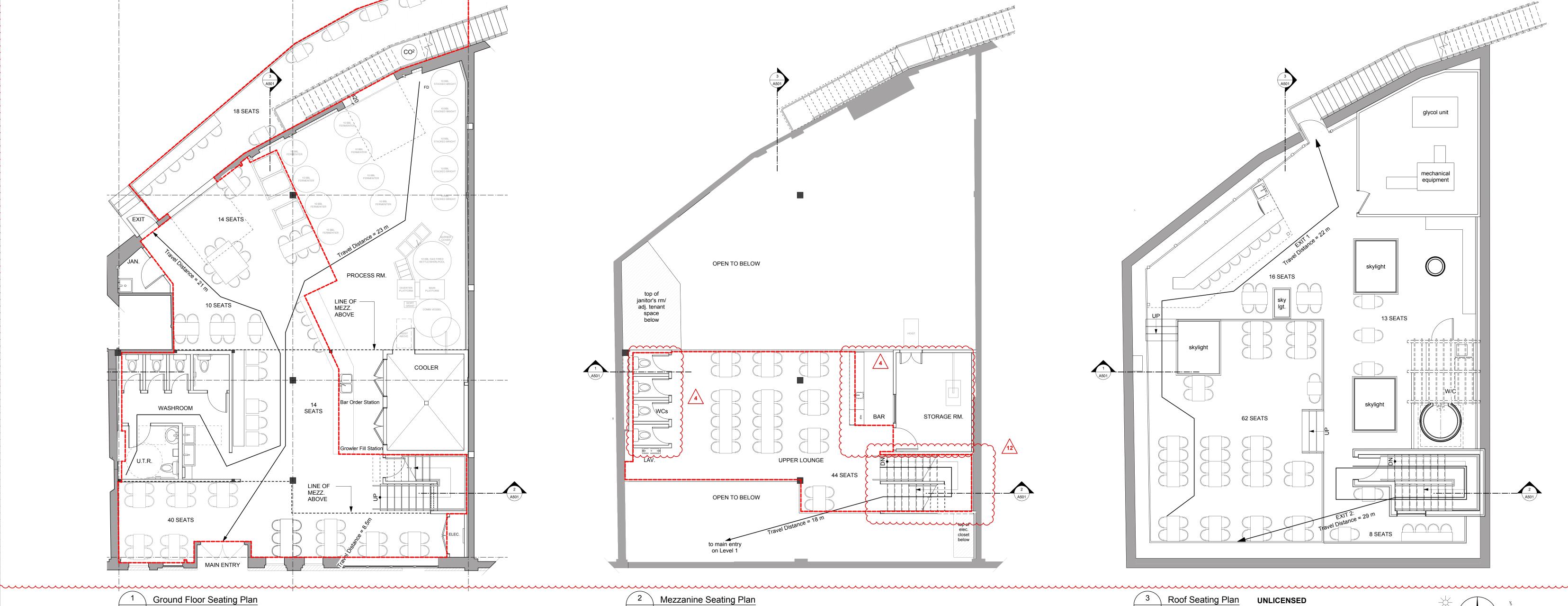
NOTE: All dimensions are shown in millimeters.











Travel distance allowed (3.4.2.5.1)c) <u>45 meters</u> provided area is sprinklered.

Sheet Notes

- Dashed red line indicates liquor service area.
 - 2. Total Occupant Load based on BCBC 2012 (3.1.17).

Licence Areas Ground Floor: 96 seats Mezzanine: 44 seats Total Staff/Off Premise Customers: 38 people **Total Occupant Load In Licence Area:** 178 people Rooftop Seating - Unlicensed Rooftop: 99 seats **TOTAL OCCUPANT LOAD:** 277 people Mezzanine Seating Plan
Scale: 1:75

Revisions List

Enlarge existing concrete pad

Staff bike parking relocated

CO₂ unit added under stair

Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol unit

Food preparation area with trellis over added

Location of exit gate and exit stair shifted

Changes to liquor service areas. No change to total Occupant Load

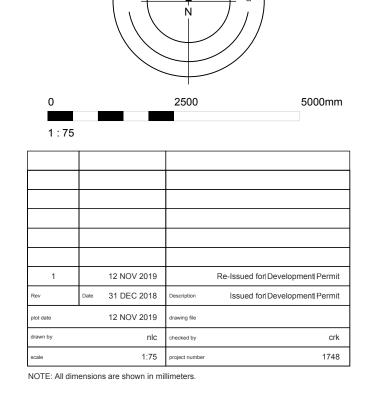
Change to sign design (by others) - refer to A401 & A001

Reduce window size

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

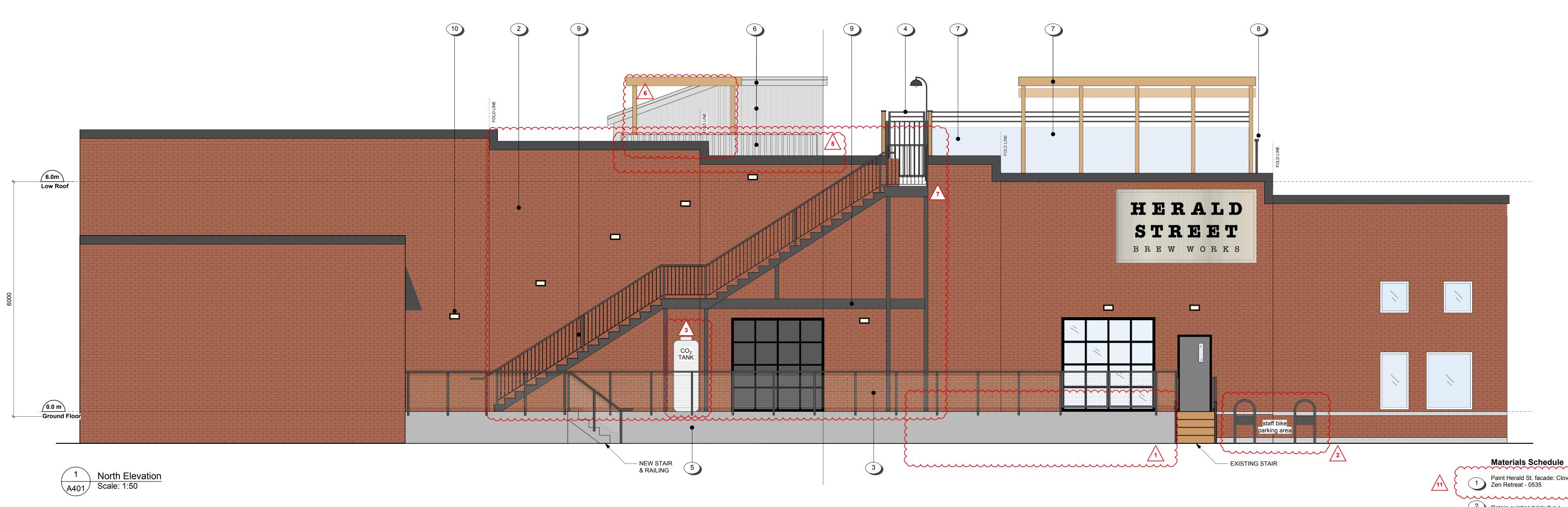
Interior stair to continue to roof

Building Code Summary updated to reflect proposed roof design



RE-ISSUED FOR DEVELOPMENT PERMIT







Paint Herald St. facade: Cloverdale

- 2 Retain existing brick (typ.)
- Prefinished aluminum guardrail frame Dark Grey. Climb-proof mesh inset Anodized.
- Prefinished aluminum gate Dark Grey. Fir posts Clear Stain.
- 5 Paint new concrete infill to match existing.
- 6 Anodized metal.
- 1828 mm high windbreak with translucent tempered glass and prefinished aluminum frame Dark Grey. Fir posts and trellis Clear Stain.
- Prefinished aluminum guardrail frame Dark Grey Translucent tempered glass inset.
- 9 Prefinished aluminum stair, pickets and railing Dark Grey.
- New lighting to co-ordinate with existing (by others).

2500mm

Re-Issued for Development Permit

Issued for Development Permit

Paint all trim: Cloverdale - Subway - 0536

New mural-style painted sign (by others). Refer to Sign Bylaw Summary, A001.

13 New wood decking.

1:50

Date 31 DEC 2018 Description

NOTE: All dimensions are shown in millimeters.

12 NOV 2019 drawing nlc/geb checked by

1:50 project number

RE-ISSUED FOR DEVELOPMENT PERMIT

Revisions List

1 Enlarge existing concrete pad

Staff bike parking relocated

CO₂ unit added under stair Water closets, storage room and bar area reconfigured. No change to enclosed area.

Mechanical screening area enlarged to accommodate the addition of new glycol unit

Food preparation area with trellis over added

▲ Location of exit gate and exit stair /7 \ shifted

Changes to liquor service areas. No change to total Occupant Load

Change to sign design (by others) - refer to A401 & A001

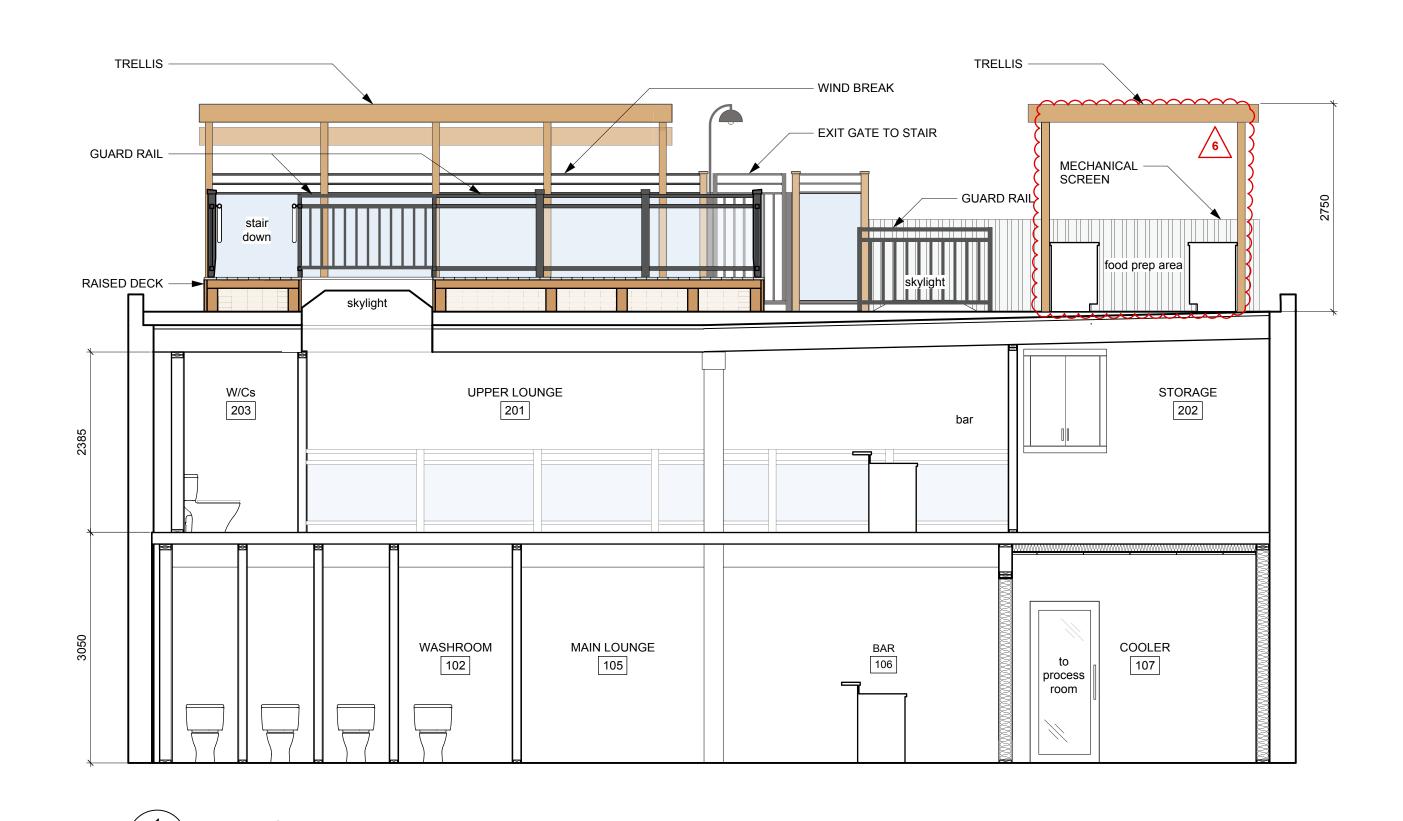
Reduce window size

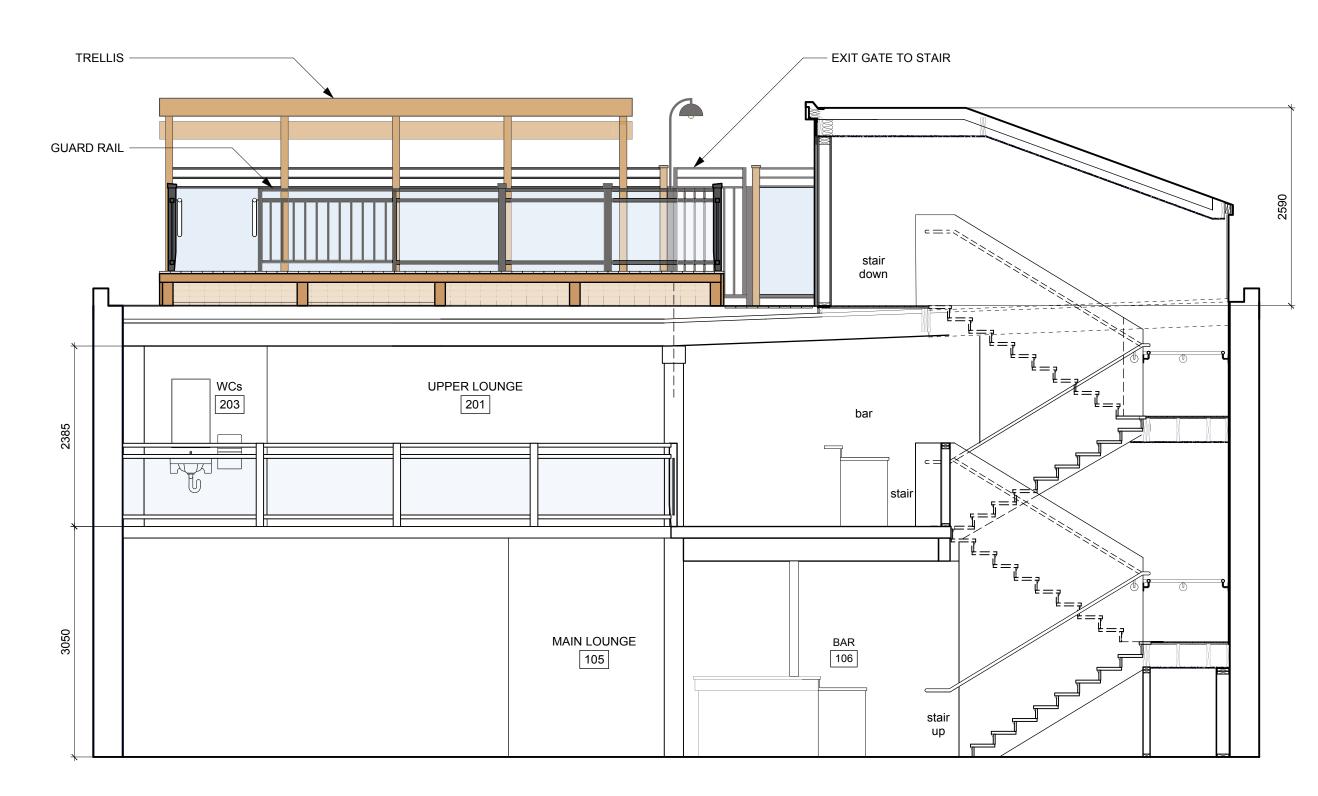
Repaint Herald St. facade as per materials schedule - refer to A401 & A601

Building Code Summary updated to reflect proposed roof design

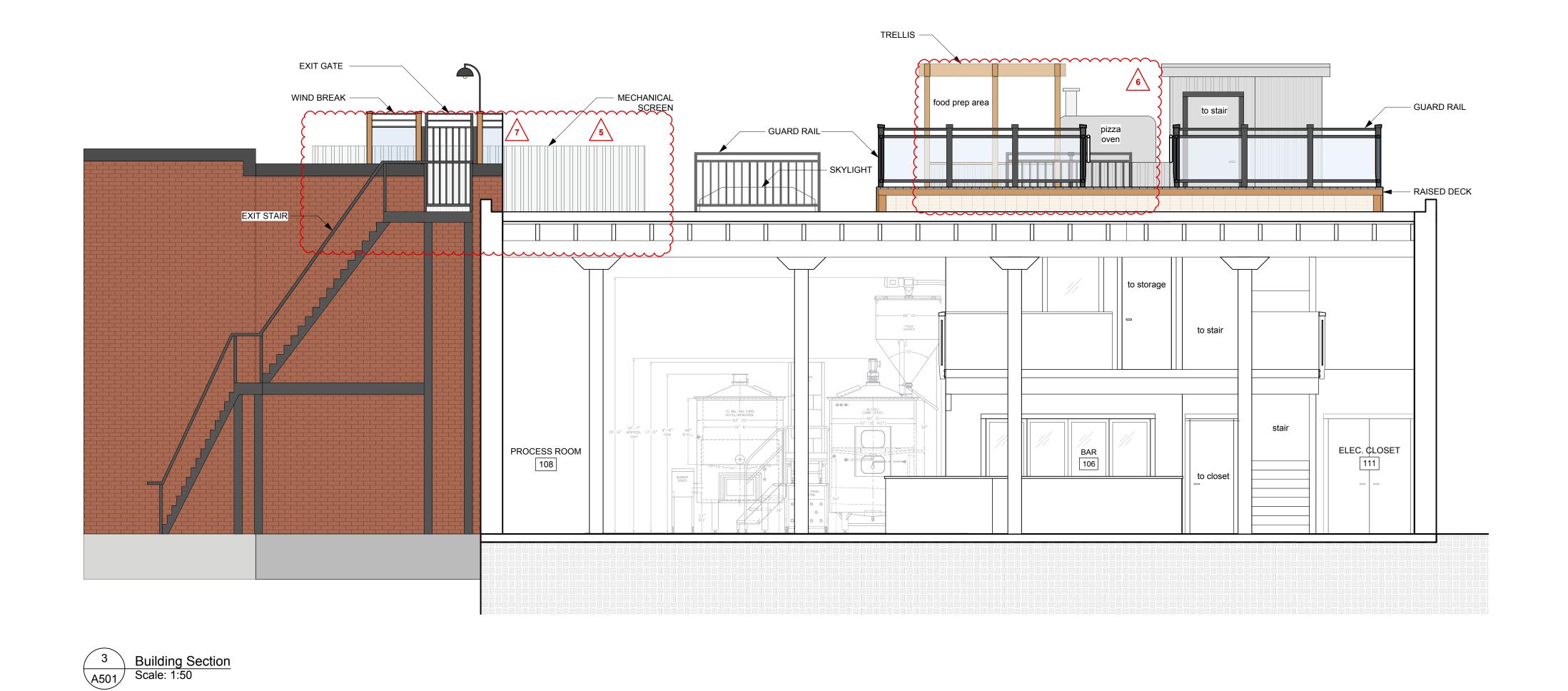
12 Interior stair to continue to roof

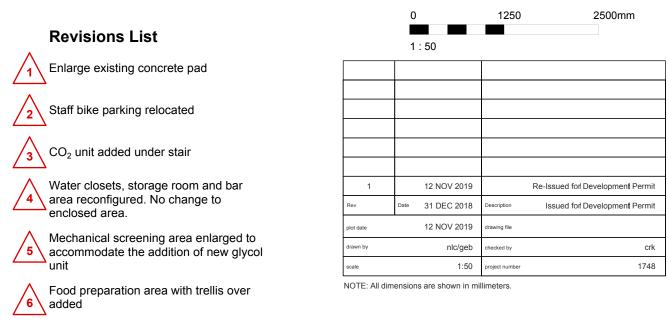
dHKa de Hoog	& Kierulf are	chitects
VICTORIA OFFICE 977 Fort Street Victoria BC V8V3K3 T 1.250.658.3367	NANAIMO OFFICE 102-5190 Dublin Way Nanaimo BC V9T 2K8 T 1•250•585•5810	
506 Herald Street Victoria, BC		
Elevations		
OPYRIGHT RESERVED. THESE PLANS AND JESIGNS ARE AND AT ALL TIMES REMAIN THE ROPERTY OF DE HOOG & KIERUI F ARCHITECTS	drawing no.	revision no.





Building Section
A501 Scale: 1:50





Location of exit gate and exit stair shifted

Changes to liquor service areas. No change to total Occupant Load

Change to sign design (by others) - refer to A401 & A001

Repaint Herald St. facade as per materials schedule - refer to A401 & A601

Interior stair to continue to roof

Building Code Summary updated to reflect proposed roof design

Reduce window size

RE-ISSUED FOR DEVELOPMENT PERMIT



