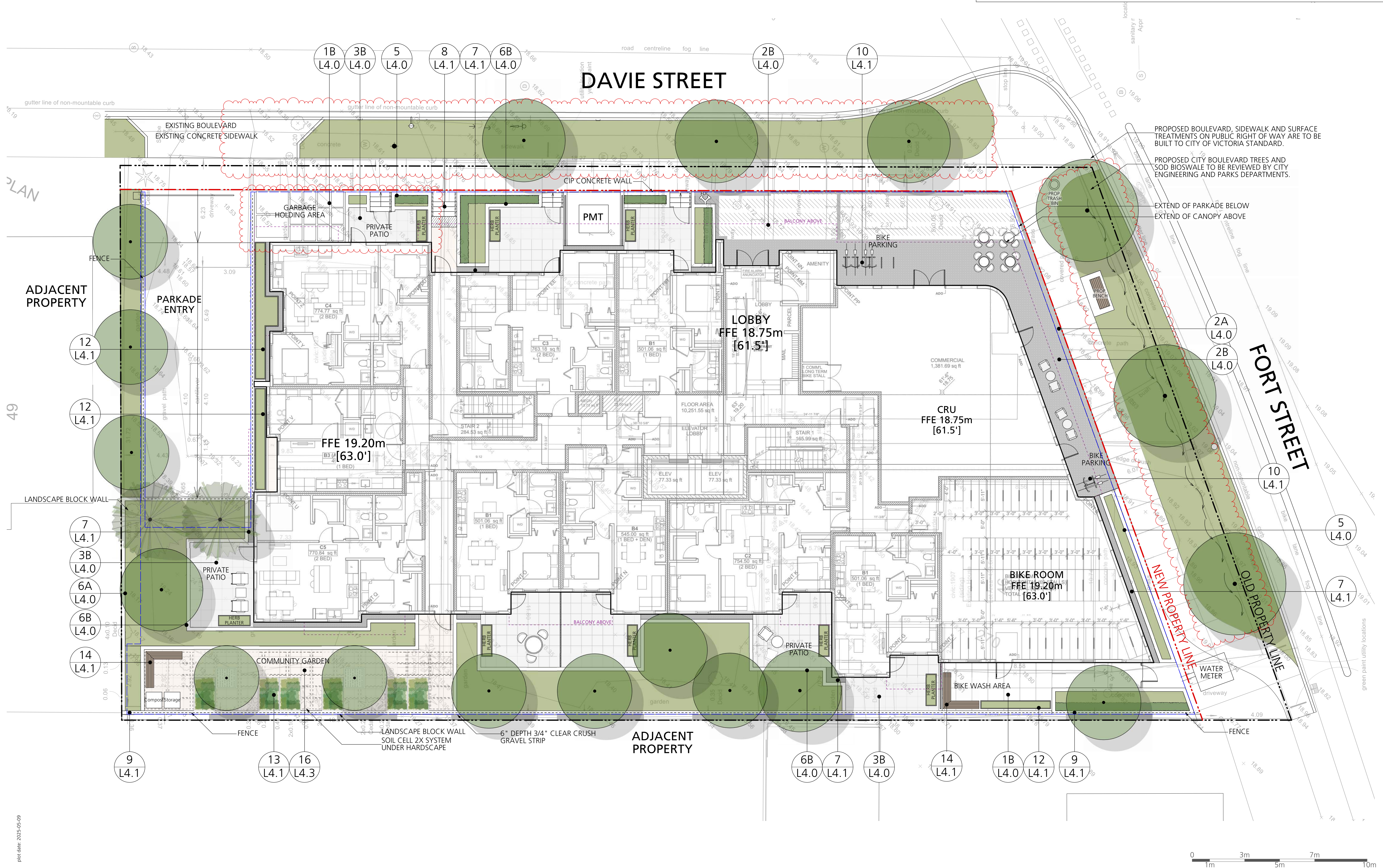
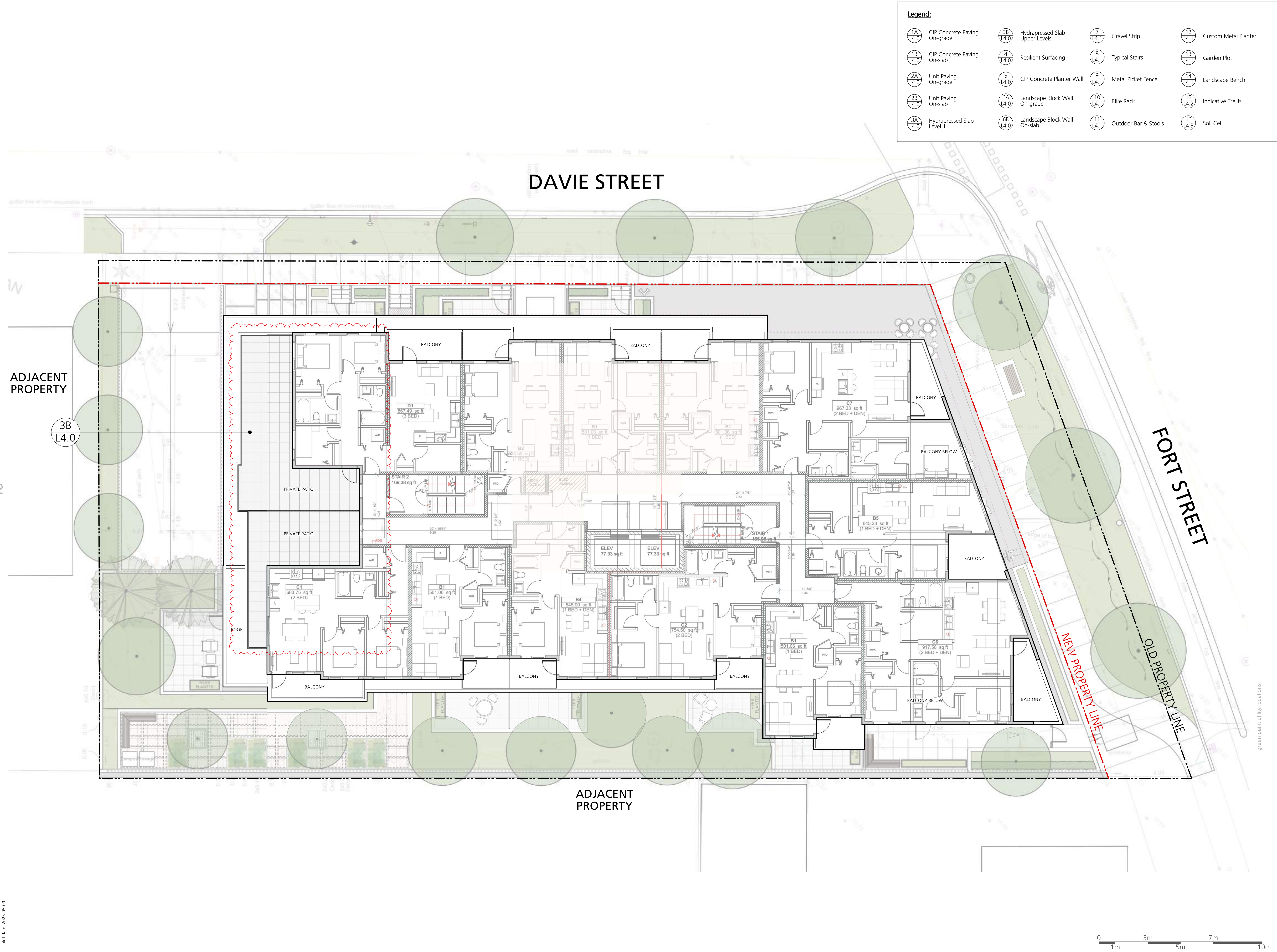


Legend:			
1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels
7 L4.1	Gravel Strip	12 L4.1	Custom Metal Planter
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing
8 L4.1	Typical Stairs	13 L4.1	Garden Plot
2A L4.0	Unit Paving On-grade	5 L4.0	CIP Concrete Planter Wall
9 L4.1	Metal Picket Fence	14 L4.1	Landscape Bench
2B L4.0	Unit Paving On-slab	6A L4.0	Landscape Block Wall On-grade
10 L4.1	Bike Rack	15 L4.2	Indicative Trellis
3A L4.0	Hydrapressed Slab Level 1	6B L4.0	Landscape Block Wall On-slab
11 L4.1	Outdoor Bar & Stools	16 L4.3	Soil Cell

Issues	No.	Description	Date
1		Issued for CALUC	2022/01/14
2		Issued for Development Permit	2023/07/10
3		Re-issued for Development Permit	2023/12/22
4		Re-issued for Development Permit	2024/02/16
5		Re-issued for Development Permit	2024/04/30
6		Re-issued for Development Permit	2024/07/12
7		Re-issued for Development Permit	2024/11/07
8		Re-issued for Development Permit	2025/01/28
9		Issued for Rezoning / DP	2025/05/09







Legend:

1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels	7 L4.1	Gravel Strip	12 L4.1	Custom Metal Planter
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing	8 L4.1	Typical Stairs	13 L4.1	Garden Plot
2A L4.0	Unit Paving On-grade	5 L4.0	CIP Concrete Planter Wall	9 L4.1	Metal Picket Fence	14 L4.1	Landscape Bench
2B L4.0	Unit Paving On-slab	6A L4.0	Landscape Block Wall On-grade	10 L4.1	Bike Rack	15 L4.2	Indicative Trellis
3A L4.0	Hydrapressed Slab Level 1	6B L4.0	Landscape Block Wall On-slab	11 L4.1	Outdoor Bar & Stools	16 L4.3	Soil Cell

Issues

No.	Description	Date
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8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09

P+A

Perry + Associates  
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Architecture  
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perryandassociates.ca



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Project Title:  
**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:  
**Landscape Key Plan  
Level 5**

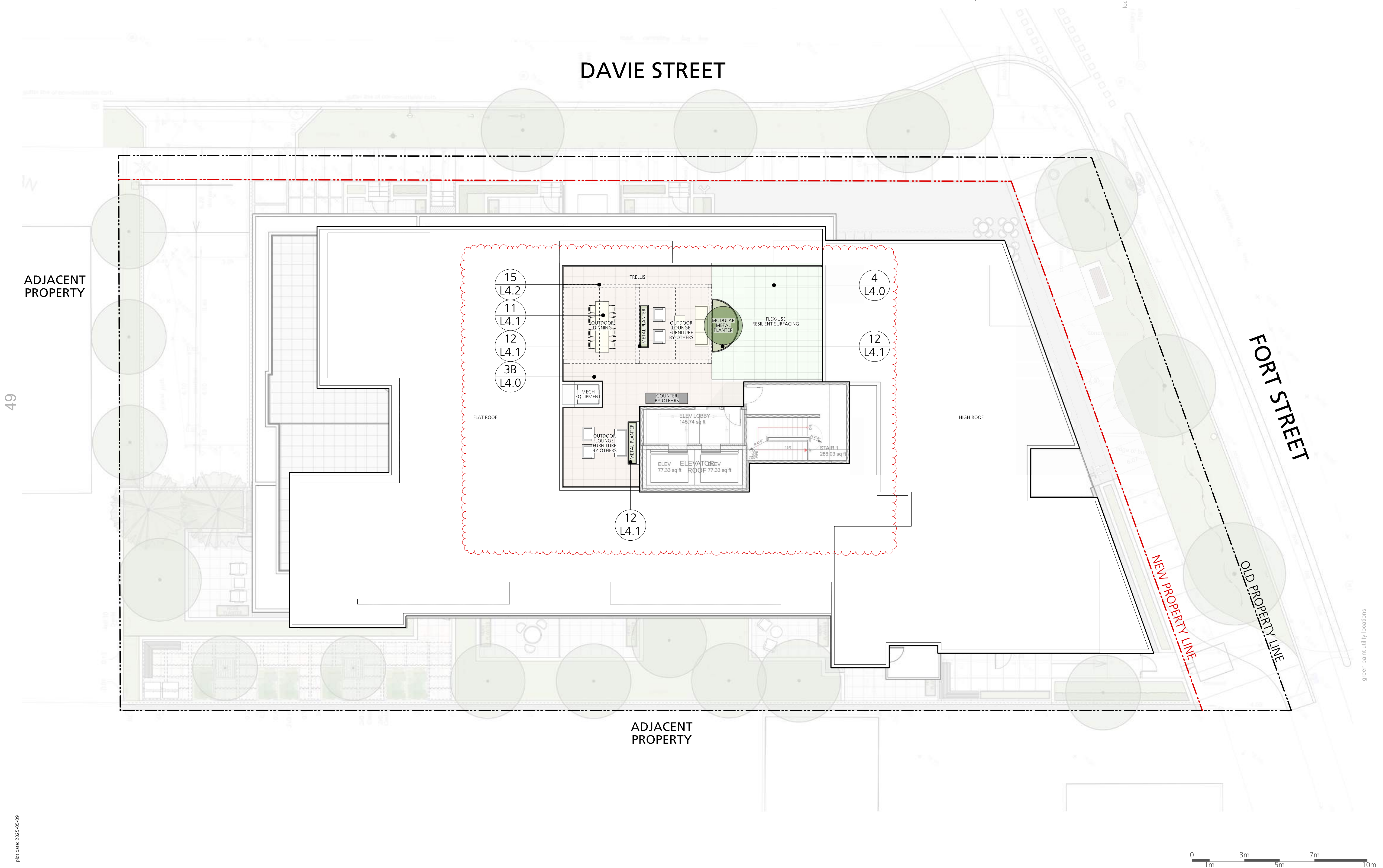
Project North: Drawn By: **MH**  
Checked By: **MP**  
Scale: **1:100** Job No.: **22-082**  
Sheet No.:

L1.1



Legend:			
1A L4.0	CIP Concrete Paving On-grade	3B L4.0	Hydrapressed Slab Upper Levels
7 L4.1	Gravel Strip	12 L4.1	Custom Metal Planter
1B L4.0	CIP Concrete Paving On-slab	4 L4.0	Resilient Surfacing
8 L4.1	Typical Stairs	13 L4.1	Garden Plot
2A L4.0	Unit Paving On-grade	5 L4.0	CIP Concrete Planter Wall
9 L4.1	Metal Picket Fence	14 L4.1	Landscape Bench
2B L4.0	Unit Paving On-slab	6A L4.0	Landscape Block Wall On-grade
10 L4.1	Bike Rack	15 L4.2	Indicative Trellis
3A L4.0	Hydrapressed Slab Level 1	6B L4.0	Landscape Block Wall On-slab
11 L4.1	Outdoor Bar & Stools	16 L4.3	Soil Cell

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	9	Issued for Rezoning / DP	2025/05/09



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Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Landscape Key Plan  
Rooftop**

Project North: Drawn By: **MH**  
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:



Issues	No.	Description	Date
1	1	Issued for CAUC	2022/01/14
2	2	Issued for Development Permit	2023/07/10
3	3	Re-issued for Development Permit	2023/12/22
4	4	Re-issued for Development Permit	2024/02/16
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8	8	Re-issued for Development Permit	2025/01/28
9	9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Offsite Landscape Plan**

Project North:

Drawn By: **MH**  
Checked By: **MP**

Scale:

Job No.: **22-082**

Sheet No.:

Offsite Legend:

- 17 L4.3 Garbage Bin
- 18 L4.3 City Bench
- 19 L4.3 Tree Planting at Boulevard (as per COV standards)

Street Trees Soil Volume Table

	Qty. of Street Trees	1m Deep Soil Trench @ Boulevard (x 1)	0.75m Deep Struc. Soil under Sidewalk (x 0.2)	Total Provided Soil Volume	Soil Volume per Street Tree
Davie St. Irrigated Boulevard	3	72 m <sup>3</sup>	N/A	72 m <sup>3</sup>	24.0 m <sup>3</sup>
Fort St. Irrigated Boulevard	3	111.3 m <sup>3</sup>	33 m <sup>3</sup>	144.3 m <sup>3</sup>	48.1 m <sup>3</sup>

Minimum Clearances of Street Trees:

City of Victoria Supplementary Specifications for Street Trees and Irrigation - Schedule C to Bylaw 12-042, Subdivision Bylaw

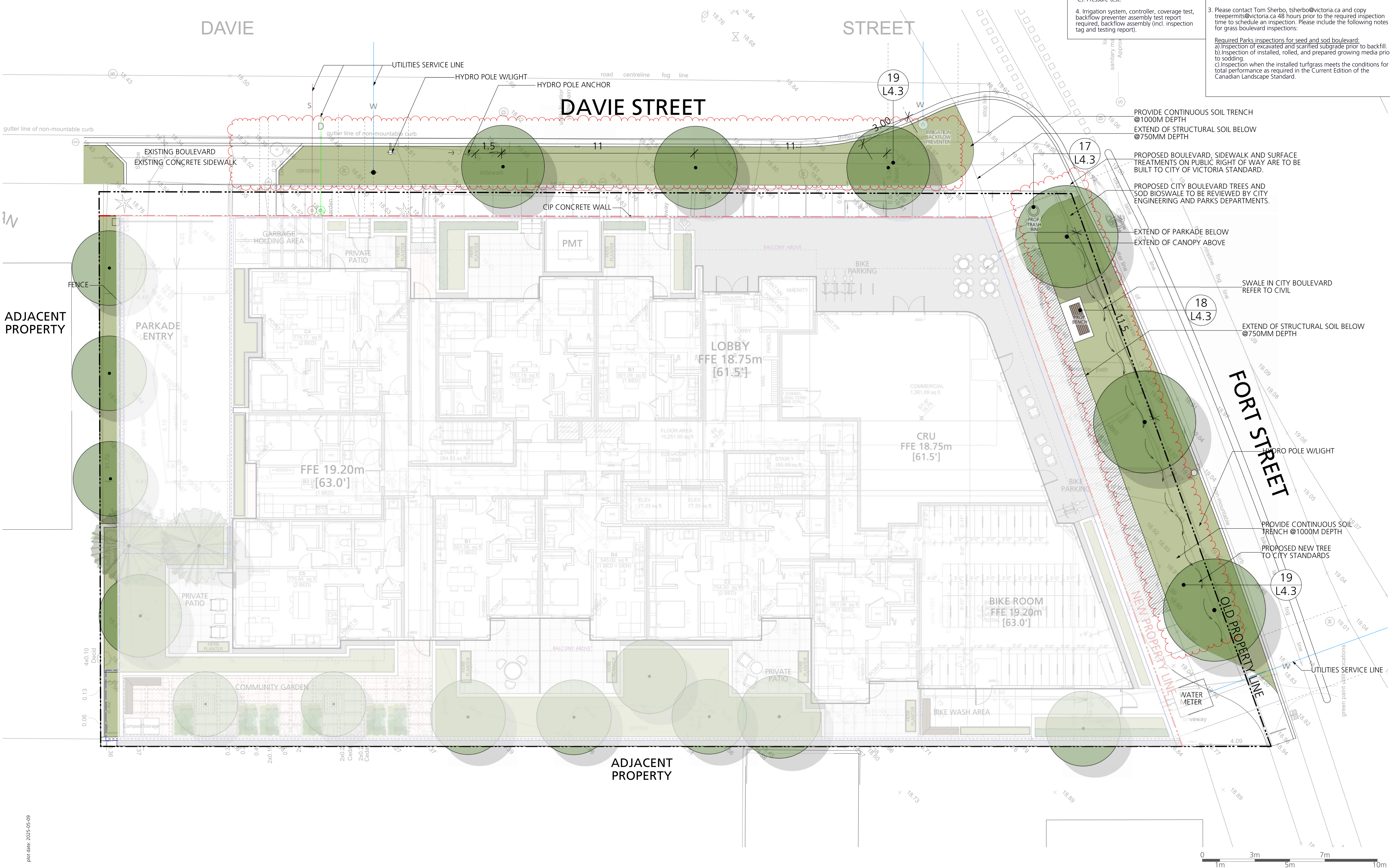
- Underground BC Hydro, natural gas and communication utilities 1.5 m
- Street lights and BC Hydro poles 5.0 m
- Telus poles without street light 3.0 m
- intersection 7.0 m
- driveway crossing 3.0 m
- fire hydrant, water service lateral, catch basin, Kiosk, vault 2.0 m
- sanitary sewer or storm drain laterals 3.0 m

OFFSITE IRRIGATION LEGEND

1. All irrigation work, including required inspections, shall follow the Supplementary Specifications for Street Trees and Irrigation, within the Victoria Subdivision and Development Servicing Bylaw 12-042, Schedule C, and comply with the Irrigation Industry Association of BC standards.
2. Irrigation design shall be submitted for review and approval to City of Victoria Parks no less than 30 days prior to scheduled installation.  
Required Parks inspections for irrigation:  
a) Irrigation sleeving prior to backfilling.  
b) Open trench mainline and lateral lines.  
c) Pressure test.
3. Contact Parks at 250-361-0600 with at least 48 hours notice to arrange for irrigation inspections.  
Required Parks inspections for irrigation:  
a) Inspection of excavated and scarified subgrade prior to backfill.  
b) Inspection of installed, rolled, and prepared growing media prior to sodding.  
c) Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.
4. Irrigation system, controller, coverage test, backflow preventer assembly test report required, backflow assembly (incl. inspection tag and testing report).

GENERAL NOTES FOR OFF SITE:

1. Proposed street tree locations, species selection and number of trees is subject to approval by the City of Victoria Parks Division. Proposed street tree locations must be indicated and shall respect the minimum offsets from infrastructure outlined in Victoria Subdivision and Development Servicing Bylaw, Schedule C. Trees planted 1.0m or less from curbs or sidewalks are to have root barriers to protect civil infrastructure.
2. Street trees must have one dominant central leader or single straight trunk, 6-8 cm diameter caliper measured 15 cm above ground, and a well-balanced crown with branching starting at 1.8 m - 2.5 m above ground. Trees must be planted per the City of Victoria Supplemental Drawing SD P4 (Tree Planting in Boulevard) and the Canadian Landscape Standard.  
Required Parks inspections for street tree planting:  
a) Inspection of soil and planting area prior to planting.  
b) Inspection of tree stock prior to planting.  
c) Inspection of installed tree. Trees must be in good health and condition with no visible signs of disease, insect pests, or damage, and comply with the latest version of the Canadian Landscape Standard.
3. Please contact Tom Sherbo, tsherbo@victoria.ca and copy treepermits@victoria.ca 48 hours prior to the required inspection time to schedule an inspection. Please include the following notes for grass boulevard inspections:  
Required Parks inspections for seed and sod boulevard:  
a) Inspection of excavated and scarified subgrade prior to backfill.  
b) Inspection of installed, rolled, and prepared growing media prior to sodding.  
c) Inspection when the installed turfgrass meets the conditions for total performance as required in the Current Edition of the Canadian Landscape Standard.





Legend:

- Existing tree to be retained
- Existing tree to be removed
- Critical root zone

General Notes:

1. This plan to be read in conjunction with Arborist Report.
2. Contractor to meet on site with arborist prior to tree removals to review scope and retention.
3. Protection measures of trees to be retained as per City of Victoria, or modified according to Arborist Report, see Root Protection Zone this page, and Tree Protection Fencing.

Issues	Description	Date
1	Issued for CALUC	2022/01/14
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
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8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Tree Management Plan**

Project North:

Drawn By:

MH

Checked By:

MP

Scale:

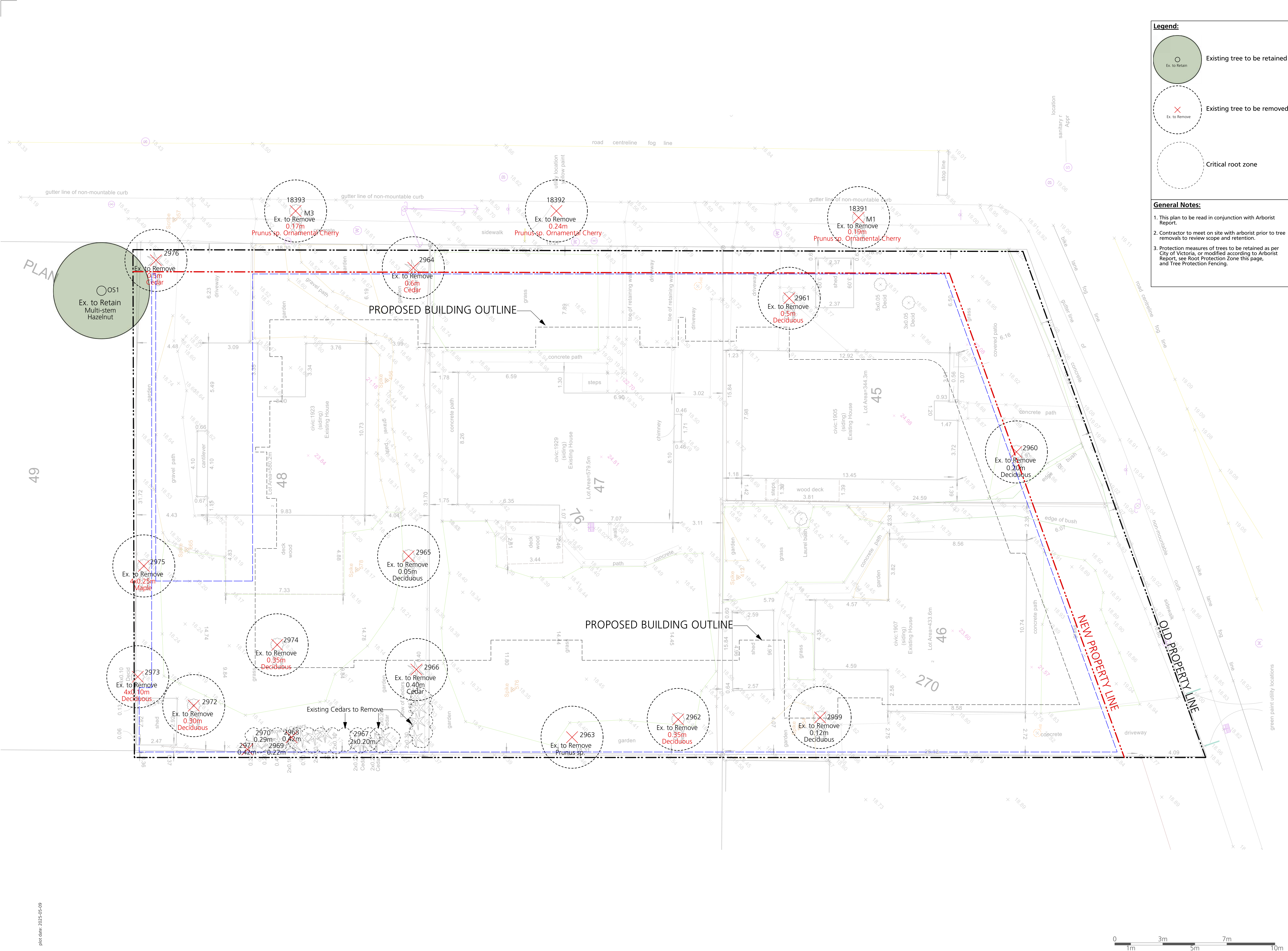
Job No.:

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22-082

Sheet No.:

L1.4





WL

Recessed Wall Light

BL

Building Light  
(by Architecture)

Proposed Soffit Lighting  
(by Architecture)

Receptacles

Notes:

Read this plan in conjunction with  
Electrical and Architectural drawings

Issues		
No.	Description	Date
1	Issued for CALUC	2022/01/4
2	Issued for Development Permit	2023/07/10
3	Re-issued for Development Permit	2023/12/22
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8	Re-issued for Development Permit	2025/01/28
9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Landscape Lighting Plan  
Level 1**

Project North:

Drawn By:

Checked By:

MH

MP

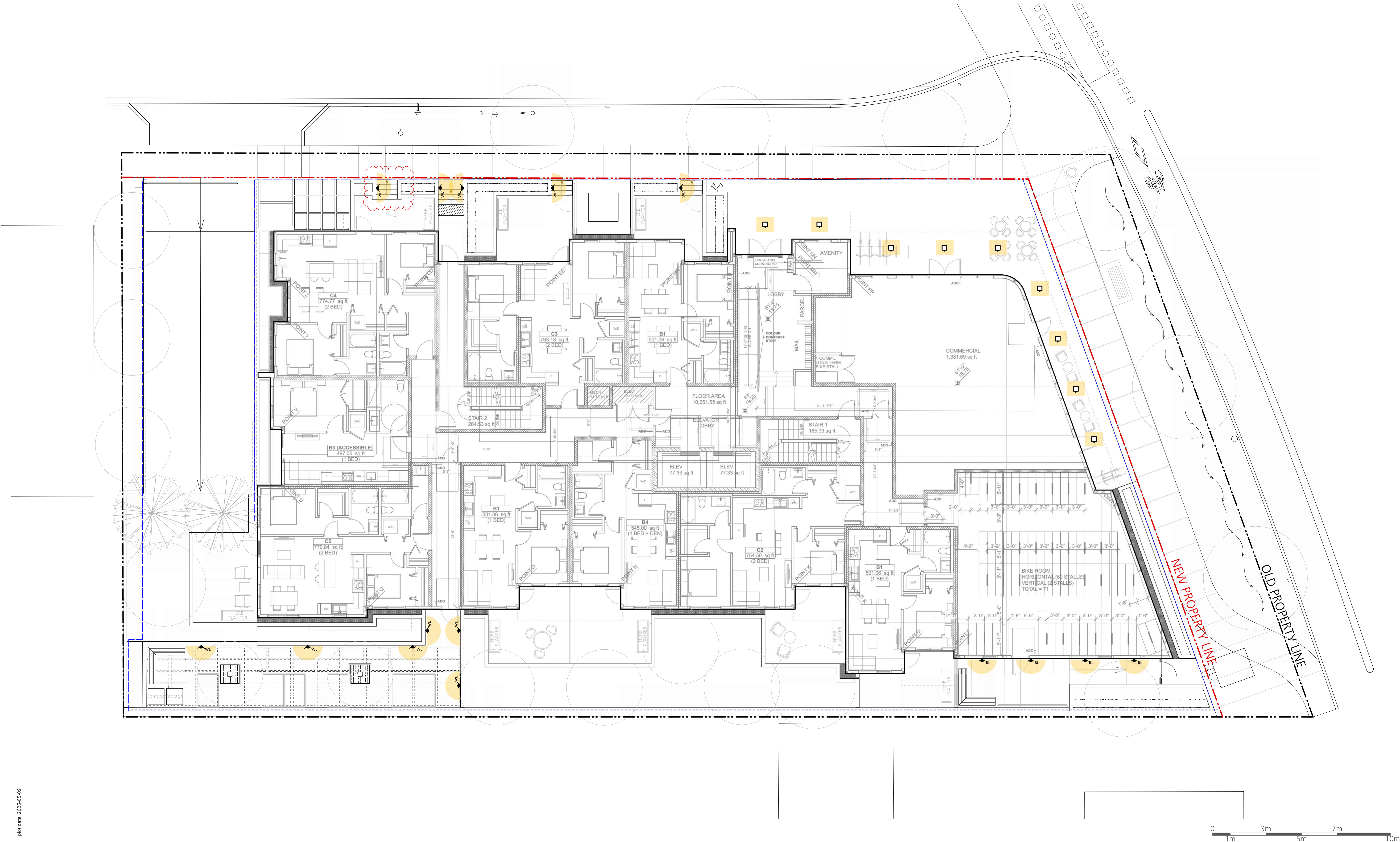
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Job No.:

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22-082

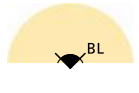
Sheet No.:







LIGHTING LEGEND

 Recessed Wall Light

 Building Light  
(by Architecture)

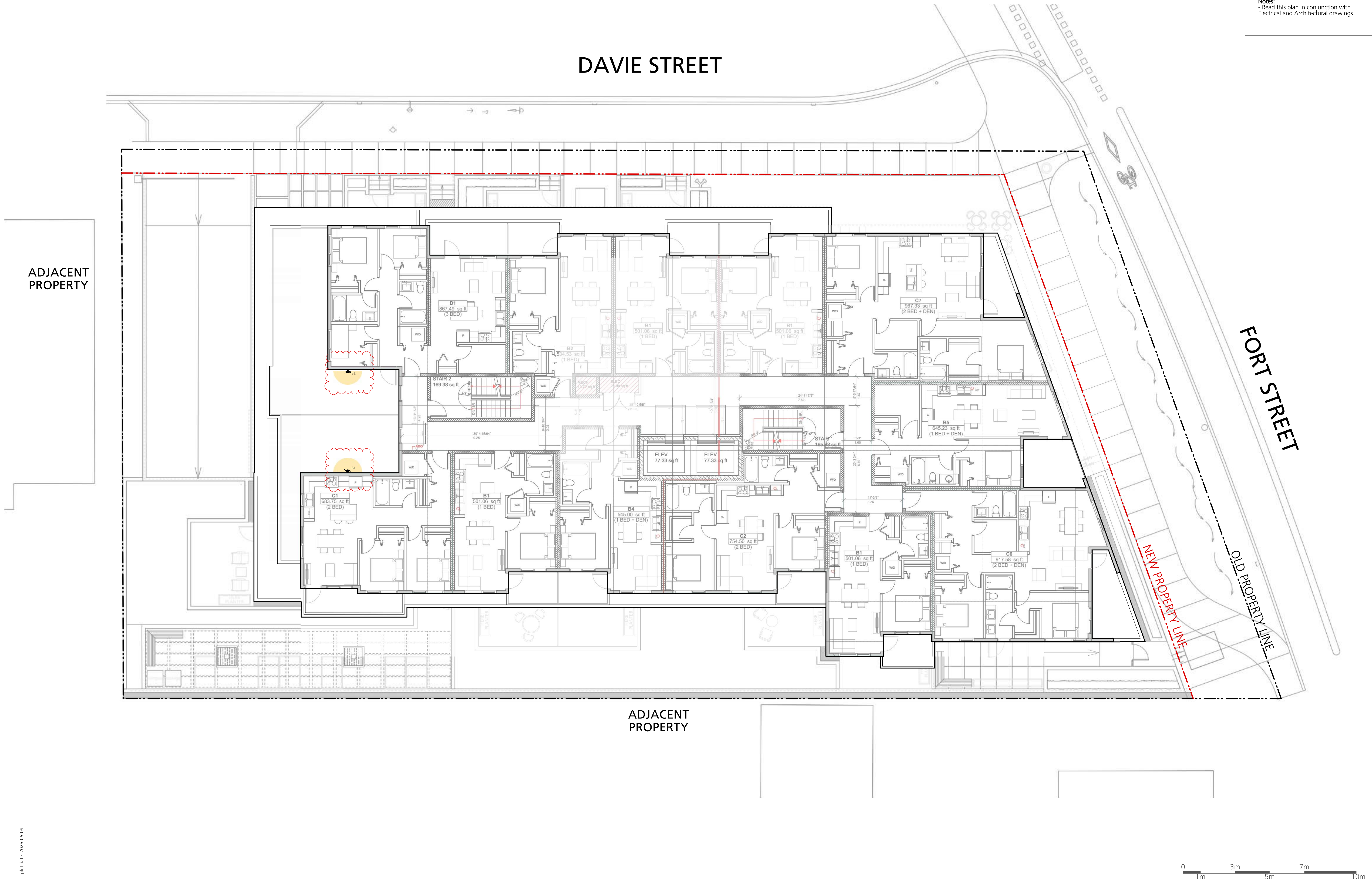
 Proposed Soffit Lighting  
(by Architecture)

 Receptacles

Notes:

Read this plan in conjunction with  
Electrical and Architectural drawings

Issues		
No.	Description	Date
1	Issued for CALUC	2022/01/14
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Client:



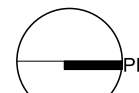
Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Landscape Lighting Plan  
Level 5**

Project North:



Drawn By:

MH

Checked By:

MP

Scale:

1:100


Job No.:


22-082


Sheet No.:




LIGHTING LEGEND

 Recessed Wall Light

 Building Light  
(by Architecture)

 Proposed Soffit Lighting  
(by Architecture)

 Receptacles

Notes:

Read this plan in conjunction with  
Electrical and Architectural drawings

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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

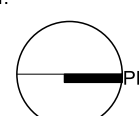
Drawing Title:

**Landscape Lighting Plan  
Rooftop**

Project North:

Drawn By:

Checked By:



MH

MP

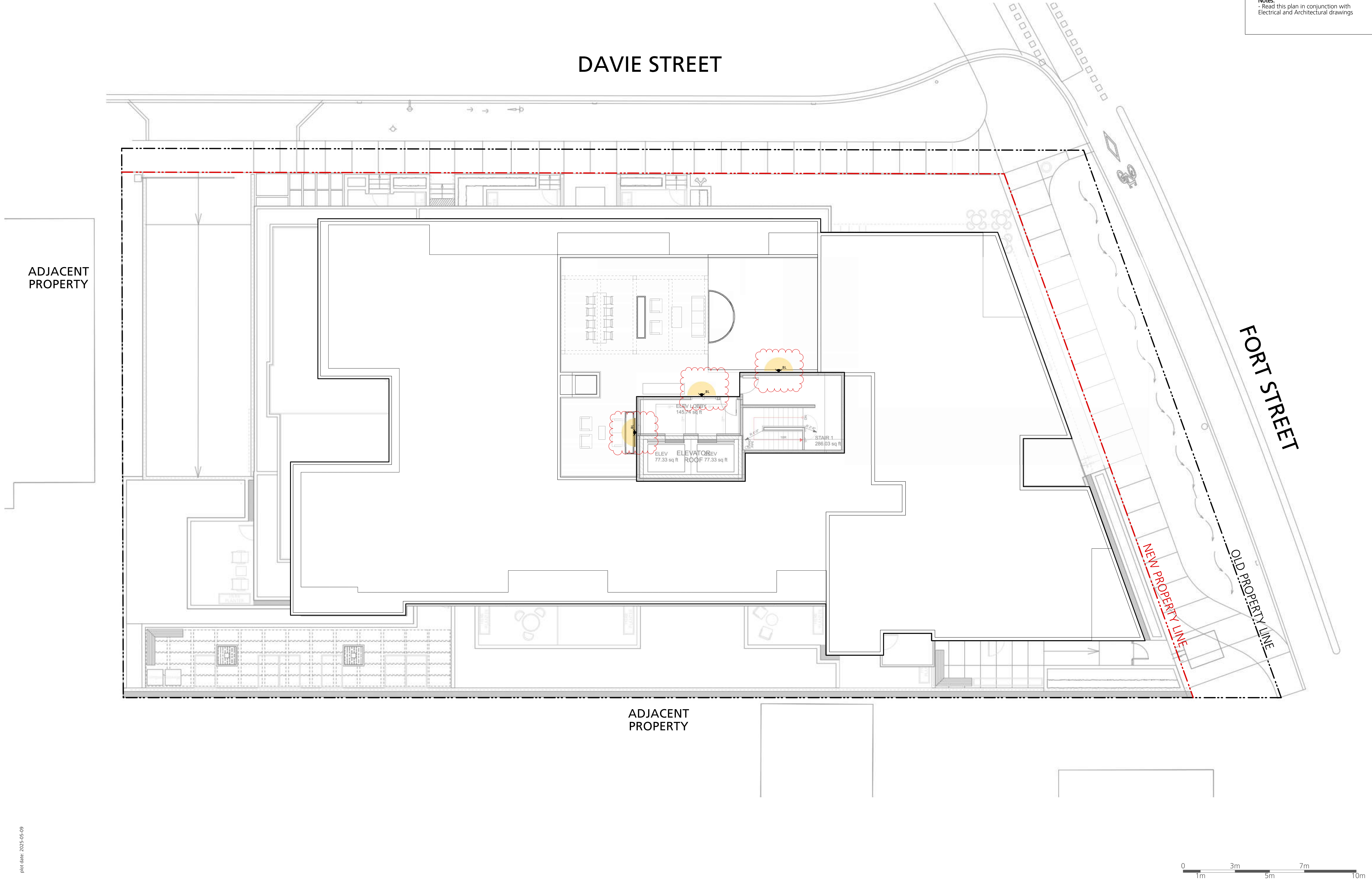
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Job No.:

1:100

22-082

Sheet No.:





Issues	No.	Description	Date
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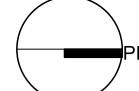


Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC









Drawing Title:

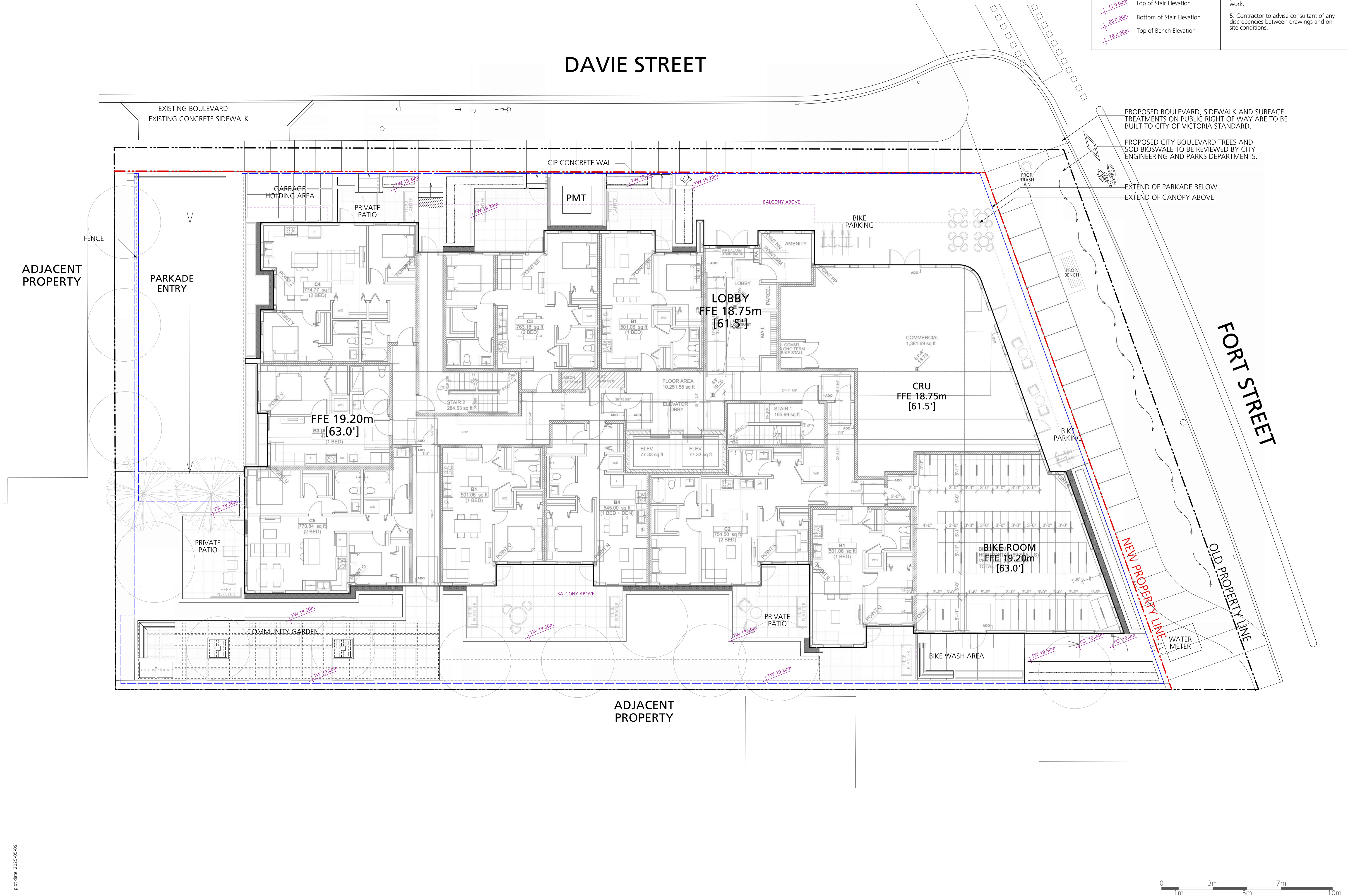
**Grading Plan**

Project North:  Drawn By: **MH**  
Checked By: **MP**

Scale: **1:100** Job No.: **22-082**

Sheet No.:

Legend:	Grading Notes:
 BG 0.00m	Building Grade from Civil
 IBG 0.00m	Interpolated Building Grade
 FG 0.00m	Finish Grade
 TW 0.00m	Top of Wall Grade
 BW 0.00m	Bottom of Wall Grade
 TS 0.00m	Top of Stair Elevation
 BS 0.00m	Bottom of Stair Elevation
 TB 0.00m	Top of Bench Elevation
1. Slope all paver areas to area drains.	
2. All planting beds over slab are to be lightly compacted prior to installation of planting. Mound planters slightly (50mm) in center. Maximum slope is 3:1.	
3. Refer to Structural for maximum allowable build up/loading over slab.	
4. Contractor to cover all exposed wall/slab waterproofing with flashing painted to match handrail and metal work.	
5. Contractor to advise consultant of any discrepancies between drawings and on site conditions.	



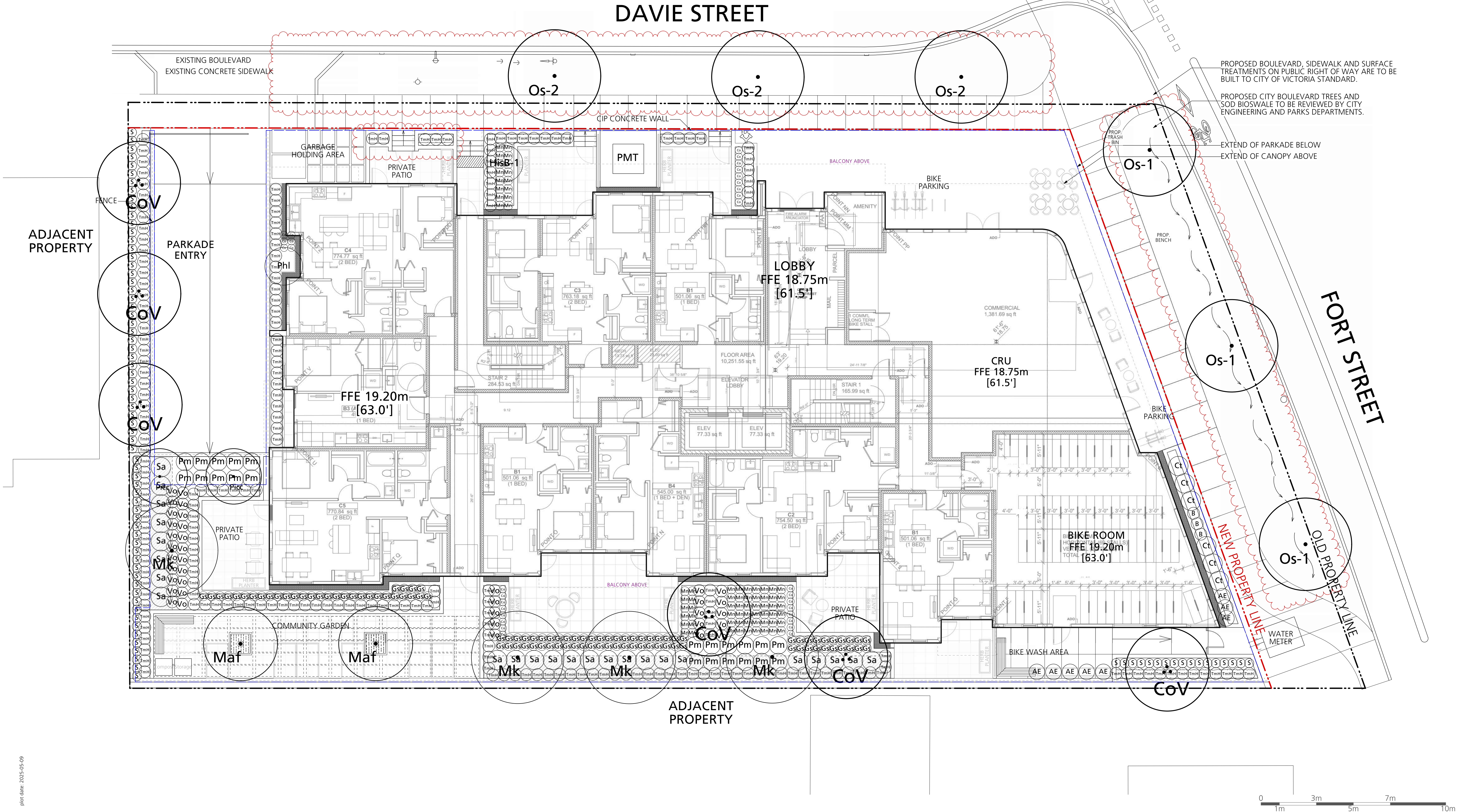


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	9	Issued for Rezoning / DP	2025/05/09

GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
  - At least 2.0m away from a building foundation wall,
  - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
  - In a location approved by the Director
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLAVCSA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
- Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
  - For sites of development related tree permits, a minimum of 6.0 cm caliper at time of planting for deciduous trees and a minimum of 2.0m height for coniferous trees,
  - Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepemits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels				
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size
<b>Trees</b>				
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB
HisB	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	6cm cal., standard
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB
Os-1	3	Offsite Tree TBD #1	Species TBD	6cm cal., WB min.
Os-2	3	Offsite Tree TBD #2	Species TBD	6cm cal., WB min.
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B
<b>Shrubs</b>				
AE	12	Abelia 'Edward Goucher'	Edward Goucher Abelia	#2 pot
B	3	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	#2 pot
Cl	6	Choysia ternata	Mexican Orange	#3 pot
Gs	98	Gaultheria shallon	Salal	#2 pot
HisB-1	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	#5 pot
Mn	70	Mahonia nervosa	Longleaf Mahonia	#2 pot
Phi	1	Philadelphus lewisii	Wild Mock Orange	#5 pot
S	83	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot
Sa	24	Symphoricarpos albus	Snowberry	#2 pot
TmH	205	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht
Vo	37	Vaccinium ovatum	Evergreen Huckleberry	#2 pot
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>				
Ca	8	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot
Co	31	Carex oshimensis 'Evergold'	Sedge	#1 pot
Co	39	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 pot
Pm	22	Polystichum munitum	Western Sword Fern	#1 pot



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Client:



Project Title:  
**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:  
**Planting Plan  
Level 1**

Project North: Drawn By: **MH**  
Checked By: **MP**  
Scale: **1:100** Job No.: **22-082**  
Sheet No.:



Issues	No.	Description	Date
	1	Issued for CALUC	2022/01/14
	2	Issued for Development Permit	2023/07/10
	3	Re-issued for Development Permit	2023/12/22
	4	Re-issued for Development Permit	2024/02/16
	5	Re-issued for Development Permit	2024/04/30
	6	Re-issued for Development Permit	2024/07/12
	7	Re-issued for Development Permit	2024/11/07
	8	Re-issued for Development Permit	2025/01/28
	9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:  
**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:  
**Planting Plan  
Rooftop**

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	22-082
Sheet No.:		

GENERAL NOTES:

- All on-site planting areas to be irrigated with a high efficiency drip irrigation system.
- Replacement trees must be planted:
  - At least 2.0m away from a building foundation wall,
  - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
  - In a location approved by the Director
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLAVCSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard".
- Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
  - For sites of development related tree permits, a minimum of 6.0 cm caliper at time of planting for deciduous trees and a minimum of 2.0m height for coniferous trees,
  - Replacement trees may be of a comparable size approved by the Director if obtaining the above sizes is not possible.
- A soil test for the growing media, for each landscape application on City Property must be submitted to the City Parks treepemits@victoria.ca for review at least one week prior to soil placement. Growing media must meet the standards for each specific landscape application as required in the current edition of the Canadian Landscape Standard.
- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

Plant List All Levels

Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Remarks
<b>Trees</b>					
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small
HisB	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	6cm cal., standard	
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium
Os-1	3	Offsite Tree TBD #1	Species TBD	6cm cal., WB min.	as per City of Victoria standards
OS-2	3	Offsite Tree TBD #2	Species TBD	6cm cal., WB min.	as per City of Victoria standards
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium
<b>Shrubs</b>					
AE	12	Abelia 'Edward Goucher'	Edward Goucher Abelia	#2 pot	pollinator friendly, food-bearing
B	3	Berberis thunbergii 'Concorde'	Concorde Japanese Barberry	#2 pot	pollinator friendly, food-bearing
Cl	6	Choisya ternata	Mexican Orange	#3 pot	pollinator friendly
Gs	98	Gaultheria shallon	Salal	#2 pot	native, pollinator friendly, food-bearing
HisB-1	1	Hibiscus syriacus 'Bluebird'	Blue Bird Rose of Sharon	#5 pot	pollinator friendly, food-bearing
Mn	70	Mahonia nervosa	Longleaf Mahonia	#2 pot	native, pollinator friendly, food-bearing
Phi	1	Philadelphus lewisii	Wild Mock Orange	#5 pot	native, pollinator friendly
S	83	Sarcococca hookeriana var. humilis	Dwarf Sweet Box	#2 pot	pollinator friendly
Sa	24	Symphoricarpos albus	Snowberry	#2 pot	native, pollinator friendly, food-bearing
TmH	205	Taxus x media 'Hicksii' (male form)	Hicksii Yew (male form)	4' ht	Hedge
Vo	37	Vaccinium ovatum	Evergreen Huckleberry	#2 pot	native, pollinator friendly, food-bearing
<b>Groundcovers, Vines, Ferns, Perennials and Grasses</b>					
Ca	8	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	#2 pot	
Co	31	Carex oshimensis 'Evergold'	Sedge	#1 pot	
■	39	Ophiopogon planiscapus 'Nigrescens'	Black Mondo Grass	#1 pot	Groundcover
Pm	22	Polystichum munitum	Western Sword Fern	#1 pot	native

DAVIE STREET

FORT STREET

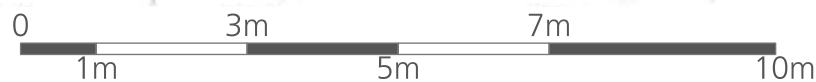
NEW PROPERTY LINE

OLD PROPERTY LINE

green paint utility locations

ADJACENT PROPERTY

ADJACENT PROPERTY





Replacement Tree List						
Symbol	Qty.	Botanical Name	Common Name	Scheduled Size	Replacement Ratio (Schedule E)	Min. Required Soil Volume
Trees						
CoV	6	Cornus 'Venus'	'Venus' Dogwood	6cm cal., WB	Part 2, 2:1, small	6.0 m³
Mk	4	Magnolia kobus	Kobus Magnolia	6cm cal., WB	Part 1, 1:1, medium	15.0 m³
Maf	2	Malus fusca	Pacific Crabapple	6cm cal., WB	Part 1, 1:1, medium	15.0 m³
Picc	2	Pinus contorta var. contorta	Shore Pine	2m ht, B&B	Part 1, 1:1, medium	15.0 m³

REPLACEMENT TREE SOIL VOLUME TABLE

Onsite minimum replacement tree required: 10  
Onsite proposed replacement tree : 10

Planting Area ID	Area (m²)	Soil Volume Multiplier	Estimated Soil Volume	Proposed Replacement Tree			Required Soil Volume (m³)			
				#Small	#Medium	#Large	Small	Medium	Large	Total
A	52.09 m²	0.9	46.90 m³	0	3	0	0	45.0 m³	0	45 m³
B	61.7 m²	0.6	37m³	0	2	0	0	30.0 m³	0	30.0 m³
C	69.0 m²	0.76 & 0.91 *	58.5 m³	2	3	0	12.0 m³	45.0 m³	0	57.0 m³

\* Refer to plans for areas of varied depth.

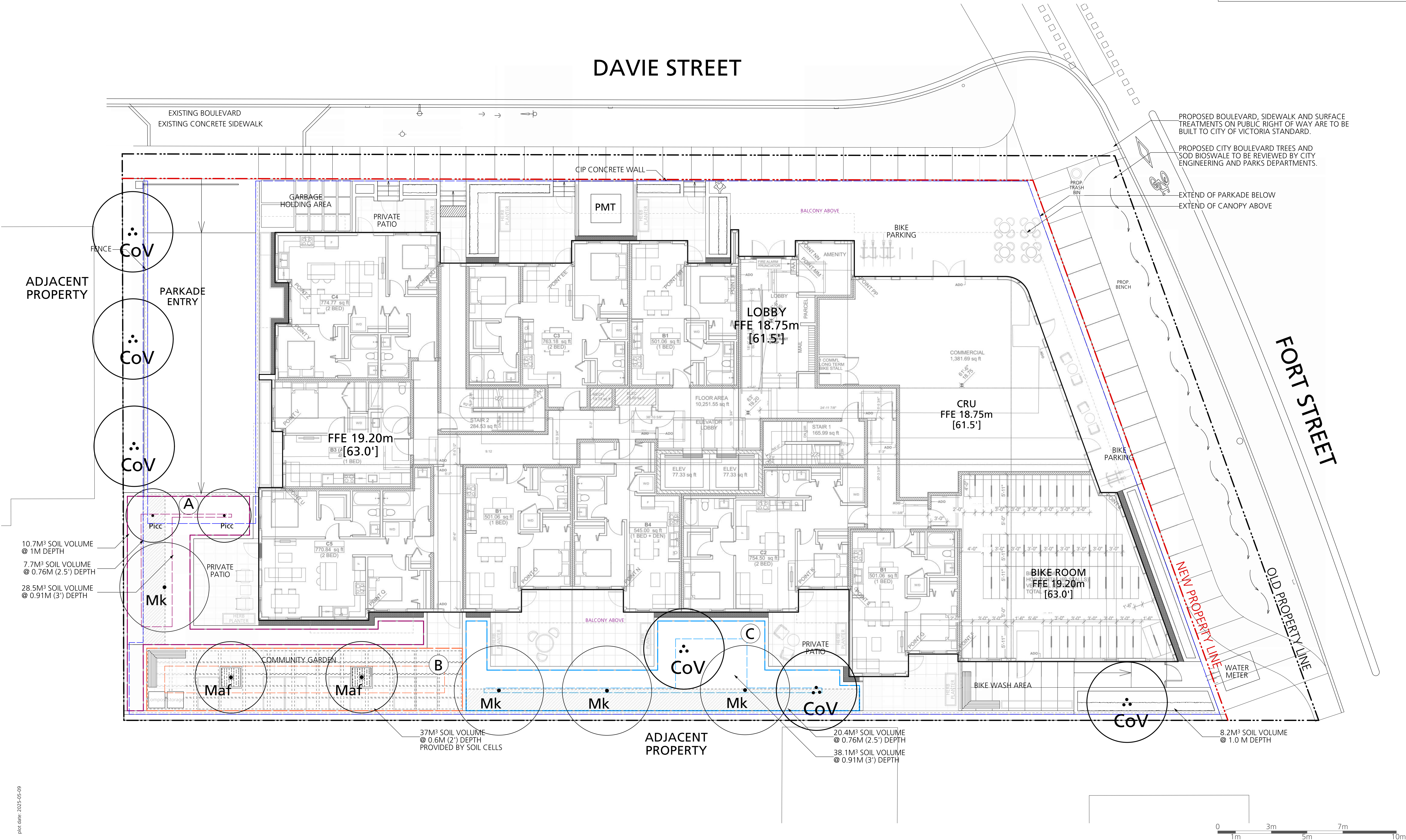
REPLACEMENT TREE PLANTING NOTES:

- Replacement trees must be planted:
  - At least 2.0m away from a building foundation wall,
  - At least 1.0m away from any property line of a lot, above and underground utility, driveway or other paved surface, and
  - In a location approved by the Director.
- Every replacement tree must be spaced from existing trees and other replacement trees in accordance with City of Victoria Tree Protection Bylaw No. 21-035, Schedule E, Part 4 Siting.
- Replacement trees must meet the applicable plant condition and structure requirements set out in the latest edition of the CNLA/CSLA "Canadian Landscape Standard" and the CNLA "Canadian Nursery Stock Standard"
- Replacement trees must be planted during the suitable local planting seasons generally defined as fall (September - November) and spring (February - April). Where planting must occur outside of the prescribed time periods, then a strategy for ensuring the trees are watered (in the summer) and appropriately cared for must be included as part of the tree permit application.
- Replacement trees must be:
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- The Victoria Subdivision and Development Servicing Bylaw No. 12-042 and the associated Schedules can be found on the City of Victoria Bylaws webpage.

P+A

Perry + Associates  
Landscape  
Architecture  
Site Planning  
112 East Broadway  
Vancouver, BC V6T 1V9  
T: 604.738.4118  
perryandassociates.ca

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9	Issued for Rezoning / DP	2025/05/09



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Tree Replacement Plan**

Project North:

Drawn By: MH

Checked By: MP

Scale:

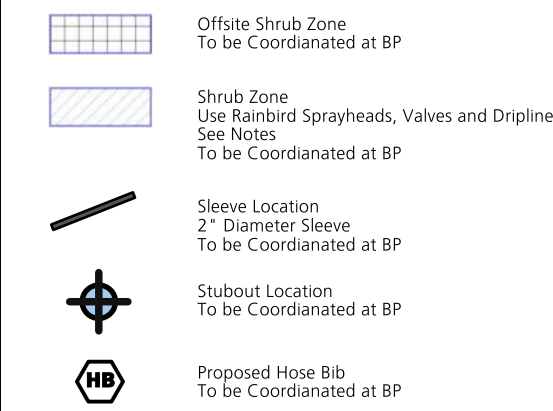
Job No.: 22-082

Sheet No.:

L3.2



IRRIGATION LEGEND



IRRIGATION NOTES:

- 1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
- 2) The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
- 3) The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
- 4) The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
- 5) Provide rain sensor on system. Location to be determined.
- 6) Flow thru all piping not to exceed 5ft/sec.
- 7) Irrigation contractor to ensure all sleeves, conduits, and location of the rain sensor are coordinated with general contractor.
- 8) The irrigation drawings shall be read in conjunction with the landscape architect's drawings.
- 9) The irrigation system shall be installed as per the landscape architect's specifications and IABC standards or better.
- 10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
- 11) The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
- 12) The irrigation contractor to submit shop drawings for approval prior to installation.
- 13) The irrigation contractor to provide as-built drawings following construction.

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DAVIE STREET

ADJACENT  
PROPERTY

FORT STREET



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Client:



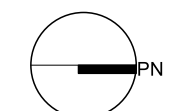
Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Irrigation Plan  
Level 1**

Project North:



Drawn By:

MH

Checked By:

MP

Scale:

1:100

Job No.:

22-082

Sheet No.:

**L3.3**



Issues		
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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Irrigation Plan  
Rooftop**

Project North:

Drawn By: **MH**  
Checked By: **MP**

Scale:

Job No.: **22-082**

Sheet No.:

**IRRIGATION LEGEND**

Offsite Shrub Zone  
To be Coordinated at BP

Shrub Zone  
Use Rainbird Sprayheads, Valves and Dripline,  
See Notes  
To be Coordinated at BP

Sleeve Location  
2" Diameter Sleeve  
To be Coordinated at BP

Stubout Location  
To be Coordinated at BP

Proposed Hose Bib  
To be Coordinated at BP

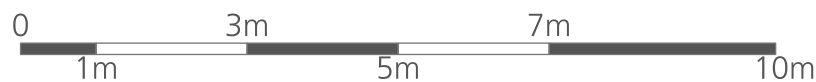
- IRRIGATION NOTES:**
- 1) The irrigation contractor to provide a complete and functioning design-build sprinkler irrigation system.
  - 2) The irrigation contractor shall confirm on site the locations of the stub-outs provided by the mechanical contractor.
  - 3) The electrical contractor shall supply a 120v outlet in the water entry room and run a 1" conduit with pull string from the water entry room to all stub-out locations. See plans.
  - 4) The irrigation contractor shall install the irrigation controller in the water entry room and run all low voltage wires to the solenoid valves.
  - 5) Provide rain sensor on system. Location to be determined.
  - 6) Flow thru all piping not to exceed 5ft/sec.
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  - 10) The mechanical contractor shall install the double check valve and a blow-out connection in the water entry room and run supply lines to all stub-out locations. See plans.
  - 11) The irrigation contractor shall provide irrigation system for all street trees to City of Victoria Engineering Requirements.
  - 12) The irrigation contractor to submit shop drawings for approval prior to installation.
  - 13) The irrigation contractor to provide as-built drawings following construction.

ADJACENT  
PROPERTY

DAVIE STREET

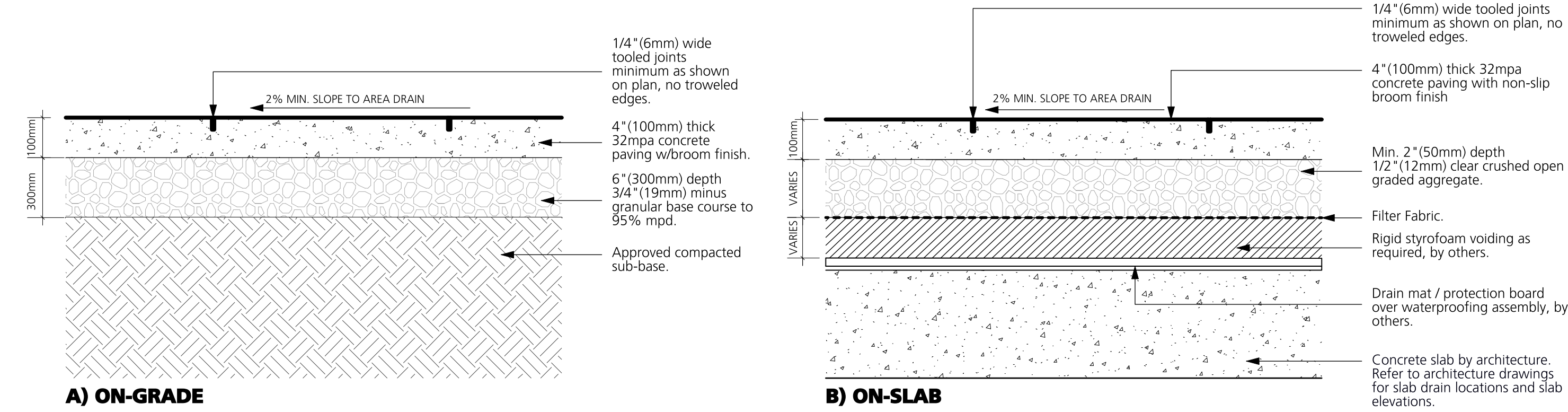
FORT STREET

ADJACENT  
PROPERTY

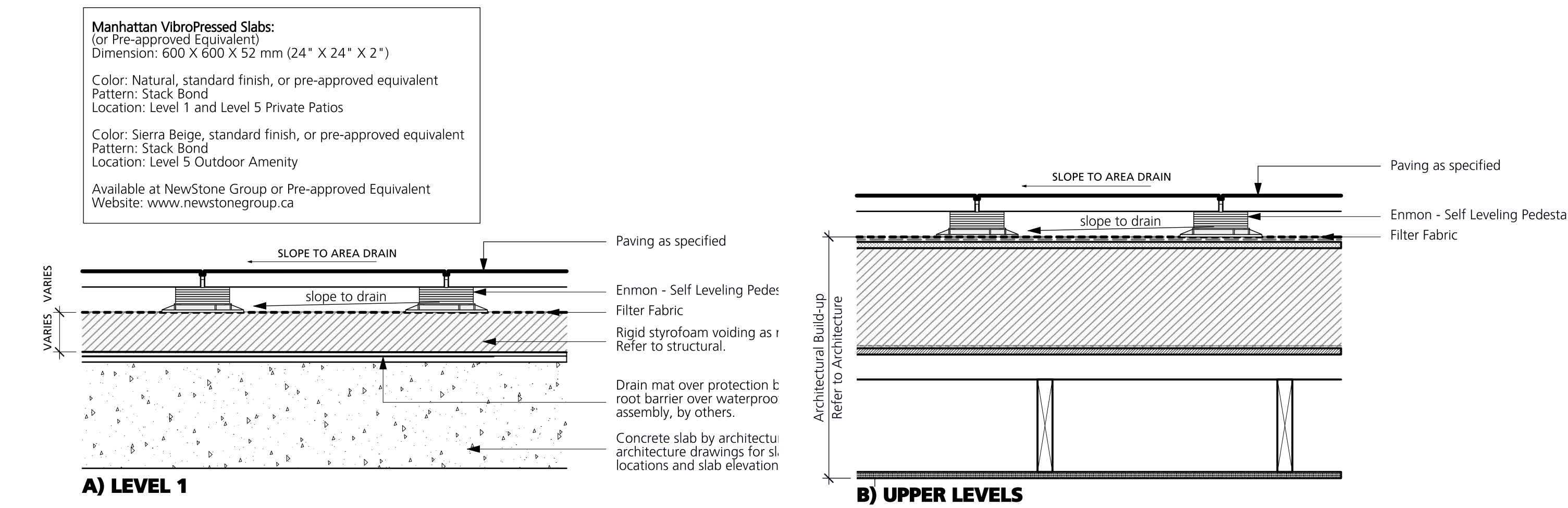




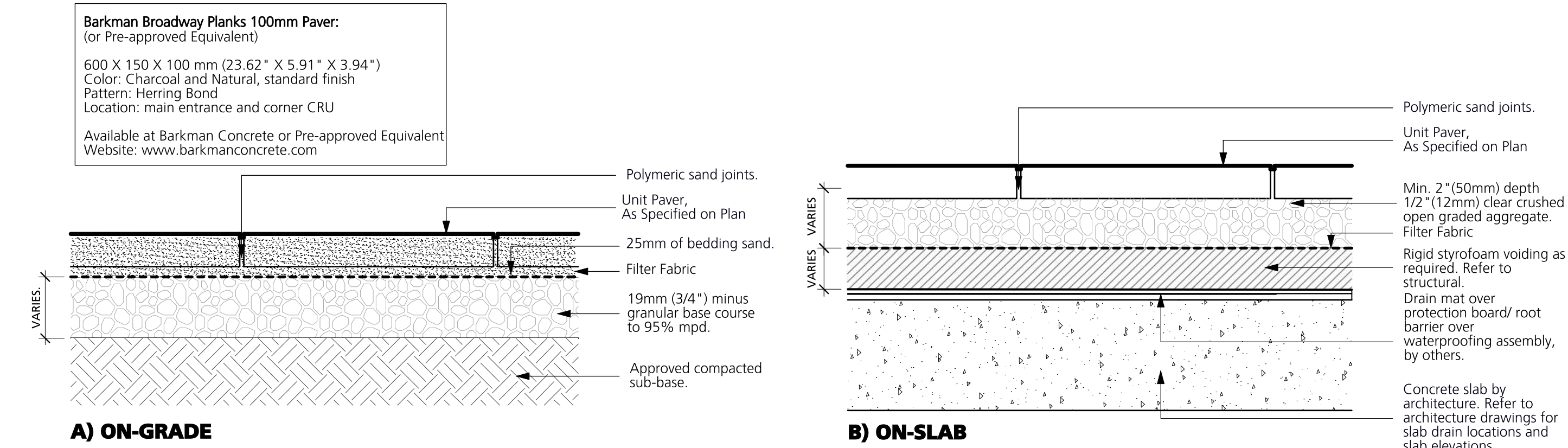
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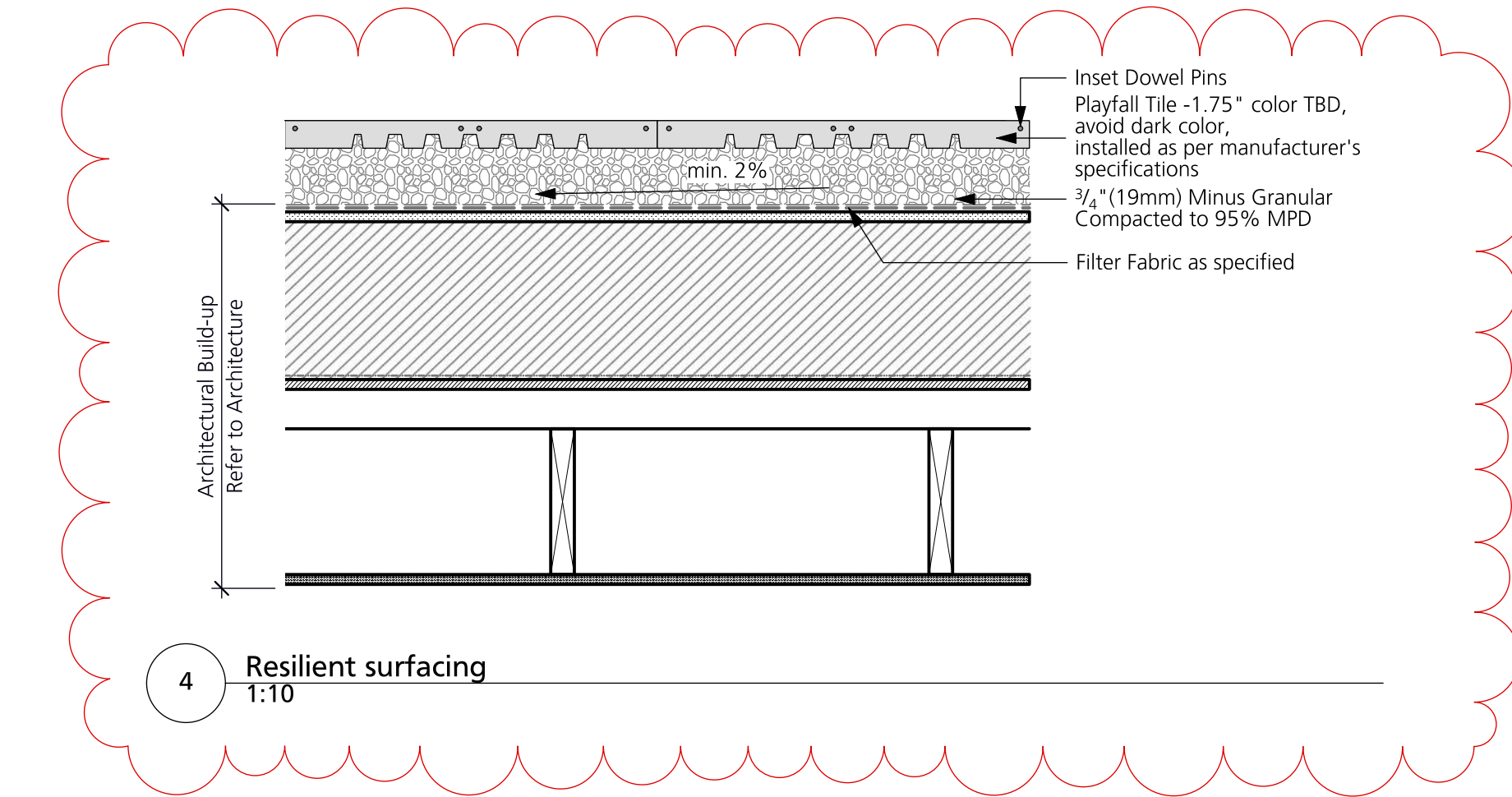
1 CIP Concrete Paving  
1:10



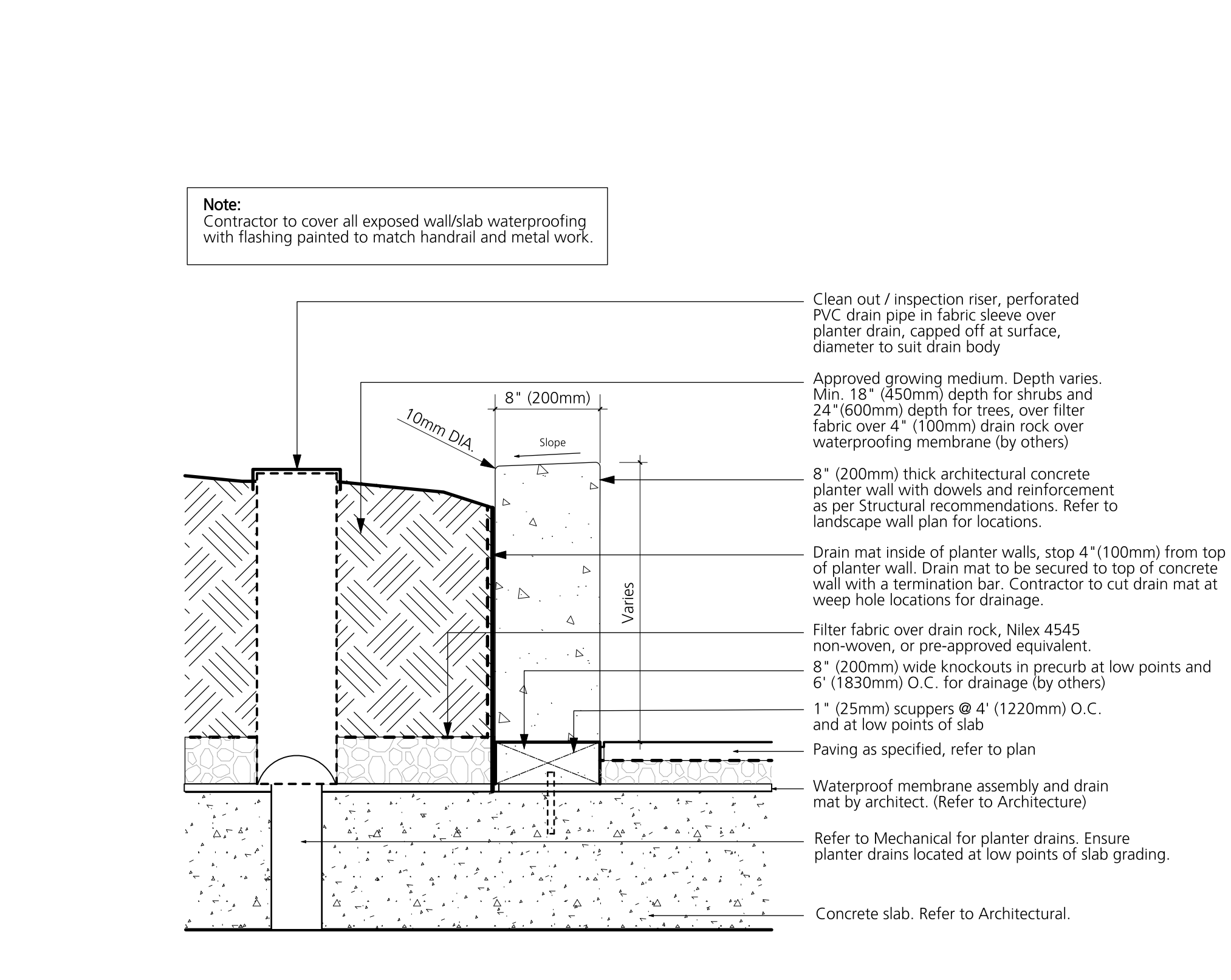
3 Hydrapressed Slab  
1:10



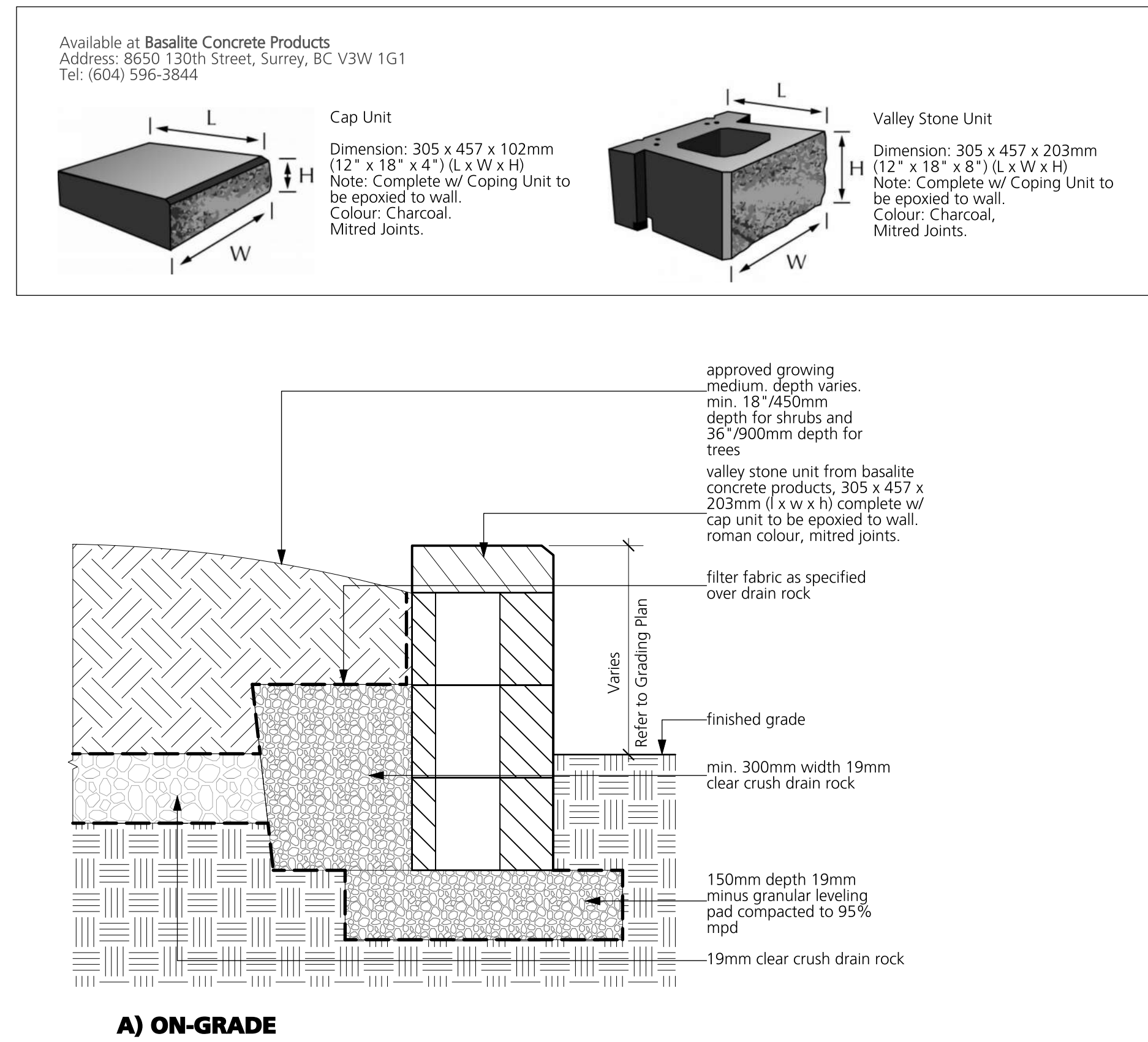
2 Unit Paving  
1:10



4 Resilient surfacing  
1:10



5 CIP Concrete Planter Wall  
1:10



6 Landscape Block Wall  
1:10



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

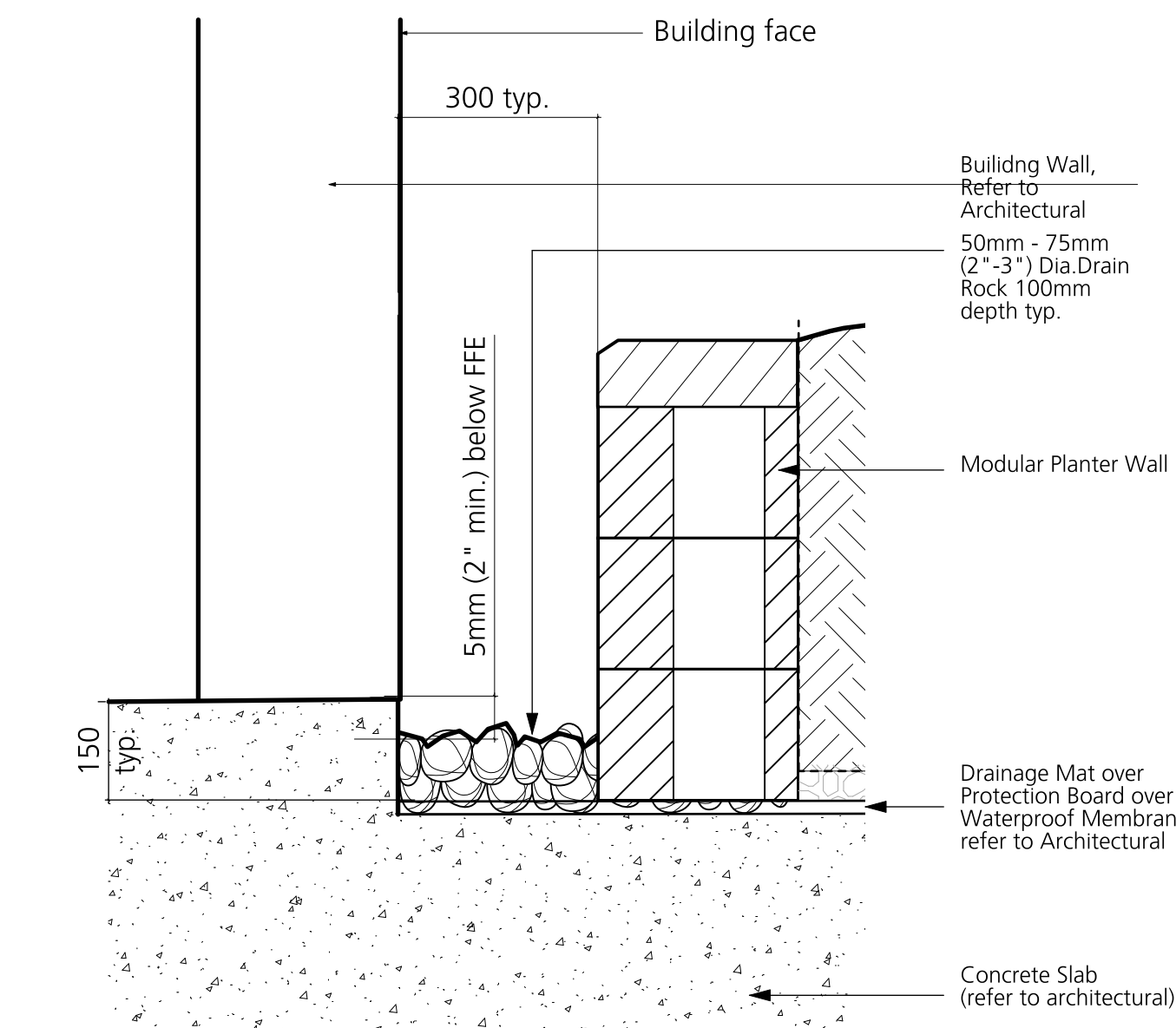
Drawing Title:

**Landscape Details**

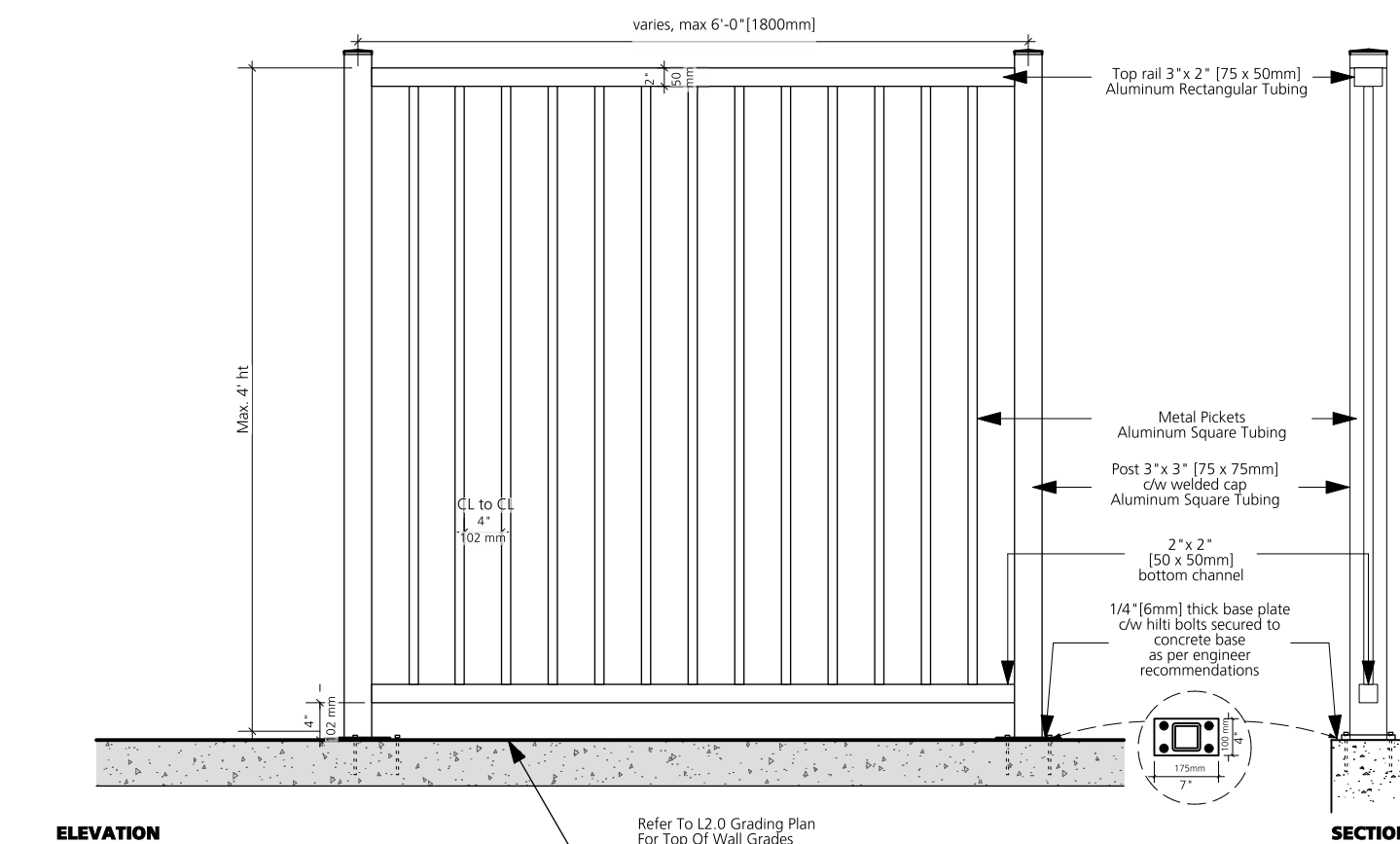
Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	22-082
Sheet No.:		



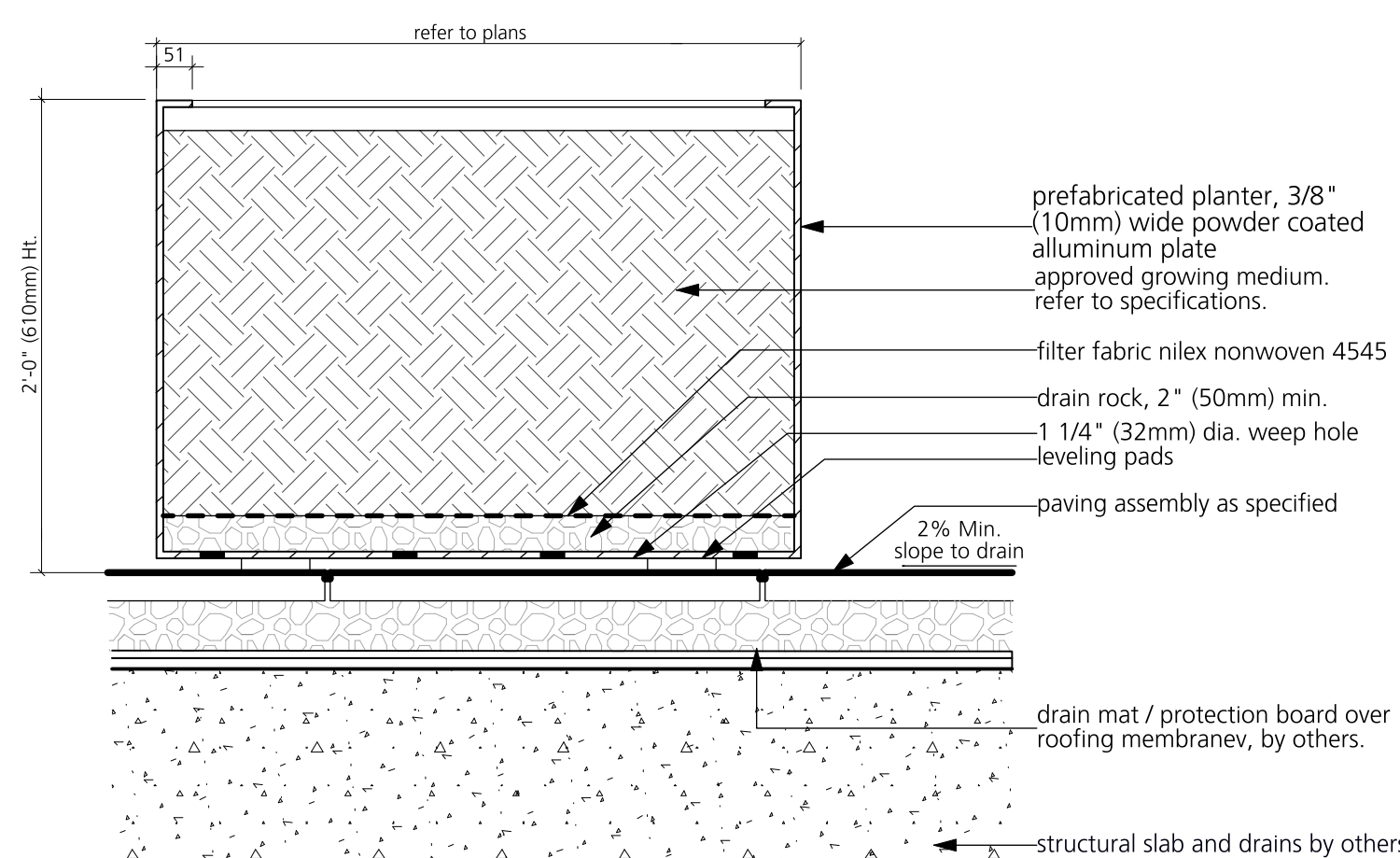
Issues		
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7 Gravel Strip  
1:10



9 Metal Picket Fence  
1:20

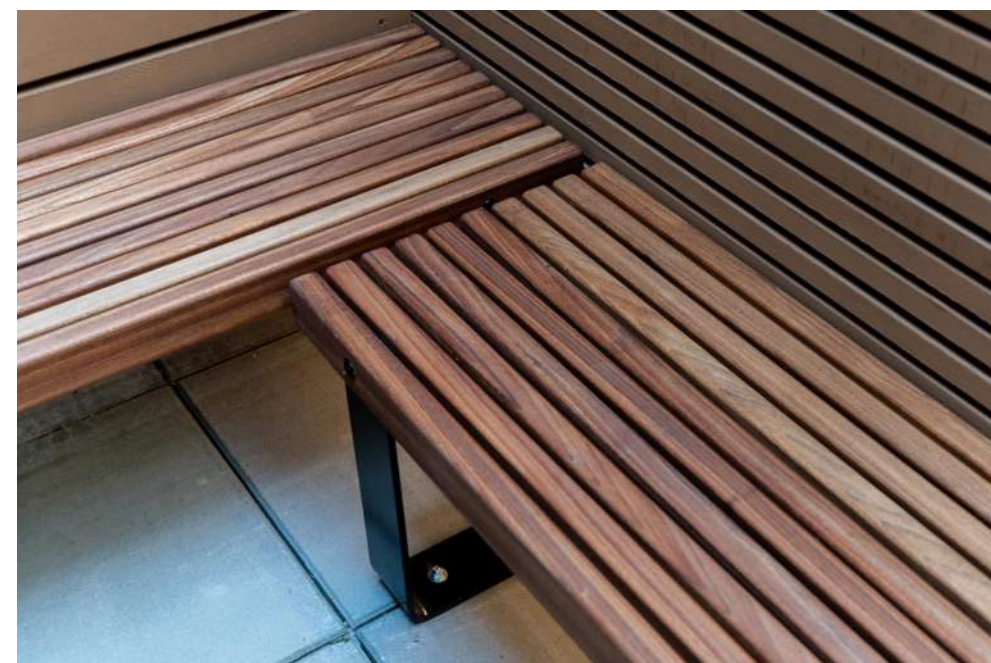


13 Garden Plot  
1:10

Model: Modular Planters  
Dimensions: 1900 (L) X 1219 (W) X 610 (H) mm  
Qty: 8  
Supplier: Green Theory Design or Pre-approved Equivalent  
Contact: [www.greentheorydesign.com](http://www.greentheorydesign.com), 604-475-7002  
Colour: Charcoal or Pre-approved Equivalent  
Note:  
- All planters to be modular with the ability to be bolted together on site with hidden hardware; Galvanized; Powder Coat all metal components  
- Provide cut sheets and shop drawings for all components for approval  
- Provide bracing as required. No bowing of planter walls accepted  
- Provide drain holes at the bottom of all components  
- Provide colour sample for approval

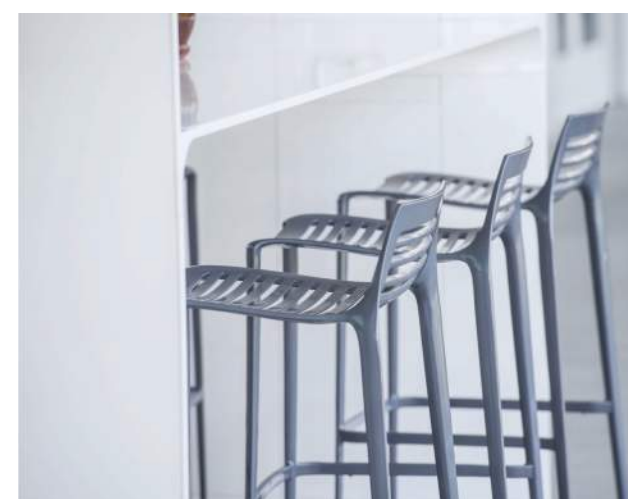
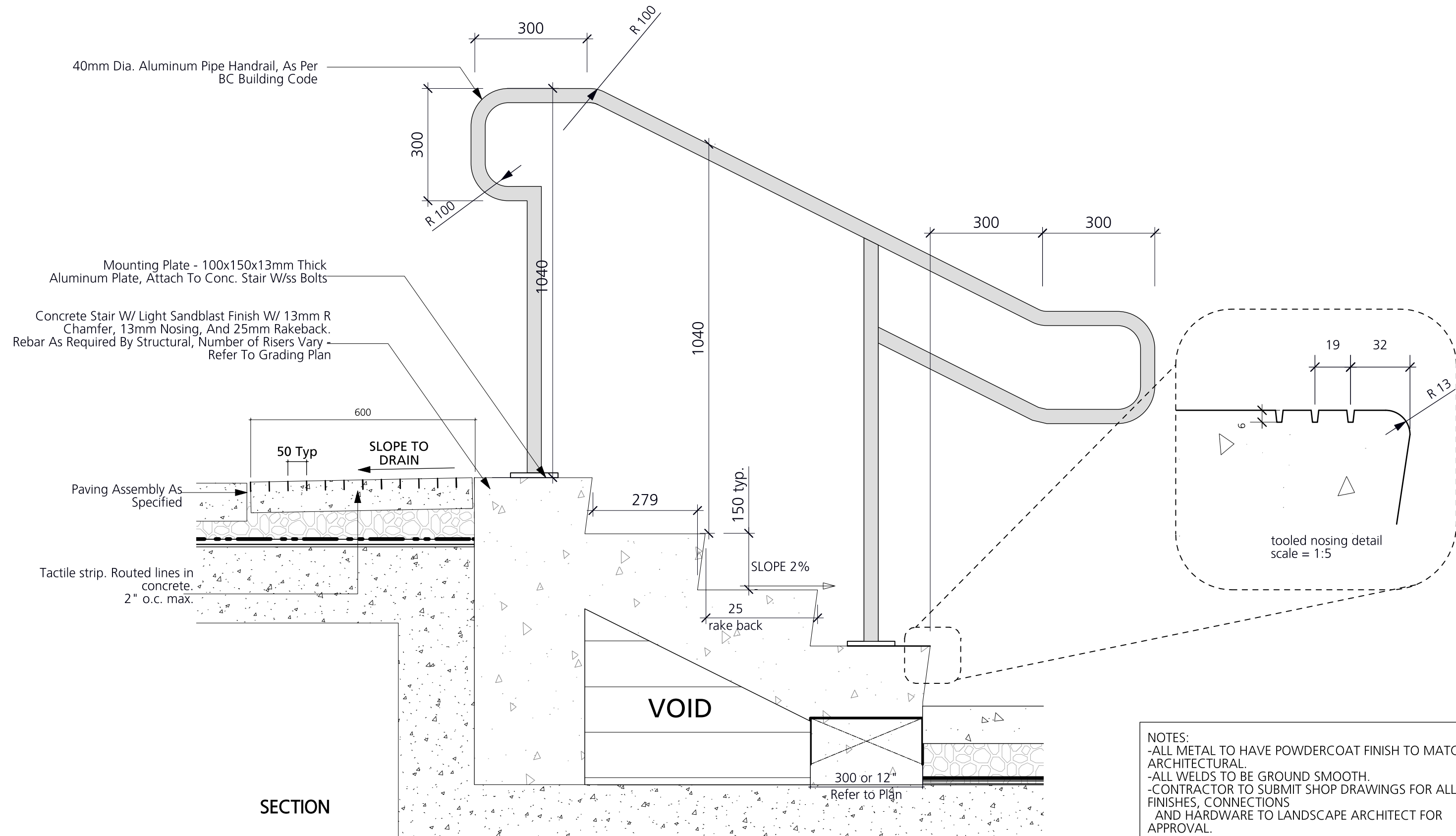
plot date: 2025-05-09

14 Landscape Bench  
NTS



Manufacturer: Frances Andrew or Pre-approved Equivalent  
Colour: TBD  
Quantity: Refer to Plan  
Dimension: Refer to Plan  
Contact: [www.francesandrew.com](http://www.francesandrew.com)  
Installation: Mount as per manufacturer's specifications

8 Typical Stairs  
1:10



GO Outdoor Table - Standing Height  
Dimension: 30" x 114" x 40.5"  
Finish: Powdercoat metal  
Color: Architectural Series - Fog  
Qty: 1

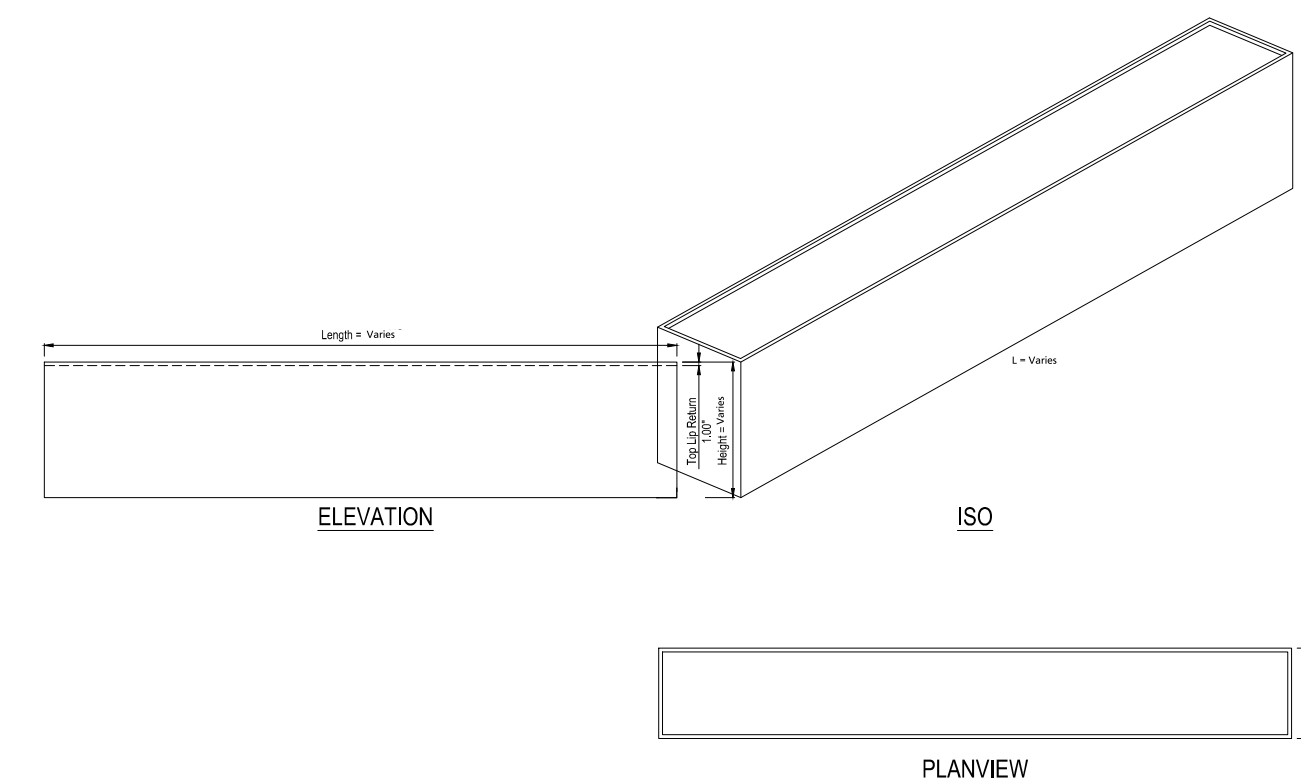
Chipman Stool - Bar Height  
Dimension: 19" x 22" x 35"  
Finish: Powdercoat metal  
Color: Architectural Series - Obsidian  
Qty: 8



Available at Landscape Forms  
Website: [www.landscapeforms.com/](http://www.landscapeforms.com/)  
Tel: (800) 430-6206

Installation: Surface mount with anchoring hardware as per manufacturer's specifications.  
Note:  
- Provide cut sheets for approval by Landscape Architect  
- Power options to be confirmed with Owner

11 Outdoor Bar Table & Stools  
NTS



12 Custom Metal Planter  
NTS



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street,  
Victoria, BC

Drawing Title:

**Landscape Details**

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	22-082
	As Shown	
Sheet No.:		



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Client:



Project Title:

**FORT & DAVIE APARTMENTS**  
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1923-1929 Davie Street,  
Victoria, BC

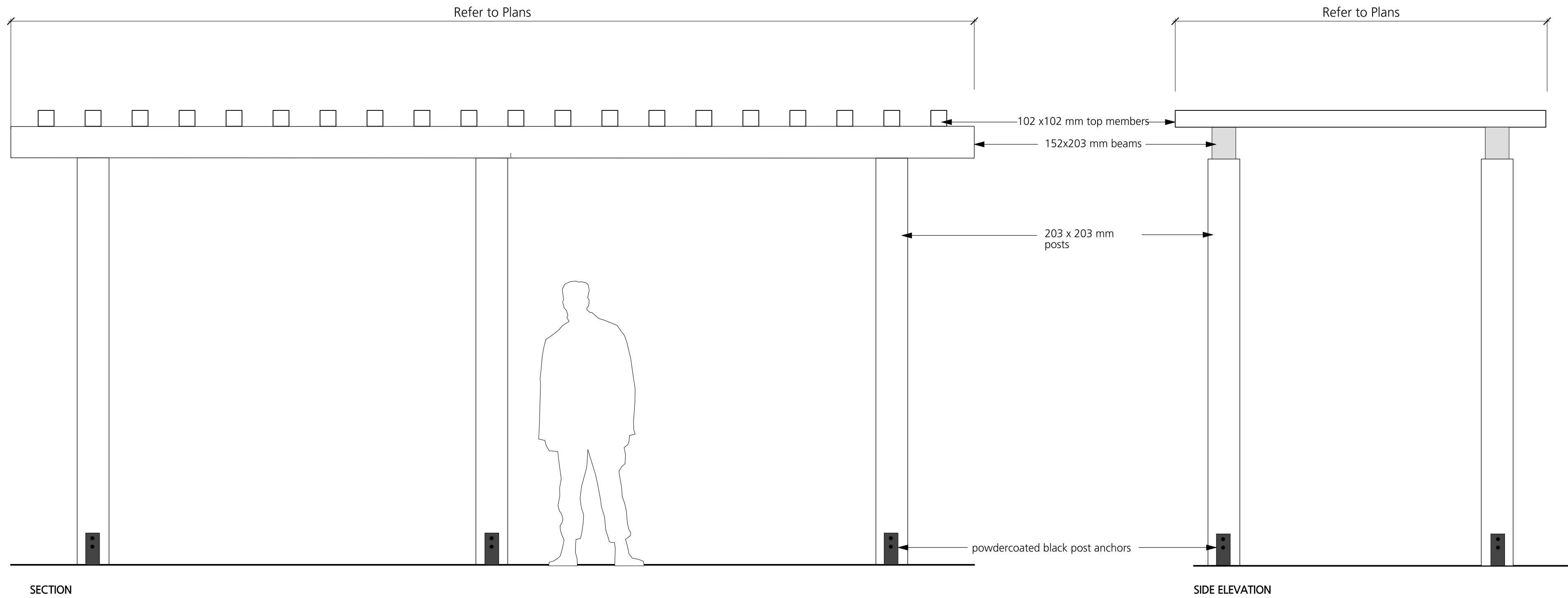
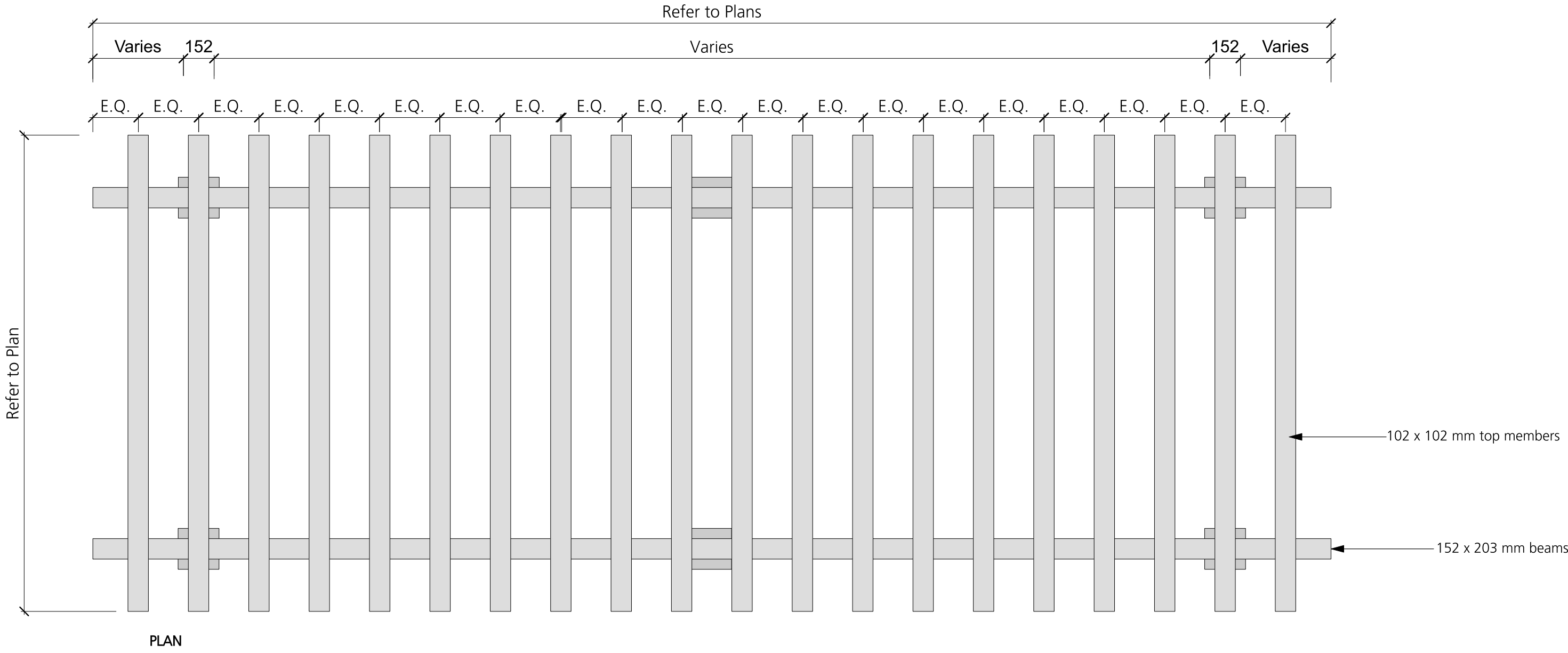
Drawing Title:

**Landscape Details**

Project North:	Drawn By:	MH
	Checked By:	MP
Scale:	Job No.:	22-082
	As Shown	
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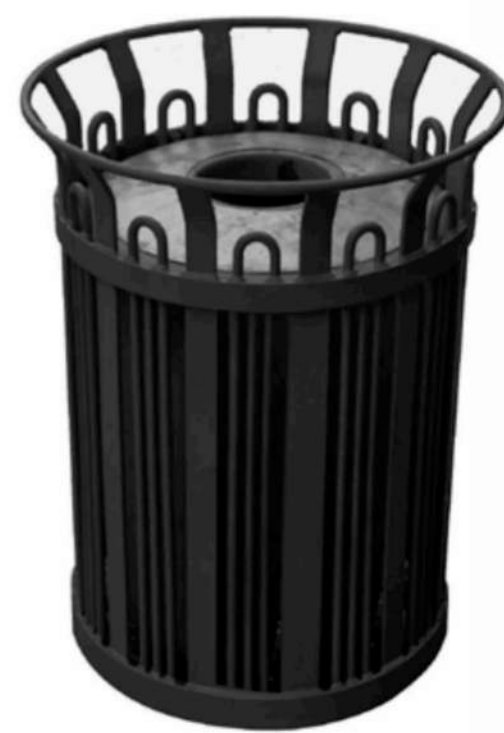
**Indicative Custom Wood Trellis**  
(Typical trellis illustrated - Refer to plans for size and shape of proposed trellis)

Notes:  
- Contractor to provide engineered shop drawings for all trellis components with finishes, connections, and hardware, and submit for approvals prior to fabrication.  
- Refer to Envelope, Architectural and Structural for connection details.





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City of Victoria Modern Metal Bin  
Finish: Powder coat glossy black (RAL 9017)  
Quantity: 1  
Dimension: 42" ht

**Manufacturer:** City of Victoria  
**Installation:** Mount as per manufacturer's specifications

### MODERN WOOD BENCH

<b>PRODUCT TYPE:</b>	Type H Wood Bench with Backrest
<b>PRODUCT NAME:</b>	Modern Wood Bench
<b>DESIGN STYLE:</b>	Modern
<b>MATERIALS:</b>	Steel Frame and Ipe Wood Slats
<b>COLOUR/ FINISH:</b>	Glossy Black (RAL 9017) Baked-on Powder Coat Frame, Varnished Slats

**MANUFACTURER:** Maglin Site Furniture

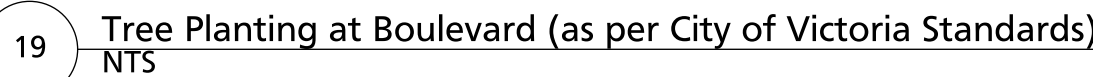
**SPECIAL NOTES:** See Character area section of Streetscape Standards for specific location guidelines.



City of Victoria Modern Wood Bench

Finish: Steel Frame and Ipe Wood Slats  
Quantity: 1  
Dimension: 70" (L) x 24" (W) x 31" (H)

**Manufacturer:** Maglin Site Furniture  
**Installation:** Mount as per manufacturer's specifications



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Client



Project Title:

**FORT & DAVIE APARTMENTS**  
1905-1907 Fort Street &  
1923-1929 Davie Street  
Victoria, BC

Drawing Title:

Landscape Detail

Project North:	Drawn By:	<b>MH</b>
	Checked By:	<b>MP</b>
Scale:	Job No.:	22-082
<b>As Shown</b>		
Sheet No.:		



UTILITY	PLAN CHECKER		AUTHORIZED REPRESENTATIVE		DATE
	HYDRO ELECTRICAL COMPANY		NAME	NAME	
	TELEPHONE COMPANY				
	GAS COMPANY				
	CABLE COMPANY				
MUNICIPAL	UNDERGROUND SERVICES				
	TRAFFIC				
	HIGHWAYS				

INFORMATION IS AT PROPERTY LINE		STORM DRAIN		SANITARY SEWER	
EXISTING DEPTH (m)					
PROPOSED DEPTH (m)					
PROPOSED INVERT ELEVATION (m)					
MAXIMUM DEPTH REQUESTED		YES	NO	YES	NO

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		WATERMAIN
		SANITARY MAIN
		STORM MAIN
		FIRE HYDRANT
		HYDRANT COVERAGE (45m RADIUS)

NOTES:

- FOR GENERAL NOTES SEE SHEET C100 (TO FOLLOW).
- ALL EXISTING SANITARY, DRAIN AND WATER LOCATIONS TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, WITHIN THE VICTORIA SUBDIVISION AND DEVELOPING SERVICING BYLAW 12-042, SCHEDULE C, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
- IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.
- CONTACT PARKS AT 250-361-0600 WITH AT LEAST 48 HOURS NOTICE TO ARRANGE FOR IRRIGATION INSPECTIONS.
- FOR SHALLOW UTILITIES DESIGN, SEE SHEET C400 AND INDIVIDUAL UTILITY DESIGN DRAWINGS (TO FOLLOW). DESIGN TO BE DETERMINED BY THIRD PARTY UTILITIES AT A LATER DATE.
- CONTRACTOR TO CONFIRM THAT SANITARY AND STORM DRAIN SERVICES HAVE BEEN CAPPED ON-SITE AND INSPECTED BY CoV FORCES.
- ELEVATIONS ARE GEODETIC (CGVD28) BASED ON CONTROL MONUMENT 15-147

REQUIRED PARKS INSPECTIONS FOR IRRIGATION:( REFER TO LANDSCAPE DRAWINGS)

- IRRIGATION SLEEVING PRIOR TO BACKFILLING.
- OPEN TRENCH MAINLINE AND LATERAL LINES.
- PRESSURE TEST.
- IRRIGATION SYSTEM, CONTROLLER, COVERAGE TEST, BACKFLOW PREVENTER ASSEMBLY TEST REPORT REQUIRED, BACKFLOW ASSEMBLY (INCL. INSPECTION TAG AND TESTING REPORT).

ISSUES	
No.	ISSUED FOR
1	2023.12.21 DEVELOPMENT PERMIT
2	2024.05.02 DP REVIEW
3	2024.11.07 DP RESUBMISSION
4	2024.01.28 DP RESUBMISSION 2
5	2025.05.09 DP RESUBMISSION 3

CLIENT

ISSUED FOR  
DEVELOPMENT PERMIT

1:100 0 2 6m

FORT AND DAVIE RESIDENCES  
CIVIL WORKS

VICTORIA, BC

THREE SHORES MANAGEMENT

**HEROLD ENGINEERING**  
Unit 600-1112 Fort St, Victoria, BC V8V 3K8  
Tel: 250-590-4875 Fax: 250-590-4392  
Email: mail@heroldengineering.com

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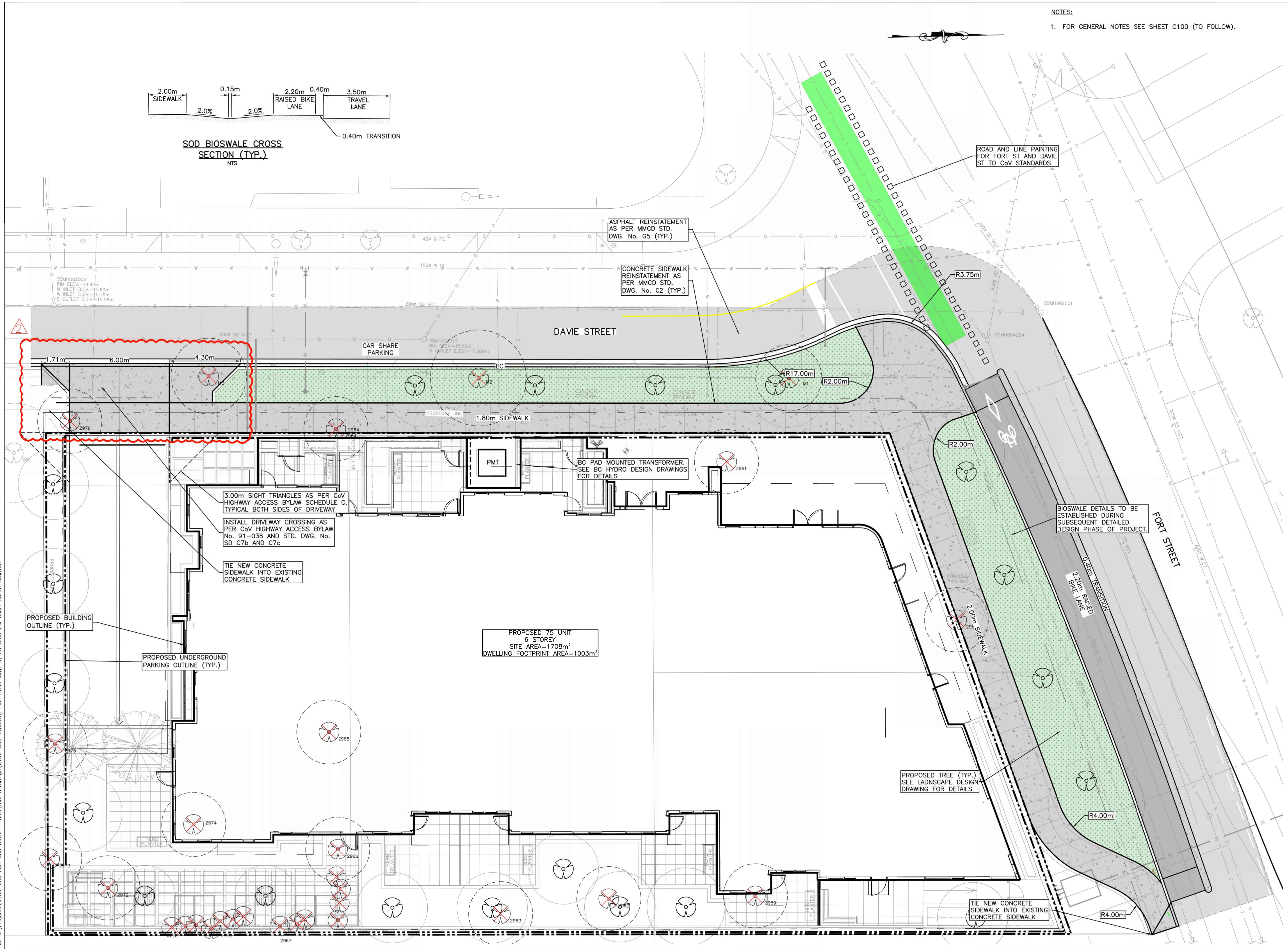
SITE SERVICING  
CONCEPT PLAN

DESIGNED TDL	ENGINEER'S SEAL HEL PERMIT NO. 1000201
DESIGN REVIEW AJH	
DRAFTED SEN	
DRAFTING REVIEW MDZ	
PROJECT No. 6150-003	CLIENT DRAWING No.
SCALE H: AS NOTED V: AS NOTED	PERMIT No.
HEL DRAWING No. <b>C200</b>	REVISION 1 OF 2 5

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION



File: J:\Projects\6150-003 Fort And Davie - Civil\04c Drawings\6150-003 Civil.dwg Plot Time: May, 9, 2025 3:03 PM User: Sarah Newman



NOTES:

1. FOR GENERAL NOTES SEE SHEET C100 (TO FOLLOW).

ISSUES

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CLIENT

ISSUED FOR  
DEVELOPMENT PERMIT

0 2 6m  
1:100

FORT AND DAVIE RESIDENCES  
CIVIL WORKS

VICTORIA, BC

THREE SHORES MANAGEMENT

**HEROLD  
ENGINEERING**

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Email: mail@heroldengineering.com

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GRADING AND  
SURFACE WORKS PLAN

DESIGNED TDL	ENGINEER'S SEAL HEL PERMIT NO. 1000201
DESIGN REVIEW AJH	
DRAFTED SEN	
DRAFTING REVIEW MDZ	
PROJECT No. 6150-003	CLIENT DRAWING No.
SCALE H: AS NOTED V: AS NOTED	PERMIT No.
HEL DRAWING No. <b>C300</b>	REVISION 2 OF 2 5

DESTROY ALL DRAWINGS SHOWING PREVIOUS REVISION