




**Final  
Approved Plans**

Adopted Date:  
April 3, 2025



**Revisions**

Received Date:  
January 24, 2024



**PROJECT DESCRIPTION**

**CIVIC ADDRESS:**  
1921, 1929, 1933 and 1935 ASHGROVE ST, 1900 RICHMOND RD

**LEGAL DESCRIPTION:**  
 • PARCEL A (DD 82534) OF LOTS 39 AND 40 SECTION 76 VICTORIA DISTRICT PLAN 257  
 • STRATA LOTS A AND B SECTION 76 VICTORIA DISTRICT STRATA PLAN VIS5007  
 • PARCEL A (DD 411251) LOT 38 SECTION 76 VICTORIA DISTRICT PLAN 257  
 • LOT 36 SECTION 76 VICTORIA DISTRICT PLAN 257

**REGISTERED OWNER**

Amica Oak Bay Inc.  
3200-20 Queen Street  
Toronto, ON  
M5H 3R3  
tel: 604-761-5939  
email: drmilliken@millikendevelopments.com

**ARCHITECT**  
de Hoog & Kierulf architects  
977 Fort Street  
Victoria, BC  
V8V 3K3  
Mr. Charles Kierulf Architect AIBC MRAIC  
tel: 250-658-3367  
fax: 250-658-3397  
email: crk@dhk.ca

**CIVIL ENGINEER**  
McElhanney  
Suite 500, 3960 Quadra Street  
Victoria BC  
V8X 4A3  
Mr. Colin Davis  
tel: 250-370-9221  
email: cdavis@mcelhanney.com

**LANDSCAPE ARCHITECT**  
LADR  
3-864 Queens Avenue  
Victoria, B.C.  
V8T 1M5  
Mr. Chris Windjack  
tel: 250-598-0105  
email: cwindjack@ladra.ca

**SITE INFORMATION BASED ON DRAWINGS PREPARED BY**

Polaris Land Surveying  
1834C Oak Bay Ave #138  
Victoria, BC  
V8R 0A4  
File: 1332-06  
Ms. Michelle Blake  
tel: 250-412-3513

**LIST OF DRAWINGS**

- Architectural**
- A0.0 Cover Sheet
  - A1.0 Project Data
  - A1.1 ZONING DATA
  - A2.0 Parkade Plan
  - A2.1 Main Floor Plan
  - A2.2 L2 to L4 Plan
  - A2.3 L5 Plan
  - A2.4 L6 PLAN
  - A2.5 Roof Plan
  - A3.0 Elevations
  - A3.1 Street Context Elevations
  - A3.2 Street Context Elevation (Birch)
  - A3.3 Elevation Overlay PH1 on PH2
  - A4.0 Building Sections
  - A5.0 Model Views
  - A5.1 Model Views
  - A5.2 Model Views
  - A5.3 Model Views
  - A6.0 Shadow Study - Summer Solstice, Autumnal Equinox, Winter Solstice
  - A7.0 Colour & Materials

**Civil**  
22036-DP Conceptual Site Servicing Plan

**Landscape**  
L1 Landscape Concept Plan  
L2 Tree Management Plan

**BUILDING CODE SUMMARY**

REFERENCED DOCUMENT :  
BRITISH COLUMBIA BUILDING CODE 2018 - PART 3

MAJOR OCCUPANCY CLASSIFICATION:  
 • RESIDENTIAL - GROUP C  
 • PARKADE - GROUP F3  
 • EXISTING PH1 - GROUP B3

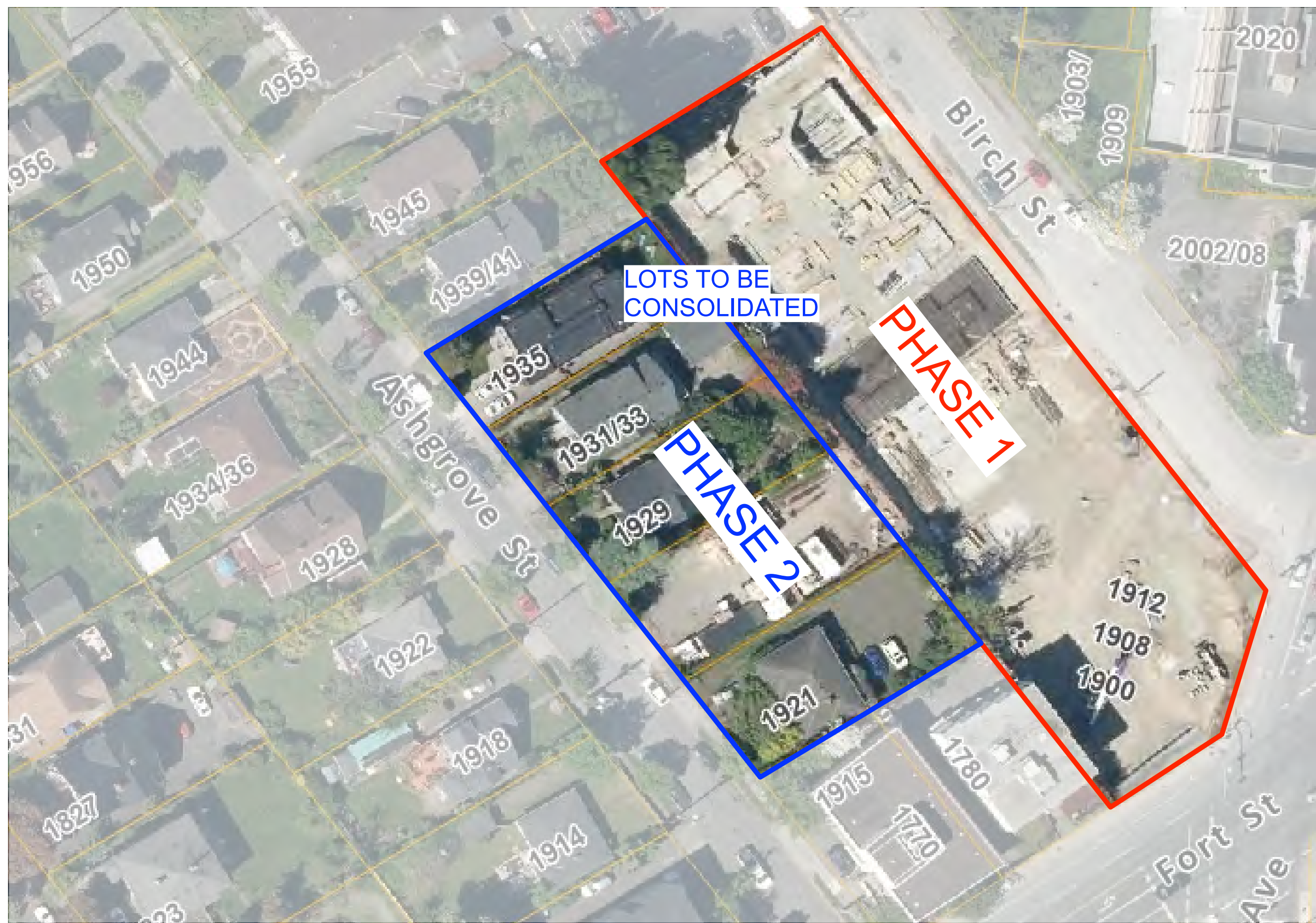
MAJOR OCCUPANCY FIRE SEPARATIONS:  
 • C - B3 <-> F3 - 1 hr.

BUILDING AREA:  
 • 1 135 m2 (PH2)

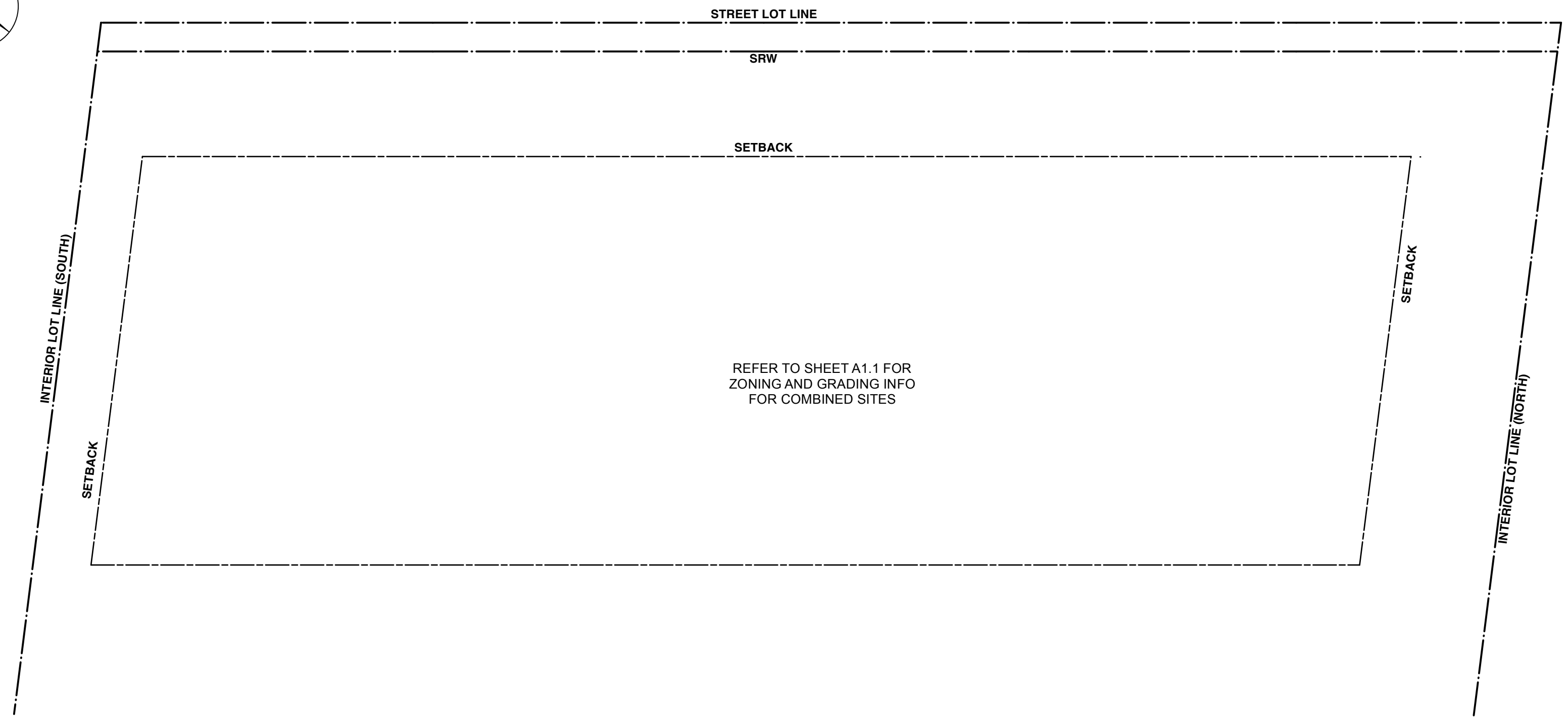
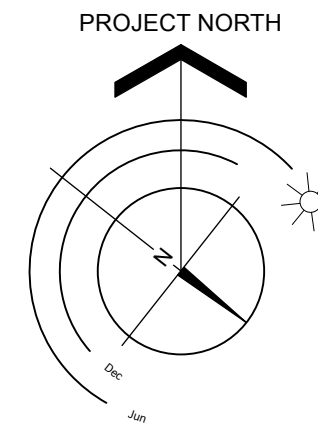
BUILDING HEIGHT:  
 • 6 STOREYS

NUMBER OF STREETS FACING:  
 • 1





1 Location Plan  
A0.1 1:500



3 Site Plan Data  
A0.1 1:200

PARKING CALCULATIONS  
REQUIRED PER SCHEDULE C

CLASS : ASSISTED LIVING FACILITY

PROJECT INFORMATION TABLE	PHASE 2	PHASE 1 EXISTING	COMBINED SITES
ZONE (EXISTING)	R3-2, R1-B, C1-R	C1-R	
PROPOSED ZONE			NEW ZONE
SITE AREA (M2)	2,769 m2	4,065 m2	6834.0 m2
TOTAL FLOOR AREA INCL COMMERCIAL (M2)	6,585 m2	10,771 m2	17,356 m2
COMMERCIAL FLOOR AREA (M2)		170 m2	170 m2
FLOOR SPACE RATIO	2.38	2.65	2.54
SITE COVERAGE (%)	48.6 %	54.4 %	53.3 %
OPEN SITE SPACE (%)	40.9 %	37.1 %	36.2 %
HEIGHT OF BUILDING (M)	26.58 m	20.6 m	26.58 m
NUMBER OF STOREYS	6	5	6
PARKING STALLS (NUMBER) ON SITE	55	47	101 (15 ACCESSIBLE)
BICYCLE PARKING NUMBER	CLASS 1 5 CLASS 2 6	8 2	13 8

PHASE 2 - 88 SUITES  
PHASE 1 - 125 SUITES  
TOTAL - 213 SUITES

VEHICLES - 213 X 0.35 = 74.55  
VISITORS - 213 X 0.1 = 21.30  
RETAIL PH1 1 PER 50m2= 3.40  
TOTAL = 99.25  
NEAREST WHOLE = 99 STALLS

BICYCLES  
LONG-TERM :  
213 @ 1 PER 20 = 10.65  
= 11  
SHORT-TERM  
213 @ 1 PER 50 = 4.26  
= 4

BUILDING SETBACKS (M)	
STREET LOT LINE	7.05 m Project WEST
INTERIOR LOT LINE	5.63 m Project NORTH
INTERIOR LOT LINE	4.27 m Project SOUTH

EV CHARGING:  
1 PER VEHICLE SPACE = 43 STALLS  
(PHASE 2 NEW CONSTRUCTION ONLY)

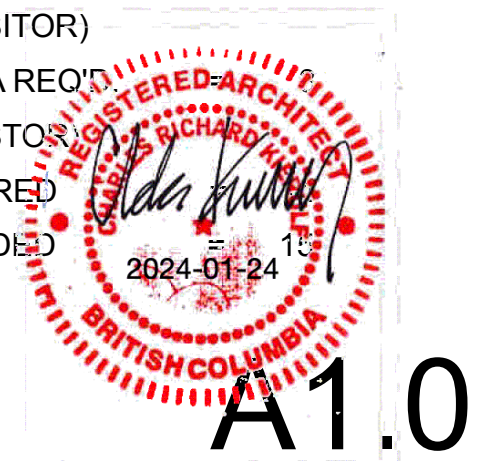
ACCESSIBLE PARKING :  
75 VEHICLES @ 15% = 11.25 = 11 R  
(9 REG + 2 VAN )  
21 VEHICLES @ 15% = 3.15 = 3 V  
(2 VISITOR AND 1 VISITOR VAN )  
TOTAL VEHICLE UA REQ'D = 11  
(9 REG + 2 VISITOR)  
TOTAL VAN UA REQ'D = 3  
(2 REG + 1 VISITOR)  
TOTAL REQUIRED = 14  
TOTAL PROVIDED = 11

RESIDENTIAL USE DETAILS	
TOTAL NUMBER OF UNITS	88
UNIT TYPE, E.G., 1 BEDROOM	Studio, 1-Bedroom, 1-Bedroom + Den, 2-Bedroom
GROUND-ORIENTATED UNITS	8
MINIMUM UNIT FLOOR AREA (M2)	43.4 m2
TOTAL RESIDENTIAL FLOOR AREA (M2)	5,165.9 m2



BUILDING AREA SUMMARY  
REFER TO A1.1 PLAN

2 Survey Plan  
A0.1 1:500



A1.0

**SITE COVERAGE INCL. BALCONIES**  
 GRADE OUTLINE  
 3,644.89 m<sup>2</sup>  
 53.34%

**OPEN SITE SPACE**  
 2,470.97 m<sup>2</sup>  
 36.16%

**OTHER: DRIVEWAY, PARKING**  
 675.92 m<sup>2</sup>  
 9.90%

**SITE AREA**  
 6,833.76 m<sup>2</sup>

**AVERAGE GRADE CALCULATION (in meters)**

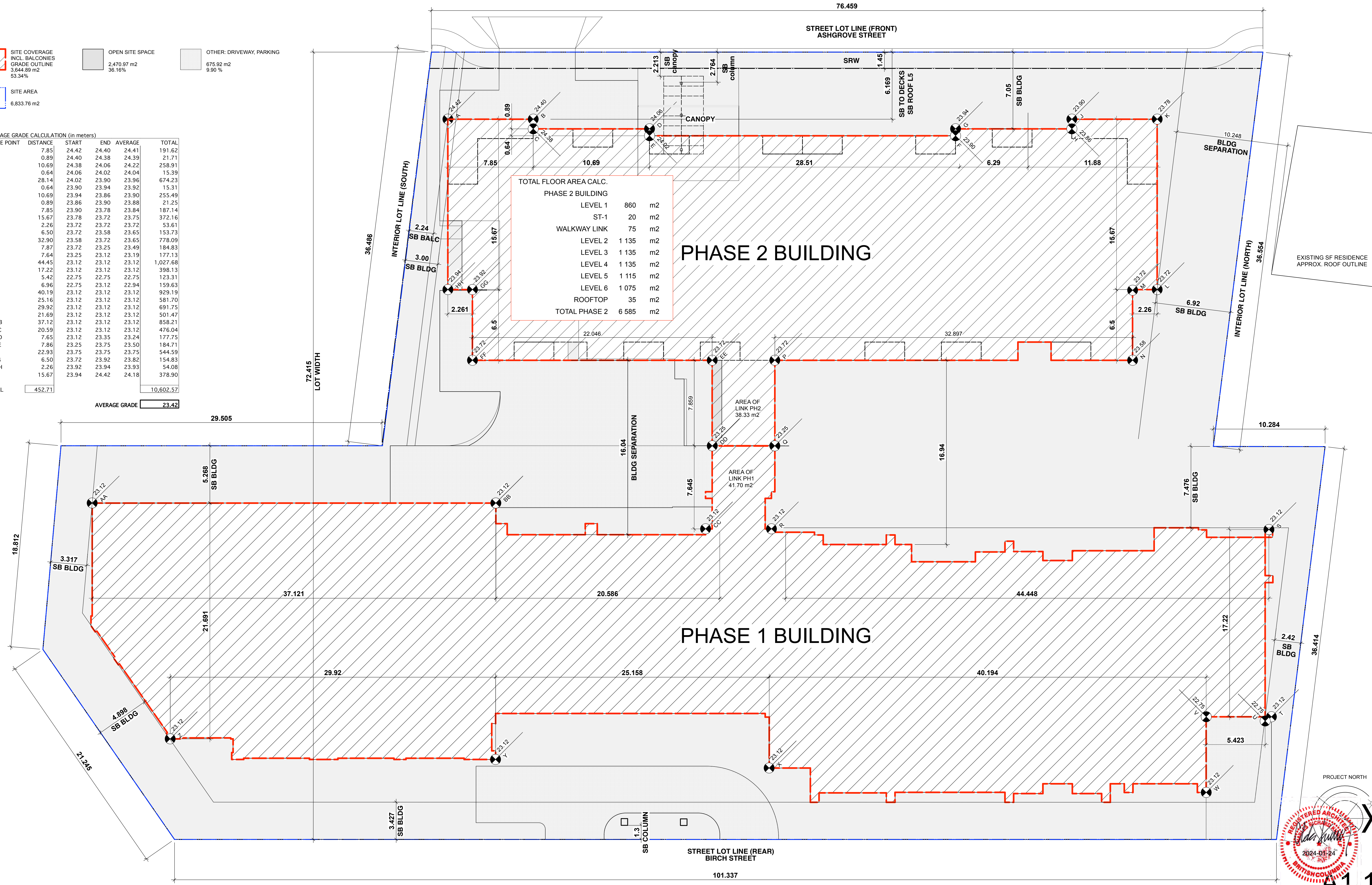
GRADE POINT	DISTANCE	START	END	AVERAGE	TOTAL
A-B	7.85	24.42	24.40	24.41	191.62
B-C	0.89	24.40	24.38	24.39	21.71
C-D	10.69	24.38	24.06	24.22	258.91
D-E	0.64	24.06	24.02	24.04	15.39
E-F	28.14	24.02	23.90	23.96	674.23
F-G	0.64	23.90	23.94	23.92	15.31
G-H	10.69	23.94	23.86	23.90	255.49
H-J	0.89	23.86	23.90	23.88	21.25
J-K	7.85	23.90	23.78	23.84	187.14
K-L	15.67	23.78	23.72	23.75	372.16
L-M	2.26	23.72	23.72	23.72	53.61
M-N	6.50	23.72	23.58	23.65	153.73
N-P	32.90	23.58	23.72	23.65	778.09
P-Q	7.87	23.72	23.25	23.49	184.83
Q-R	7.64	23.25	23.12	23.19	177.13
R-S	44.45	23.12	23.12	23.12	1,027.68
S-T	17.22	23.12	23.12	23.12	398.13
U-V	5.42	22.75	22.75	22.75	123.31
V-W	6.96	22.75	23.12	22.94	159.63
W-X	40.19	23.12	23.12	23.12	929.19
X-Y	25.16	23.12	23.12	23.12	581.70
Y-Z	29.92	23.12	23.12	23.12	691.75
Z-AA	21.69	23.12	23.12	23.12	501.47
AA-BB	37.12	23.12	23.12	23.12	858.21
BB-CC	20.59	23.12	23.12	23.12	476.04
CC-DD	7.65	23.12	23.35	23.24	177.75
DD-EE	7.86	23.25	23.75	23.50	184.71
EE-FF	22.93	23.75	23.75	23.75	544.59
FF-GG	6.50	23.72	23.92	23.82	154.83
GG-HH	2.26	23.92	23.94	23.93	54.08
HH-A	15.67	23.94	24.42	24.18	378.90
<b>TOTAL</b>					<b>452.71</b>

AVERAGE GRADE **23.42**

**TOTAL FLOOR AREA CALC.**

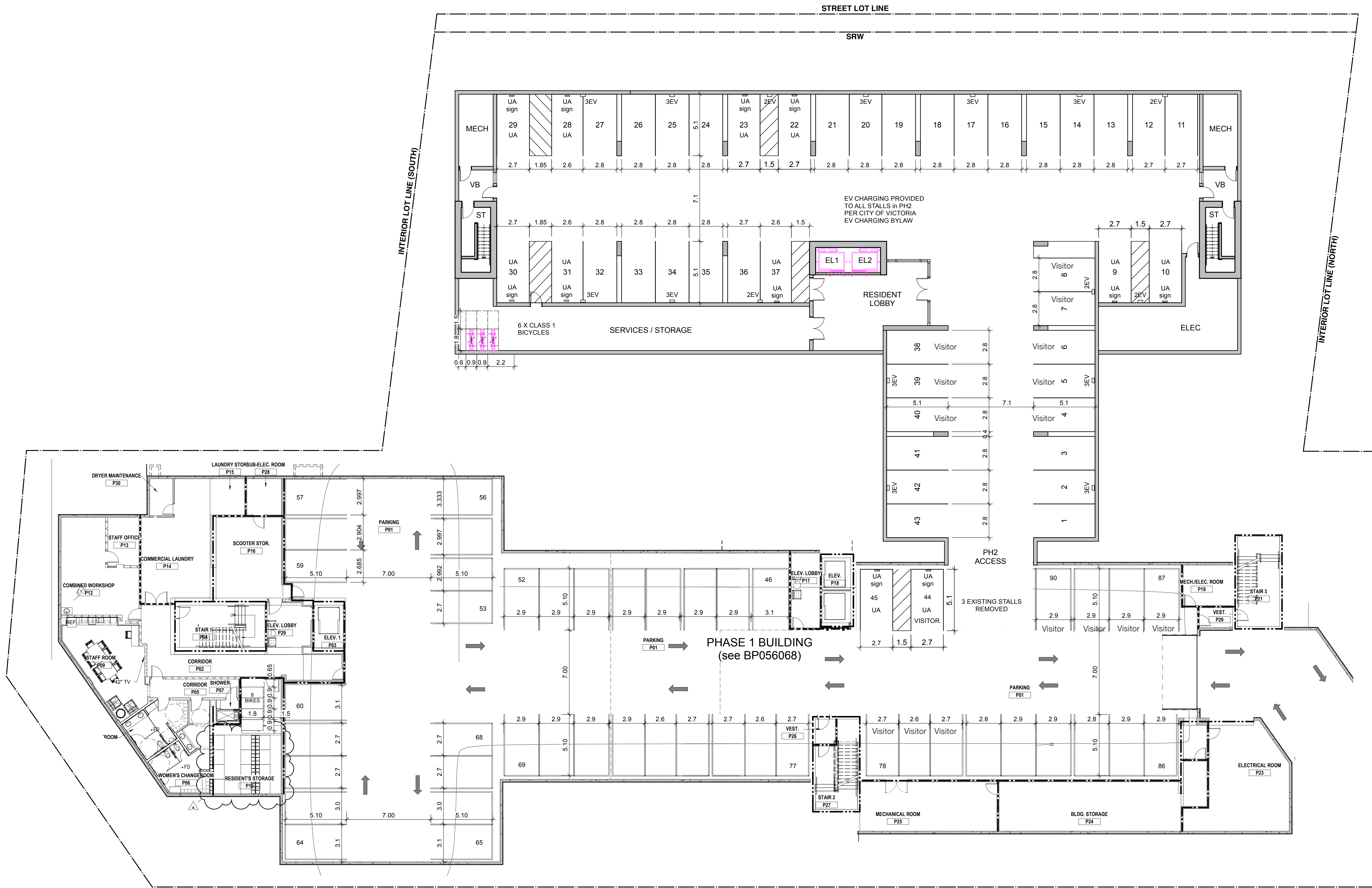
**PHASE 2 BUILDING**

LEVEL 1	860	m <sup>2</sup>
ST-1	20	m <sup>2</sup>
WALKWAY LINK	75	m <sup>2</sup>
LEVEL 2	1 135	m <sup>2</sup>
LEVEL 3	1 135	m <sup>2</sup>
LEVEL 4	1 135	m <sup>2</sup>
LEVEL 5	1 115	m <sup>2</sup>
LEVEL 6	1 075	m <sup>2</sup>
ROOFTOP	35	m <sup>2</sup>
<b>TOTAL PHASE 2</b>	<b>6 585</b>	<b>m<sup>2</sup></b>



PROJECT NORTH

**A1.1**



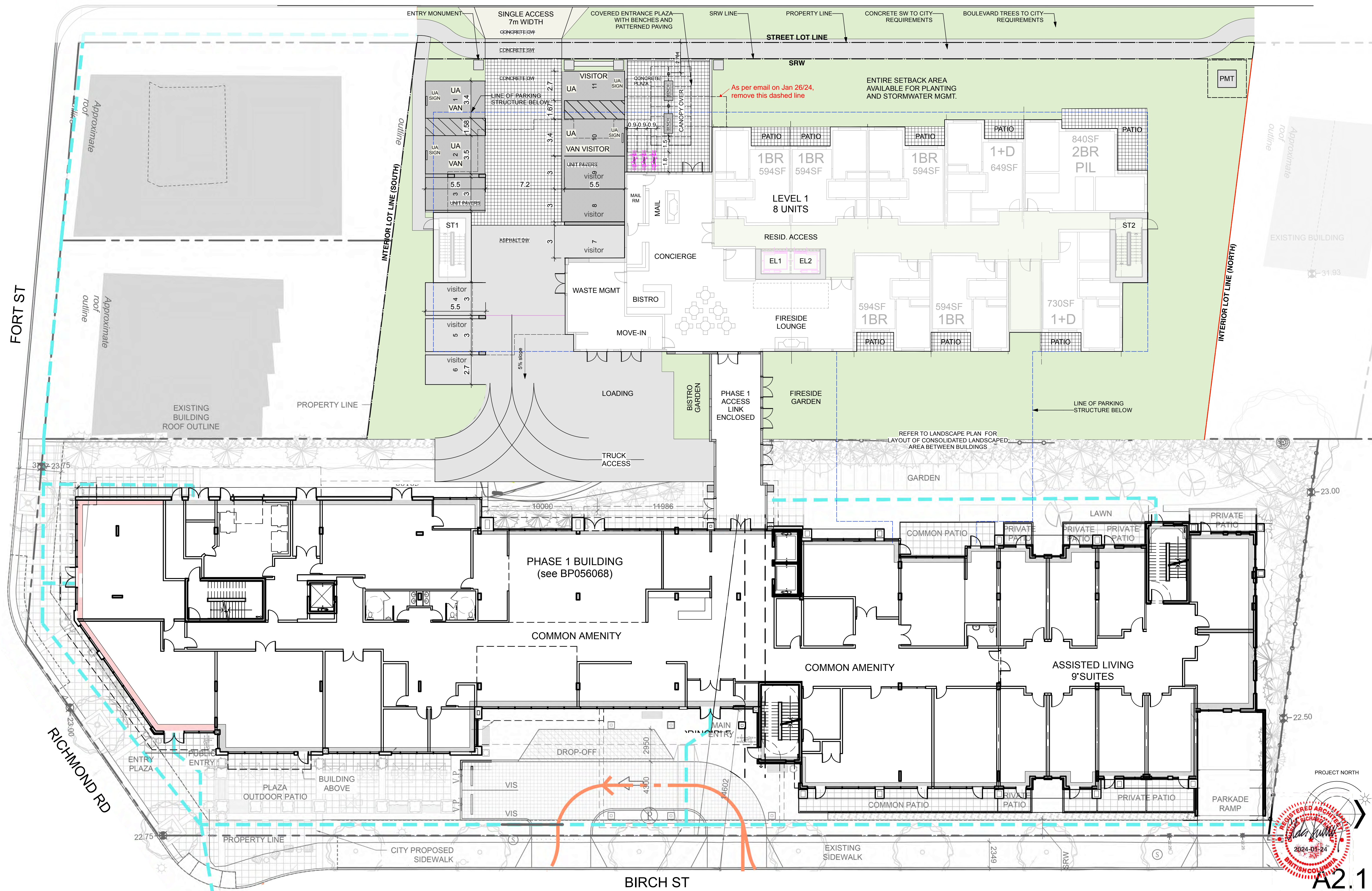
AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2  
Parkade Plan

RE-ISSUED FOR REZONING & DP : 18 DEC 2023



ASHGROVE ST

FORT ST



AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2  
Main Floor Plan

RE-ISSUED FOR REZONING & DP : 18 DEC 2023



A2.1

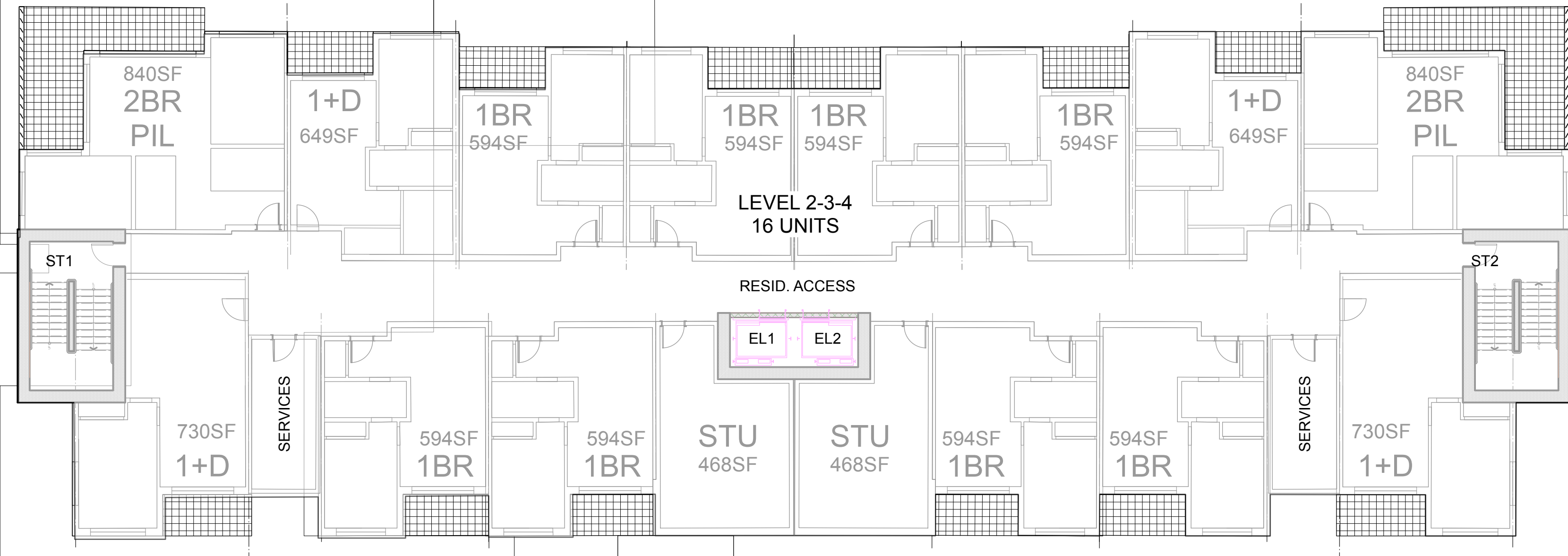
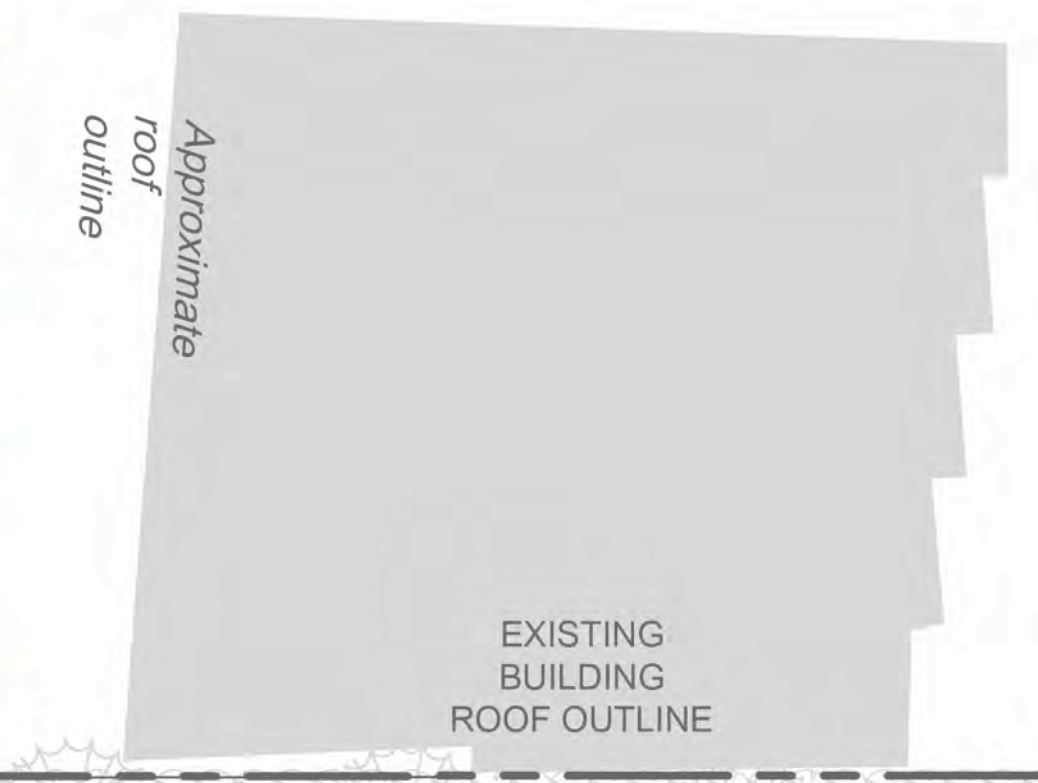
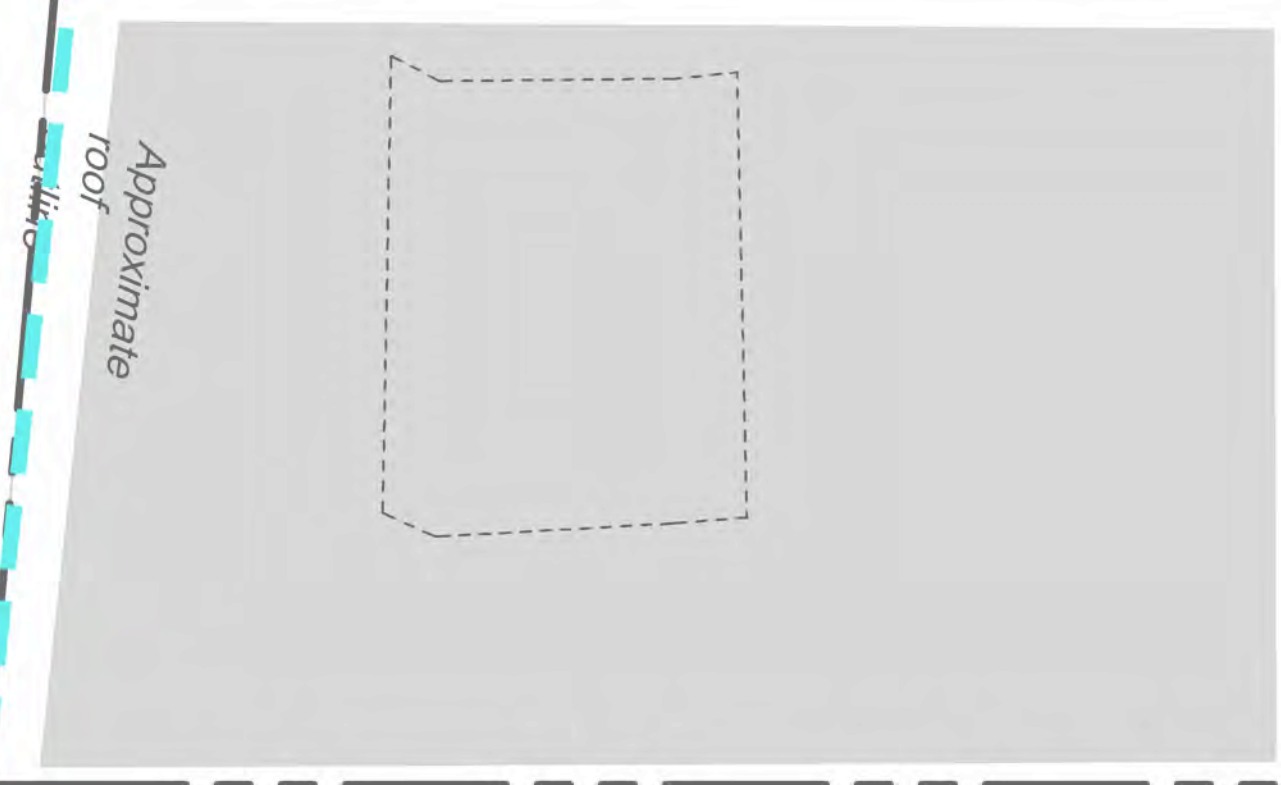
FORT ST

STREET LOT LINE

SRW

INTERIOR LOT LINE (SOUTH)

INTERIOR LOT LINE (NORTH)



RESID. ACCESS

EL1 EL2

PROPERTY LINE

GARDEN

BELOW

SENIORS  
L02 MEMORY CARE  
29 SUITES  
PHASE 1 BUILDING  
(see BP056068)

BALCONY

BALCONY

ENTRY PLAZA

PLAZA  
OUTDOOR PATIO

BUILDING  
ABOVE

V.P.

V.P.

VIS

VIS

PARKING  
RAMP

PROPERTY LINE

CITY PROPOSED  
SIDEWALK

EXISTING  
SIDEWALK

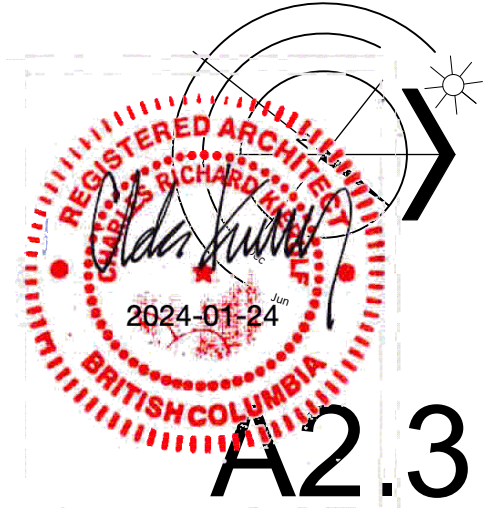
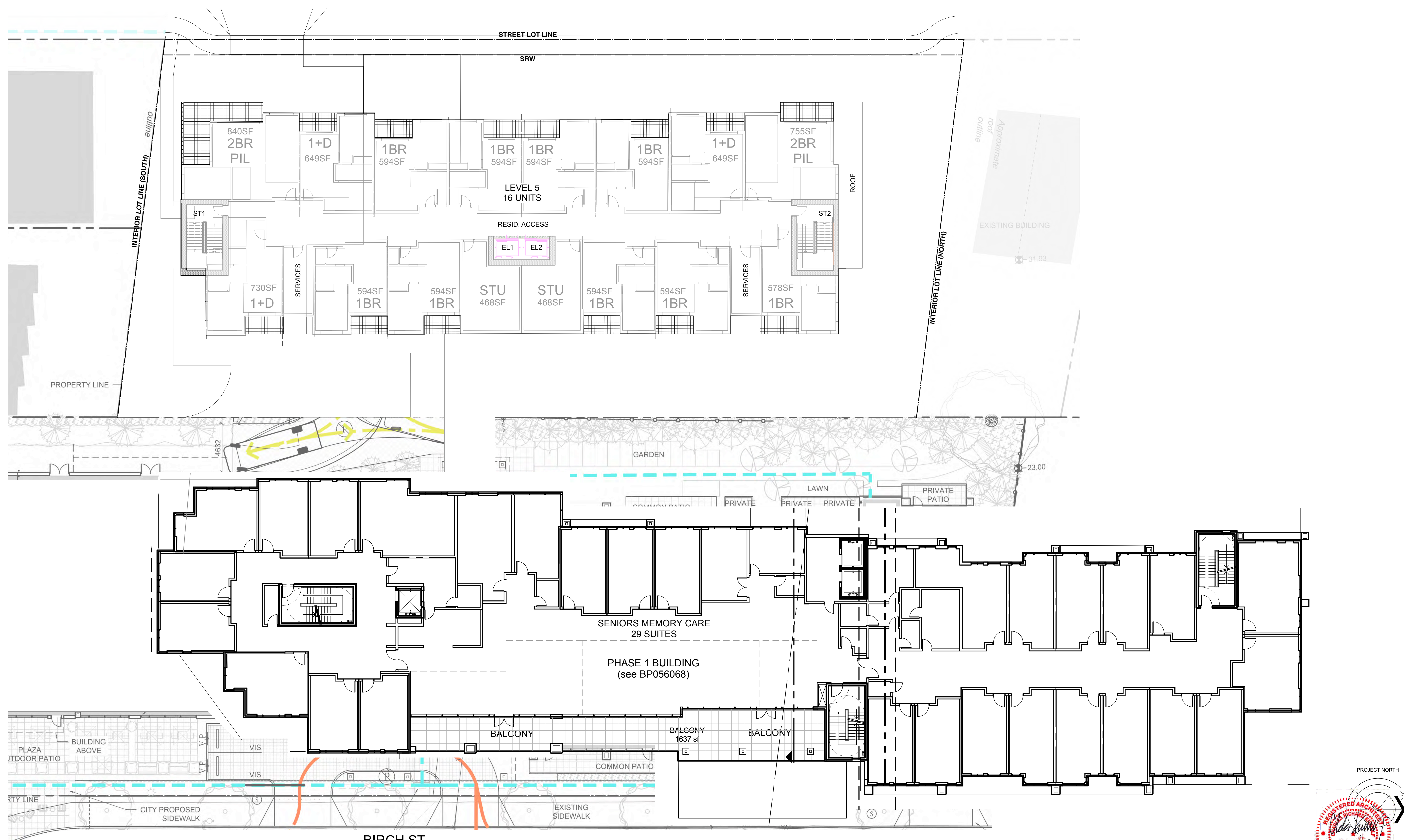
STREET PARKING

BIRCH ST

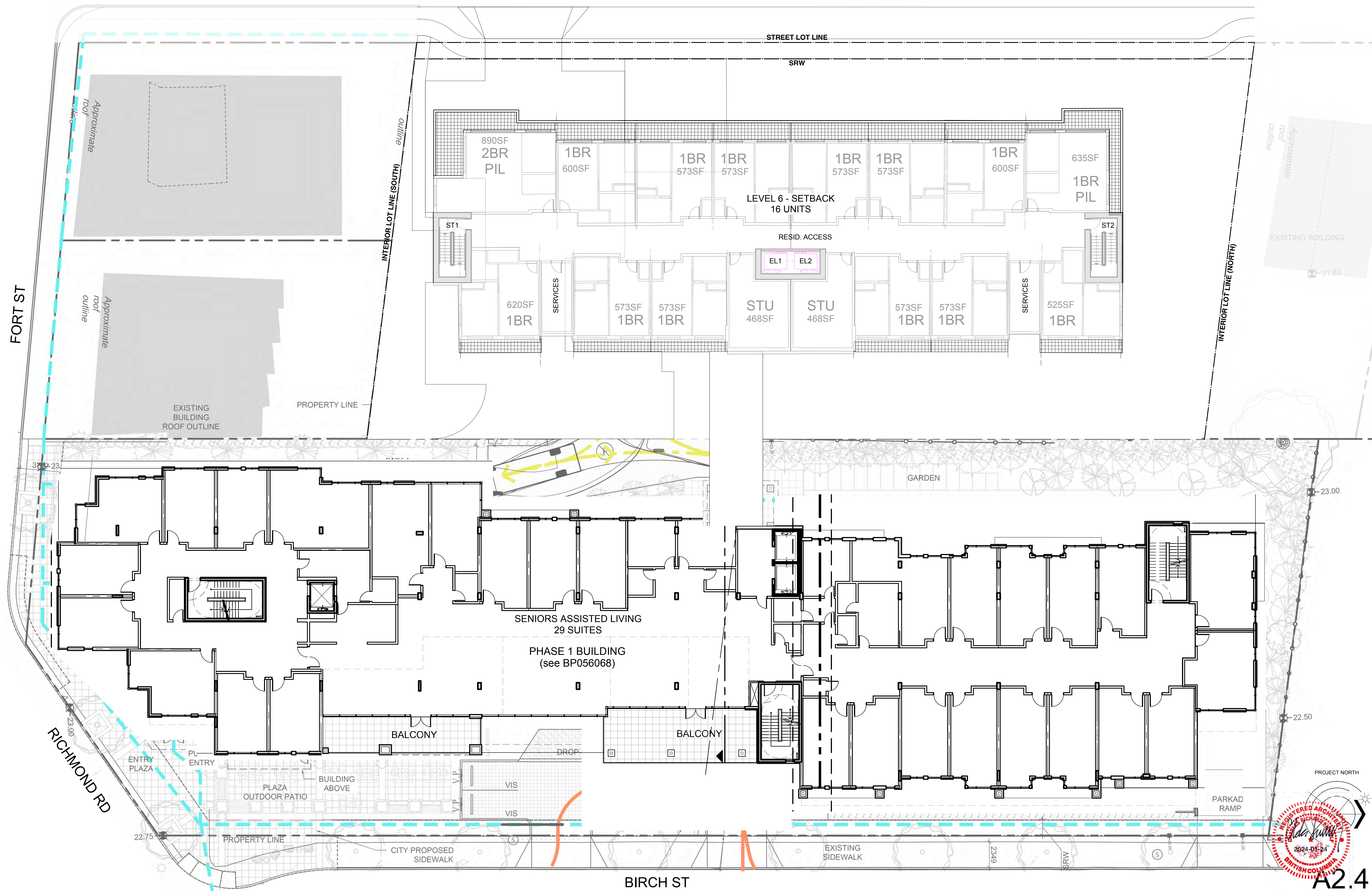
POR COCHERE ABOVE  
EMERGENCY VEHICLE ACCESS FROM

NO STREET PARKING

RICHMOND RD

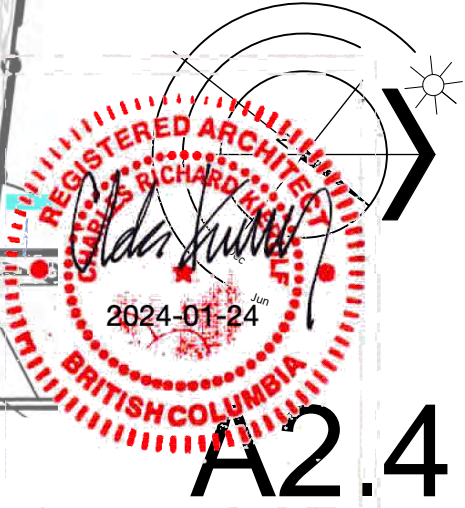


A2.3



AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2  
L6 Plan

RE-ISSUED FOR REZONING & DP : 18 DEC 2023



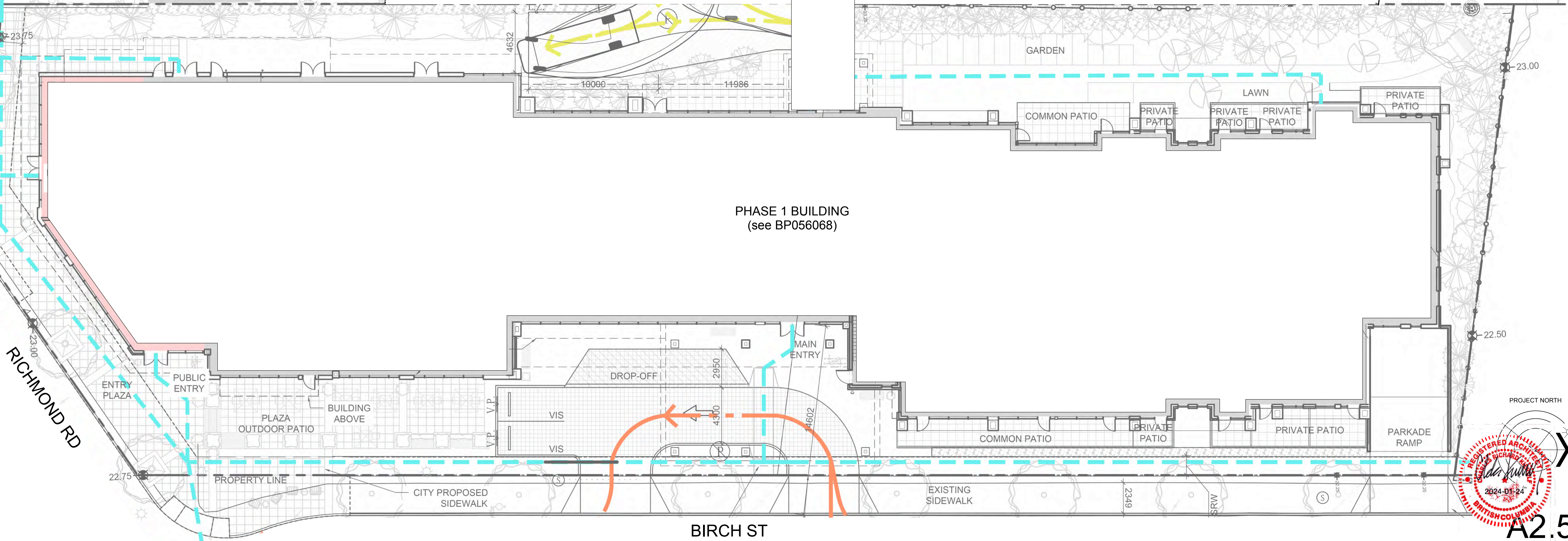
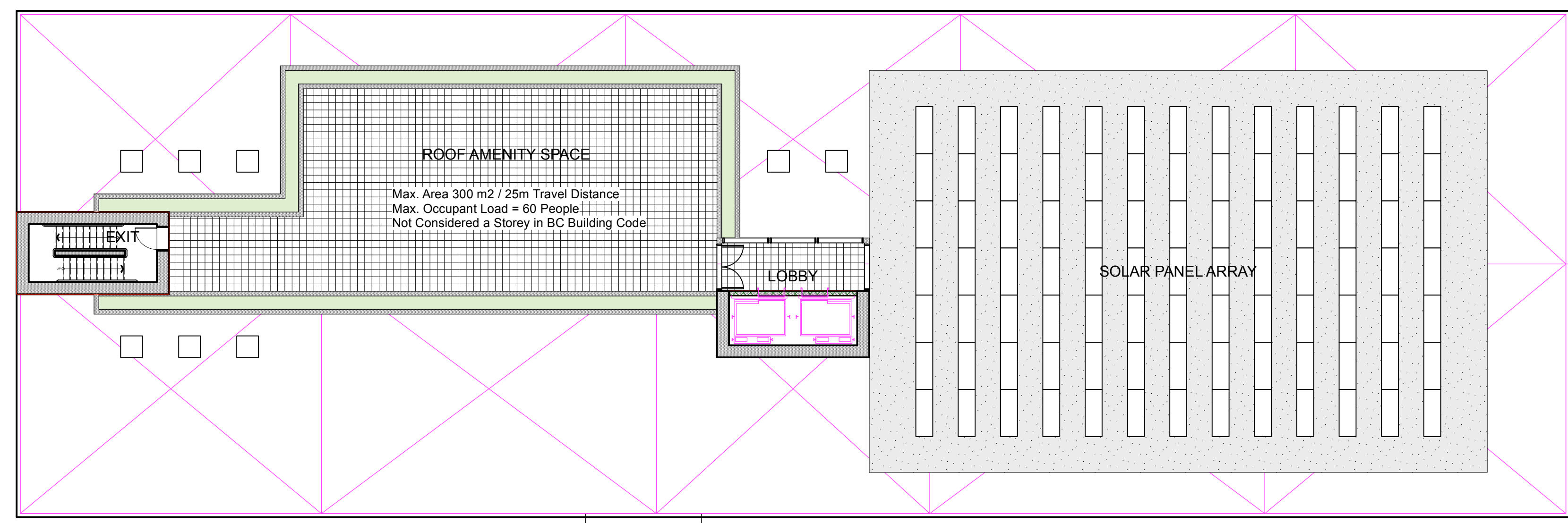
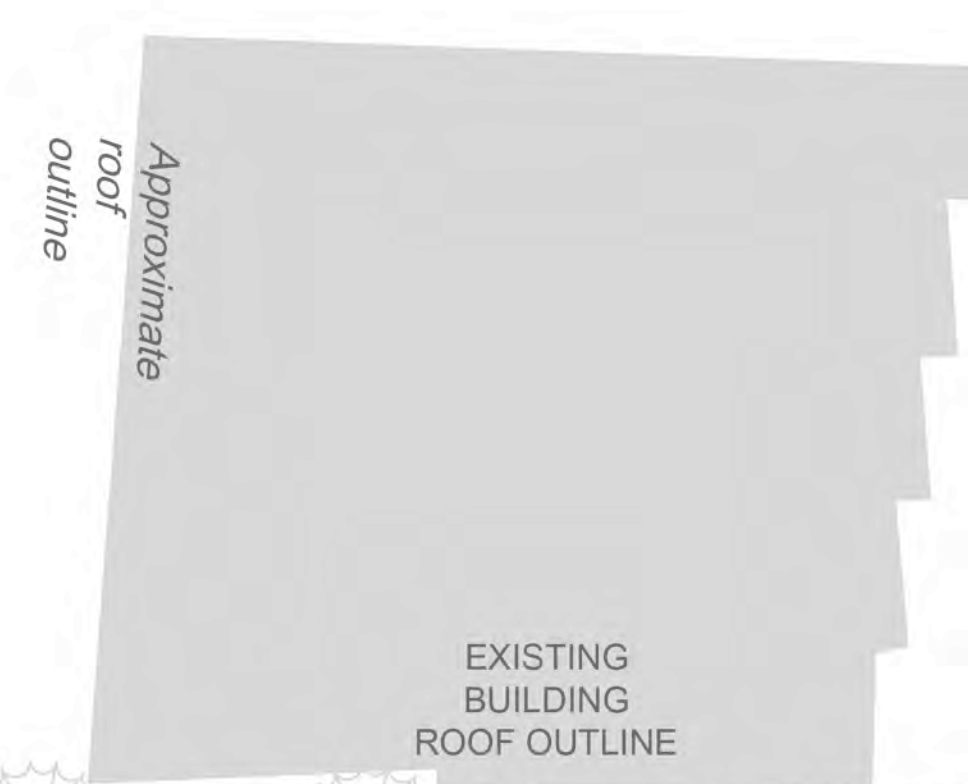
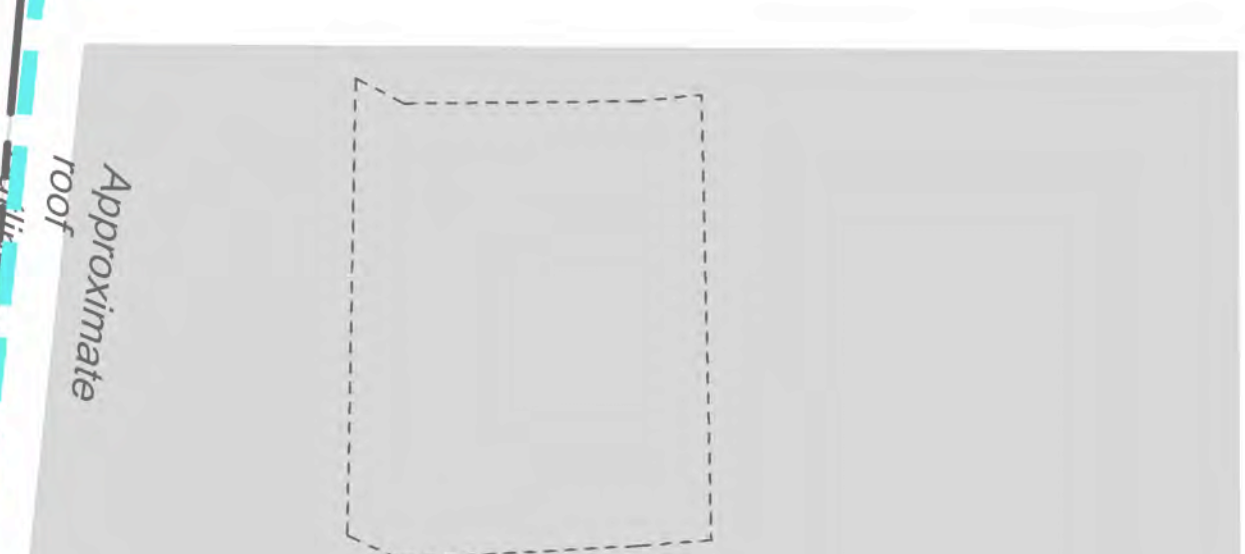
A2.4

STREET LOT LINE

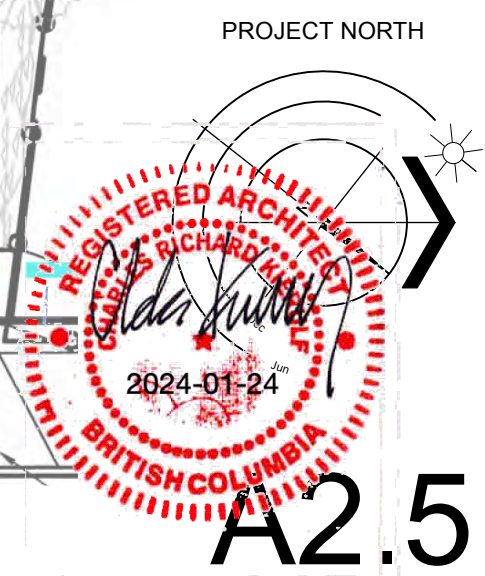
SRW

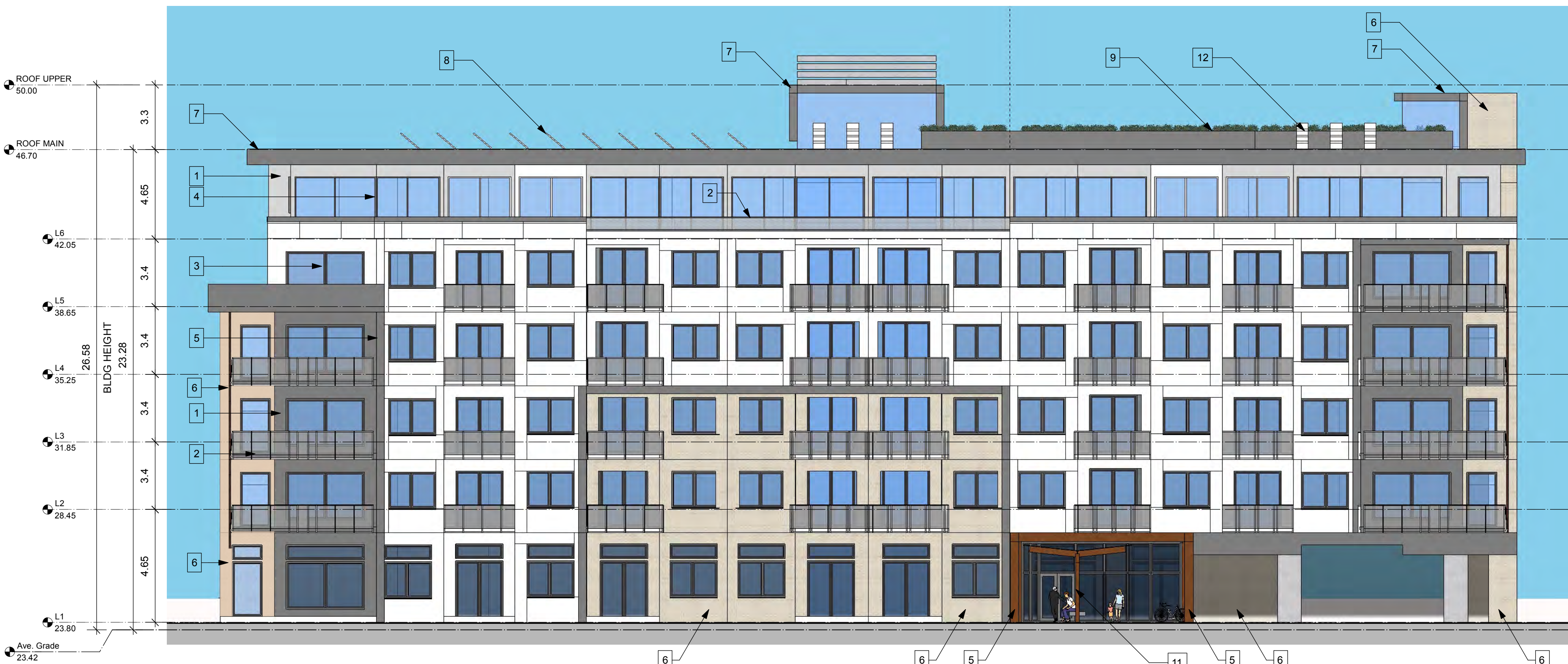
INTERIOR LOT LINE (SOUTH)

INTERIOR LOT LINE (NORTH)



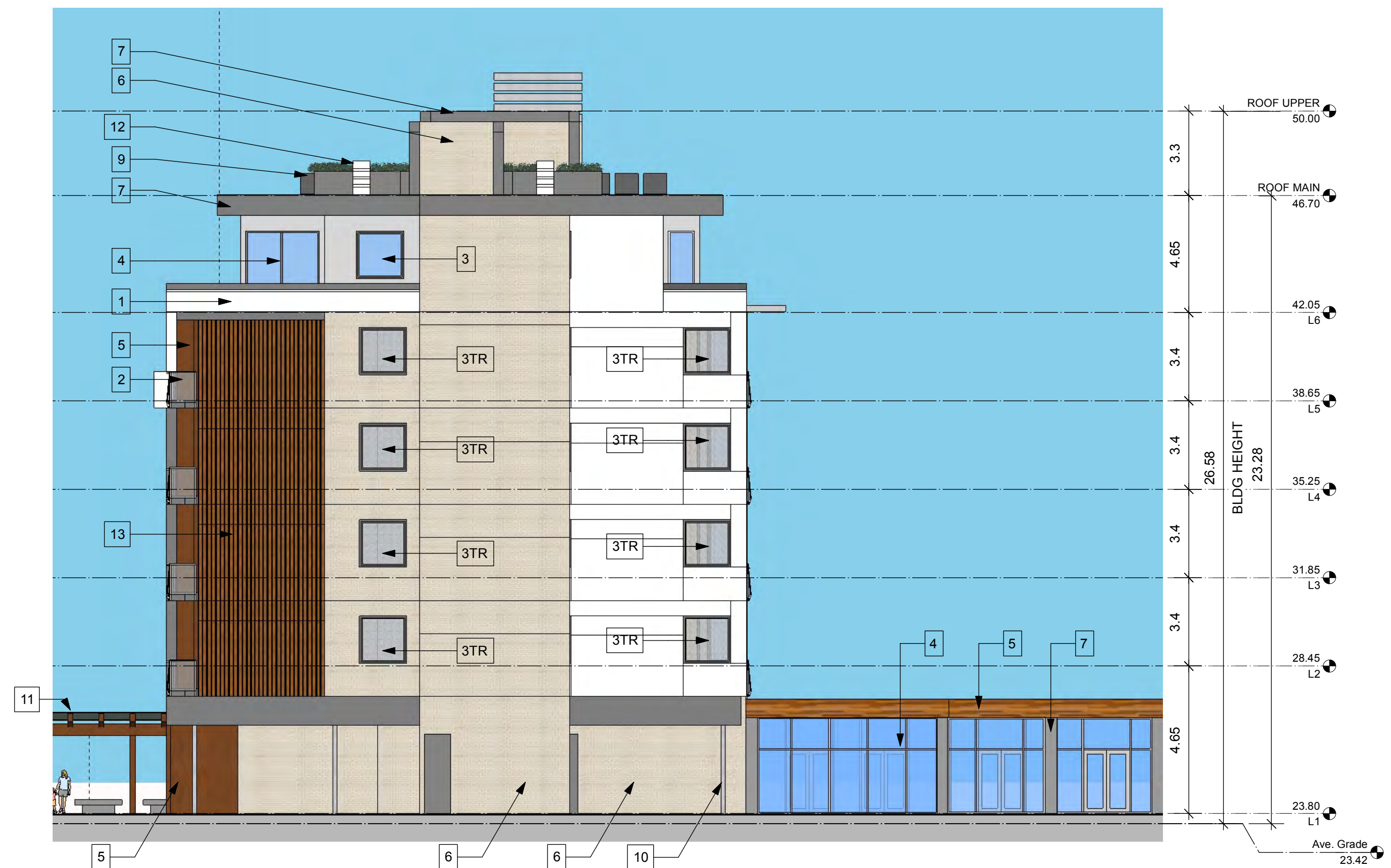
PHASE 1 BUILDING  
(see BP056068)





WEST ELEVATION

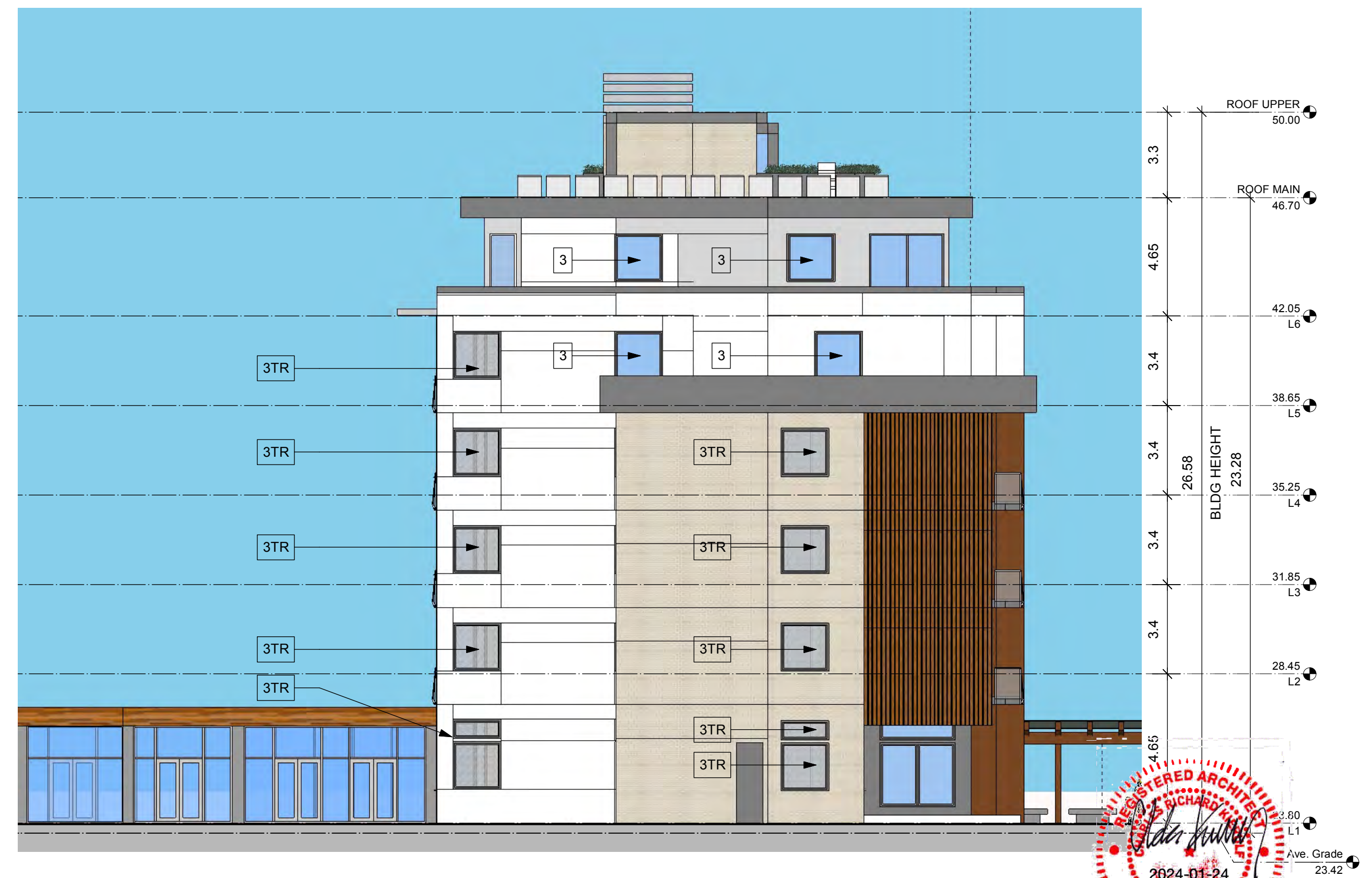
- MATERIALS KEY :**
1. Cementitious Panel Siding - various colours - with colour-matched trims.
  2. Aluminum and Glass guard.
  3. High-Performance Vinyl windows with coloured frames. Note: 3TR indicates windows with translucent glazing (non-vision glass).
  4. High-Performance aluminum and glass window-wall system.
  5. Metal siding with printed wood grain pattern.
  6. Smooth face masonry finish stucco cladding light tan colour.
  7. Prefinished metal cladding.
  8. Rooftop solar PV array.
  9. Rooftop amenity area with planters.
  10. Concrete column.
  11. Heavy Timber and glass canopy.
  12. Rooftop beekeeping hives.
  13. Louvre Screen Wall prefinished aluminum wood-tone finish



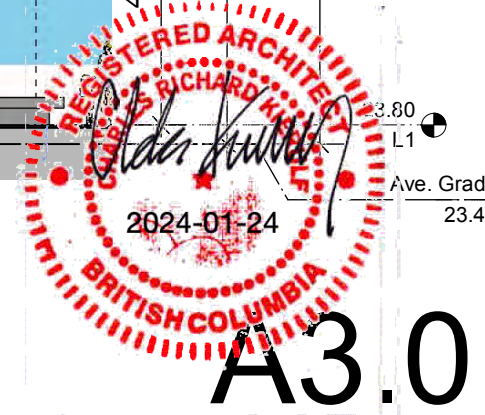
SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION



A3.0



1760 Fort

1914

1918

1922

1928

1934-1936

1944

STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING WEST



STREET CONTEXT ELEVATION - ASHGROVE STREET LOOKING EAST





Street Context Elevation - Birch Street - Phase 2 in background  
(Phase 1 and context masked 60%)



A3.2



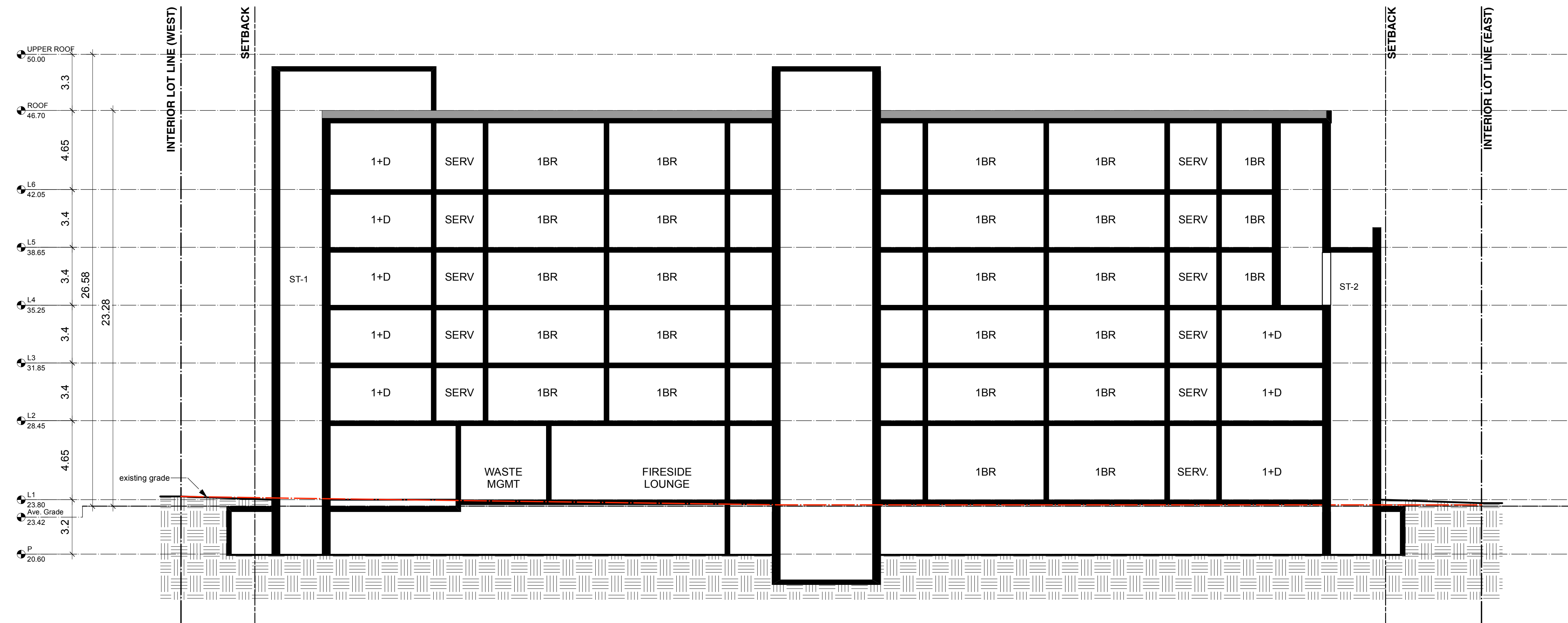


EAST ELEVATION WITH PHASE 1 WINDOW OPENINGS OVERLAID

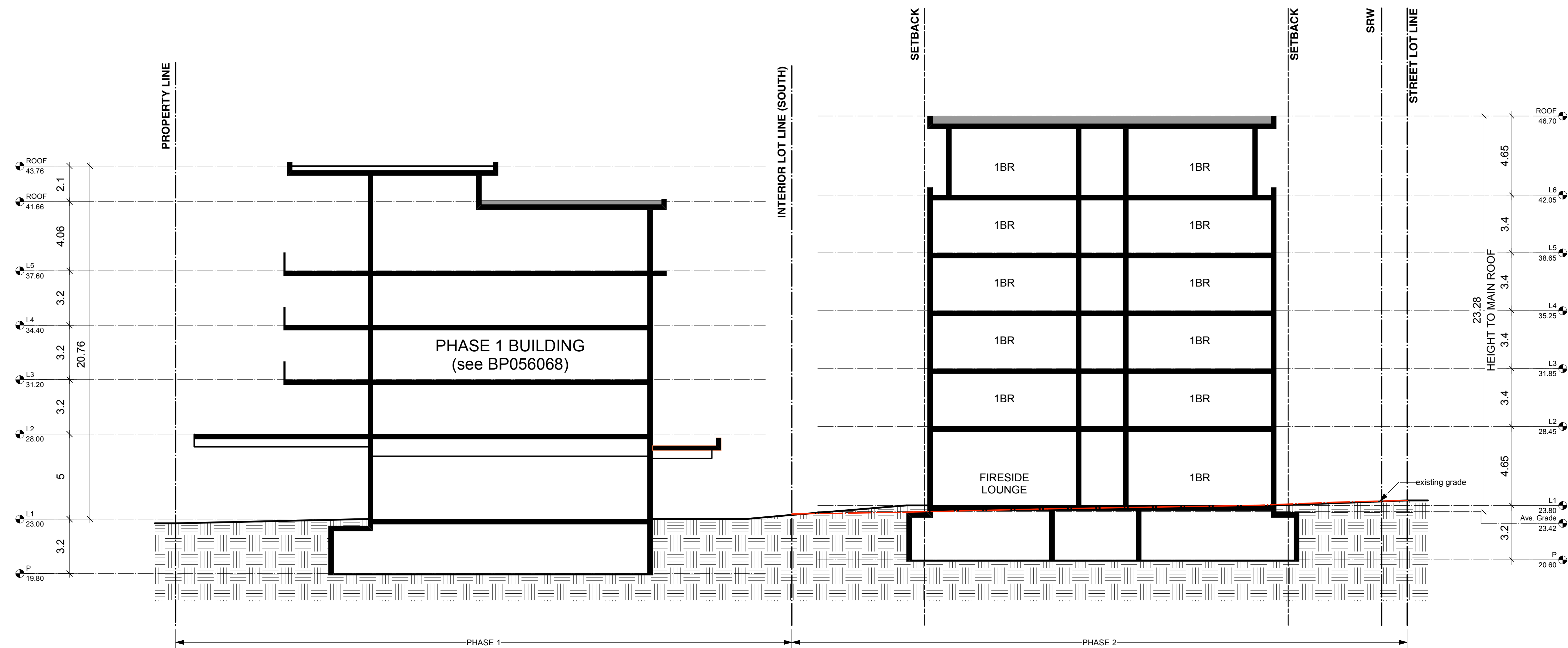
AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2  
Elevation OVERLAY PH1 WINDOWS on PH2

RE-ISSUED FOR REZONING & DP : 18 DEC 2023





SECTION WEST - EAST



SECTION SOUTH - NORTH

AMICA SENIOR LIVING JUBILEE HOUSE - PHASE 2  
Building Sections

RE-ISSUED FOR REZONING & DP : 18 DEC 2023



A4.0



Aerial View - Looking West from Richmond Road  
Phase 1 in Foreground



Aerial View - Looking South West from Richmond Road  
Phase 1 in Foreground



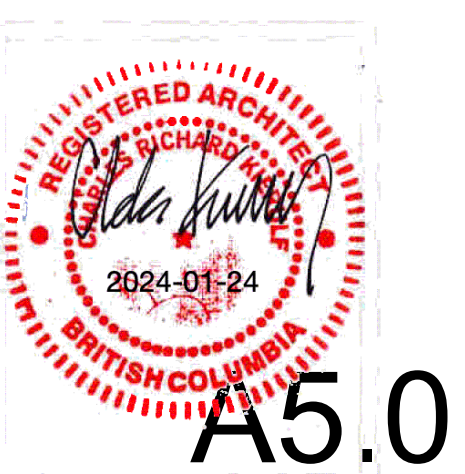
Aerial View - Looking South East from Ashgrove Street  
Phase 1 in Background



Main Entrance Plaza and Canopy



Access Pathway to Courtard Garden





A5.1



Street View - Looking South along Ashgrove Street

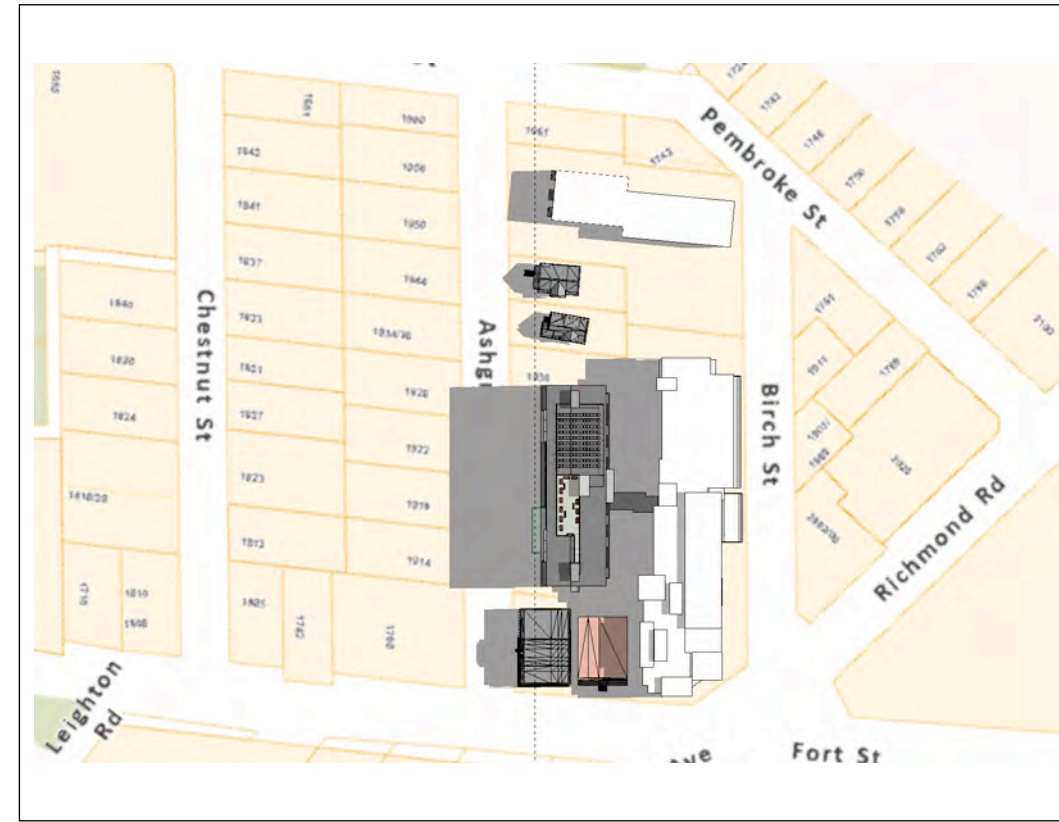


A5.2

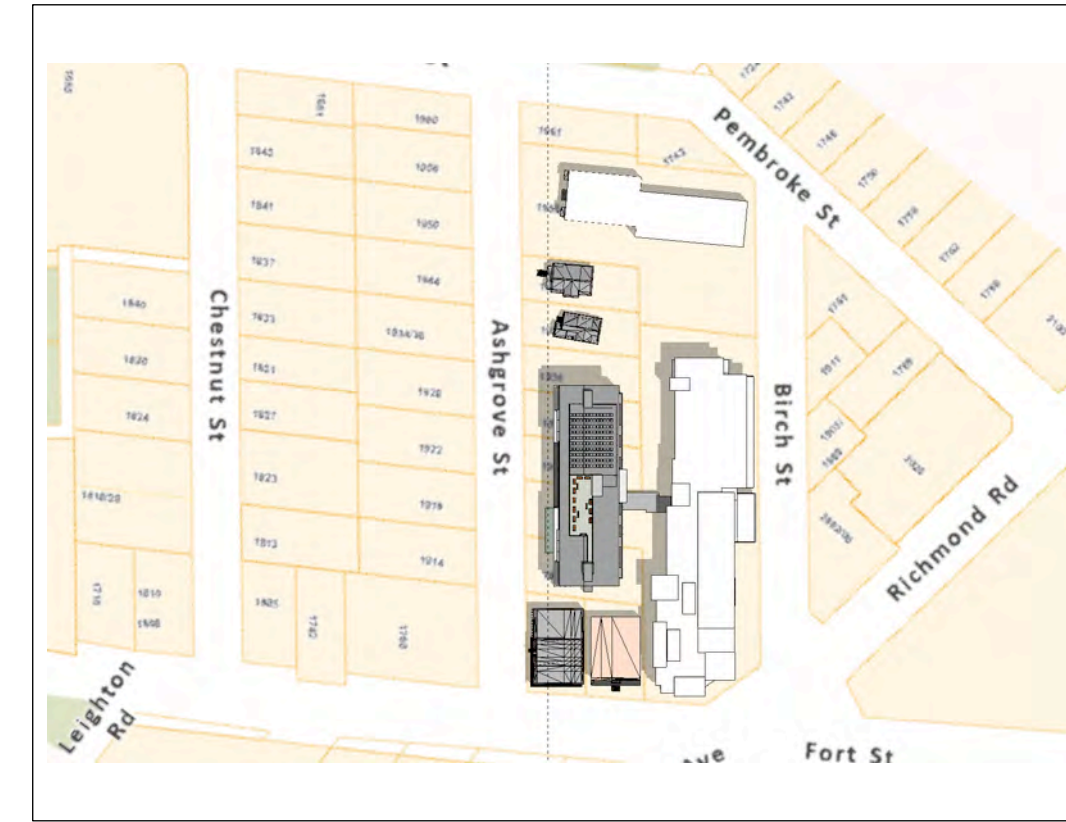


Aerial View - Looking East over Fort Street with RJH Buildings in Background

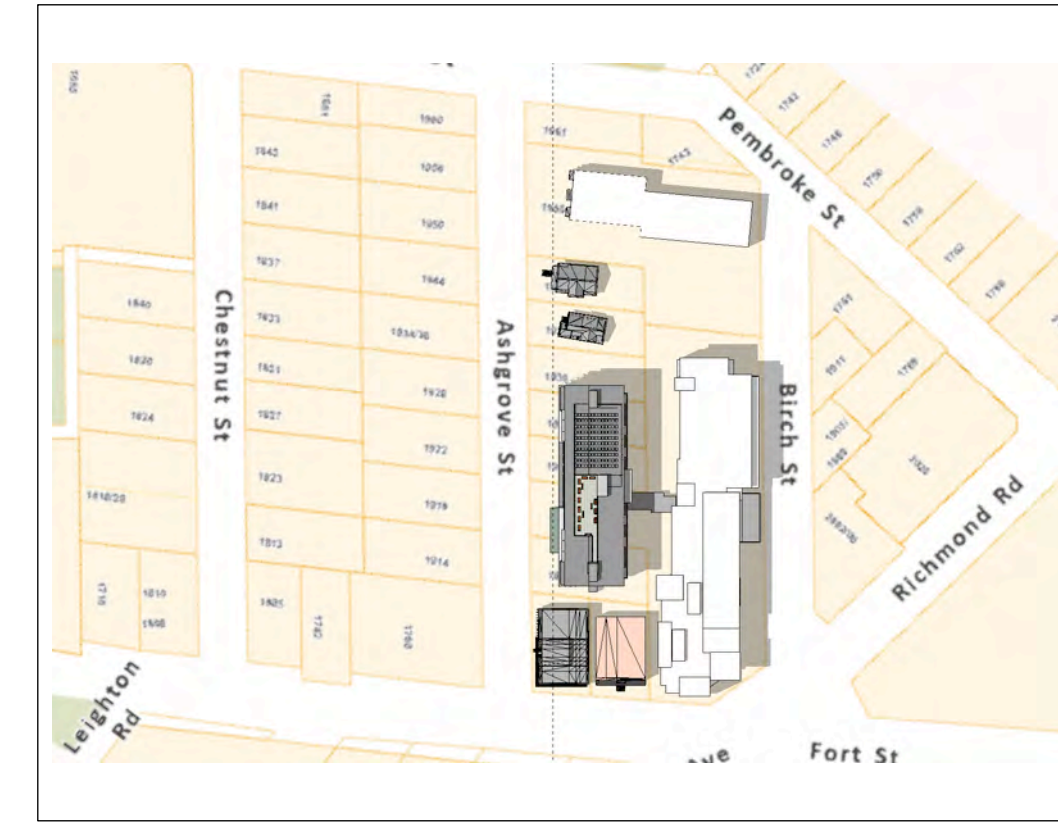




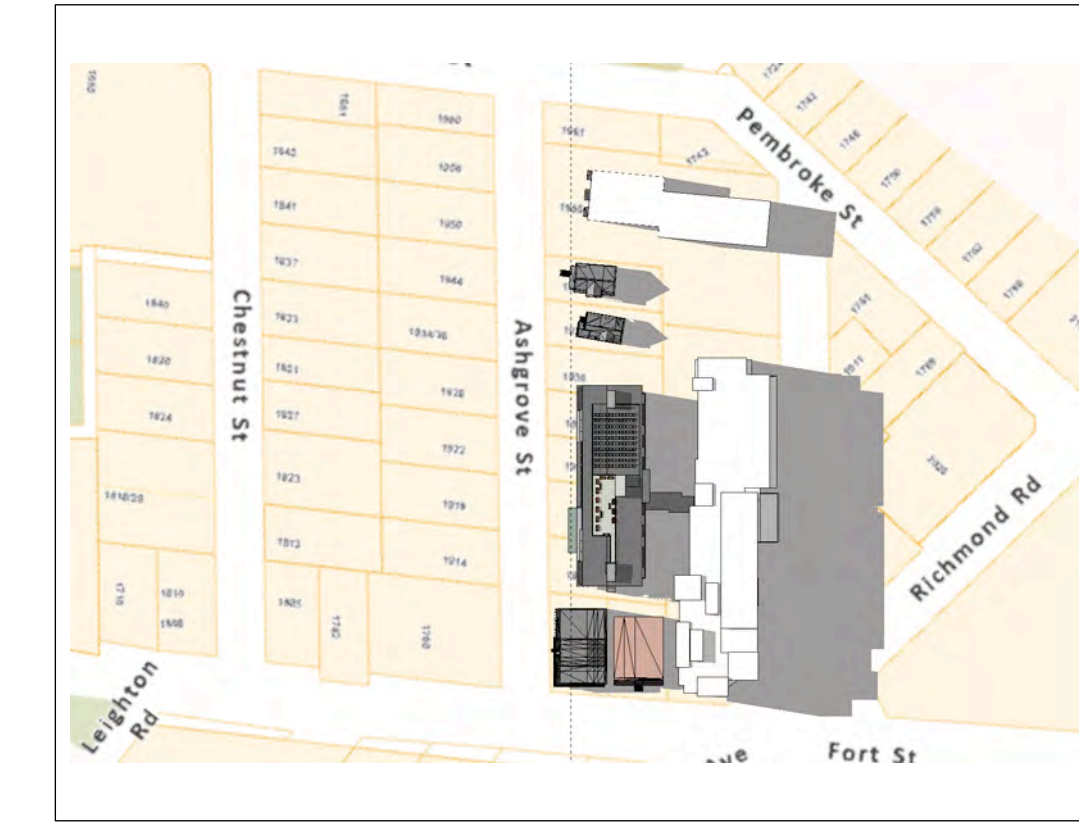
JUNE 21 - 08:00



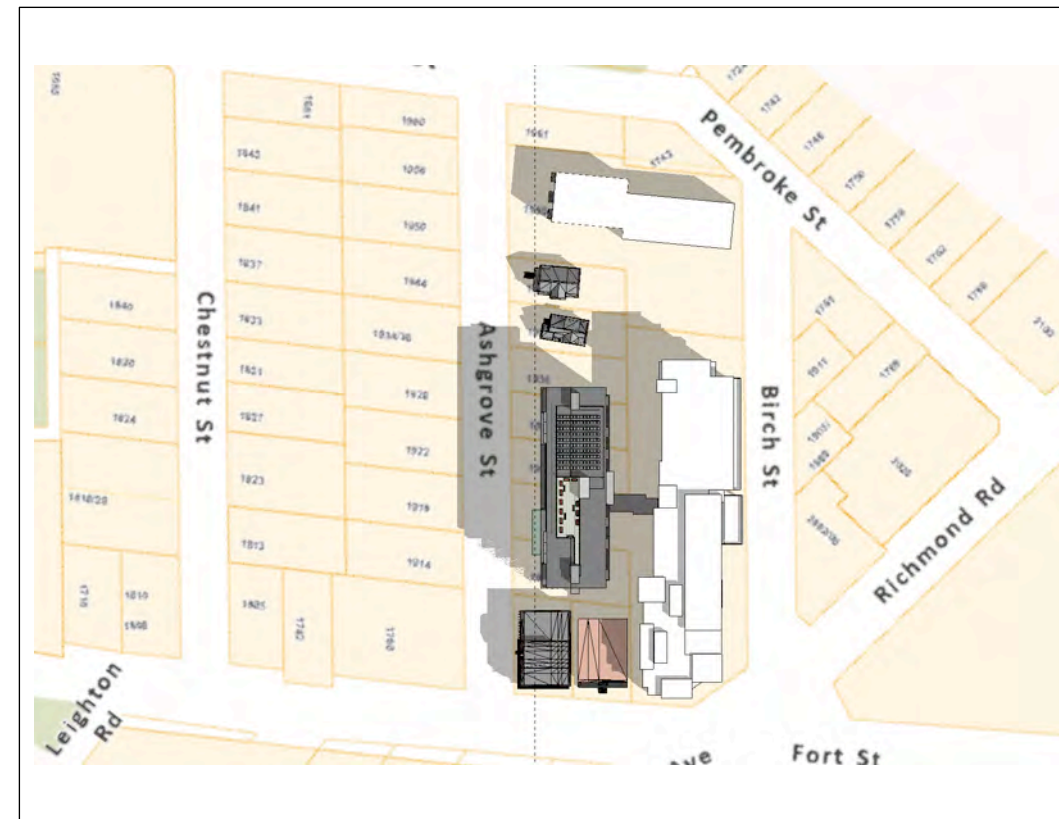
JUNE 21 - 11:00



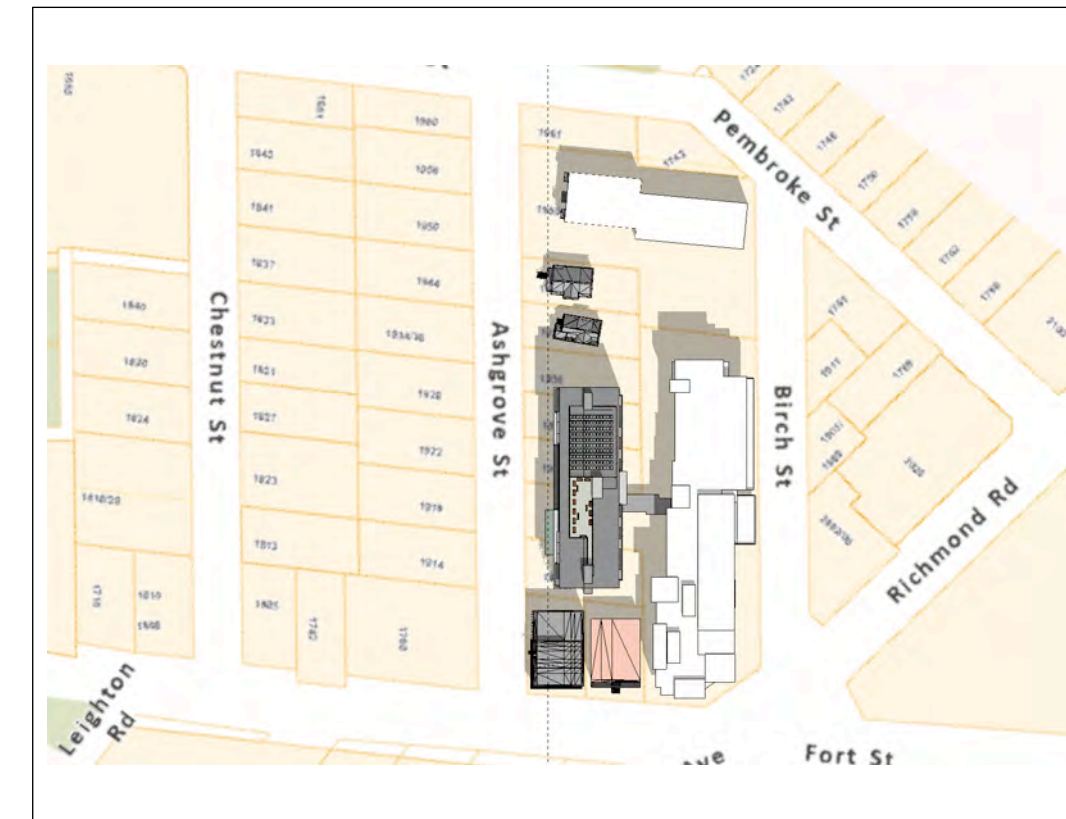
JUNE 21 - 14:00



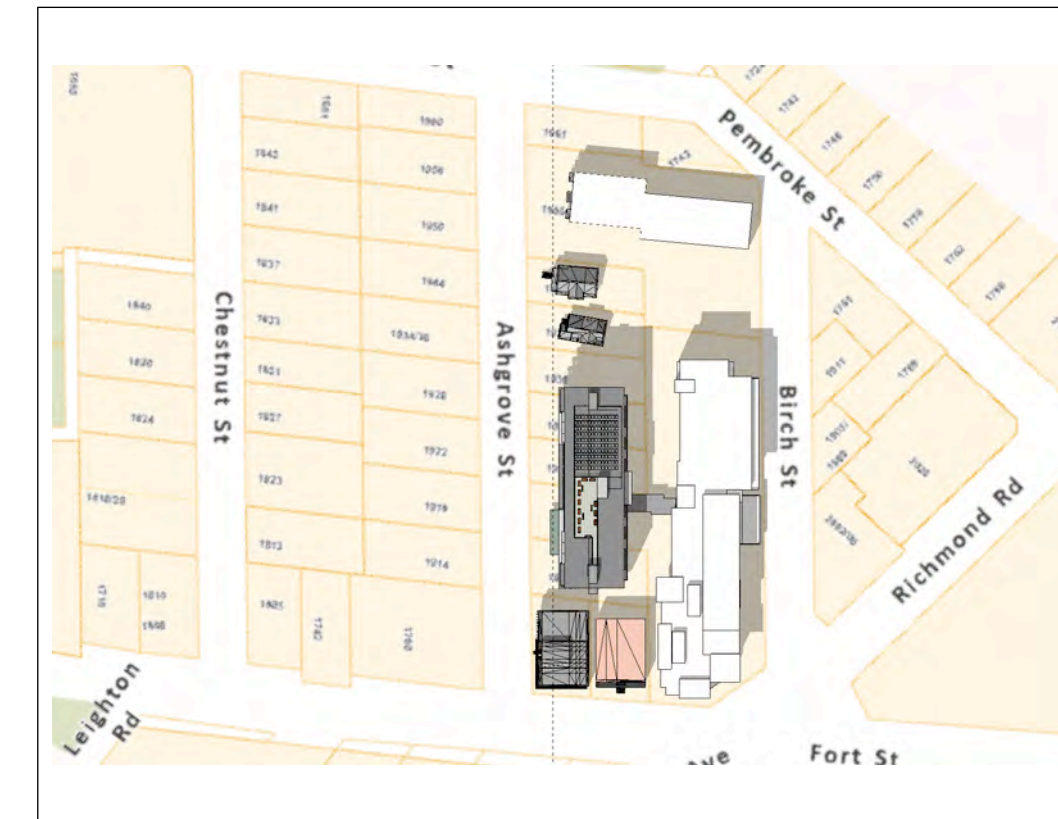
JUNE 21 - 17:00



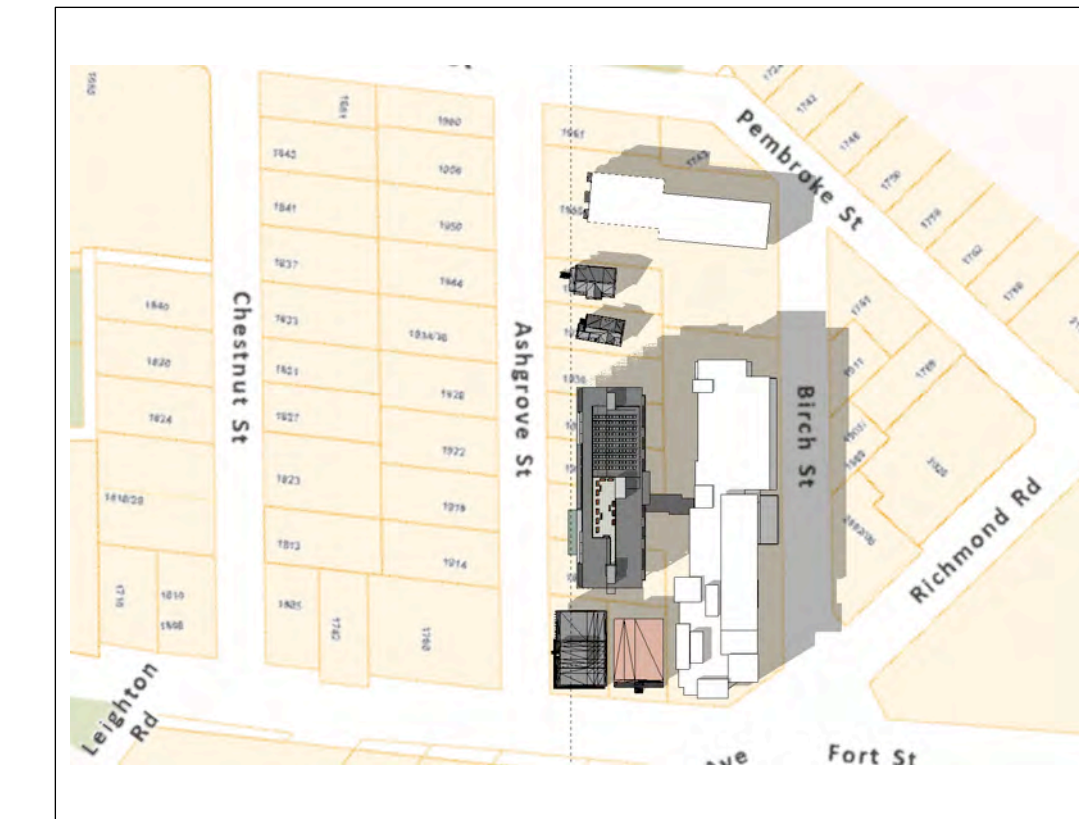
SEPTEMBER 23 - 09:00



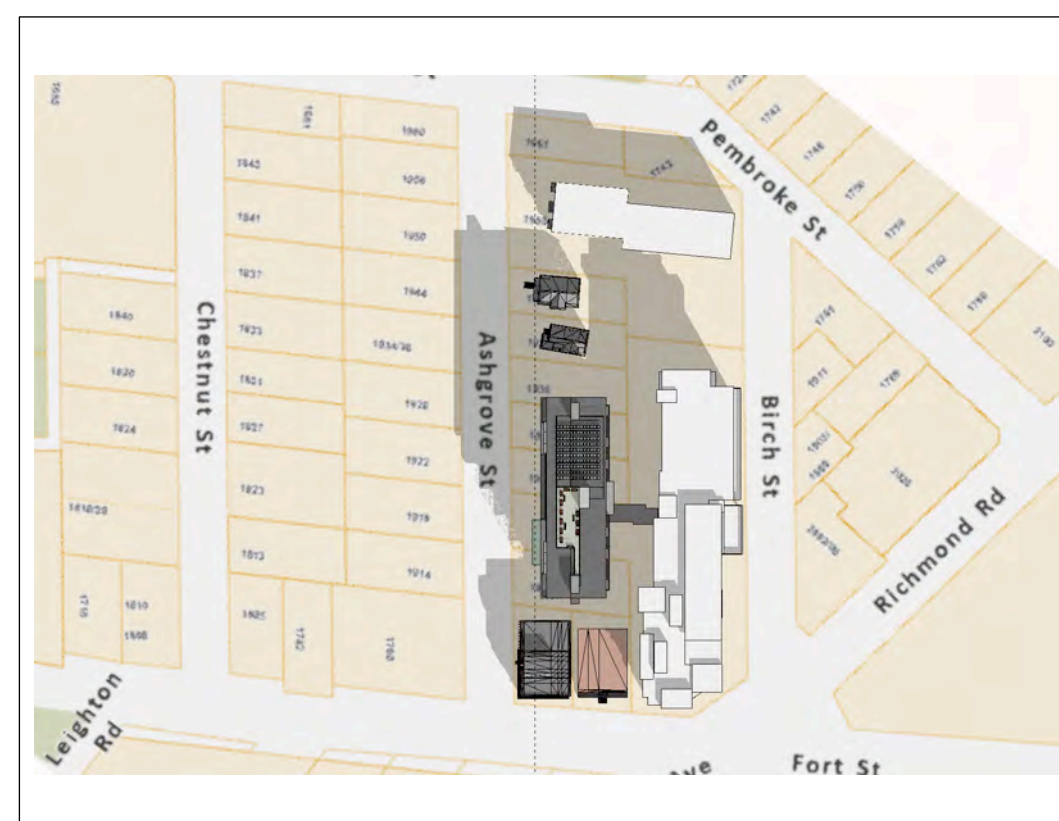
SEPTEMBER 23 - 11:00



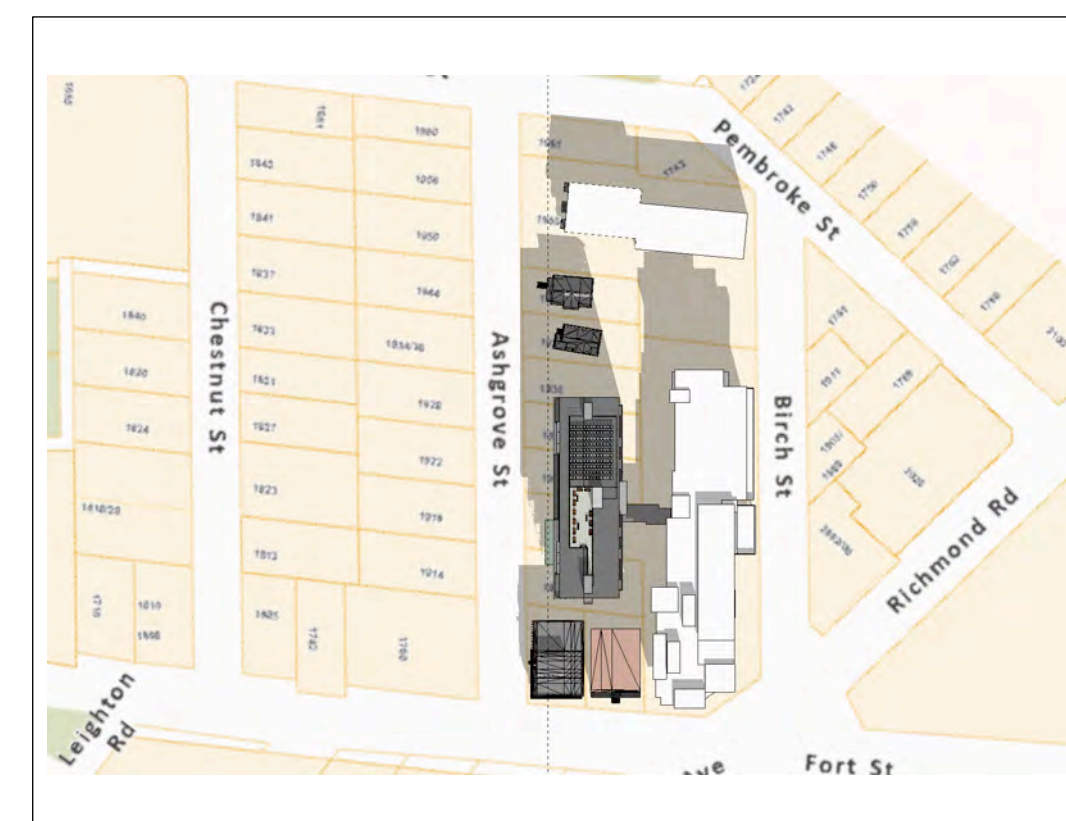
SEPTEMBER 23 - 13:00



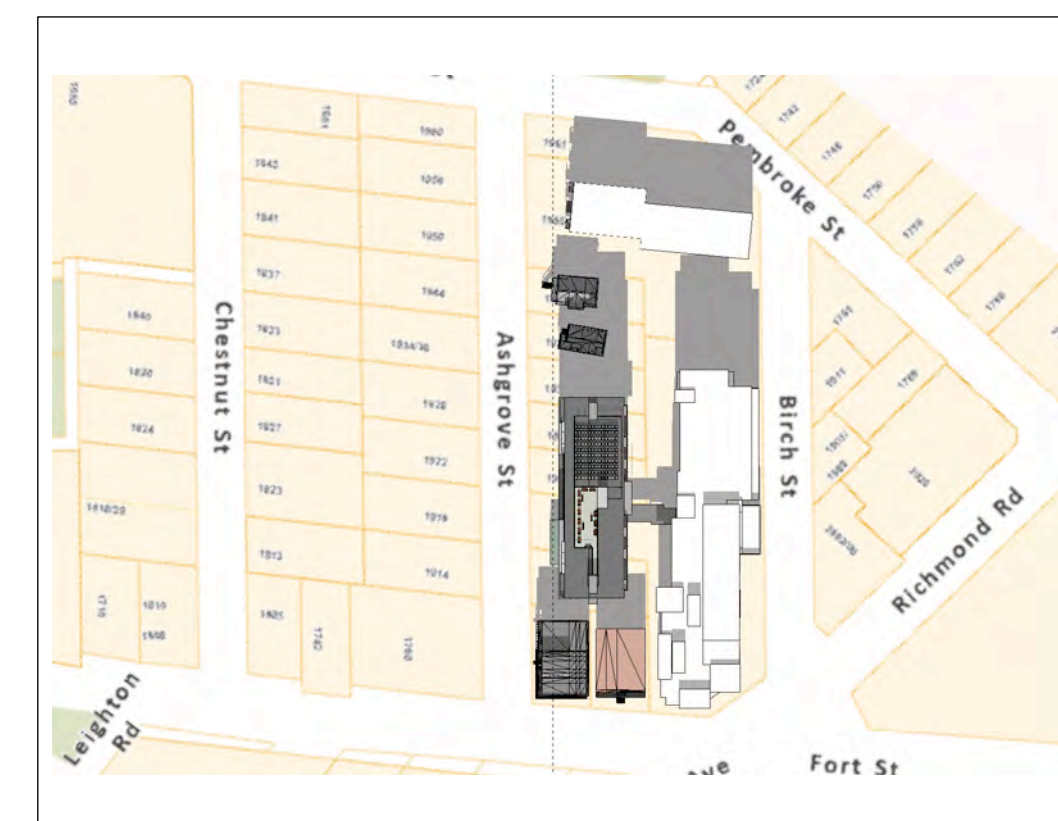
SEPTEMBER 23 - 15:00



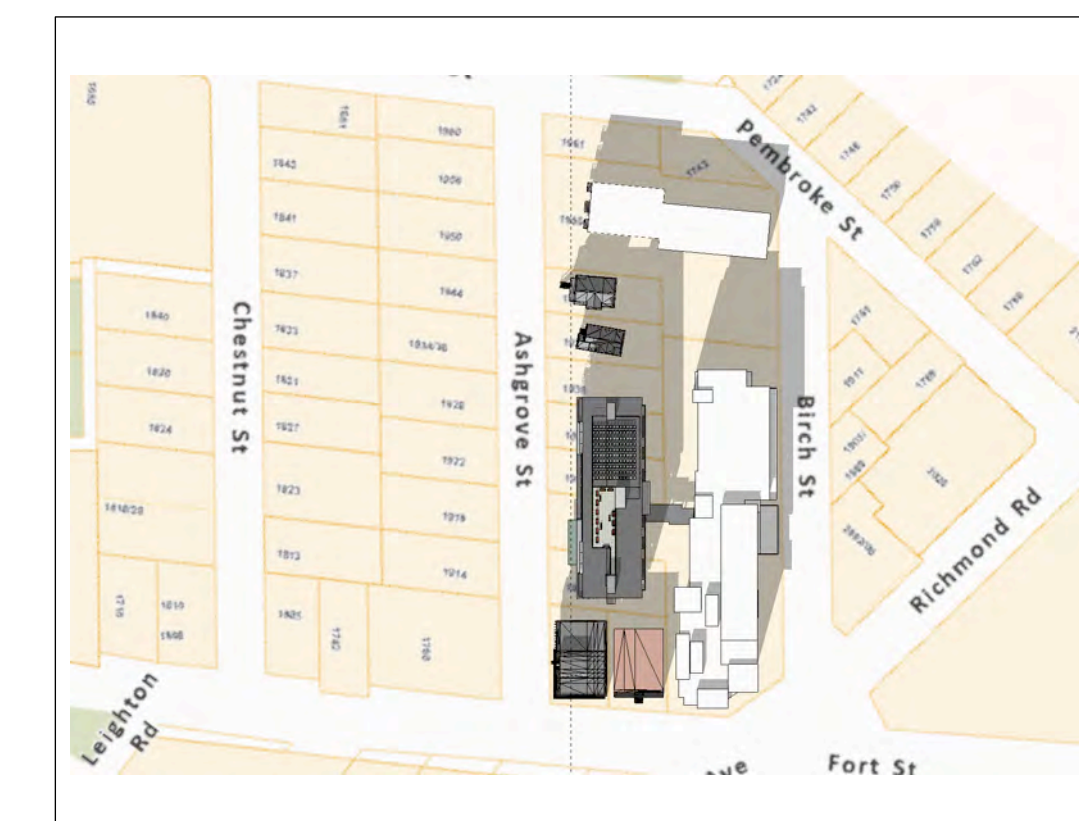
DECEMBER 21 - 10:00



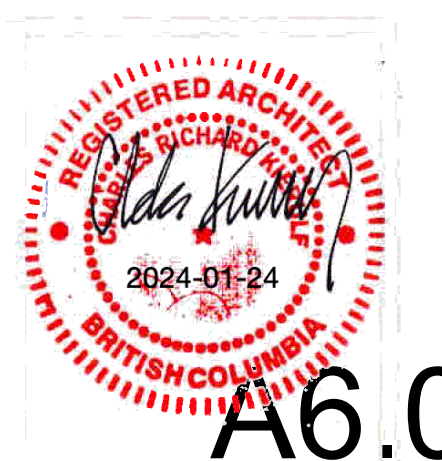
DECEMBER 21 - 11:00



DECEMBER 21 - 12:00



DECEMBER 21 - 13:00



A6.0



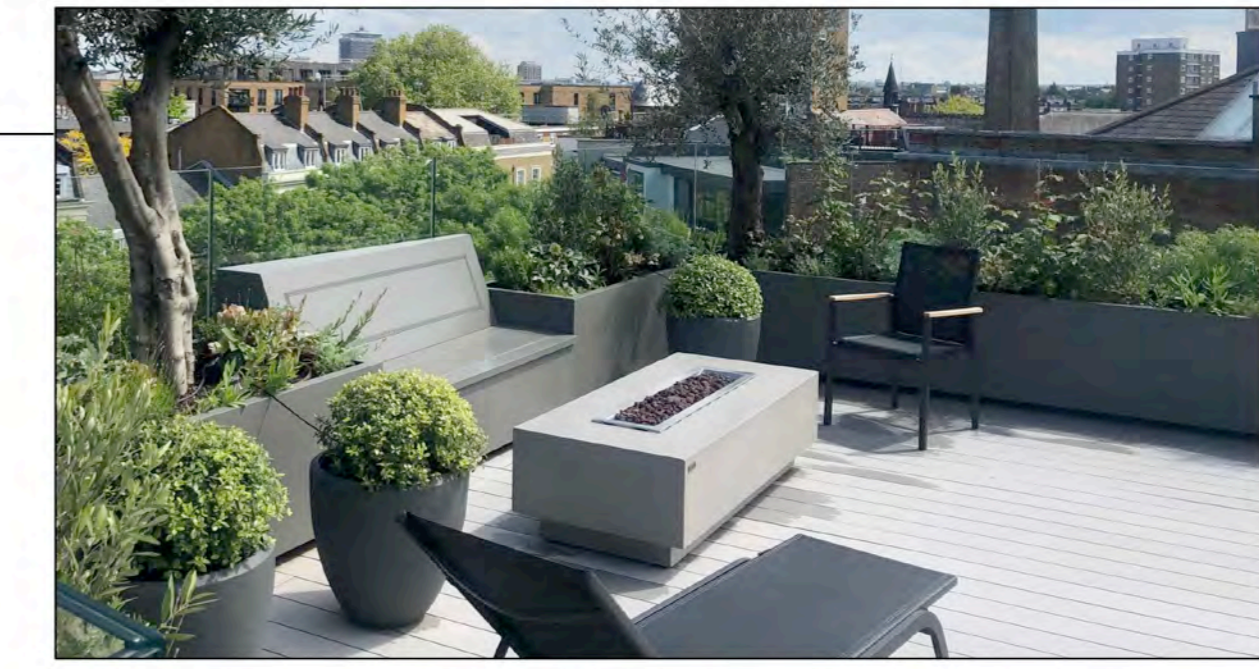
Vertical Louver Screen Wall North and South Elevations  
Prefinished Aluminum louvres with wood-tone finish



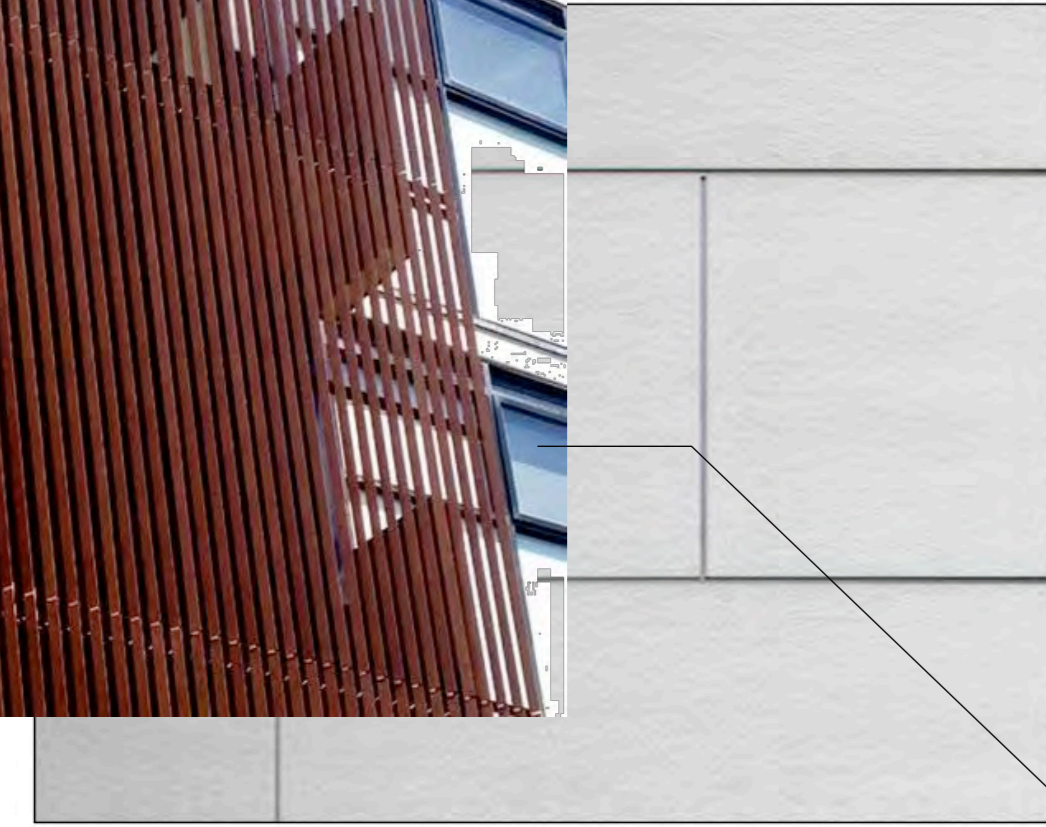
High-Performance aluminium and glass window-wall system



Rooftop solar PV array



Rooftop amenity area with planters



Cementitious Panel Siding- Various colours- with colour matching trims



Rooftop beehiving hives



High-Performance vinyl windows with coloured frames



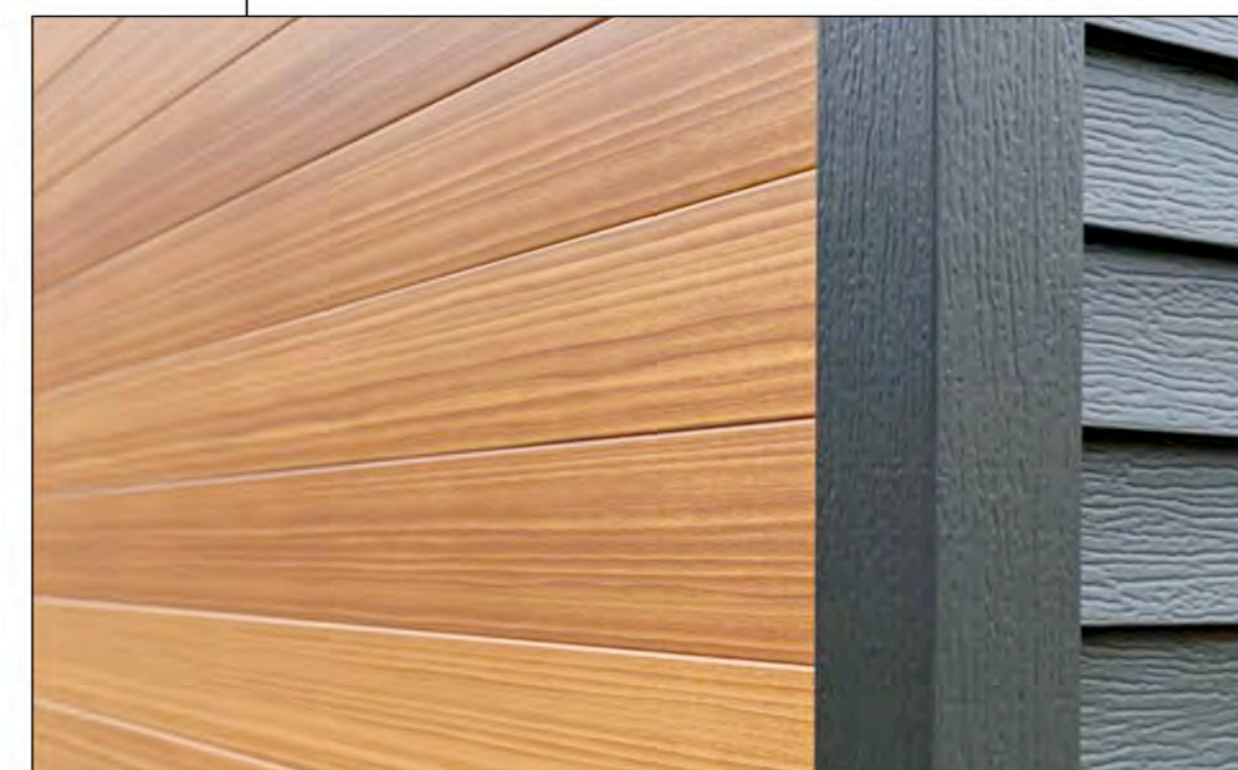
WEST ELEVATION



Prefinished metal cladding



Aluminium and Glass guard



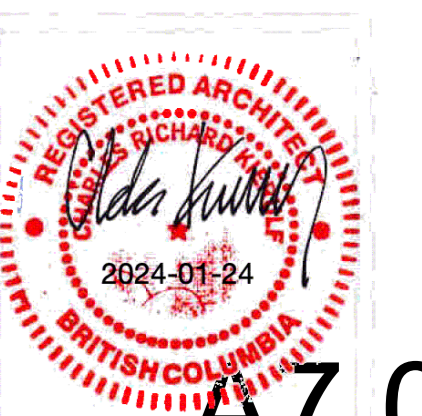
Metal Siding (inside face of vertical fins) and all Soffits with printed wood grain finish



Heavy Timber and Glass Entrance Canopy



Masonry Patterned Stucco Finish to match Phase 1 Building



A7.0



ASHGROVE STREET



**Tree Inventory Table**

Tree ID	Species	Caliper	Health	Location	Notes	Assessment	Recommendation
051	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
052	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
053	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
054	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
055	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
056	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
057	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
058	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
059	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
060	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
061	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
062	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
063	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
064	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
065	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
066	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
067	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
068	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
069	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
070	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
071	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
072	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
073	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
074	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
075	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
076	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
077	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
078	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
079	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
080	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
081	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
082	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
083	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
084	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
085	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
086	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
087	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
088	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
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090	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
091	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
092	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
093	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
094	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
095	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
096	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
097	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
098	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
099	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain
100	Japanese Stewartia	6cm cal.	Good	Northwest corner	Retained tree	Good	Retain

**Tree Preservation Summary**

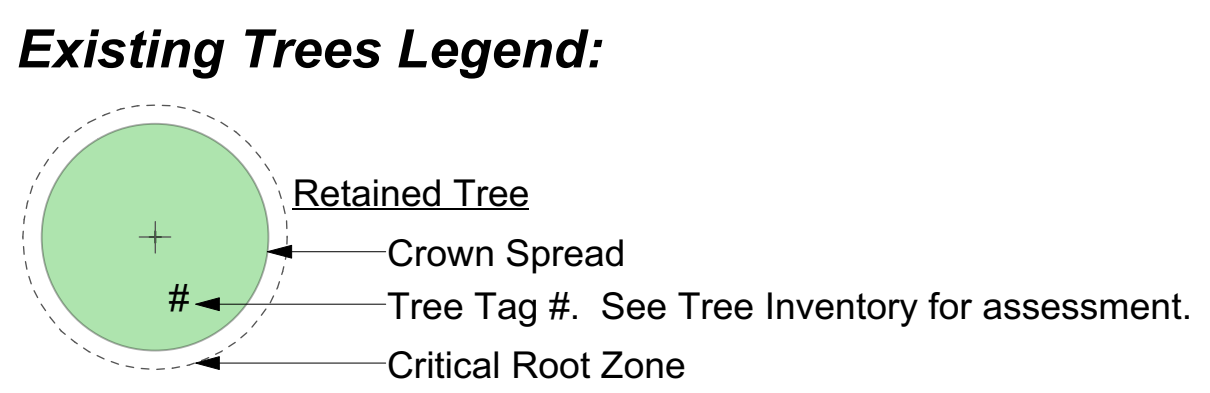
Category	Count	Multiplier	Total
A. Protected Trees Removed	18	X 1	18
B. Replacement Trees Proposed per Schedule "E", Part 1	19	X 1	19
C. Replacement Trees Proposed per Schedule "E", Part 2	3*	X 0.5	1.5*
D. Replacement Trees Proposed per Schedule "E", Part 3	16*	X 1	16*
E. Total replacement trees proposed (B+C+D) Round down to nearest whole number	35		35
F. Onsite replacement tree deficit (A-E) Record 0 if negative number	0		0
G. Tree minimum on lot	14		14
H. Protected trees retained (other than specimen trees)	0		0
I. Specimen trees retained	0	X 3	0
J. Trees per lot deficit (G - (H+I)) Record 0 if negative number	0		0
K. Protected trees Removed	0	X 1	0
L. Replacement trees proposed per Schedule "E", Part 1	0	X 1	0
M. Replacement trees proposed from Schedule "E", Part 2	0	X 0.5	0
N. Total replacement trees proposed (L+M) Round down to nearest whole number	0		0
O. Offsite replacement tree deficit (K-L+M) Record 0 if negative number	0		0
P. Onsite trees proposed for cash-in-lieu Enter F, or J, whichever is the greater number	0		0
Q. Offsite trees proposed for cash-in-lieu Enter O	0		0
R. Cash-in-lieu proposed ((P+Q) X \$2,000)	0		\$0

**Soil Volume Compliance Table**

Planting Area (ID)	Area (m2)	Soil Volume (m)	Est. Soil Volume	Replacement Trees Proposed				Total	Compliance (Y/N)
				B Small	C Medium	D Large	E # Small		
1	169	0.75	126.75	0.0	3.0	0.0	0.0	60.0	Y
2	360	0.75	270	2.0	6.0	2.0	16.0	120.0	Y
3	75	0.75	56.25	0.0	1.0	0.0	0.0	20.0	Y
4	70	0.75	52.5	0.0	2.0	0.0	0.0	40.0	Y
5	129	0.75	96.75	0.0	4.0	0.0	0.0	80.0	Y
6	14.2	0.75	10.65	1.0	0.0	0.0	8.0	0.0	Y
7	12.5	1	12.5	2.0	0.0	0.0	12.0	0.0	Y
8	33	0.75	24.75	0.0	1.0	0.0	0.0	20.0	Y
<b>TOTAL</b>			<b>650.15</b>					<b>446.0</b>	

**Tree Impact Summary Table**

Tree Status	Tree Impact			
	A Total # of Protected Trees	B # of Trees to be REMOVED	C # of NEW or REPLACEMENT Trees to be Planted*	D # of EXISTING non-protected Trees Counted as Replacements
Onsite Trees	18	18	22*	0
Private Offsite Trees	2	0	N/A	N/A
Municipal Trees	5	2	N/A	N/A
<b>Total</b>	<b>25</b>	<b>20</b>	<b>22*</b>	<b>0</b>



1 Landscape Tree Management Plan Scale: 1:125

# Tree Management Plan - Jubilee House Phase 2



Revision H | Issued for DP ReSubmission I Dec. 12/23  
 Revision G | Issued for DP ReSubmission I Oct. 10/23  
 Revision F | Issued for DP ReSubmission I June 8/23  
 Revision E | Issued for DP ReSubmission I Apr. 11/23  
 Revision D | Issued for Draft DP ReSubmission I Feb. 24/23  
 Revision C | Issued for Draft DP Submission I Dec. 15/22  
 Revision B | Issued for Coordination I Dec. 7/22  
 Revision A | Issued for Rezoning I Sept. 16/22