



## Revisions

Bubbled areas indicate revisions  
compared to the previously  
submitted plans

Received Date  
March 23, 2023

# 780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

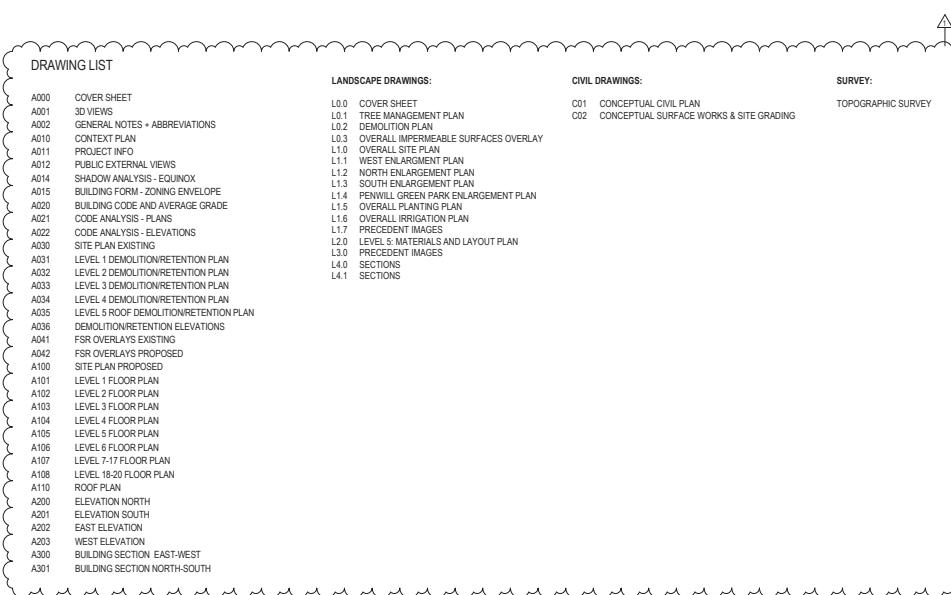
HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 358

## PROJECT TEAM

OWNER	ARCHITECTURAL	LANDSCAPE	STRUCTURAL	TRANSPORTATION
Reliance Properties	office of mcfarlane bigger architects + designers	Gauthier + Associates Landscape Architects	Read Jones Christoffersen Ltd.	WATT Consulting Group
305-1111 Water St Vancouver, BC V6B 1G7	301 - 1825 Quebec St Vancouver, BC V5T 2Z3	629 Atlantic St Vancouver, BC V6A 2J6	520-220-6454 Tyee Road Victoria, BC V9A 6X5	302 - 740 Hillside Avenue Victoria, BC V8T 1Z4
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GEOTECHNICAL	MECHANICAL	ELECTRICAL	ARBORIST	CIVIL
Ryzuk Geotechnical Ltd.	Introba Group	e2 Engineering Inc.	D. Clark Arboriculture	WSP
#6-440 Cadillac Avenue Victoria, BC V8Z 1T2	1515 Douglas Street, Suite 210 Victoria, BC V8W 2G4	549 Herald Street Victoria, BC V8W 1S5	2741 The Rise Victoria, BC V8T 3T4	760 Enterprise Crescent Victoria, BC V8Z 6R4
250.475.3131	250.418.1288	778.402.3060	250.208.1568	250.475.1000
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DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

## REVISIONS

1 The submission drawings were expanded and reorganized to comprise a Razoring + HAP application per ARS comment. Design changes to the materials are bubbled and noted but, for clarity, organizational changes (like sheet-numbering) are not.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, B.C.  
2019-039

COVER SHEET

As indicated

A000



1 AERIAL VIEW



2 BLANSARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK



DATE	REV	ISSUE DESCRIPTION
2022-01-24	1	REZONING PRE-APPLICATION
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REVISIONS

2 3D view updated with revised design.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

3D VIEWS

1:1

2023-03-23 03:38 PM  
A001

## GENERAL NOTES

1. THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
2. ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
3. ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
4. ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES".
6. ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
7. ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
8. CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
9. PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
10. GLAZING TO DOORS, SIDELIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
11. GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
12. ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY. ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
13. DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS than 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
14. PLAN DETAILS SUPERCEDE WALL TYPE DEFINITION.
15. ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED EXISTING STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
16. UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERFACE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
17. ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
18. ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
19. PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
20. CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILINGS REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
21. THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HOLE EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
22. THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATICAL UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
23. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.
24. COORDINATE MECHANICAL AND ELECTRICAL DEVICES WITH FOUNDATION WALLS, SHEAR WALLS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS.
25. REFER TO STRUCTURAL DOCUMENTS FOR STRUCTURAL DESIGN PARAMETERS INCLUDING SHEARWALLS, STAIRS, CONCRETE ETC.
26. CONTRACTOR TO FIELD CHECK AND CONFIRM EXACT LOCATIONS, ELEVATIONS INVERTS AND INSTALLATIONS OF ALL SERVICES FOR THIS PROJECT.
27. ALL WIRED DEVICES TO BE LOCATED BY ARCHITECT.
28. ROOF INSTALLATION AND MATERIALS TO MEET ACCEPTED RCABC STANDARDS, MATERIALS & GUIDELINES
29. ALL ROOFS AND GUTTERS TO HAVE POSITIVE SLOPE TO DRAIN, UNO.
30. ALL GRADES AND SURFACES ADJACENT THE BUILDING EXTERIOR SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING, UNO.
31. ALL TILE SET OUT JOINTS AND CONCRETE JOINT/REGRIT DETAILS TO BE RESOLVED ON SITE WITH ARCHITECT.
32. NO FLOOR TRANSITION TO BE GREATER THAN 6mm AT THRESHOLDS AND BETWEEN ADJACENT MATERIALS, UNO.
33. ALL MIRRORS TO HAVE POLISHED EDGES WITH MINIMAL EDGE RADIUS. MIRRORS TO BE CLEARED IN PLACE WITH SUITABLE ADHESIVE AND MINIMAL CONCEALED GRAVITY CLIPS WHERE NECESSARY TO HOLD MIRROR WHILE GLUE SETS.
34. ANY BUILDING CONTROL SWITCHES SUCH AS ELECTRICAL SWITCHES, THERMOSTATS AND INTERCOM SWITCHES THAT ARE INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE MOUNTED BETWEEN 400-1200mm ABOVE FLOOR.
35. PAINT ALL INTERIOR AND EXTERIOR CAVITIES, INCLUSIVE OF BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, MECHANICAL, BLIND HOUSINGS, OR OTHER COMPONENTS FLAT BLACK, ABOVE THE WOOD CEILING, IN WALL REVEALS, GAPS, ETC AND BEHIND ALL INTERIOR AND EXTERIOR LOUVERS INCLUDING WOOD SOFFIT LOUVRES.
36. REMOVE ALL EXPOSED MANUFACTURER LABELS ON INSTALLED EQUIPMENT AND ACCESSORIES IN PUBLIC AREAS UNLESS APPROVED BY ARCHITECT.
37. GLAZING WITH LOW-E SOFT OR HARD COATING SHALL LOCATE THE COATING ON SPECIFIED SURFACE AND SHALL BE LABELED WITH A REMOVABLE LABEL FOR INSTALLATION TO ENSURE PROPER ORIENTATION OF GLASS. ALL EXTERIOR WOOD TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
38. ALL EXTERIOR FASTENERS TO BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED. ALL EXTERIOR WOOD TO BE FASTENED WITH STAINLESS STEEL FASTENERS UNLESS OTHERWISE NOTED.
39. CONTRACTOR TO MAKE GOOD ALL FLOOR, CEILING AND BUILDING SYSTEM COMPONENTS NECESSARY TO COMPLETE MECHANICAL AND ELECTRICAL TIE-INS, INCLUDING AREAS OUTSIDE OF THE GENERAL CONSTRUCTION LINE, QUALITY TO MATCH EXISTING CONDITIONS, DISRUPTIONS TO WORKSTATIONS AND PUBLIC CIRCULATION TO BE MINIMIZED AND COORDINATED WITH THE OWNER PRIOR TO EXECUTING THE WORK.
40. METAL FLASHING JOINTS & SEAMS TO ALIGN w/ CENTRELINE CURTAINWALL MULLIONS AND CLADDING JOINTS ONLY.
41. CONTRACTOR TO ALLOW FOR HORIZONTAL CONSTRUCTION JOINT (COLD JOINT) BETWEEN POURS. FINAL LAYOUT TO BE COORDINATED THROUGH SHOP DRAWINGS.
42. CONTRACTOR TO PROVIDE 20mm PLY PAINTED WITH FIRE RETARDANT PAINT PRIOR TO ELECTRICAL PANEL INSTALLATION ALL SERVICE ROOMS TYP.
43. WHERE FIELD WELDING OF GALVANIZED MATERIAL IS REQUIRED, GRIND SURFACE SMOOTH AND FILL/SKIM WITH BONDO BODY FILLER TO ACHIEVE SMOOTH SURFACE. PROVIDE ZINC RICH COATING PRIOR TO PAINTING PER SCHEDULE.
44. PROVIDE 3mm BLOCKING AT JOIST WEBS TO INFILL GAP IN SHEATHING WHERE JOISTS PASS THROUGH SHEATHING LINE - TYP. WHERE JOIST ARE PERPENDICULAR TO SHEATHING FACE.
45. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING THE INSTALLATION OF SIGNS AND ENSURING THAT THE WORK AND ROUGHINGS, BACKING, AND SUPPORT STRUCTURES IS COMPLETE PRIOR TO INSTALLATION.
46. CEILINGS ARE TO BE INSTALLED WITH THE USE OF LASER ALIGNMENT TO ENSURE LEVEL ASSEMBLY.
47. DO NOT SCALE MEASUREMENTS OFF DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR SHALL NOTIFY THE CLIENT'S REPRESENTATIVE.

## SYMBOLS LEGEND

PLAN NORTH  TRUE NORTH  
NORTH SYMBOL

**15 SIM**  
A101

**102**

DOOR TAG

**VERY LONG  
ROOM NAME**  
150 m<sup>2</sup>  
100m<sup>2</sup>

ROOM TAG

**1 View Name**  
R101 1/8" = 1'-0"

DRAWING TITLE

Name   
Elevation 

ELEVATION MARKER

**Elevation**  
**Name**

ELEVATION/GRADE SYMBOL

**1/101**  **1/A101**

SECTION SYMBOL

**1 A101a 3**  
4

ELEVATION SYMBOL

**27**  **27**

GRID HEAD

**EW3**

WALL TAG

**1T**

ROOF TAG

**PT1** 

MATERIAL TAG

**A1** 

FIXTURES / EQUIPMENT TAG

**M.12** 

MILLWORK TAG

**W1**

WINDOW TAG

**W1**

CW DOOR TAG



REVISION TAG

## HATCHES

CONCRETE EXISTING	
CONCRETE NEW	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GB	
GB TYPE X	
GLULAM	
COMPOSITE WOOD	
PLYWOOD	
MINERAL WOOL	
SPRAY INSULATION	
RIGID INSULATION	
RIGID INSULATION 02	
SEMI RIGID INSULATION	
BATT/LOOSE FILL INSULATION	
EARTH	
GRAVEL DRAINAGE LAYER	
ENGINEERED FILL	
COMPACTED GRANULAR FILL	
SAND	
DEMO	

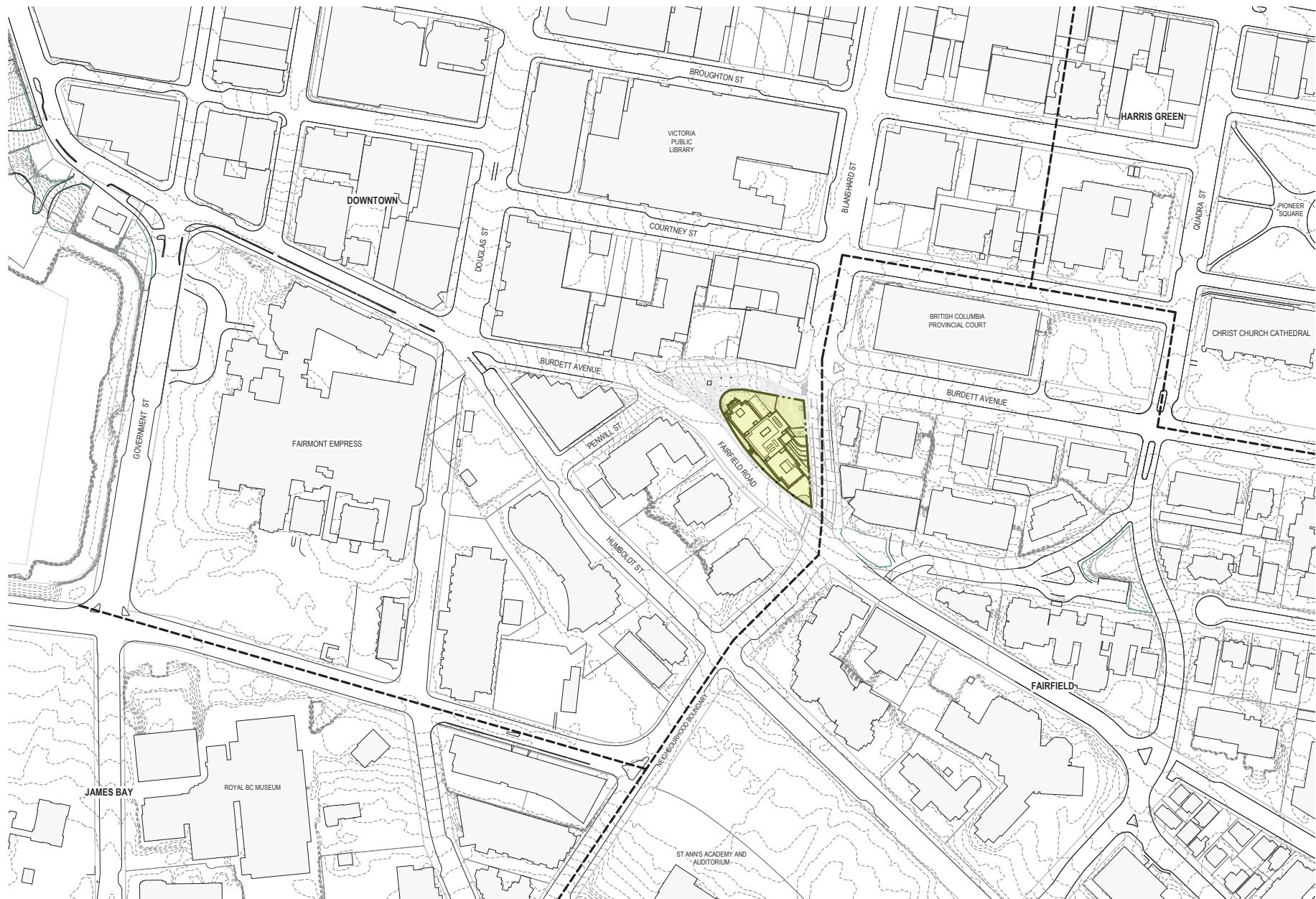
## ABBREVIATIONS

OC	ON CENTRE
OD	OUTSIDE DIMENSION
OH	OVER HEAD
OP	OPERABLE PARTITION
OPP	OPPOSITE
OV	OVEN
PA	PUBLIC ADDRESS SPEAKER
PLY	PLYWOOD
PL	PROPERTY LINE
PT	PAINT
PTD	PAINTED
PTN	PARTITION
RD	ROOF DRAIN
REQD	REQUIRED
REV	REVISION OR REVERSE
RW	ROOM
RO	ROUGH OPENING
RVL	RELAY
RWL	RAIN WATER LEADER
SC	SIAMESE CONNECTION
SCHED	SCHEDULE
SCWD	SCREW DORE WOOD DOOR
SECT	SECTION
SH	SHELF
SP	SPRINKLER
SPEC	SPECIFICATION
SO	SQUARE
SQFT	SQUARE FEET
SM	SQUARE METRES
SS	STAINLESS STEEL
SSG	STRUCTURAL SILICONE GLUE
ST	STAIR
STD	STANDARD
STY	STYLING
STOR	STORAGE
STRU	STRUCTURAL
SUSP	SUSPENDED
TBC	TO BE CONFIRMED
TBD	TO BE DETERMINED
TD	TRENCH DRAIN
T&G	TONGUE AND GROOVE
TL	TILE
TO	TOP OF
TOC	TOP OF CURB/CONCRETE
TOP	TOP OF FINISH
TOFF	TOP OF FINISHED FLOOR
TOS	TOP OF STRUCTURE
TOW	TOP OF WALL
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
UIS	UNDERSIDE
UI	UTILITY HOLE
VBL	VANCOUVER BUILDING BY
VERT	VERTICAL
VEST	VESTIBULE
VIF	VERIFY IN FIELD
WC	WATER CLOSET
WD	WOOD
WRHS	WAREHOUSE
WW	WAREHOUSE
WV	WOOD VENEER
W/	WITH
W/O	WITHOUT
HB	HOSE BIB
HCDW	HOLLOW CORE WOOD DOOR
HDWR	HARDWARE
HPL	HIGH PRESSURE DECORATIVE LAMINATE
HORIZ	HORIZONTAL
HT	HEIGHT
INSUL	INSULATION
INT	INTERIOR
JC	JANITOR CLOSET
JT	JOINT
LAM	LAMINATE / LAMINATED
LS	LAMP STANDARD
LT	LIGHT
MAT	MATERIAL
MAX	MAXIMUM
MC	METAL CLADDING
MECH	MECHANICAL
MET	METAL
MFR	MANUFACTURER
MIN	MINIMUM
MIR	MIRROR
MISC	MISCELLANEOUS
MTD	MOUNTED
MUL	MULLION
MW	MICROWAVE
N/A	NOT APPLICABLE
NBC	NATIONAL BUILDING CODE
NC	NOT IN CONTRACT
NON	NON
NTS	NOT TO SCALE



DATE REV ISSUE DESCRIPTION  
2023/03/23 1 HAR & REZONING RESUBMISSION

REVISIONS





## Public External View

**Public External Views**  
The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.



The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAT at the boundary between the Historic Commercial District and the Inner Harbor Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and tiered fenestration pattern, allowing the building to sit back from the street. The building's tiered profile and the placement of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.



- The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Tongues Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causway. The profile of the proposal is simple and quiet, allowing the variegated profile of the Empress Hotel to remain legible and prominent, while the proposal is clearly defined against the background of the surrounding urban context while remaining distinguished and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony forms do not detract from the prominence of the many important landmarks along the Inner Harbour Causway.

Additional visualizations and analysis of shadowing, near and distant perspective views, and the impact of the proposed addition on the existing views from two nearby high rise residential developments are included in the Large Project Supplementary Information Booklet.

780 Blanshard - Rehabilitation + Addition

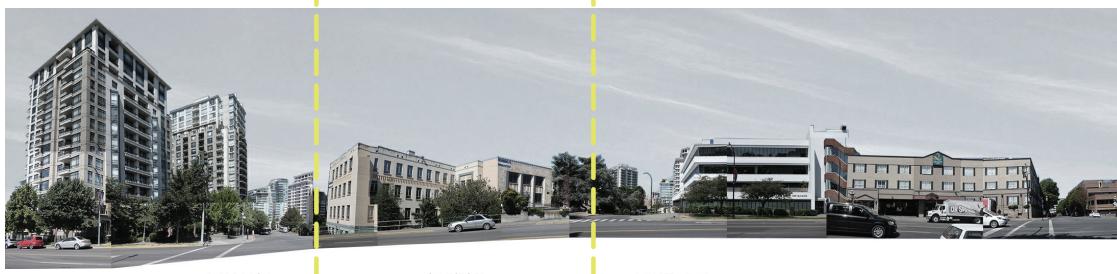
780 Blanshard Street, Victoria, BC  
2019-039

## PUBLIC EXTERNAL VIEWS

02303-2252843 PM

A012

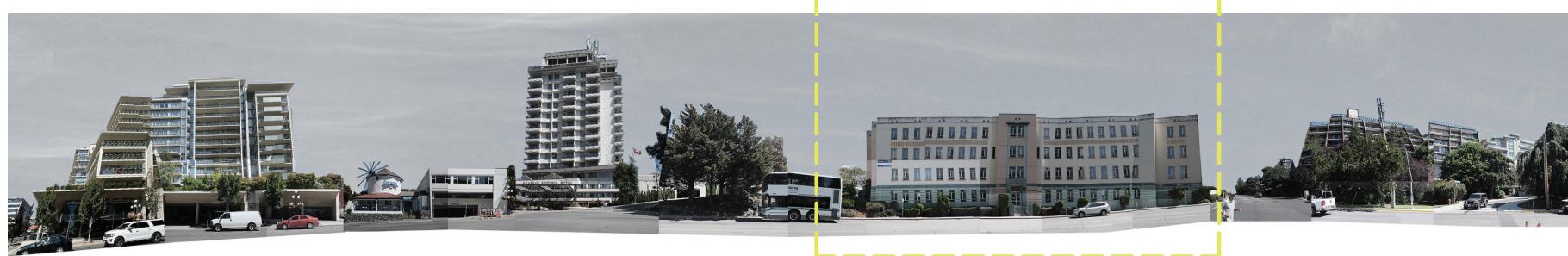
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1 STREETSCAPE ALONG BLANSHARD STREET  
A013 N.T.S.

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2023-03-17	2	ISSUED FOR COORDINATION
2023-03-14	3	FINAL PROGRESS SET
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS



2 STREETSCAPE ALONG FAIRFIELD ROAD  
A013 N.T.S.

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT STREETSCAPES

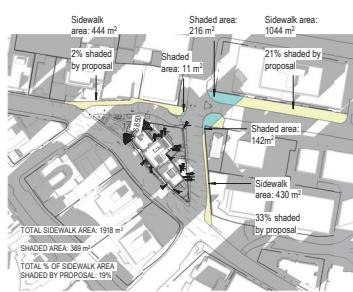
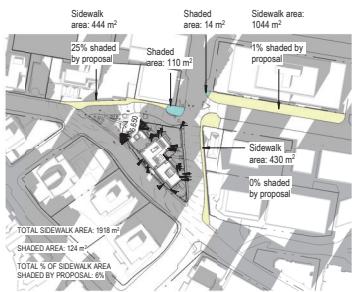
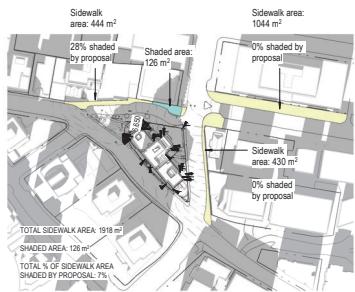
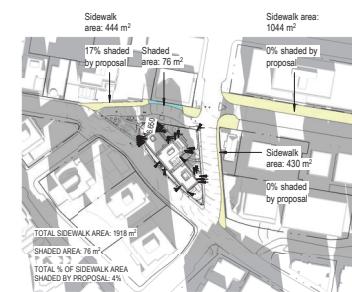
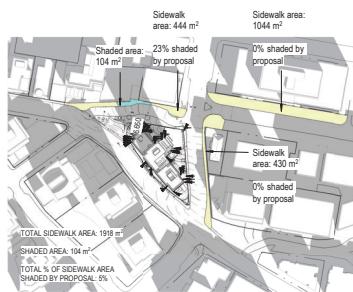
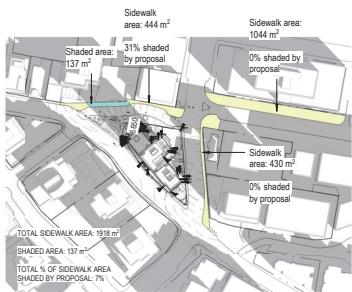
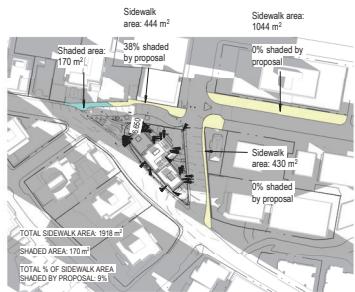
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**A013**

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2023-03-23



DATE 2023-03-23 REV 1 ISSUE DESCRIPTION HAP & REZONING RESUBMISSION

**REVISIONS**

15. Shadow impacts per DCAP guidelines are included on this sheet to assist with the Submittal of a HAP. Original Submittal in the form of the Large Project Supplementary Information Booklet has also been updated.



780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-09

SHADOW ANALYSIS - EQUINOX

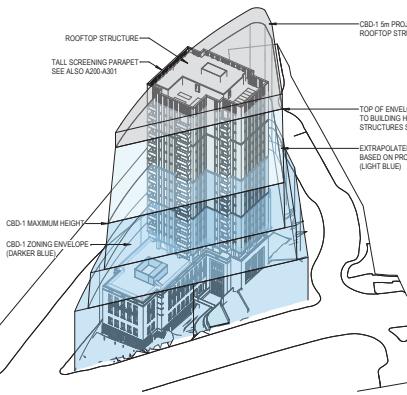
1 - 2000

2023-03-22 2019-09  
A014

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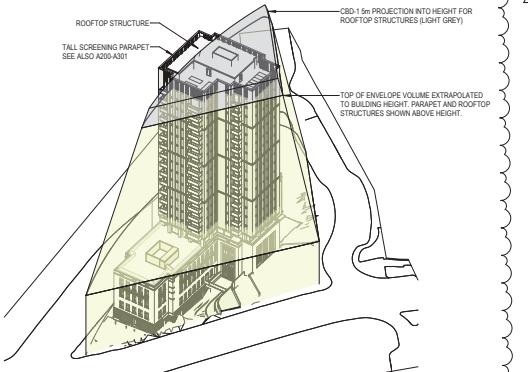


2023-03-23



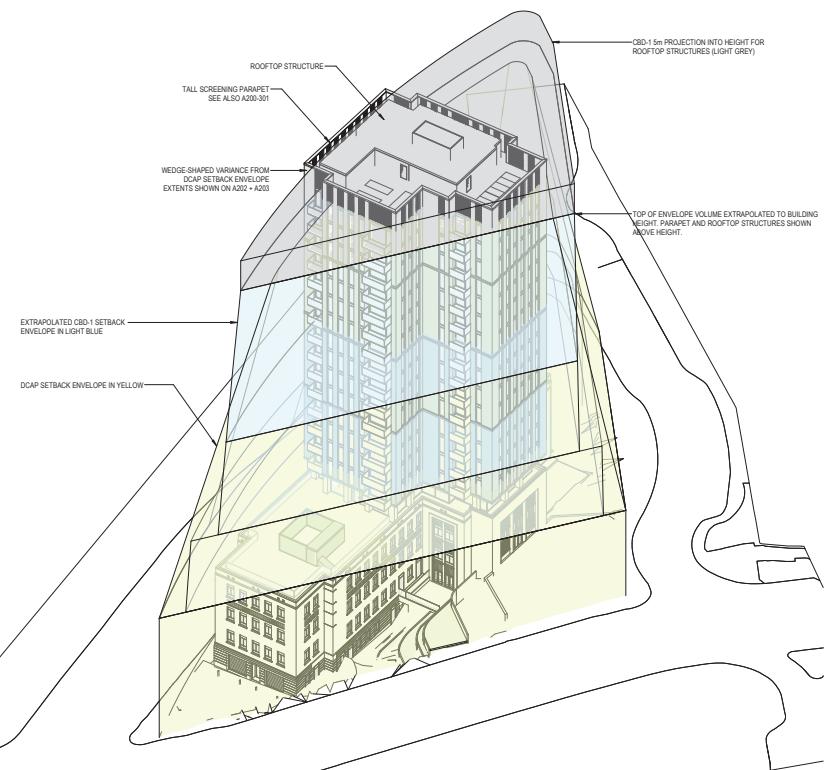
3 Axonometric View of CBD-1 Setback Envelope

A015



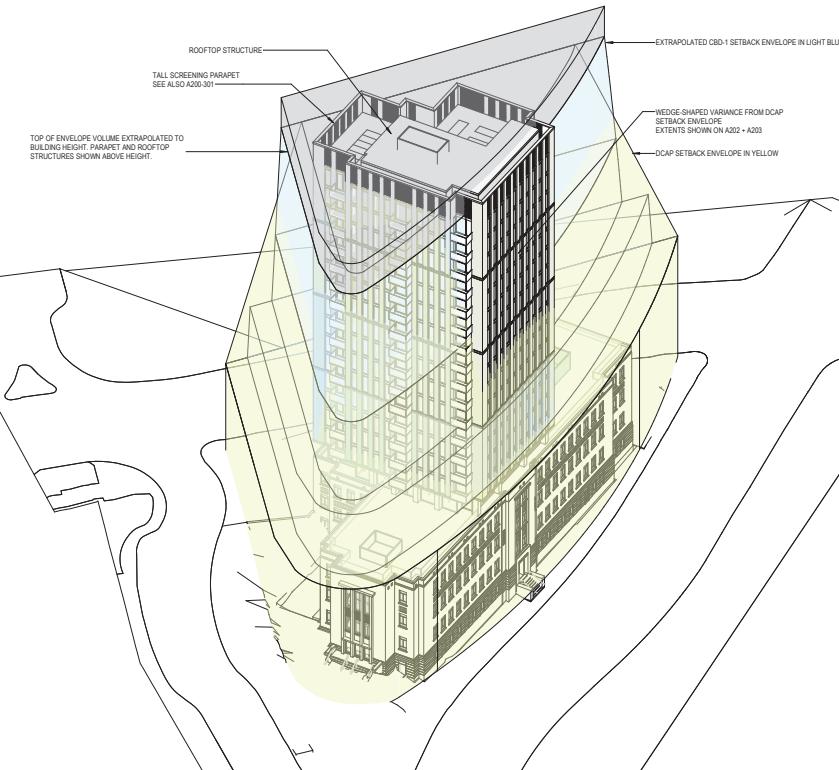
4 Axonometric View of DCAP Setback Envelope

A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)

A015



2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)

A015

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REVISIONS

16 Zoning envelope diagrams updated with shorter revised massing developed in response to ARS Comment A22.

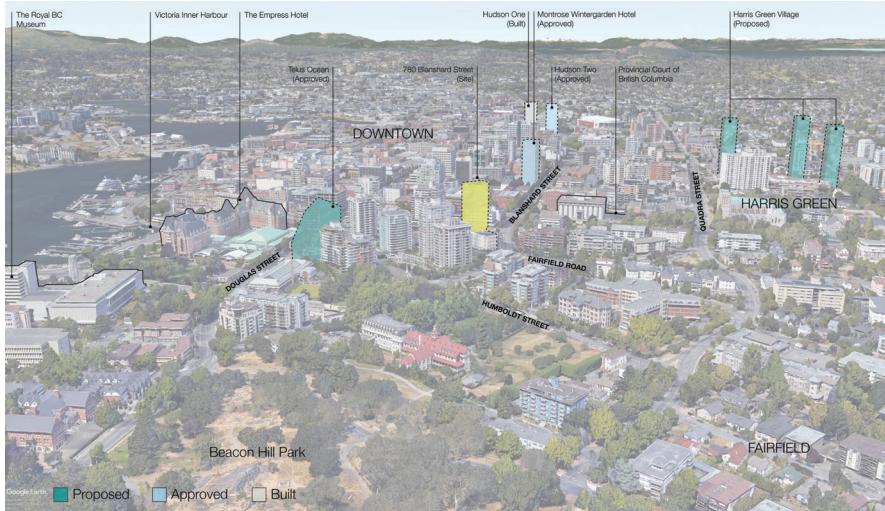
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC  
2019-039

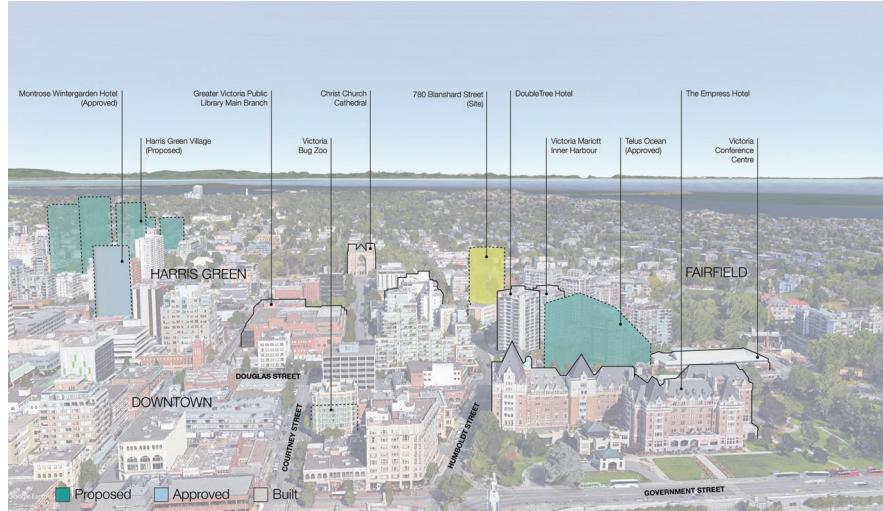
BUILDING FORM - ZONING  
ENVELOPE

2023-03-23 PM

**A015**



1 VIEW TO SITE ABOVE BEACON HILL



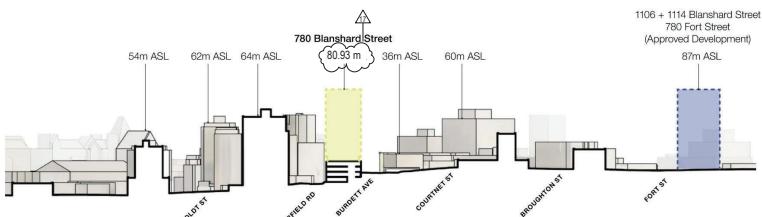
2 VIEW TO SITE LOOKING EAST ABOVE HARBOUR



DATE REV ISSUE DESCRIPTION  
2022-06-24 1 REZONING PRE-APPLICATION  
2022-06-01 2 OPEN HOUSE PROGRESS SET  
2022-06-21 3 REZONING APPLICATION  
2023-03-23 4 HAP & REZONING RESUBMISSION

REVISIONS

17 Updated Height per ARS comment #22



3 CONTEXT SECTION - SOUTH TO NORTH FACING WEST

780 Blanshard - Rehabilitation + Addition  
780 Blanshard Street, Victoria, BC  
2019-039

CONTEXT SCHEMATIC VIEWS  
AND SECTION

As indicated

2023-03-23 14:04 PM

**A016**

## BUILDING CODE ANALYSIS

SEE ALSO OUTLINE CODE REPORT BY GHL CONSULTANTS

## PROJECT INFORMATION

		BCBC Reference	Notes
Project Type	Renovation and Addition		
Governing Building Code	BC Building Code 2018		
Major Occupancies	Group C	3.1.2.1	Hotel and residential tower share a major occupancy. Dining, fitness centre, and amenity spaces are subsidiary occupancies which are integral to the principal occupancy.
Building Area	1038 m <sup>2</sup>	1.4.1.2	Outside face of exterior walls (existing heritage building)
Grade	14.86 m	1.4.1.2	BCBC Grade differs from City of Victoria Average Grade. BCBC Grade is the average along the lowest building face (along Fairfield Road) (14.88 m + 14.84 m) / 2 = 14.86 m
Building Height	20 Storeys	1.4.1.2	
High Building	Yes	3.2.6.1	

## BUILDING FIRE SAFETY + CONSTRUCTION CLASSIFICATION

Classification	Group C, Any Height, Any Area, Sprinklered	3.2.2.47	
Maximum Building Area	Unlimited	3.2.2.47	
Number of Streets Facing	3	3.2.2.10	
Construction Types Permitted	Noncombustible	3.2.2.47	
Interconnected Floor Space	Yes	3.2.8	

## EXITS FROM FLOOR AREAS

Number of Exits Required	2	3.4.2.1	
Separation of Exits (Min.)	One half of diagonal floor area, but need not be more than 9 m	3.4.2.3	All floor areas served by public corridors
Maximum Travel Distance Allowed	45 m	3.4.2.5	Measured from suite egress door into public corridor (3.4.2.4)

## FIRE RESISTANCE RATINGS

Floor Assemblies	2 h	3.2.2.47	
Roofs	N/A	3.2.2.47	
Occupied Roofs	2 h	3.2.2.13	
Mezzanines	1 h	3.2.2.47	
Exits	2 h	3.4.4.1	
Between Suites	1 h	3.3.1.1, 3.3.4.2	
Between Suites and Public Corridors	1 h	3.3.4.2, 3.2.6.5	Elevator access directly to corridor
Elevator Hoistways	2 h	3.5.3.1	
Service Spaces Containing Emergency Equipment	1 h	3.2.7.10	
Rooms Containing Fire Alarm Equipment	1 h	3.2.7.10	
Generator Room and Fuel Tank	2 h	3.6.2.8	
Electrical Equipment Room (sprinklered)	1 h	3.6.2.1	
Electrical Equipment Vault (unsprinklered)	2h	NFPA 13	
Vertical Service Spaces	1 h	3.6.3.1	

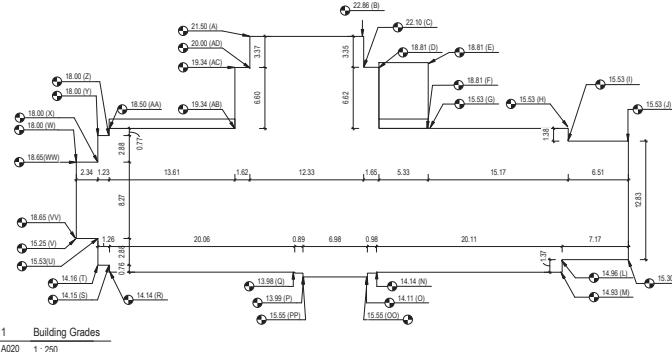
## SPATIAL SEPARATION

Table 3.2.3.1-D  
Unprotected Opening Limits for a Building or Fire Compartment that is Sprinklered Throughout  
Forming Part of Article 3.2.3.1

Exposing Building Face	Area of Unprotected Opening for Groups A, B, C, D and F, Division 3 Occupancies, %											
	Lineing Distance, m											
Max. Area, m <sup>2</sup>	0	1.2	1.5	2.8	2.5	3	4	5	6	7	8	9
10	0	16	24	42	66	100						
15	0	16	20	34	50	74	100					
20	0	16	20	30	42	60	100					
25	0	16	18	26	38	52	90	100				
30	0	14	18	24	34	46	78	100				
40	0	14	16	22	30	40	64	96	100			
50	0	14	16	26	36	56	92	100				
60	0	14	16	20	32	50	72	98	100			
60	0	14	16	18	22	28	42	58	80	100		
100	0	14	16	18	22	26	36	50	68	88	100	
150 or more	0	14	14	16	20	22	30	40	52	66	82	100

## NOTE:

THE EXISTING BUILDING AND PROPOSED ADDITION WILL CONTAIN GROUP A AND C OCCUPANCIES AND WILL BE SPRINKLED THROUGHOUT. AS SUCH, SPATIAL SEPARATION REQUIREMENTS WILL BE COVERED BY BCBC 2018 TABLE 3.2.3.1D UNPROTECTED OPENING LIMITS FOR A BUILDING OR FIRE COMPARTMENT THAT IS SPRINKLED THROUGHOUT. ACCORDING TO THE TABLE, AT A LINEING DISTANCE OF 1.2M, THE AREA OF UNPROTECTED OPENING IS 15% AND IS PERMITTED TO BE 100%. THIS UNIQUE SITE FACES THREE STREETS AND IN ALL CASES HAS DISTANCES THAT ARE AT LEAST 9M. THEREFORE, ALL ELEVATIONS OF THE BUILDING WILL BE PERMITTED TO HAVE AN AREA OF UNPROTECTED OPENINGS OF 100%. THE ACTUAL PERCENTAGE OF UNPROTECTED OPENINGS AT THE EXISTING BUILDING AND THE PROPOSED ADDITION ARE SUBSTANTIALLY LOWER AND WILL BE IN COMPLIANCE WITH SPATIAL SEPARATION REQUIREMENTS.

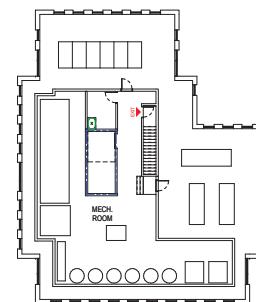
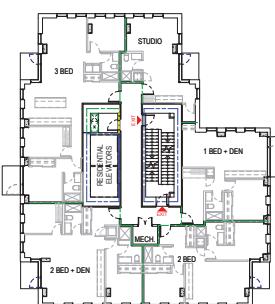
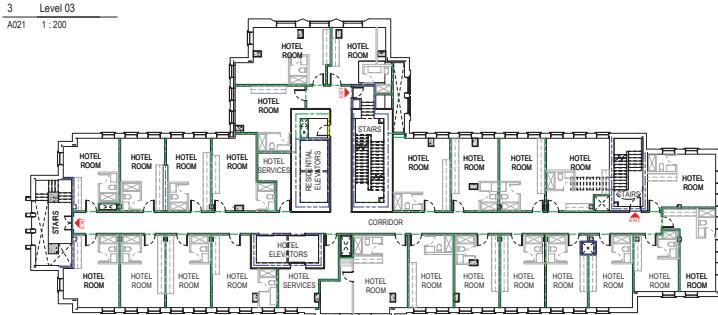
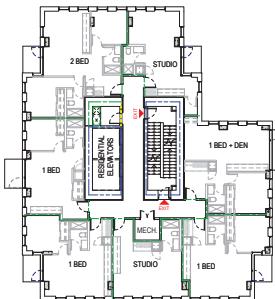
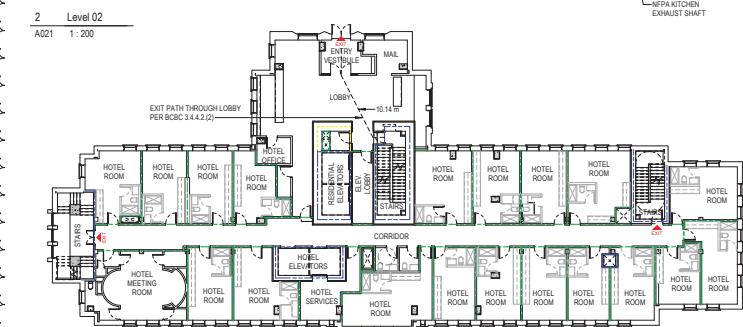
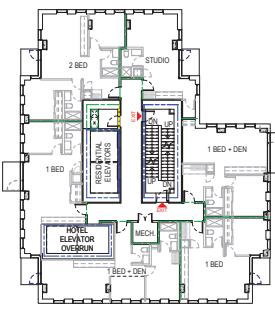
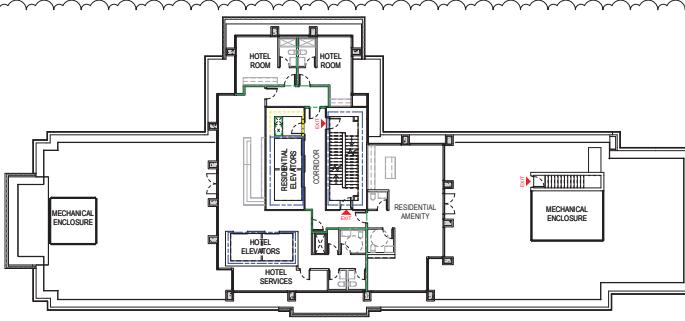
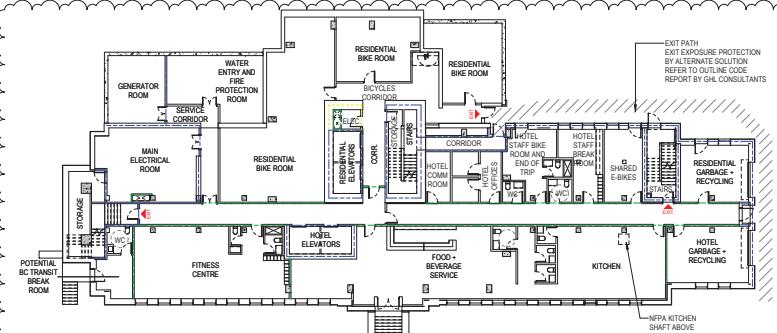




DATE REV ISSUE DESCRIPTION  
2023/03/23 1 HAR & REZONING RESUBMISSION

REVISIONS

19 Added for completeness of HAP application documents.



LEGEND

- 0 MINUTES F.R.R.
- 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.

NOTE:  
1. DRAWING TO BE READ IN COLOUR.  
2. DRAWING TO BE READ IN CONJUNCTION WITH  
OUTLINE PLAN CONFORMANCE REPORT PROVIDED  
BY GHL CONSULTANTS.

N  
PN  
780 Blandish Street, Victoria, BC  
2019-039

CODE ANALYSIS - PLANS

As indicated

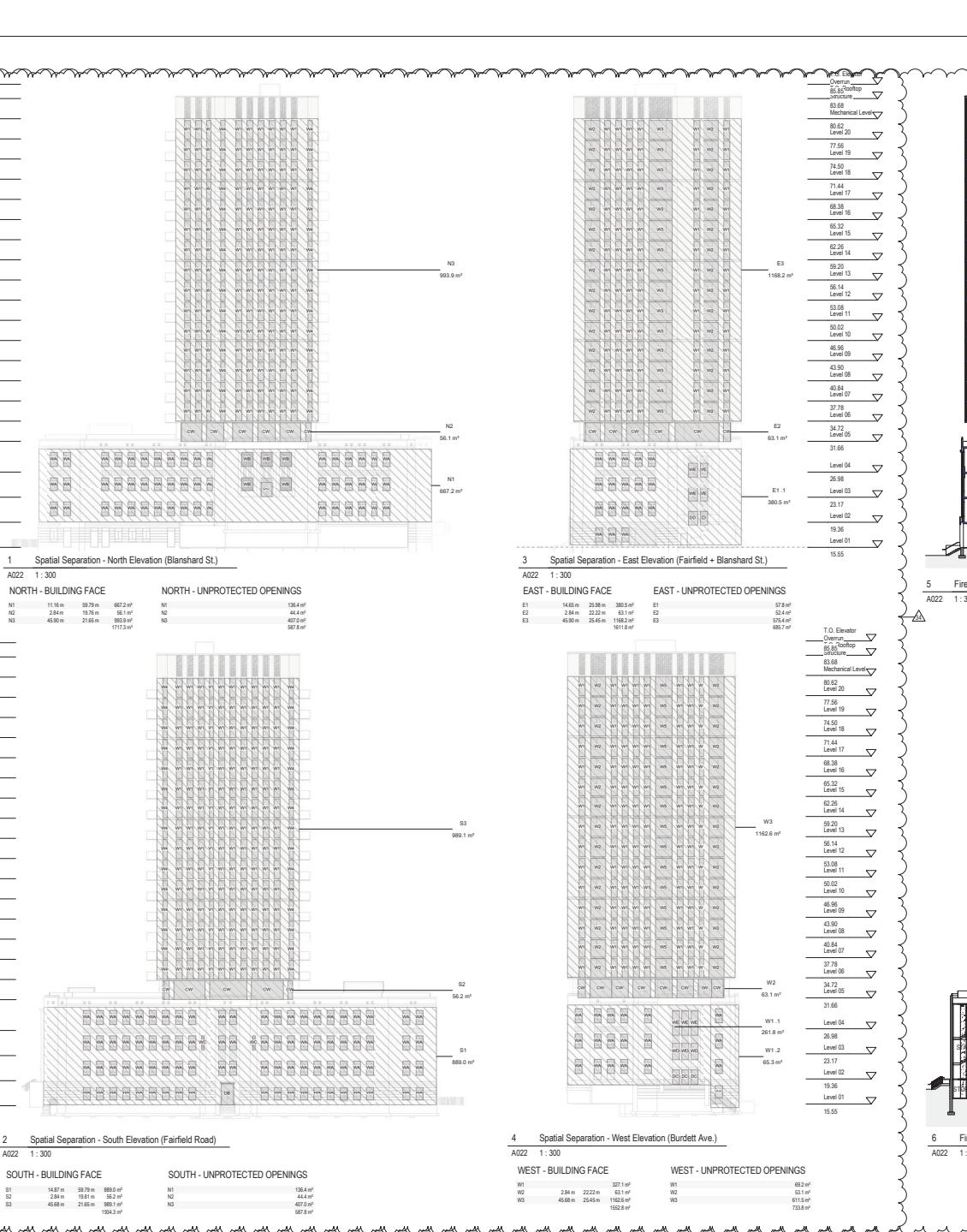
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A021

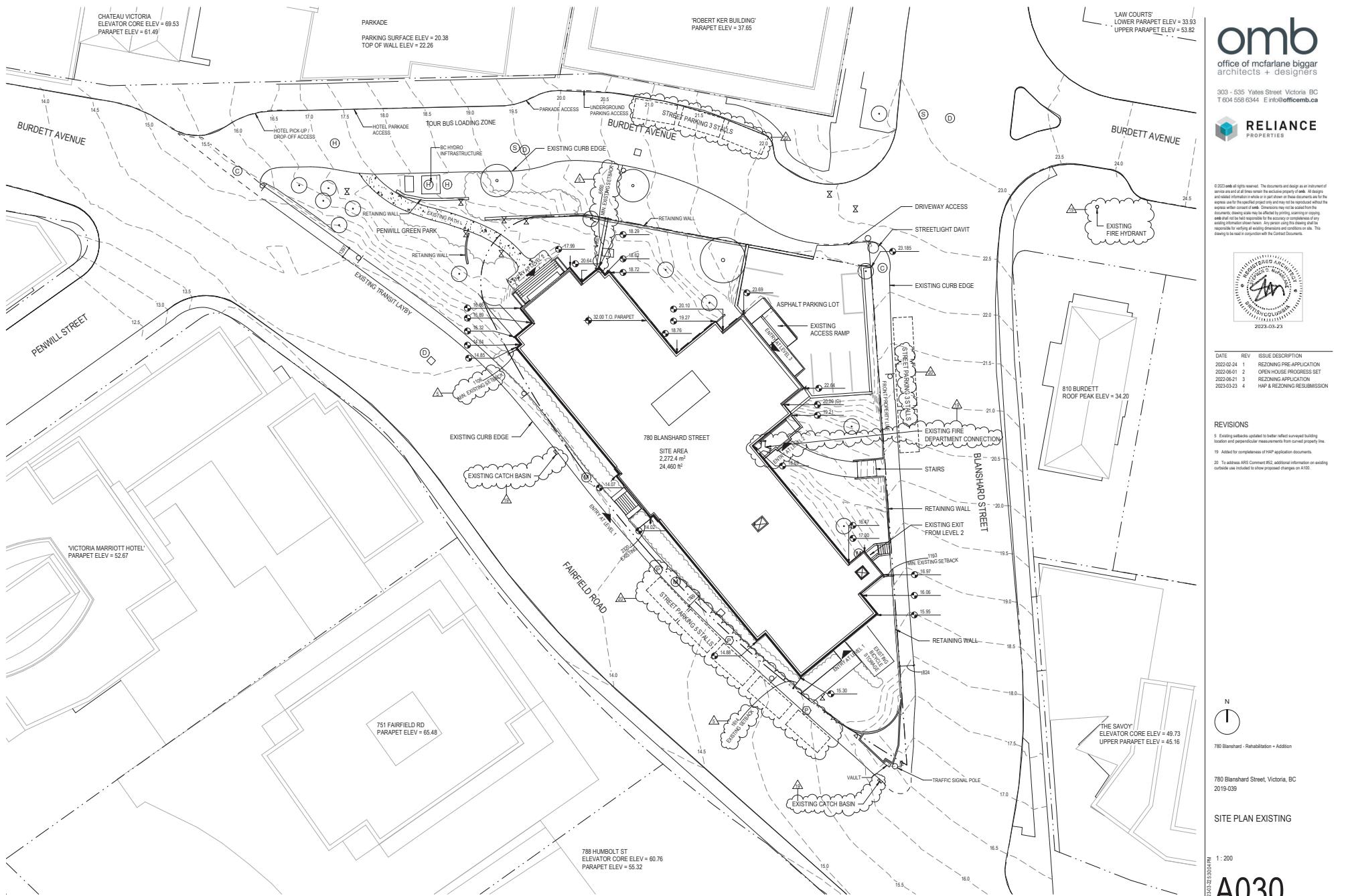


**LEGEND**

- 0 MINUTES F.R.R.
- 45 MINUTE F.R.R.
- 60 MINUTES F.R.R.
- 90 MINUTES F.R.R.
- 120 MINUTES F.R.R.

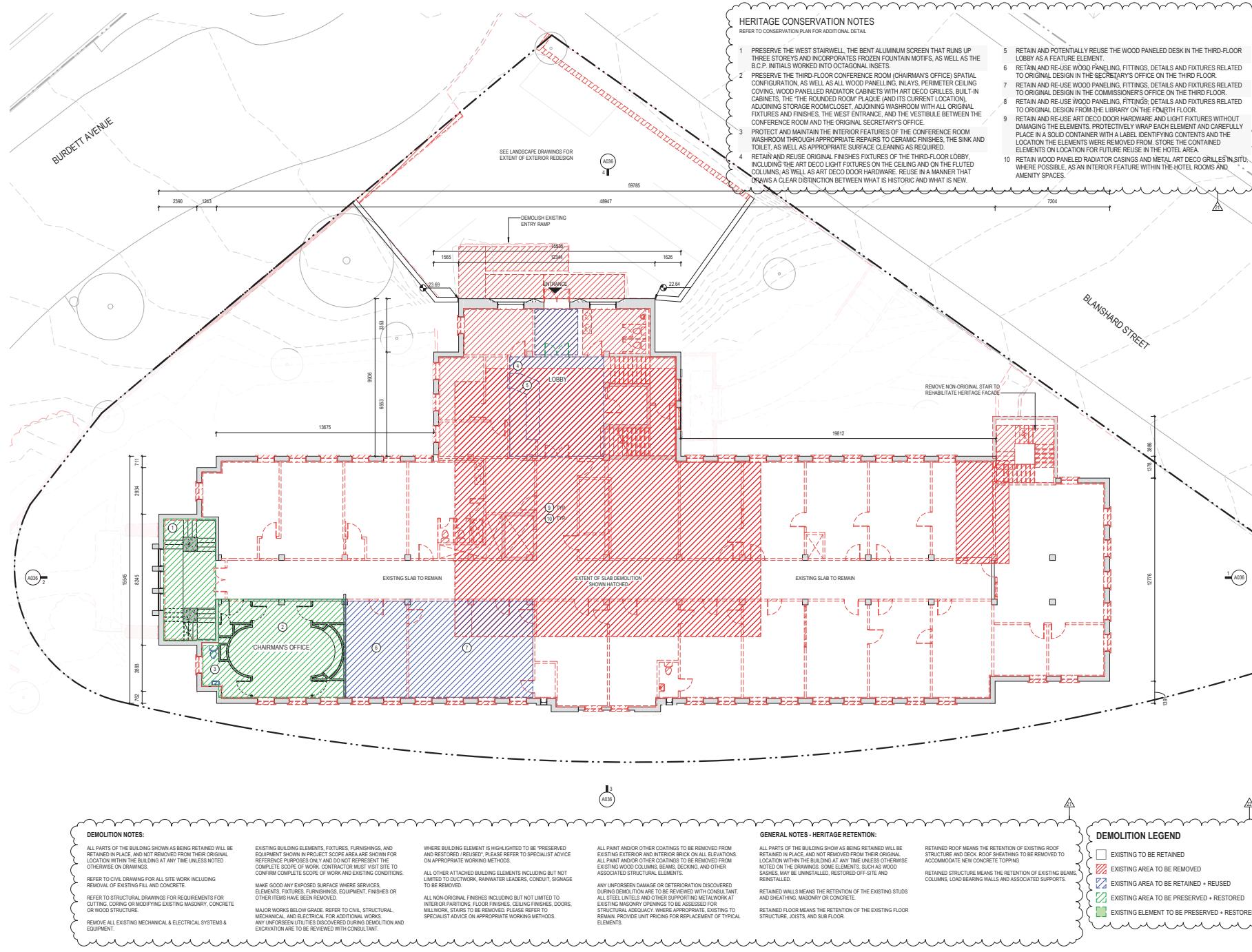
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omb  
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DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISION

21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of intangible heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.

11. *Leucosia* (Leucosia) *leucostoma* (Fabricius) (Fig. 11)

PN

780 Blanshard Street, Victoria, BC  
2019-039

**LEVEL 3  
DEMOLITION/RETENTION PLAN**

4/100

A033



DATE	REV	ISSUE DESCRIPTION
2022-06-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

#### REVISIONS

21 To address ARS Comments #11a and #11b, additional information including revised demolition plan, revised site plan, revised features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.

N

780 Blandish Street, Victoria, BC  
2019-039

LEVEL 4  
DEMOLITION/RETENTION PLAN

1 - 100

2023-03-23 10:14 PM  
**A034**

#### DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RELOCATED, RESTORED, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT IN THE PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD AND EXPANSIVE SURFACE WHERE SERVICES, ELEMENTS, OR STRUCTURE, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.

ANY UNFORESEEN CONDITIONS OR DEMONSTRATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENTS IS HIGHLIGHTED TO BE "PRESERVED AND RETAINED" IN THE PROJECT SCOPE AREA, REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE AND ASSOCIATED STRUCTURAL ELEMENTS.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR FINISHES, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS, ETC. ARE TO BE REMOVED UNLESS RETAINING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING ROOF, EXISTING ROOFING, EXISTING ROOFING MEMBERS, ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING AND FROM ANY ASSOCIATED STRUCTURAL ELEMENTS.

ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR RETENTION.

RETAINED ROOF MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

#### GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED AND NOT REMOVED FROM THE ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SCAFFOLDING, ARE TO BE UNINSTALLED, RESTORED OFF-SITE AND RENTED/RELOCATED.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE, DECKING, ROOFING, AND ROOFING MEMBERS TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

#### DEMOLITION LEGEND

■	EXISTING TO BE RETAINED
■	EXISTING AREA TO BE REMOVED
■■■	EXISTING AREA TO BE RETAINED + REUSED
■■■■■	EXISTING AREA TO BE PRESERVED + RESTORED
■■■■■■■	EXISTING ELEMENT TO BE PRESERVED + RESTORED





DATE REV ISSUE DESCRIPTION  
2022-01-24 1 REZONING PRE-APPLICATION  
2022-06-01 2 OPEN HOUSE PROGRESS SET  
2022-06-21 3 REZONING APPLICATION  
2023-03-23 4 HAP & REZONING RESUBMISSION

#### REVISIONS

21 To address ARS Comments #11a and #11b, additional information including revised demolition drawings, revised site plan, revised features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

24 Extent of concrete demolition modified to reflect planning updates from interior design development and as a result of massing changes from ARS Comment #22.



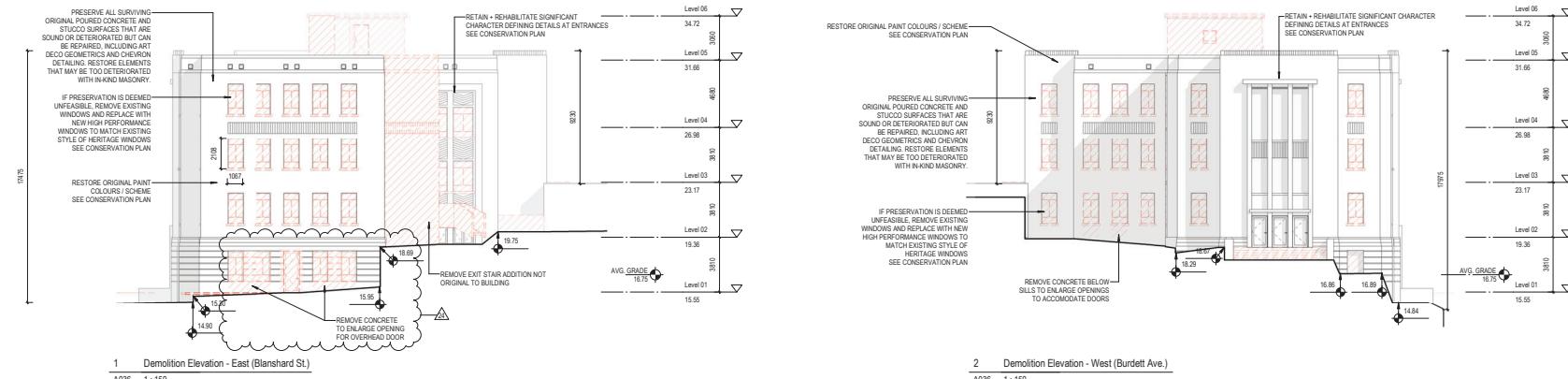
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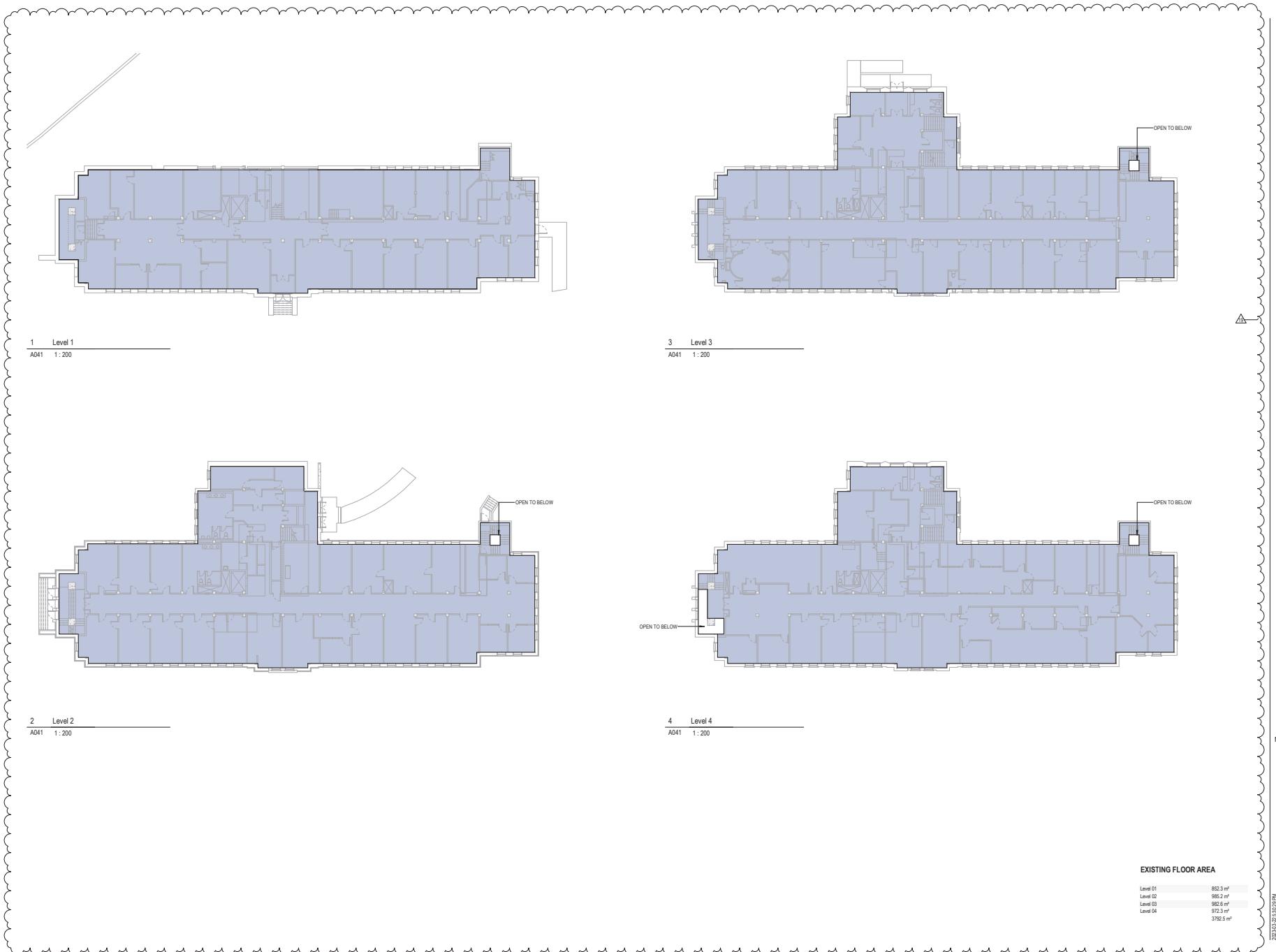
780 Blandshard Street, Victoria, BC  
2019-039

#### DEMOLITION/RETENTION ELEVATIONS

As indicated

2023-03-23 02:47 PM  
**A036**





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DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

---

## REVISIONS

19 Added for completeness of HAP application documents.

PN  
N

780 Blanshard Street, Victoria, BC  
2019-039

## FSR OVERLAYS EXISTING

W 1:200

EXISTING FLOOR AREA	
Level 01	8
Level 02	9
Level 03	9
Level 04	9
	35

2023/03/21 13:29 PM 1:200  
A041





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2022-06-01 2 OPEN HOUSE PROGRESS SET  
2022-06-21 3 REZONING APPLICATION  
2023-03-23 4 HAP + REZONING RESUBMISSION

#### REVISONS

- 40 Bicycle parking provision and layout updated to confirm basis of design and to align with revised requirements for the number and type of horizontal ground-level stalls per ARS Comment #39.
- 41 Bike wash area included per ARS Comment #52.
- 42 Basis of design info for stacked bicycle storage in response to ARS Comment #53.
- 43 Residential and hotel waste and recycling rooms consolidated along the rear of the building. Residential waste and recycling shown to separate vehicles from pedestrian and bike areas. Bin storage to be performed away from path of travel. See Response Letter for additional details on the revised waste and recycling room layout.
- 44 Existing storage room no longer exists due to an in response to ARS Comment #116.
- 45 Hotel planning, including room count, revised based on further design development, HAP and changes to massing resulting from revised design. See Response Letter.
- 56 In response to ARS Comment #38, a new retaining structure is proposed inside of existing retaining wall where new grade is lower than existing. See also Response Letter for Geotechnical and Structural feedback and Landscape changes for new earth.



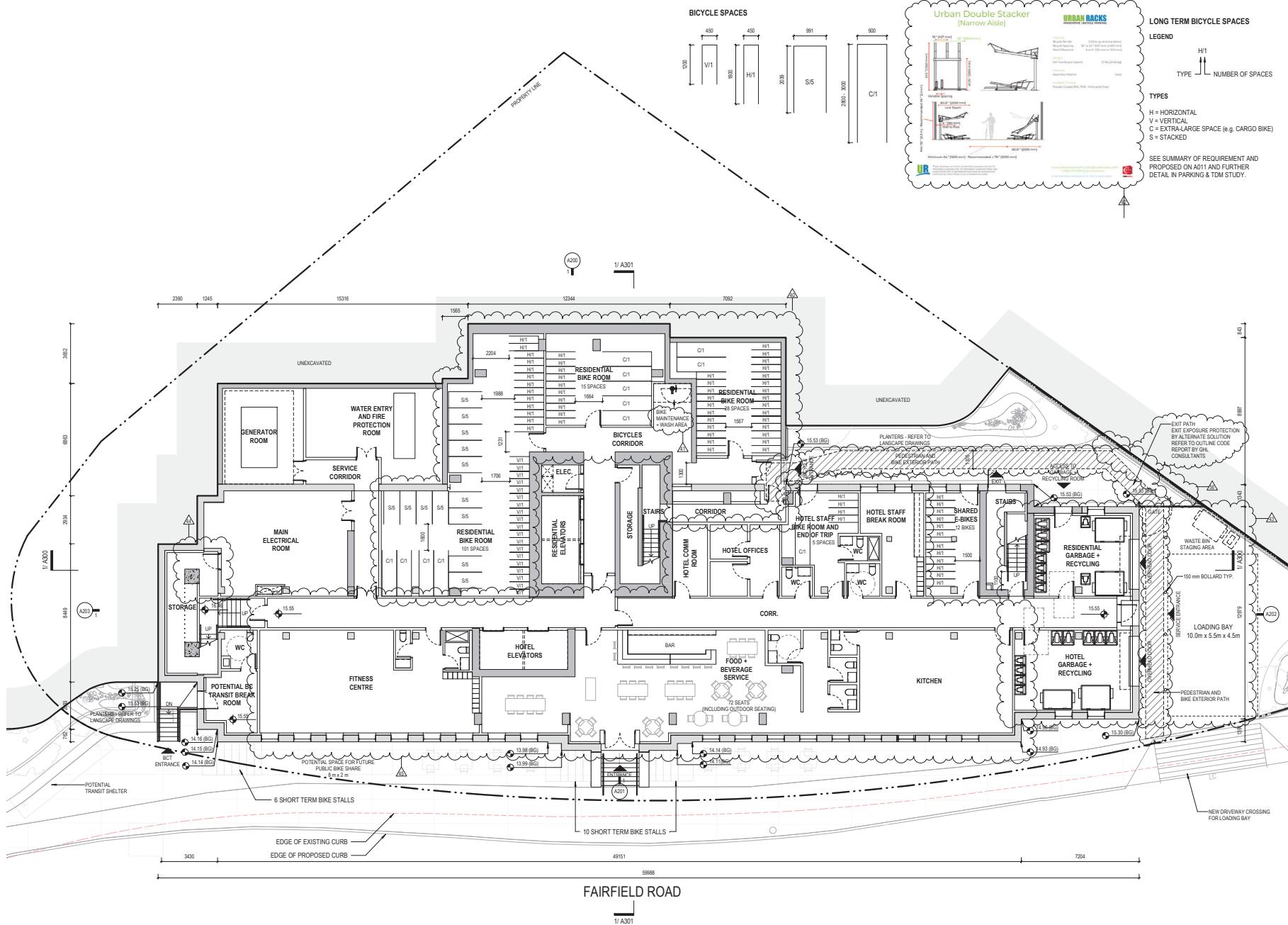
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2019-039

#### LEVEL 1 FLOOR PLAN

As indicated

2023-03-23 10:47 AM  
**A101**













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REVISIONS

50 Residential tower floor plate design and suite mix revised to suit revised zoning. Includes revised floor plans for suites #401, #402, and #404. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.

780 Blanshard - Rehabilitation + Addition

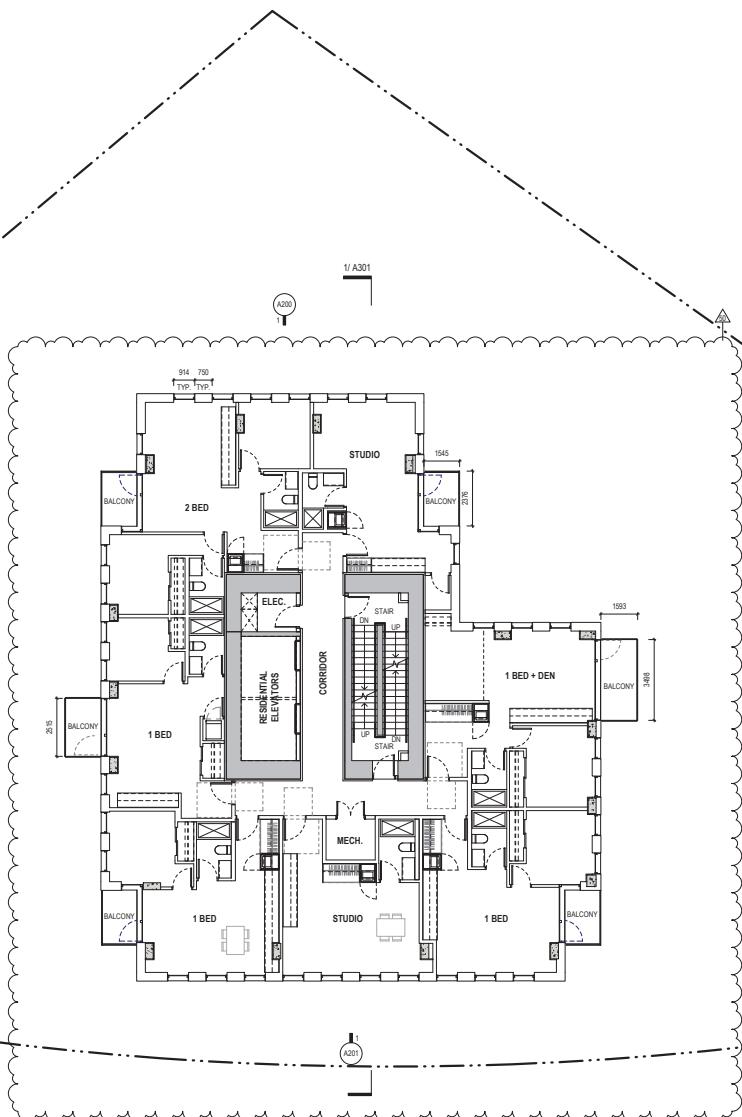
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LEVEL 7-17 FLOOR PLAN

1 - 100

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DATE REV ISSUE DESCRIPTION  
2023-03-23 1 HAR & REZONING RESUBMISSION

**REVISIONS**

50 Residential tower floor plate design and suite mix revised to suit 780 Blanshard Street. Suite mix revised to suit suites #421, #422, and #424. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.

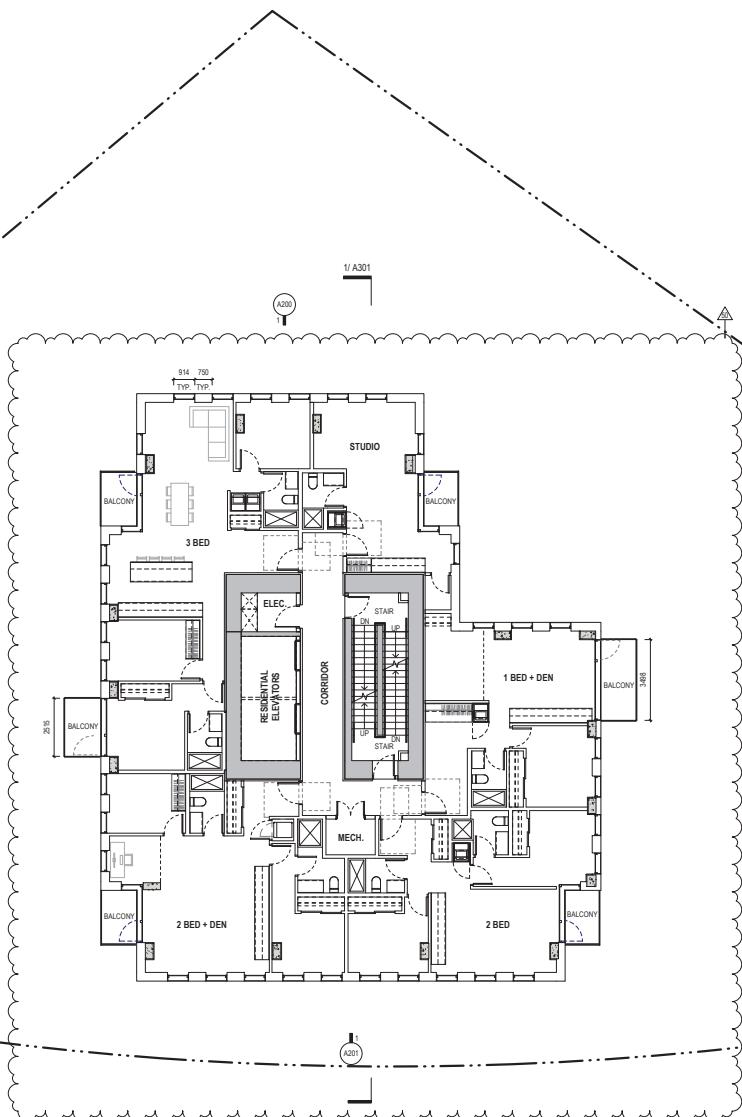


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LEVEL 18-20 FLOOR PLAN

1 - 100  
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2022-06-21 3 REZONING APPLICATION  
2023-03-23 4 HAP & REZONING RESUBMISSION

REVISIONS

S1 Secured equipment room for CREST in response to ARS Comment #425  
S2 Roof top design shows revised mechanical room and equipment to suit revised masking and tall parapet all around to respond to ARS Comment #425

N PN

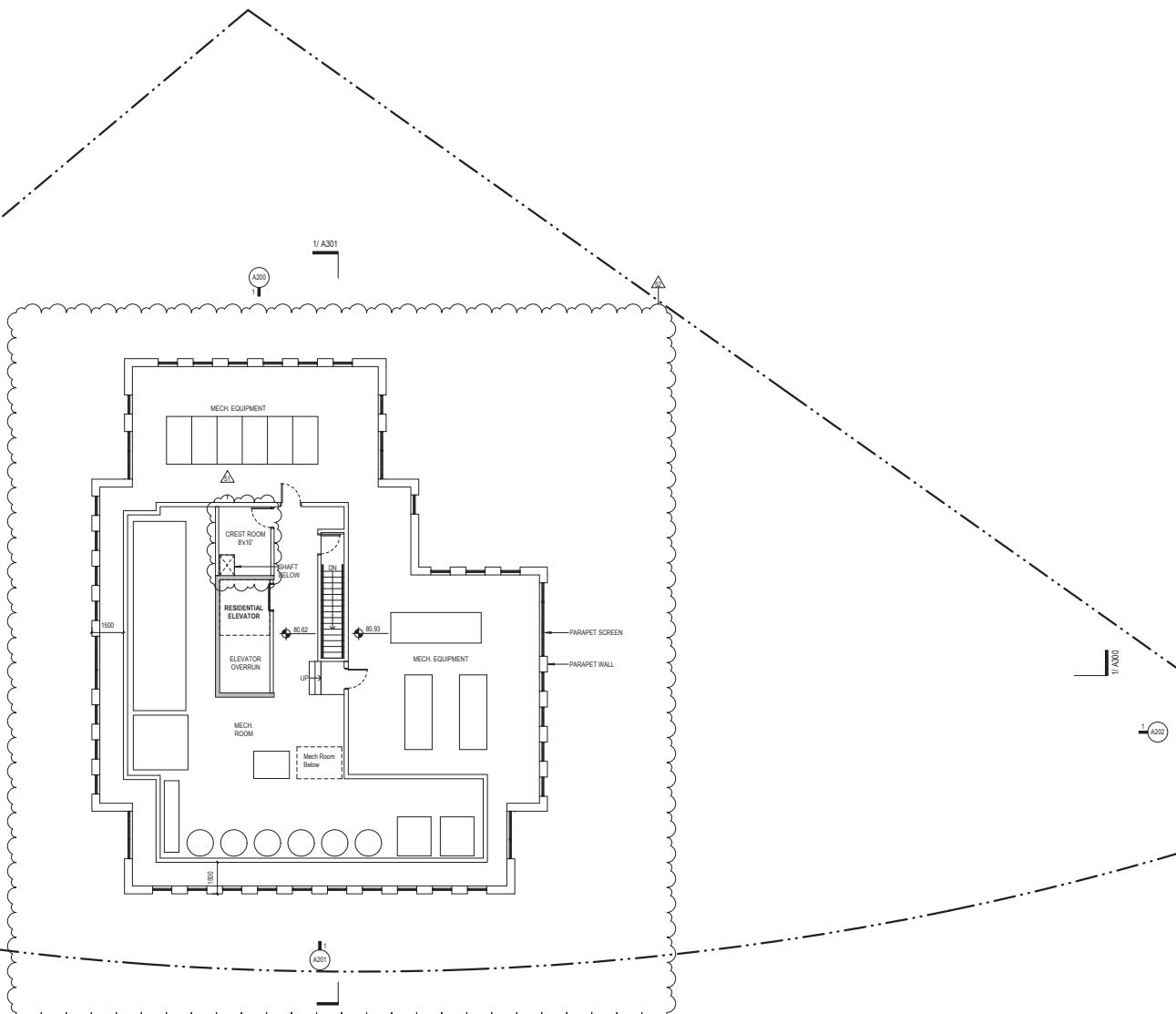
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MECHANICAL ROOFTOP PLAN

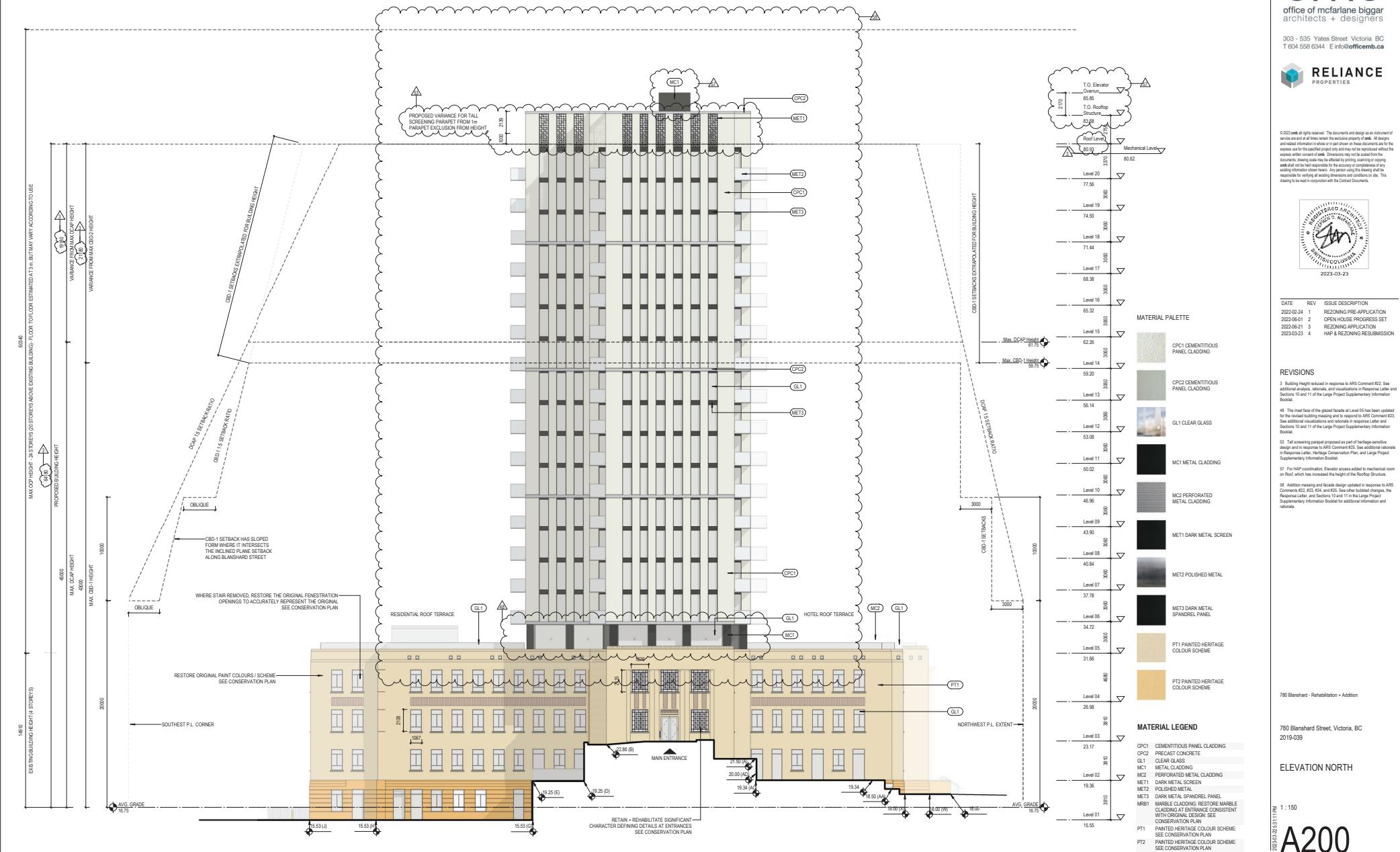
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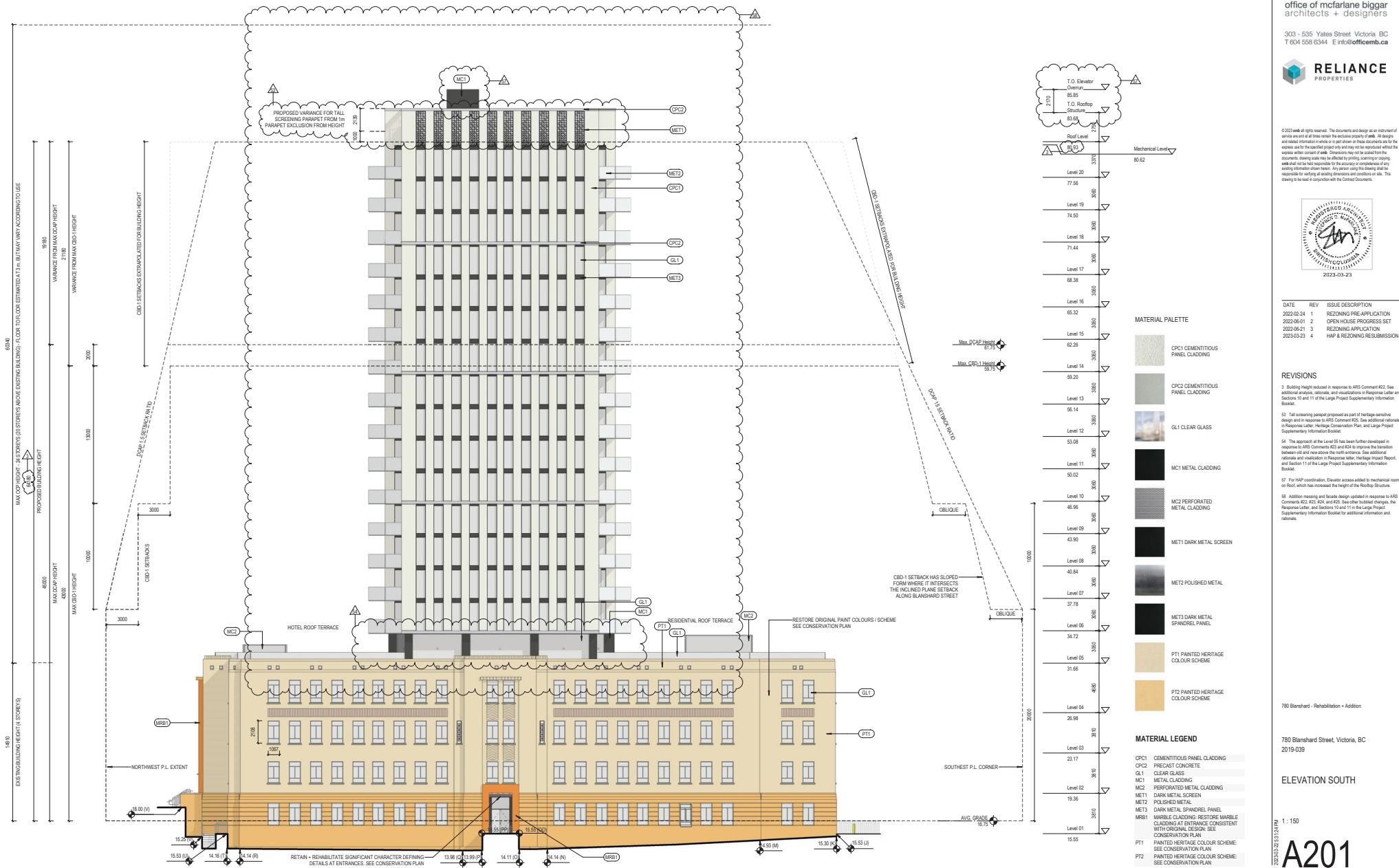
**A109**







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2023-03-23

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISS

## REVISION

3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter Sections 10 and 11 of the Large Project Supplementary Information Booklet.

53. Tall screening parapet proposed as part of heritage-sensitive design and in response to ARS Comment #25. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical on Roof, which has increased the height of the Rooftop Structure

1. *What is the primary purpose of the study?* (e.g., to evaluate the effectiveness of a new treatment, to describe a population, to compare two groups, to predict an outcome, to explore a phenomenon)

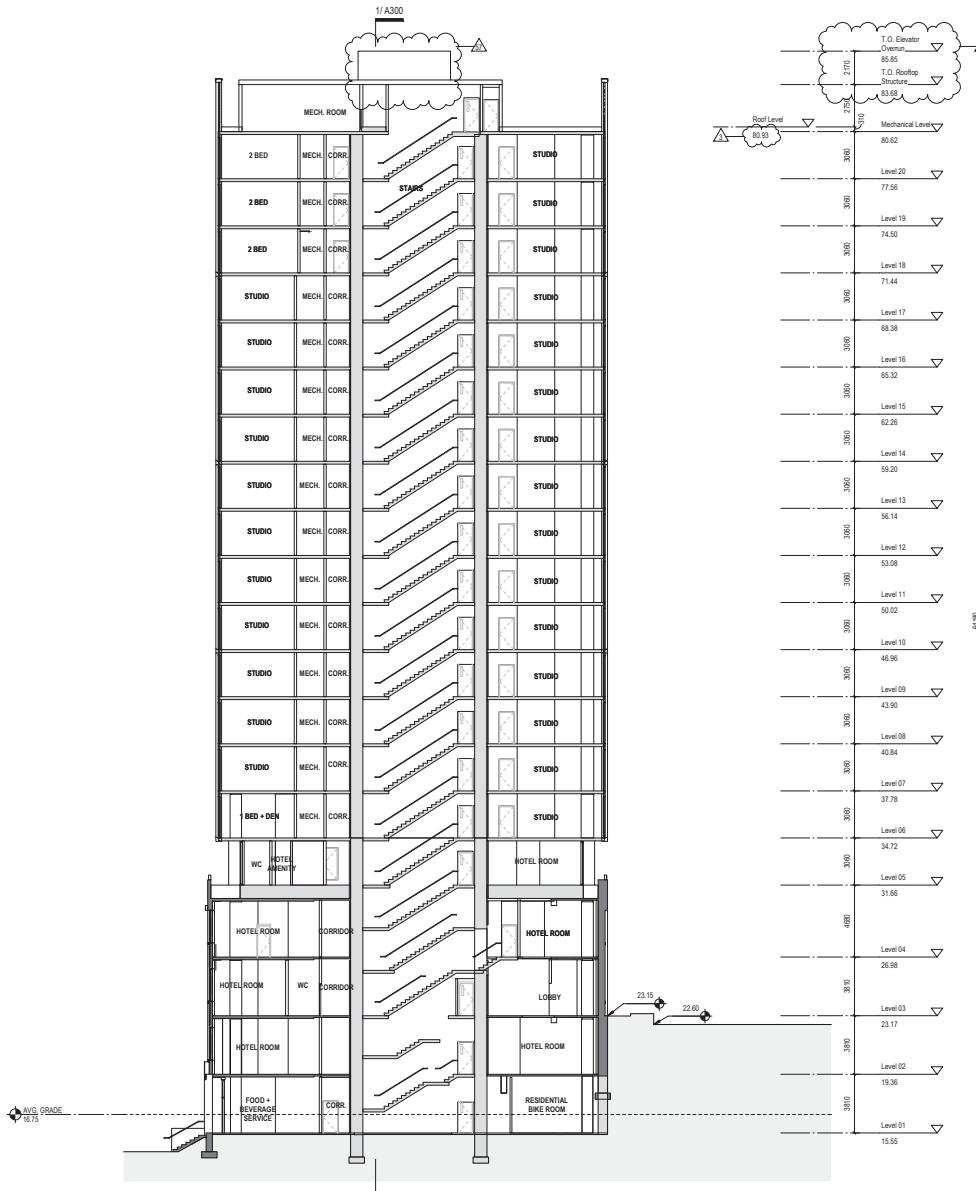
780 Blanshard • Rehabilitation + Addict

780 Blanshard Street, Victoria, BC  
2019-039

## BUILDING SECTION EAST-WEST

1-121

A300  
20230322631



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REVISION

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57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Rooftop Structure.

780 Blanshard • Rehabilitation + Addict

780 Blanshard Street, Victoria, BC  
2019-039

## BUILDING SECTION NORTH-SOUTH

1

A301

# 780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

**CLIENT:**

**RELIANCE PROPERTIES LTD.**

JUAN PEREIRA  
juanp@reliancroperties.ca  
604.694.8680

**ARCHITECTS:**

**OFFICE OF MCFARLANE BIGGAR ARCHITECTS +  
DESIGNERS INC.**

MATTHEW BEALL  
MBeall@officemb.ca  
604.558.6371

**LANDSCAPE ARCHITECT:**

**GJALA GAUTHIER + ASSOCIATES LANDSCAPE  
ARCHITECTS INC.**

BRYCE GAUTHIER  
bryce@gauthierla.com  
604.317.9682

RODRIGO RODRIGUES  
rodrigo@gauthierla.com  
778.714.0123

**LANDSCAPE DRAWING INDEX PERMIT**

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE SURVEY
L0.2	TREE MANAGEMENT PLAN
L0.3	DEMOLITION PLAN
L0.4	OVERALL IMPERMEABLE SURFACES OVERLAY
L1.0	OVERALL SITE PLAN
L1.1	WEST ENLARGEMENT PLAN
L1.2	NORTH ENLARGEMENT PLAN
L1.3	SOUTH ENLARGEMENT PLAN
L1.4	PENWILL GREEN PARK ENLARGEMENT PLAN
L1.5	OVERALL PLANTING PLAN
L1.6	OVERALL IRRIGATION PLAN
L1.7	PRECEDENT IMAGES
L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

## TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
10. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM, 12 WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
11. BYLAW APPLIES TO ALL LANDS IN CITY.
12. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES, GREATER THAN 60CM OF 3 OTHER SPECIES, ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
13. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
14. THE FOLLOWING SPECIES ARE PROTECTED:
15. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
16. A SIGNIFICANT TREE;
17. ANY TREE OVER 80CM IN TRUNK DIAMETER;
18. A TREE ON A STEEP SLOPE;
19. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
20. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M):
21. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
22. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
23. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
24. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.





### TYPICAL TREE PROTECTION FOR VICTORIA

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26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

all sidewalk and curbwork  
to be supervised by the  
project arborist

new water services  
trenched by hydrovac and  
supervised by the project  
arborist

retaining wall excavation  
to be supervised by the  
project arborist.  
Construction may required  
grade beam and or helical  
piles.

### TREE MANAGEMENT PLAN

SYMBOL	DESCRIPTION
X	EXISTING TREE TO BE REMOVED --- TREE CANOPY OUTLINE --- PROTECTED ROOT ZONE
O	EXISTING TREE TO BE RETAINED: --- TREE CANOPY OUTLINE — PROTECTED ROOT ZONE
—	EXISTING CURB LINE
—	PROPOSED UTILITIES. REFER TO CIVIL
—	EXISTING RETAINING WALL TO REMAIN
—	EXISTING CONDITIONS
■■■■■	TREE PROTECTION FENCE

#### GENERAL DEMOLITION NOTES:

- VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
- THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
- VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
- ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- INITIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
- INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
- EXISTING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECT'S DISCRETION.
- ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
- REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
- ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
- UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
- THE PLACEMENT OF PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
- SLOP SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
- REMOVE DEMOLISHED MATERIALS FROM SITE, DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
- ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
- ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

#### DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXTENT OF DEMOLITION
	AREA TO BE PROTECTED



**IMPERMEABLE X ABSORBENT SURFACES LEGEND**TOTAL AREA: 2272.36 m<sup>2</sup>

	IMPERMEABLE SURFACES AND BUILDINGS 1797.76 m <sup>2</sup> (79.55%)
--	---

	ABSORBENT SURFACES 464.67 m <sup>2</sup> (20.45%)
--	--

**G | ALA**

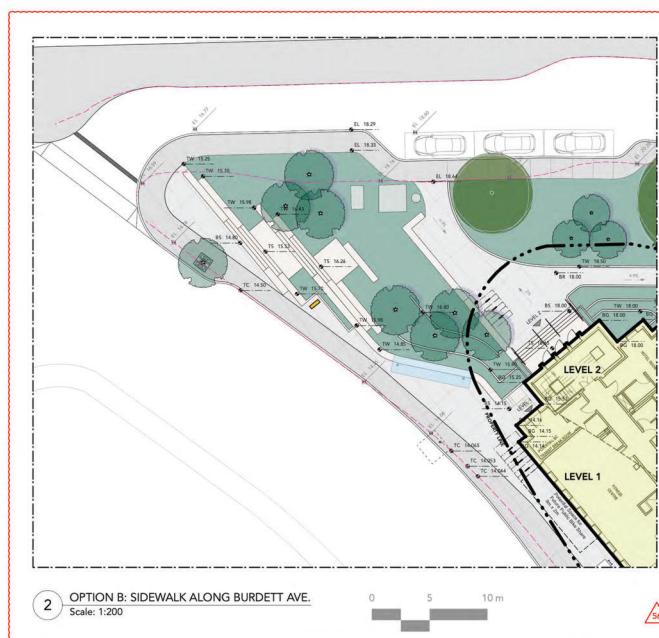
Gauthier + Associates Landscape Architects Inc.

780 Blanshard Street  
Victoria, BCReliance Properties  
2148**L0.4**OVERALL IMPERMEABLE SURFACES  
OVERLAY

K Issued for Rezoning &amp; Heritage Alteration Permit 23-04-13

## LEGEND

SYMBOL	QTY	DESCRIPTION
—	—	EXISTING CURB LINE
—	—	PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
—	—	PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
—	—	PLANTING TYPE 1 Garry Oak Ecosystem
—	—	PLANTING TYPE 2 Rain Gardens, 18" maximum depth
—	—	EXISTING RETAINING WALL TO REMAIN
●	—	SITE FURNISHING Bollard as per New Town Public Realm design.
●	—	SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
—	—	SITE FURNISHING Moveable Cafe Table + Chairs
—	—	SITE FURNISHING Public Art Feature
—	—	SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
—	—	SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"
—	—	CIP CONCRETE RETAINING WALLS & SEATING





## LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk with Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
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		EXISTING RETAINING WALL TO REMAIN
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		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

### GRADING LEGEND

SYMBOL	DESCRIPTION
EL 0.00	PROPOSED ELEVATION
EL 0.00	EXISTING ELEVATION
TW 0.00	TOP OF WALL ELEVATION
BW 0.00	BOTTOM OF WALL ELEVATION
TS 0.00	TOP OF STAIRS ELEVATION
BS 0.00	BOTTOM OF STAIRS ELEVATION
TB 0.00	TOP OF BENCH ELEVATION
TR 0.00	TOP OF RAMP ELEVATION
BR 0.00	BOTTOM OF RAMP ELEVATION
BG 0.00	BUILDING GRADE ELEVATION
TF 0.00	TOP OF FENCE ELEVATION
TC 0.00	TOP OF CURB ELEVATION
1%	SLOPE AND DIRECTION



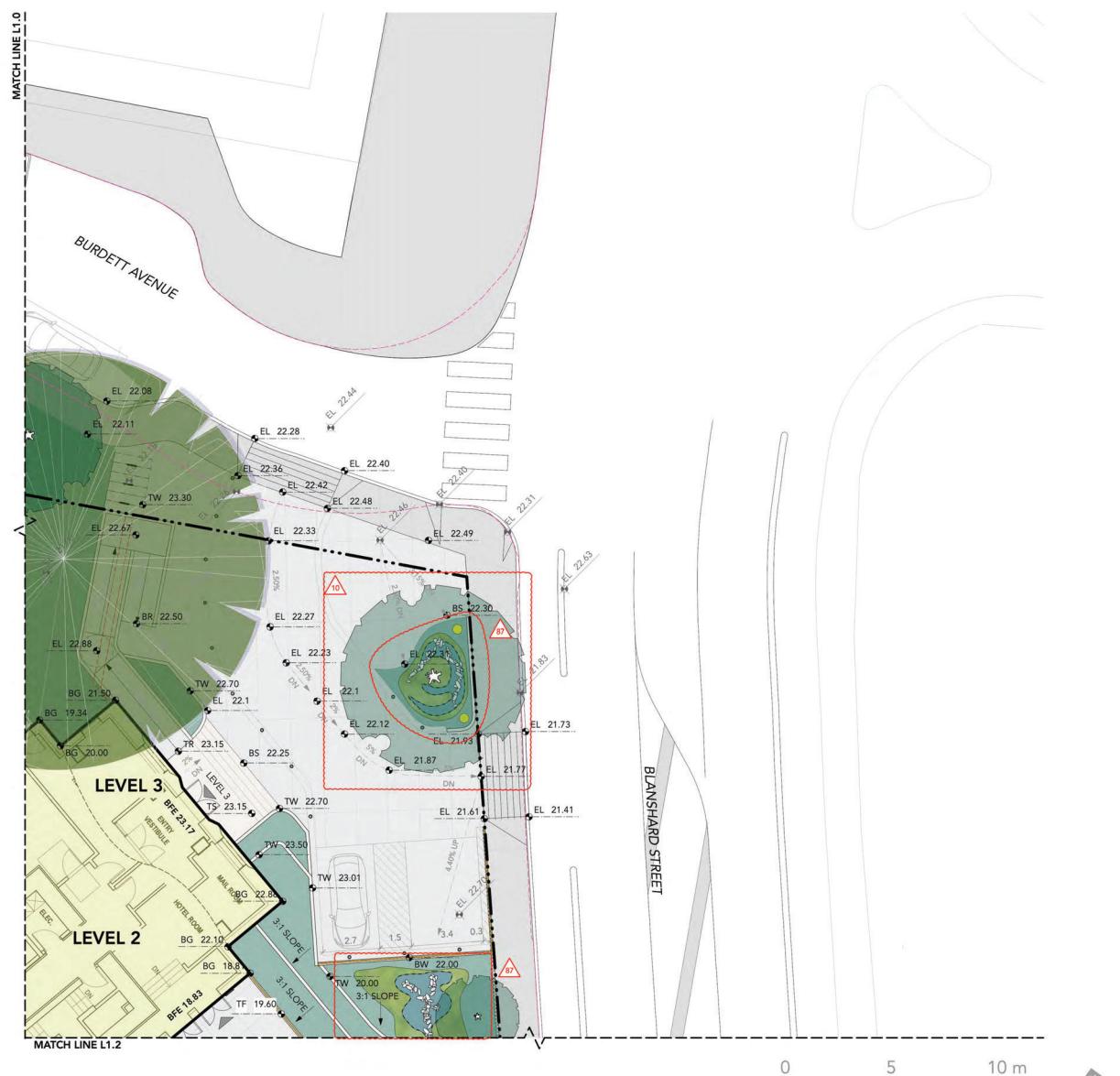


## LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
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		PLANTING TYPE 1 Gary Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
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1% 	SLOPE AND DIRECTION





## LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
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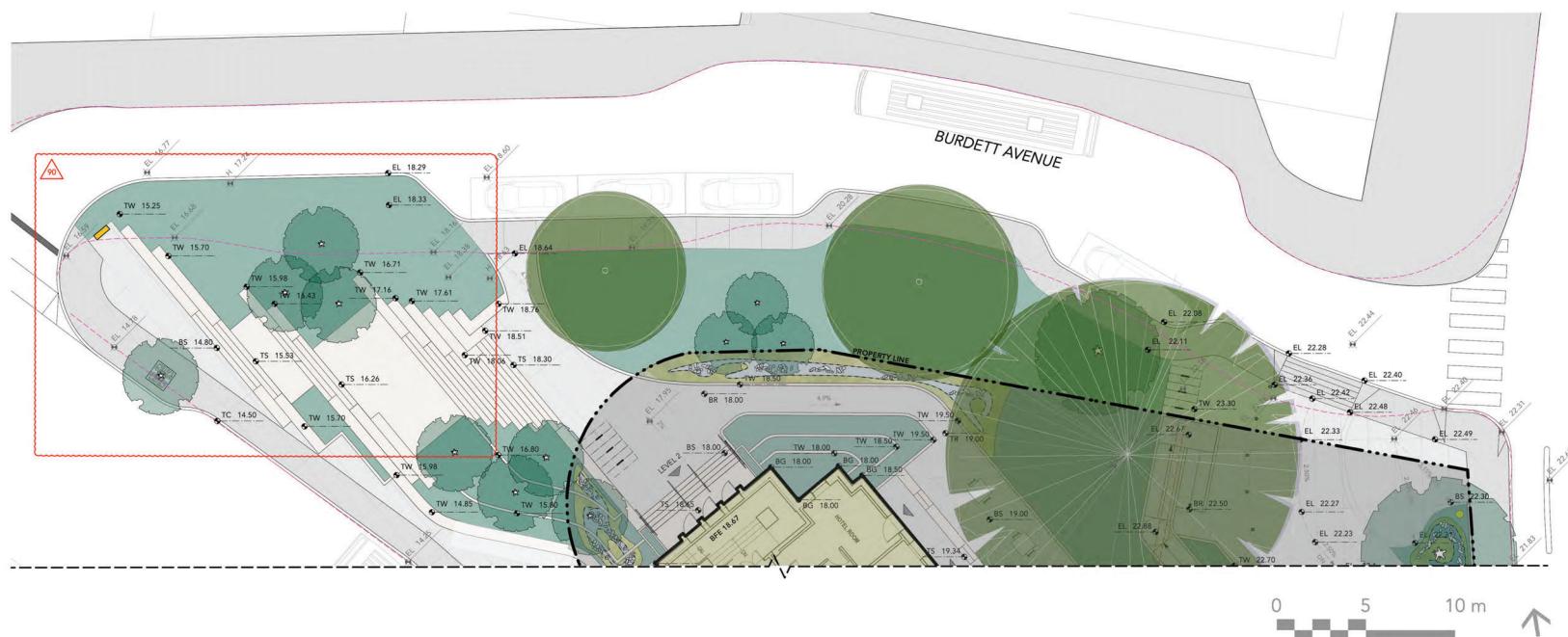


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SYMBOL	QTY	DESCRIPTION
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—		PAVING TYPE 2
—		Rain Gardens, 18" maximum depth
—		PLANTING TYPE 1
—		Garry Oak Ecosystem
—		PLANTING TYPE 2
—		Rain Gardens, 18" maximum depth
—		EXISTING RETAINING WALL TO REMAIN
—		SITE FURNISHING
—		Bollard as per New Town Public Realm design.
—		SITE FURNISHING
—		Heritage Light Fixtures as per New Town Public Realm design.
—		SITE FURNISHING
—		Movable Cafe Table + Chairs
—		SITE FURNISHING
—		Public Art Feature
—		SITE FURNISHING
—		Zoe Bike Racks by Sholto Design Studio

#### GRADING LEGEND

SYMBOL	DESCRIPTION
—	PROPOSED ELEVATION
—	EXISTING ELEVATION
—	TOP OF WALL ELEVATION
—	BOTTOM OF WALL ELEVATION
—	TOP OF STAIRS ELEVATION
—	BOTTOM OF STAIRS ELEVATION
—	TOP OF BENCH ELEVATION
—	TOP OF RAMP ELEVATION
—	BUILDING GRADE ELEVATION
—	TOP OF FENCE ELEVATION
—	TOP OF CURB ELEVATION
—	SLOPE AND DIRECTION

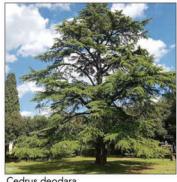


## PLANT IMAGES

### TREES



Arbutus menziesii  
Arbutus



Cedrus deodara  
Cedar



Quercus garryana  
Garry Oak

### SHRUBS



Gaultheria shallon  
Salal



Physocarpus opulifolius  
Ninebark



Rhododendron menziesii  
False Azalea

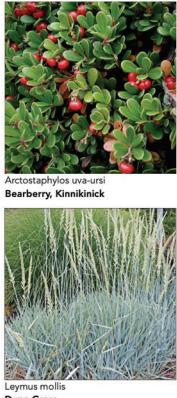


Rhododendron x 'Purple Gem'  
Purple Gem Rhododendron

### PERENNIALS, GRASSES, GROUNDCOVER



Adiantum venustum  
Evergreen Maidenhair Fern



Arctostaphylos uva-ursi  
Bearberry, Kinnikinnick



Blechnum spicant  
Deer Fern



Carex obnupta  
Slough Sedge



Deschampsia caespitosa 'Northern Light'  
Northern Lights Tufted Hair Grass

Juncus effusus  
Soft Common Rush



Leymus mollis  
Dune Grass



Oxalis oregana  
Redwood Sorrel



Polystichum munitum  
Western Sword Fern



Akebia quinata  
Chocolate Vine

### GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE: PREPARE PLANTING HOLES AS SPECIFIED. PLANT TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
6. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.



## GENERAL IRRIGATION NOTES:

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
5. CONTRACTOR IS RESPONSIBLE TO BCOME FAMILIAR WITH GRADE DIFFERENCES, MANUFACTURE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION SLEEVES THROUGH WALLS UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUITABLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERALLINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES
12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. ALL PIPE TO BE SCHEDULE 40.
15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR
20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR
21. IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12.042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS
22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL INSPECTION TAG AND TESTING REPORT).
23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.

## IRRIGATION LEGEND

SYMBOL	DESCRIPTION
—	IRRIGATION SLEEVE FOR IRRIGATION CONDUIT
▨	RAISED / RECESSED PLANTER AREA TO BE IRRIGATED





**G | ALA**

Gauthier + Associates Landscape Architects Inc.

K Issued for Rezoning & Heritage Alteration Permit 23-04-13

780 Bianshard Street  
Victoria, BC

Reliance Properties  
2148

**L1.7**

PRECEDENT IMAGES

## LEGEND

SYMBOL	DESCRIPTION
1	PAVING TYPE 3 Unit Pavers
2	PAVING TYPE 4 PIP Rubber Surface
3	PAVING TYPE 5 Thermally Modified Wood Decking
4	PAVING TYPE 6 Play Sand
5	PLANTING TYPE 1 Garry Oak Ecosystem
6	MOVEABLE FURNITURE
7	BBQ AND OUTDOOR FOOD SERVICE COUNTER
8	HARVEST TABLE
9	SEATING TYPE 1 Timber Bench
10	SEATING TYPE 2 Coloured Americana Outdoor Chair
11	SEATING TYPE 3 Outdoor Patio Furniture
12	FIRE PIT Product TBD
13	PLAY STRUCTURE
14	URBAN AGRICULTURE PLOTS Product TBD





1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



7) MOVEABLE OUTDOOR CHAIRS



8) OUTDOOR PATIO FURNITURE



KEON - TECH COLLECTION BY DEKTON  
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



5) HARVEST TABLE



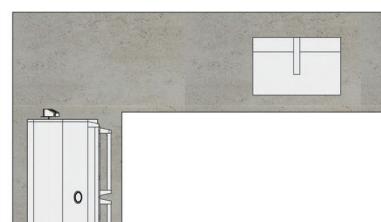
DOMOOS - SOLID COLLECTION BY DEKTON  
USED UNDER THE COUNTER TO HIDE  
MECHANICS FROM BARBECUE AND SINK +  
SEATING AREA



4) OUTDOOR BBQ + BAR STOOL SEATING



9) FIRE PIT



4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



2) PIP RUBBER SURFACE / SANDPLAY AREA



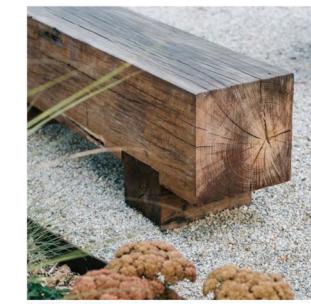
3) WOOD DECKING



10) URBAN AGRICULTURE



10) PLAYGROUND WOOD CLIMBING STRUCTURE



6) TIMBER BENCH

**G | ALA**

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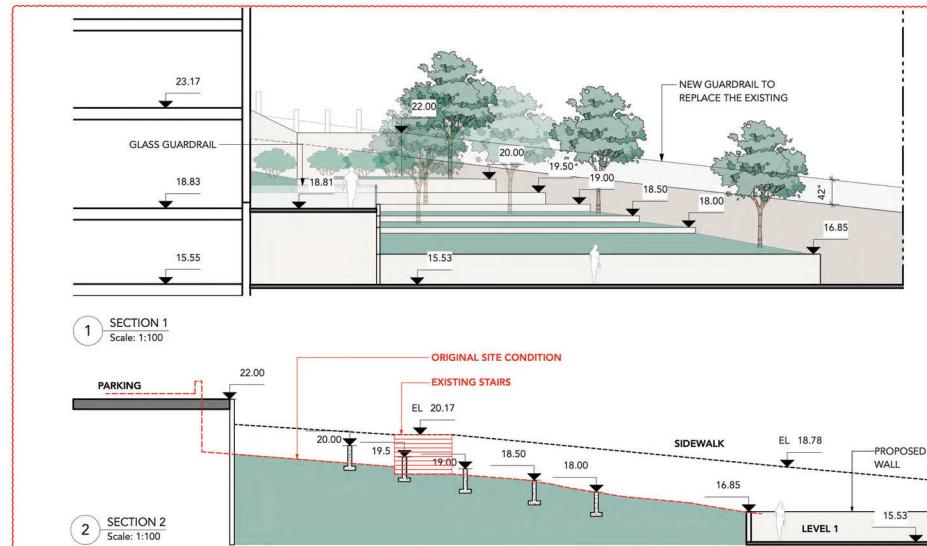
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**L3.0**

PRECEDENT IMAGES





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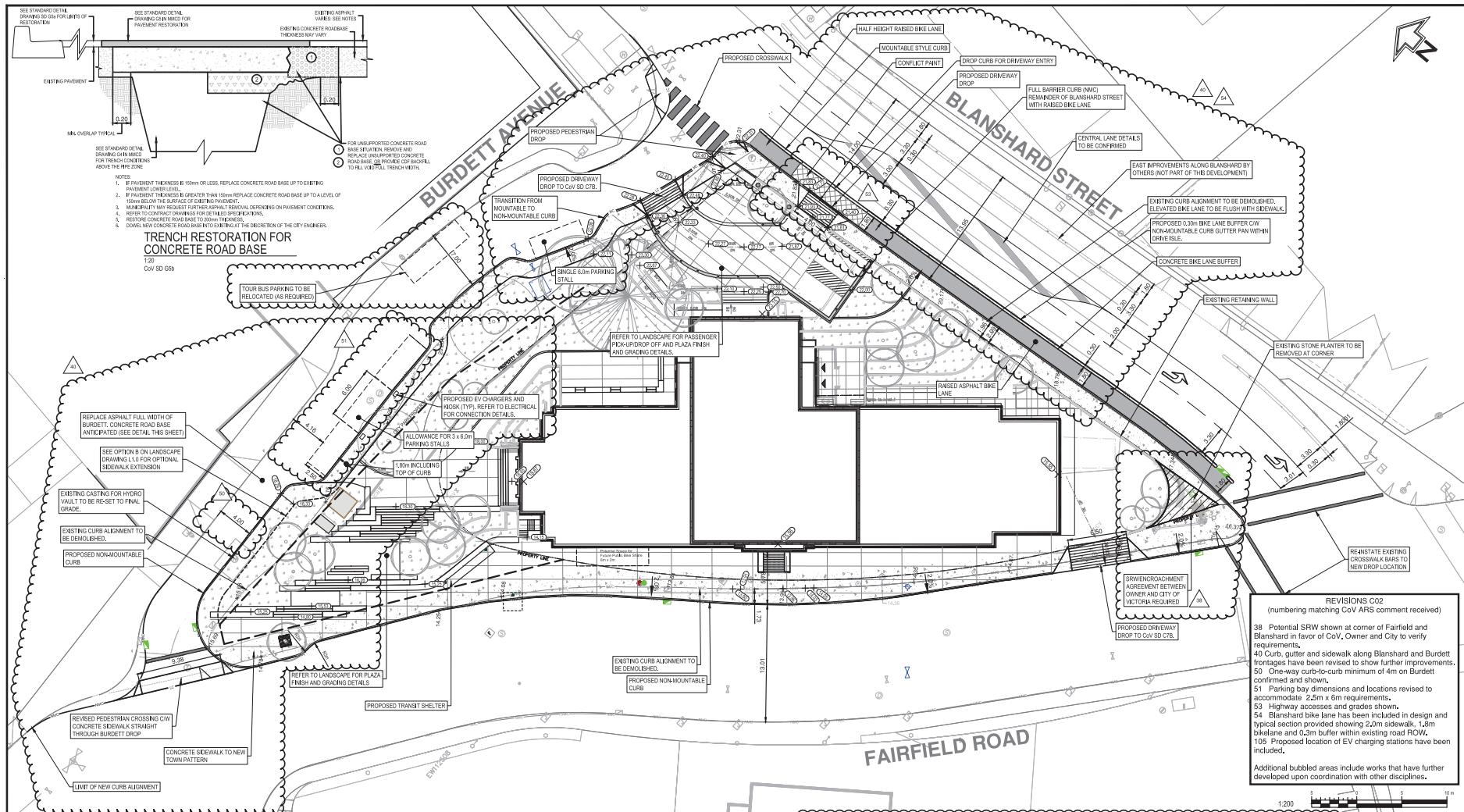
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Victoria, BC  
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2148

**L4.1**

SECTIONS



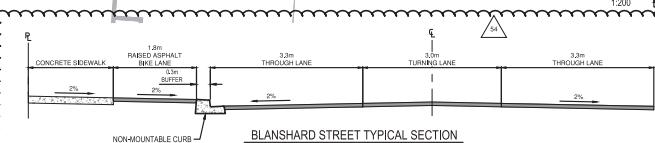


LEGEND

SURFACE DETAIL		Y		SEWER LATERAL		D		HYDRO/TEL POLE		X	
① STORM DRAIN MANHOLE	② HYDRO MANHOLE	③ CATCH BASIN	④ DRAIN CLEANOUT	⑤ DRAIN	⑥ HYDRO POLE	⑦ HYDRO POLE WITH DIP	⑧ DRAIN CLEANOUT SERVICE	⑨ FIRE HYDRANT	⑩ LIGHT MANHOLE	⑪ LIGHT PULL BOX - SIDEWALK	⑫ HYDRO/TEL POLE TO BE RELOCATED
⑬ SANITARY SEWER MANHOLE	⑭ SANITARY SEWER VENT	⑮ SEWER CLEANOUT	⑯ HYDRO SERVICE BOXES	⑰ HYDRO VAULT	⑱ HYDRO POLE WITH LIGHT	⑲ HYDRO POLE WITH LIGHT	⑳ DRAIN CLEANOUT	㉑ REDUCER	㉒ POLE ANCHOR	㉓ HYDRO/TEL POLE - SIDEWALK	㉔ EX. SPOT ELEV
㉕	㉖	㉗	㉘	㉙	㉚	㉛	㉜	㉝	㉞	㉟	㉞
㉞	㉞	㉞	㉞	㉞	㉞	㉞	㉞	㉞	㉞	㉞	㉞



Engineers and Geospatial, Inc.  
Permit to Practice #12000200



RELIANCE PROPERTIES



780 BLANSHARD STREET  
VICTORIA, BC

CONCEPTUAL SURFACE WORKS  
& SITE GRADING

PROJECT	DRAWING NO.
780 BLANSHARD STREET	C02
VICTORIA, BC	2 OF 2
	ISSUE
	SCALE
	DEP'T H.
	CIVIL
	ESR# 1

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CROSS CHECKS PRIOR TO COMMENCING WORK.  
THIS DRAWING IS NOT TO BE SCALED.

ISSUED	2023/02/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT	2023/02/15	ISSUED FOR RE-ZONING/DEVELOPMENT PERMIT
ISSUED	1114046400	DESCRIPTION	ISSUED	1114046400

0 4 0 8 16 24

The intended plot size of this plan is 841mm in width by 594mm in height (ISO A1 size) when plotted at a scale of 1:400.

All distances are in metres and decimals thereof.

LEGEND	denotes drain manhole
□	denotes drain deadend
○	denotes sewer manhole
○	denotes water meter
XCB	denotes irrigation control box
XCV	denotes irrigation control valve
△	denotes standpipe connection
○	denotes communications manhole
○	denotes hydro manhole
○	denotes gas meter
○	denotes streetlight/davit
◆	denotes sign
○	denotes traffic signal pole
○	denotes parking stall sign
—	denotes hand rail
—	denotes fence
—	denotes non-mountable curb
—	denotes curblettew
—	denotes edge of pavement
—	denotes edge of gravel
—	denotes center line of road
—	denotes building outline
—	denotes spot elevation
—	denotes deciduous tree, species and diameter, or tag number
—	denotes coniferous tree, species and diameter, or tag number
—	denotes hedge line
—	denotes property line

Legal Description:  
LOTS 1-4 AND 28-29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA CITY, PLAN 358

PID: 009-332-243 (LOT 3); 009-332-227 (LOT 2);  
009-332-197 (LOT 1); 009-332-332 (LOT 29);  
009-332-294 (LOT 28); 009-332-099 (LOT 4)

Date of Field Survey: 9 September, 2021.

Contour interval = 0.5 m.

Elevations are to geodetic datum, derived from geodetic control monument 8-14. Published Elevation = 22.772 m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Lot boundaries shown herein are derived from tiles to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. While Surveyors (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan, all underground installations should be located by the respective authorities prior to construction.

TABLE OF AREAS	
Description	Area
Lot 1, Plan 35B	442 m <sup>2</sup>
Lot 2, Plan 35B	453 m <sup>2</sup>
Lot 3, Plan 35B	338 m <sup>2</sup>
Lot 4, Plan 35B	329 m <sup>2</sup>
Lot 28, Plan 35B	262 m <sup>2</sup>
Lot 29, Plan 35B	448 m <sup>2</sup>
<b>TOTAL</b>	<b>0.23 ha</b>

PROJECT:	780 BLANSHARD STREET VICTORIA, BC	TITLE:
PROJECT NO:	21-03351-001	TOPOGRAPHIC SURVEY
SCALE:	As-Noted	
DRAWING NO:		21-03351-001-TOP001-R2
DISCIPLINE:	GEOGRAPHICS	Sheet No:
		1 OF 1

ISSUE DATE	DESCRIPTION	DRW	CHK
2 2022-04-15	ADDITIONAL TREES AND REVISED BUILDING OUTLINE	MLR	HC
1 2022-09-23	COORDINATE SYSTEM SHIFT	MLR	HC
0 2022-09-19	ORIGINAL PLAN PREPARED	MLR	HC