

Average Grade					
The Duck's Building Redevelopment					
A	Point	Point Value	Grade Points	Average of Points	Distance
17.33	A+B	16.60	57.70	957.53	
15.86	B+C	15.49	29.30	453.86	
15.12	C+D	16.01	57.70	923.78	
16.90	D+A	17.12	29.30	501.47	
Average Grade			Perimeter	Sum	
16.30			174.00	2836.64	

Existing Duck's Building					
A	Point	Point Value	Grade Points	Average of Points	Distance
17.02	A+B	16.44	40.31	662.70	
15.86	B+C	15.49	29.30	453.86	
15.12	C+D	15.74	40.31	634.48	
16.36	D+A	16.69	29.30	489.02	
Average Grade			Perimeter	Sum	
16.09			139.22	2240.05	

Rev	1	Date	1	Revision	1
date		Issue Date		drawing file	
drawn by	SWS	checked by	CRK		
scale	1 : 150	project number	1721		

NOTE: All dimensions are shown in millimeters.

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Nanaimo BC V9T 2K3
T 1-250-585-5810

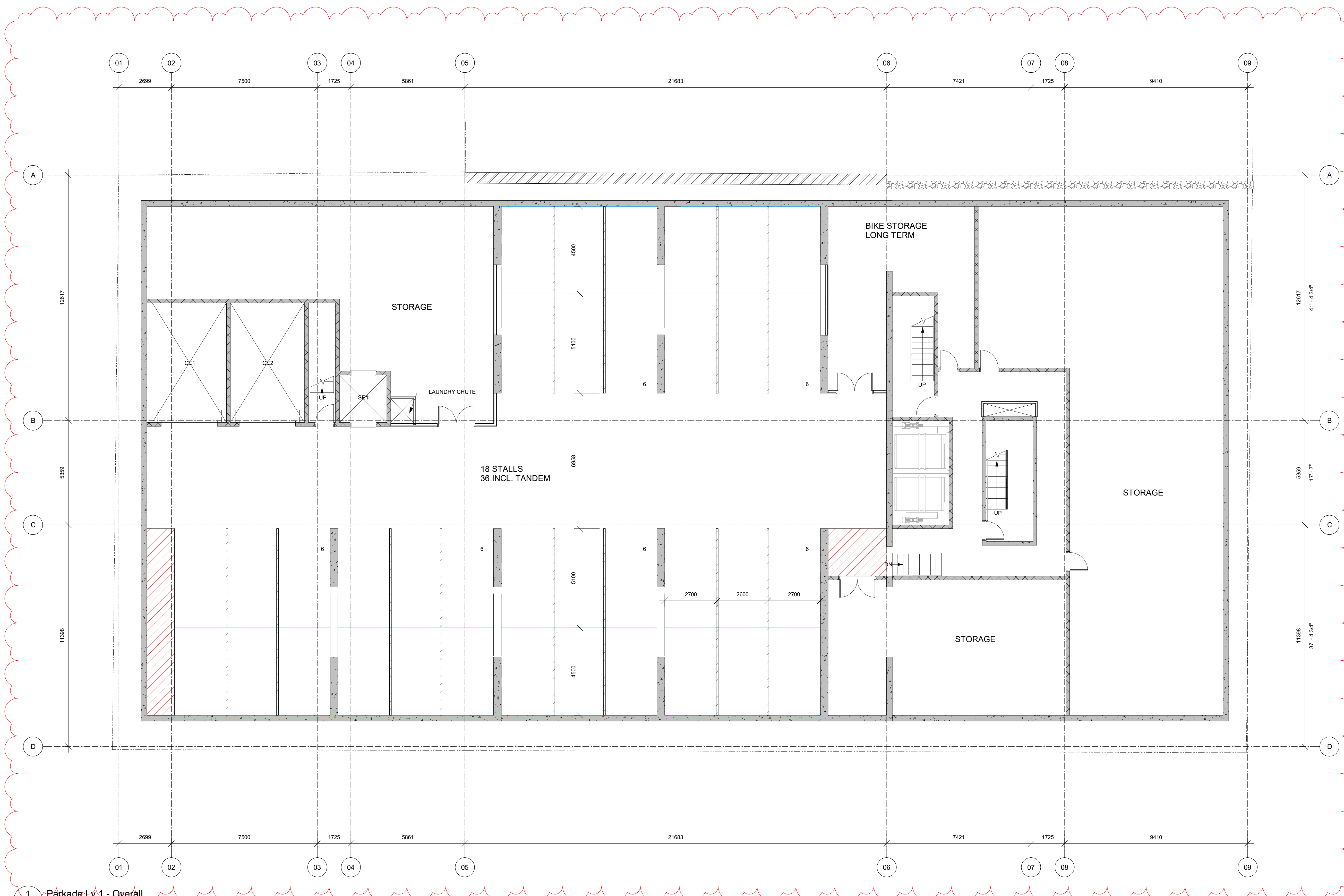
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

drawing no.
Site Plan

drawing no.
A101

revision no.
1

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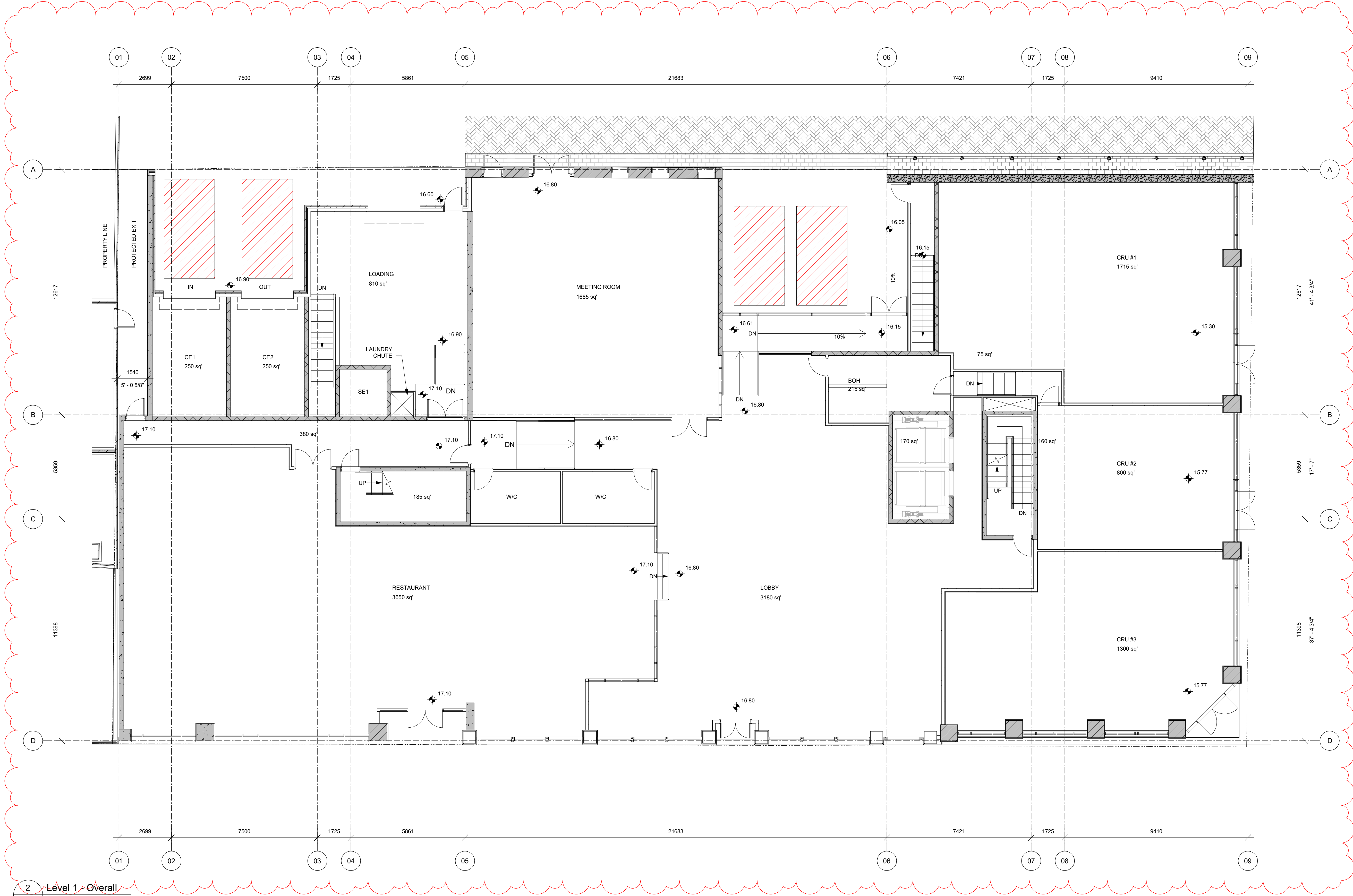
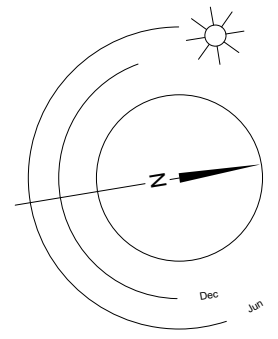


A202 SCALE: 1 : 100

NOTE: All dimensions are shown in millimeters.

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VICTORIA OFFICE 9077 7 th Fl Street 102-5180 Dublin Way T 1-250-585-3367	NANAIMO OFFICE 102-5180 Dublin Way Nanaimo BC V8T 2K1 T 1-250-585-5810
project name The Duck's Building 1312-1324 Broad Street Victoria, BC	

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2 Level 1 - Overall
A203 SCALE: 1 : 100

Revision Log			
Rev	Date	Description	Revision
2	Oct-08-19	Revision 2	
1	Oct-08-19	Revision 1	
0	Oct-08-19	Issue Date	
0	Oct-08-19	Author	
0	Oct-08-19	Checked by	
0	Oct-08-19	Project number	1721

NOTE: All dimensions are shown in millimeters.

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T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 1

author
A203

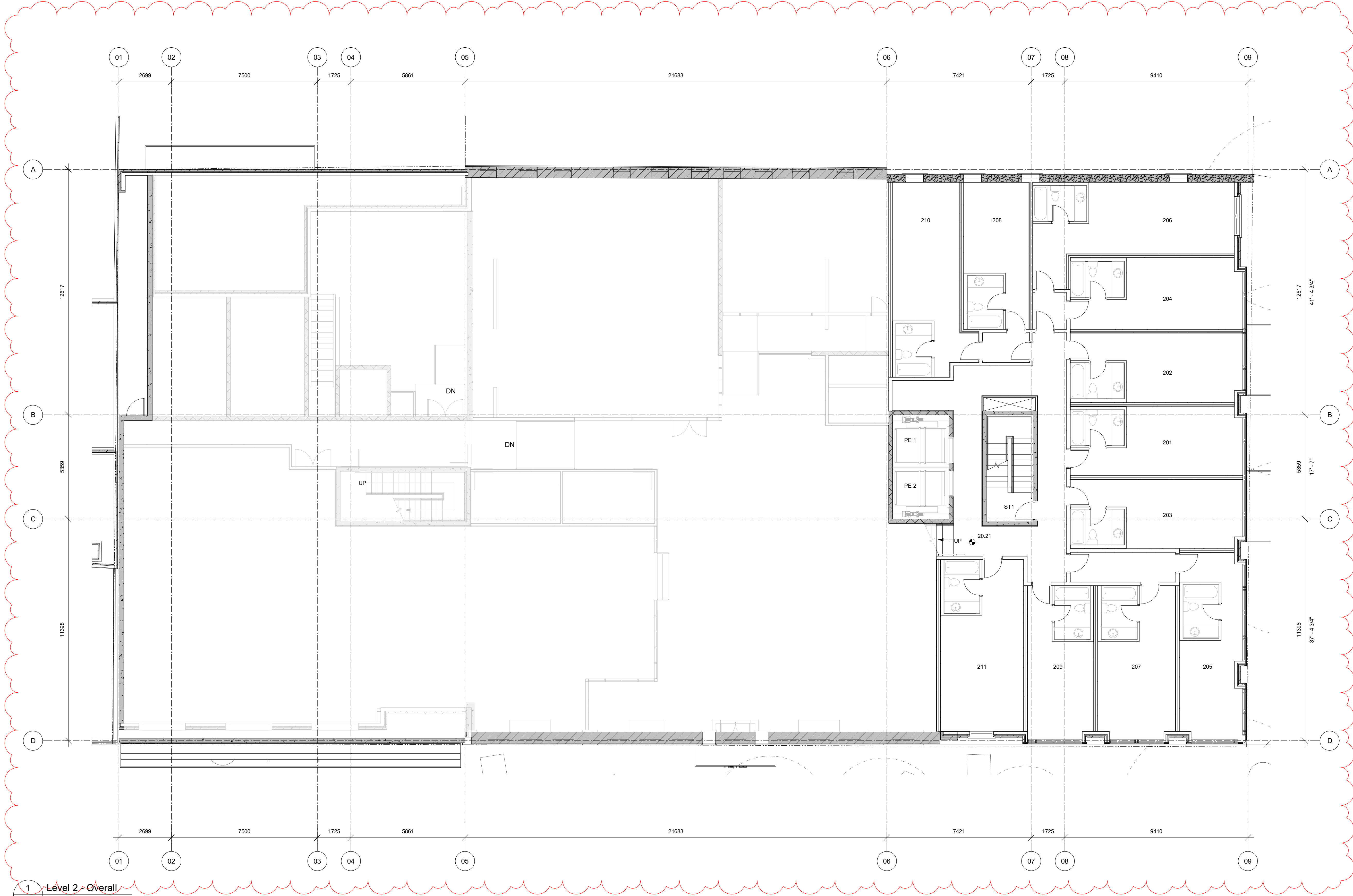
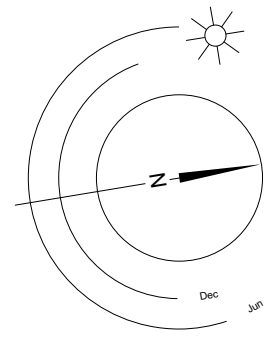
checked by
2

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1 Level 2 - Overall
A204 / SCALE: 1 : 100

Rev	Date	Description	Revision
2	Oct-08-19	Revision 2	Revision 2
1	Oct-08-19	Revision 1	Revision 1
0	Oct-08-19	Issue Date	Issue Date
0	Oct-08-19	Author	Author
0	Oct-08-19	Checked by	Checked by
0	Oct-08-19	Scale	Scale
0	Oct-08-19	Project number	Project number
0	Oct-08-19	1721	1721

NOTE: All dimensions are shown in millimeters.

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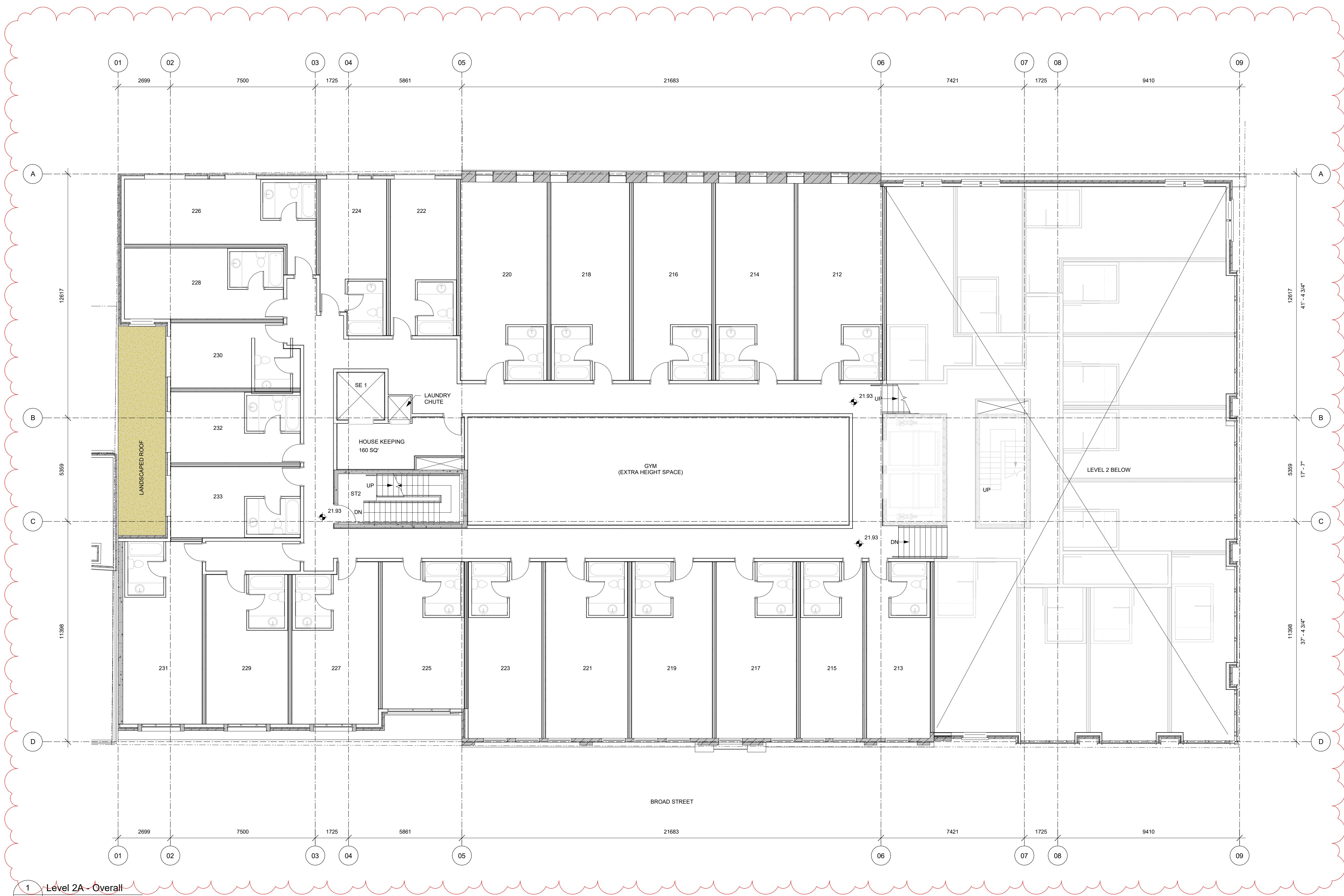
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

revision
Level 2

sheet no.
A204

sheet no.
2

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 T 1-250-685-5810

project name

The Duck's Building
 1312-1324 Broad Street
 Victoria, BC **CHURCH**

drawing title

Level 2A

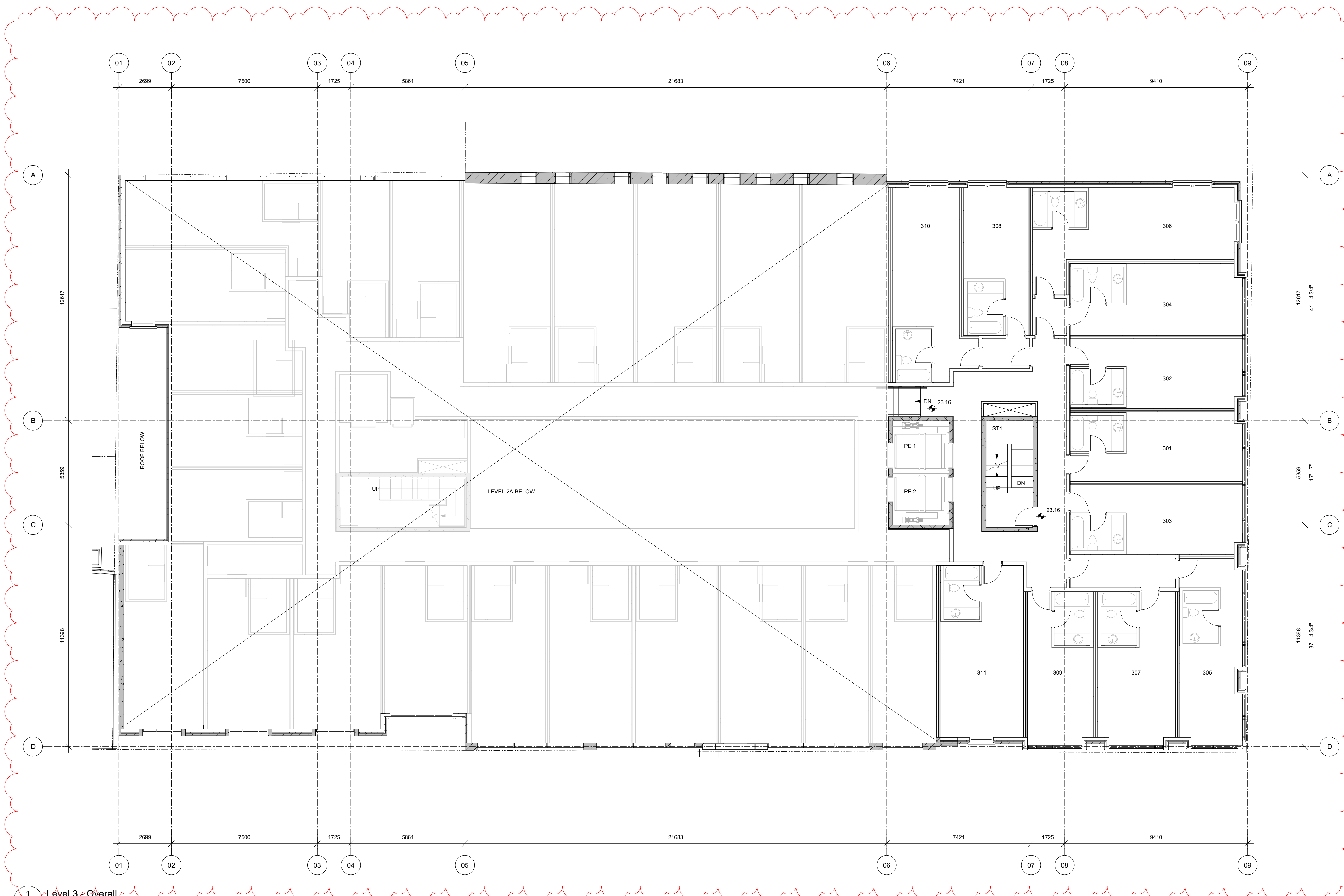
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A205

revision no.

2



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 T 1-250-688-5810

project name

The Duck's Building
 1312-1324 Broad Street
 Victoria, BC

drawing title

Level 3

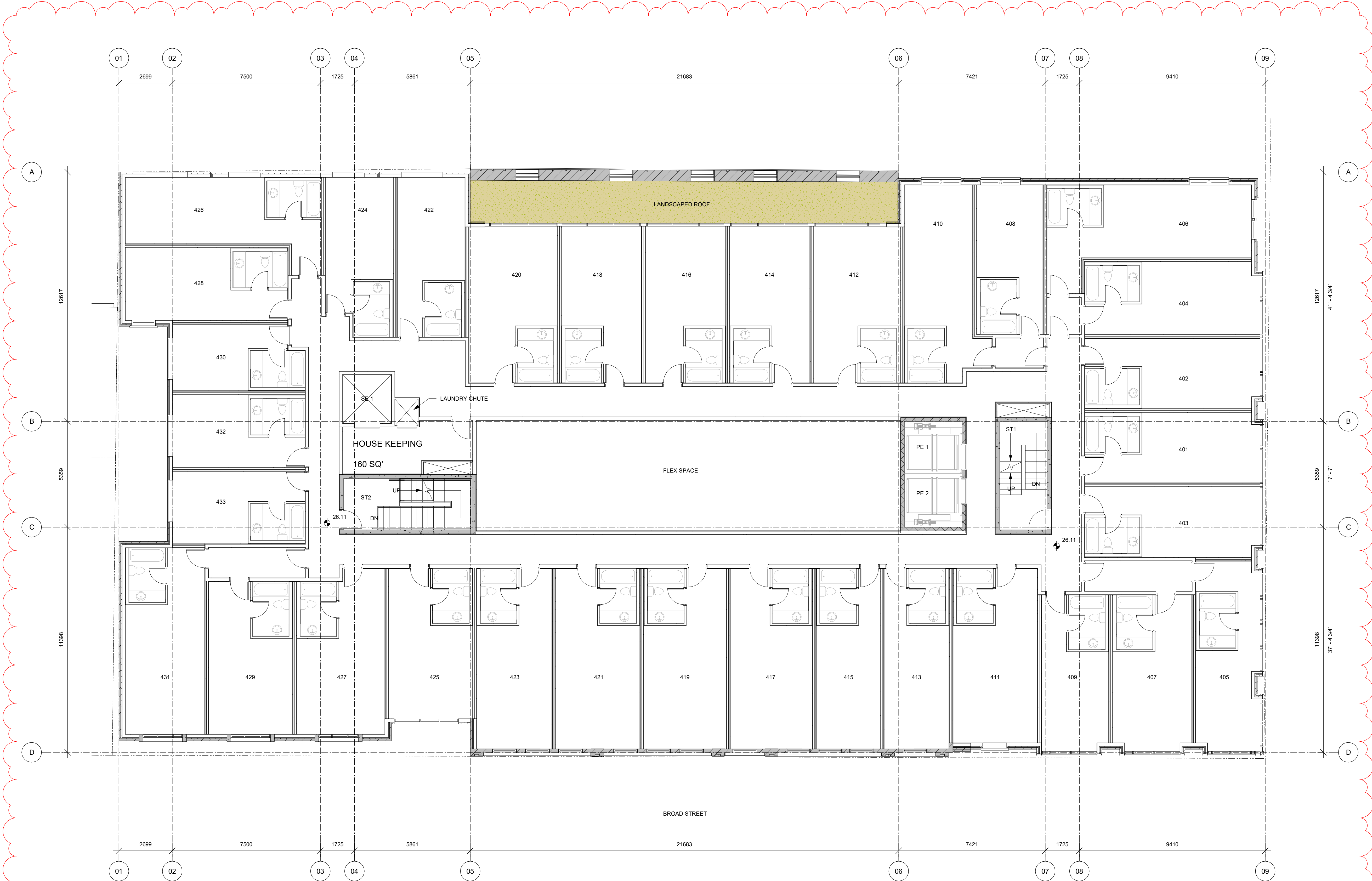
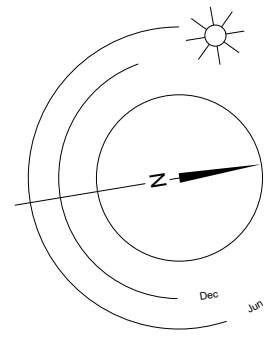
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A206

revision no.

2



1 Level 4 - Overall
A207 SCALE: 1 : 100

Rev	2	Date	Oct-08-19	Revision 2	Description	Revision 2
drawn by		Issue Date		Issued By		
scale		Author		checked by		Checker
		1 : 100		project number		1721

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project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

drawing title
Level 4

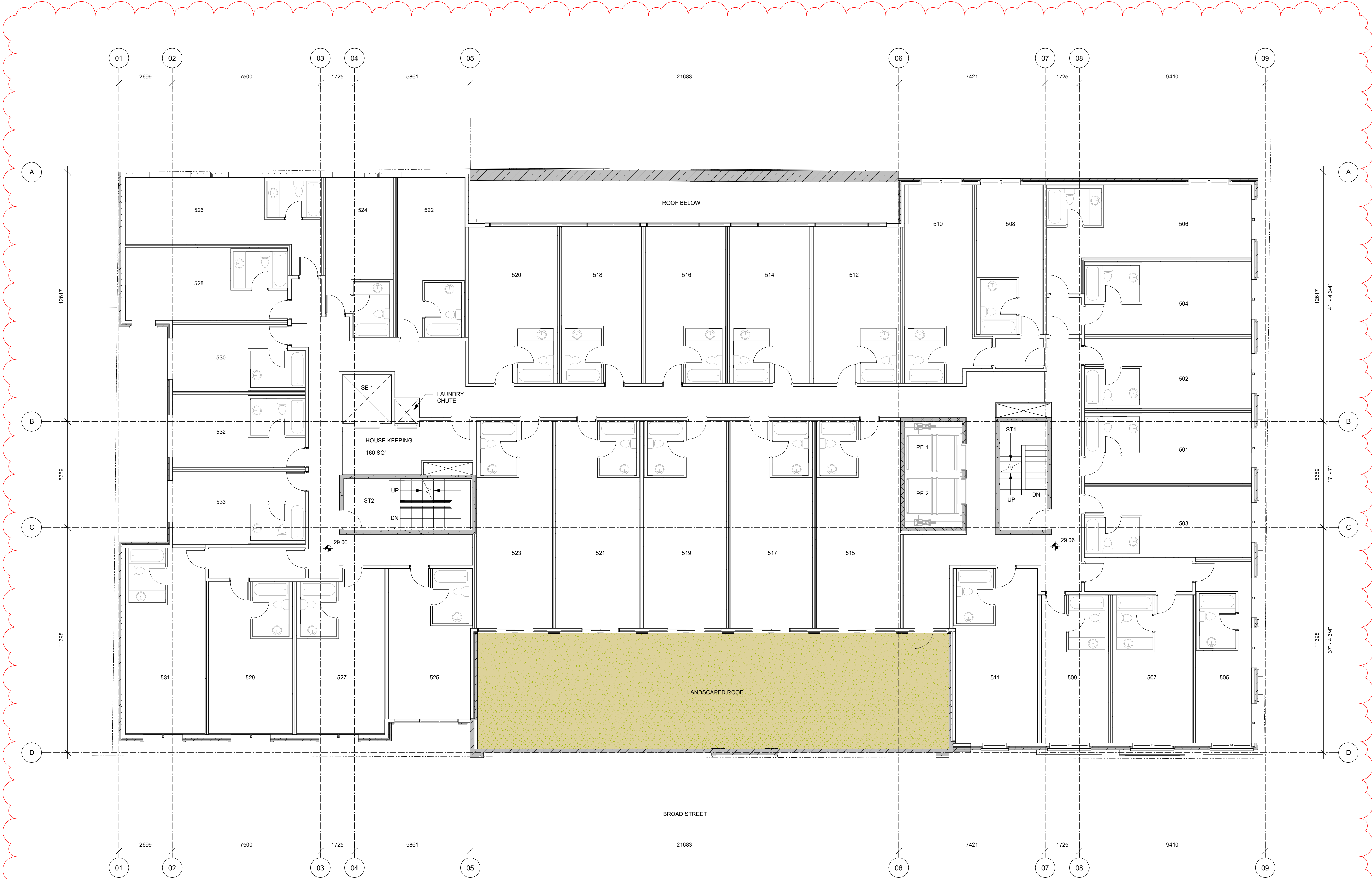
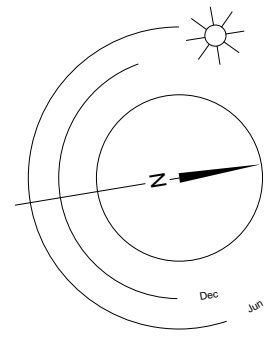
sheet no.
A207

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A207

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1 Level 5 - Overall
A208 SCALE: 1 : 100

Rev	Date	Issue Date	Revision
2	Oct-08-19	Oct-08-19	Revision 2
Rev	2	Date	Oct-08-19
Issue Date	Oct-08-19	Revision	Revision 2
Author	Author	Checked by	Checker
Scale	1 : 100	Project number	1721

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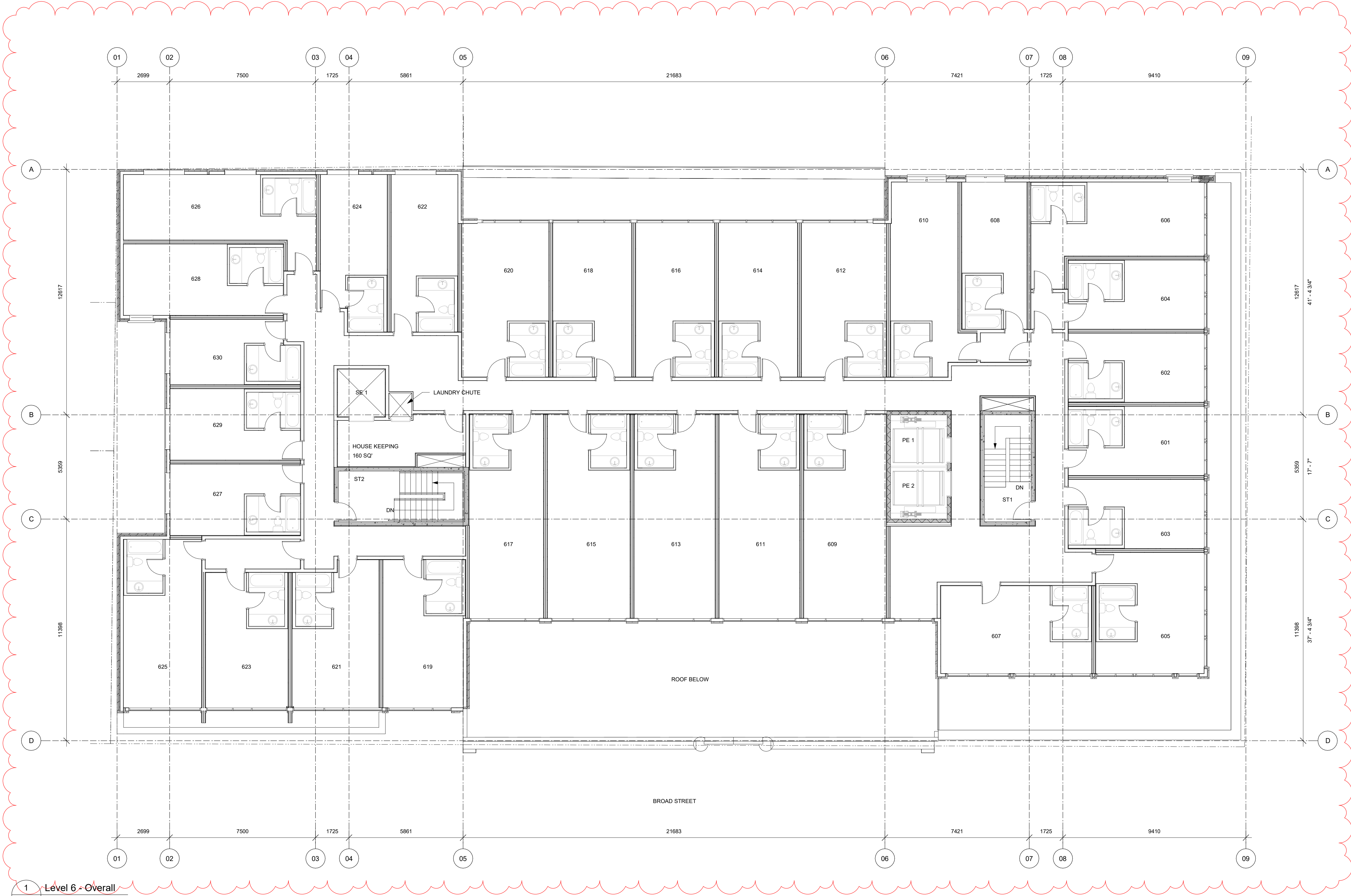
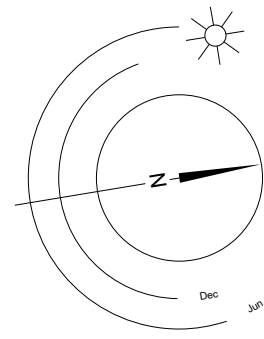
project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1E1

revision
Level 5

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drawing no.
A208

sheet no.
2



1 Level 6 - Overall
A209 SCALE: 1 : 100

Rev	2	Date	Oct-08-19	Revision 2	Revision 2
author		Issue Date	Oct-08-19	Author	1721
checked by		Author		checked by	
scale	1 : 100	project number			

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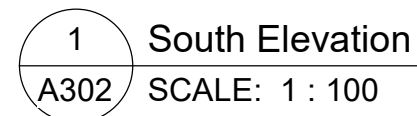
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revision
Level 6

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sheet no.
A209

revision
2



- 1 Brick Masonry Veneer Cladding - Brown
- 1 Steel Door
- 2 Brick Masonry Veneer Cladding - Wheat
- 3 Metal Panel - Lt Grey
- 4 Metal Panel - Dk Grey
- 5 Metal Panel - Black
- 6 Pre-Cast Concrete
- 7 Curtain Wall Window System - Clear Anodized Aluminum
- 8 Prefinished Metal Window
- 9 Steel C-Channel
- 10 Aluminum Flashing
- 11 Rehabilitated Historically Compatible Window
- 12 Signage
- 13 Sectional Overhead Door

SCW



2 BRICK MASONRY VENEER CLADDING
- WHEAT



1 BRICK MASONRY VENEER CLADDING
- MAUNA LOA



NOTE: All dimensions are shown in millimeters



BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)

EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)

EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)

IRON COLUMNS TO BE RETAINED (typ.)

ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)

PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)

RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)

NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)

STONE LINTELS TO BE PRESERVED (typ.)

1	Brick Masonry Veneer Cladding - Brown
2	Steel Door
3	Brick Masonry Veneer Cladding - Wheat
4	Metal Panel - Lt Grey
5	Metal Panel - Dk Grey
6	Metal Panel - Black
7	Pre-Cast Concrete
8	Curtain Wall Window System - Clear Anodized Aluminum
9	Prefinished Metal Window
10	Steel C-Channel
11	Aluminum Flashing
12	Rehabilitated Historically Compatible Window
13	Signage
14	Sectional Overhead Door
SCW	SCW

2 BRICK MASONRY VENEER CLADDING
- WHEAT



Rev	Date	Description
pld date	Issue Date	drawing file
drawn by	Author	checked by
scale	As indicated	project number
		1721

NOTE: All dimensions are shown in millimeters.

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T: 250-688-4381

project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8Y 1H1

drawing title

East Elevation

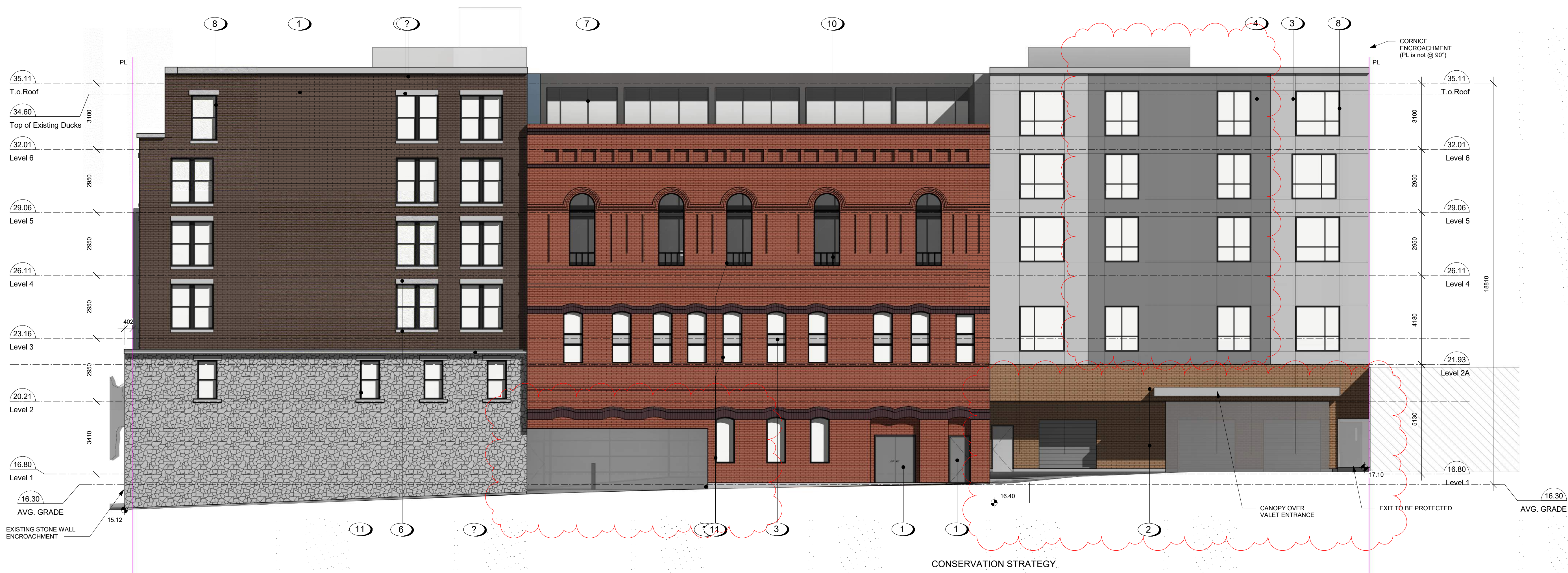
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A303

revision no.

0



1 West Elevation
A304 / SCALE: 1 : 100

CONSERVATION STRATEGY

BRICKWORK AND MASONRY DETAILS TO BE PRESERVED (typ.)

EXTERIOR BRICK WALLS TO BE PRESERVED (typ.)

EXISTING DOUBLE-HUNG WOODEN SASH WINDOWS TO BE REHABILITATED WHERE POSSIBLE, AND REPLACED W/ HISTORICALLY COMPATIBLE DOUBLE-HUNG WOODEN SASHES WHERE NEEDED (typ.)

IRON COLUMNS TO BE RETAINED (typ.)

ORIGINAL CORBELLED CORNICE DETAILING W/ BRACKETS AND TRIANGULAR PEDIMENT TO BE PRESERVED (typ.)

PAINT TO BE REMOVED FROM EXTERIOR MASONRY WHERE APPLICABLE (typ.)

RUSTICATED MASONRY PIERS TO BE PRESERVED (typ.)

NEW ENTRYWAYS TO BE CONSTRUCTED IN THE SPIRIT OF THE ORIGINAL HISTORIC APPEARANCE (typ.)

STONE LINTELS TO BE PRESERVED (typ.)

Material Schedule West

- | | |
|-----|------------------------------------------------------|
| 1 | Brick Masonry Veneer Cladding - Brown |
| 1 | Steel Door |
| 2 | Brick Masonry Veneer Cladding - Wheat |
| 3 | Metal Panel - Lt Grey |
| 4 | Metal Panel - Dk Grey |
| 5 | Metal Panel - Black |
| 6 | Pre-Cast Concrete |
| 7 | Curtain Wall Window System - Clear Anodized Aluminum |
| 8 | Prefinished Metal Window |
| 9 | Steel C-Channel |
| 10 | Aluminum Flashing |
| 11 | Rehabilitated Historically Compatible Window |
| 12 | Signage |
| 13 | Sectional Overhead Door |
| SCW | SCW |



BRICK AND TILE COLOUR

2 BRICK MASONRY VENEER CLADDING - WHEAT



3 METAL PANEL - LT GREY



1 BRICK MASONRY VENEER CLADDING - MAUNA LOA



4 METAL PANEL - DK GREY



Rev	Date	Revision	Description
2	Oct-08-19	Revision 2	

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T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC V8W 1R1

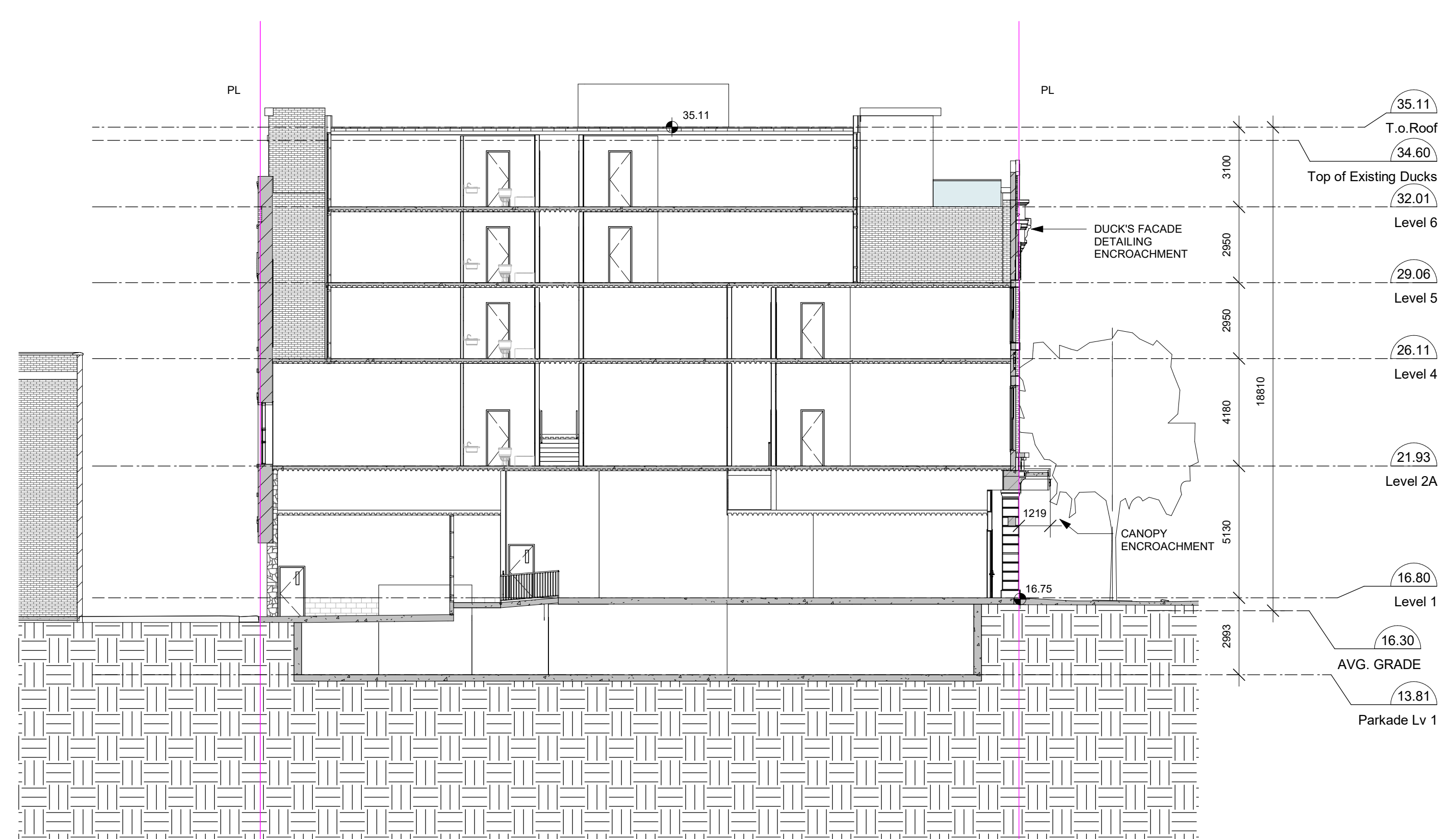
West Elevations

drawing no.
A304

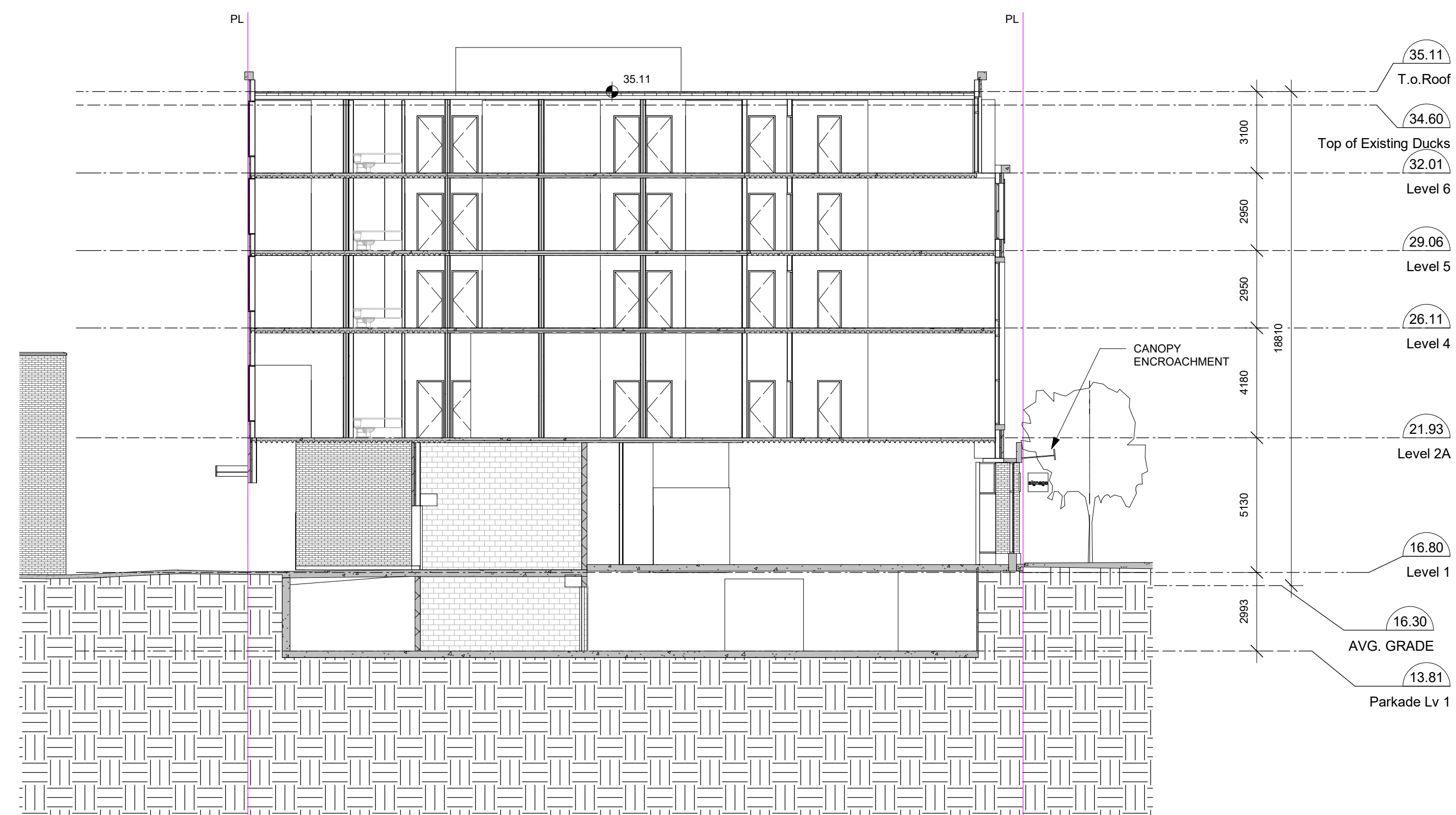
sheet no.
2



1 Section E-W North
A401 SCALE: 1 : 150



2 Section E-W Ducks
A401 SCALE: 1 : 150



3 Section E-W South
A401 SCALE: 1 : 150

Rev	Date	Description
plot date	Issue Date	drawing file
drawn by	Author	checked by
scale	1 : 150	project number
		1721

NOTE: All dimensions are shown in millimeters.



AUDIO VIDEO REPLAY
620 JOHNSON STREET

605 - 613 JOHNSON STREET

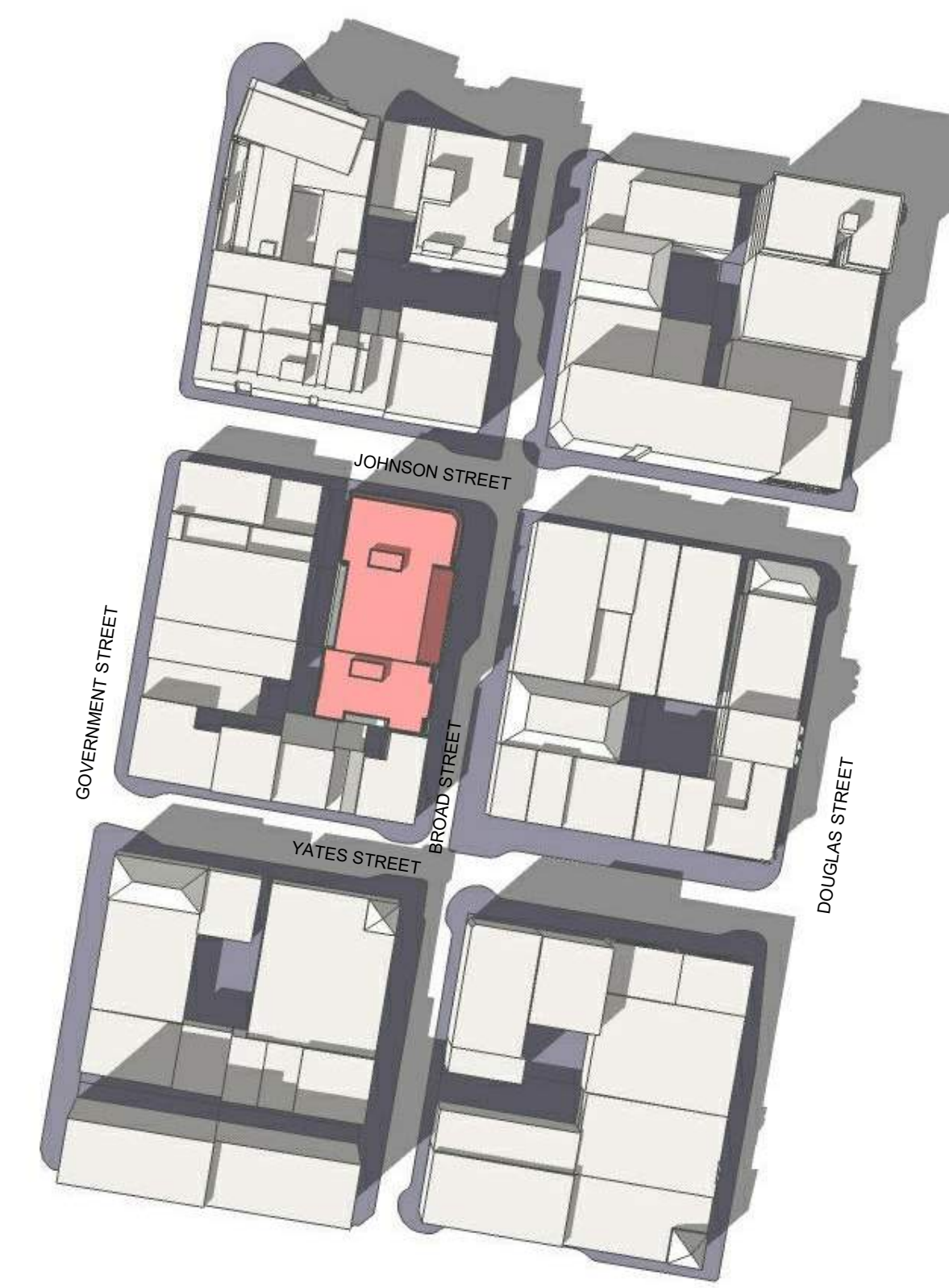
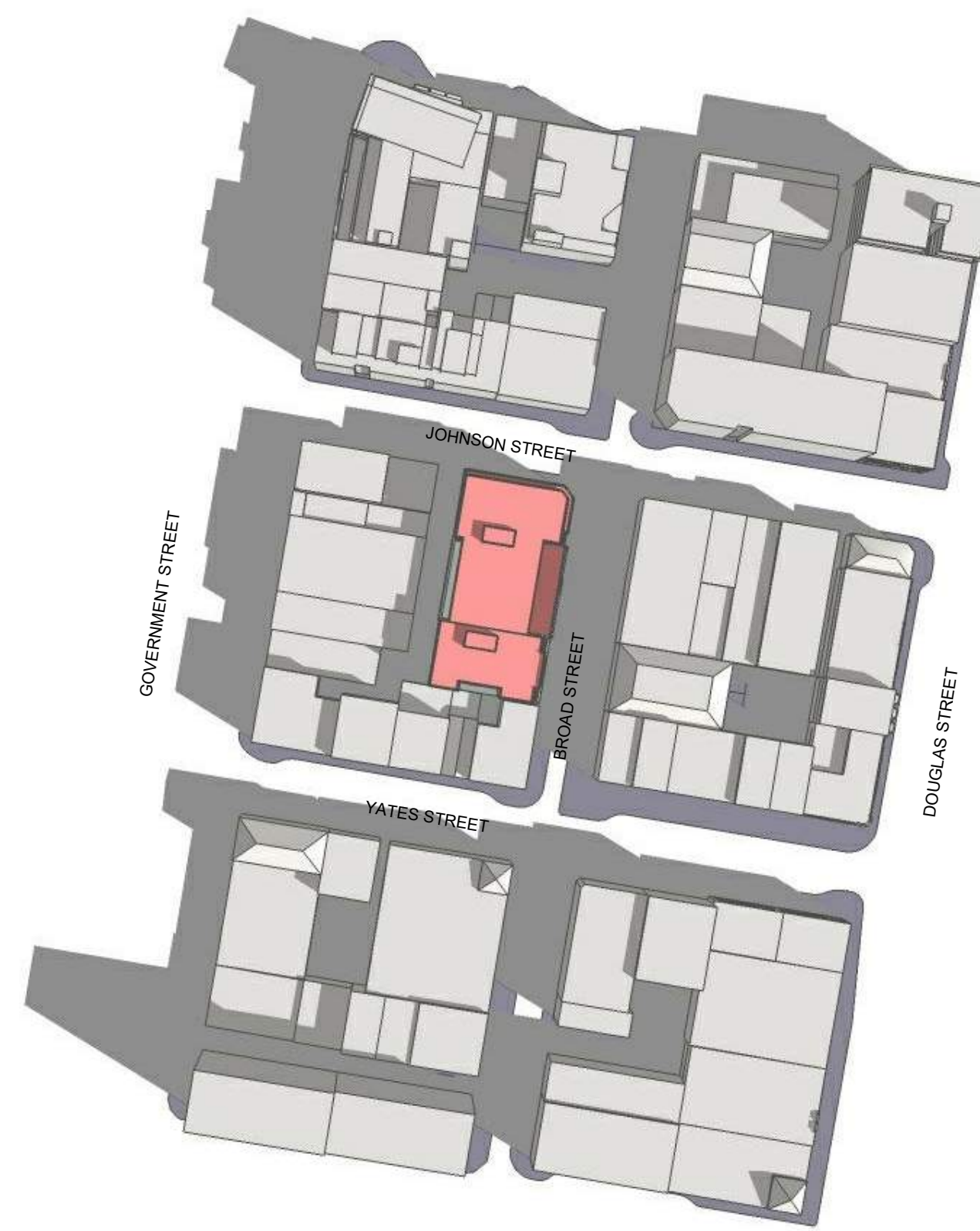
605 - 613 JOHNSON STREET

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project name The Duck's Building 1312-1324 Broad Street Victoria, BC		

YATES STREET

BEST WESTERN
636 JOHNSON STREET

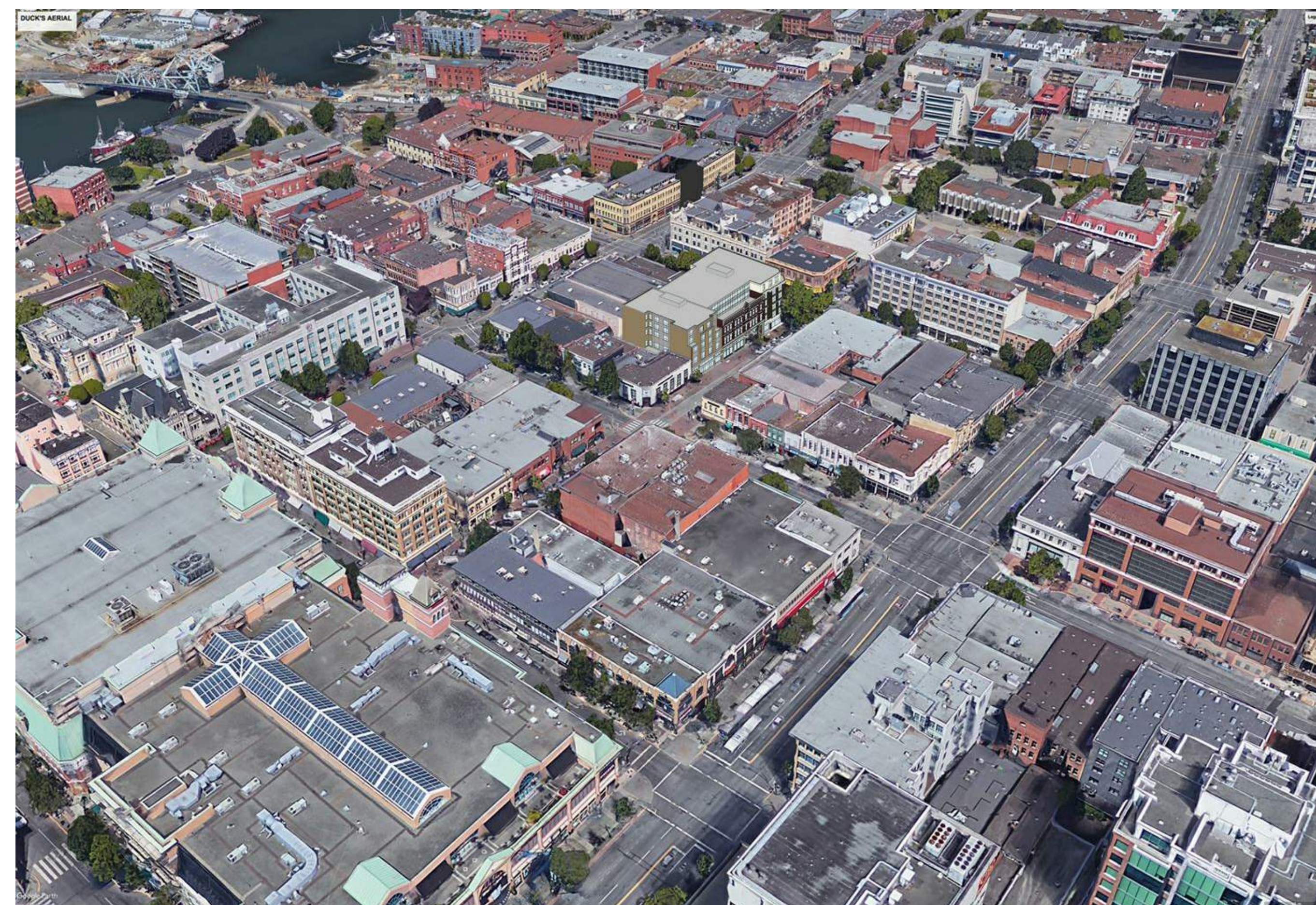
605 - 613 JOHNSON STREET



Equinox 9am

Equinox Noon

Equinox 3pm



Rev	Date	Description			
plot date	Issue Date		drawing file		
drawn by	Author		checked by		Checker
scale	As indicated		project number		1721

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project name

The Duck's Building
1312-1324 Broad Street
Victoria, BC V8T 1T1

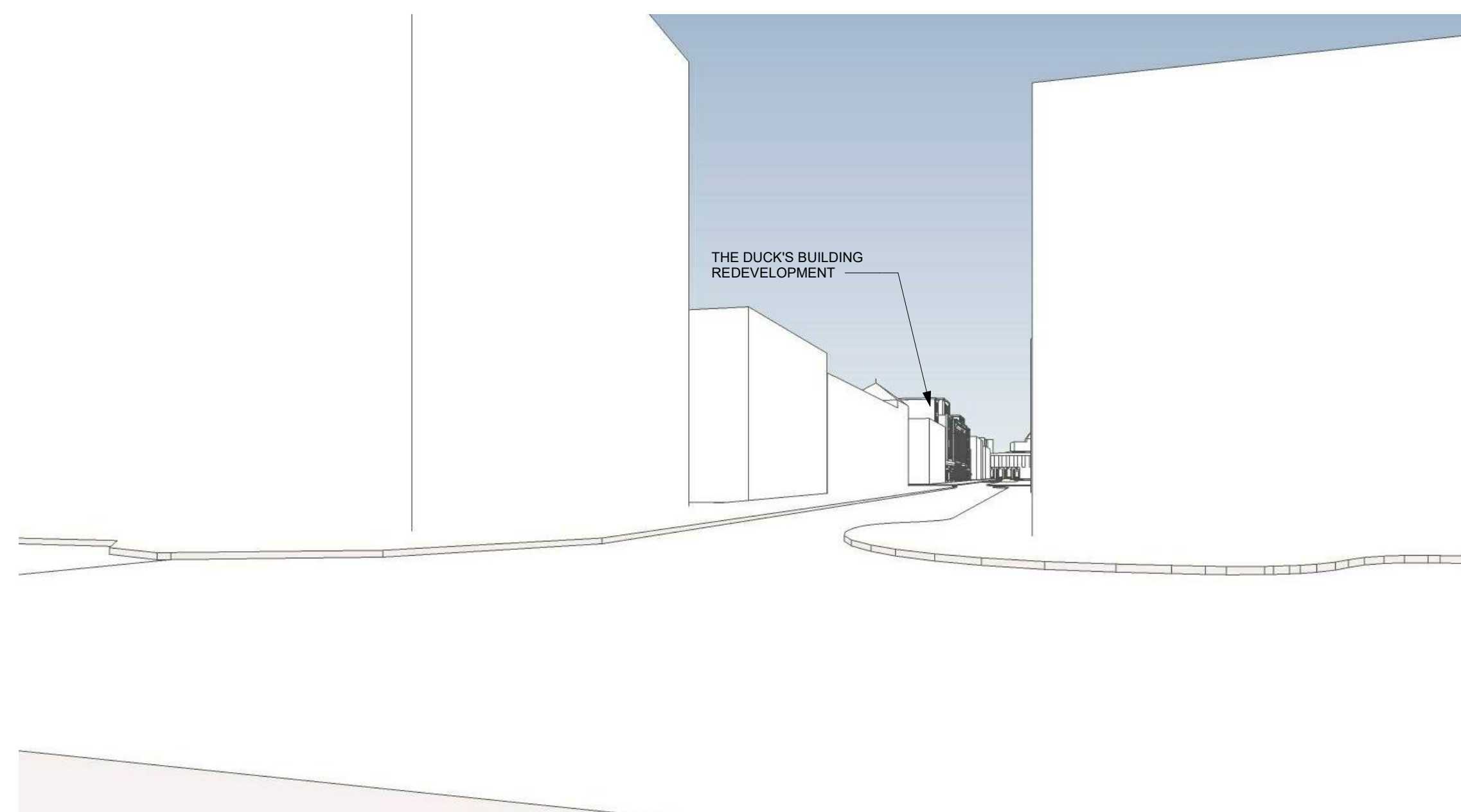
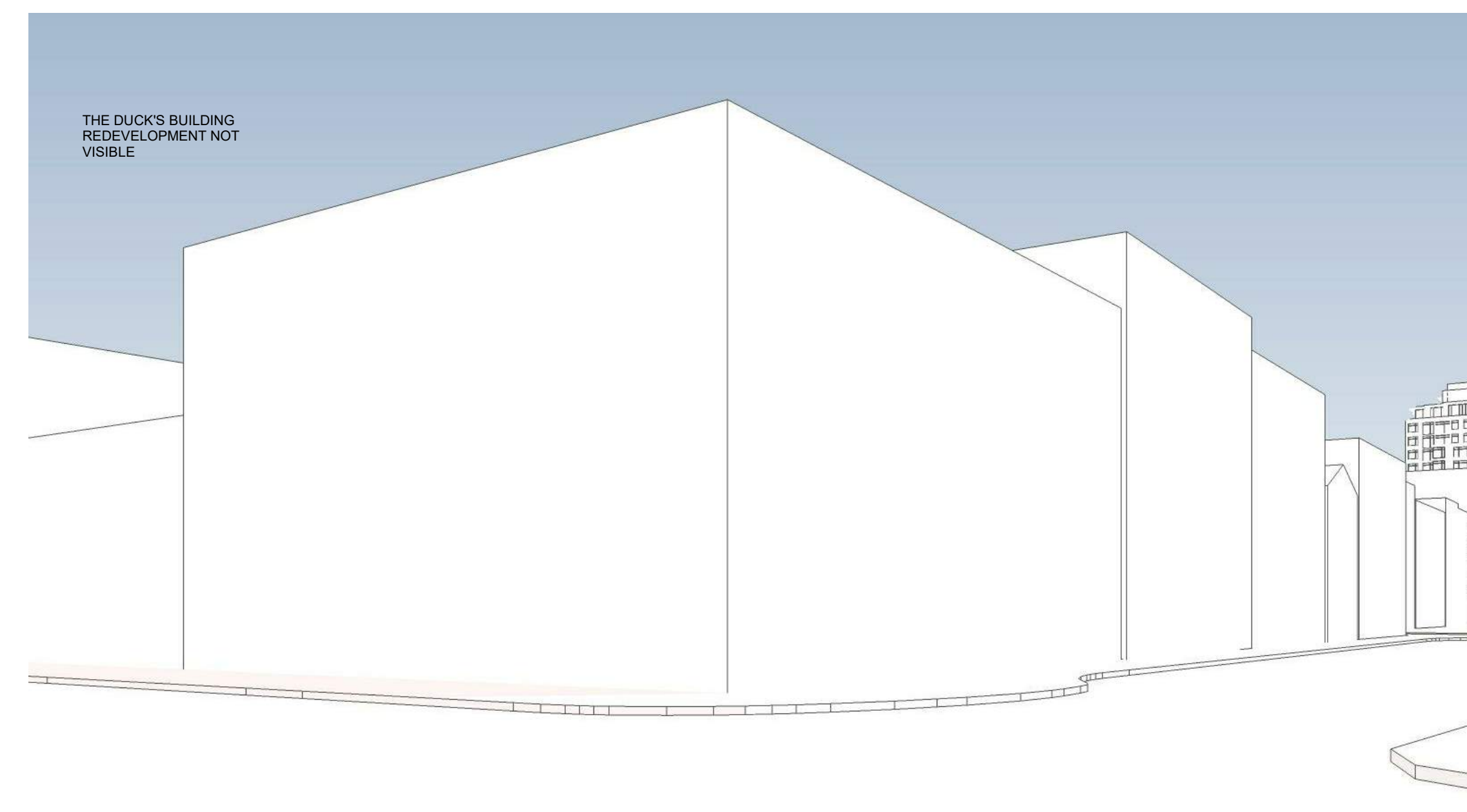
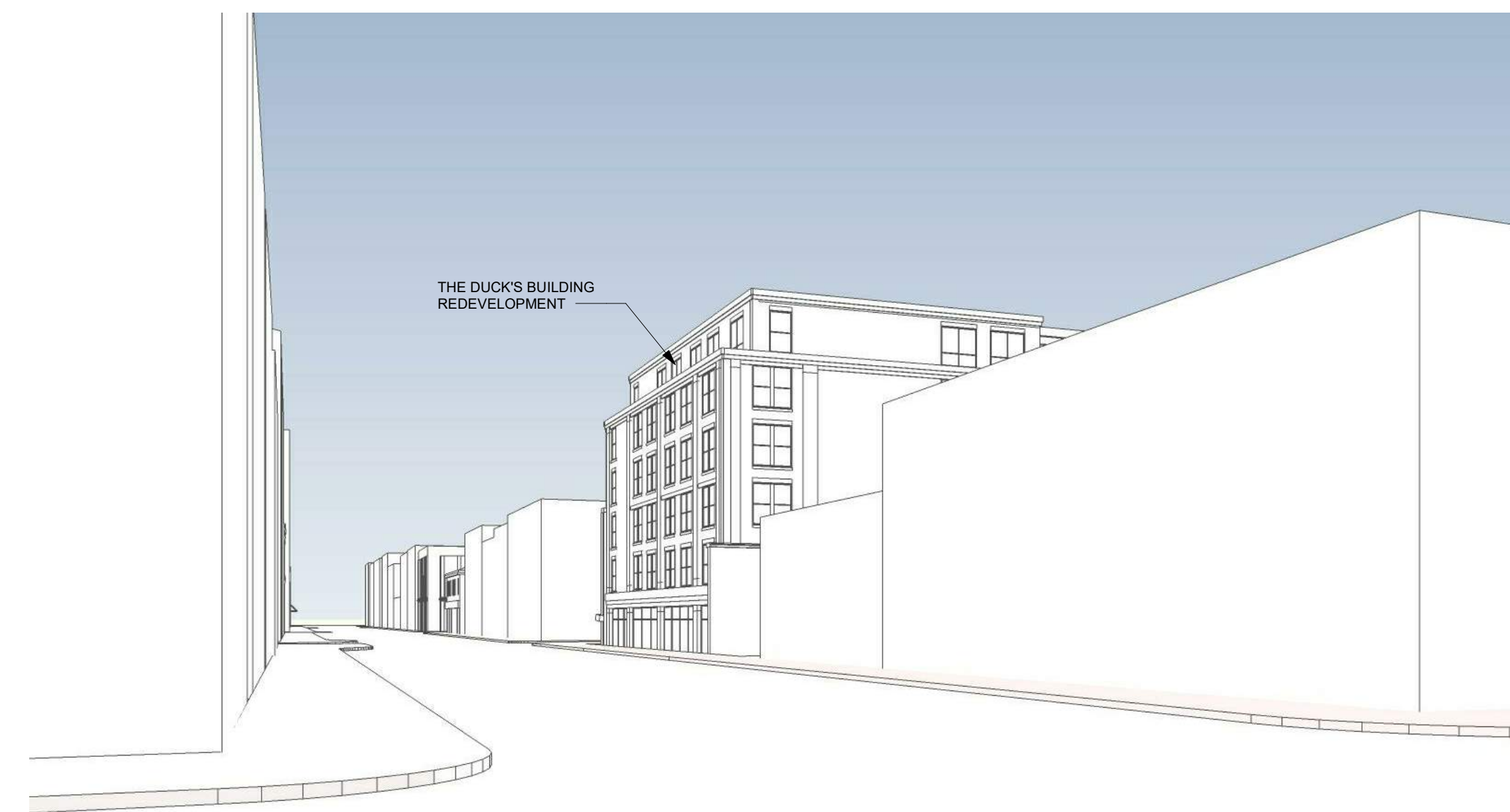
drawing title

Shadow Studies

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A503	

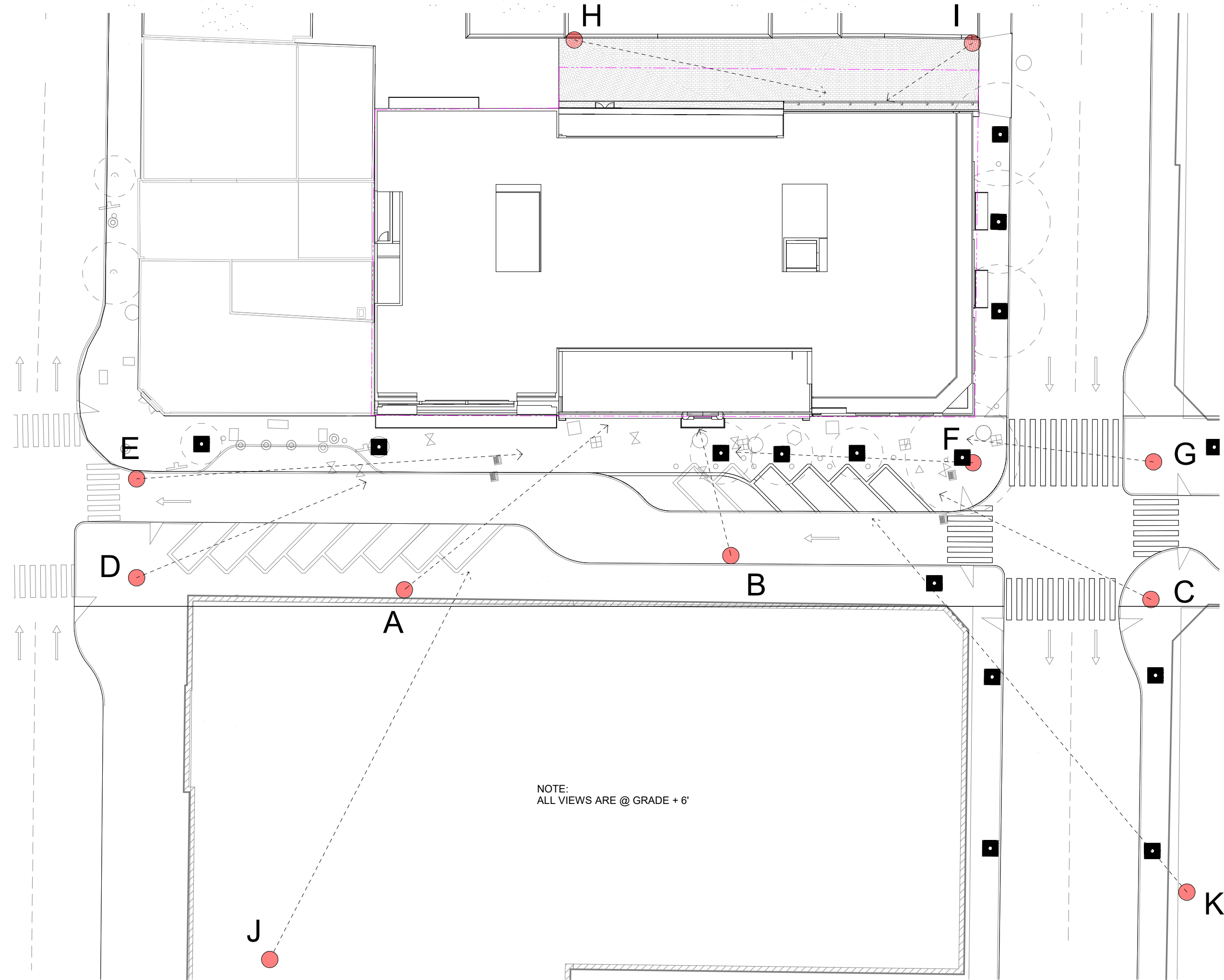
An aerial photograph showing a proposed multi-story building with a flat, dark roof. The building features two large, rectangular rooftop pools. The facade is a mix of brown and light-colored panels with numerous windows. The building is situated in an urban area, surrounded by other buildings and trees.



Rare	Date	Description
print date	Issue Date	drawing file
drawn by	Author	checked by
scale		project number

NOTE: All dimensions are shown in millimeters.





1 Key Plan Sheet View Images
A506 SCALE: 1 : 350



3 Broad Street - South Building & Ducks
A506 B



2 Yates to Johnson East
A506 A



4 Broad & Johnson
A506 C

Rev	1	Date	1	Description	Revision 1
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NOTE: All dimensions are shown in millimeters.

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project name The Duck's Building 1312-1324 Broad Street Victoria, BC			
Perspective Studies			
drawing no. A506		revision no. 1	



1 Yates & Broad A
A507

D



2 Yates & Broad B
A507

E



3 Broad & Johnson A
A507

F



4 Broad & Johnson B
A507

G



5 Laneway to Johnson
A507

H



6 Laneway Stonewall
A507

I

Rev	2	Date	Oct-08-19	Description	Revision 2
Author		Issue Date		Working File	
Drawn by		Author		Checked by	Checker
Scale		Project Number			1721

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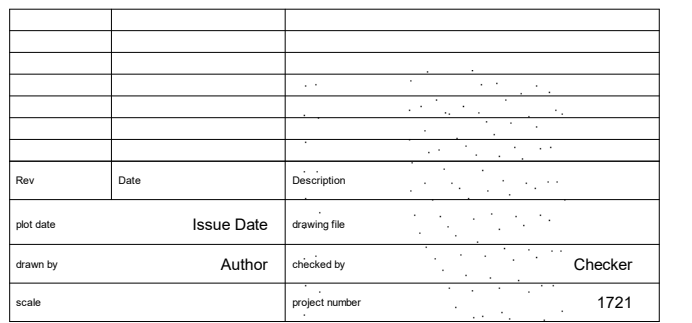
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T 1-250-585-8810

project name
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Perspective Studies

sheet no. A507	sheet no. 2
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Rev	Date	Description
Issue Date	Issue Date	Issued By
Author	Author	Checked By
Checker	Checker	Checker
Scale	Project Number	1721

NOTE: All dimensions are shown in millimeters.

dhKa

dHKarchitects

VICTORIA OFFICE
977 Fort Street
Victoria BC V8V 3K3
T 1-250-658-3367

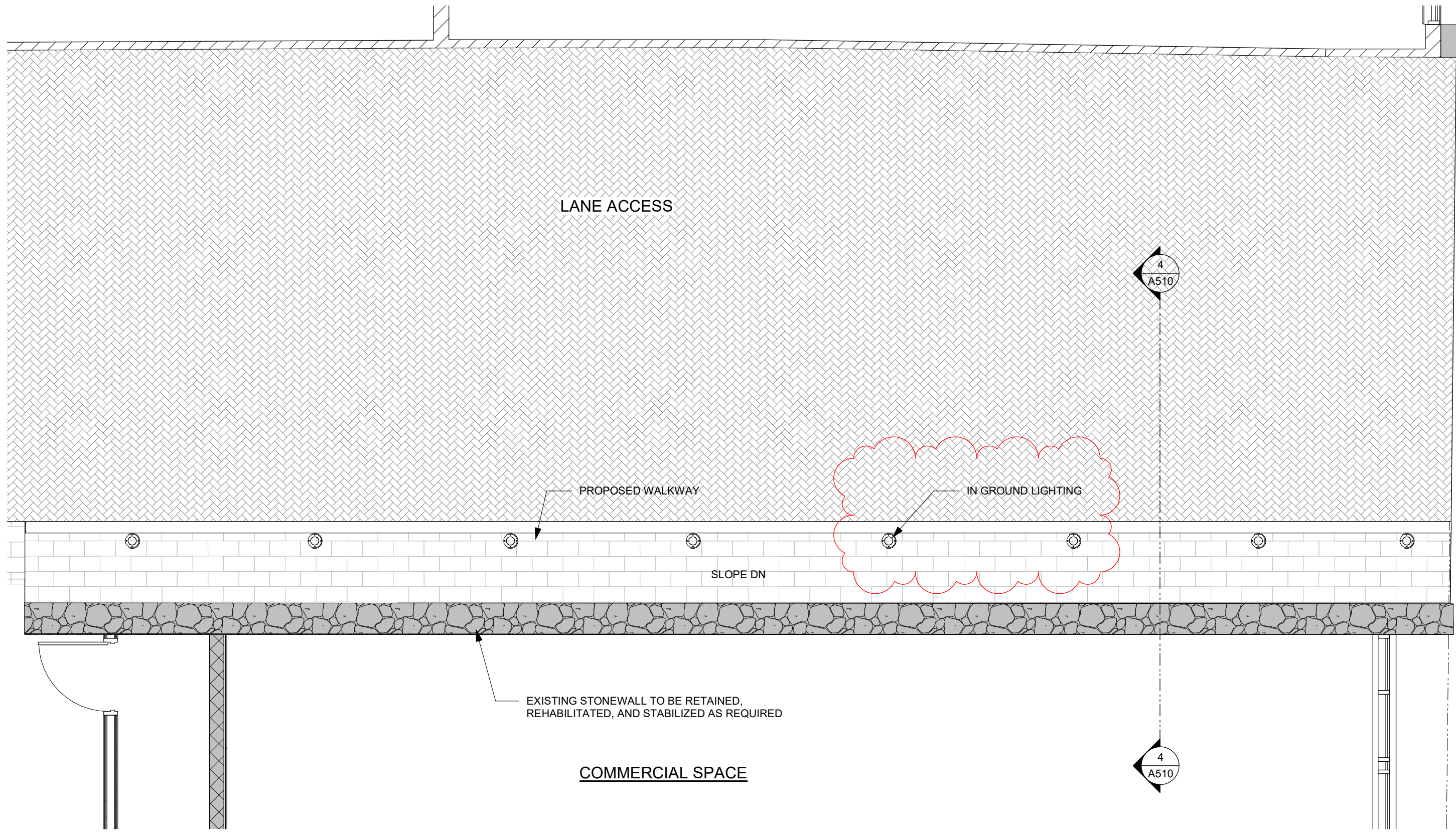
NANAIMO OFFICE
102-5180 Dublin Way
Nanaimo BC V9T 2K3
T 1-250-585-5810

project name
The Duck's Building
1312-1324 Broad Street
Victoria, BC

drawing title
Perspective Studies

drawing no.
A509

revision no.

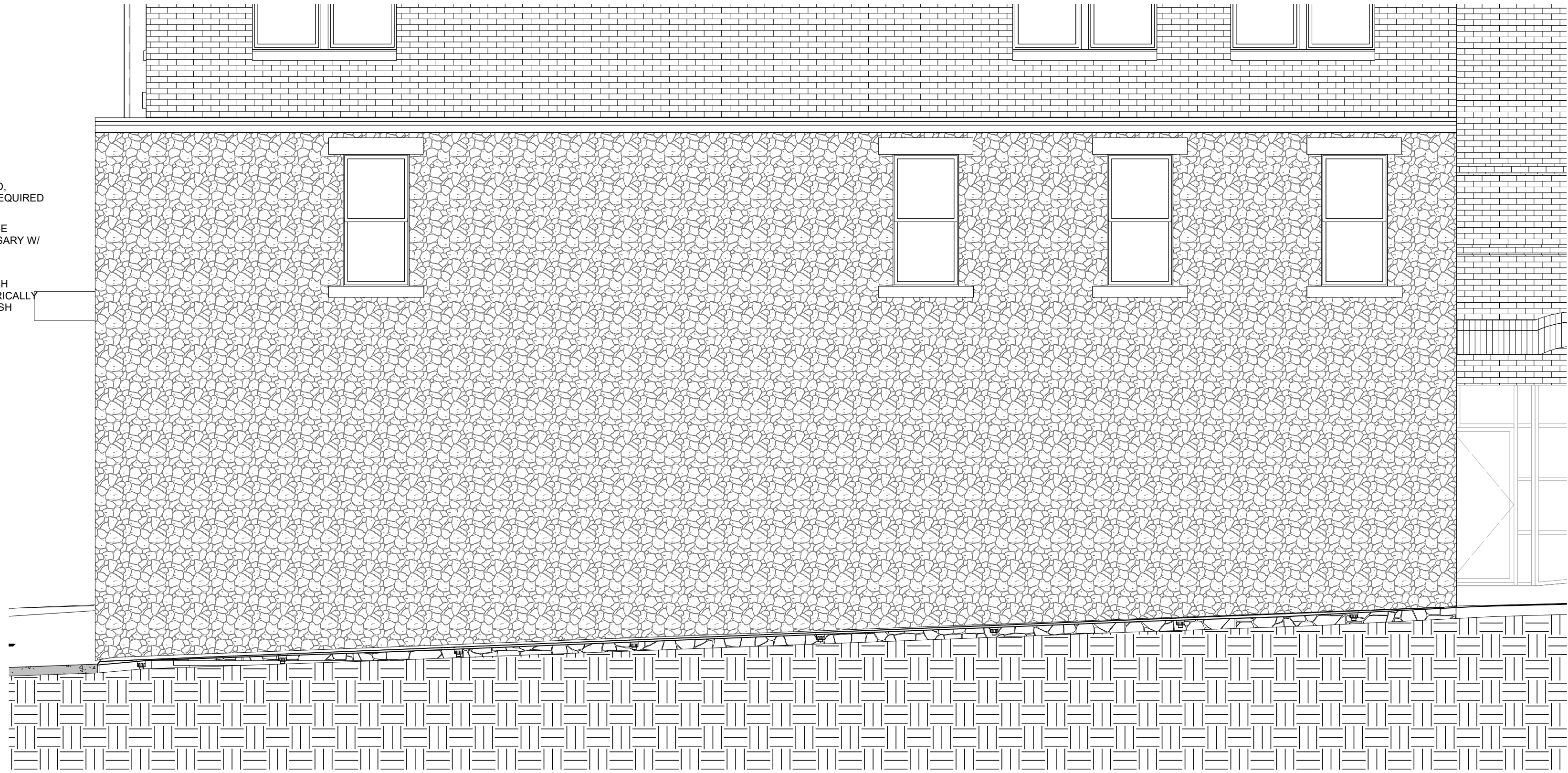


1 Stone Wall
A510 / SCALE: 1 : 50

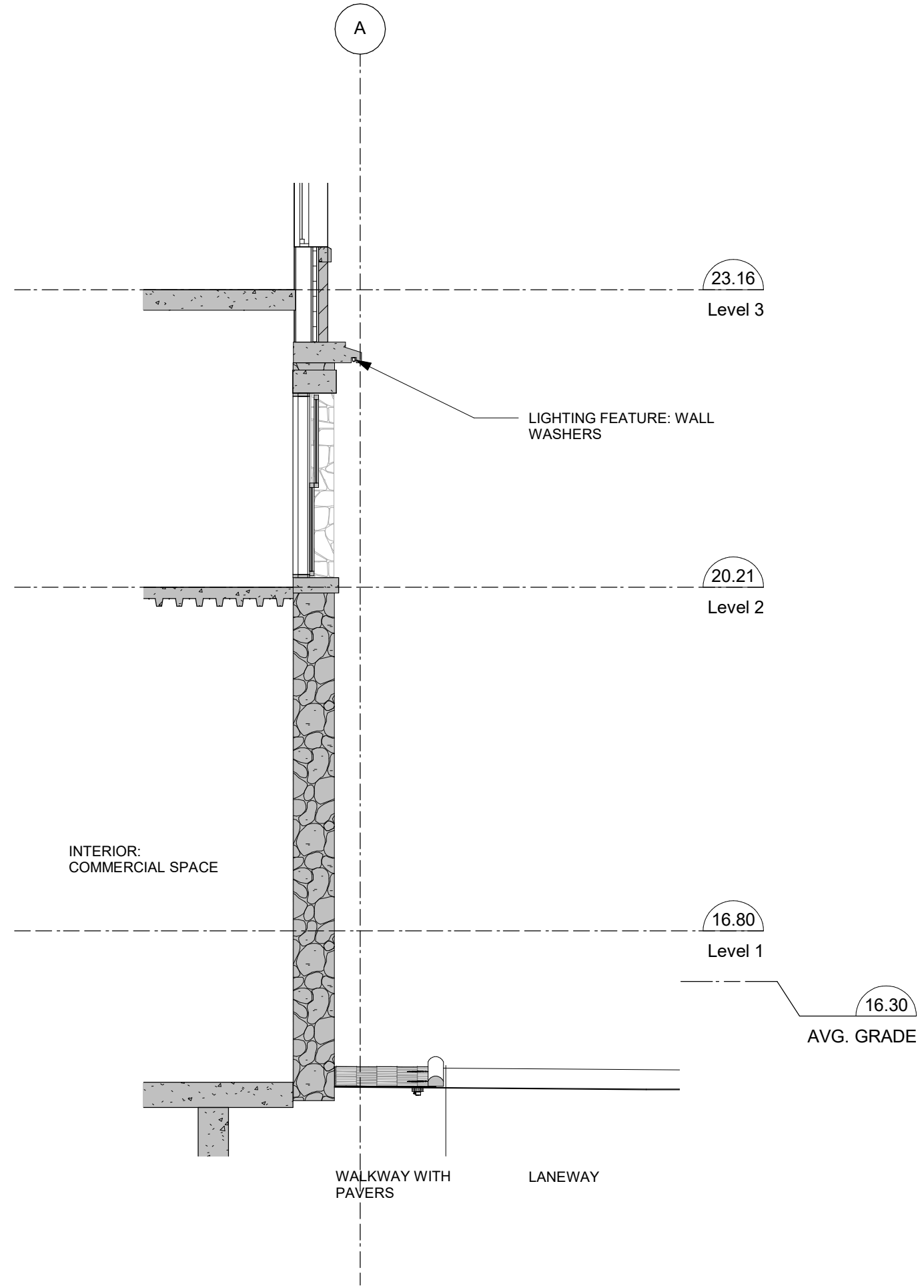
NOTES:
EXISTING STONEWALL TO BE RETAINED,
REHABILITATED, AND STABILIZED AS REQUIRED

EXISTING SANDSTONE SURFACES TO BE
REPAIRED AND RE-COATED AS NECESSARY W/
BREATHABLE KEIM MINERAL PAINT

EXISTING DOUBLE-HUNG WOODEN SASH
WINDOWS TO BE REPLACED W/ HISTORICALLY
COMPATIBLE DOUBLE-HUNG WOOD SASH
ASSEMBLIES (typ.)



3 Stone Wall - Elevation
A510 / SCALE: 1 : 50

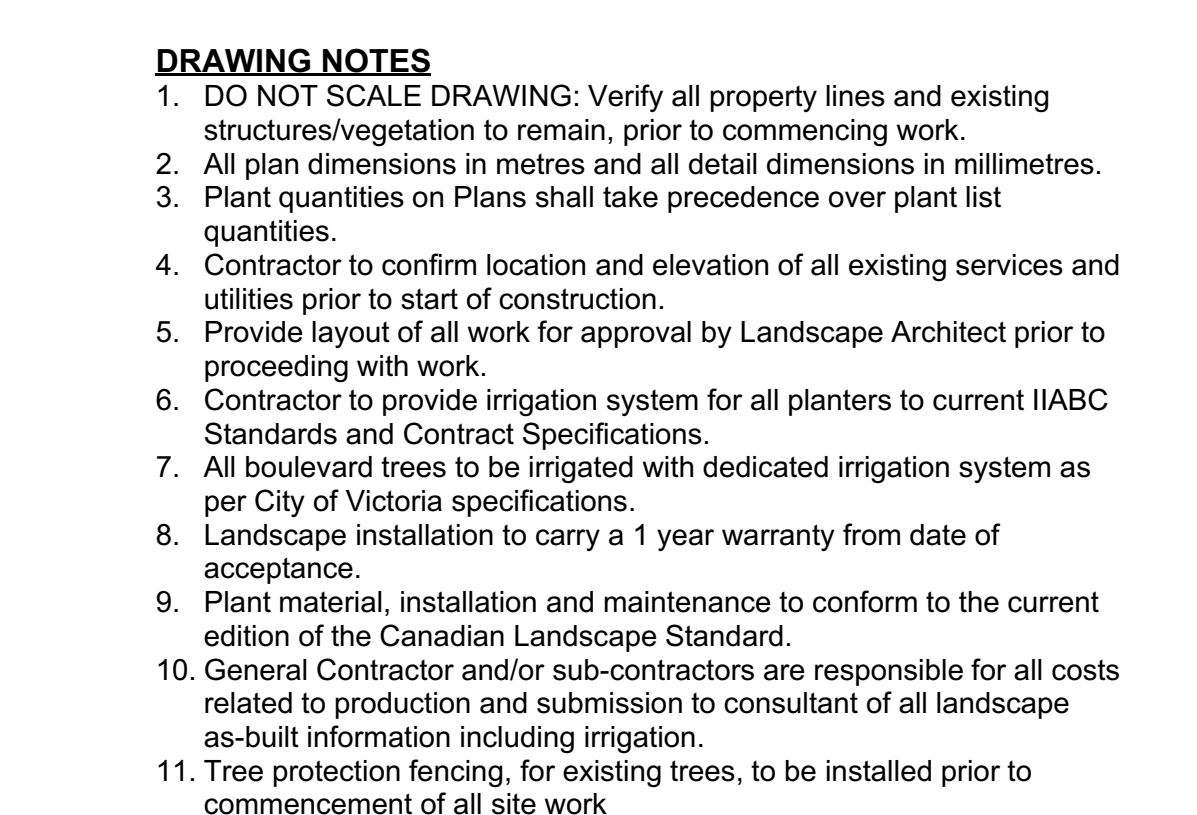


4 Stone Wall - Section
A510 / SCALE: 1 : 50

Rev	2	Date	Oct-08-19	Description	Revision 2
author		Issue Date		drawing file	
drawn by		Author		checked by	Checker
scale		1 : 50		project number	1721

NOTE: All dimensions are shown in millimeters.

			
VICTORIA OFFICE 977 Fort Street Victoria BC V8V 3K3 T 1-250-658-3367		NANAIMO OFFICE 102-5180 Dublin Way Nanaimo BC V9T 2K5 T 1-250-585-5810	
project name The Duck's Building 1312-1324 Broad Street Victoria, BC V8T 1C1T			
drawing title Stone Wall			
copyright reserved these plans and drawings are the sole property of PROPERTY OF dHkarchitects and are not to be reproduced without written consent		drawing no. A510	revision no. 2

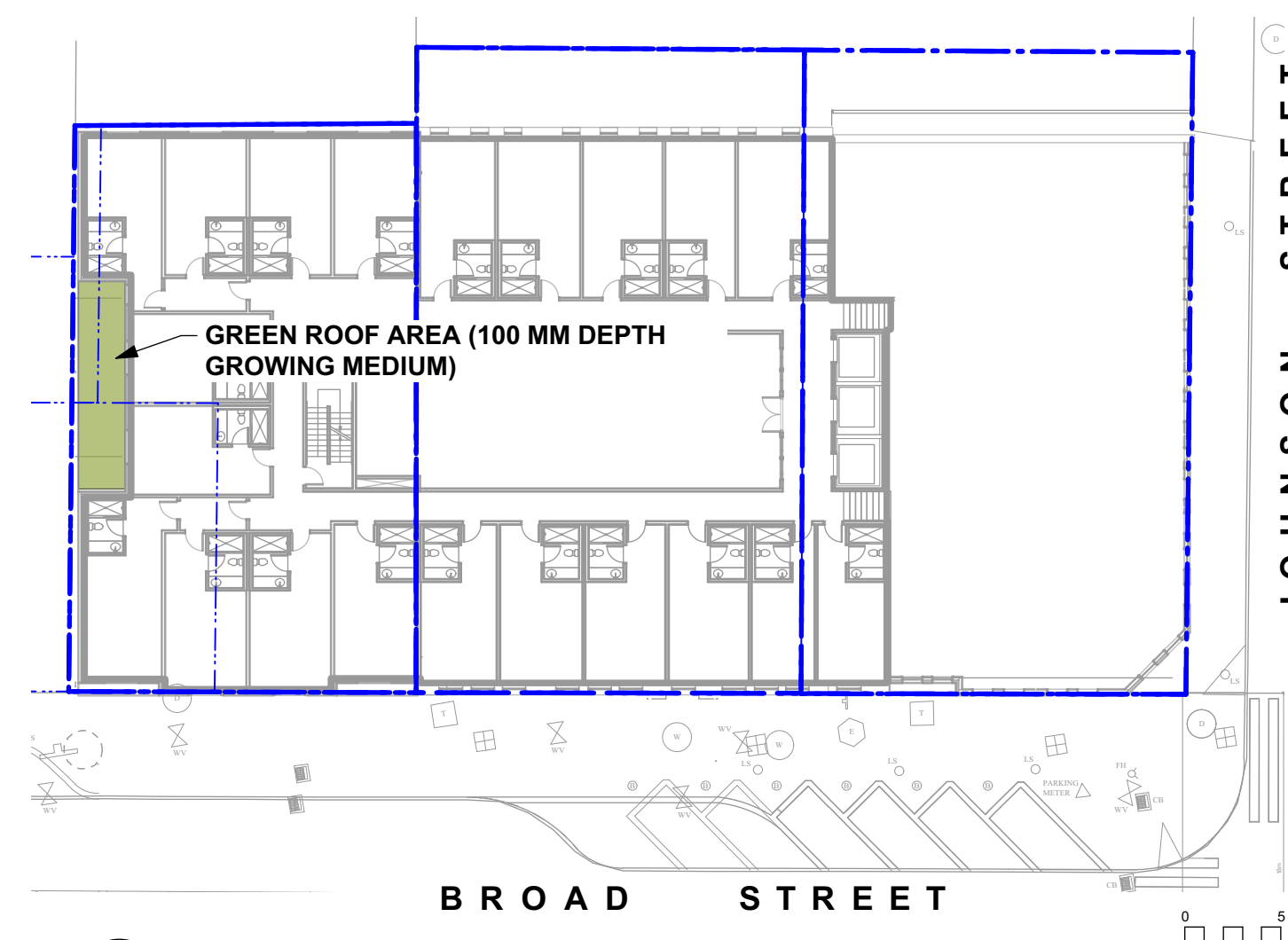


3 L1.01



JOHNSON STREET

BROAD STREET



1 Level 2A Landscape Plan
Scale: 1:350



2 Level 4 Landscape Plan
Scale: 1:350

LEGEND

Property line

LANDSCAPE MATERIALS

Gravel pathway for maintenance access

Green roof area. 100 mm depth growing medium

NOT FOR CONSTRUCTION

rev no	description	date
3	DP REVISED	19.10.09
2	DP REVISED	19.06.10
1	DEV PERMIT	17.12.07

Murdoch de Greeff INC

Landscape Planning & Design

200 - 504 Colquhoun Road
Victoria, BC V8Z 1G1

Phone: 250.412-2891
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Oct. 10, 2019

client
CHARD DEVELOPMENT

project
DUCKS BLOCK
REDEVELOPMENT
1312-1314 BROAD STREET
VICTORIA, BC

sheet title

Landscape Materials
Plan - Terrace
Levels

- DRAWING NOTES
1. DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.

2. All plan dimensions in metres and all detail dimensions in millimetres.

3. Plant quantities on Plans shall take precedence over plant list quantities.

4. Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.

5. Provide layout of all work for approval by Landscape Architect prior to proceeding with work.

6. Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.

7. All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.

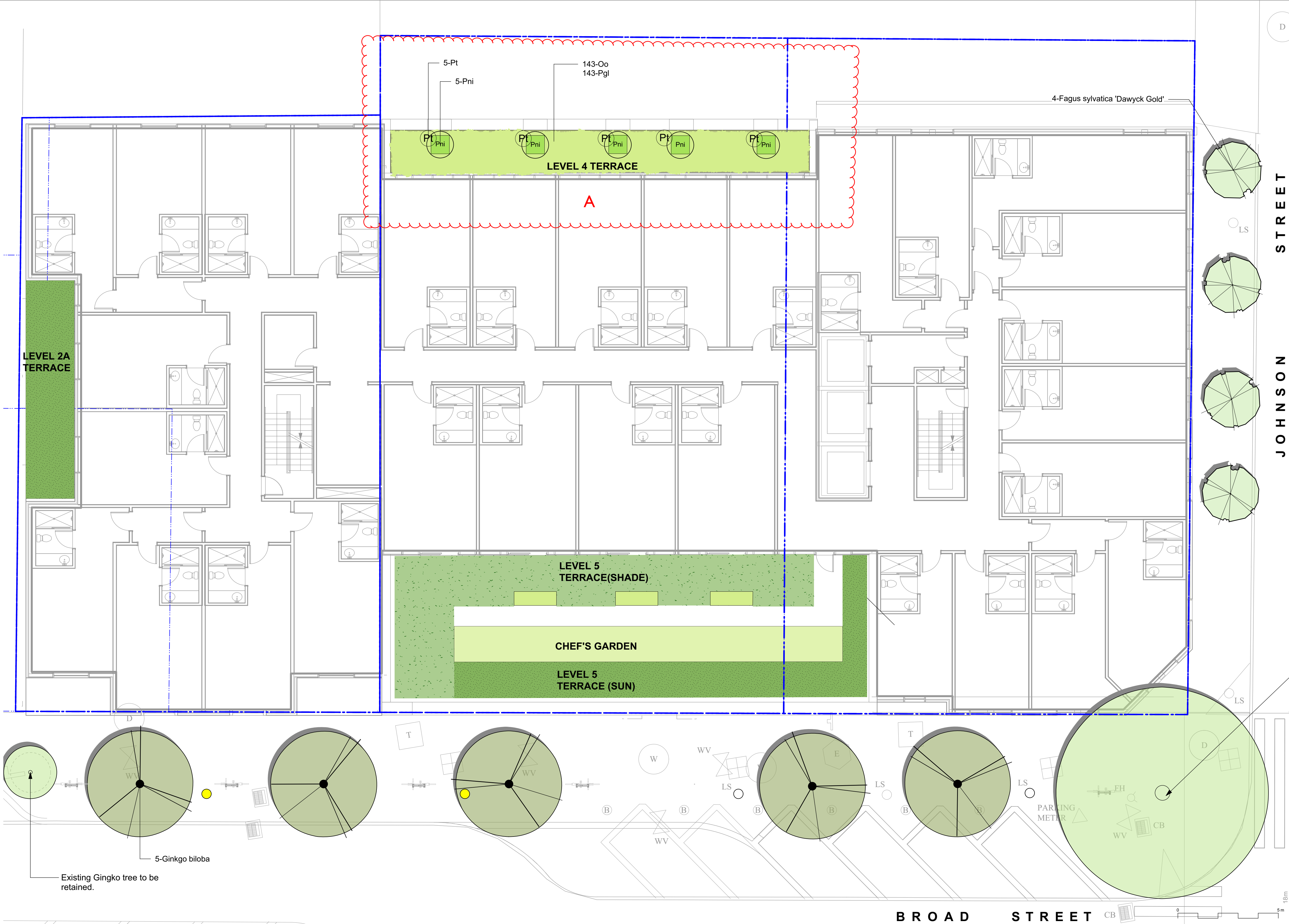
8. Landscape installation to carry a 1 year warranty from date of acceptance.

9. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.

10. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

11. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG
revision no.	sheet no.
3	L1.02



PLANT LIST - LEVEL 1

Sym	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
4		Fagus sylvatica 'Dawyc Gold'	Columnar Golden European Beech	6.0 cm cal, b&b
5		Ginkgo biloba	Maidenhair Tree	7.0cm cal, b&b

PLANT LIST - LEVEL 2A

SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 26.1 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

PLANT LIST - LEVEL 4

143	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
5	Parthenocissus tricuspidata	Boston Ivy	#1 pot
5	Phyllostachys nigra	Black Bamboo	#5 pot
143	Polystichum glycyrrhiza	Licorice Fern	Sp3
0			

PLANT LIST - LEVEL 5

CHEF'S GARDEN

71	Allium schoenoprasum	Chives	Sp3, 30cm o.c.
71	Artemisia dracunculul	French Tarragon	Sp3, 30cm o.c.
71	Mentha spicata	Spearmint	Sp3, 30cm o.c.
71	Origanum vulgare hirtum	Greek Oregano	Sp3, 30cm o.c.
71	Rosmarinus officinalis	Rosemary	Sp3, 30cm o.c.
71	Salvia officianlis 'Minumus'	Dwarf Sage	Sp3, 30cm o.c.
71	Thymus vulgaris	English Thyme	Sp3, 30cm o.c.

GREEN ROOF AREA - SUN

SEDUM SPECIES FOR SUN AREAS: Total Vegetated Area = 43.1 sq m

20%	Sedum acre
20%	Sedum album 'Coral Carpet'
20%	Sedum kamtschaticum
20%	Sedum rupestre
20%	Sedum spurium

GREEN ROOF AREA - SHADE

133	Aquilegia formosa	Red Columbine	Sp3, 30cm o.c.
133	Cornus canadensis	Bunchberry	Sp3, 30cm o.c.
133	Dicentra formosa	Western Bleeding Heart	Sp3, 30cm o.c.
133	Gaultheria shallon	Salal	Sp3, 30cm o.c.
133	Oxalis oregana	Redwood Sorrel	Sp3, 30cm o.c.
133	Polypodium glycyrrhiza	Licorice Fern	Sp3, 30cm o.c.

PLANTING NOTES

- Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes.
- Final selection of boulevard trees to be determined through consultation with City of Victoria Parks staff.

DRAWING NOTES

- DO NOT SCALE DRAWING: Verify all property lines and existing structures/vegetation to remain, prior to commencing work.
- All plan dimensions in metres and all detail dimensions in millimetres.
- Plant quantities on Plans shall take precedence over plant list quantities.
- Contractor to confirm location and elevation of all existing services and utilities prior to start of construction.
- Provide layout of all work for approval by Landscape Architect prior to proceeding with work.
- Contractor to provide irrigation system for all planters to current IIABC Standards and Contract Specifications.
- All boulevard trees to be irrigated with dedicated irrigation system as per City of Victoria specifications.
- Landscape installation to carry a 1 year warranty from date of acceptance.
- Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
- General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.
- Tree protection fencing, for existing trees, to be installed prior to commencement of all site work

NOT FOR CONSTRUCTION



Oct. 10, 2019

client

CHARD DEVELOPMENT

project

**DUCKS BLOCK
REDEVELOPMENT**
1312-1314 BROAD STREET
VICTORIA, BC

sheet title

Planting Plan

project no.	117.33
scale	1:100 @ 24"x36"
drawn by	ML
checked by	SM/PdG

revision no. sheet no.

3

L3.01