

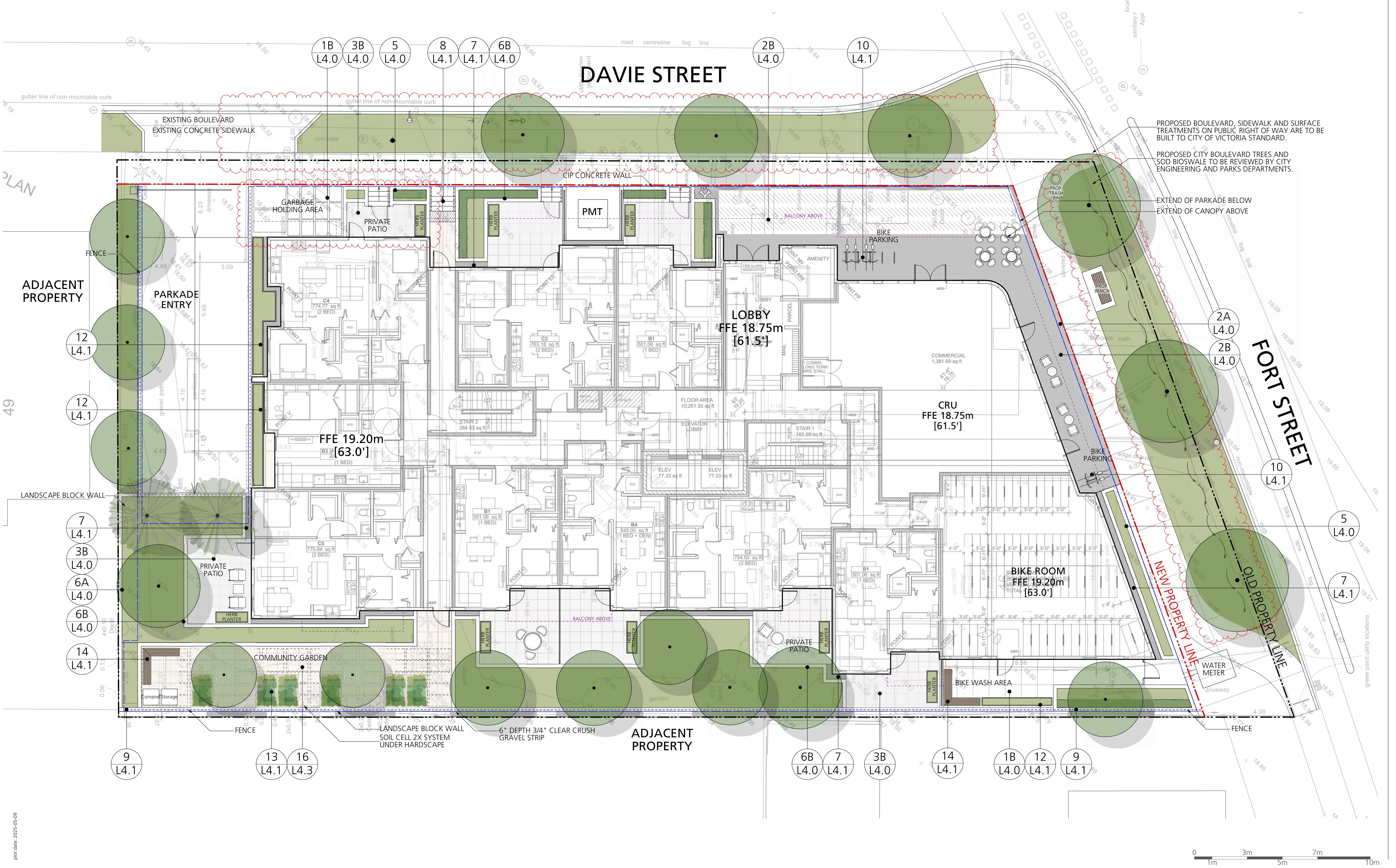
1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels	7 L4.1	Gravel Strip	12 L4.1	Custom Metal Planter
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing	8 L4.1	Typical Stairs	13 L4.1	Garden Plot
2A L4.0	Unit Paving On-grade	5 L4.0	CIP Concrete Planter Wall	9 L4.1	Metal Picket Fence	14 L4.1	Landscape Bench
2B L4.0	Unit Paving On-slab	6A L4.0	Landscape Block Wall On-grade	10 L4.1	Bike Rack	15 L4.2	Indicative Trellis
3A L4.0	Hydrapressed Slab Level 1	6B L4.0	Landscape Block Wall On-slab	11 L4.1	Outdoor Bar & Stools	16 L4.3	Soil Cell

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
6	Re-issued for Development Permit	2024/07/12
7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09


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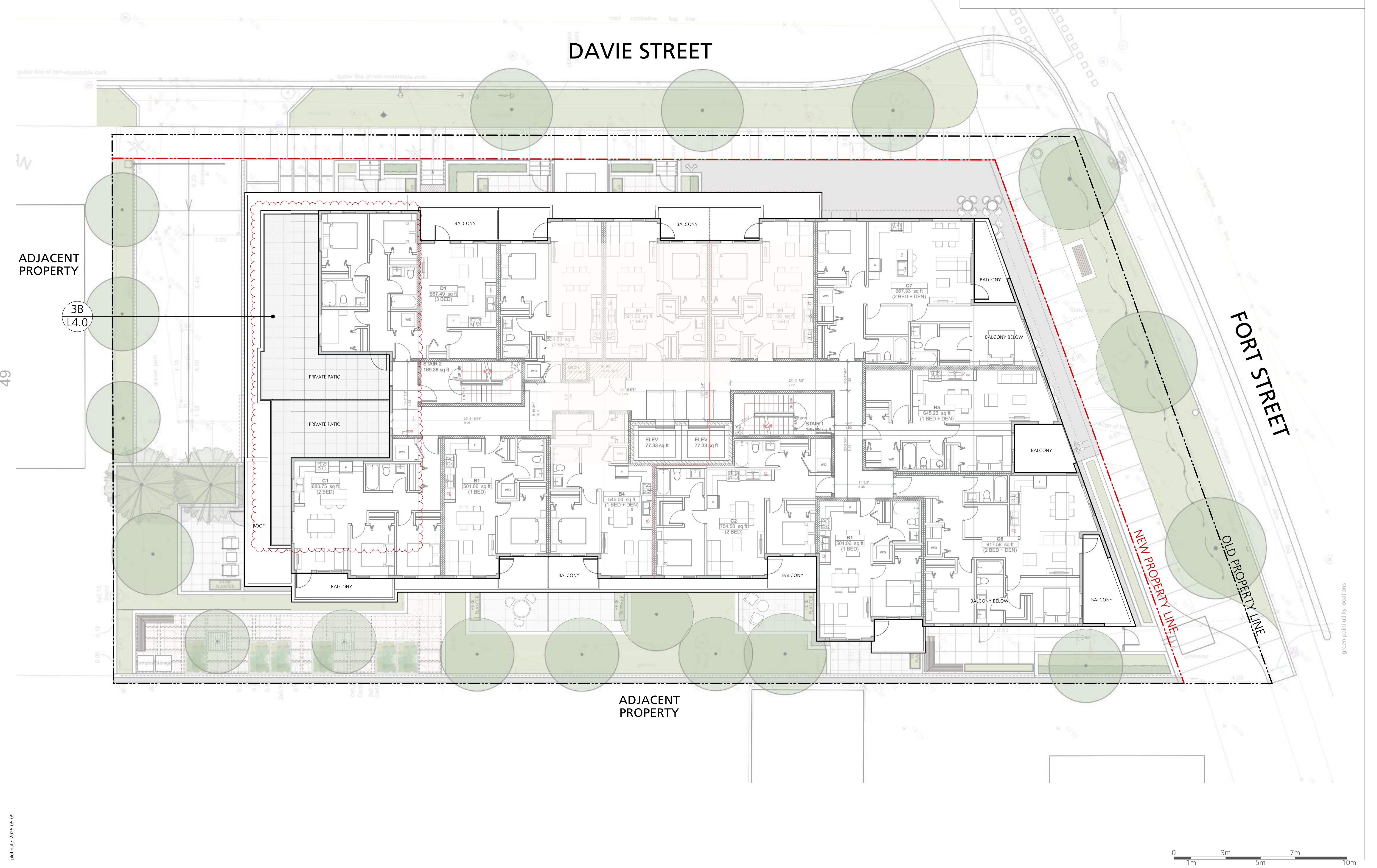
 Project Title:
FORT & DAVIE APARTMENTS
 1905-1907 Fort Street &
 1923-1929 Davie Street,
 Victoria, BC

 Drawing Title:
Landscape Key Plan
Level 1

 Project North: Drawn By: MH
 Checked By: MP
 Scale: Job No.: 1:100 22-082
 Sheet No.: 1


1A 14.0	CIP Concrete Paving On-grade	3B 14.0	Hydrapressed Slab Upper Levels	7 14.1	Gravel Strip	12 14.1	Custom Metal Planter
1B 14.0	CIP Concrete Paving On-slab	4 14.0	Resilient Surfacing	8 14.1	Typical Stairs	13 14.1	Garden Plot
2A 14.0	Unit Paving On-grade	5 14.0	CIP Concrete Planter Wall	9 14.1	Metal Picket Fence	14 14.1	Landscape Bench
2B 14.0	Unit Paving On-slab	6A 14.0	Landscape Block Wall On-grade	10 14.1	Bike Rack	15 14.2	Indicative Trellis
3A 14.0	Hydrapressed Slab Level 1	6B 14.0	Landscape Block Wall On-slab	11 14.1	Outdoor Bar & Stools	16 14.3	Soil Cell

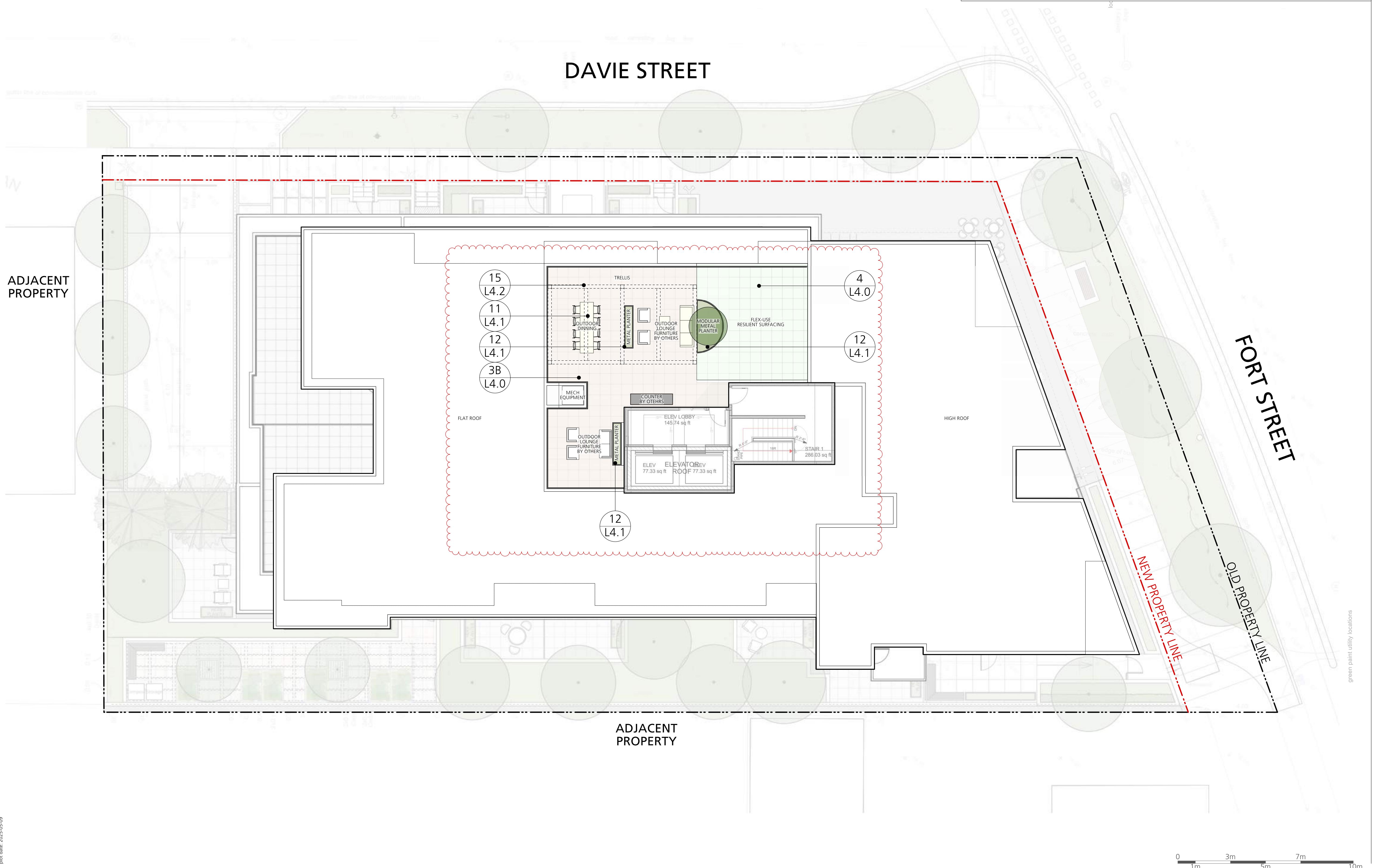
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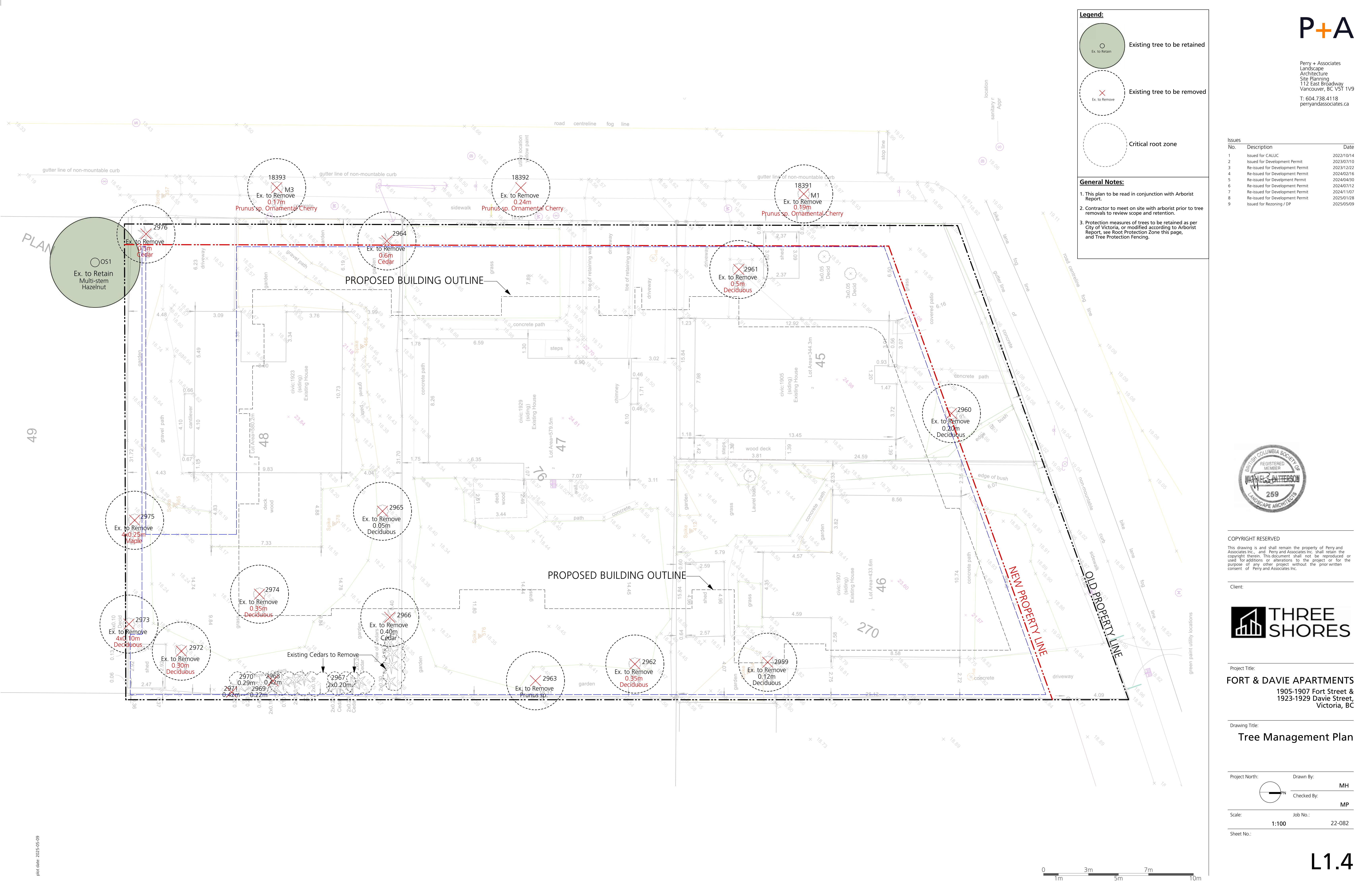


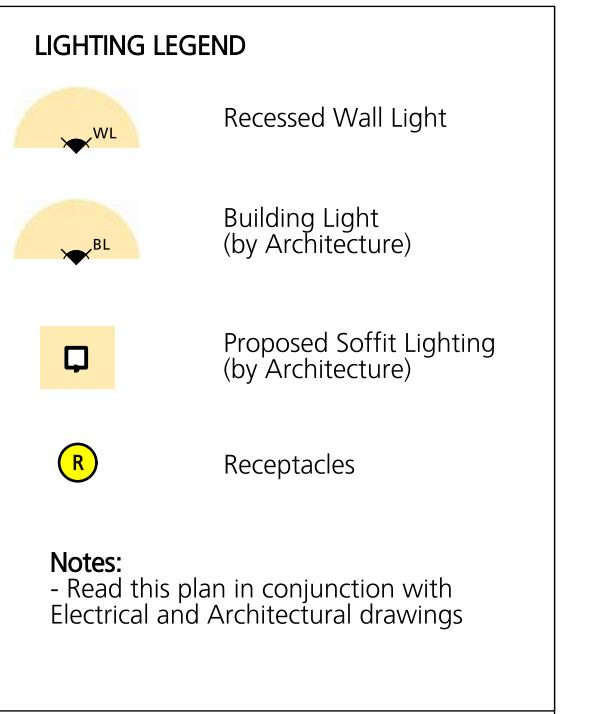
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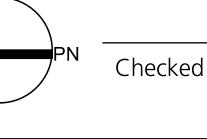
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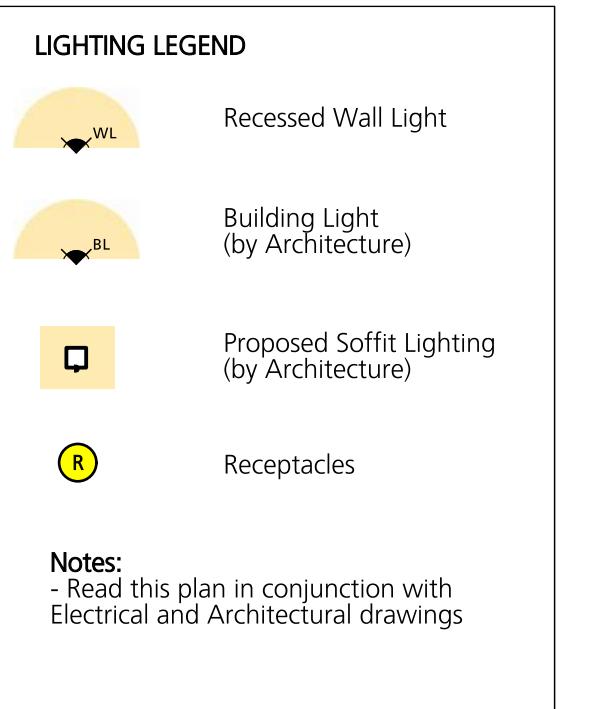


Project Title:
FORT & DAVIE APARTMENTS
 1905-1907 Fort Street &
 1923-1929 Davie Street,
 Victoria, BC

Drawing Title:
Landscape Lighting Plan
Level 1

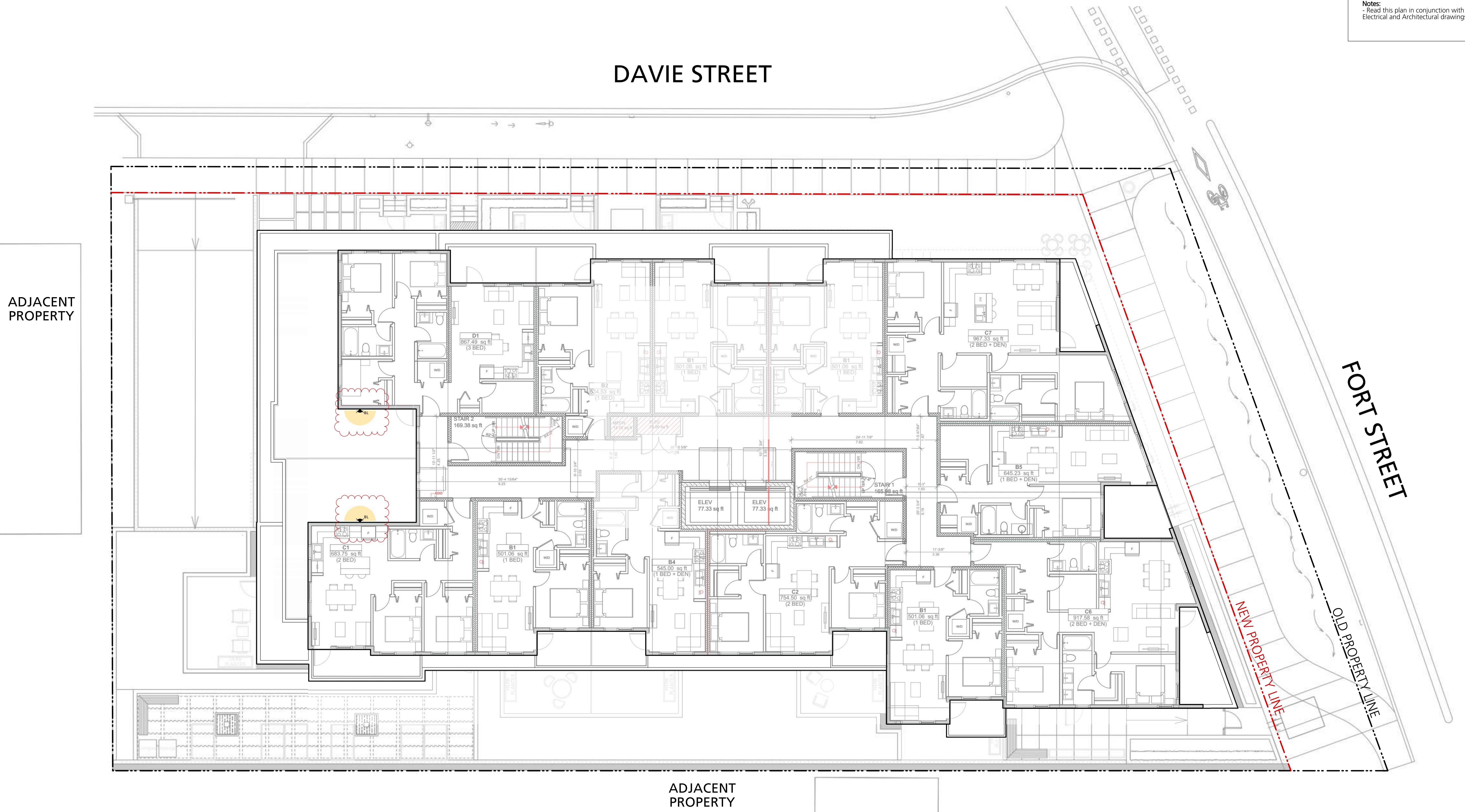
Project North: Drawn By: MH

 Checked By: MP
 Scale: Job No.: 1:100 22-082
 Sheet No.: 1

plot date: 2025-05-09
 0 1m 3m 5m 7m 10m
 L1.5



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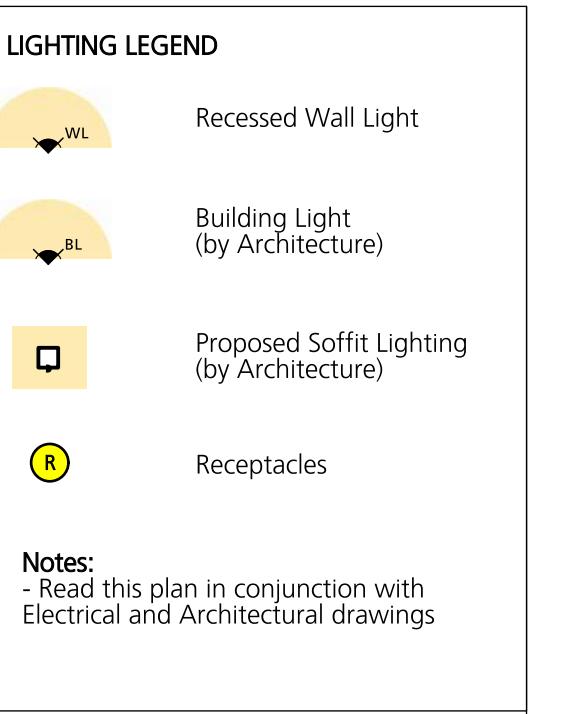
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Client:



Project North: Drawn By: MH
 Drawn By: MH
 Checked By: MP
 Job No.: 22-082

Scale: 1:100
 Sheet No.: 22-082



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DAVIE STREET



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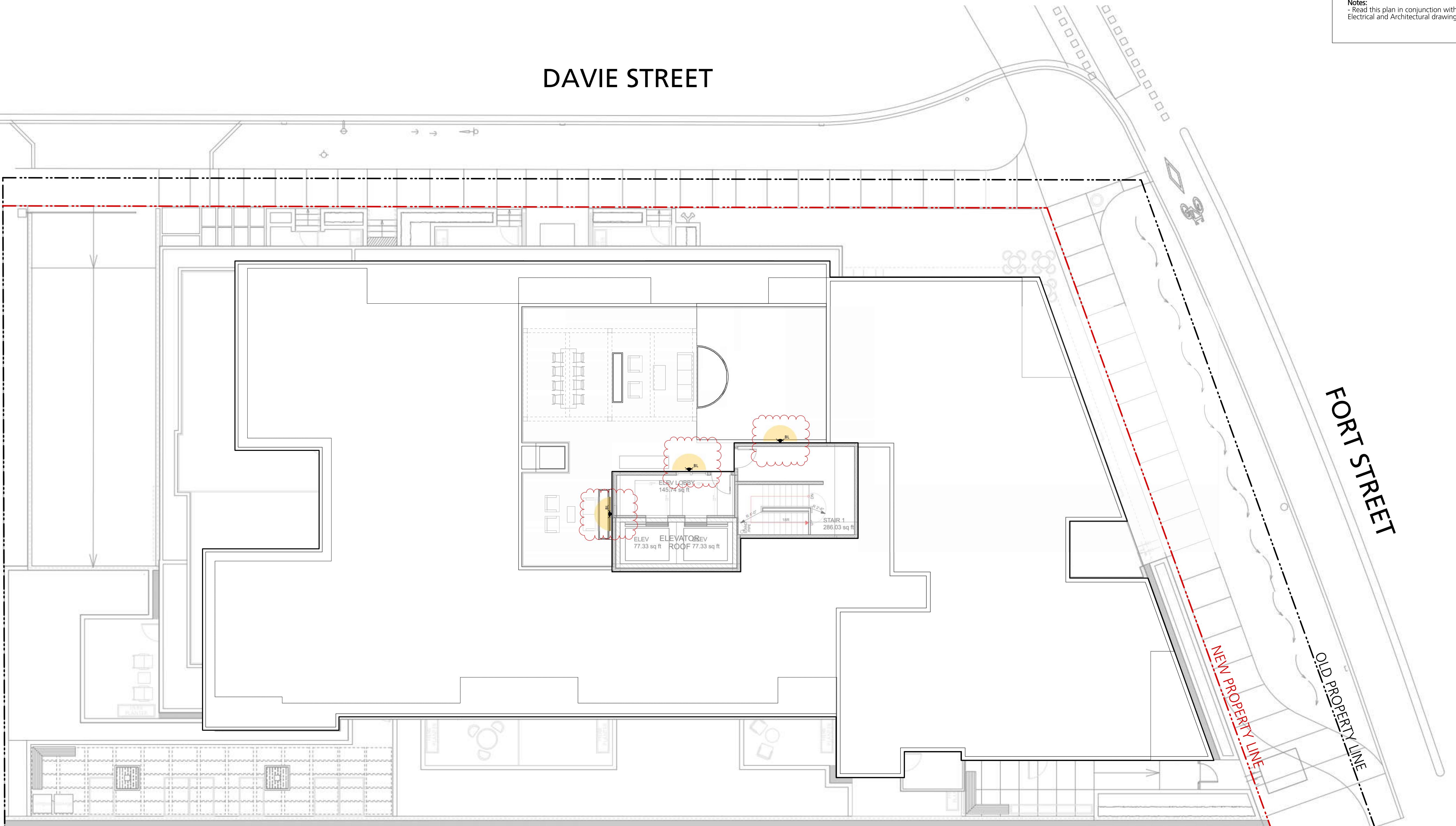
Project Title: FORT & DAVIE APARTMENTS
 1905-1907 Fort Street & 1923-1929 Davie Street, Victoria, BC

Drawing Title: Landscape Lighting Plan
 Rooftop

Project North: Drawn By: MH
 Checked By: MP
 Scale: Job No.: 1:100 22-082
 Sheet No.: 1

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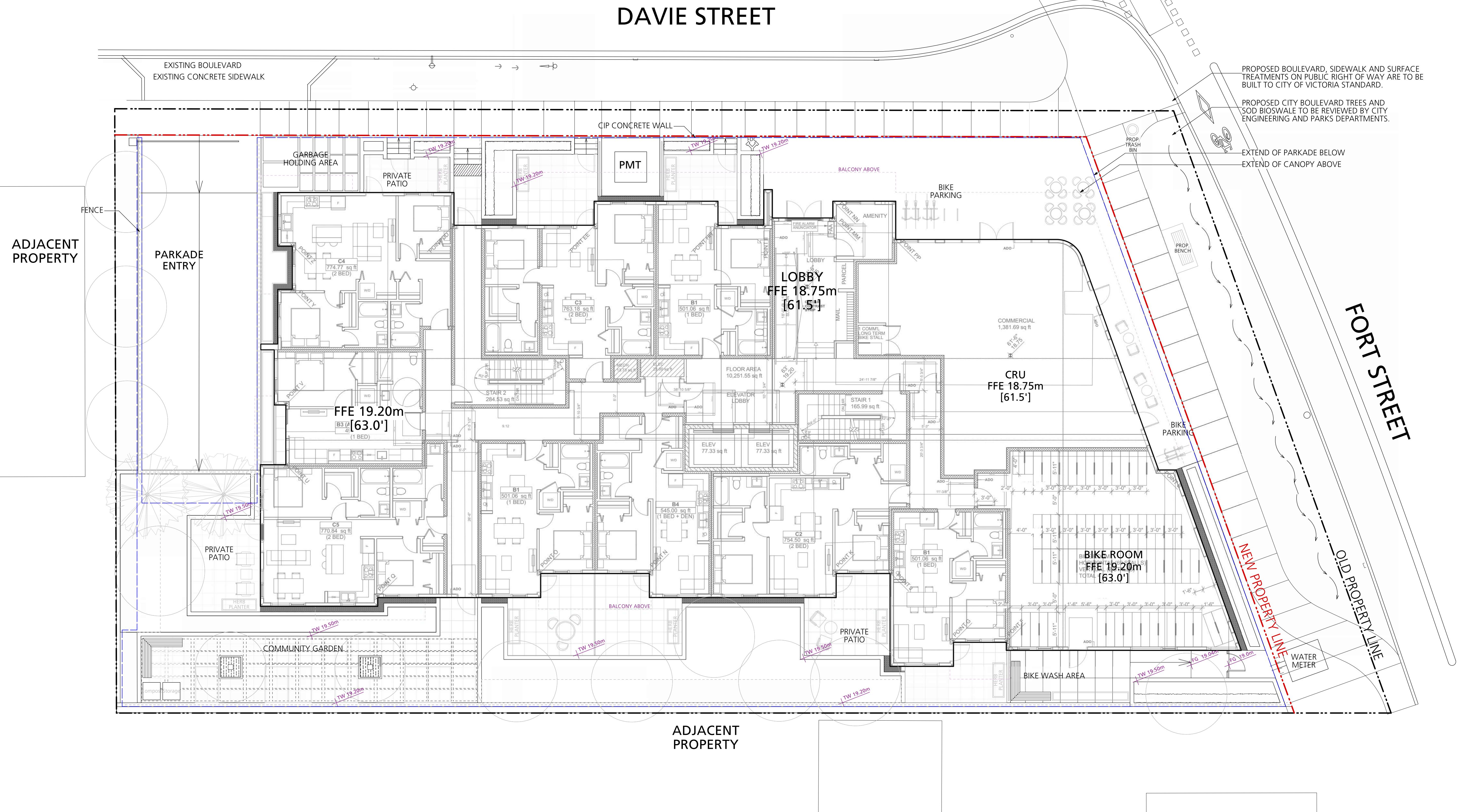


Legend:	
	Building Grade from Civil
	Interpolated Building Grade
	Finish Grade
	Top of Wall Grade
	Bottom of Wall Grade
	Top of Stair Elevation
	Bottom of Stair Elevation
	Top of Bench Elevation

Grading Notes:

1. Slope all paver areas to area drains.
2. All planting beds over slab are to be lightly compacted prior to installation of planting. Mound planters slightly (50mm) in center. Maximum slope is 3:1.
3. Refer to Structural for maximum allowable build up/ loading over slab.
4. Contractor to cover all exposed walls/slab waterproofing with flashing painted to match handrail and metal work.
5. Contractor to advise consultant of any discrepancies between drawings and on site conditions.

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Client:



Project Title: **FORT & DAVIE APARTMENTS**
 1905-1907 Fort Street & 1923-1929 Davie Street, Victoria, BC

Drawing Title:

Grading Plan

Project North: Drawn By: **MH**
 Checked By: **MP**
 Scale: **1:100** Job No.: **22-082**
 Sheet No.: **L2.0**

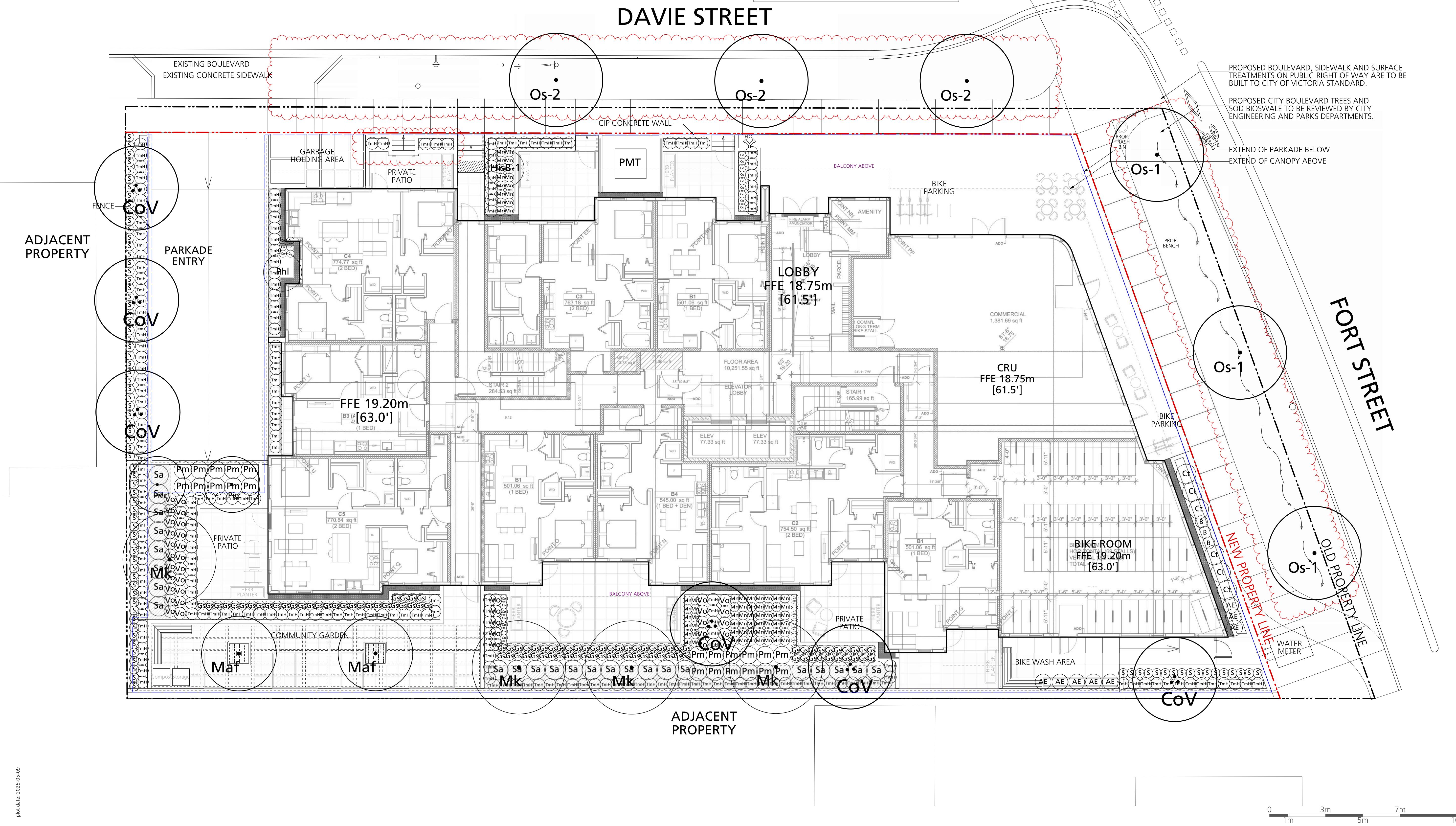
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GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
 - At least 2 m away from a building foundation wall.
 - At least 1 m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
 - In a location approved by the Director.
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLA/CSLA 'Canadian Landscape Standard' and the CNLA 'Canadian Nursery Stock Standard'.
- Replacement trees must be planted during the suitable local planting season (September to November) and (February to April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
 - For sites of development, realized tree permits, a minimum of 6.0m height for new planting for deciduous trees and a minimum of 2.0m height for coniferous trees,
 - Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
- A soil test for growing media, for each landscape application, City of Victoria must be submitted to the City Parks treepermits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels

Symbol	Oty. Botanical Name	Common Name	Scheduled Size	Remarks
CoV	6 <i>Cornus 'Venus'</i>	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small
HisB	1 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	6cm cal., standard	
Mk	4 <i>Magnolia kobus</i>	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2 <i>Malus fusca</i>	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3 <i>Offsite Tree TBD #1</i>	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Os-2	3 <i>Offsite Tree TBD #2</i>	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Picc	2 <i>Pinus contorta var. contorta</i>	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
Shrubs				
AE	12 <i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
B	3 <i>Berberis thunbergii 'Concorde'</i>	Concorde Japanese Barberry	#2 pot	pollinator friendly, food-bearing
CL	6 <i>Crataegus ternata</i>	Mexican Orange	#3 pot	native, pollinator friendly
Gs	98 <i>Gaultheria shallon</i>	Salal	#2 pot	native, pollinator friendly, food-bearing
HisB-1	1 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food-bearing
Mn	70 <i>Mahonia nervosa</i>	Longleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Phl	1 <i>Philadelphus lewisii</i>	Wild Mock Orange	#5 pot	native, pollinator friendly
Sa	83 <i>Sarcococca hookeriana var. humilis</i>	Dwarf Sweet Box	#2 pot	native, pollinator friendly
TmH	24 <i>Symplocarpus albus</i>	Snowberry	#2 pot	native, pollinator friendly, food-bearing
Vo	37 <i>Vaccinium ovatum</i>	Hicksii Yew (male form)	#2 pot	native, pollinator friendly, food-bearing
Groundcovers, Vines, Ferns, Perennials and Grasses				
Ca	8 <i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#2 pot	
Co	31 <i>Carex oshimensis 'Evergold'</i>	Sedge	#1 pot	
Pm	39 <i>Ophiopogon planiscapus 'Nigrescens'</i>	Black Mondo Grass	#1 pot	Groundcover
Pm				
22 <i>Polystichum munitum</i>				
Western Sword Fern				
#1 pot				



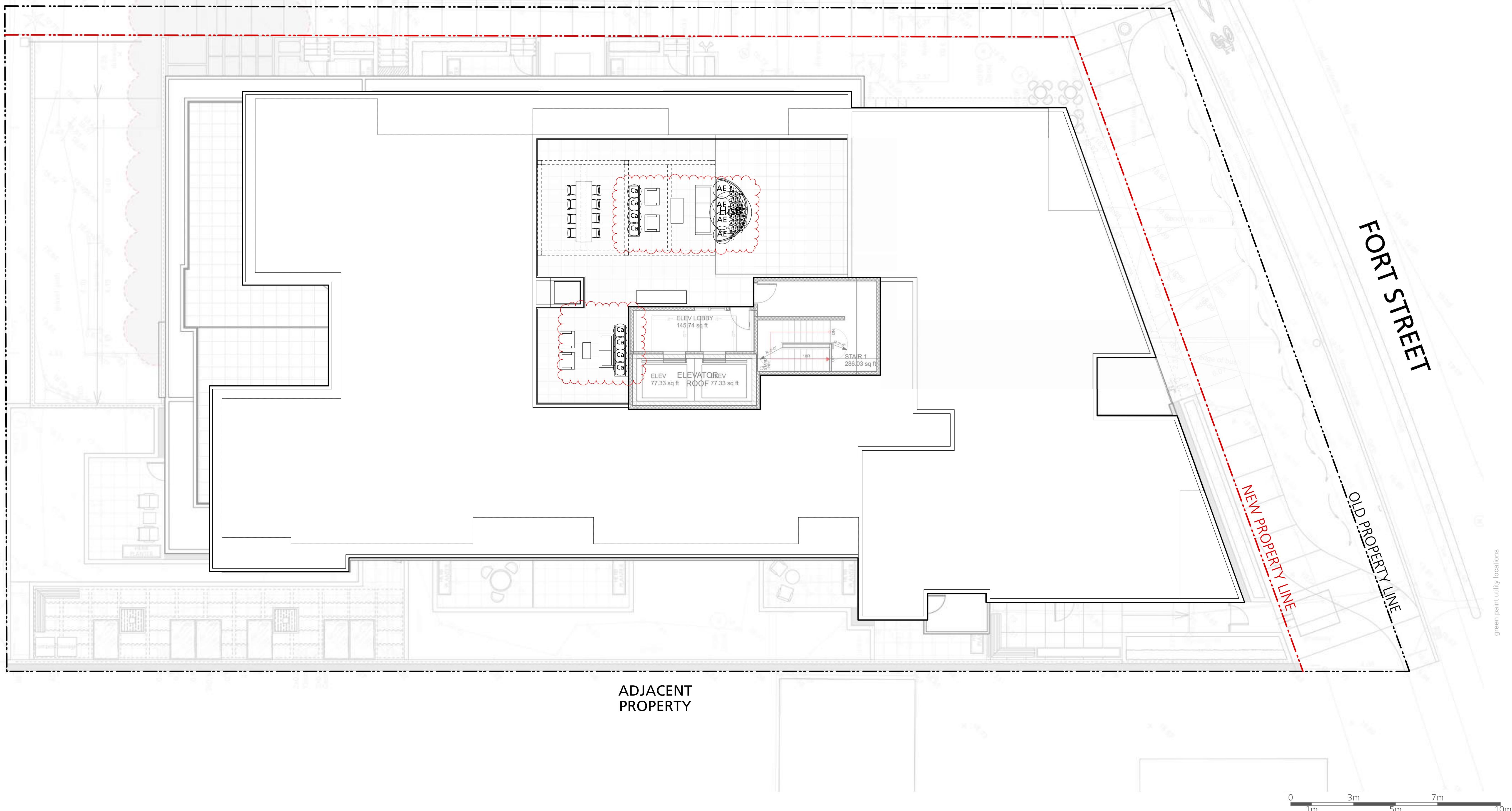
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Plant List All Levels

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HiSB	1 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	6cm cal., standard	
Mk	4 <i>Magnolia kobus</i>	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2 <i>Malus fusca</i>	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3 <i>Offsite Tree TBD #1</i>	Species TBD	6cm cal., WB min.	as per City of Victoria standards
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Picc	2 <i>Pinus contorta var. contorta</i>	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
Shrubs				
AE	12 <i>Abelia 'Edward Goucher'</i>	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
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CL	6 <i>Crataegus ternata</i>	Mexican Orange	#3 pot	native, pollinator friendly, food-bearing
Gs	98 <i>Gaultheria shallon</i>	Salal	#2 pot	native, pollinator friendly, food-bearing
HiSB-1	1 <i>Hibiscus syriacus 'Bluebird'</i>	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food-bearing
Mn	70 <i>Mahonia nervosa</i>	Loneleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Phl	1 <i>Philadelphus lewisi</i>	Wild Mock Orange	#5 pot	native, pollinator friendly
S	83 <i>Sarcococca hookeriana var. humilis</i>	Dwarf Sweet Box	#2 pot	native, pollinator friendly
Sa	24 <i>Symplocarpus albus</i>	Snowberry	#2 pot	native, pollinator friendly, food-bearing
TmH	205 <i>Taxus x media 'Hicksii'</i> (male form)	Hicksii Yew (male form)	4' ht	Hedge
Vo	37 <i>Vaccinium ovatum</i>	Evergreen Huckleberry	#2 pot	native, pollinator friendly, food-bearing
Groundcovers, Vines, Ferns, Perennials and Grasses				
Ca	8 <i>Calamagrostis x acutiflora 'Karl Foerster'</i>	Feather Reed Grass	#2 pot	
Co	31 <i>Carex oshimensis 'Evergold'</i>	Sedge	#1 pot	
	39 <i>Ophiopogon planiscapus 'Nigrescens'</i>	Black Mondo Grass	#1 pot	Groundcover
Pm	22 <i>Polystichum munitum</i>	Western Sword Fern	#1 pot	native

DAVIE STREET



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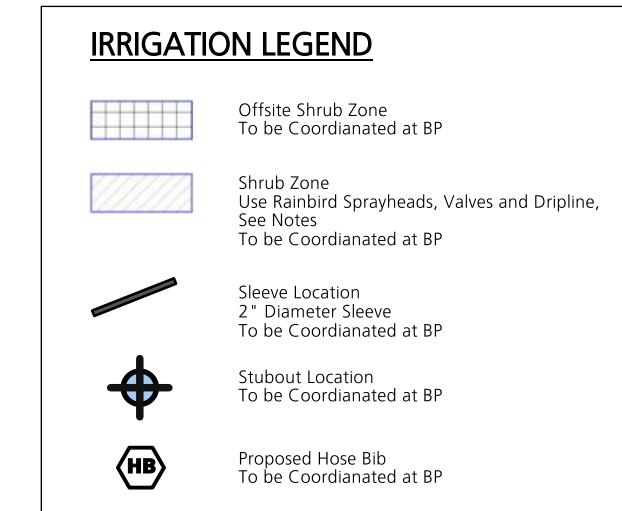


Project Title: FORT & DAVIE APARTMENTS
 1905-1907 Fort Street & 1923-1929 Davie Street, Victoria, BC

Drawing Title:

Planting Plan
Rooftop

Project North: Drawn By: MH
 Checked By: MP
 Scale: Job No.: 1:100 22-082
 Sheet No.: 22-082

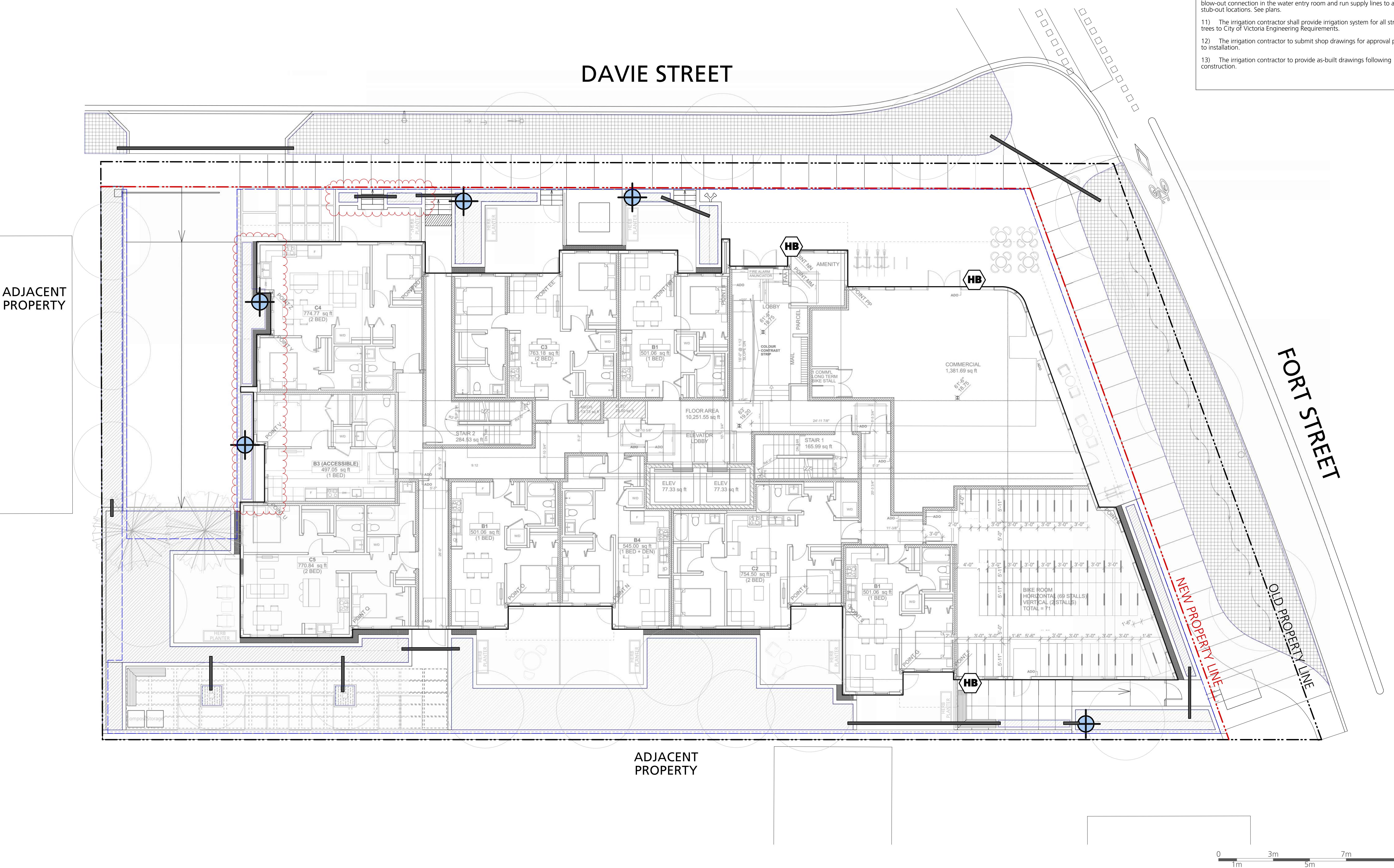


IRRIGATION NOTES:

- The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
- The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
- The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
- The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
- Provide rain sensor on system. Location to be determined.
- Flow thru all piping not to exceed 5ft/sec.
- Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
- The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
- The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
- The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
- The irrigation contractor to submit shop drawings for approval prior to installation.
- The irrigation contractor to provide as-built drawings following construction.

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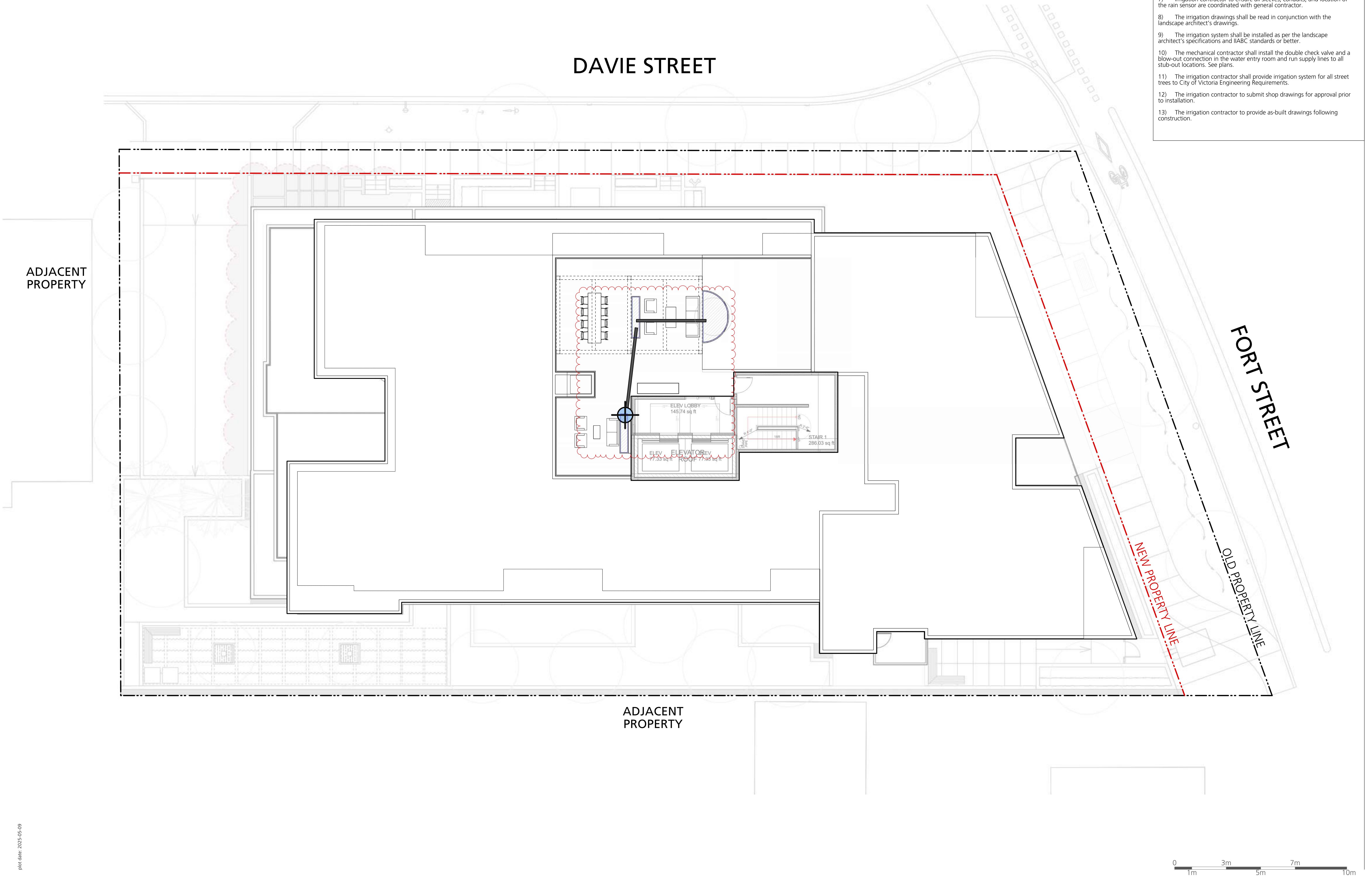
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1905-1907 Fort Street & 1923-1929 Davie Street, Victoria, BC

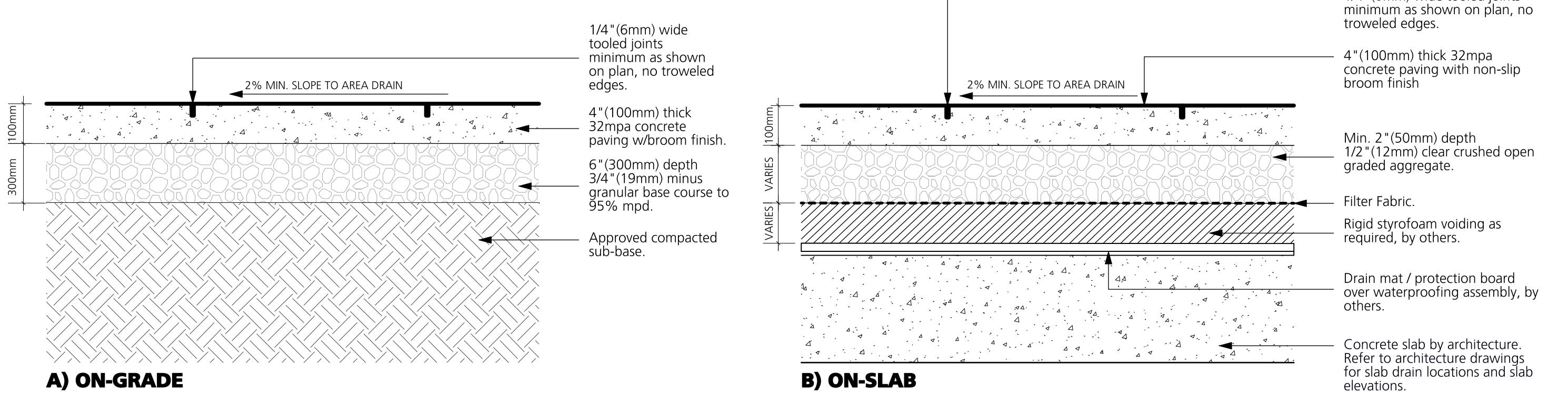
Drawing Title: Irrigation Plan Level 1

Project North: Drawn By: MH
Checked By: MP

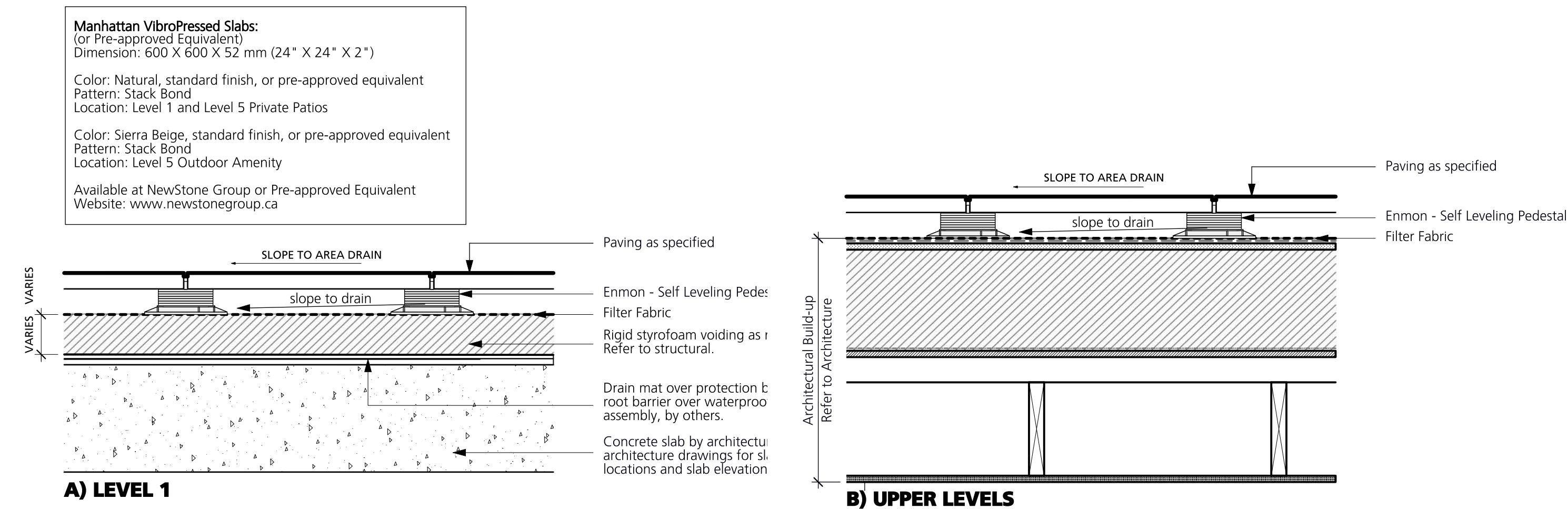
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Sheet No.: 1

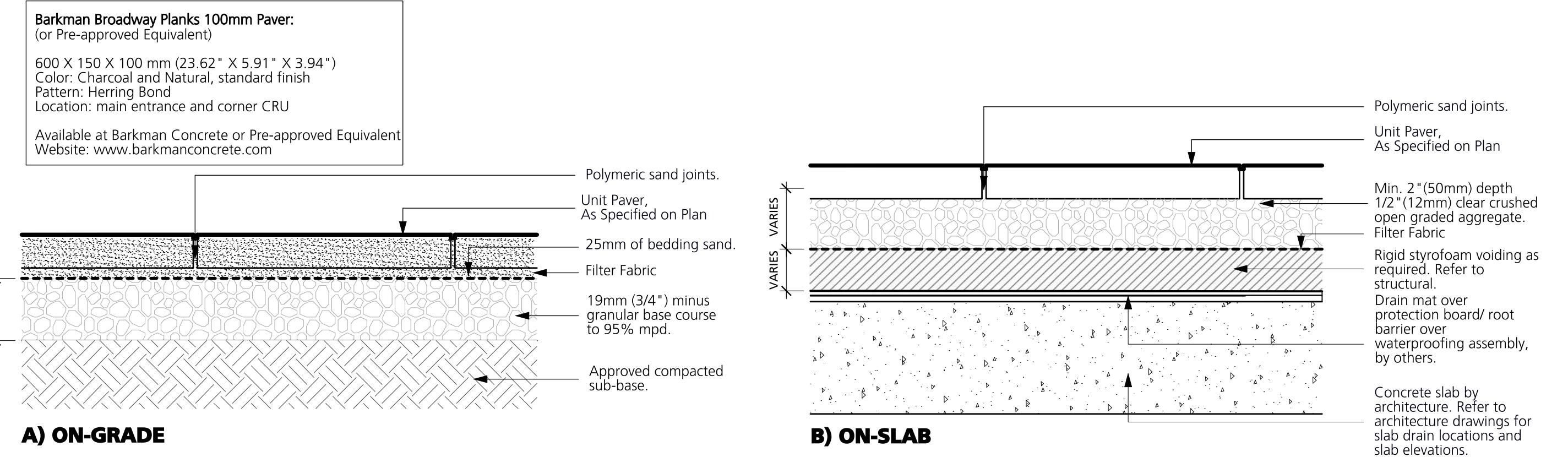




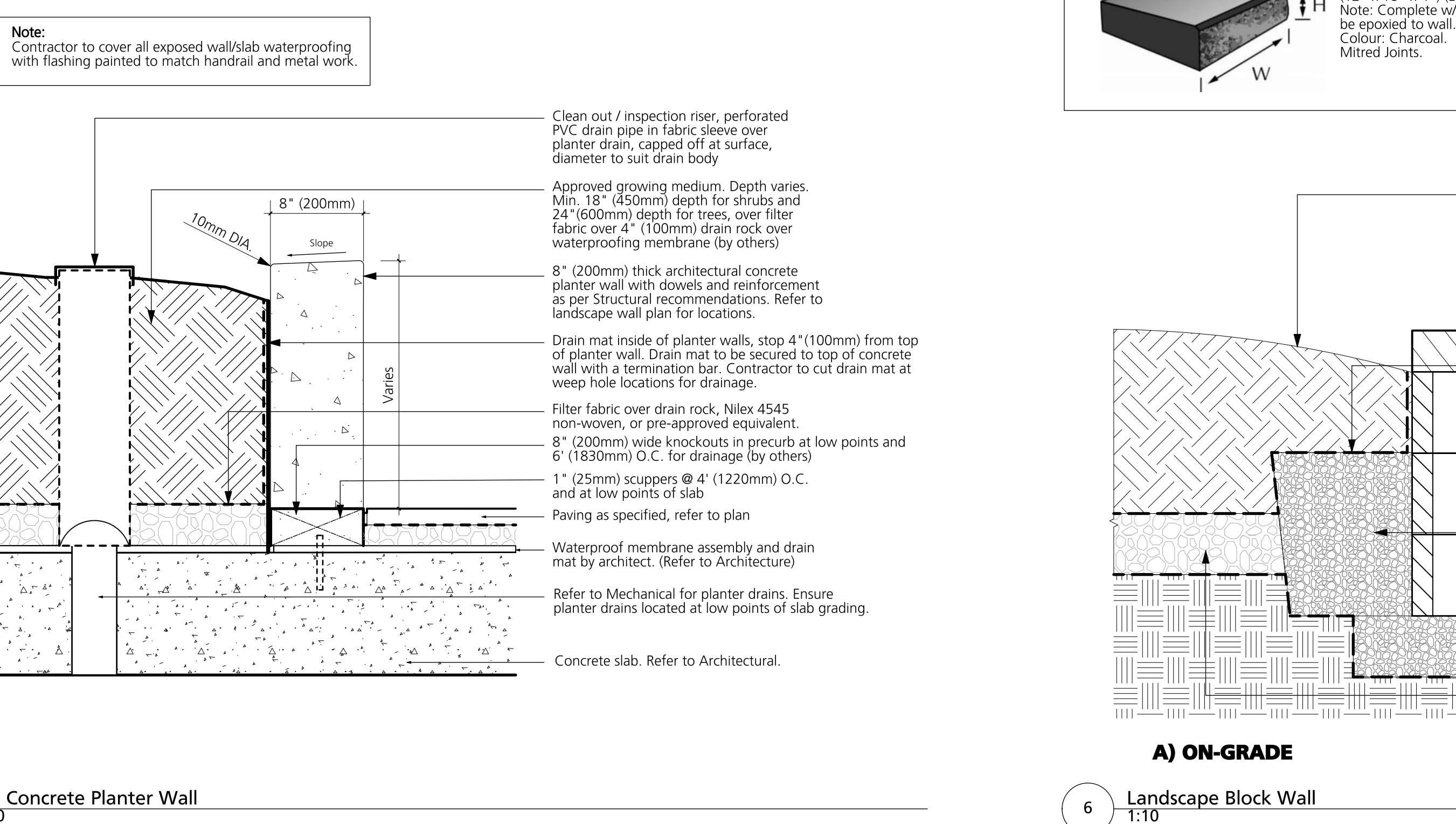
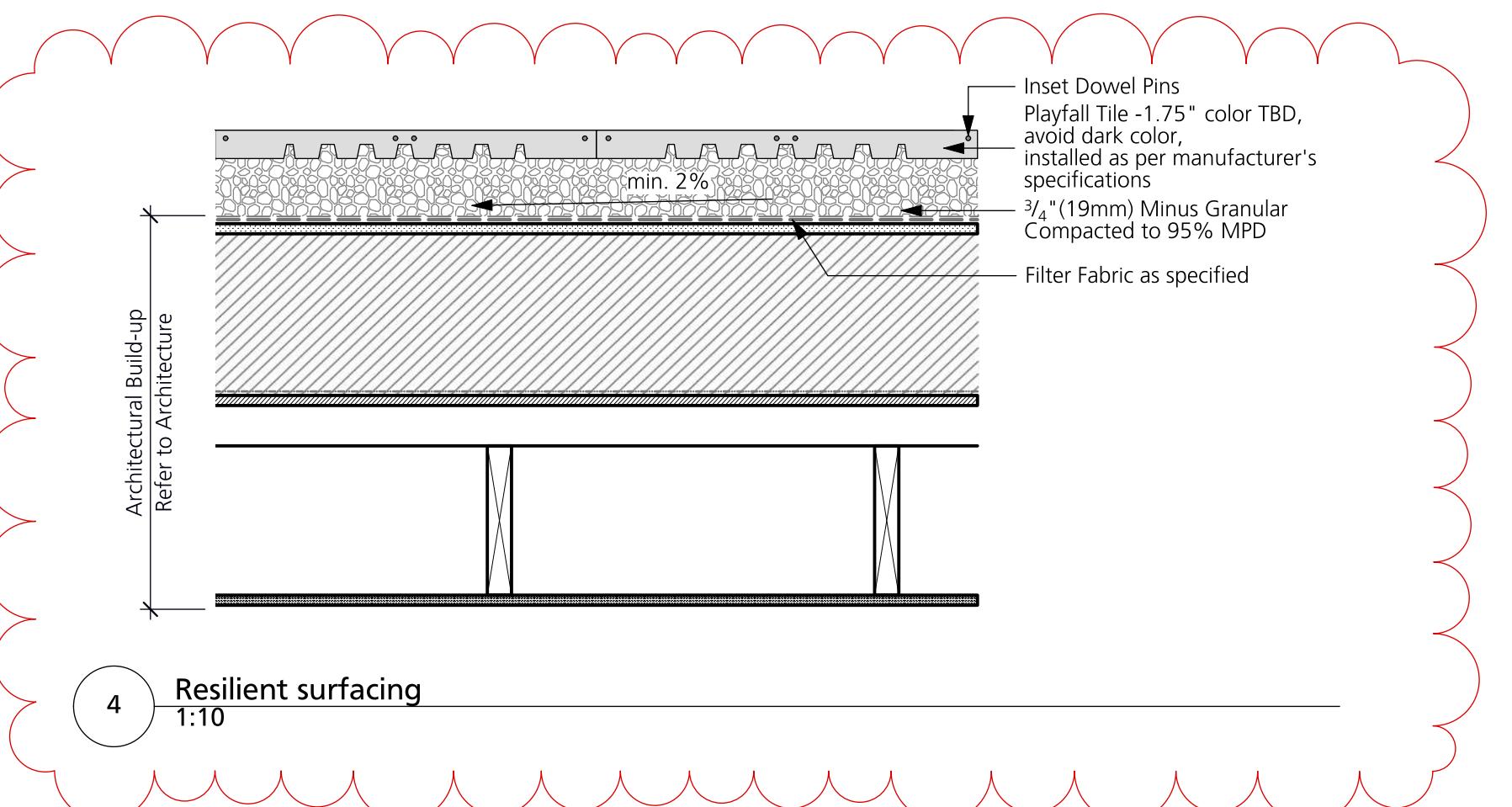
1 CIP Concrete Paving
1:10



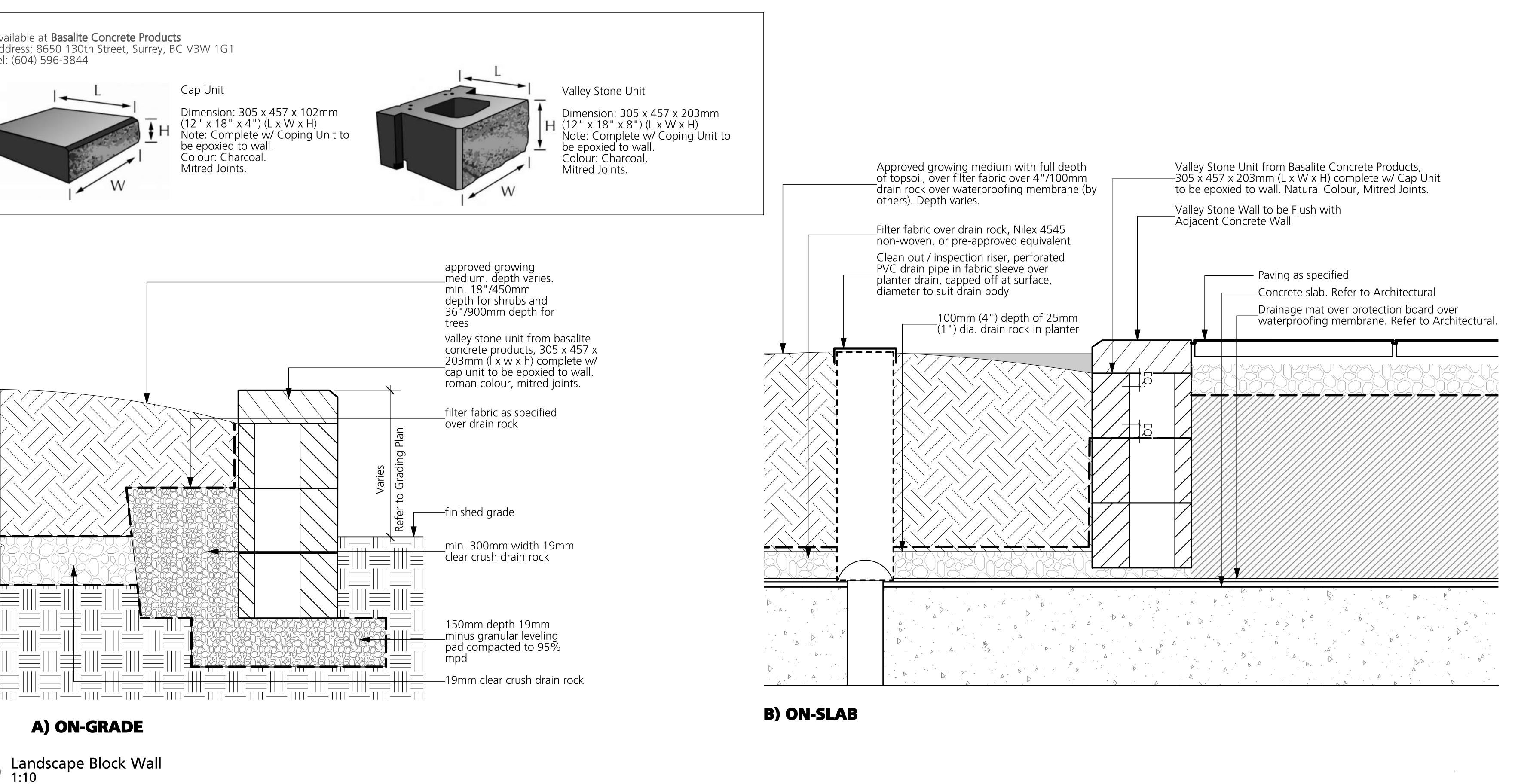
3 Hydrapressed Slab
1:10



2 Unit Paving
1:10



5 CIP Concrete Planter Wall
1:10



6 Landscape Block Wall
1:10

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Client:

THREE SHORES

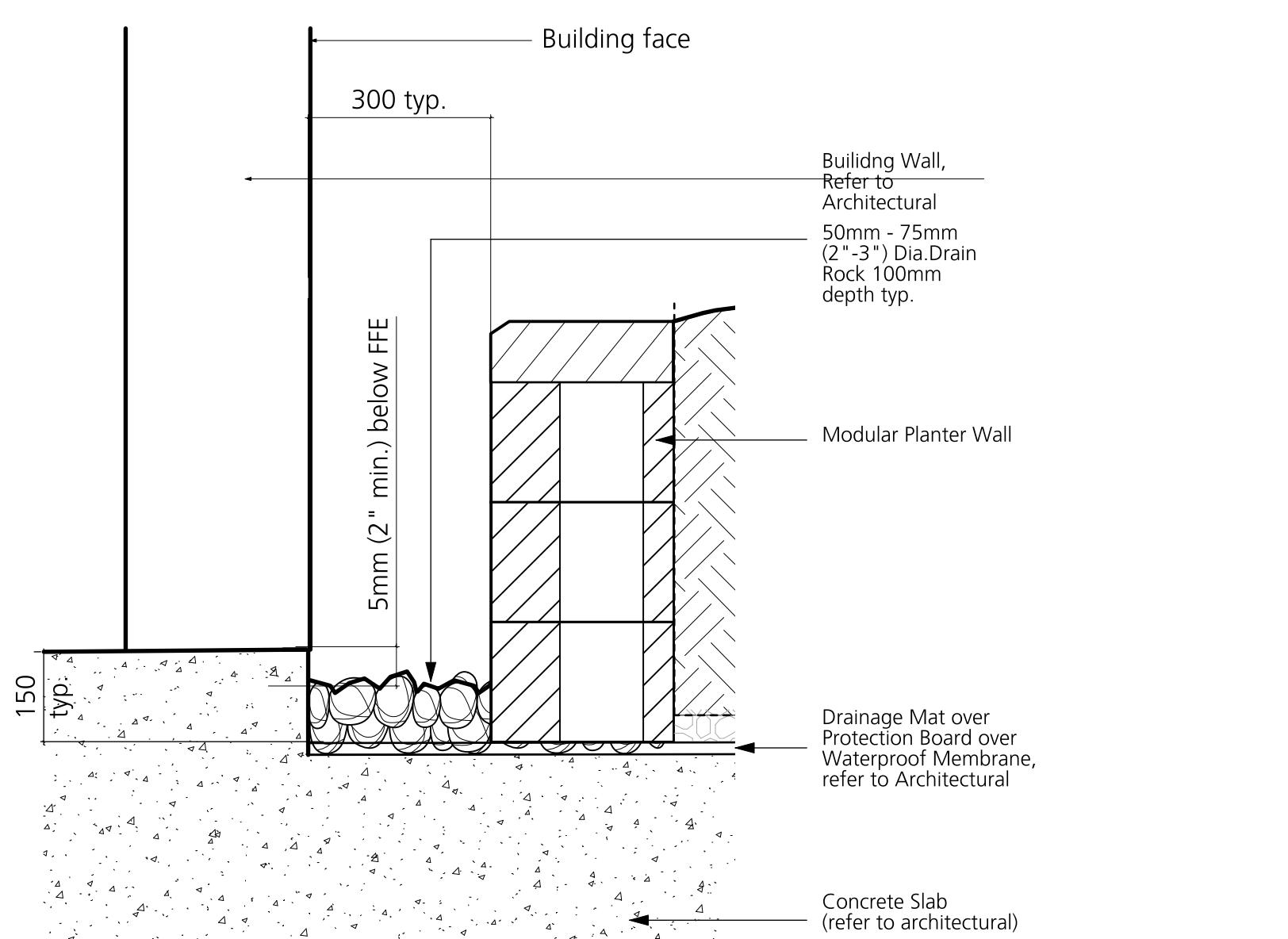
Project Title: FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street, Victoria, BC

Drawing Title: Landscape Details

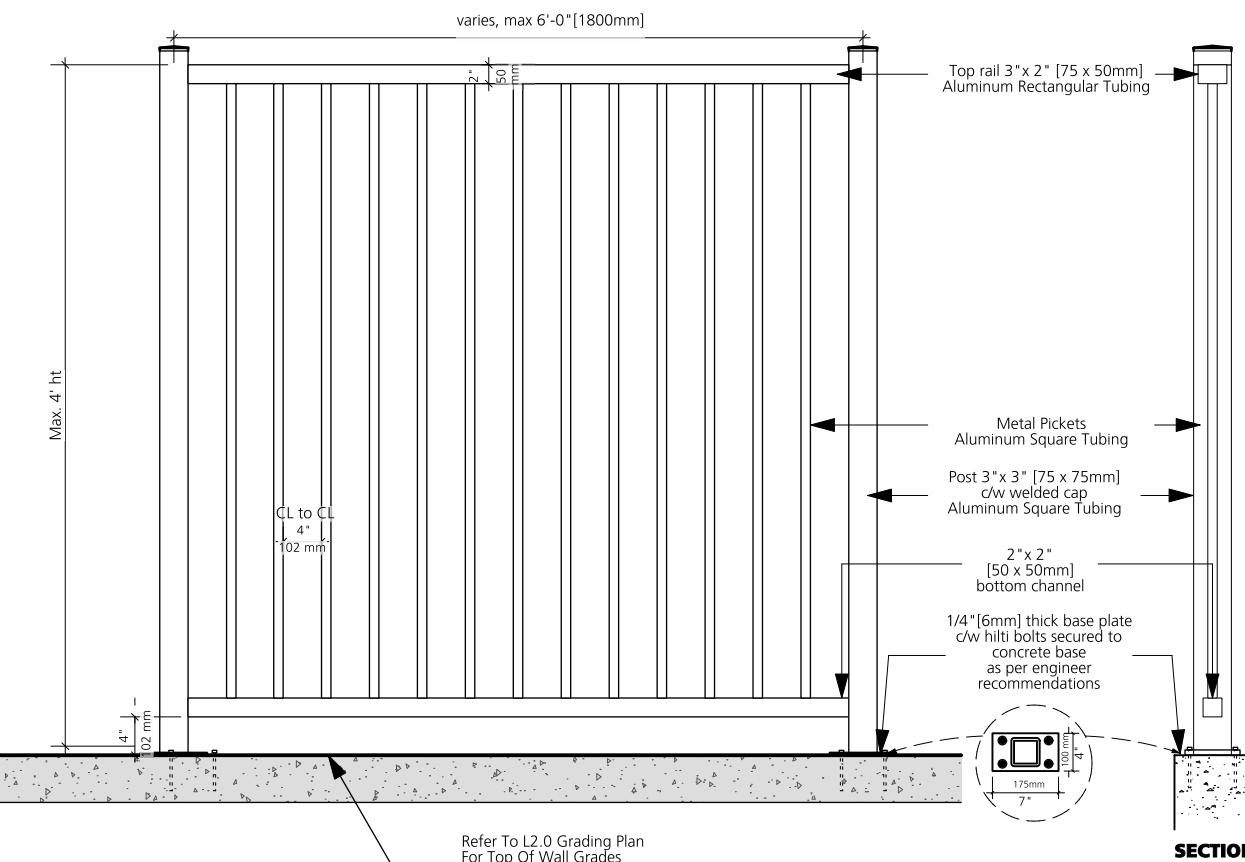
Project North: Drawn By: MH
Checked By: MP

Scale: Job No.: As Shown 22-082
Sheet No.: 22-082

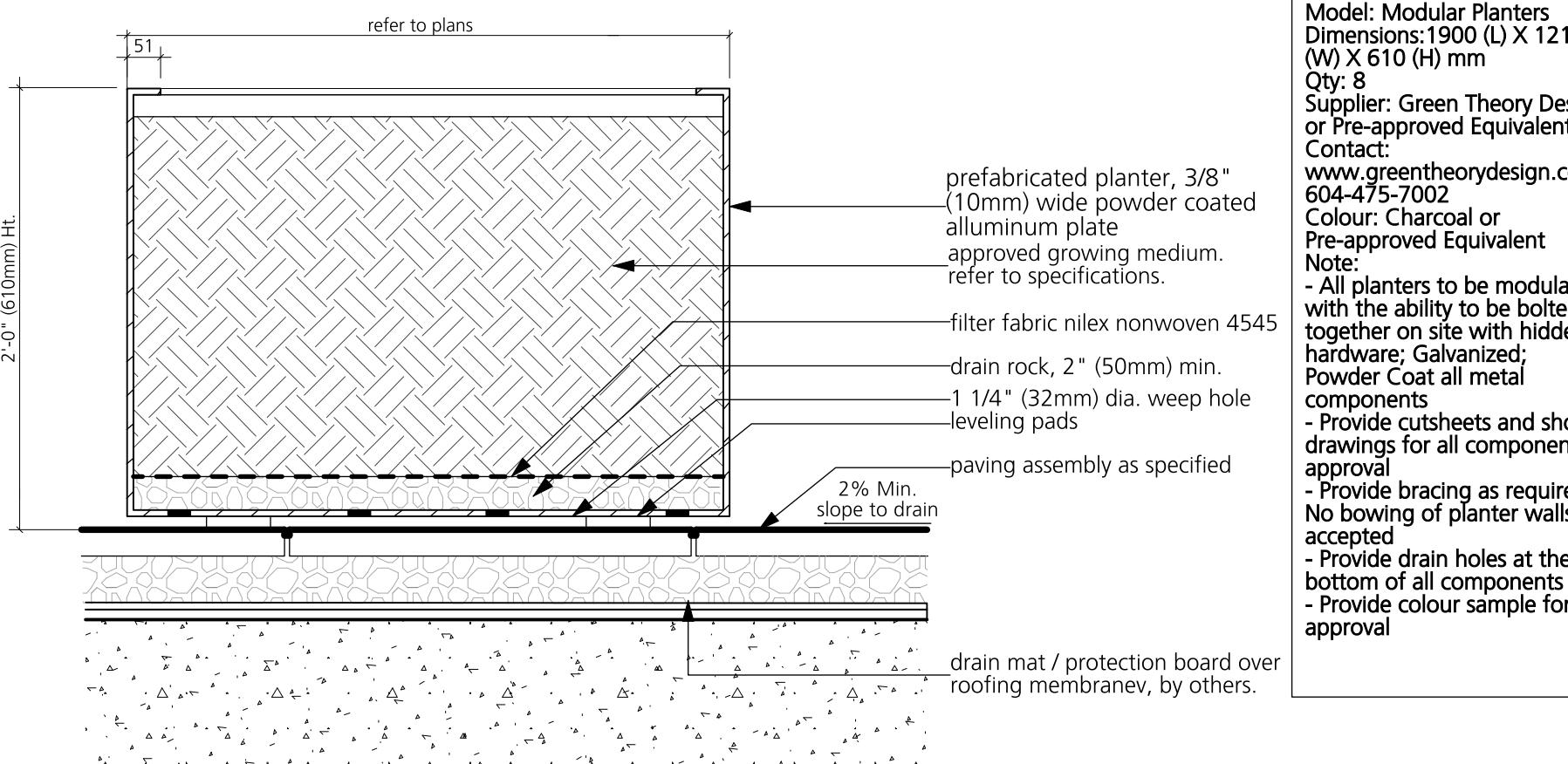
Description	Date
Issued for CALUC	2022/10/14
Issued for Development Permit	2023/07/10
Re-issued for Development Permit	2023/12/22
Re-Issued for Development Permit	2024/02/16
Re-issued for Development Permit	2024/04/30
Re-issued for Development Permit	2024/07/12
Re-issued for Development Permit	2024/11/07
Re-issued for Development Permit	2025/01/28
Issued for Rezoning / DP	2025/05/09



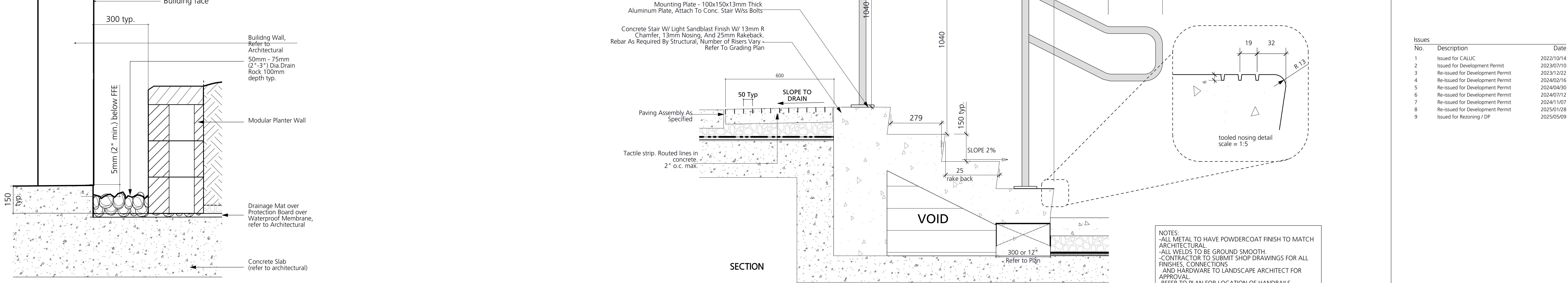
A diagram showing a cross-section of a slope. On the left is a circle containing the number 7. A horizontal line extends from the right side of the circle to the right, with the text "Gravel Strip" above it and "1:10" below it, indicating a 1:10 slope.



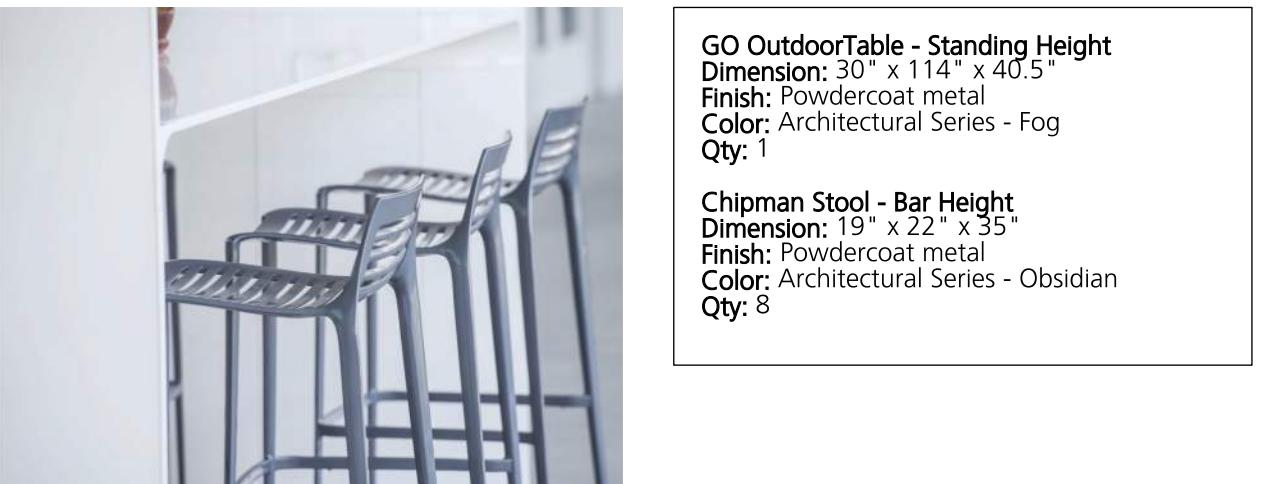
9 Metal Picket Fence
1:20



13 Garden Plot
1:10



8 Typical Stars
1:10



GO OutdoorTable - Standing Height
Dimension: 30" x 114" x 40.5"
Finish: Powdercoat metal
Color: Architectural Series - Fog

Qty. 1
Chipman Stool - Bar Height
Dimension: 19" x 22" x 35"
Finish: Powdercoat metal
Color: Architectural Series - Obsidian

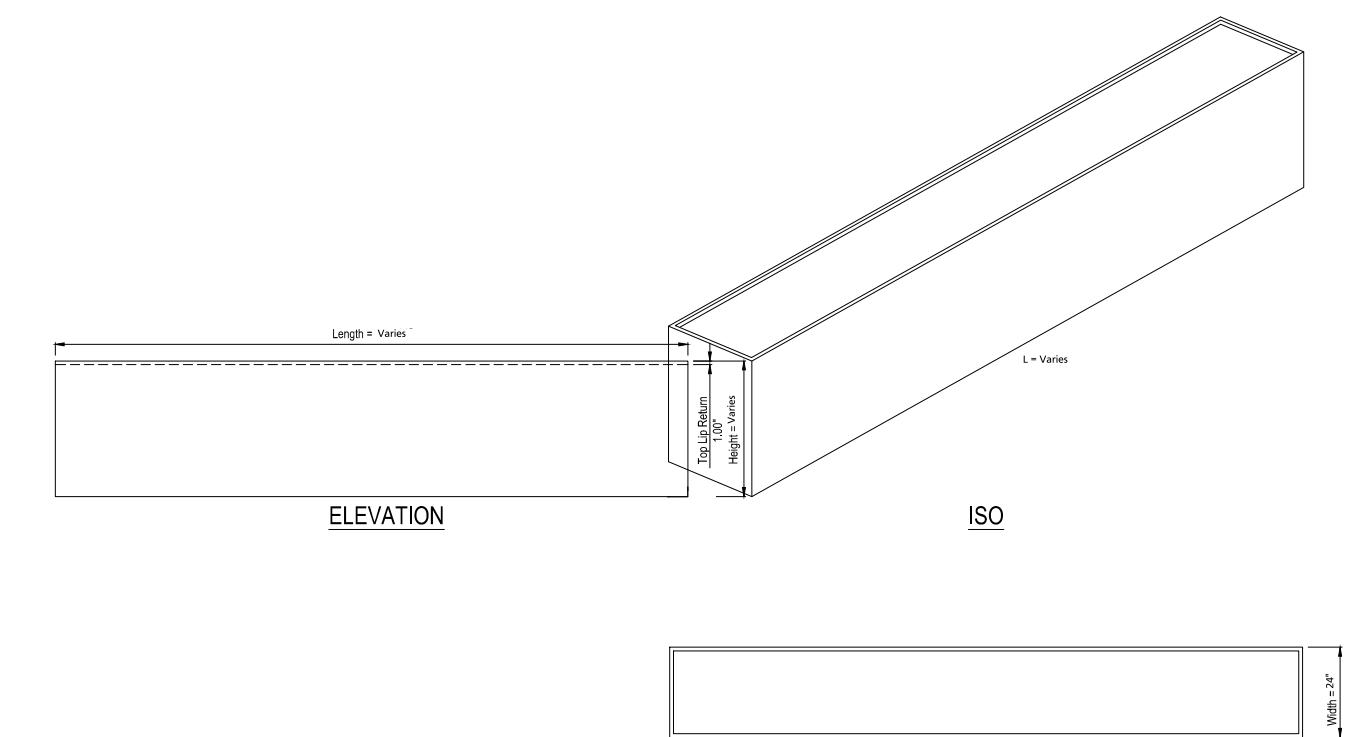


Available at **Landscape Forms**
Website: www.landscapeforms.com/
Tel: (800) 430-6206

Installation: Surface mount with anchoring hardware as per manufacturer's specifications.

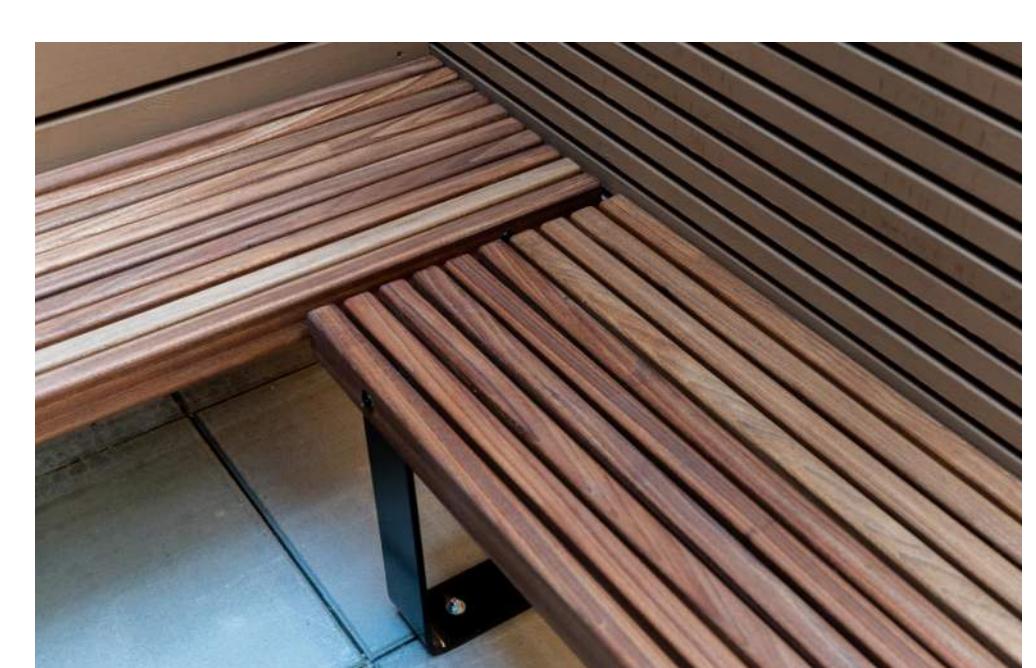
Note:

- Provide cut sheets for approval by Landscape Architect
- Power options to be confirmed with



Model: Modular Planters
Supplier: Green Theory or Pre-approved Equivalent
Qty: Refer to plans for dimensions and quantity.
Materials: Powder Coated Aluminum
Colour: Charcoal or Pre-approved Equivalent
Installation: Install as per manufacturer's specifications

12 Custom Metal Planter NTS



Manufacturer: Frances Andrew or Pre-approved Equivalent
Colour: TBD
Quantity: Refer to Plan
Dimension: Refer to Plan
Contact: www.francesandrew.com
Installation: Mount as per manufacturer's specifications

14 Landscape Bench NTS



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Client:

Project Title:

FORT & DAVIE APARTMENTS

1905-1907 Fort Street & 1923-1929 Davie Street

Landscape Details

Project North: Drawn By:
MH

Checked By:
MP

Scale: Job No.:
As Shown 22-082

Sheet No.:

L4.1

Issues		
No.	Description	Date
1	Issued for CALUC	2022/10/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
4	Re-issued for Development Permit	2024/02/16
5	Re-issued for Development Permit	2024/04/30
6	Re-issued for Development Permit	2024/07/12
7	Re-issued for Development Permit	2024/11/07
8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:

FORT & DAVIE APARTMENTS
1905-1907 Fort Street &
1923-1929 Davie Street,
Victoria, BC

Drawing Title:

Landscape Details

Project North:	Drawn By:
	MH
Checked By:	
	MP
Scale:	Job No.:
As Shown	22-082
Sheet No.:	

L4.2

