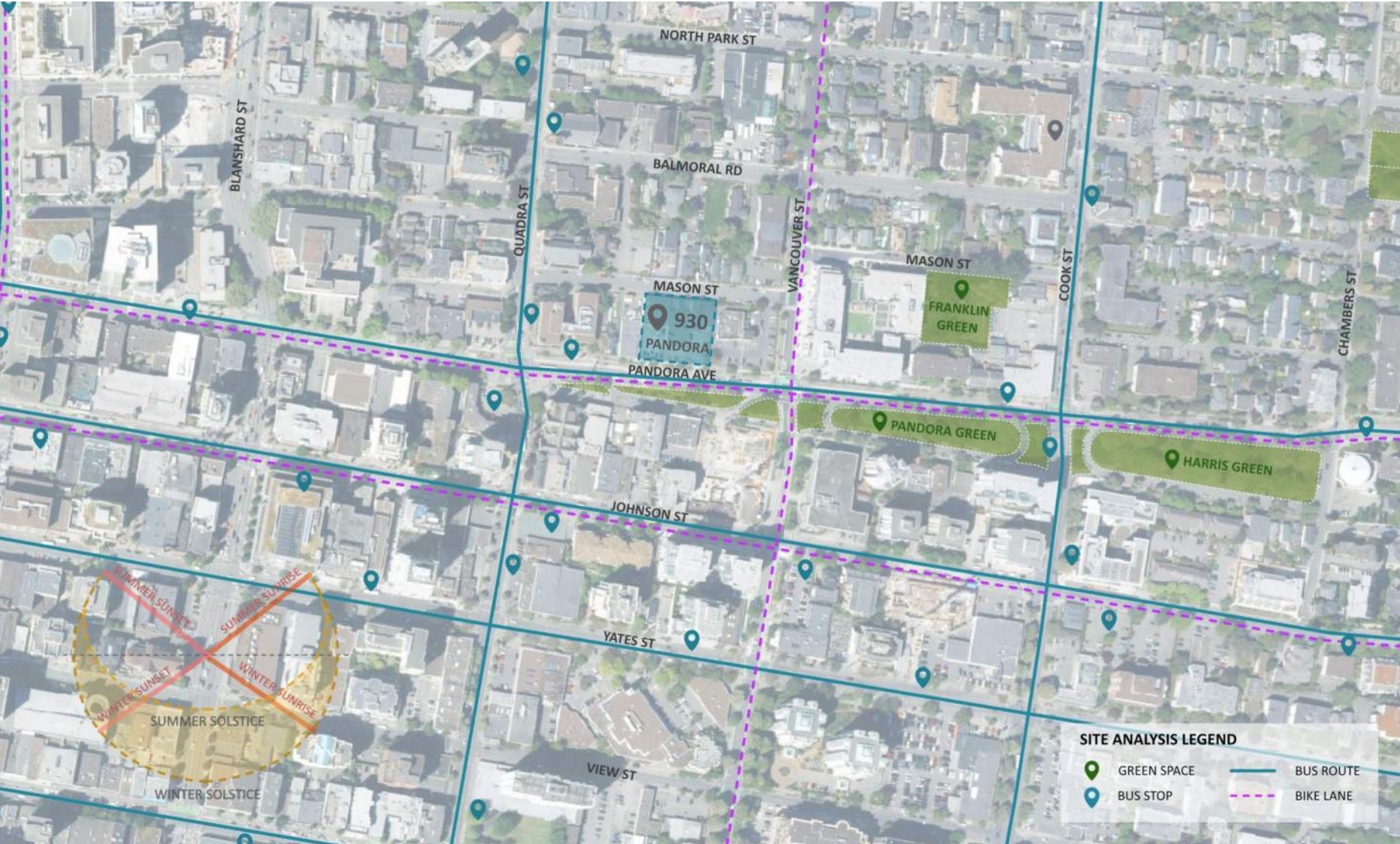




1 Mason Street Aerial View  
A001

2 Site Analysis  
A001



DRAWING LIST

- ARCHITECTURAL**  
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A002 SITE SURVEY  
A003 STREET VIEWS  
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A005 VIEW ANALYSIS  
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A301 BUILDING ELEVATIONS  
A302 BUILDING ELEVATIONS  
A310 CONTEXT ELEVATIONS  
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A401 BUILDING SECTIONS

- LANDSCAPE**  
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L1.2 LANDSCAPE SITE PLAN - SOUTH  
L1.3 LANDSCAPE SECTIONS  
L1.4 LANDSCAPE PLANTING PLAN - NORTH  
L1.5 LANDSCAPE PLANTING PLAN - SOUTH  
L1.6 LANDSCAPE AMENITY DECK PLANS  
L1.7 LANDSCAPE DETAILS

- CIVIL**  
22-04 1-CSP CONCEPTUAL SERVICING AND FRONTAGE WORKS

LIST OF ABBREVIATIONS

The following abbreviations are used on door, window, and finish schedules as well as on architectural drawings and details.

ACST	Acrylic Stucco	HP	High Point	ST	Structure
ACT	Acoustical Tile	HSS	Hollow Steel Section	STL	Steel
AFF	Above Finished Floor	HW	Hardware	STN	Stained
AL	Aluminum	INSUL	Insulated	STN	Stone Tile
BG	Building Grade	LAM	Laminated Glass	SS	Stainless Steel
CEM	Cementitious Backing Board	LP	Low Point	SVF	Sheet Vinyl Flooring
CC	Concrete	MDFB	Medium Density Fibreboard Base	TB	Towel Bar
CBK	Concrete Block	MR	Mirror	T/D	Tempered / Double Glazed
CL	Centerline	MP	Metal Panel	TLAM	Tempered Laminated Glass
CPT	Carpet Tile	OH	Overhead	TGL	Tempered Glass
OW	Operable Window	PF	Prefinished	TLGL	Translucent Glass
CW	Complete With	PL	Plastic Laminate	TCC	Top of Concrete
DD	Deck Drain	PLAM	Plaster	TOC	Top of Concrete
EL	Elevation	PLS	Plaster	TOI	Top of Insulation
EPC	Epoxy Polymer Coating	PSF	Pressed Steel Frame	TOP	Top of Parapet
EXP AGG	Exposed Aggregate	PT	Paint	TOS	Top of Slab
EXT	Exterior	PTD	Paper Towel Dispenser	TOW	Top of Wall
FEC	Fire Extinguisher Cabinet	PTD/W	Paper Towel Dispenser / Waste	TP	Toilet Paper
FFE	Finished Floor Elevation	PTW	Paper Towel Waste	UNF	Unfinished (for GWB means taped and filled by not sanded to minimum ULC requirements where applicable)
FG	Finished Grade	RA	Rubber Base	UNO	Unless Noted Otherwise
GB	Grab Bar	RES	Resilient Flooring	UIS	Underside of...
GEL	Glass Block	RD	Roof Drain	VCT	Vinyl Composition Tile
GWB	Georgian Wire Glass	RD-P	Roof Drain - Planter	VI	Vision Glass
H/C	Hollow Core	RWL	Rain Water Leader	VIS	Vinyl Impact Sheet
HCW	Hollow Core Wood	SAFI	Spray Applied Fibrous Insulation	VT	Vinyl Tile
H/C	Handicap	SCW	Solid Core Wood	VWC	Vinyl Wall Covering
HM	Hollow Metal	SD	Soap Dispenser	WC	Water Closet
		SL	Sealer	WD	Wood
		SP	Spandrel Glass	WPM	Waterproof Membrane
		SPC	Solid Particleboard Core	WRC	Water Repellent Coating

PROJECT INFORMATION TABLE	
Zone (existing)	CA-1
Site Area (m <sup>2</sup> )	2,674.55m <sup>2</sup>
Total floor area (m <sup>2</sup> )	14,706.6m <sup>2</sup>
Commercial floor area (m <sup>2</sup> )	1,467.8m <sup>2</sup> (Community Center and Daycare)
Floor space ratio	5.499 : 1 F58
Site coverage %	68.12%
Open site space %	31.88%
Height of building (m)	72.79m
Number of storeys	21 Storeys
Parking stalls (number) on site	99
Bicycle parking number (storage and rack)	
Resident stalls, long-term	237
Staff, long term	12
Visitor, short-term	28
<b>L1 Setbacks</b>	
Front yard	0m
Rear yard	5.20m
Side yard (West)	0.30m south / 9.80m north
Side yard (East)	0.30m south / 6.47m north
Combined side yards	0.60m south / 16.27m north
<b>Tower Setbacks</b>	
Front yard	3.92m
Rear yard	15.33m
Side yard (East)	18.76m
Side yard (West)	10.42m
Combined side yards	29.18m
<b>Residential Use Details</b>	
Total number of units	205
Supportive housing studio units	47 (10% accessible)
Affordable housing studio units	34
Affordable housing 1 bedroom units	67 (5% of AH total are accessible 1-bed units)
Affordable housing 2 bedroom units	42
Affordable housing 3 bedroom units	15
Ground-oriented units	0
Minimum unit floor area (m <sup>2</sup> )	25m <sup>2</sup>
Total residential floor area (m <sup>2</sup> )	13,197m <sup>2</sup>

Design Criteria for a High-Rise Residential Building	Recommended	Proposed
Site area for an interior lot – minimum	1 600sm	2 674.55sm
Tower setback from the street – minimum	3m	3.92m
Tower setback from the side and rear property lines - minimum	10m	10.42m min (west side)
Tower floor plate size – maximum	650m <sup>2</sup>	618m <sup>2</sup>
Floor plate width - consider a maximum of	24m	25.44m
Building Orientation	North-South	North-South

930 PANDORA - VEHICLE PARKING									
COMMUNITY CENTER					CA-1 Multiplier		ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
SCHEDULE C	Ratio	Area (sm)	Calculation	Rounded	0.5	Rounded			
DAYCARE	1/100sm	286	2.86	3	1.43	1			
OFFICE	1/70sm	0	0.0	0	0.00	0			
CC	1/30sm	1220	40.67	41	20.33	25			
TOTAL		1506	43.53	44.0	21.76	21	26	12	-9.00
Access:	Table 5			1 + 1 Van	1 Van	2 + 1 Van	2 + 1 Van		
AFFORDABLE HOUSING									
SCHEDULE C	Ratio	# of units	Calculation	Rounded	0.55	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
Unit Area	Ratio								
<45sm	0.2	34	6.8	7	18.7	19			
<70sm	0.5	109	54.5	54	59.95	60			
>70sm	0.75	15	11.25	11	8.25	8			
Visitor	0.1	158	15.8	16	0	0			
TOTAL							79	83	-6.00
Access:	Table 5			3 + 2 Van	86.9	87	3 + 2 Van	3 + 2 Van	
SUPPORTIVE HOUSING									
SCHEDULE C	Ratio	Area (sm)	Calculation	Rounded	0.5	Rounded	ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
L2-L3	1/80sm	2188	29.85	30	14.93	15	6	6	-9.00
ALL USES TOTAL									
SCHEDULE C TOTAL					CA-1 TOTAL		ORIGINALLY PROVIDED	PROVIDED DDP R2	DIFFERENCE FROM BYLAW
							123	111	-24.00

930 PANDORA - BIKE PARKING									
COMMUNITY CENTER					PROVIDED		DIFFERENCE		
SCHEDULE C - LONG TERM	Ratio	Area (sm)	Calculation	Rounded					
DAYCARE	1/700sm	286	0.41	1					
OFFICE	1/150sm	0	0.00	0					
CC	N/A	1220	N/A	0					
TOTAL					0.41	1	6	5.00	
SCHEDULE C - SHORT TERM	Ratio	Area (sm)	Calculation	Rounded			PROVIDED	DIFFERENCE	
DAYCARE	1/200sm	286	1.43	1					
OFFICE	1/400sm	0	0.00	0					
CC	1/200sm	1220	6.10	6					
TOTAL					2.53	7.0	8	1.00	
RESIDENTIAL (SUPPORTIVE AND AFFORDABLE HOUSING)									
SCHEDULE C - LONG TERM	Ratio	# of units	Calculation	Rounded			PROVIDED	DIFFERENCE	
Unit Area	Ratio								
<45sm	1	80	80	80	In-suite	47			
>45sm	1.25	125	156	156	In Parkade	196			
TOTAL							236	243	-7.00
SCHEDULE C - SHORT TERM	Ratio	Area (sm)	Calculation	Rounded			PROVIDED	DIFFERENCE	
Visitor	0.1	205	20.5	20			20	20	0.00
TOTAL							20	20	0.00

PROJECT DESCRIPTION

CIVIC ADDRESS:  
926/928 and 930/932 PANDORA AVE  
VICTORIA, BC  
LEGAL DESCRIPTION  
LOT 1 Suburban Lot 10 Victoria City Plan 16474  
PID: 000-764-281  
Charge on title: CA7382487 (Covenant)  
LOT A Suburban Lot 10 Victoria City Plan 11092  
PID: 000-764-281  
Charge on title: CA7382487 (Covenant)

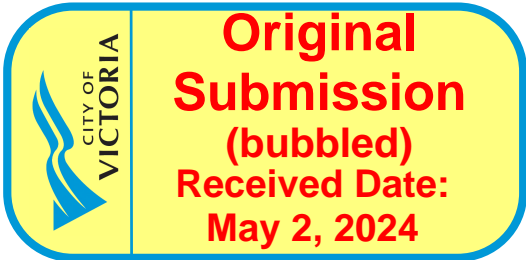
ZONING BYLAW SUMMARY

**BUILDING DESCRIPTION:**  
20-Storey non-combustible mixed use.  
**USES:**  
P2-P1: Group F-3 Parking Garage  
Level 1: Group A-2 Community Center and Daycare  
Level 2-20: Group C Residential  
**EXISTING ZONE:** CA-1  
**SITE AREA:** 2674.55m<sup>2</sup> (28 788 s.f.)  
**FLOOR AREA:**  
L1 COMMUNITY USE: 1 517m<sup>2</sup> (16 328s.f.)  
SUPPORTIVE HOUSING: 2 387m<sup>2</sup> (25 693s.f.)  
AFFORDABLE HOUSING: 10 744m<sup>2</sup> (115 647s.f.)  
**TOTAL PROPOSED:** 14 648m<sup>2</sup> (157 670s.f.)  
**TOTAL SPACE RATIO:** 5.498 : 1 FSR  
**GRADE OF BUILDING:** 24.98m (GEODETIC)  
**HEIGHT OF BUILDING:** 72.12m  
**NUMBER OF STOREYS:** 21 STOREYS  
**RESIDENTIAL PARKING:** 81 stalls (incl. 5 accessible)  
**COMMERCIAL PARKING:** 12 stalls (incl. 3 accessible)  
**SHF STAFF:** 6 stalls  
**BICYCLE PARKING:**  
CLASS 1: 249 (includes 12 staff stalls)  
SHORT TERM (RACK): 28

**L1 SETBACKS:**  
FRONT (Pandora): 0m  
REAR (Mason): 5.20m  
SIDE (East): 0.30m south / 9.80m north  
SIDE (West): 0.30m south / 6.47m north  
**TOWER SETBACKS:**  
FRONT (Pandora): 3.92m  
REAR (Mason): 15.33m  
SIDE (East): 18.76m  
SIDE (West): 10.42m  
**TOWER FLOORPLATE:** 618sm  
WIDTH (East-West): 25.44m  
DEPTH (North-South): 29.51m

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V8X 4A3  
Nathan Dunlop  
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ndunlop@mcelhinney.com



ANNOTATIONS LEGEND

The following annotations are used on architectural drawings and details:

BEDROOM [201]	ROOM NAME & ROOM NUMBER
[101a]	DOOR NUMBER See Door Schedule
[W-10]	WINDOW NUMBER See Window Schedule
[W1]	WALL TYPE See Assemblies Schedule
[2.0 hr]	RATED WALL DESIGNATION
[00.00]	ELEVATION DATUM
[2440]	CEILING HEIGHT
[Pattern]	AREA OF DROP CEILING
[1]	KEYNOTE SYMBOL
[12]	MATERIAL TAG
[1 A901]	INTERIOR ELEVATION REFERENCE
[W1 C1 F1 B1]	ROOM FINISHES

24-11-22	Issued for DP Amendment
23-06-20	Issued for DDP Rev. 2
23-03-21	Issued for DDP Rev. 1

Plot Date	24-11-22	Drawing File	Development Permit
Drawn By	JY/IS	Checked By	JY/RAW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

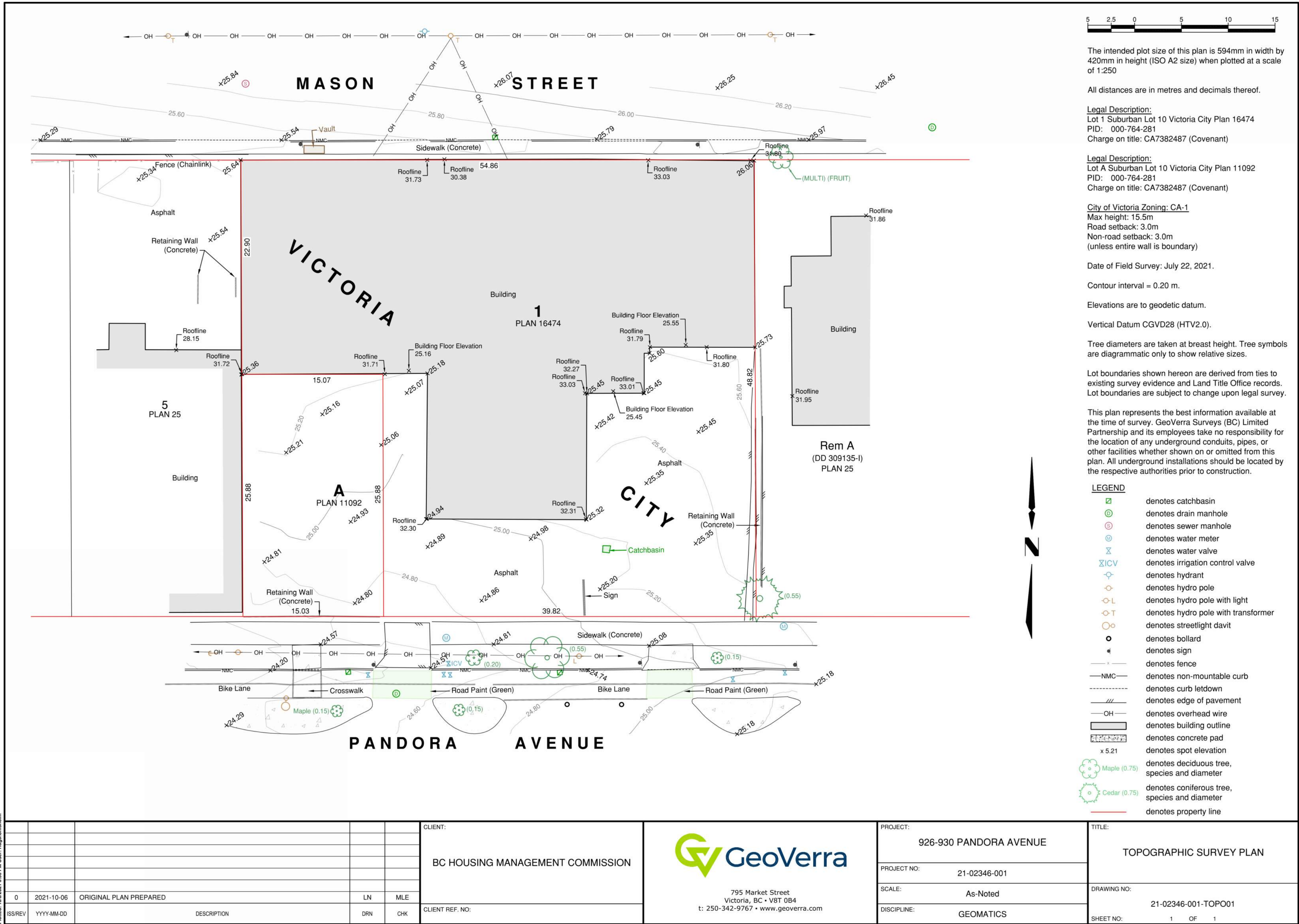
930 Pandora

Project Data



dhK Architects  
Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way  
V8V 3K3 T 1-250-658-3367  
V9T 0H2 T 1-250-585-5810  
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24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date: 24-11-22 Drawing File: Issued for Development Permit  
Drawn By: JY/IS Checked By: JY/RAW  
Scale: Project Number: 2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

Site Survey



A002

dHKarchitects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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1 Pandora Street Frontage  
A003 SCALE: 1 : 1



2 Mason Street Frontage  
A003 SCALE: 1 : 1

24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date	24-11-22	Drawing File	Issued for Development Permit
Drawn By	Author	Checked By	Checker
Scale	1 : 1	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

Street Views



A003

dHKarchitects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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3 View Looking North East  
A004 SCALE: 1 : 1



5 View Looking North  
A004 SCALE: 1 : 1



1 View Looking South West  
A004 SCALE: 1 : 1



2 View Looking East  
A004 SCALE: 1 : 1



6 View Looking West  
A004 SCALE: 1 : 1



4 View Looking South  
A004 SCALE: 1 : 1

24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for  
Drawn By JY/IS Checked By Development Permit  
Scale 1 : 1 Project Number JY/RAW  
2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

Skyline Analysis



A004

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Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
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1 View From Pandora at Vancouver  
A005 SCALE: 1 : 1



2 View From Pandora at Quadra  
A005 SCALE: 1 : 1



3 Quadra at Mason  
A005 SCALE: 1 : 1



4 View From Mason at Vancouver  
A005 SCALE: 1 : 1

24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for  
Development Permit  
Drawn By JY/IS Checked By JY/RAW  
Scale 1 : 1 Project Number 2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

View Analysis



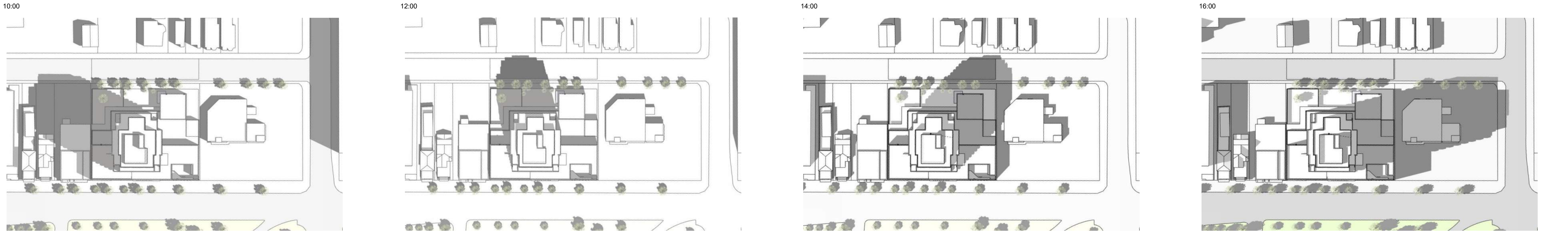
A005

dHKarchitects  
Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
Nanaimo  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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SUMMER SOLSTICE



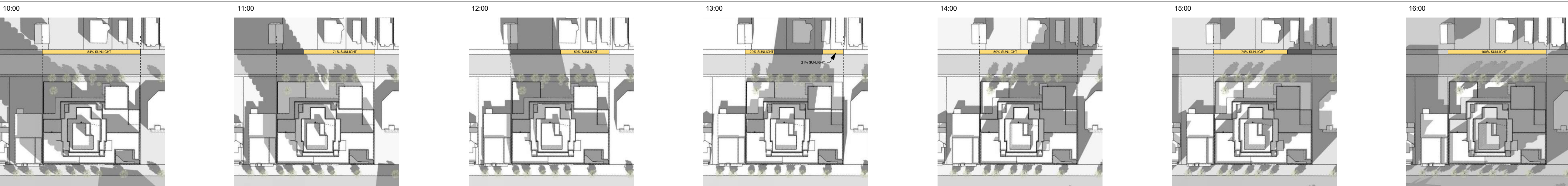
EQUINOX



WINTER SOLSTICE



SHADOW CALCULATIONS - EQUINOX



Plot Date	24-11-22	Drawing File	Issued for Development Permit
Drawn By	JY/IS	Checked By	JY/RAW
Scale	1 : 1	Project Number	2141
NOTE: All dimensions are shown in millimeters.			

930 Pandora

Shadow Studies

dHka

A006

dHKarchitects

Victoria

977 Fort Street

Nanaimo

102-5190 Dublin Way

V8V 3K3

V9T 0H2

T 1-250-658-3367

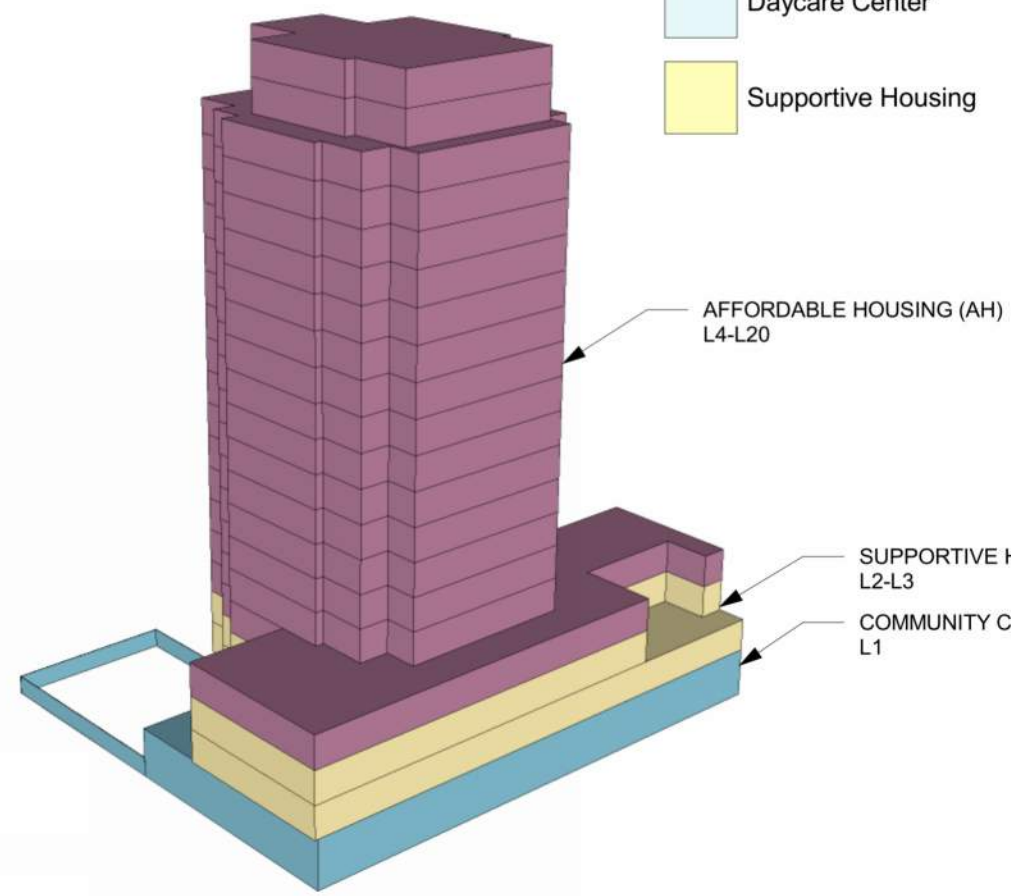
T 1-250-585-5810

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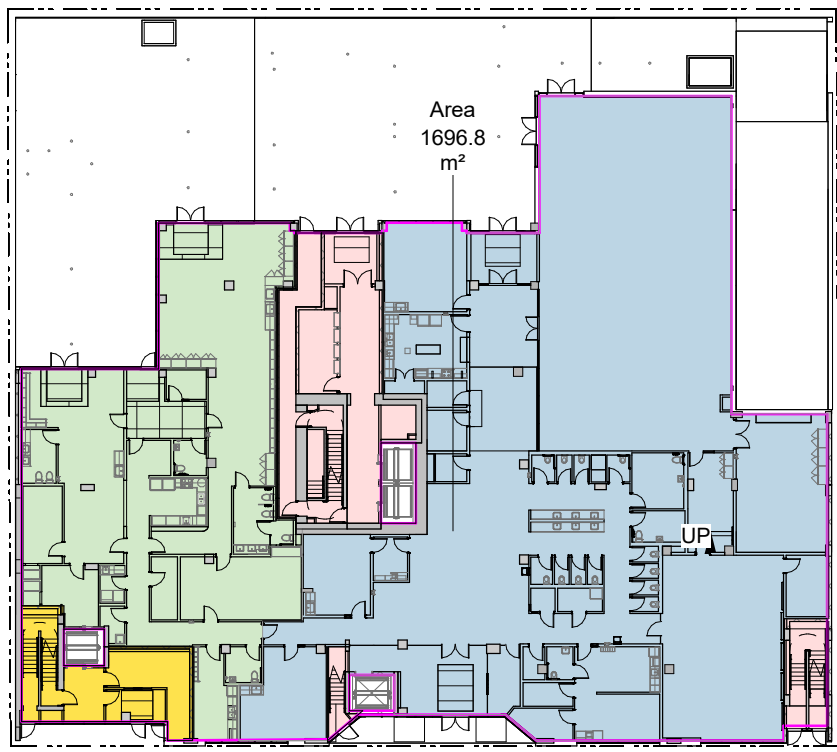
LEVEL	COMMUNITY CENTER	DAYCARE CENTER	AFFORDABLE HOUSING	SUPPORTIVE HOUSING
L1	1,053.9	413.9	166.4	62.4
Mezzanine Exit			97.2	
L2				1,212.2
L3				1,129.6
L4			1,129.8	
L5			621.5	
L6-18			621.5	
L19-20			370.1	
	1,053.90	413.9	10,834.60	2,404.18
TOTAL	14,706.58			
Site Area	2,674.55			
FSR	5.499			

1 FSR Calculations  
A007 SCALE: 1 : 500

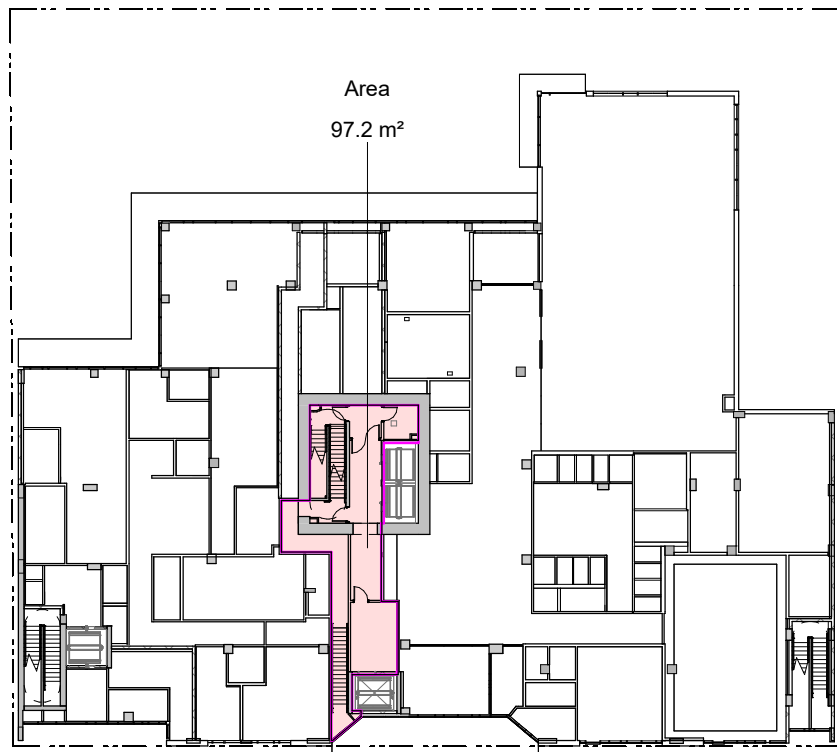


Area Legend

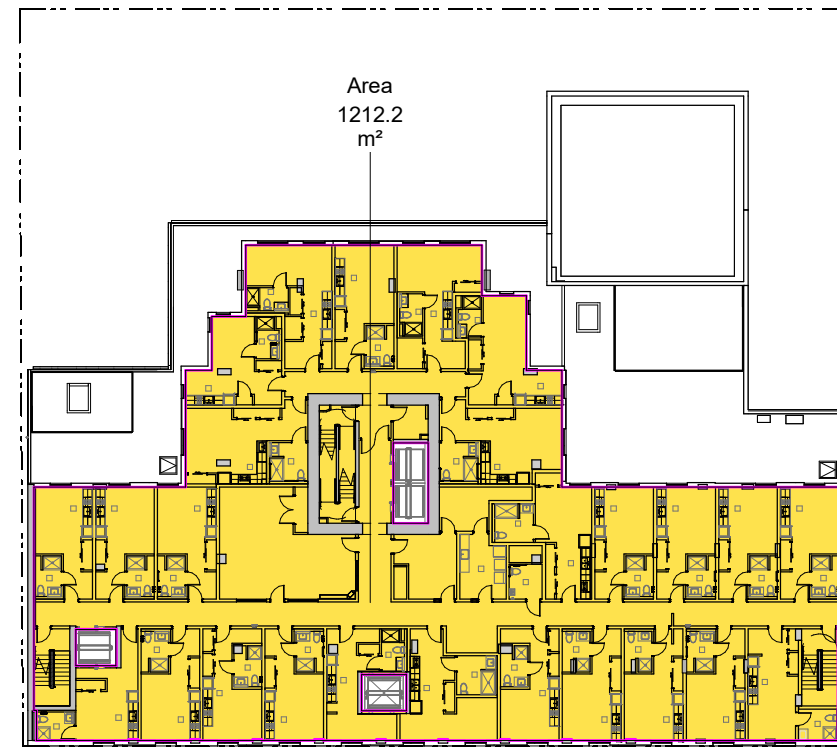
- Affordable Housing
- Community Center
- Daycare Center
- Supportive Housing



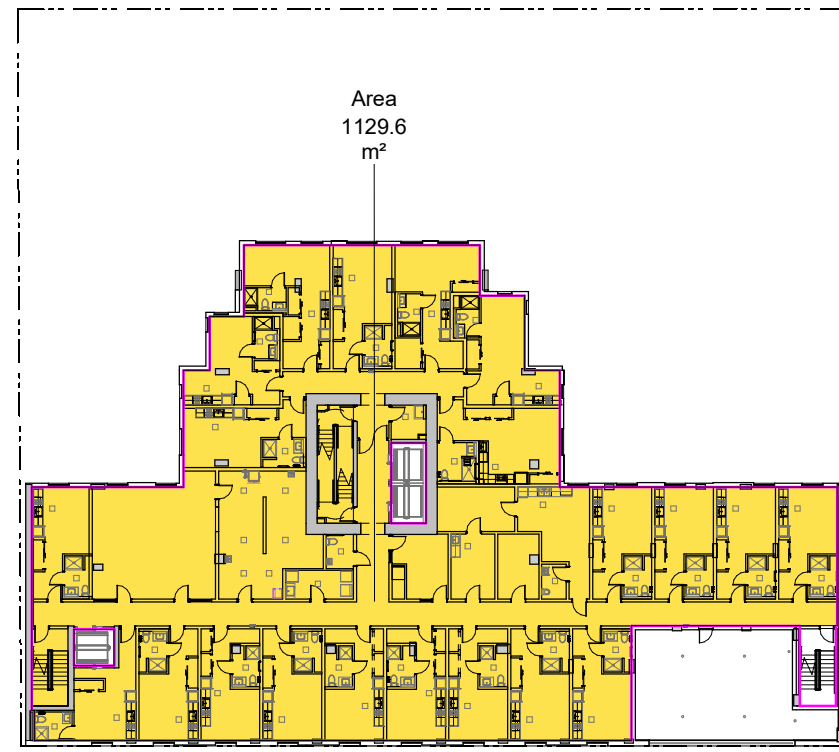
L1 FSR



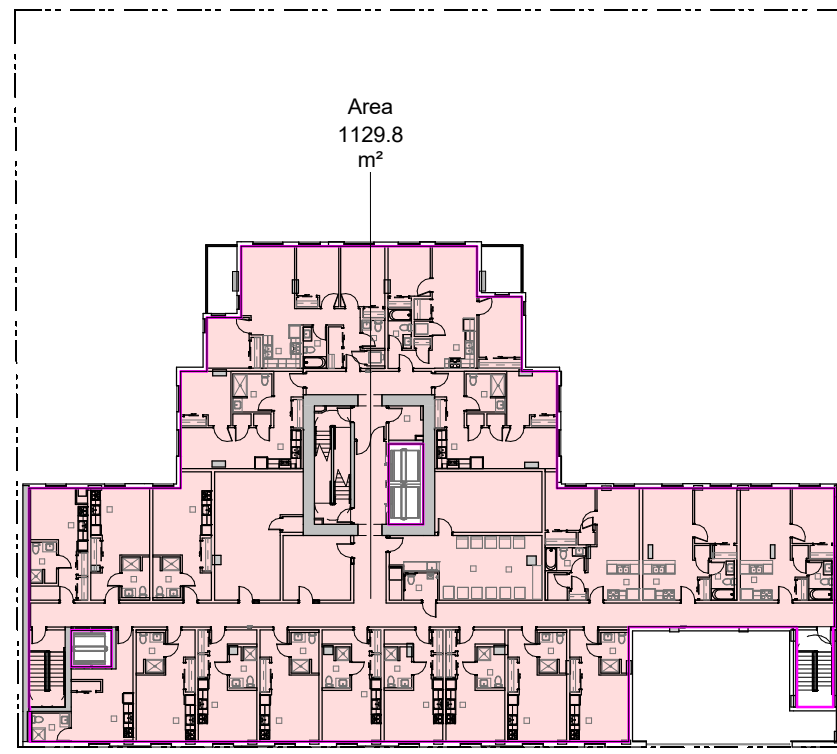
MEZZANINE FSR



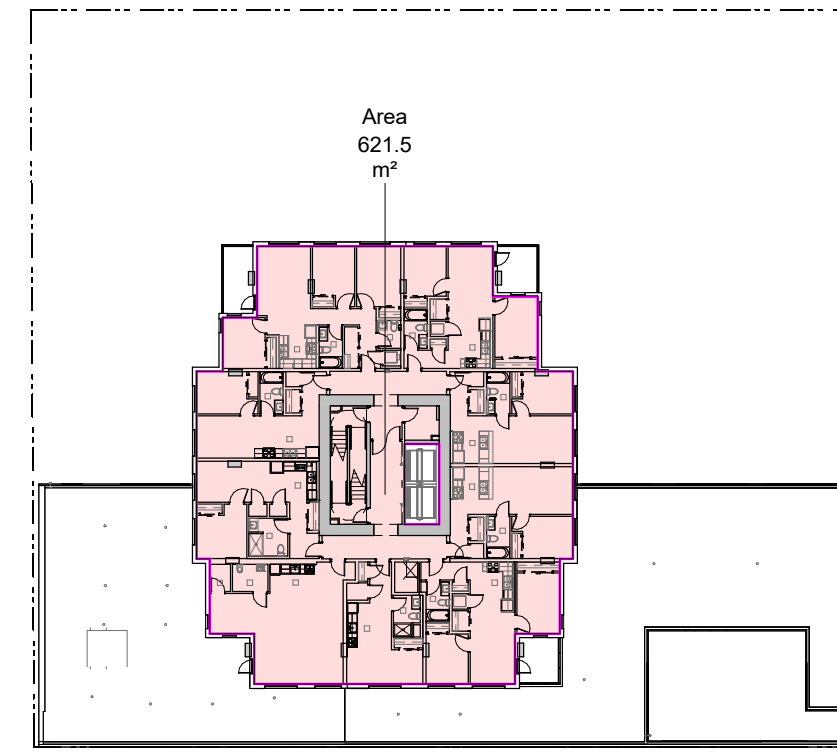
L2 FSR



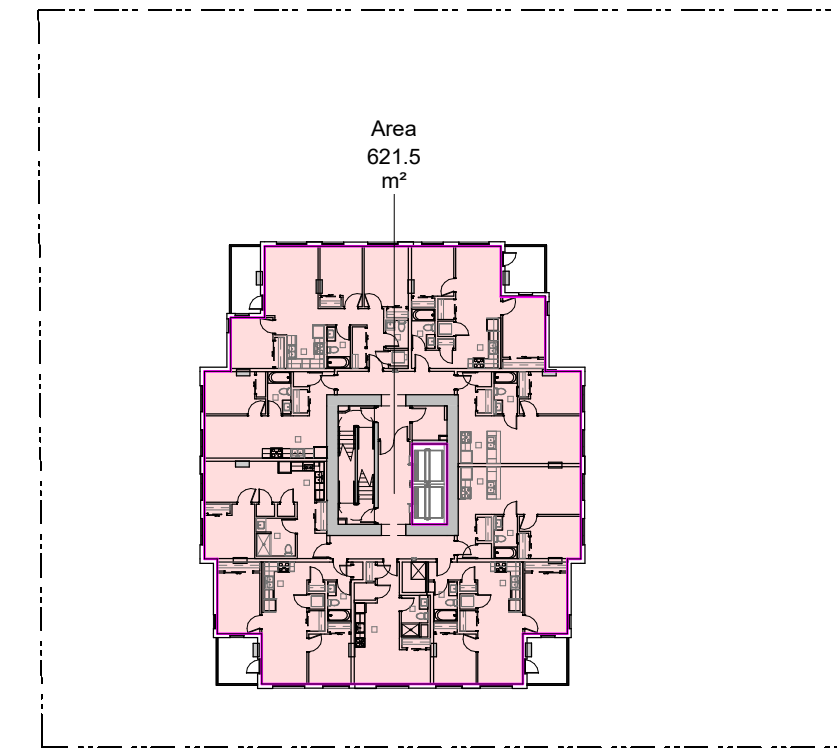
L3 FSR



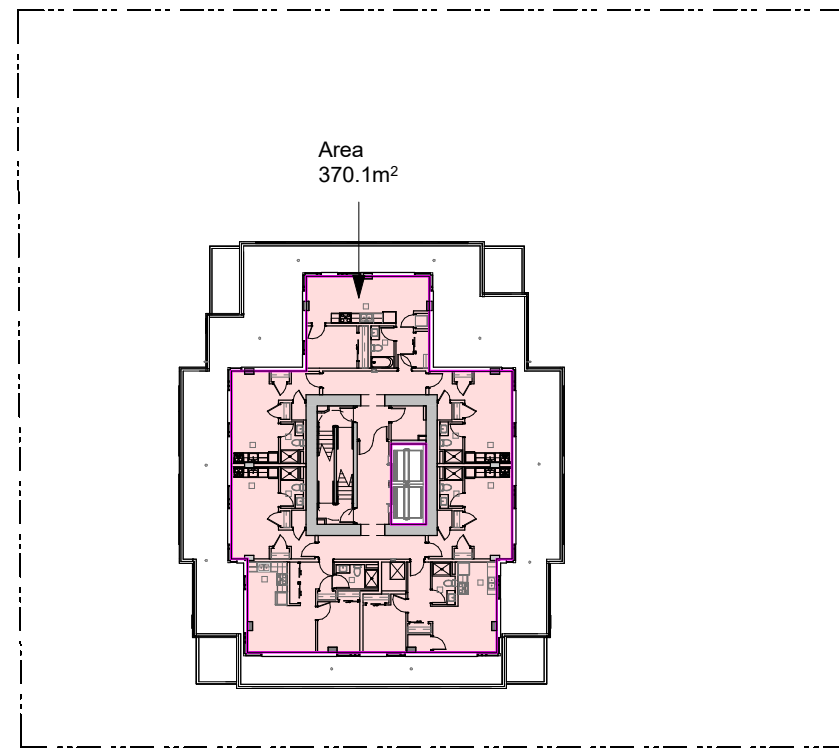
L4 FSR



L5 FSR



L6-L18 FSR



L19-L20 FSR

#### UNIT TYPES

TYPE	AREA	COUNT
UNIT 0A	28.26 m²	40
UNIT 0B	26.41 m²	3
UNIT 0C	24.94 m²	1
UNIT 0D	29.36 m²	1
UNIT 0E	39.18 m²	1
UNIT 0F	33.14 m²	1
UNIT 0G	39.63 m²	3
UNIT 0H	30.60 m²	2
UNIT 0I	36.89 m²	2
UNIT 0J	33.86 m²	2
UNIT 0K	35.39 m²	2
UNIT 0L	36.52 m²	1
UNIT 0M	29.68 m²	8
UNIT 0N	33.99 m²	14
UNIT 1A	45.28 m²	3
UNIT 1B	54.03 m²	8
UNIT 1C.1	47.05m²	8
UNIT 1C	49.05 m²	42
UNIT 1D	48.00 m²	6
UNIT 2A	60.43 m²	42
UNIT 3A	83.15 m²	15
TOTAL		205

GRADE POINT	EXISTING GRADE (m)	DESIGN GRADE (m)
A	25.10	24.95
B	25.10	24.95
C	25.16	24.95
D	25.16	24.95
E	25.16	25.20
F	25.16	25.20
G	25.16	25.20
H	25.16	25.20
I	25.16	25.20
J	25.16	25.20
K	25.16	25.20
L	25.16	25.20
M	25.16	26.05
N	25.16	26.05
O	25.50	25.20
P	25.50	22.76
Q	25.60	22.76
R	25.60	25.60
S	25.30	25.30
T	25.30	25.30
U	25.30	25.30
V	25.06	25.06
W	24.95	24.95
X	24.85	24.90
Y	24.80	24.82
Z	24.66	24.66
AA	24.66	24.50
BB	24.44	24.50

GRADE POINTS	DISTANCE BETWEEN GRADE POINTS (mm)	CALCULATION
A to B	9,306	233.58
B to C	9,668	242.96
C to D	9,450	237.76
D to E	718	18.06
E to F	5,203	130.91
F to G	718	18.06
G to H	6,205	156.12
H to I	718	18.06
I to J	4,204	105.77
J to K	9,140	229.96
K to L	3,709	93.32
L to M	9,587	241.21
M to N	21,077	530.72
N to O	6,323	143.91
O to P	21,271	541.35
P to Q	2,690	68.06
Q to R	797	20.16
R to S	16,600	417.99
S to T	2,804	70.11
T to U	9,581	238.57
U to V	2,784	69.11
V to W	10,930	270.30
W to X	1,432	35.31
X to Y	9,525	233.84
Y to Z	24,756	613.21
Z to AA		
AA to BB		
BB to A		
PERIMETER (m)	199	TOTAL 4978.42

AVERAGE GRADE 24.99



3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	Author	Checked By	Checker
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
Bylaw Calculations

dHka A007

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Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way  
V8V 3K3 T 1-250-658-3367  
V9T 0H2 T 1-250-585-5810  
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General Notes

1. Refer to Civil drawings for all roadways, driveways, curbs, and grading.
2. Refer to Landscape drawings for all hard and soft landscaping on site, and design of outdoor public and amenity spaces.
3. Refer to A002 Survey for Property line dimensions and existing grades
4. Refer to A003 for proposed grades at building footprint.
5. Refer to A221 L1 Overall Plan for ground level grading, access, and site design.
6. Refer to Overall Plans for rooftop details.



3	24-11-22	Issued for DDP Amendment
2	24-11-22	BP Revision 2
1	24-10-22	Issued For Tender
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/BL	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
Site Plan



A101

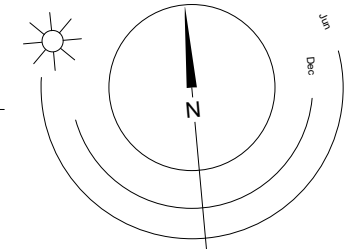
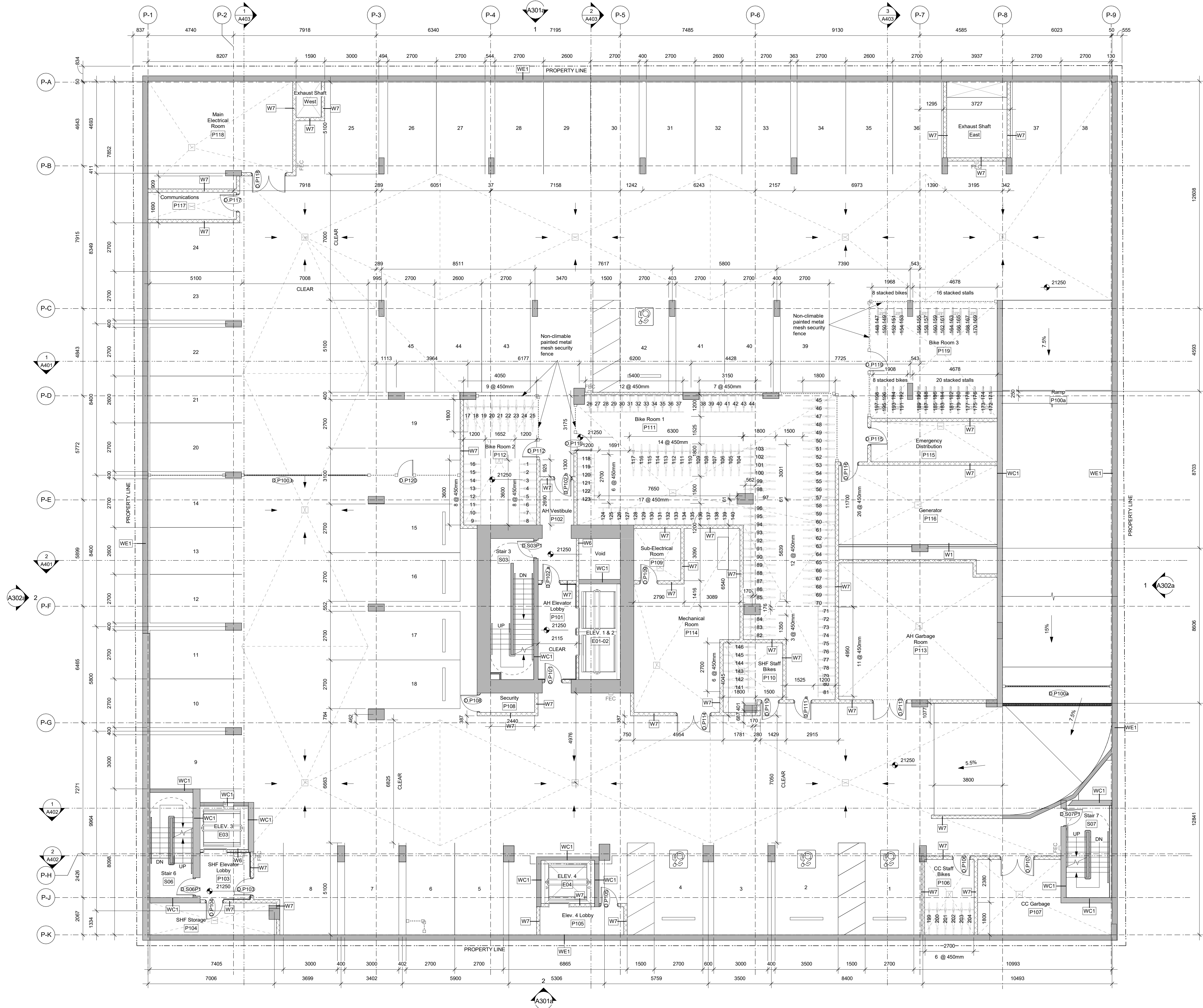
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### General Notes

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- Provide self closing mechanisms, lever hardware, and positive latching strikes for all vestibule and fire rated doors.
- Refer to A500-A504 for stair details.
- Provide water resistant gypsum ceramic tile backerboard in place of Type 'X' gypsum wall board at tub and shower surrounds.
- Fully acoustically insulate all walls containing plumbing drains.
- Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
- Ensure all studs installed adjacent to interior suite/shear walls have 12 mm minimum air space to ensure no contact to achieve STC value.
- Provide furring to ensure all wall types have a flush face of drywall.
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall not be less than 2100 mm to U/s of all ducting, plumbing, and sprinklers.
- Paint all exposed piping and supports black. Gas to be painted yellow.
- Electrical closets to have 19 mm G1S plywood 2440 mm high on rear and side walls, painted with white-intumescent paint.
- Maintain continuous GWB at all fire separations.
- Recess all fire extinguisher cabinets. Ensure integrity of rated separation behind is maintained. Fire Extinguishers to be installed in accordance with Article 2.1.5.1 of the Fire Code and with NFPA 10, "Portable Fire Extinguishers", 2013 Edition. Locations to be confirmed by architect with input from AHJ.
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- RCPs to be read with Electrical and Mechanical plans for additional fixture information and locations.
- All architectural concrete edges to be chamfered, typical.
- Refer to the Annotation Legend on sheet A001.
- Refer to Interior Room Finishes Schedule A720-A727.
- Refer to Arborist Report for tree retention.

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

**930 Pandora**  
926-930 Pandora Ave  
Victoria, BC  
**P1 - Overall Plan**



**A202**  
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Victoria  
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# General Notes

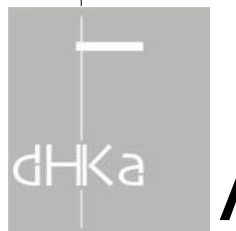
1. All dimensions are in metric and shown in millimeters.
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8. Refer to A500-A504 for stair details.
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11. Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
12. Ensure all studs installed adjacent to interior suite/shear walls have 12 mm minimum air space to ensure no contact to achieve STC value.
13. Provide furring to ensure all wall types have a flush face of drywall.
14. Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
15. Clear height in parking garage shall not be less than 2100 mm to U/s of all ducting, plumbing, and sprinklers.
16. Paint all exposed piping and supports black. Gas to be painted yellow.
17. Electrical closets to have 19 mm G1S plywood 2440 mm high on rear and side walls, painted with white-intumescent paint.
18. Maintain continuous GWB at all fire separations.
19. Recess all fire extinguisher cabinets. Ensure integrity of rated separation behind is maintained. Fire Extinguishers to be installed in accordance with Article 2.1.5.1 of the Fire Code and with NFPA 10, "Portable Fire Extinguishers", 2013 Edition. Locations to be confirmed by architect with input from AHJ.
20. Install all laundry appliances on neoprene isolator pads, typical.
21. All exterior panel trims and flashings to be colour matched to adjacent material.
22. RCPs to be read with Electrical and Mechanical plans for additional fixture information and locations.
23. All architectural concrete edges to be chamfered, typical.
24. Refer to the Annotation Legend on sheet A001.
25. Refer to Interior Room Finishes Schedule A720-A727.
26. Refer to Arborist Report for tree retention.

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

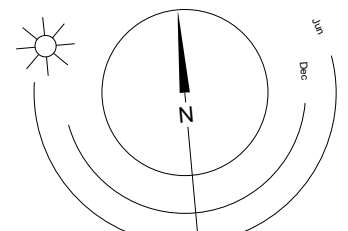
**930 Pandora**  
**926-930 Pandora Ave**  
**Victoria, BC**  
**L1 - Overall Plan**



**A203**

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0 2500 5000 mm  
1: 100





### General Notes

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3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

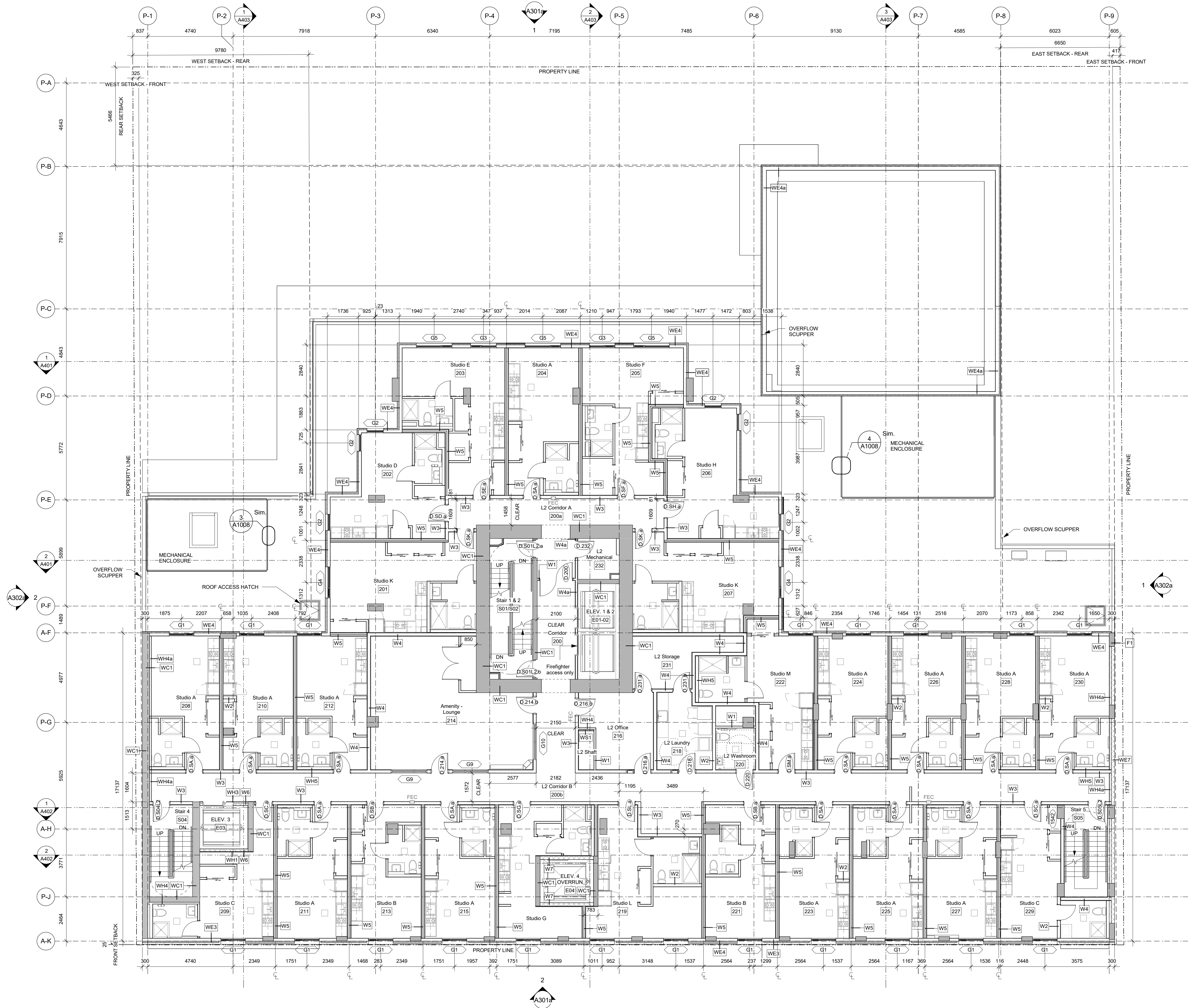
**930 Pandora**  
926-930 Pandora Ave  
Victoria, BC  
**Mezzanine - Overall Plan**



**A204**

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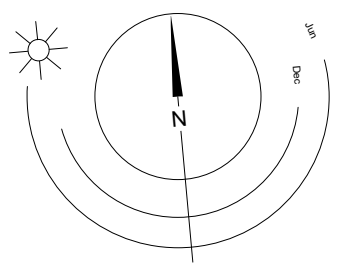
- General Notes**
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3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/ICM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

**930 Pandora**  
926-930 Pandora Ave  
Victoria, BC  
**L2 - Overall Plan**



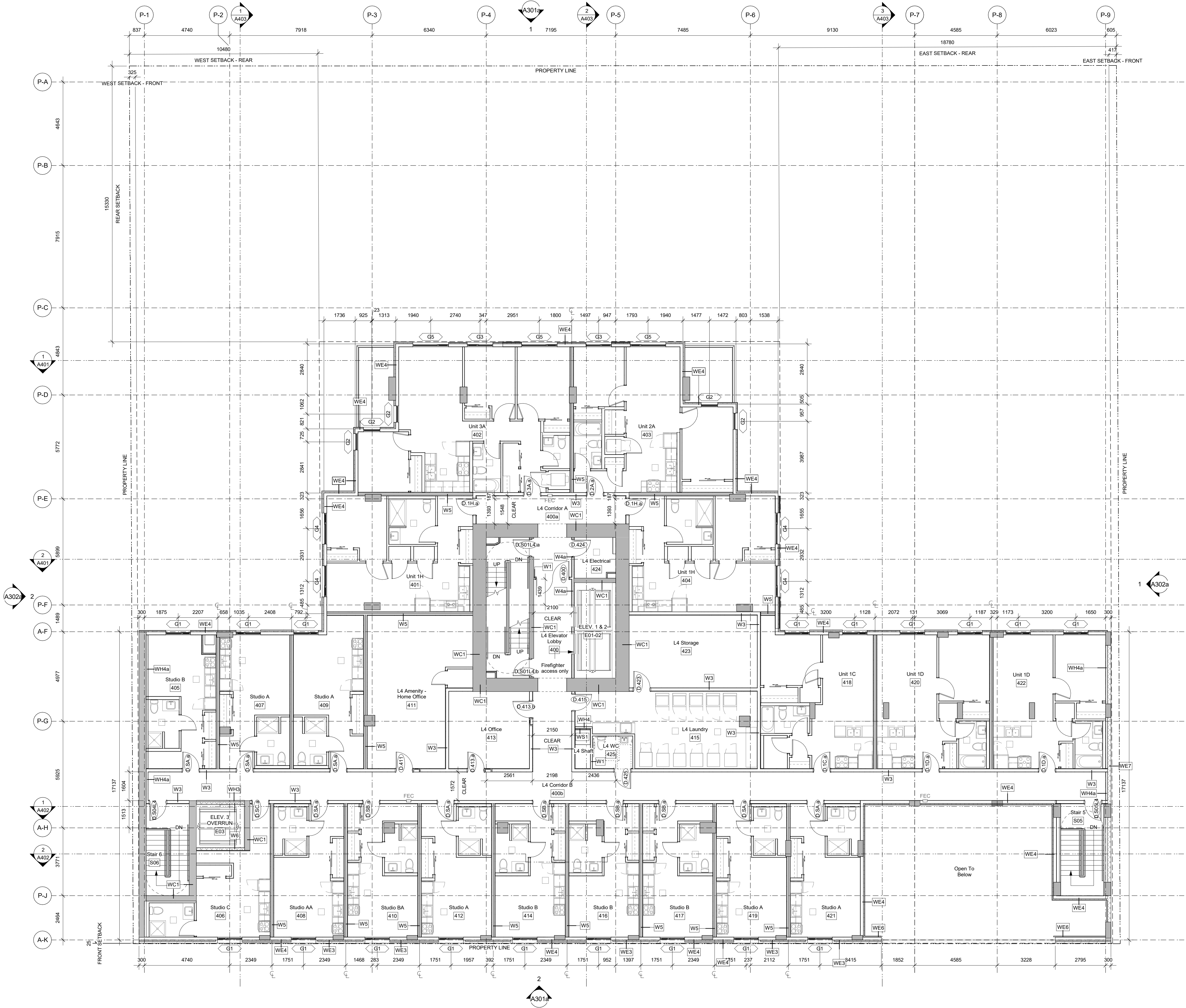
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Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way  
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- Refer to Arborist Report for tree retention.

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

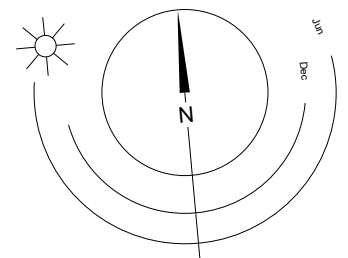
NOTE: All dimensions are shown in millimeters.

**930 Pandora**  
**926-930 Pandora Ave**  
**Victoria, BC**  
**L4 - Overall Plan**



**A207**

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Victoria  
977 Fort Street  
Nanaimo  
102-5190 Dublin Way  
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V9T 0H2 T 1-250-585-5810  
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0 2500 5000 mm  
1 : 100



L5, L10, L15, L19 have been designed as emergency cross over floors in compliance with 3.4.6.18

General Notes

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4	24-11-22	Issued for DDP Amendment
3	24-10-22	Issued For Tender
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

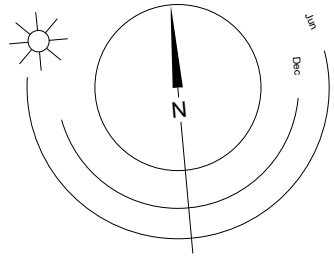
930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
L5 - Overall Plan



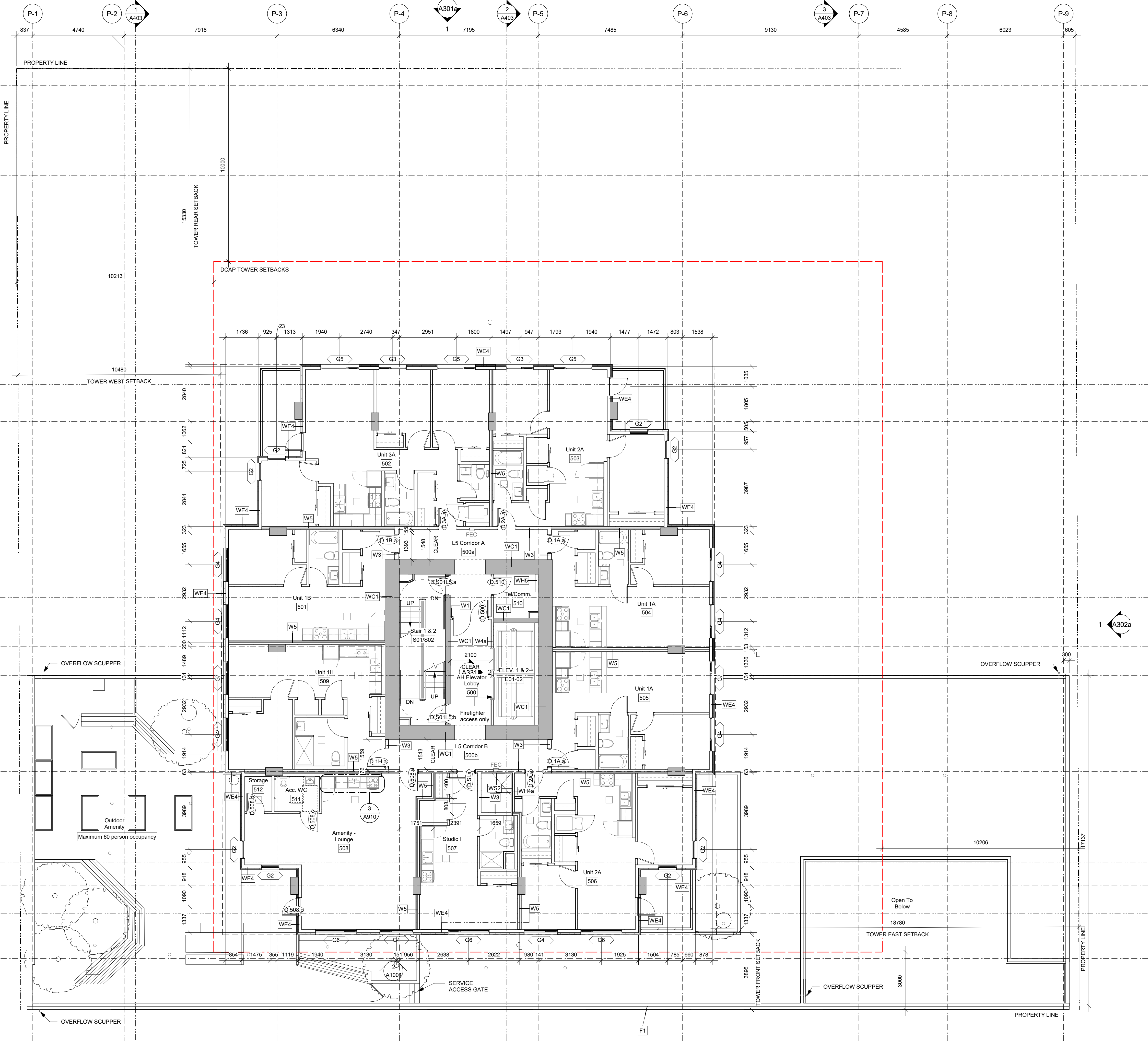
A208

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977 Fort Street V8V 3K3 T 1-250-658-3367  
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102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

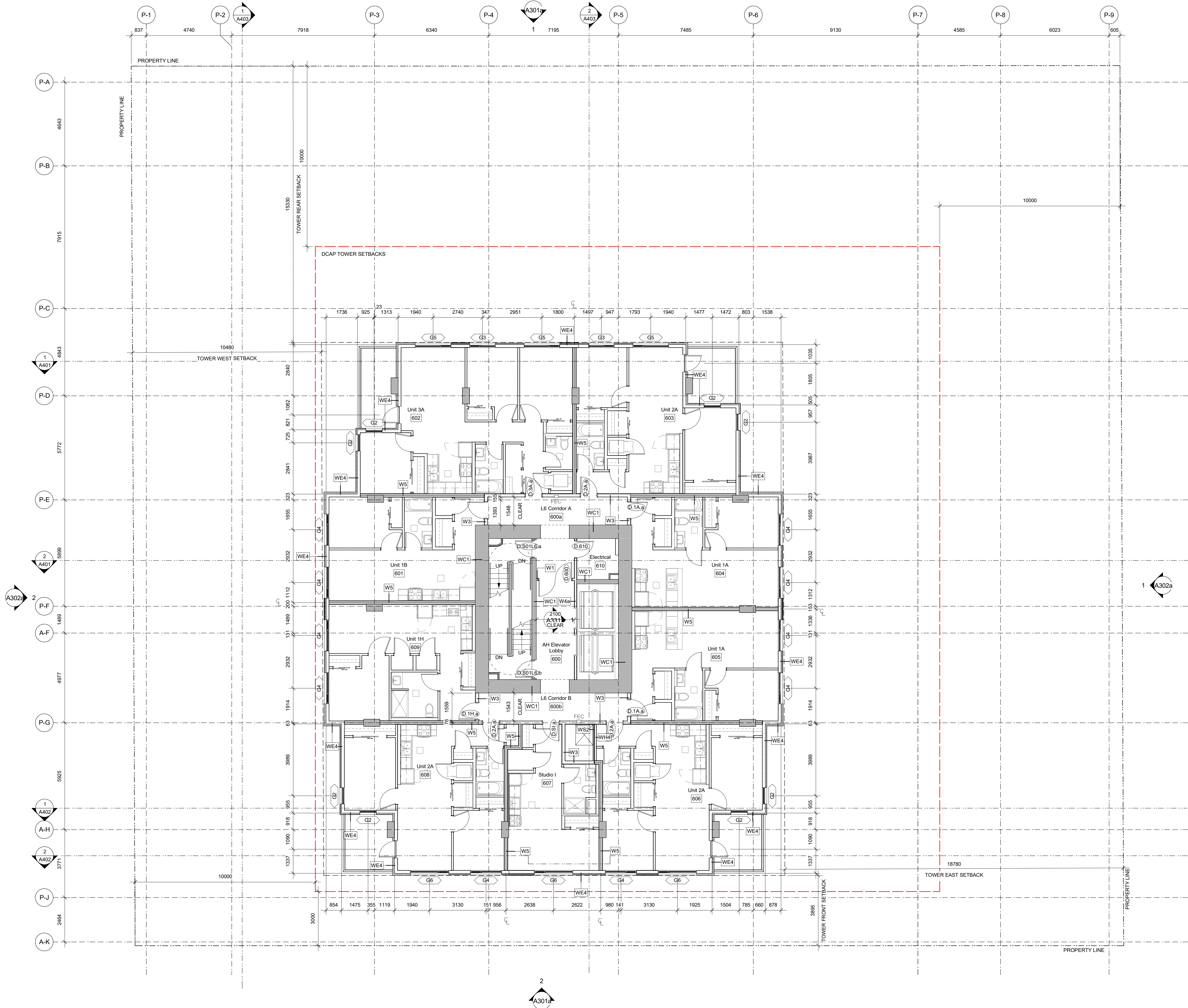
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0 2500 5000 mm  
1 : 100







L5, L10, L15, L19 have been designed as emergency cross over floors in compliance with 3.4.6.18

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Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

**930 Pandora**  
**926-930 Pandora Ave**  
**Victoria, BC**  
**L6-L18 - Overall Plan**



**A209**

**dHk Architects**  
**Victoria**  
977 Fort Street V8V 3K3 T 1-250-658-3367  
**Nanaimo**  
102-5190 Dublin Way V9T 0H2 T 1-250-585-5810

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L5, L10, L15, L19 have been designed as emergency cross over floors in compliance with 3.4.6.18

General Notes

- All dimensions are in metric and shown in millimeters.
- All dimensions are to gridlines, face of concrete, centerline of party walls, exterior face of sheathing, or corridor face of corridor framing unless noted otherwise.
- All gridlines are to centerline of party wall framing, exterior face of exterior sheathing, or corridor face of corridor framing unless noted otherwise. Refer to Details to confirm.
- Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
- All existing and new datums are geodetic in meters.
- Windows not located with dimensions are located in line with the windows from the floor below.
- Provide self closing mechanisms, lever hardware, and positive latching strikes for all vestibule and fire rated doors.
- Refer to A500-A504 for stair details.
- Provide water resistant gypsum ceramic tile backerboard in place of Type 'X' gypsum wall board at tub and shower surrounds.
- Fully acoustically insulate all walls containing plumbing drains.
- Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
- Ensure all studs installed adjacent to interior suite/shear walls have 12 mm minimum air space to ensure no contact to achieve STC value.
- Provide furring to ensure all wall types have a flush face of drywall.
- Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
- Clear height in parking garage shall not be less than 2100 mm to U/s of all ducting, plumbing, and sprinklers.
- Paint all exposed piping and supports black. Gas to be painted yellow.
- Electrical closets to have 19 mm G1S plywood 2440 mm high on rear and side walls, painted with white-intumescent paint.
- Maintain continuous GWB at all fire separations.
- Recess all fire extinguisher cabinets. Ensure integrity of rated separation behind is maintained. Fire Extinguishers to be installed in accordance with Article 2.1.5.1 of the Fire Code and with NFPA 10, "Portable Fire Extinguishers", 2013 Edition. Locations to be confirmed by architect with input from AHJ.
- Install all laundry appliances on neoprene isolator pads, typical.
- All exterior panel trims and flashings to be colour matched to adjacent material.
- RCPs to be read with Electrical and Mechanical plans for additional fixture information and locations.
- All architectural concrete edges to be chamfered, typical.
- Refer to the Annotation Legend on sheet A001.
- Refer to Interior Room Finishes Schedule A720-A727.
- Refer to Arborist Report for tree retention.

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
L19-L20 - Overall  
Plan



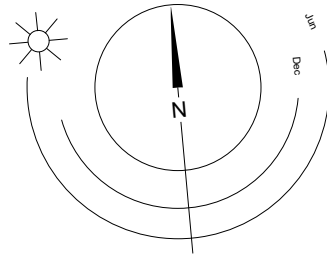
A210

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977 Fort Street  
Nanaimo  
102-5190 Dublin Way

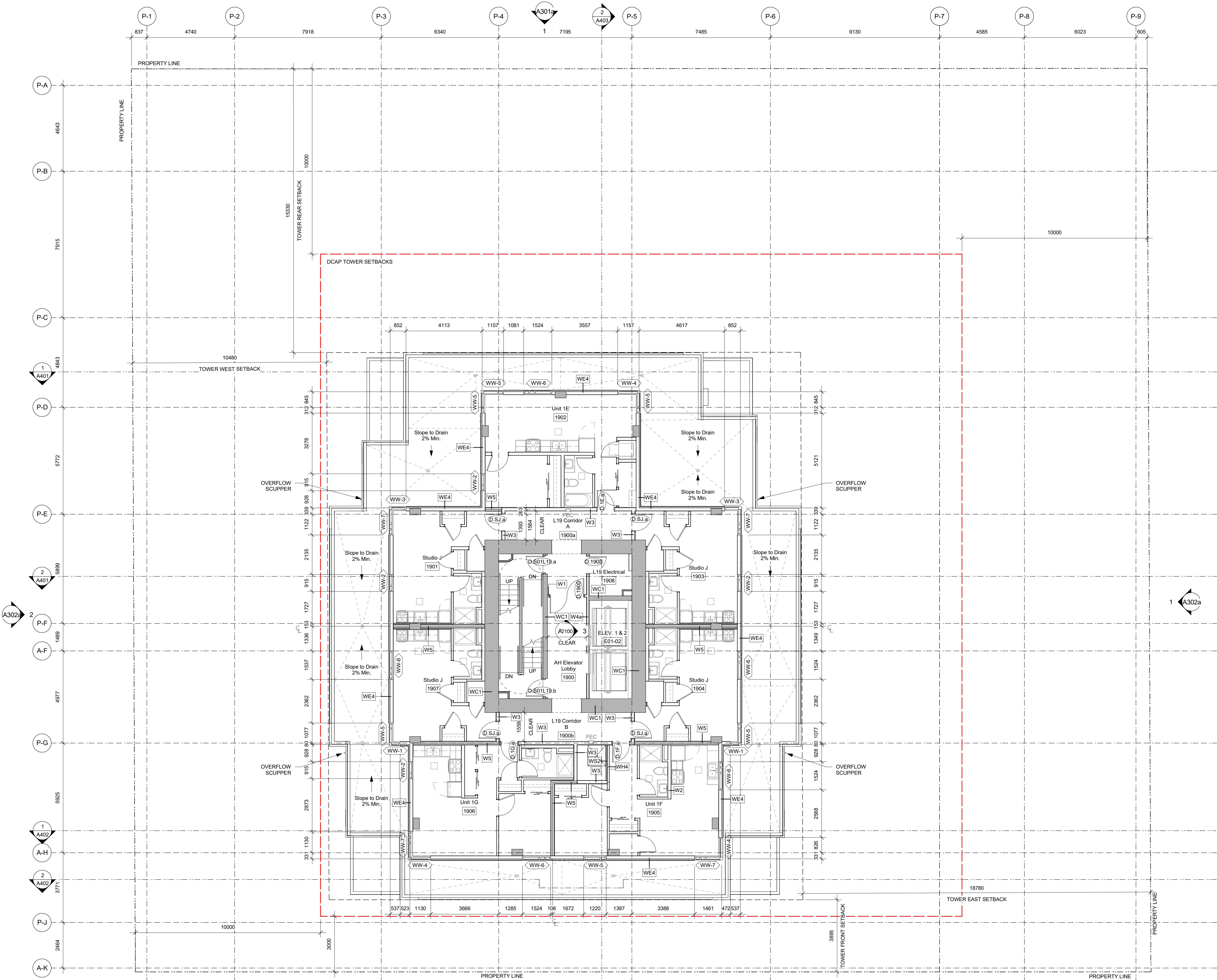
V8V 3K3 T 1-250-658-3367

V9T 0H2 T 1-250-585-5810

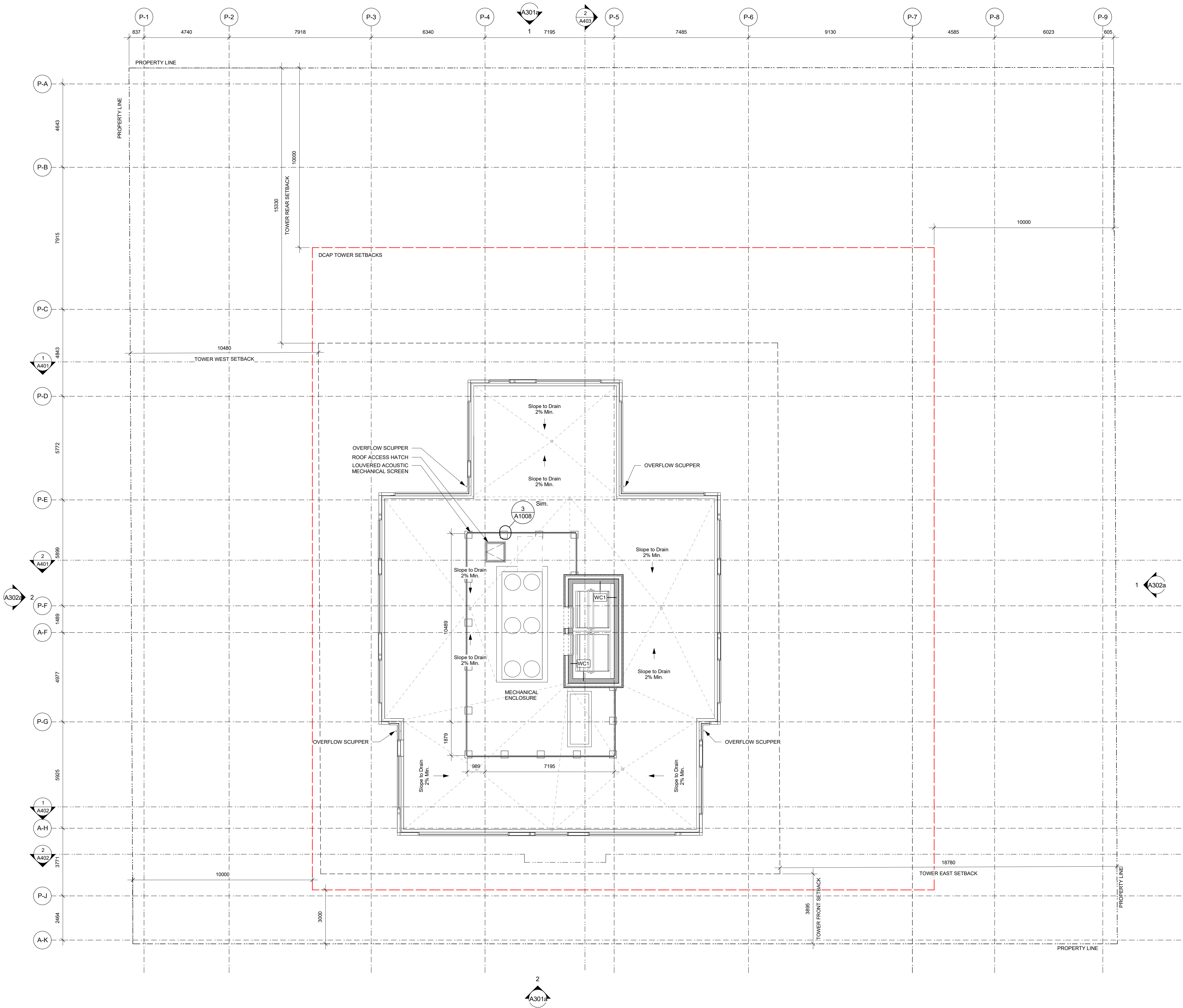
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0 2500 5000 mm  
1 : 100







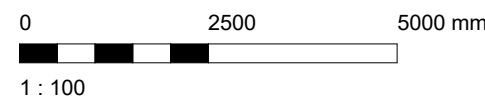
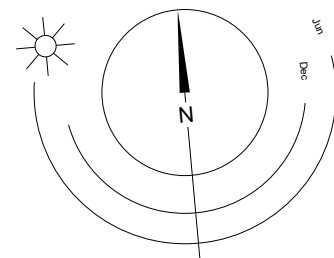
- General Notes**
- All dimensions are in metric and shown in millimeters.
  - All dimensions are to gridlines, face of concrete, centerline of party walls, exterior face of sheathing, or corridor face of corridor framing unless noted otherwise.
  - All gridlines are to centerline of party wall framing, exterior face of exterior sheathing, or corridor face of corridor framing unless noted otherwise. Refer to Details to confirm.
  - Contractor to verify all dimensions and confirm same on site. Architect to be notified in case of any discrepancies.
  - All existing and new datums are geodetic in meters.
  - Windows not located with dimensions are located in line with the windows from the floor below.
  - Provide self closing mechanisms, lever hardware, and positive latching strikes for all vestibule and fire rated doors.
  - Refer to A500-A504 for stair details.
  - Provide water resistant gypsum ceramic tile backerboard in place of Type 'X' gypsum wall board at tub and shower surrounds.
  - Fully acoustically insulate all walls containing plumbing drains.
  - Provide solid blocking in walls around toilets, showers, and washroom accessories in all bathrooms, as noted on interior elevations.
  - Ensure all studs installed adjacent to interior suite/shear walls have 12 mm minimum air space to ensure no contact to achieve STC value.
  - Provide furring to ensure all wall types have a flush face of drywall.
  - Offset door rough opening min. 75 mm from adjacent wall surface where space allows, unless noted otherwise.
  - Clear height in parking garage shall not be less than 2100 mm to U/s of all ducting, plumbing, and sprinklers.
  - Paint all exposed piping and supports black. Gas to be painted yellow.
  - Electrical closets to have 19 mm G1S plywood 2440 mm high on rear and side walls, painted with white-intumescent paint.
  - Maintain continuous GWB at all fire separations.
  - Recess all fire extinguisher cabinets. Ensure integrity of rated separation behind is maintained. Fire Extinguishers to be installed in accordance with Article 2.15.1 of the Fire Code and with NFPA 10, "Portable Fire Extinguishers", 2013 Edition. Locations to be confirmed by architect with input from AHJ.
  - Install all laundry appliances on neoprene isolator pads, typical.
  - All exterior panel trims and flashings to be colour matched to adjacent material.
  - RCPs to be read with Electrical and Mechanical plans for additional fixture information and locations.
  - All architectural concrete edges to be chamfered, typical.
  - Refer to the Annotation Legend on sheet A001.
  - Refer to Interior Room Finishes Schedule A720-A727.
  - Refer to Arborist Report for tree retention.

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2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/ICM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

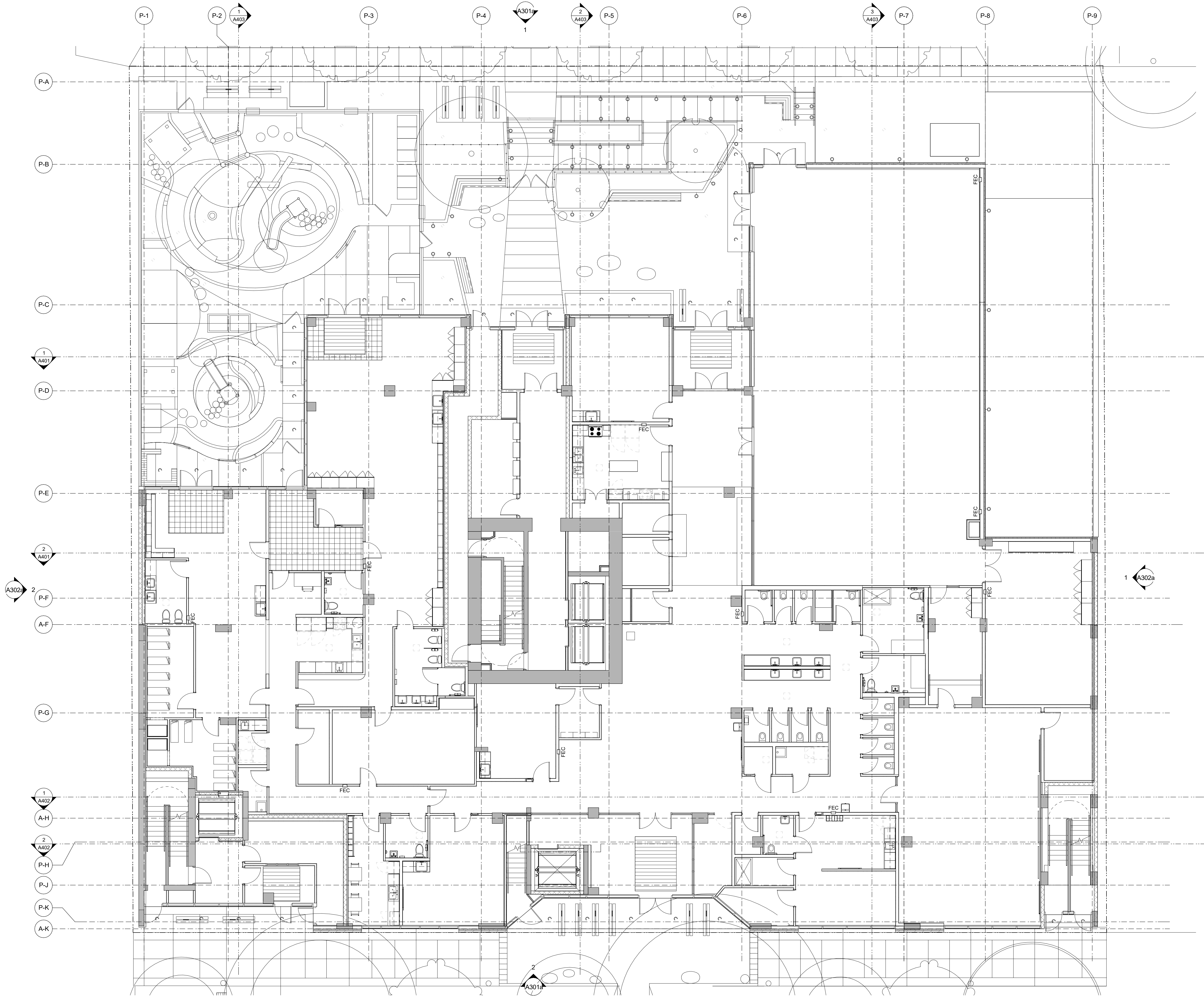
**930 Pandora**  
**926-930 Pandora Ave**  
**Victoria, BC**  
**Roof Overall Plan**



**A211**

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977 Fort Street  
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102-5190 Dublin Way  
**V8V 3K3 T 1-250-658-3367**  
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Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	Author	Checked By	Checker
Scale	1 : 100	Project Number	2141

NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
L1 Lighting Plan

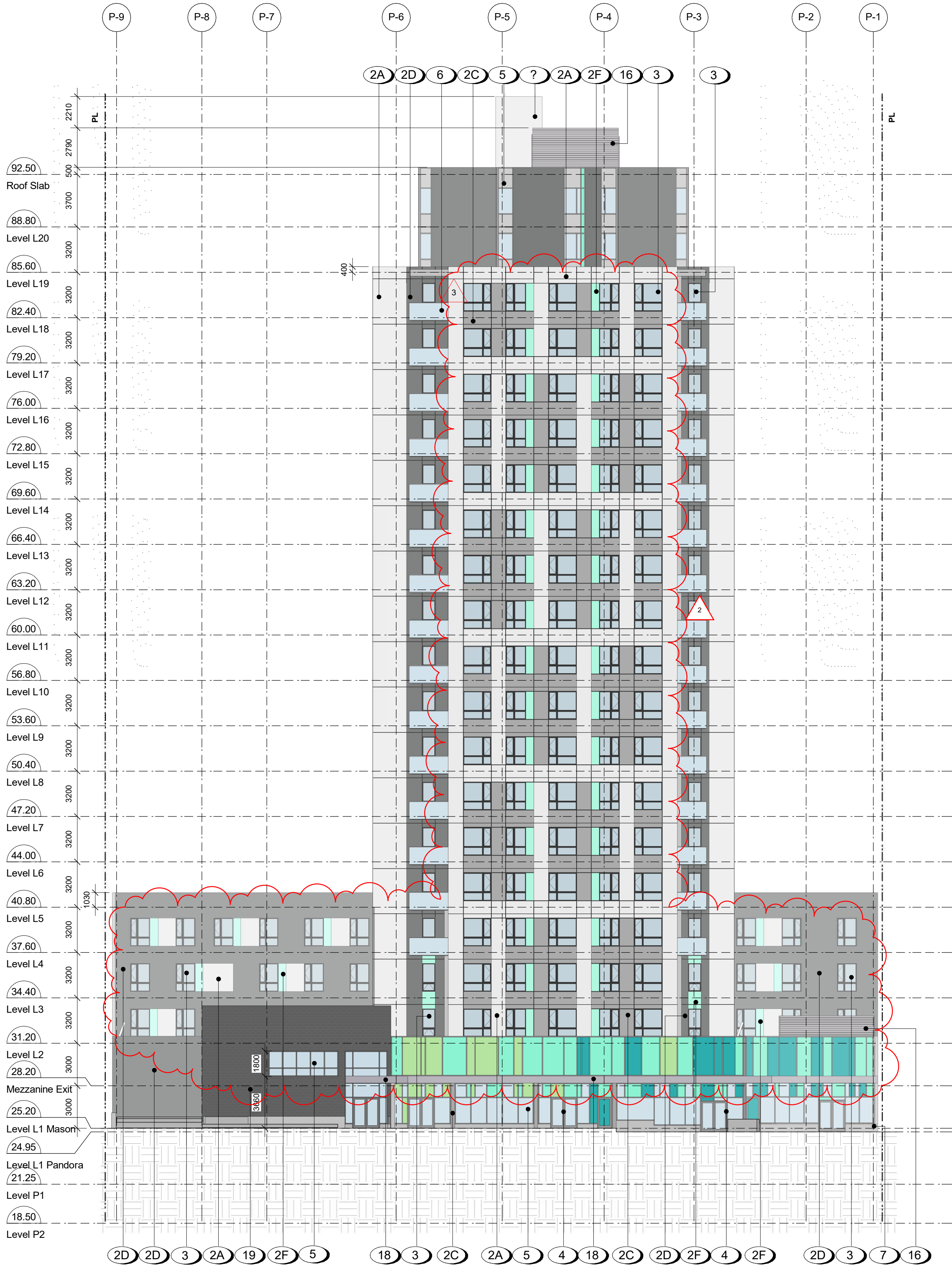


A220

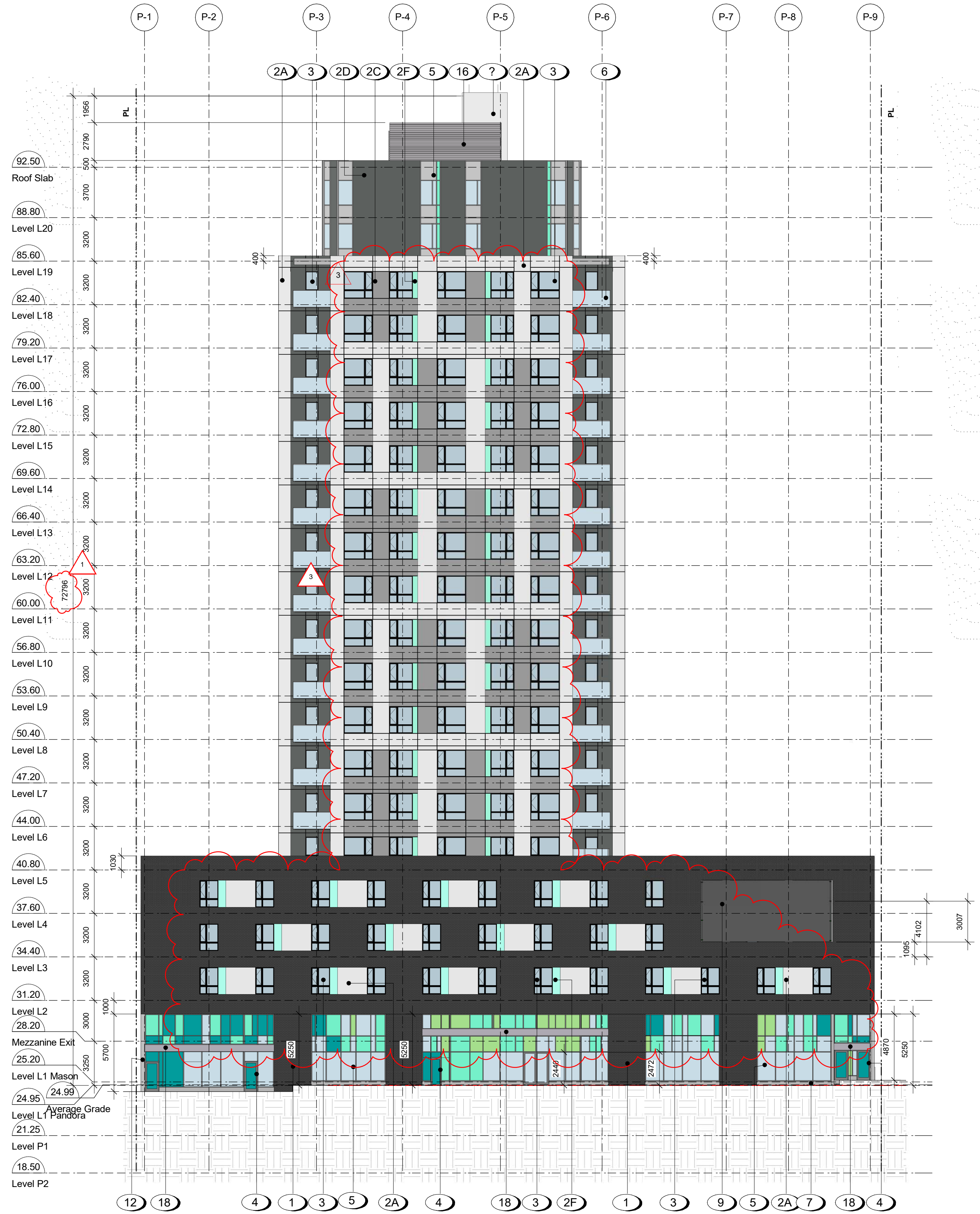
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1 North Elevation View  
A301a SCALE: 1 : 200



2 South Elevation View  
A301a SCALE: 1 : 200

#### MATERIALS LEGEND

- Running Bond Bricks - Standard Size in Charcoal
- Smooth Finish Fibre Cement Panel  
Flush-Jointed with Matching Trim.  
Colors A, B, C, D, E, and F as noted.  
A White  
B Light Grey  
C Slate Grey  
D Dark Grey  
F Teal
- Fiberglass Window
- Aluminum Window Wall c/w Door Entry System and Spandrel Panel
- Aluminum Window Wall
- Tempered, Laminated Glass Guardrail w/ Anodized Aluminum Cap and Handrail
- Architectural Exposed Concrete Column
- Canopy: Metal Composite Panel  
Pre-finished in Dark Grey
- Planted Metal Mesh Screen - Greenscreen by Tournesol, powder coated silver
- Play Area Fence
- Metal Signage
- Painted Concrete Wall
- Pre-finished Metal Flashing  
Color to match Cladding
- Fiberglass Frame Swing Door
- Concrete Planter
- Acoustic Mechanical Screen
- Concrete Block Wall, with cementitious waterproofing
- Aluminum Panel clad Canopy
- Textured through-colour fibre cement panel

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Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

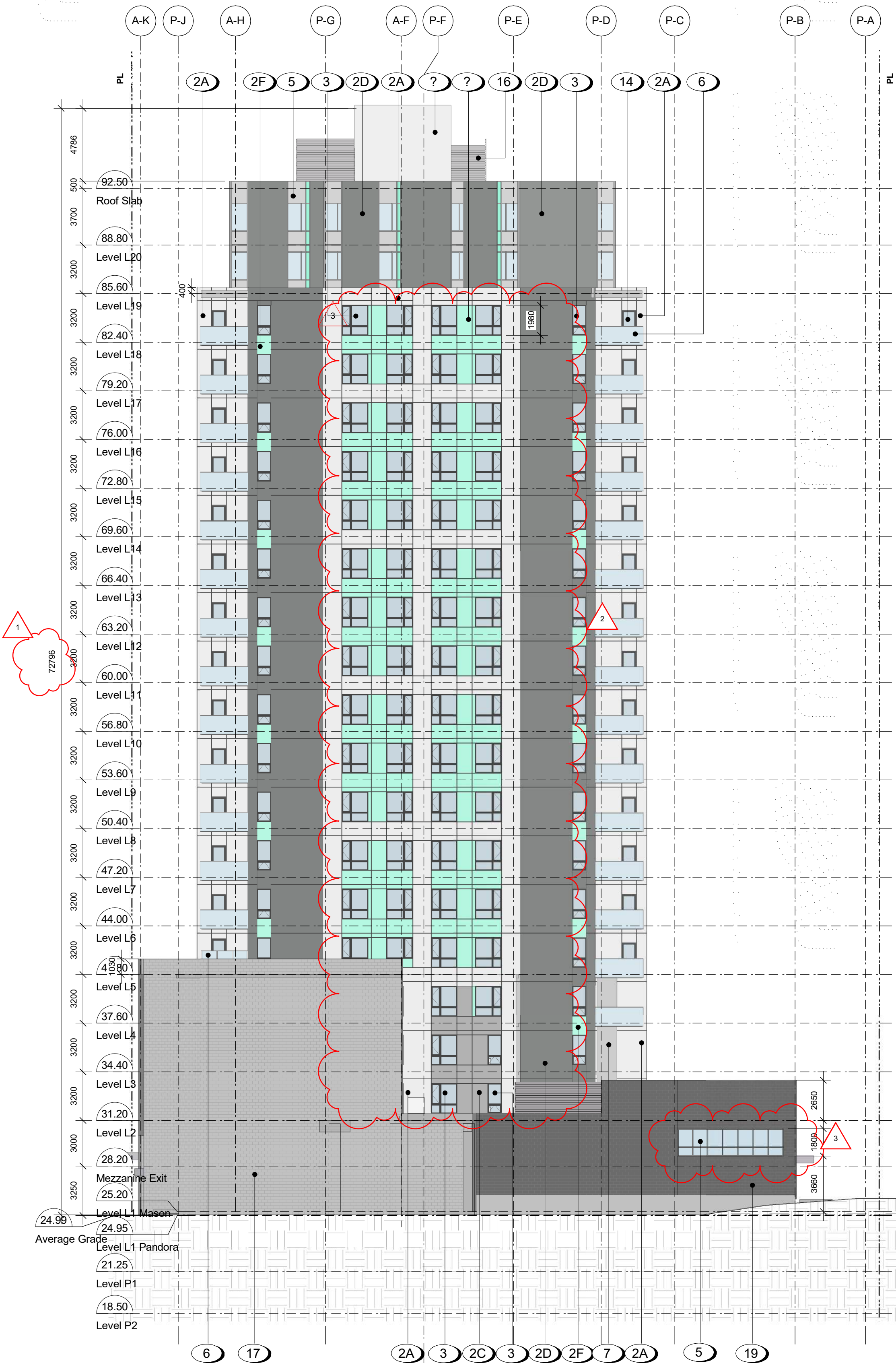
NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
Elevations - North  
and South

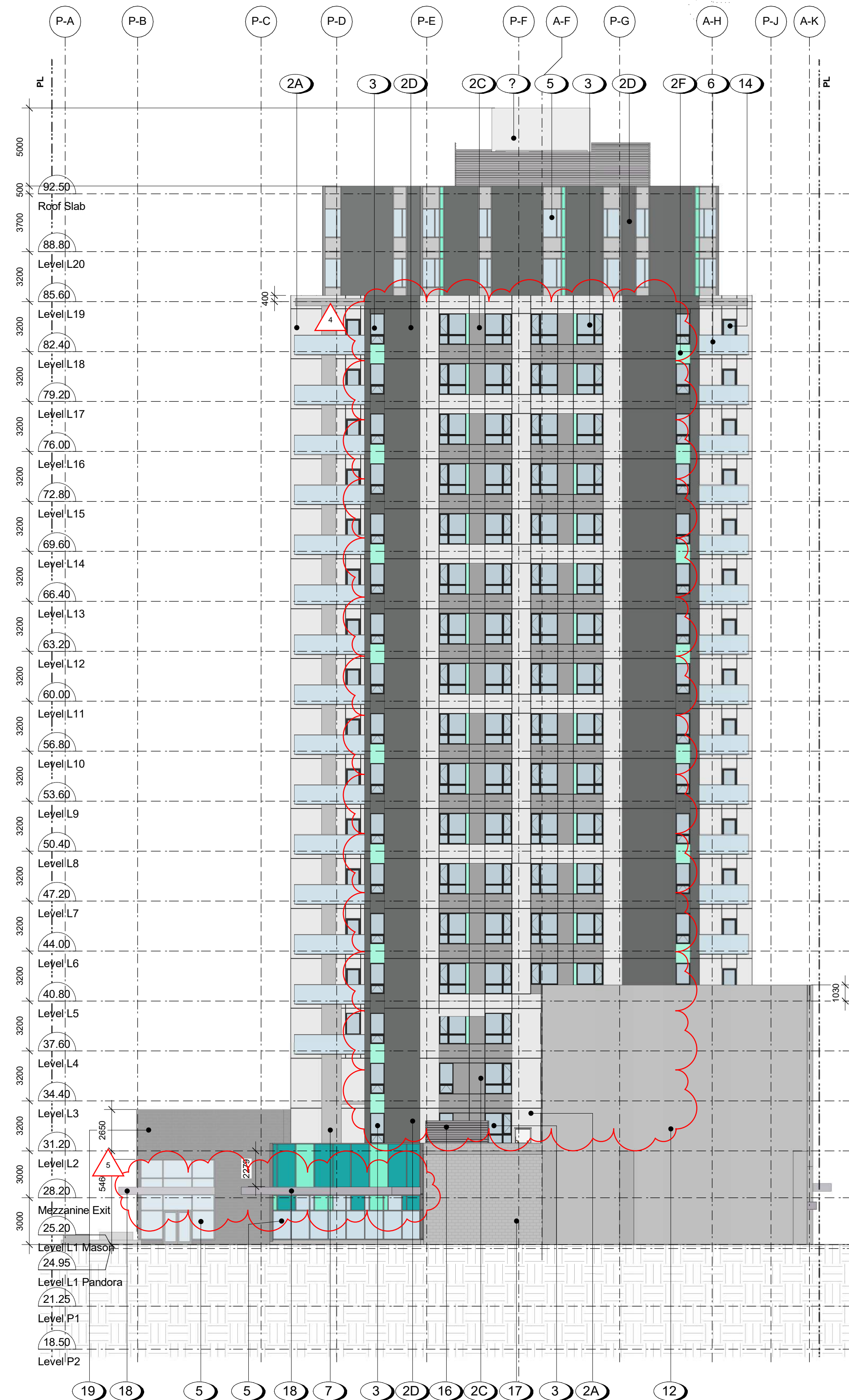
dHka A301

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1 East Elevation Copy 1  
A302a SCALE: 1 : 200



2 West Elevation Copy 1  
A302a SCALE: 1 : 200

#### MATERIALS LEGEND

- Running Bond Bricks - Standard Size in Charcoal
- Smooth Finish Fibre Cement Panel  
Flush-Jointed with Matching Trim.  
Colors A, B, C, D, E, and F as noted.  
A White  
B Light Grey  
C Slate Grey  
D Dark Grey  
F Teal
- Fibreglass Window
- Aluminum Window Wall c/w Door Entry System and Spandrel Panel
- Aluminum Window Wall
- Tempered, Laminated Glass Guardrail w/ Anodized Aluminum Cap and Handrail
- Architectural Exposed Concrete Column
- Canopy: Metal Composite Panel  
Pre-finished in Dark Grey
- Planted Metal Mesh Screen - Greenscreen by Tournesol, powder coated silver
- Play Area Fence
- Metal Signage
- Painted Concrete Wall
- Pre-finished Metal Flashing  
Color to match Cladding
- Fiberglass Frame Swing Door
- Concrete Planter
- Acoustic Mechanical Screen
- Concrete Block Wall, with cementitious waterproofing
- Aluminum Panel clad Canopy
- Textured through-colour fibre cement panel

3	24-11-22	Issued for DDP Amendment
2	23-06-20	Issued for DDP Rev 2
1	23-03-21	Issued for DDP Rev 1
Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/CM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

NOTE: All dimensions are shown in millimeters.

**930 Pandora**  
926-930 Pandora Ave  
Victoria, BC  
**Elevations - East and West**

dHka **A302**

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Victoria  
977 Fort Street V8V 3K3 T 1-250-658-3367  
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1 North Context Elevation  
A310 SCALE: 1 : 500



2 South Context Elevation  
A310 SCALE: 1 : 500

24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File  
Drawn By JY/IS Checked By JY/RAW  
Scale 1 : 500 Project Number 2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

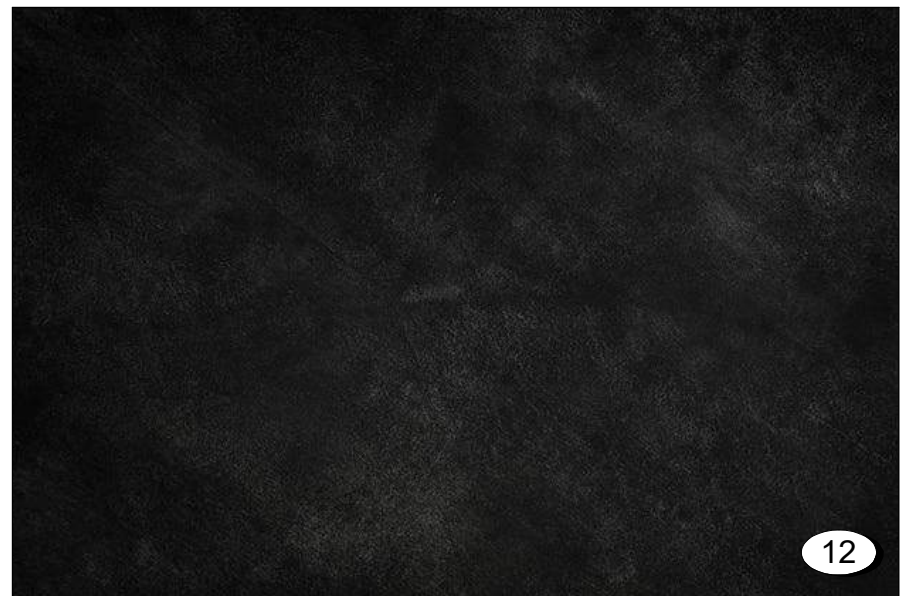
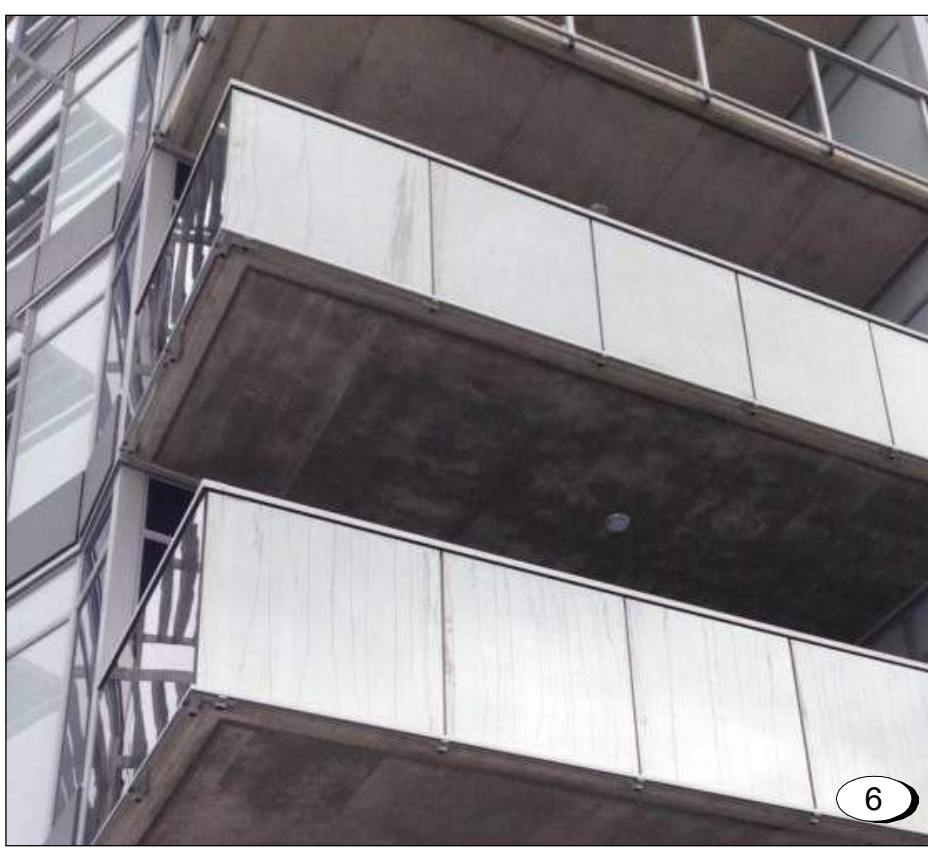
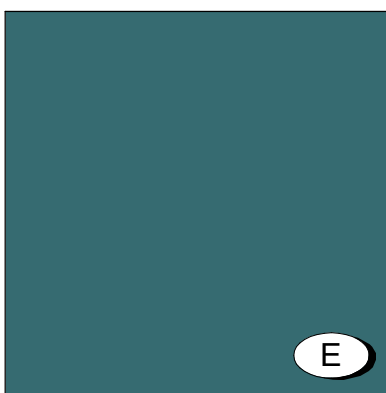
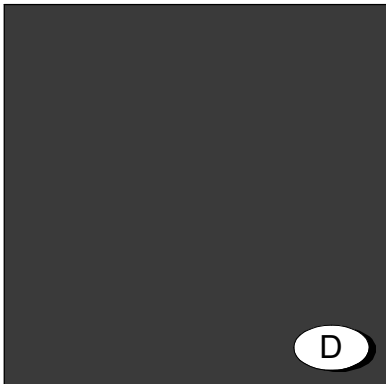
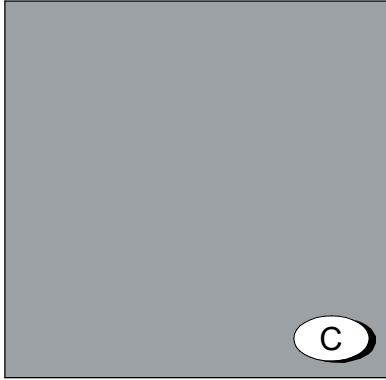
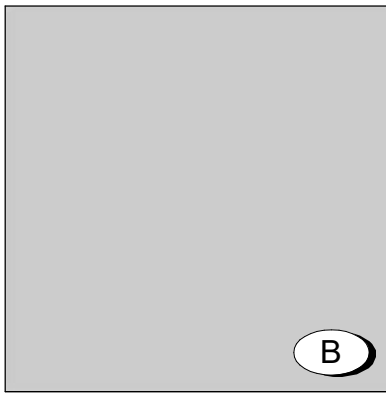
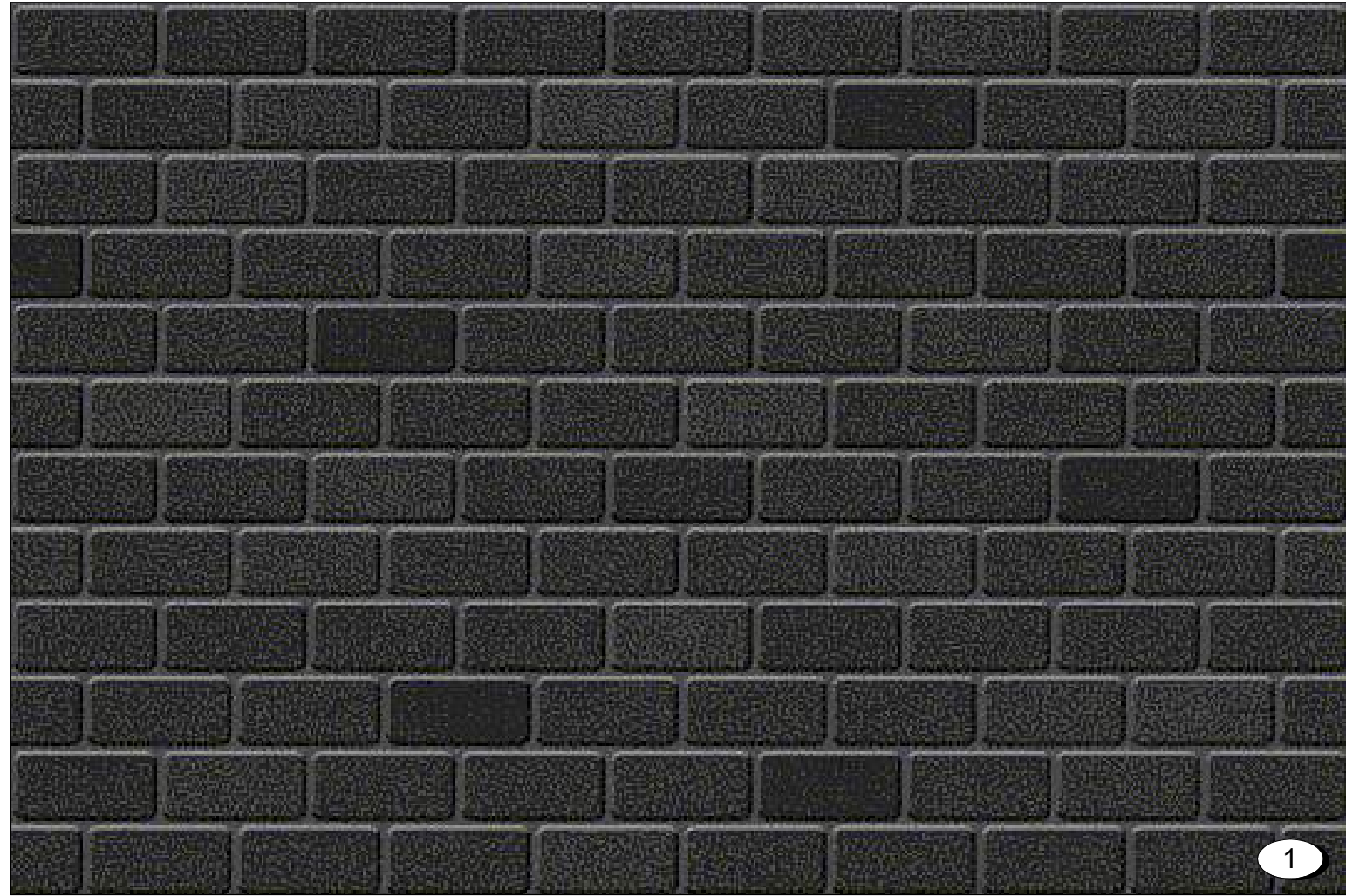
Context Elevations



A310

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MATERIALS LEGEND

- 1 Running bond standard size bricks in Charcoal
- 2 Smooth finish fibre-cement panel, flush jointed with matching trim. Colours A, B, C, and D as noted.
  - A White
  - B Light Grey
  - C Slate Grey
  - D Dark Grey
  - E Dark Teal
- 3 Vinyl frame window, white
- 4 Anodized aluminum storefront glazing, c/w spandrel panel and doors
- 5 Anodized aluminum window wall, c/w spandrel panel
- 6 Tempered, laminated glass guardrail with anodized aluminum cap and handrail.
- 7 Architectural exposed concrete column
- 8 Canopy: Metal composite panel pre-finished in dark grey
- 9 Planted metal mesh screen
- 10 Play area fence
- 11 Metal signage
- 12 Painted concrete wall, colour to match Brick
- 13 Metal Flashing, colour matched to cladding
- 14 Vinyl frame swing door, white
- 15 Concrete planter
- 16 Anodized aluminum framed window
- 17 Acoustic mechanical screen

24-11-22 Issued for DP Amendment  
23-06-20 Issued for DDP Rev. 2  
23-03-21 Issued for DDP Rev. 1

Plot Date 24-11-22 Drawing File Issued for Development Permit  
Drawn By JY/IS Checked By JY/RAW  
Scale 1 : 1 Project Number 2141

NOTE: All dimensions are shown in millimeters.

930 Pandora

Materials Board



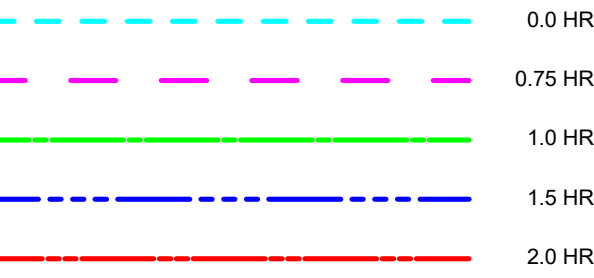
A320

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Fire Separation Legend



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Rev.	Date	Description

Issued	24-10-22	Description	For Tender
Drawn By	JY/ICM	Checked By	JY/RW
Scale	As indicated	Project Number	2141

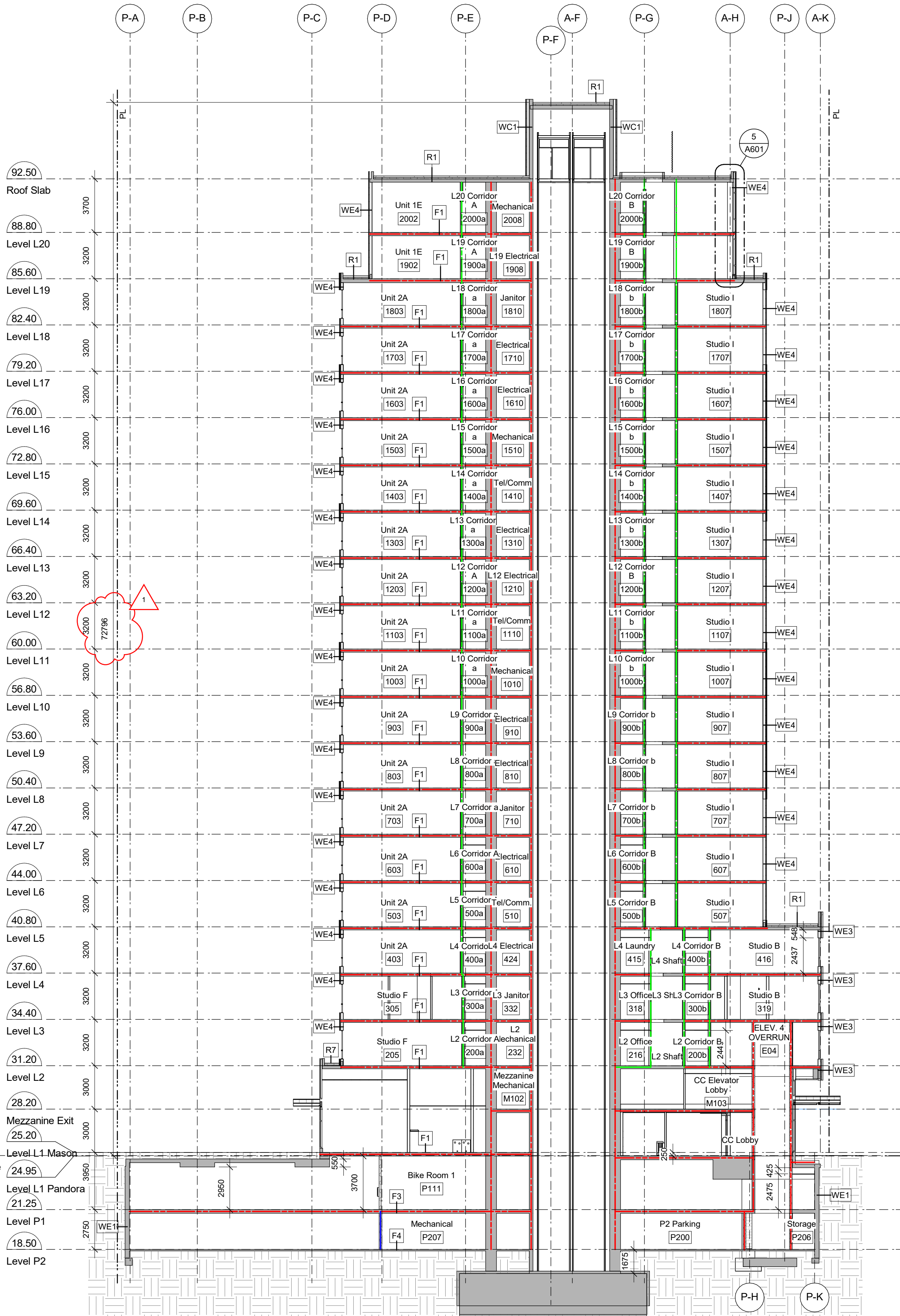
NOTE: All dimensions are shown in millimeters.

930 Pandora  
926-930 Pandora Ave  
Victoria, BC  
Building Sections

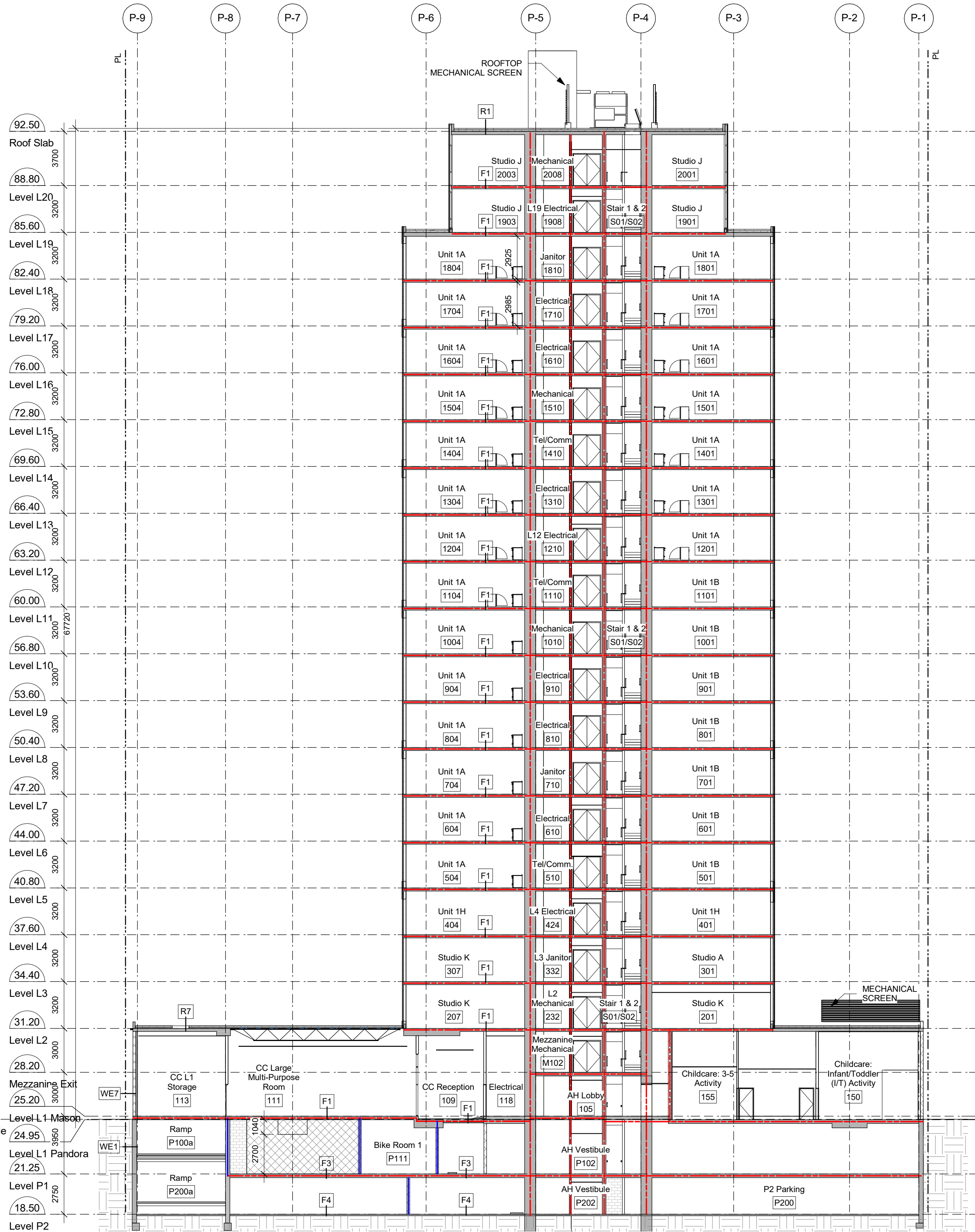


A401

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102-5190 Dublin Way  
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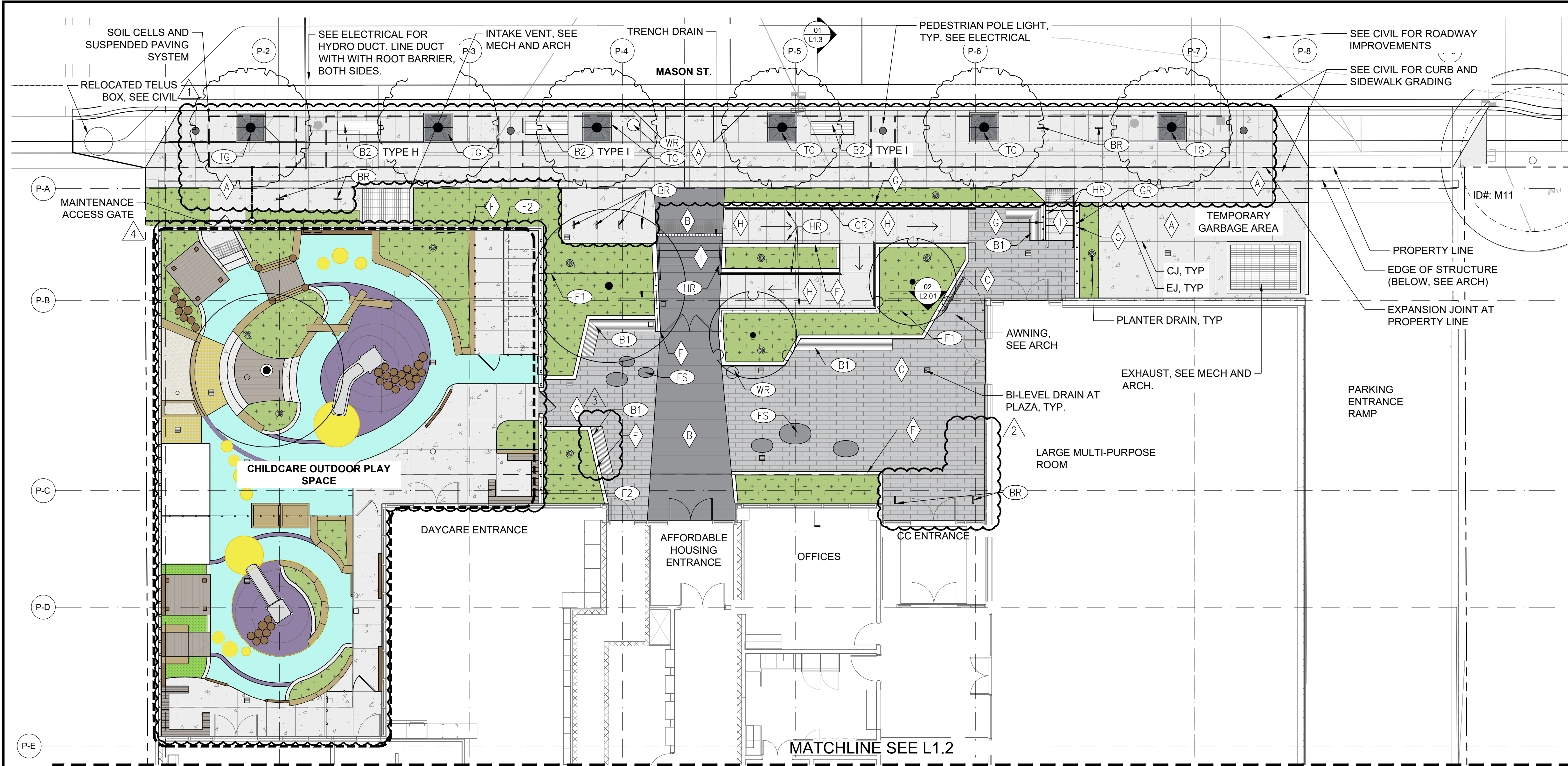


1 North-South Section Through Core looking East  
A401a SCALE: 1 : 200



2 East-West Section Through Core Looking South  
A401a SCALE: 1 : 200





LEGEND

PROPERTY LINE

PROPOSED STREET TREE, PER COV STANDARDS

PROPOSED DECIDUOUS TREE, SEE PLANTING PLANS

CRITICAL ROOT ZONE DRIPLINE

TRUNK DBH

EXISTING TREE TO BE RETAINED (SEE TREE MANAGEMENT PLAN BY ARBORIST)

EXISTING TREE TO BE REMOVED AND TRANSPLANTED AT INDICATED LOCATION (SEE TREE MANAGEMENT PLAN BY ARBORIST)

MIXED SHRUB AND GROUNDCOVER PLANTING, SEE PLANTING PLANS

SOIL CELL TRENCH

1 LANDSCAPE MATERIALS PLAN - NORTH (MASON STREET)

GENERAL NOTES

- ALL MEASUREMENTS IN METRES UNLESS OTHERWISE NOTED.
- INFORM THE PROJECT LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN PLAN DETAILS AND IN-FIELD MEASUREMENTS. COMPLETION OF UNAUTHORIZED CHANGES MAY BE SUBJECT TO REJECTION.
- REFER TO ENGINEERING DRAWINGS FOR U/G SERVICES LOCATIONS AND INFORMATION PRIOR TO LANDSCAPE IMPROVEMENTS. ALL EXISTING UTILITIES TO BE IDENTIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION.
- REFER TO CIVIL FOR ALL CIVIL WORKS AND DETAILS AND IRRIGATION POINTS OF CONNECTION FOR BOULEVARD AREAS.
- REFER TO ELECTRICAL FOR LANDSCAPE LIGHTING FIXTURES, LOCATIONS, AND ALL ELECTRICAL WORKS.
- REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING WORKS.
- REFER TO MECHANICAL FOR HOSE BIB LOCATIONS AND IRRIGATION POINTS OF CONNECTION FOR SITE IRRIGATION.
- REFER TO ARBORIST REPORT FOR TREE MANAGEMENT PLAN, TREE RETENTION, TREE PROTECTION MEASURES AND DETAILS.
- SITE IMPROVEMENTS WITHIN CRITICAL ROOT ZONES OF EXISTING TREES TO BE COORDINATED WITH ARBORIST IN FIELD.
- CONTRACTOR TO MAKE GOOD ALL CONSTRUCTION RELATED DAMAGE OUTSIDE THE LIMIT OF WORK.
- DESIGNS, PLANS AND RECOMMENDATIONS ARE PROVIDED FOR THE SPECIFIC PURPOSE INDICATED HEREIN AND MAY NEED TO BE MODIFIED DEPENDING ON ACTUAL FIELD CONDITIONS THAT MAY BE DISCOVERED DURING CONSTRUCTION. LANARC EXPRESSLY DENIES ANY RESPONSIBILITY FOR CONSTRUCTED WORKS THAT ARE SUBJECT TO SITE CONDITIONS THAT AFFECT THE INTEGRITY OF THE DESIGN.
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HARDSCAPE SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX.
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES
	PLANTER WALL BENCH	TIMBER BENCH MOUNTED TO C.I.P. CONCRETE WALL
	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK	PER CoV STANDARDS FOR NEW TOWN, SURFACE MOUNTED
	WASTE RECEPTACLE WITH INTEGRATED ASH TRAY	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE SEATING ELEMENT	PRECAST CONC. PEBBLE SEAT BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILDCARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01/L1.8
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN. SEE ARCH FOR DETAILS
	CAFE TABLE AND CHAIRS (ROOF DECKS)	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE (ROOF DECKS)	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARDRAIL	SEE DETAIL 02 / L1.8
	HANDRAIL	PAINTED METAL HANDRAIL
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

\* TOTAL ONSITE BIKE PARKING = 24

PRELIMINARY  
NOT FOR CONSTRUCTION

LANARC

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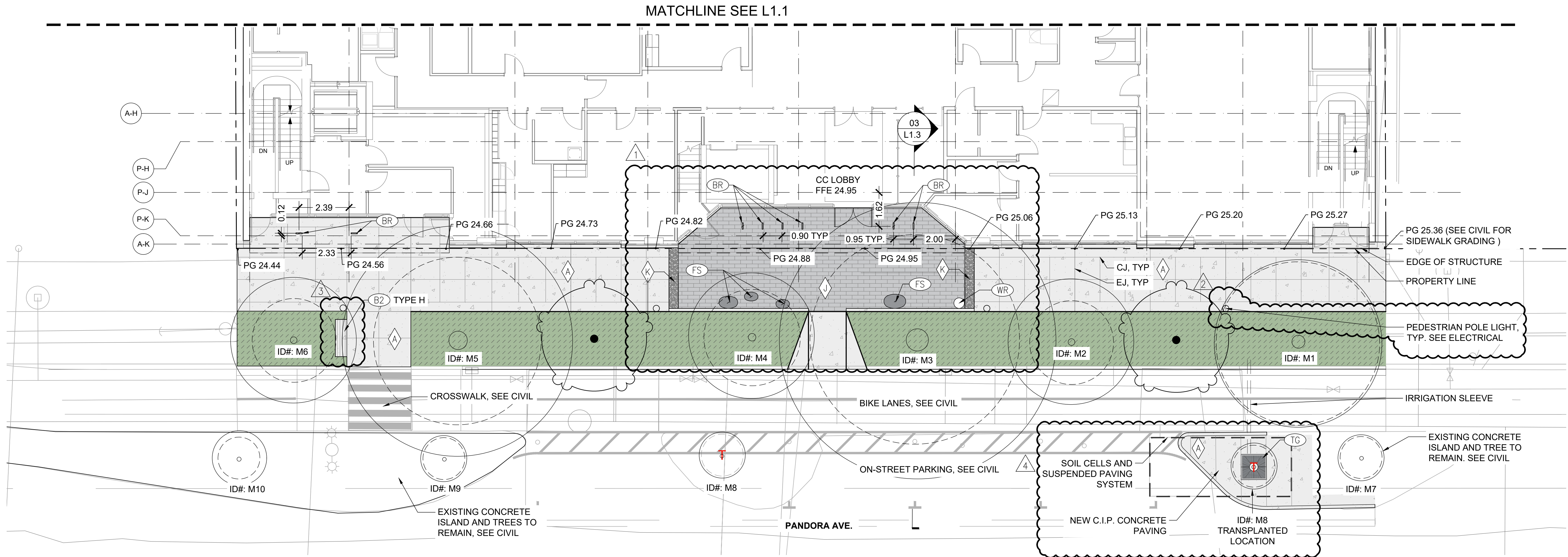
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DDP REVISION 2B	SB	BL	23.07.05
DDP REVISION 2	SB	BL	23.06.20
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930 PANDORA

Project  
LANDSCAPE MATERIALS  
PLAN - NORTH (MASON  
STREET)  
Title

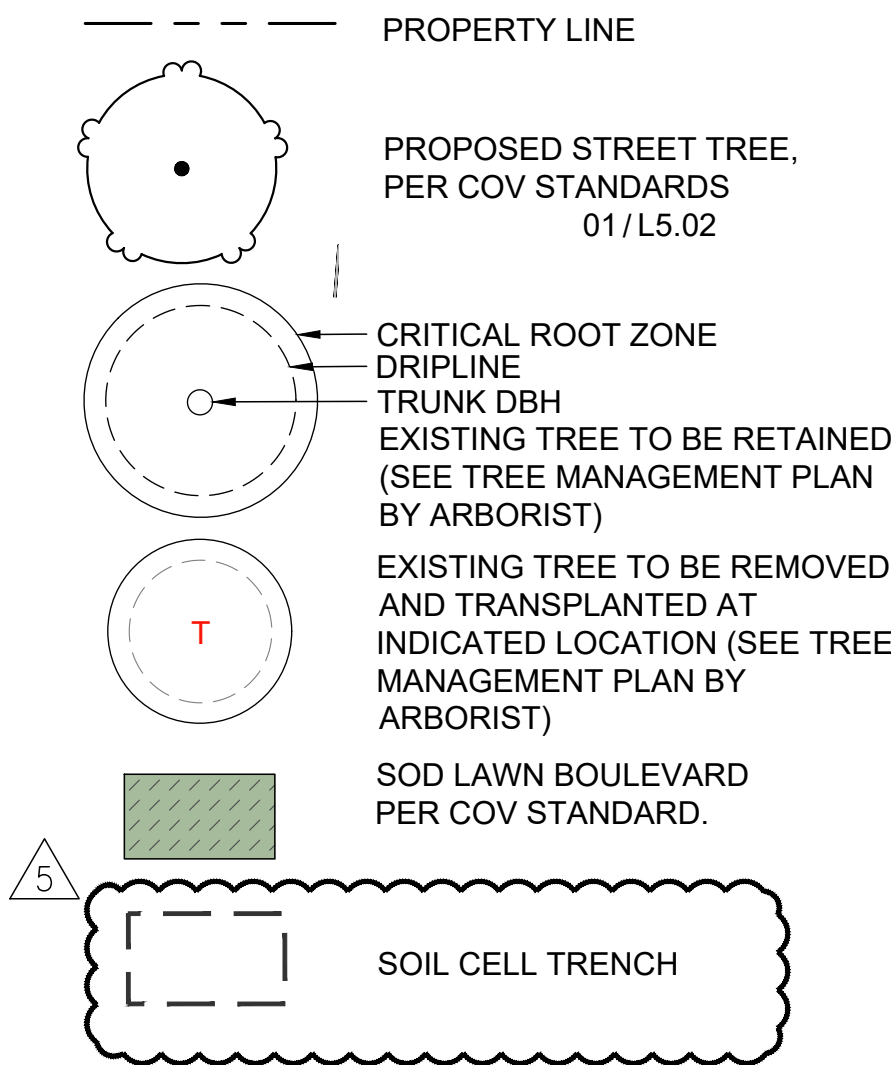
21-313	As Noted
Project No.	Scale
L1.1	3
Drawing No.	Permit No.
	Revision





1 LANDSCAPE MATERIALS & LAYOUT PLAN - SOUTH (PANDORA AVENUE)

LEGEND



GENERAL NOTES

- SEE L1.01 FOR GENERAL NOTES.
- SEE L1.07 FOR GRADING ENLARGEMENT

HARDSCAPE SCHEDULE

SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX,
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P. CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P. CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

SYMBOL	ITEM	DESCRIPTION/NOTES
	PLANTER WALL BENCH	TIMBER BENCH MOUNTED TO C.I.P. CONCRETE SEAT WALL
	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK	PER CoV STANDARDS, SURFACE MOUNTED
	WASTE RECEPTACLE	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE / PLAYFUL SEATING ELEMENT	PRECAST CONC. PEBBLE, BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILDCARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01/L1.8

GRADING LEGEND

BS	BOTTOM OF STAIR
BW	BOTTOM OF WALL
EG	EXISTING GRADE
FFE	FINISHED FLOOR ELEVATION
PG	PROPOSED GRADE
TB	TOP OF BENCH
TS	TOP OF STAIR
TW	TOP OF WALL

GRADING NOTES

- CONTRACTOR SHALL FIELD VERIFY ALL GRADES AND INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCY BETWEEN GRADES SHOWN ON THE PLANS AND GRADES IN THE FIELD.
- CONFIRM ALL DRAIN LOCATIONS WITH MECHANICAL TO ENSURE CONNECTION TO SLAB DRAINAGE. SEE MECHANICAL.

SYMBOL	ITEM	DESCRIPTION/NOTES
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN, SEE ARCH
	CAFE TABLE AND CHAIRS	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARD RAIL	SEE DETAIL 02 / L1.8
	HAND RAIL	PAINTED METAL HANDRAIL
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

\* TOTAL ONSITE BIKE PARKING = 24

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Project  
**LANDSCAPE MATERIALS & LAYOUT PLAN - SOUTH (PANDORA AVENUE)**

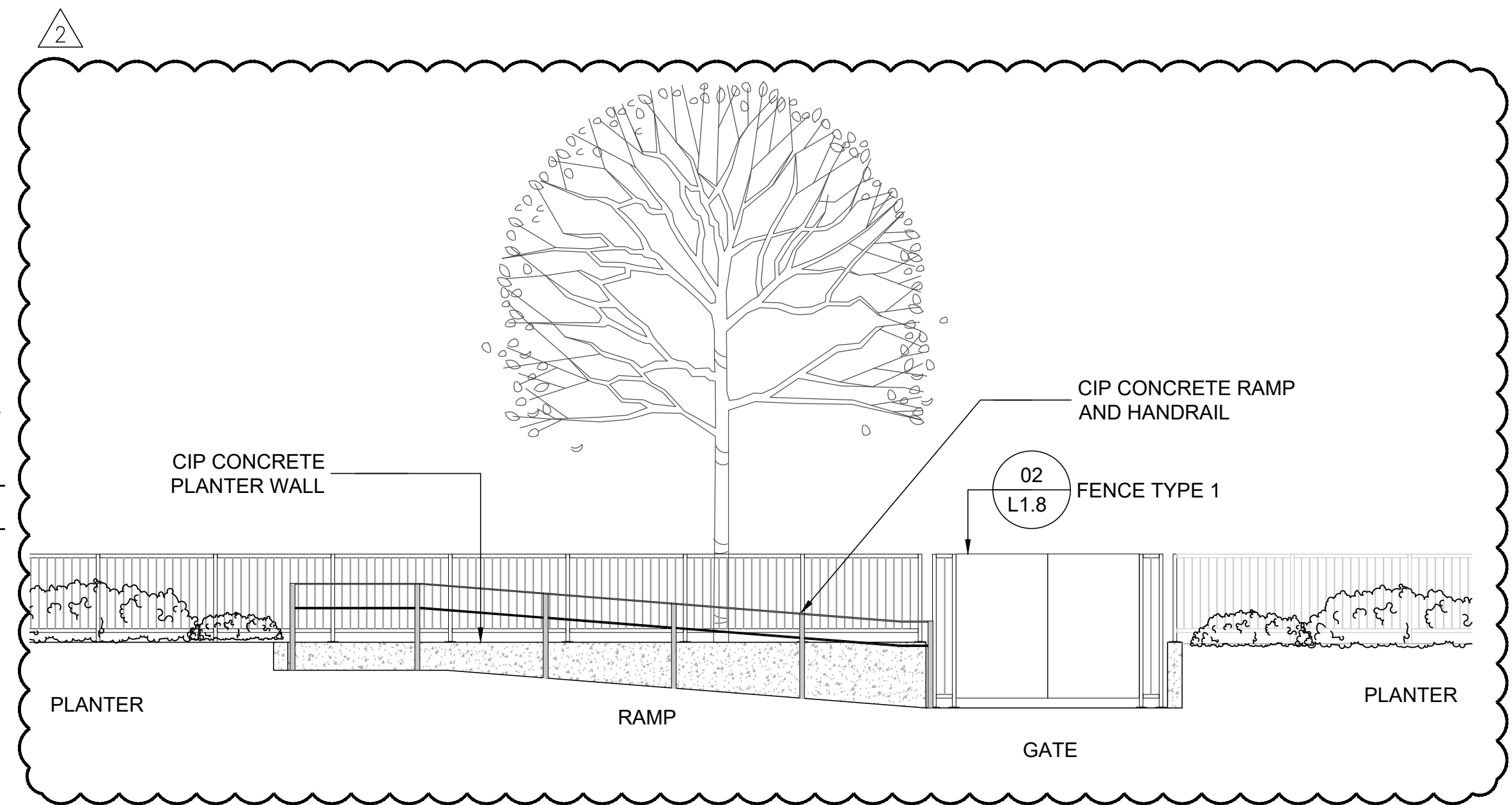
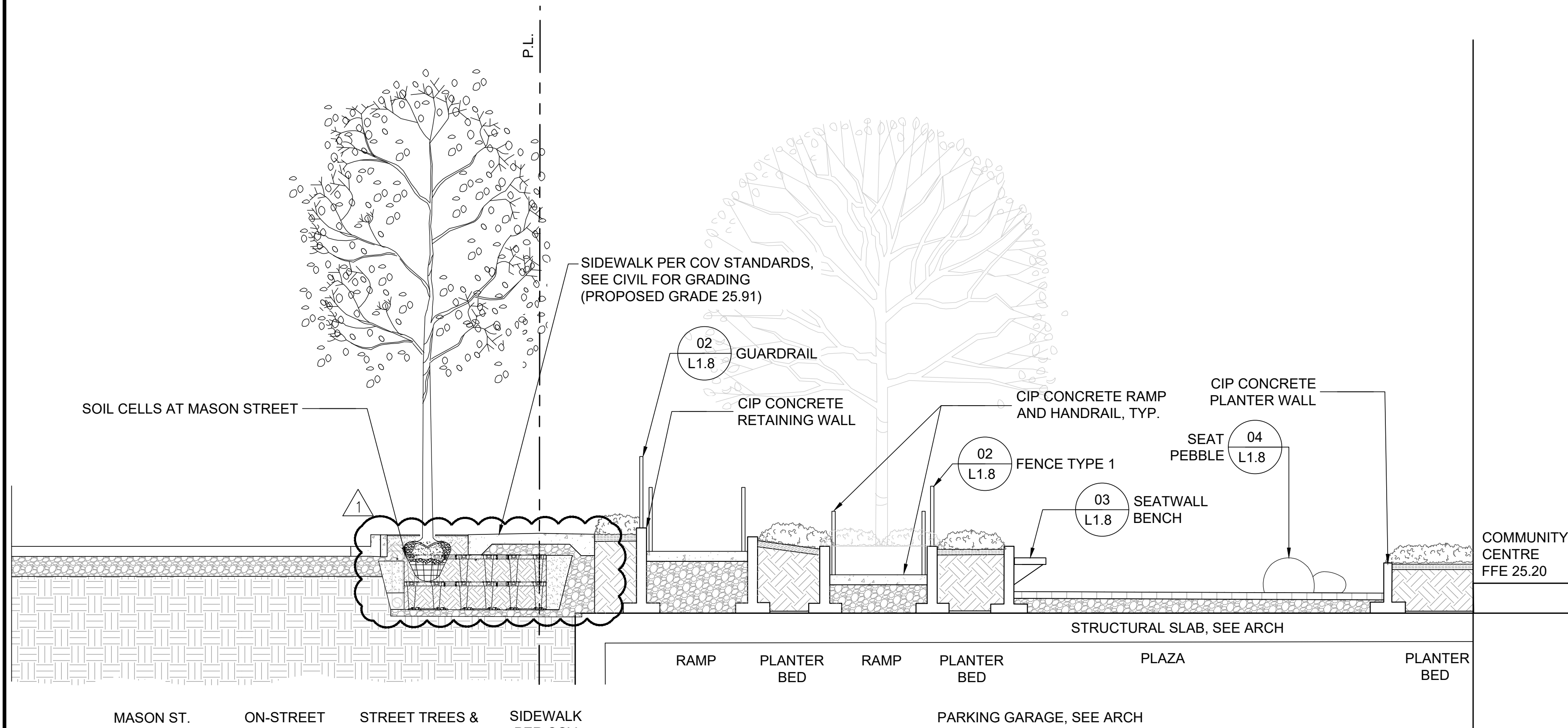
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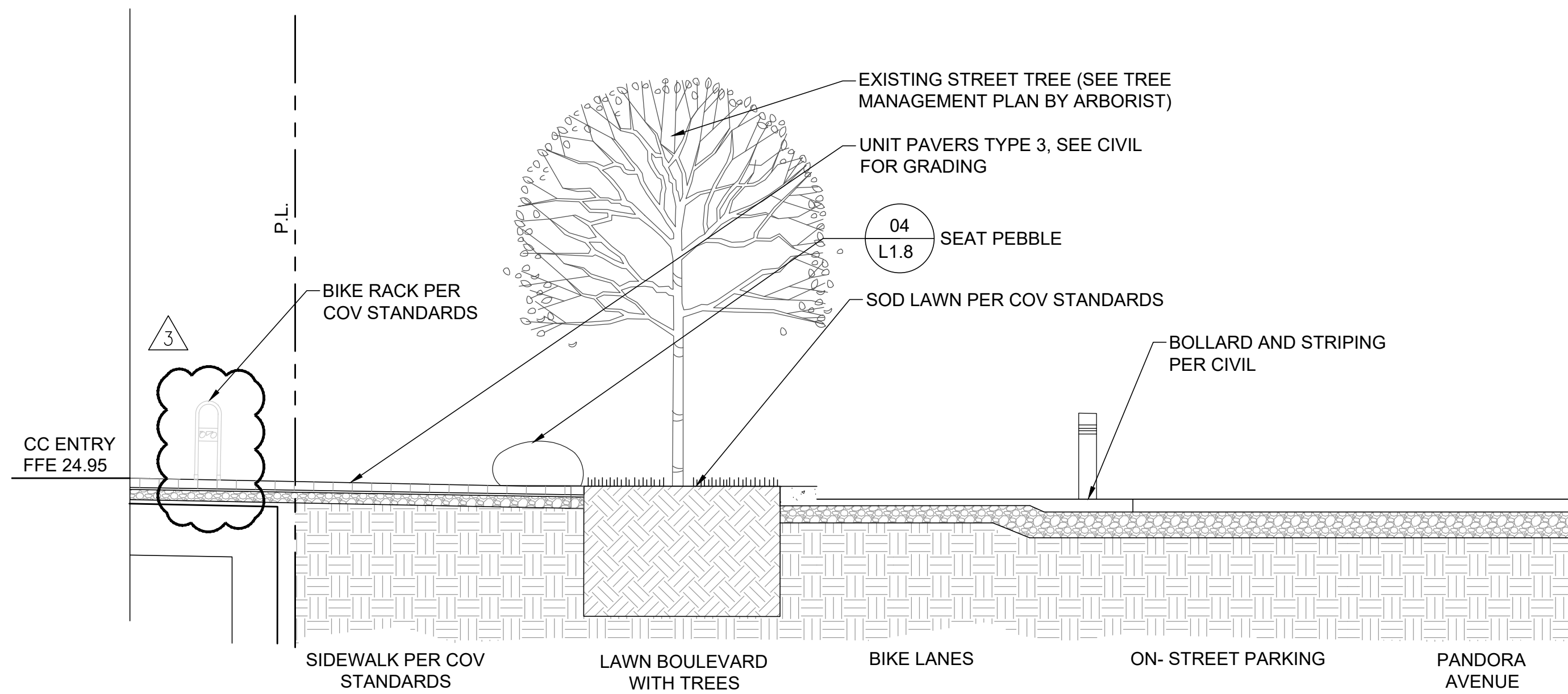


1 SITE SECTION - NORTH (MASON STREET)

SCALE: 1:50

2 SITE ELEVATION - ENTRY GATE AND RAMP (MASON STREET)

SCALE: 1:50



3 SITE SECTION - SOUTH (PANDORA AVENUE)

SCALE: 1:50

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DDP REVISION 2B	SB	BL	23.07.05
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LANDSCAPE SECTIONS

Title

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Project No. Scale

L1.3

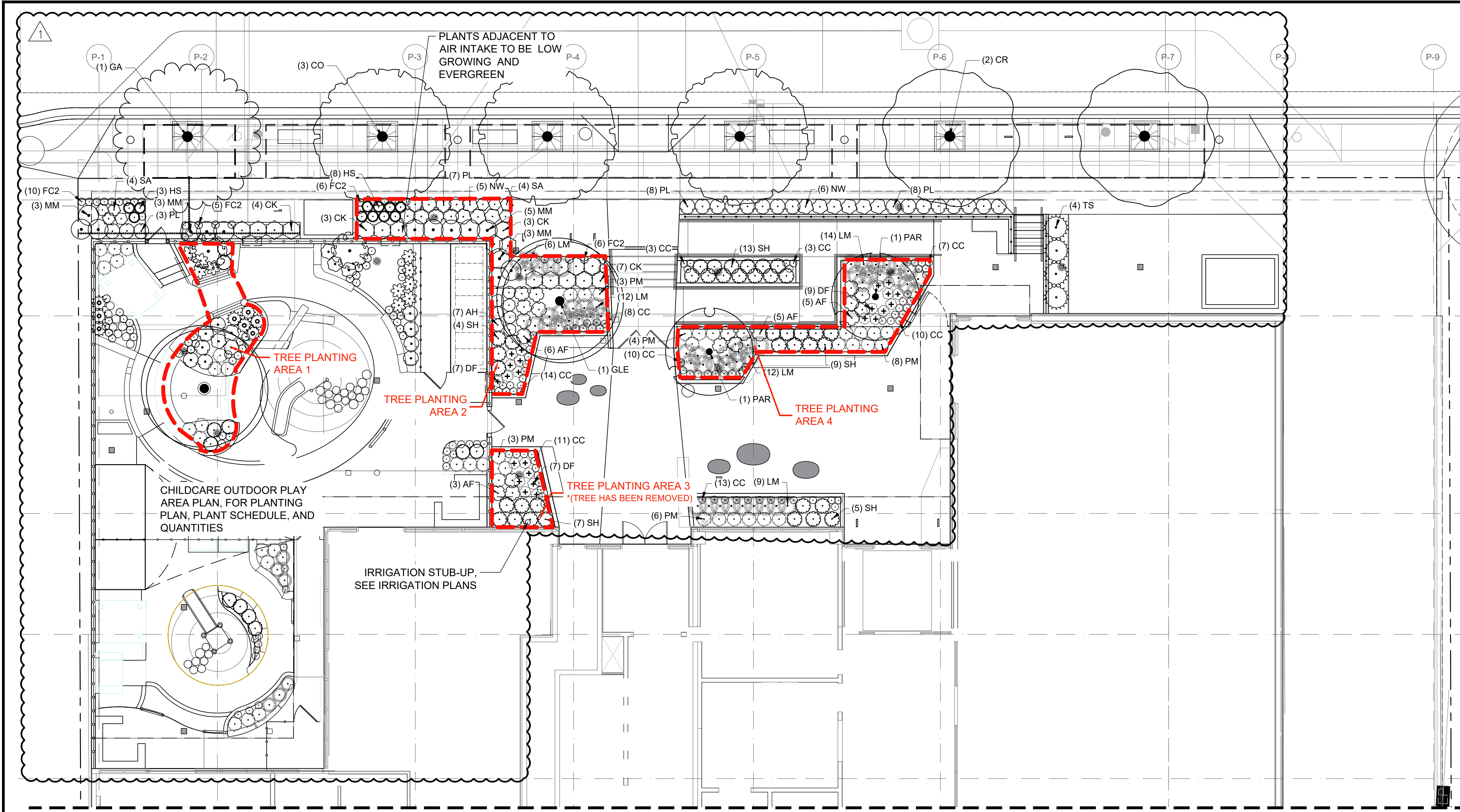
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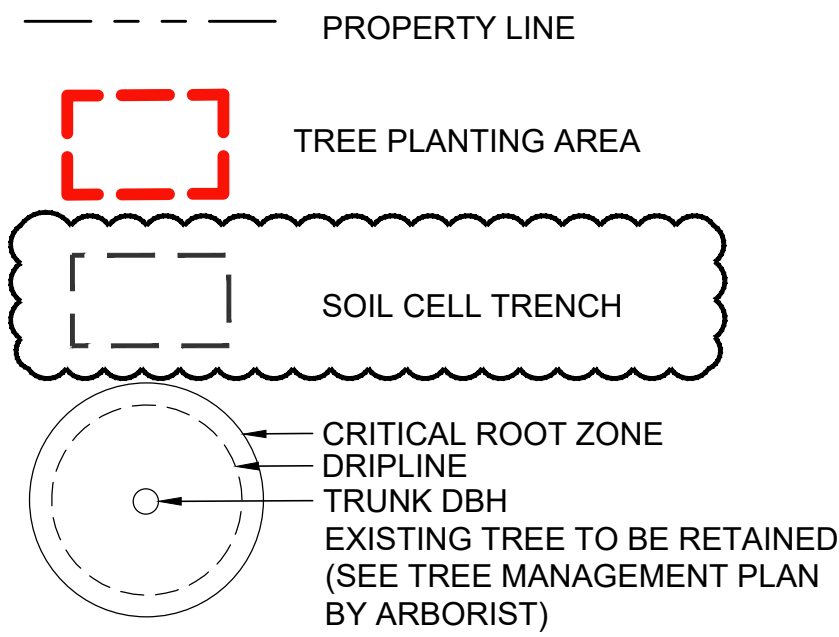
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Revision





LEGEND



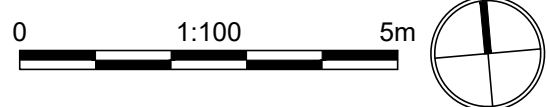
GENERAL PLANTING NOTES

- CHECK FOR LOCATIONS OF WATER LINES AND ANY OTHER U/G SERVICES PRIOR TO DIGGING.
- ALL SHRUB AND GROUND COVER AREAS TO RECEIVE MIN. 450MM DEPTH PLANTING SOIL. 700MM DEPTH MIN. PLANTING SOIL FOR TREES (SEE SOIL VOLUME SUMMARY TABLE).
- ALL SHRUB AND GROUND COVER AREAS TO RECEIVE 75MM DEPTH MULCH
- ALL PLANTING WORKS TO CANADIAN LANDSCAPE STANDARD (CLS).
- PLANT SPECIES AS SHOWN ON CANDIDATE PLANT LIST MAY CHANGE, BASED ON NURSERY AVAILABILITY. ALL PLANT SPECIES REPLACEMENTS TO BE COORDINATED WITH LANDSCAPE ARCHITECT.
- STREET TREE SPECIES AND PLANTING PER CoV STANDARD.
- REFER TO ARBORIST'S REPORT FOR TREE MANAGEMENT PLAN, TREE PROTECTION MEASURES, AND PLANTING AND IRRIGATION INSTALLATION WITHIN ROOT ZONES OF EXISTING TREES TO REMAIN.
- A SOIL TEST FOR THE GROWING MEDIA, FOR EACH LANDSCAPE APPLICATION ON CITY PROPERTY MUST BE SUBMITTED TO THE CITY PARKS treepermits@victoria.ca FOR REVIEW AT LEAST ONE WEEK PRIOR TO SOIL PLACEMENT. GROWING MEDIA MUST MEET THE STANDARDS FOR EACH SPECIFIC LANDSCAPE APPLICATION AS REQUIRED IN THE CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARD
- SOIL CELLS / SUSPENDED PAVING SYSTEM TO BE STRATAVAULT, OR APPROVED EQUAL REFER TO MANUFACTURER'S WEBSITE FOR SPECIFICATIONS, ACCREDITATION, COMPLIANCE & WARRANTY INFORMATION.
- ALL PLANTED AREAS TO BE IRRIGATED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.

1 PLANTING PLAN - NORTH

SCALE: 1:100

MATCHLINE SEE L1.5



PLANT SCHEDULE STREETSCAPE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
TREES						
	ACE	Acer rubrum 'Bowhall'	Bowhall Maple	7 cm Cal.	B&B	1
*NOTE: THIS TREE IS NOT SHOWN ON THE DRAWINGS. TO BE PROCURED AS AN ALTERNATIVE TO TRANSPLANTING FOR TREE IN PANDORA AVENUE ISLAND.						
	CO	Celtis occidentalis	Common Hackberry	8 cm cal.	B&B	3
	CR	Cercidiphyllum japonicum 'Red Fox'	Red Fox Katsura Tree	8 cm cal.	B&B	2
	GA	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	8 cm cal.	B&B	1
	GLE	Gleditsia triacanthos 'Streetkeeper'	Streetkeeper Honey Locust	8 cm cal.	B&B	3
	PAR	Parrotia persica 'Ruby Vase'	Ruby Vase Persian Parrotia	6cm Cal.	B&B	2

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
SHRUBS						
	AH	Anemone x hybrida 'Honorine Jobert'	Honorine Jobert Japanese Anemone	1 gal.	Pot	7
	AF	Athyrium filix-femina	Common Lady Fern	1 gal.	Pot	19
	CC	Cornus canadensis	Bunchberry Dogwood	10cm Pot	Pot	79
	CK	Cornus stolonifera 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	1 gal.	Pot	17
	DF	Dicentra formosa	Western Bleeding-Heart	1 gal.	Pot	23
	FC2	Fragaria chiloensis	Beach Strawberry	10 cm	Pot	27
	HS	Helictotrichon sempervirens	Blue Oat Grass	1 gal.	Pot	11
	LM	Liriope muscari	Lilyturf	2 gal.	Pot	53
	MM	Miscanthus sinensis 'Morning Light'	Morning Light Eulalia Grass	1 gal.	Pot	14
	NW	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	Pot	11
	PM	Polystichum munitum	Western Sword Fern	1 gal.	Pot	24
	PL	Prunus laurocerasus 'Mount Vernon'	Mount Vernon English Laurel	1 gal.	Pot	26
	SH	Sarcococca hookeriana humilis	Trailing Sweetbox	1 gal.	Pot	38
	SA	Sedum x 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Pot	8
	TS	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	5' Ht.	B&B	4

\*NOTE: PLANT SCHEDULE SHOWN IS FOR THE MASON STREET STREETSCAPE / PLAZA AND PANDORA STREET STREETSCAPE ONLY. REFER TO CHILD CARE AREA PLANTING PLAN AND SCHEDULE FOR QUANTITIES IN THE PLAY AREA .

SOIL VOLUME SUMMARY TABLE

TREE PLANTING AREA ID	AREA (M²)	SOIL VOLUME MULTIPLIER	ESTIMATED SOIL VOLUME (M³)	NUMBER OF TREES *			SOIL VOLUME REQUIRED (M³)
				S	M	L	
TREE PLANTING AREA 1	18.90	0.8	15.12	0	1	0	15.00
TREE PLANTING AREA 2	28.10	0.7	19.67	0	1	0	15.00
TREE PLANTING AREA 3 ****	-	-	-	0	0	0	0.00
TREE PLANTING AREA 4	19.40	0.7	13.58	2	0	0	12.00
TREE PLANTING AREA 5	13.70	0.7	9.59	1	0	0	6.00
TREE PLANTING AREA 6	22.70	1.0	22.70	3	0	0	18.00
TREE PLANTING AREA 7	9.05	0.7	6.34	1	0	0	6.00
TREE PLANTING AREA 8	15.6	0.7	10.92	1	0	0	6.00
TREE PLANTING AREA 9	15.77	1.0	15.77	0	1	0	15.00

\* SEE TREE PROTECTION BYLAW 21-035 FOR THE SOIL VOLUME REQUIREMENTS BREAK DOWN.  
\*\* ALL REPLACEMENT TREES ON THE ROOFTOP ARE TO BE PLANTED IN THE MINIMUM SOIL VOLUME.  
\*\*\* ALL TREES PROPOSED FOR REPLACEMENT ARE ON SITE.  
\*\*\*\* NOTE, THE PROPOSED TREE HAS BEEN REMOVED FROM TREE PLANTING AREA 3

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930 PANDORA

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PLANTING PLAN - NORTH

Title

21-313 As Noted  
Project No. Scale

L1.4

Drawing No. Permit No. Revision

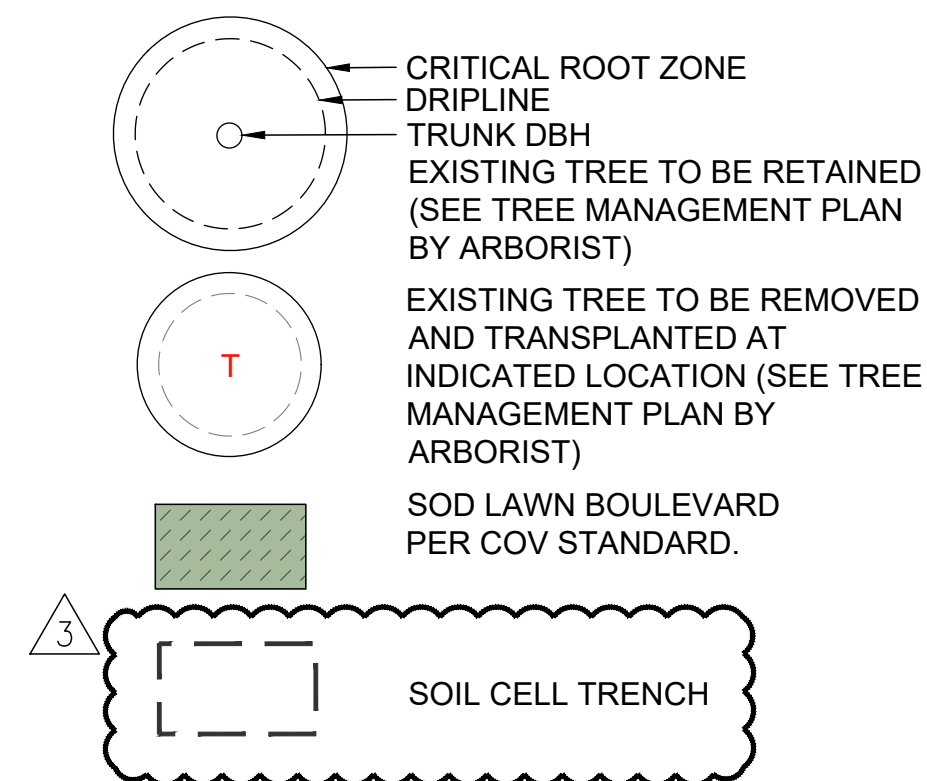


Architectural floor plan of a building, likely a hospital or research facility, showing a central corridor and various rooms. The plan includes a grid system with letters A-K and numbers 1-10. Key features include:

- Central Corridor:** A long, narrow corridor running horizontally across the middle of the plan, highlighted in green.
- Rooms and Stairs:** Various rooms and stairwells are shown, with stairs labeled 'UP' and 'DN'.
- Marked Locations:** Several circular areas are marked with dashed lines and labeled with IDs: ID# M1, ID# M2, ID# M3, ID# M4, ID# M5, ID# M6, ID# M7, ID# M8, ID# M9, and ID# M10.
- Transplanted Location:** A specific location is highlighted with a red dot and labeled 'ID# M8 TRANSPLANTED LOCATION'.
- GLE Markers:** Two callout bubbles indicate '(1) GLE' near ID# M4 and ID# M2.

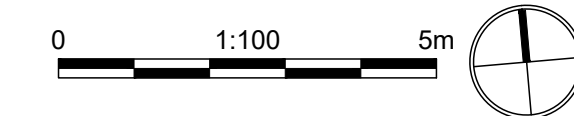
## LEGEND

— — — — — PROPERTY LINE



## NOTES

1. SEE L1.4 FOR PLANT SCHEDULE AND PLANTING NOTES.



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## 930 PANDORA

Project

## PLANTING PLAN - SOUTH



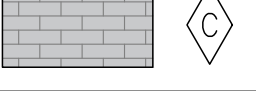
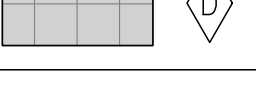
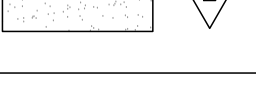
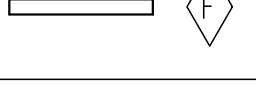
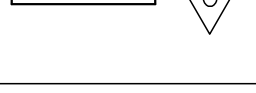
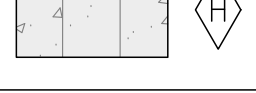
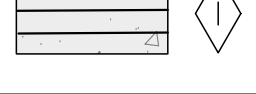


Title

<b>21-313</b>	<b>As Noted</b>
<b>Project No.</b>	<b>Scale</b>








<b>L1.5</b>		<b>3</b>
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HARDSCAPE SCHEDULE

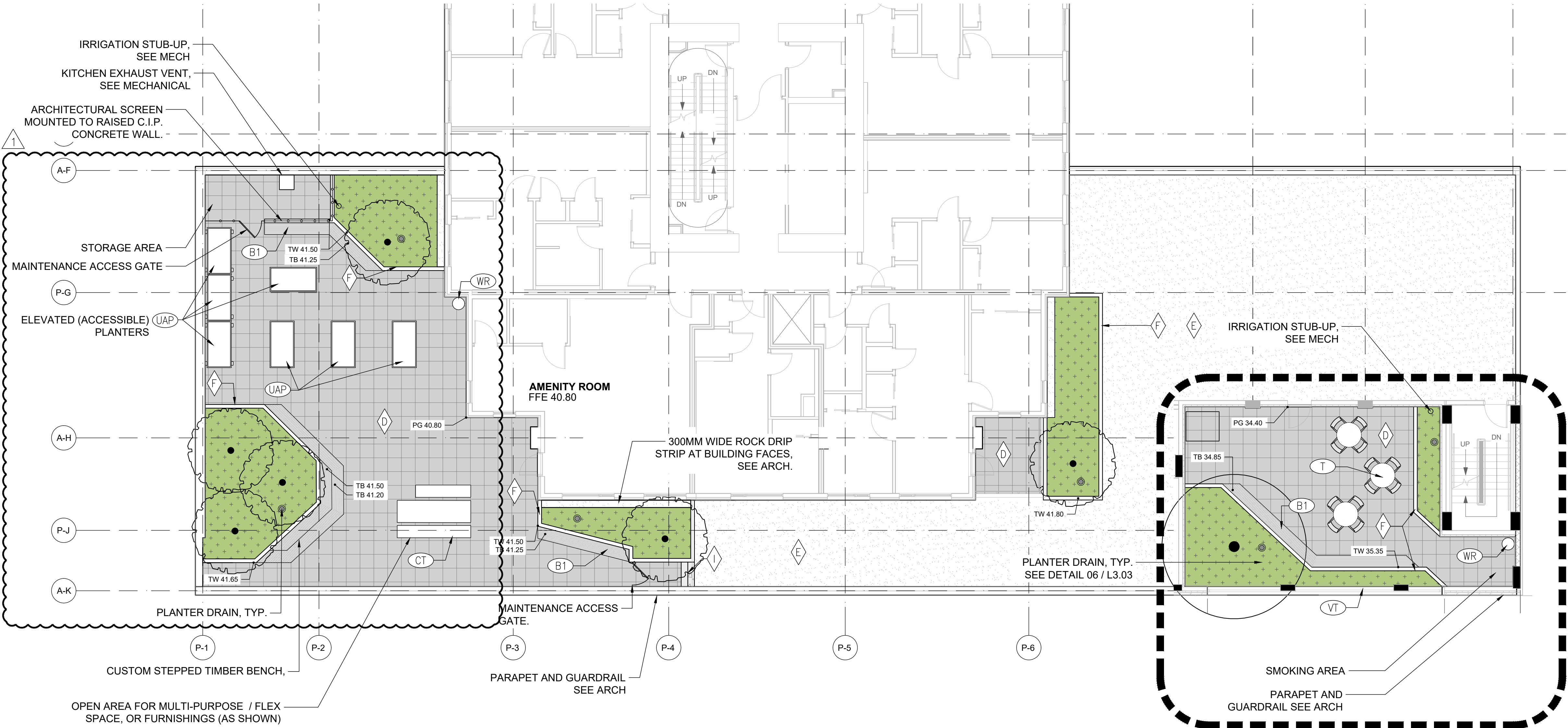
SYMBOL	TYPE	FINISH/COLOUR/NOTES
	CIP CONCRETE SIDEWALK	FINISH AND SCORING PATTERN PER CoV STANDARDS FOR NEW TOWN, SEE CIVIL FOR GRADING
	CIP CONCRETE WALKWAY WITH INTEGRAL COLOR	SOLOMON COLOURS DRY INTEGRAL COLOUR MIX - ONYX,
	UNIT PAVERS TYPE 1	CLASSIC STANDARD PAVERS BY BELGARD, RUNNING BOND
	UNIT PAVERS TYPE 2 (ROOF DECKS)	TEXADA SLABS BY BELGARD, 450MM X 450MM
	DECORATIVE ROCK (ROOF DECKS)	WASHED PEBBLE
	C.I.P. CONCRETE PLANTER WALL	HEIGHT VARIES
	C.I.P. CONCRETE RETAINING WALL	HEIGHT VARIES
	C.I.P. CONCRETE UNIVERSAL ACCESS RAMP	MAX 1:12 (8.3%)
	CIP CONCRETE STAIRS	RISER HEIGHT VARIES TACTILE INDICATOR STRIP AT TOP LANDING
	UNIT PAVERS TYPE 3	PRECAST CONCRETE UNIT PAVERS PER CoV STANDARD, RUNNING BOND, FLUSH CIP CONCRETE EDGE
	BASALT PAVER BAND	MORTAR SET BASALT PAVERS PER CoV STANDARDS, 300MM X 450MM X 60MM

SITE FURNISHINGS SCHEDULE

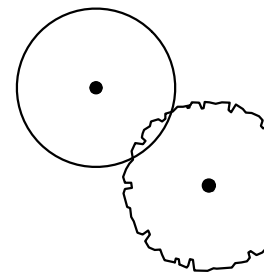
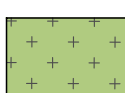
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	CoV STANDARD BENCH	PER CoV STANDARDS FOR NEW TOWN, BENCHES TYPE H AND I, SURFACE MOUNTED, SEE PLANS FOR LOCATIONS
	BIKE RACK TYPE 1	PER CoV STANDARDS, SURFACE MOUNTED
	WASTE RECEPTACLE	PER CoV STANDARDS FOR NEW TOWN, TYPE A RECEPTACLE, SURFACE MOUNTED
	FEATURE / PLAYFUL SEATING ELEMENT	PRECAST CONC. PEBBLE, BY SANDERSON CONCRETE, VARYING SIZES
	FENCE TYPE 1 - METAL FENCE AND GATE (4' HEIGHT)	SEE DETAIL 02 / L1.8
	FENCE TYPE 2 - SECURE FENCE AND GATES AROUND CHILDCARE AREA (6' HEIGHT)	SOLID, NON CLIMBABLE FENCE, SEE DETAIL 01/L1.8

SYMBOL	ITEM	DESCRIPTION/NOTES
	VINE TRELLIS	VERTICAL VINE TRELLIS BY GREENSCREEN. SEE ARCH.
	CAFE TABLE AND CHAIRS	PARC CENTRE BY LANDSCAPE FORMS, OR APPROVED EQUAL
	COMMUNAL TABLE	SOLID PICNIC SET BY STREETLIFE, OR APPROVED EQUAL
	GUARD RAIL	SEE DETAIL 02 / L1.8
	HAND RAIL	SEE DETAIL 01 / L1.8
	TREE GRATE WITH METAL TREE GUARD	PER CoV STANDARDS
	URBAN AGRICULTURE PLANTER	ARTIFEX SELF-WATERING PLANTER, OR APPROVED EQUAL

\* TOTAL ONSITE BIKE PARKING = 24



LEGEND

-  PROPOSED DECIDUOUS TREE, SEE PLANTING PLAN
-  MIXED SHRUB AND GROUNDCOVER PLANTING, SEE PLANTING PLAN
-  PLANTER DRAIN

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Project  
LANDSCAPE MATERIALS  
PLAN - AMENITY DECKS

21-313	As Shown
Project No.	Scale
L1.6	3
Drawing No.	Permit No.
	Revision



PLANT SCHEDULE ROOFTOP PLANTING

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL
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TREES

	BET	Betula nigra 'Dura Heat'	Dura Heat Birch	6 cm cal.	B&B	1	
	SO	Styrax obassia	Fragrant Snowbell	7 cm Cal.	B&B	6	

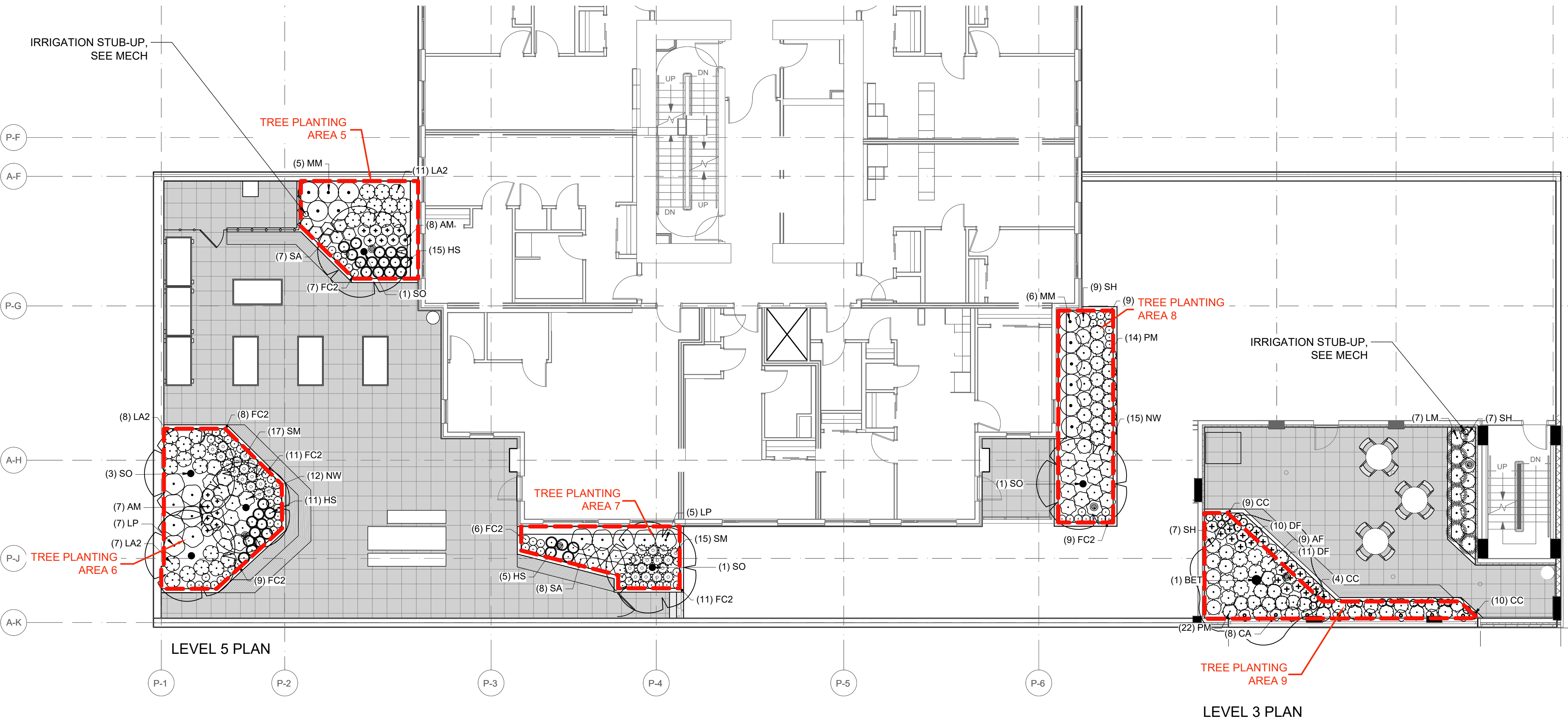
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
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SHRUBS

	AM	Achillea millefolium	Common Yarrow	1 gal.	Pot	15
	AF	Athyrium filix-femina	Common Lady Fern	1 gal.	Pot	9
	CA	Clematis armandii 'Apple Blossom'	Evergreen Clematis	1 gal.	Pot	8
	CC	Cornus canadensis	Bunchberry Dogwood	10cm Pot	Pot	23
	DF	Dicentra formosa	Western Bleeding-Heart	1 gal.	Pot	21
	FC2	Fragaria chiloensis	Beach Strawberry	10 cm	Pot	70
	HS	Helictotrichon sempervirens	Blue Oat Grass	1 gal.	Pot	31
	LA2	Lavandula angustifolia	English Lavender	1 gal.	Pot	26
	LM	Liriope muscari	Lilyturf	2 gal.	Pot	7
	LP	Lonicera pileata	Privet Honeysuckle	1 gal.	Pot	12
	MM	Miscanthus sinensis 'Morning Light'	Morning Light Eulalia Grass	1 gal.	Pot	11
	NW	Nepeta x faassenii 'Walker's Low'	Walker's Low Catmint	1 gal.	Pot	27
	PM	Polystichum munitum	Western Sword Fern	1 gal.	Pot	36
	SH	Sarcococca hookeriana humilis	Trailing Sweetbox	1 gal.	Pot	23
	SA	Sedum x 'Autumn Joy'	Autumn Joy Sedum	1 gal.	Pot	15
	SM	Stipa tenuissima	Mexican Feather Grass	1 gal.	Pot	32

LEGEND

	PROPERTY LINE
	TREE PLANTING AREA SEE SHEET L1.4 FOR SOIL VOLUME SUMMARY TABLE



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DDP AMENDMENT	VW	JZ	25.03.24
DDP REVISION 2B	SB	BL	23.07.05
DDP REVISION 2	SB	BL	23.06.20
DP REVISION 1	SB	BL	23.02.22
DP PACKAGE	SB	BL	22.11.21
Issued	By	Appd.	YY.MM.DD

Permit-Seal  
**930 PANDORA**

Project  
**PLANTING PLAN -  
ROOFDECKS**

Title

21-313	As Shown
Project No.	Scale
<b>L1.7</b>	<b>3</b>
Drawing No.	Permit No. Revision



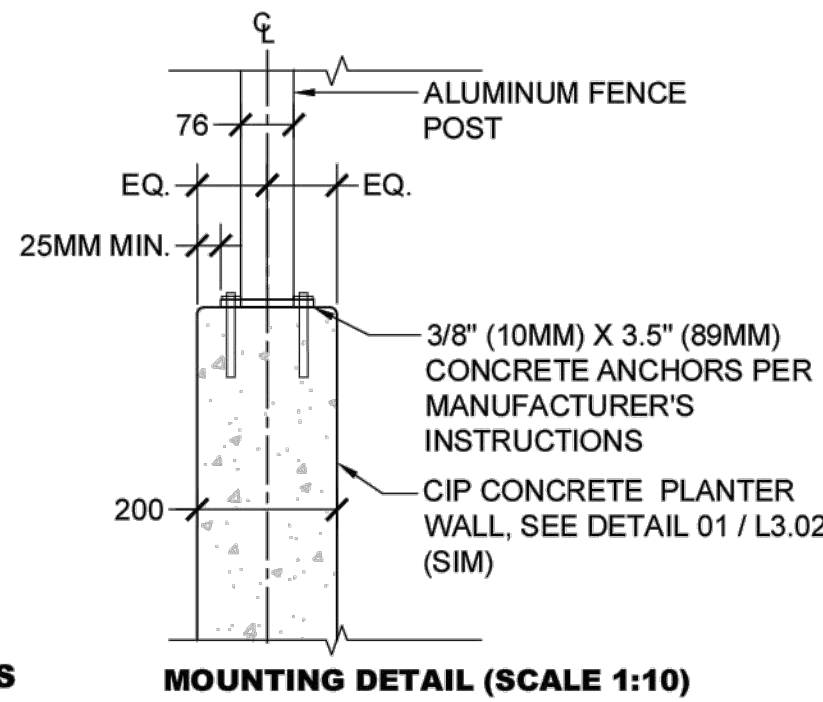


IMAGE 01 - 6' (1.8M HIGH) NON CLIMBABLE FENCE AND GATE



IMAGE 02 - PEEKABOO PORTAL

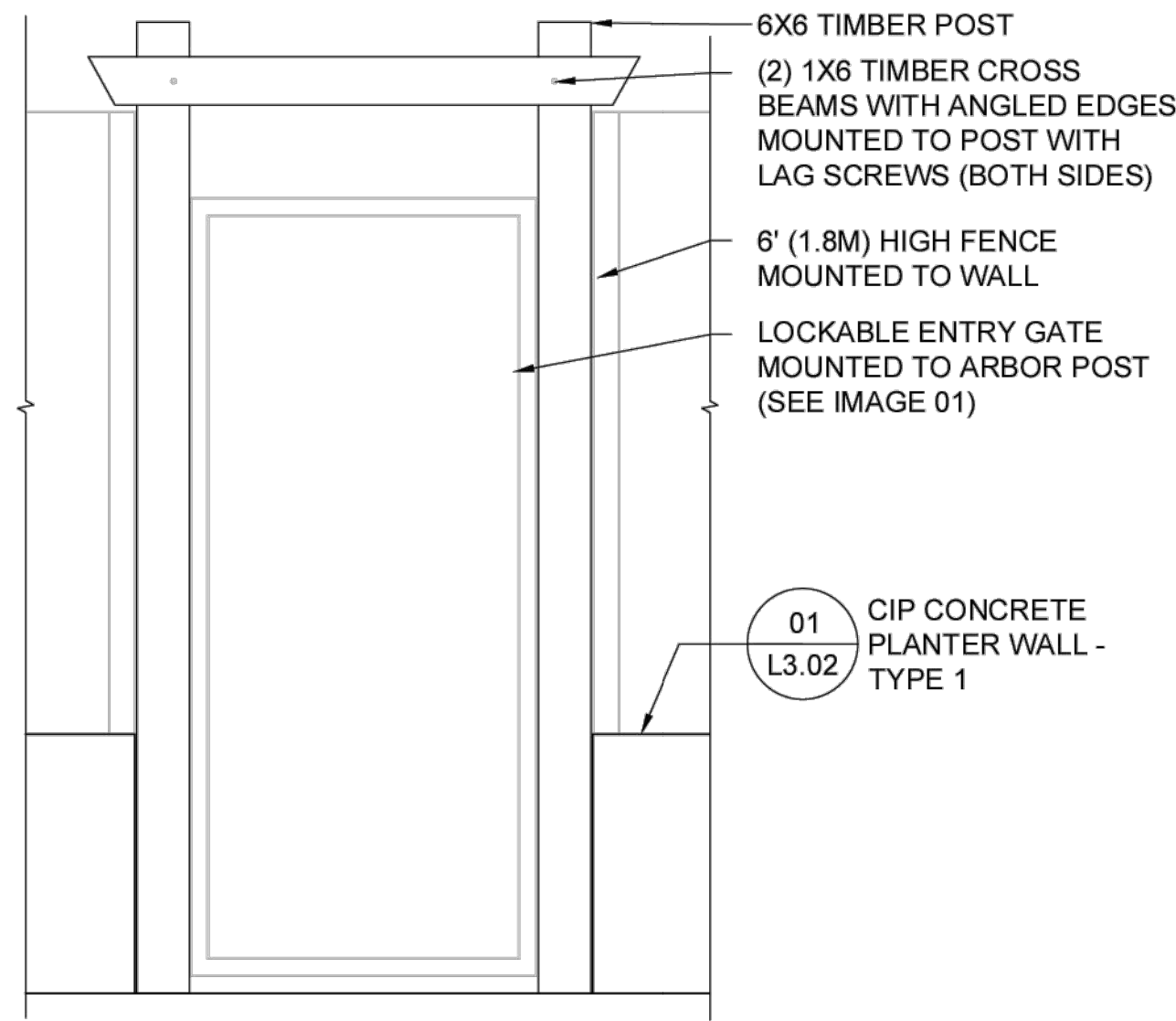
IMAGE 03 - PAINTED SLATS



MOUNTING DETAIL (SCALE 1:10)

NOTES:

- 6' (1.8M) HIGH NON-CLIMBABLE FENCE.
- CUSTOM TIMBER SLAT FENCE WITH ALUMINUM POSTS.
- ALUMINUM POSTS TO BE HOFT 6' LINE POST KIT, OR APPROVED EQUAL. SURFACE MOUNT POSTS TO C.I.P CONCRETE WALL PER MANUFACTURER'S INSTRUCTIONS.
- TWO GATES, SEE LANDSCAPE MATERIALS PLAN L1.01 FOR LOCATIONS. DESIGN TO MATCH FENCE.
- ALL ALUMINUM PARTS AND PIECES TO BE POWDER COATED. POWDER COAT COLOUR TO MATCH FENCE TYPE 1.
- ALL WOOD TO BE TIGHT-KNOT CEDAR, NO. 2 GRADE OR BETTER, SANDED SMOOTH.
- CEDAR SLATS FACING MASON STREET AND PLAZA TO BE PAINTED. PAINT COLOUR TBC WITH ARCH.
- CEDAR SLATS FACING DAYCARE TO BE CLEAR STAINED OR PAINTED PER IMAGE 03.
- PEEKABOO PORTALS PER IMAGE 02 AND AS INDICATED ON L1.04.
- ENTRY ARBOR OVER MAIN GATE (SEE ELEVATION) ARBOR TO BE PAINTED TO MATCH FENCE.
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCE, PEEKABOO PORTAL, GATE, AND ARBOR ASSEMBLY INCLUDING PLANS, ELEVATIONS, FINISHES, CONNECTIONS, AND HARDWARE.
- REFER TO SECURITY DRAWINGS FOR GATE HARDWARE



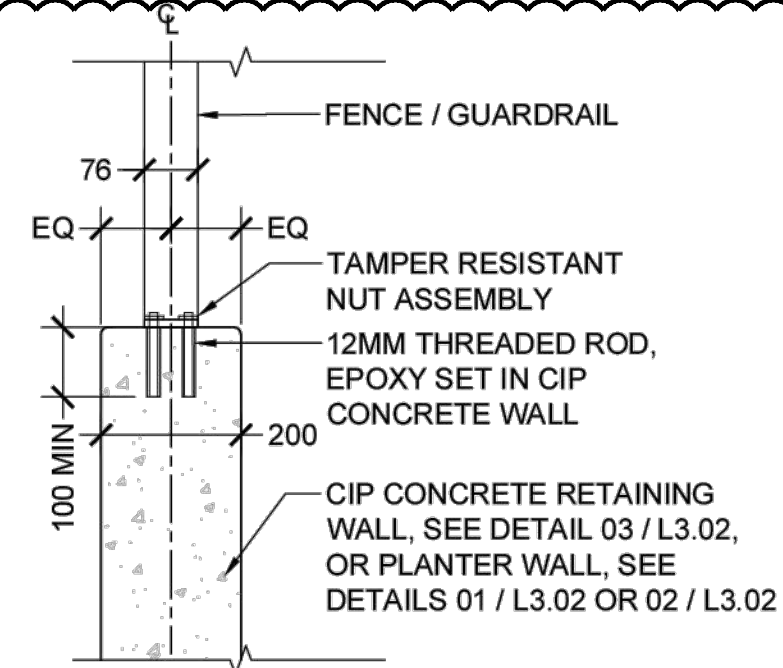
ENTRY ARBOR ELEVATION (1:20)

NOTES:

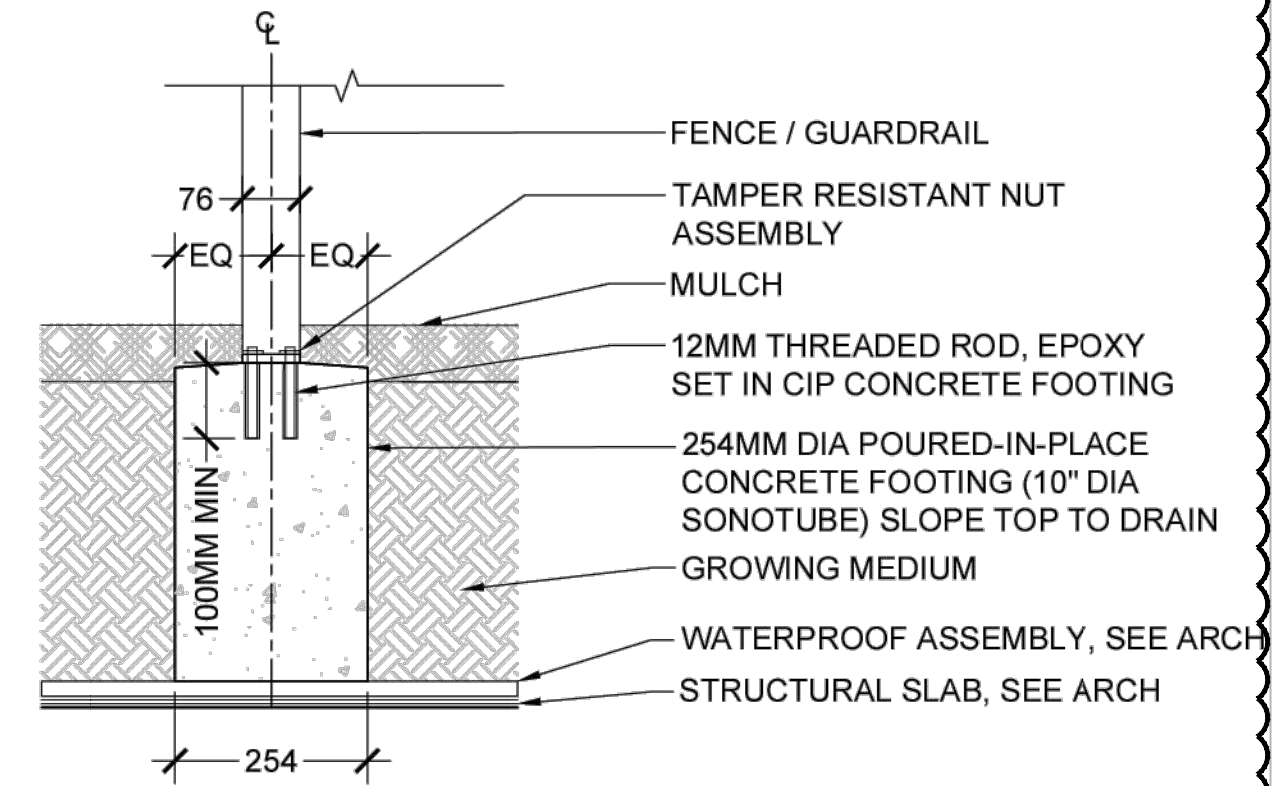
- FENCE MANUFACTURER: LANDSCAPE FORMS
- FENCE TYPE 1 MODEL & INFO:
  - LINE FENCE PANELS
  - MODEL: VERTICAL LOUVER - STRAIGHT
  - HEIGHT: 4' (1.2 M)
  - POWDERCOAT COLOUR: BLACK
- CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FENCE ASSEMBLY INCLUDING PLANS, ELEVATIONS, FINISHES, CONNECTIONS, AND HARDWARE
- SURFACE MOUNT POSTS TO CONCRETE WALL OR FOOTING, SEE MOUNTING DETAILS AND PLANS
- (2) GATE LOCATIONS:
  - WEST (MAIN) GATE: STANDARD LINE GATE, DOUBLE SWING
  - EAST GATE: CUSTOM, SEE DETAIL 01 / L3.05
- REFER TO SECURITY DRAWINGS FOR GATE HARDWARE



02 FENCE TYPE 1 AND GUARDRAIL  
SCALE: NTS

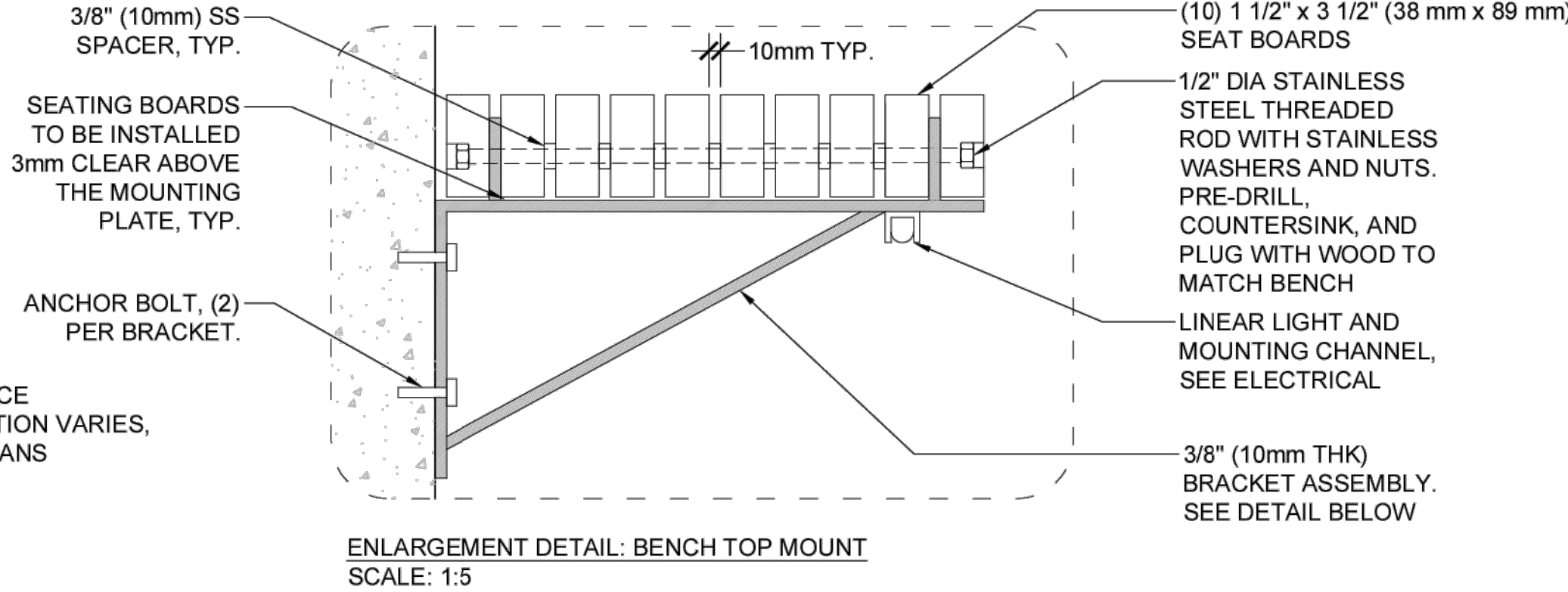
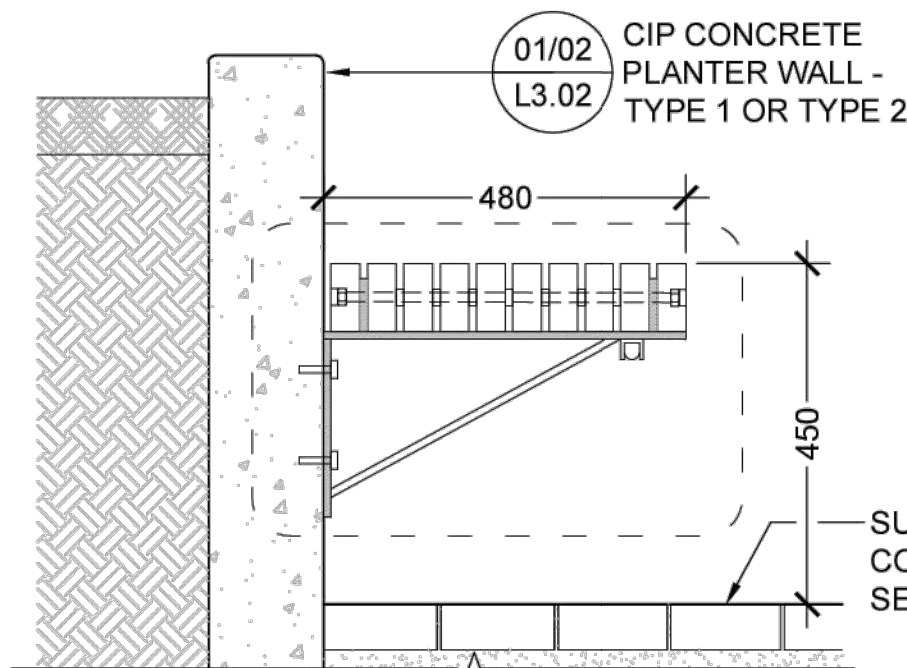


MOUNTING DETAIL - TYPICAL CONDITION AT RETAINING WALL AND PLANTER WALL (SCALE 1:10)



MOUNTING DETAIL - TYPICAL CONDITION IN RAISED PLANTER BED (SCALE 1:10)

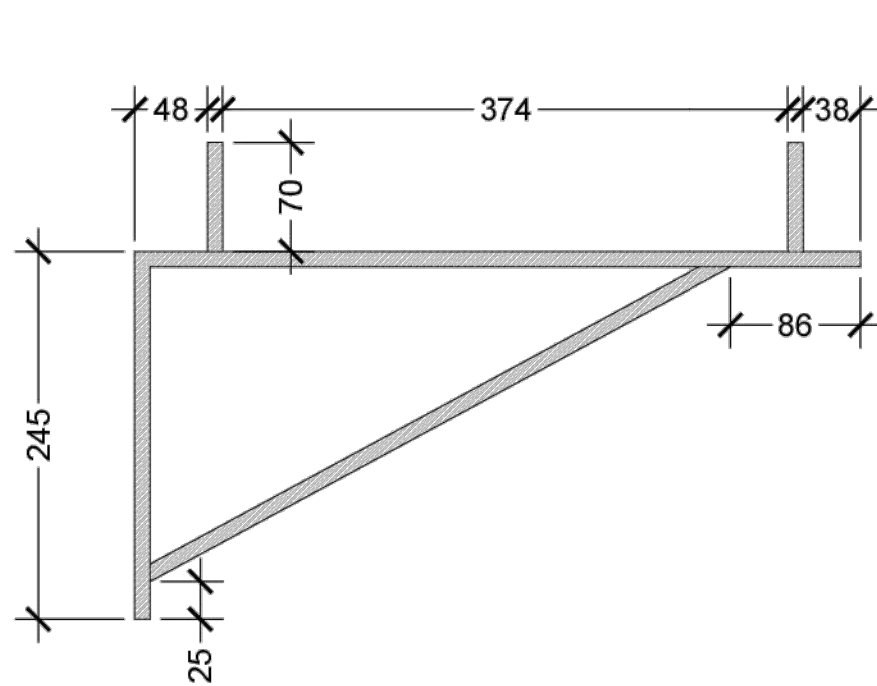
01 FENCE TYPE 2  
SCALE: NTS



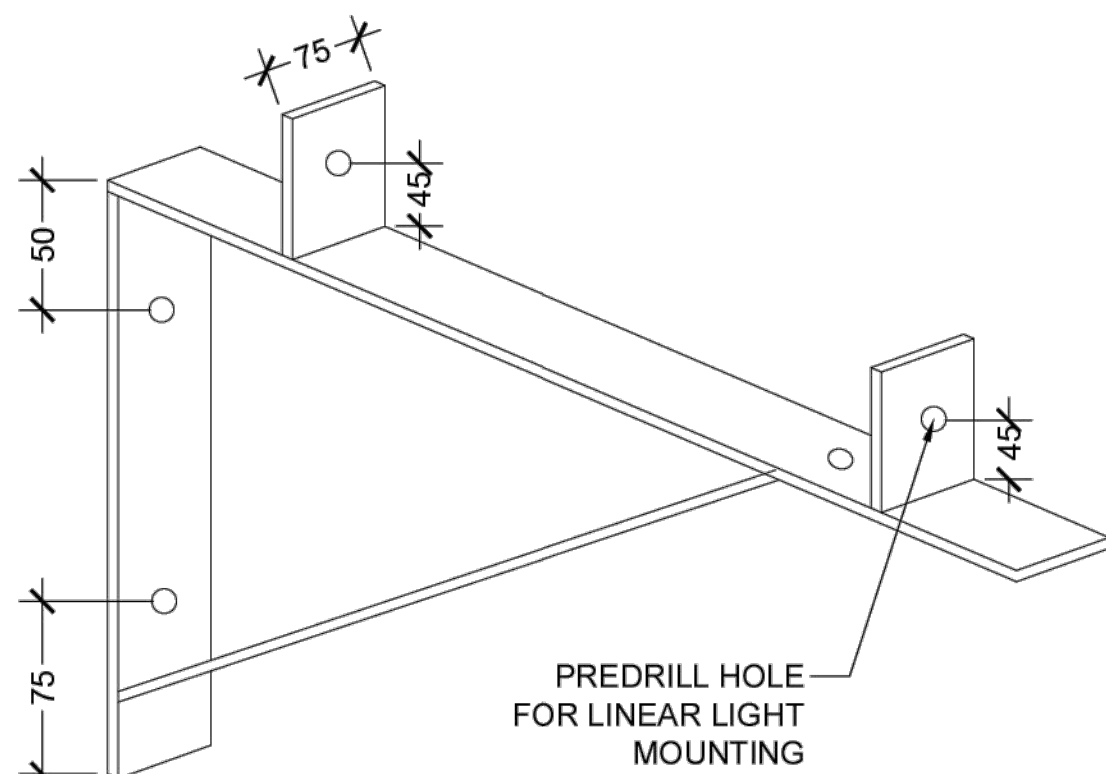
ENLARGEMENT DETAIL: BENCH TOP MOUNT  
SCALE: 1:5

NOTES:

- SHOP DRAWING TO BE PROVIDED BY METAL FABRICATOR FOR REVIEW AND APPROVAL PRIOR TO MANUFACTURING.
- SPACE MOUNTING BRACKETS EQUALLY, 1M O.C. MAX.
- ALL METAL PLATES TO BE MILD STEEL, OR APPROVED EQUAL.
- ALL ATTACHMENTS, INCLUDING NUTS, WASHERS AND BOLT HEADS TO BE STAINLESS STEEL.
- ALL PLATES AND BRACKETS TO BE PRE-DRILLED TO RECEIVE FASTENERS.
- ALL PLATES AND EXPOSED STEEL ATTACHMENTS TO BE PAINTED, COLOUR BLACK.
- GRIND ALL CUT / WELDED SURFACES TO SMOOTH UNIFORM FINISH.
- ALL WOOD TO BE SUSTAINABLY SOURCED AND CERTIFIED DOMESTIC THERMALLY MODIFIED AMERICAN ASH, OR APPROVED EQUAL.



ENLARGEMENT DETAIL: MOUNTING BRACKET  
SCALE: 1:5



BRACKET ASSEMBLY  
SCALE: NTS

03 WALL MOUNTED BENCH  
SCALE: 1:10

NOTES:

MANUFACTURER: SANDERSON CONCRETE  
(WWW.SANDERSONCONCRETE.CA)

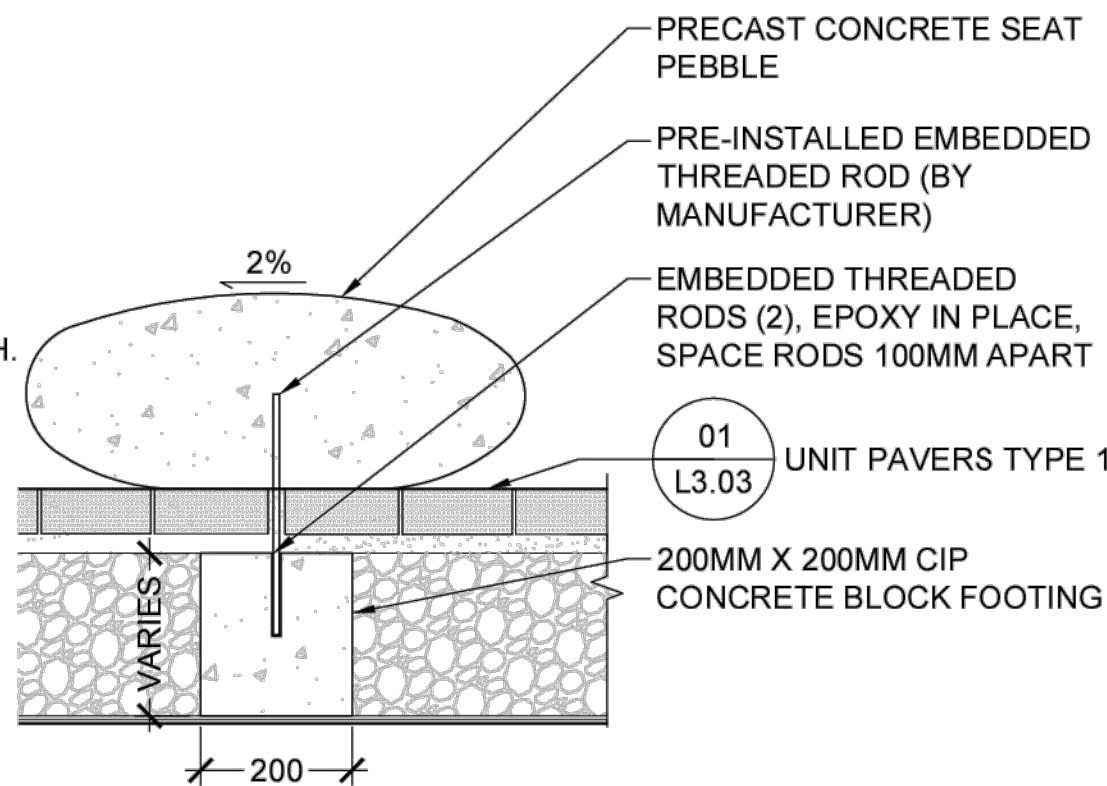
PRODUCT: SEAT PEBBLE (CUSTOM)

MATERIAL / FINISH: SMOOTH, SLIP-RESISTANT FINISH. INTEGRAL COLOURED CONCRETE - MATCH SHADE WITH C.I.P. CONCRETE PAVING (ONIX BY SOLOMON COLOURS, OR APPROVED EQUAL)

SIZES:

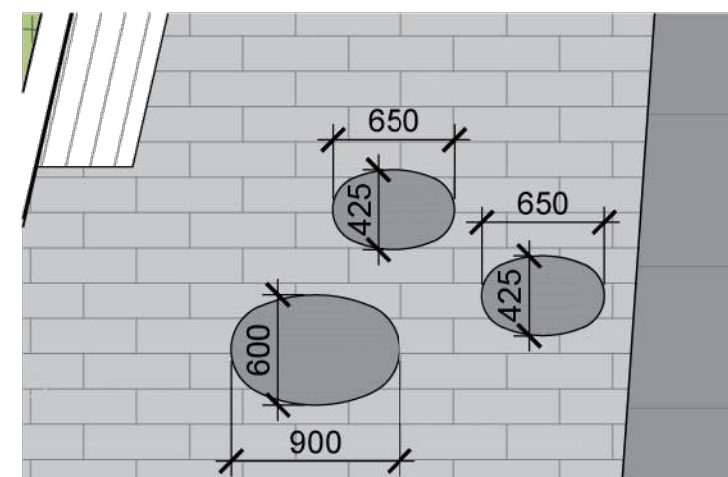
- SMALL: 425mm x 650mm x 400mm
- MEDIUM 1: 600mm x 900mm x 450mm
- MEDIUM 2: 700mm x 1050mm x 450mm
- LARGE: 850mm x 1300mm x 500mm

ALL PEBBLES TO HAVE 2% CROSS SLOPE TO DRAIN  
SMALL SIZE PEBBLES (425MM X 650MM) TO BE MOUNTED WITH (2) EMBEDDED THREADED RODS TO C.I.P. CONCRETE FOOTING.

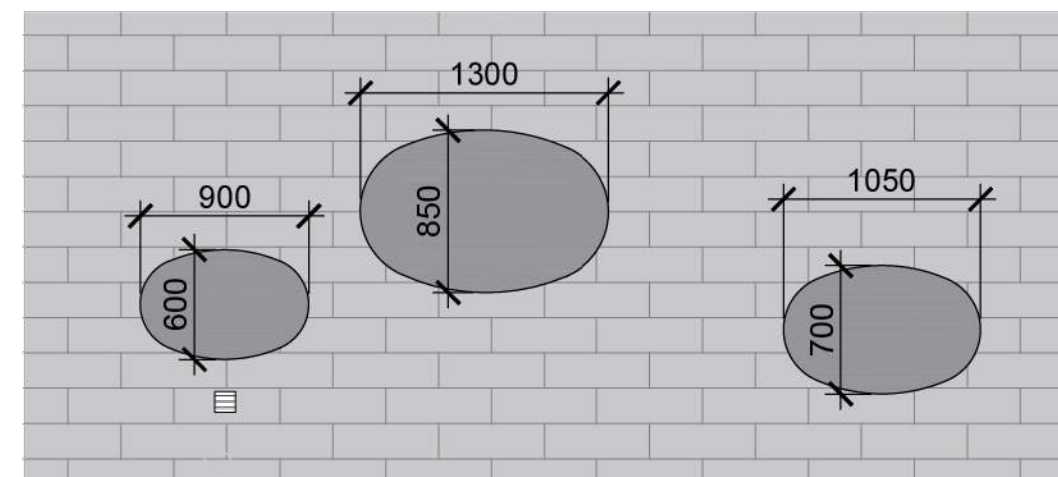


MOUNTING DETAIL - SMALL PEBBLES (SCALE 1:10)

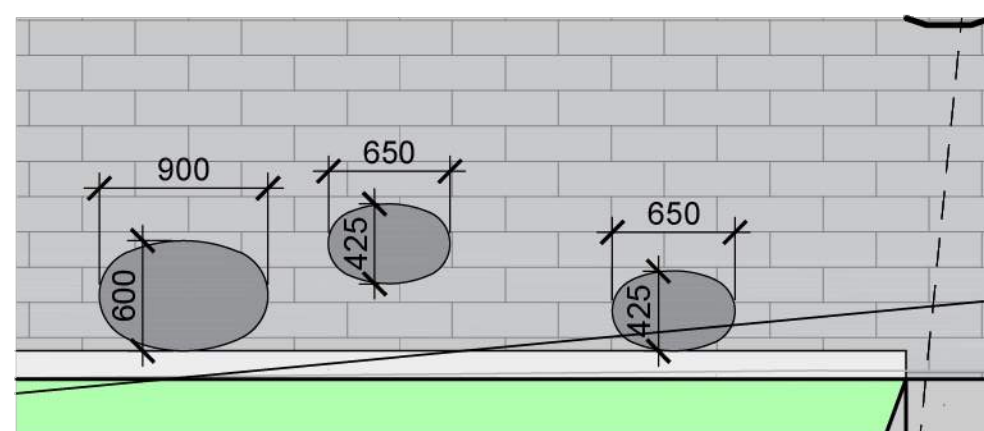
REFERENCE IMAGE (NTS)



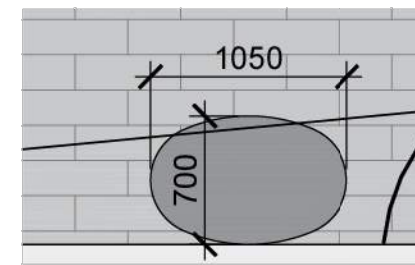
PLAN - MASON ST. PLAZA PEBBLES, GROUPING 1



PLAN - MASON ST. PLAZA PEBBLES, GROUPING 2



PLAN - PANDORA AVE. PEBBLE GROUPING



PLAN - PANDORA AVE. PEBBLE

04 SEAT PEBBLE  
SCALE: NTS

LANARC

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2920 W 33<sup>rd</sup> Avenue, BC V6N 2G5

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Permit-Seal

930 PANDORA

Project

LANDSCAPE DETAILS

Title

21-313 As Shown  
Project No. Scale

L1.8  
Drawing No. Permit No. Revision



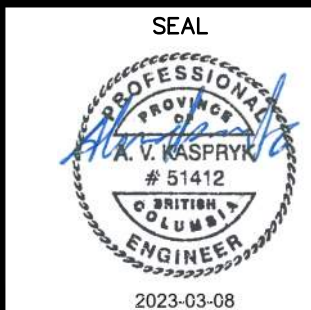
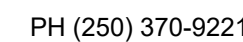
**NOTE:**  
EXISTING CONCRETE ROAD  
BASE ON PANDORA AVENUE

- 1) PLAN NOTES:
  - a) FOR BUILDING INFORMATION, SEE DRAWINGS BY dHK ARCHITECTS.
  - b) FOR LANDSCAPE, SEE DRAWINGS BY LANAP CONSULTANTS.
  - c) UTILITY SIZES AND LOCATIONS TO BE CONFIRMED DURING DETAILED DESIGN.
  - d) SEWER/REPAIRMENT CONNECTION LOCATION TO BE CONFIRMED DURING DETAILED DESIGN (TO BE WITHIN 45m OF FIRE HYDRANT). NEW HYDRANT TO BE INSTALLED IF DISTANCE REQUIREMENT IS NOT MET.
  - e) ALL EXISTING OBSTACLES, BUSHES, TREES, AND OTHER FEATURES, RETAINING WALL, ETC., TO BE REMOVED AND DISPOSED OFF SITE.
  - f) BASE INFORMATION SHOWN IS PRODUCED FROM A COMBINATION OF FIELD SURVEY AND AERIAL PHOTOGRAPHY.
  - g) ALL INFORMATION TO BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION (INCLUDING COMPLETING A BONECONE).
- 2) ONSITE WALKWAYS, WALLS, BENCHES, GLASSY STALLS AND OTHER LANDSCAPE FEATURES TO BE SHOWN FOR CLARITY (SEE ARCHITECT AND LANDSCAPE DRAWINGS).

Engineers and Geoscientists of BC

DRAWING NO.  
22-041-CSP

NO.	DATE	BY	ISSUED	NO.	DATE	BY	REVISIONS
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DRAWING NO.  
22-041-CSP