



780 BLANSHARD - REHABILITATION + ADDITION

VICTORIA, BC

HAV00034 CONCURRENT WITH REZ00825

CIVIC ADDRESS: 780 BLANSHARD STREET, VICTORIA, BC V8W 2H1

LEGAL DESCRIPTION: LOTS 1, 2, 3, 4, 28 & 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA, PLAN 358

PROJECT TEAM

OWNER	ARCHITECTURAL	LANDSCAPE	STRUCTURAL	TRANSPORTATION
Reliance Properties	office of mcFarlane biggar architects + designers	Gauthier + Associates Landscape Architects	Read Jones Christoffersen Ltd.	WATT Consulting Group
305-111 Water St Vancouver, BC V6B 1A7 604.683.2404	301 - 1825 Quebec St Vancouver, BC V6T 2Z3 604.683.6344	629 Atlantic St Vancouver, BC V6A 2J9 604.317.9682	Suite 220-645 Tyee Road, Victoria, BC V8A 6K5 778.746.1125	302 - 740 Hillside Avenue Victoria, BC V8T 1Z4 250.208.3874
Contact: Juan Pereira juarp@relianceproperties.ca	Contact: Steve McFarlane smcfarlane@officemb.ca	Contact: Bryce Gauthier bryce@gautherla.com	Contact: Clint Pielt cpielt@rjc.ca	Contact: Tania Wegwitz twegwitz@wattconsultinggroup.com
GEOTECHNICAL	MECHANICAL	ELECTRICAL	ARBORIST	CIVIL
Ryzuk Geotechnical Ltd.	Introla Group	e2 Engineering Inc.	D. Clark Arboriculture	WSP
#6-40 Cadillac Avenue Victoria, BC V8Z 1T2 250.475.3131	1515 Douglas Street, Suite 210 Victoria, BC V8W 2G4 250.418.1288	549 Herald Street Victoria, BC V8T 3T4 778.402.3060	2741 The Rise Victoria, BC V8T 3T4 250.208.1568	760 Enterprise Crescent Victoria, BC V8Z 6R4 250.475.1000
Contact: Cameron Schellenberg cschellenberg@ryzuk.com	Contact: Andy Chong achong@integralgroup.com	Contact: Jay Singh jay.singh@e2eng.ca	Contact: Clark Clark clarkarbor@gmail.com	Contact: Jeff Somerville Jeff.Somerville@wsp.com

DRAWING LIST

A000	COVER SHEET
A001	3D VIEWS
A002	GENERAL NOTES + ABBREVIATIONS
A010	CONTEXT PLAN
A011	PROJECT INFO
A012	PUBLIC EXTERNAL VIEWS
A014	SHADOW ANALYSIS - EQUINOX
A015	BUILDING FORM - ZONING ENVELOPE
A020	BUILDING CODE AND AVERAGE GRADE
A021	CODE ANALYSIS - PLANS
A022	CODE ANALYSIS - ELEVATIONS
A030	SITE PLAN EXISTING
A031	LEVEL 1 DEMOLITION/RETENTION PLAN
A032	LEVEL 2 DEMOLITION/RETENTION PLAN
A033	LEVEL 3 DEMOLITION/RETENTION PLAN
A034	LEVEL 4 DEMOLITION/RETENTION PLAN
A035	LEVEL 5 ROOF DEMOLITION/RETENTION PLAN
A036	DEMOLITION/RETENTION ELEVATIONS
A041	FSR OVERLAYS EXISTING
A042	FSR OVERLAYS PROPOSED
A100	SITE PLAN PROPOSED
A101	LEVEL 1 FLOOR PLAN
A102	LEVEL 2 FLOOR PLAN
A103	LEVEL 3 FLOOR PLAN
A104	LEVEL 4 FLOOR PLAN
A105	LEVEL 5 FLOOR PLAN
A106	LEVEL 6 FLOOR PLAN
A107	LEVEL 7-17 FLOOR PLAN
A108	LEVEL 18-20 FLOOR PLAN
A110	ROOF PLAN
A200	ELEVATION NORTH
A201	ELEVATION SOUTH
A202	EAST ELEVATION
A203	WEST ELEVATION
A300	BUILDING SECTION EAST-WEST
A301	BUILDING SECTION NORTH-SOUTH

LANDSCAPE DRAWINGS:


L00	COVER SHEET
L01	TREE MANAGEMENT PLAN
L02	DEMOLITION PLAN
L03	OVERALL IMPERMEABLE SURFACES OVERLAY
L10	OVERALL SITE PLAN
L11	WEST ENLARGEMENT PLAN
L12	NORTH ENLARGEMENT PLAN
L13	SOUTH ENLARGEMENT PLAN
L14	PENWILL GREEN PARK ENLARGEMENT PLAN
L15	OVERALL PLANTING PLAN
L16	OVERALL IRRIGATION PLAN
L17	PRECEDENT IMAGES
L20	LEVEL 5 MATERIALS AND LAYOUT PLAN
L30	PRECEDENT IMAGES
L40	SECTIONS
L41	SECTIONS

CIVIL DRAWINGS:

C01	CONCEPTUAL CIVIL PLAN
C02	CONCEPTUAL SURFACE WORKS & SITE GRADING

SURVEY:

TOPOGRAPHIC SURVEY



Revisions

Bubbled areas indicate revisions compared to the previously submitted plans

Received Date

March 23, 2023

omb
office of mcFarlane biggar
architects + designers

303 - 535 Yates Street Victoria BC
T 604.688.6344 E info@officemb.ca

RELIANCE
PROPERTIES

© 2023 omb all rights reserved. The documents and design are an instrument of service and are not to be used for any other purpose without the express written consent of omb. Design and related information in whole or in part shown on these documents are for the express use of the project and may not be reproduced without the express written consent of omb. Designers may not be liable for the accuracy or completeness of any existing information shown herein. No person using the drawings and the documents is responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



2023-03-23

DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PRE-APPLICATION
2023-06-01	2	OPEN HOUSE PROGRESS SET
2023-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RE-SUBMISSION

REVISIONS

1. The submission drawings were expanded and reorganized to comply with Rezoning + HAP application per A002 comment. Design changes to the materials are bubbled and noted that, for clarity, organizational changes (like sheet numbering) are not.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

COVER SHEET

As indicated

2023-03-22 12:37 PM
A000



1 AERIAL VIEW



2 BLANSHARD STREET ENTRY PLAZA



3 PENWILL GREEN PARK

DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PRE-APPLICATION
2023-06-01	2	OPEN HOUSE PROGRESS SET
2023-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

2 3D views updated with revised design.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

3D VIEWS

1:1

A001

GENERAL NOTES

1. THESE NOTES TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWING NOTES.
2. ALL SITE RELATED ELEVATIONS AND DIMENSIONS ARE TO BE VERIFIED ON SITE BY CONTRACTOR. ELEVATIONS AND DIMENSIONS SHOWN ON DRAWINGS ARE FOR DESIGN INTENT ONLY.
3. ALL LABOUR, MATERIALS AND PRODUCTS TO COMPLY WITH THE REQUIREMENTS OF BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE OF ALL APPLICABLE BUILDING CODES.
4. ALL CODES AND DOCUMENTS REFERRED TO IN THESE DOCUMENTS ARE TO BE THE LATEST EDITION, UNLESS OTHERWISE STATED.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL MEASURES REQUIRED BY "SAFETY AT CONSTRUCTION AND DEMOLITION SITES".
6. ALL MECHANICAL & ELECTRICAL EQUIPMENT, PIPING, DUCTWORK, ETC INSTALLED ON THIS PROJECT SHALL BE SEISMICALLY RESTRAINED IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018. SEISMIC RESTRAINT OF LIGHTING AND MILLWORK TO BE PROVIDED. CONTRACTOR TO REVIEW WITH ARCHITECT PRIOR TO INSTALLATION.
7. ALL MECHANICAL & ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
8. CONTRACTOR TO ENSURE FIRE SEPARATIONS AND FIRE STOPPING ARE LOCATED AND CONSTRUCTED AS PER CODE REQUIREMENTS.
9. PROVIDE GUARDS WHERE SHOWN ON THE DRAWINGS AND WHERE ADJACENT GRADE OR FLOOR LEVEL IS LOWER BY 600mm OR MORE. UNLESS OTHERWISE NOTED GUARDS TO BE 1070mm. UNLESS OTHERWISE NOTED GUARDS TO BE NON-CLIMBABLE AND TO NOT ALLOW PASSAGE OF A 100mm DIAM. SPHERE. GUARDS TO BE DESIGNED TO RESIST LOADS LISTED IN NBC 2015. REFER TO STRUCTURAL INFORMATION FOR MORE INFORMATION.
10. GLAZING IN DOORS, SLDIGHTS, AND WALLS REACHING THE FLOOR SHALL BE SAFETY GLASS AS PER BRITISH COLUMBIA BUILDING CODE (BCBC) 2018.
11. GLAZING IN HANDRAILS AND GUARDRAILS NOT DETAILED BY STRUCTURAL TO BE ENGINEERED BY CONTRACTOR AND SHALL BE LAMINATED AND TEMPERED GLASS.
12. ALL PRODUCTS AND SYSTEMS RELATED TO LIFE SAFETY, ALL PRODUCTS RELATED TO BUILDING ENVELOPE, AND THOSE VISIBLE WHEN CONSTRUCTION IS COMPLETE MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
13. DOORS IN THEIR SWING SHALL NOT REDUCE THE EFFECTIVE WIDTH OF EXIT STAIRS OR LANDINGS TO LESS THAN 750mm, MEASURED FROM THE EDGE OF THE DOOR TO THE HANDRAIL.
14. PLAN DETAILS SUPERCEDCE WALL TYPE DEFINITION.
15. ALL DIMENSIONS ARE TO GRIDLINE, FACE OF CONCRETE, FACE OF NEW STUD WALL, FACE OF FINISHED EXISTING STUD WALL, OUTSIDE FACE OF EXTERIOR WALL, UNO.
16. UNLESS OTHERWISE NOTED, ALL WALL ASSEMBLIES SHALL EXTEND UP TO THE UNDERSIDE OF THE STRUCTURE ABOVE AND BE SEALED CONTINUOUSLY FOR THE FULL LENGTH. PROVIDE FOR STRUCTURAL DEFLECTION WHERE REQUIRED.
17. ALL DIMENSIONS FOR PARTITION LAYOUT, DOORS, MILLWORK, ETC. ARE TO BE SITE VERIFIED BEFORE ANY WORK BEING EXECUTED. REPORT ANY ERRORS / DISCREPANCIES TO ARCHITECT PRIOR TO PROCEEDING.
18. ALL PARTITIONS TO BE CONTINUOUS ABOVE DOORWAYS AND WINDOW OPENINGS UNLESS DETAILED OR NOTED OTHERWISE.
19. PROVIDE ALL SOLID BLOCKING REQUIRED FOR ALL WALL AND CEILING MOUNTED FIXTURES, EQUIPMENT AND MILLWORK INCLUDING OWNER SUPPLIED EQUIPMENT. COORDINATE LOCATIONS WITH ARCHITECT PRIOR TO WALL AND CEILING FINISH INSTALLATION.
20. CONTRACTOR TO PROVIDE AND COORDINATE ALL CONCEALED BLOCKING IN WALLS AND CEILING REQUIRED TO MOUNT FIXTURES, HARDWARE AND EQUIPMENT AS PER MANUFACTURERS' SPECIFICATIONS AND BUILDING CODES.
21. THE EXISTING BUILDING HAS BEEN CONSTRUCTED OVER EXISTING ELECTRICAL AND MECHANICAL SERVICES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING SERVICES THROUGHOUT CONSTRUCTION AND TAKING ALL MEASURES NECESSARY INCLUDING HAND EXCAVATING TO ENSURE THEIR INTEGRITY IS MAINTAINED.
22. THE ROUTING AND LAYOUT OF ALL SERVICES, DUCTWORK, PIPING ETC IS DIAGRAMMATIC UNO. THE CONTRACTOR IS RESPONSIBLE FOR FIELD MEASURING ALL MATERIAL PRIOR TO INSTALLATION AND TO OFFSET AS REQUIRED TO AVOID CONFLICTS WITH STRUCTURAL, ARCHITECTURAL, OR OTHER TRADES.
23. GENERAL CONTRACTOR IS RESPONSIBLE FOR REVIEWING FINAL DRYWALL AND MILLWORK DETAILING PRIOR TO FRAMING TO ENSURE ANY REVEALS INDICATED IN DRAWINGS ARE ACHIEVABLE.

24. COORDINATE MECHANICAL AND ELECTRICAL DEVICES WITH FOUNDATION WALLS, SHEAR WALLS, REFLECTED CEILING PLANS AND INTERIOR ELEVATIONS.
25. REFER TO STRUCTURAL DOCUMENTS FOR STRUCTURAL DESIGN PARAMETERS INCLUDING SHEARWALLS, STAIRS, CONCRETE ETC.
26. CONTRACTOR TO FIELD CHECK AND CONFIRM EXACT LOCATIONS, ELEVATIONS INVERTS AND INSTALLATIONS OF ALL SERVICES FOR THIS PROJECT.
27. ALL WIRED DEVICES TO BE LOCATED BY ARCHITECT.
28. ROOF INSTALLATION AND MATERIALS TO MEET ACCEPTED RCABC STANDARDS, MATERIALS & GUIDELINES
29. ALL ROOFS AND GUTTERS TO HAVE POSITIVE SLOPE TO DRAIN, UNO.
30. ALL GRADES AND SURFACES ADJACENT THE BUILDING EXTERIOR SHALL SLOPE A MINIMUM OF 2% AWAY FROM THE BUILDING, UNO.
31. ALL TILE SET OUT JOINTS AND CONCRETE JOINT/REGLET DETAILS TO BE RESOLVED ON SITE WITH ARCHITECT.
32. NO FLOOR TRANSITION TO BE GREATER THAN 6mm AT THRESHOLDS AND BETWEEN ADJACENT MATERIALS, UNO.
33. ALL MIRRORS TO HAVE POLISHED EDGES WITH MINIMAL EDGE RADIUS. MIRRORS TO BE GLUED IN PLACE WITH SUITABLE ADHESIVE AND MINIMAL CONCEALED GRAVITY CLIPS WHERE NECESSARY TO HOLD MIRROR WHILE GLUE SETS.
34. ANY BUILDING CONTROL SWITCHES SUCH AS ELECTRICAL SWITCHES, THERMOSTATS AND INTERCOM SWITCHES THAT ARE INTENDED TO BE OPERATED BY THE OCCUPANT SHALL BE MOUNTED BETWEEN 400-1200mm ABOVE FFL.
35. PAINT ALL INTERIOR AND EXTERIOR CAVITIES, INCLUSIVE OF BUT NOT LIMITED TO STRUCTURE, ELECTRICAL, MECHANICAL, BLIND HOUSINGS, OR OTHER COMPONENTS FLAT BLACK, ABOVE THE WOOD CEILING, IN WALL REVEALS, GAPS, ETC AND BEHIND ALL INTERIOR AND EXTERIOR LOUVRES INCLUDING WOOD SOFFIT LOUVRES.
36. REMOVE ALL EXPOSED MANUFACTURER LABELS ON INSTALLED EQUIPMENT AND ACCESSORIES IN PUBLIC AREAS UNLESS APPROVED BY ARCHITECT.
37. GLAZING WITH LOW-E SOFT OR HARD COATING SHALL LOCATE THE COATING ON SPECIFIED SURFACE AND SHALL BE LABELED WITH A REMOVABLE LABEL FOR INSTALLATION TO ENSURE PROPER ORIENTATION OF GLASS. ALL EXTERIOR WOOD TO BE PRESSURE TREATED UNLESS OTHERWISE NOTED.
38. ALL EXTERIOR FASTENERS TO BE HOT DIPPED GALVANIZED UNLESS OTHERWISE NOTED. ALL EXTERIOR WOOD TO BE FASTENED WITH STAINLESS STEEL FASTENERS UNLESS OTHERWISE NOTED.
39. CONTRACTOR TO MAKE GOOD ALL FLOOR, CEILING AND BUILDING SYSTEM COMPONENTS NECESSARY TO COMPLETE MECHANICAL AND ELECTRICAL TIE-INS, INCLUDING AREAS OUTSIDE OF THE GENERAL CONSTRUCTION LINE. QUALITY TO MATCH EXISTING CONDITIONS. DISRUPTIONS TO WORKSTATIONS AND PUBLIC CIRCULATION TO BE MINIMIZED AND COORDINATED WITH THE OWNER PRIOR TO EXECUTING THE WORK.
40. METAL FLASHING JOINTS & SEAMS TO ALIGN w/ CENTRELINE CURTAINWALL MULLIONS AND CLADDING JOINTS ONLY.
41. CONTRACTOR TO ALLOW FOR HORIZONTAL CONSTRUCTION JOINT (COLD JOINT) BETWEEN POURS. FINAL LAYOUT TO BE COORDINATED THROUGH SHOP DRAWINGS.
42. CONTRACTOR TO PROVIDE 20mm PLY PAINTED WITH FIRE RETARDANT PAINT PRIOR TO ELECTRICAL PANEL INSTALLATION ALL SERVICE ROOMS TYP.
43. WHERE FIELD WELDING OF GALVANIZED MATERIAL IS REQUIRED, GRND SURFACE SMOOTH AND FILL G/SM WITH BONDO BODY FILLER TO ACHIEVE SMOOTH SURFACE. PROVIDE ZINC RICH COATING PRIOR TO PAINTING PER SCHEDULE.
44. PROVIDE 38mm BLOCKING AT JOIST WEBS TO INFILL GAP IN SHEATHING WHERE JOISTS PASS THROUGH SHEATHING LINE - TYP. WHERE JOIST ARE PERPENDICULAR TO SHEATHING FACE.
45. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND COORDINATING THE INSTALLATION OF SIGNS AND ENSURING THAT THE WORK AND ROUGHINS, BACKING, AND SUPPORT STRUCTURES IS COMPLETE PRIOR TO INSTALLATION.
46. CEILINGS ARE TO BE INSTALLED WITH THE USE OF LASER ALIGNMENT TO ENSURE LEVEL ASSEMBLY.
47. DO NOT SCALE MEASUREMENTS OFF DRAWINGS. IF THERE ARE ANY DISCREPANCIES THE CONTRACTOR SHALL NOTIFY THE CLIENT'S REPRESENTATIVE.

SYMBOLS LEGEND

	PLAN NORTH	TRUE NORTH	NORTH SYMBOL
	VERY LONG ROOM NAME 150 m2 100m2		
	DOOR TAG		
	ROOM TAG		
	DRAWING TITLE		
	ELEVATION MARKER		
	ELEVATION/GRADE SYMBOL		
	SECTION SYMBOL		
	ELEVATION SYMBOL		
	GRID HEAD		
	WALL TAG		
	ROOF TAG		
	MATERIAL TAG		
	FIXTURES / EQUIPMENT TAG		
	MILLWORK TAG		
	WINDOW TAG		
	CW DOOR TAG		
	REVISION TAG		

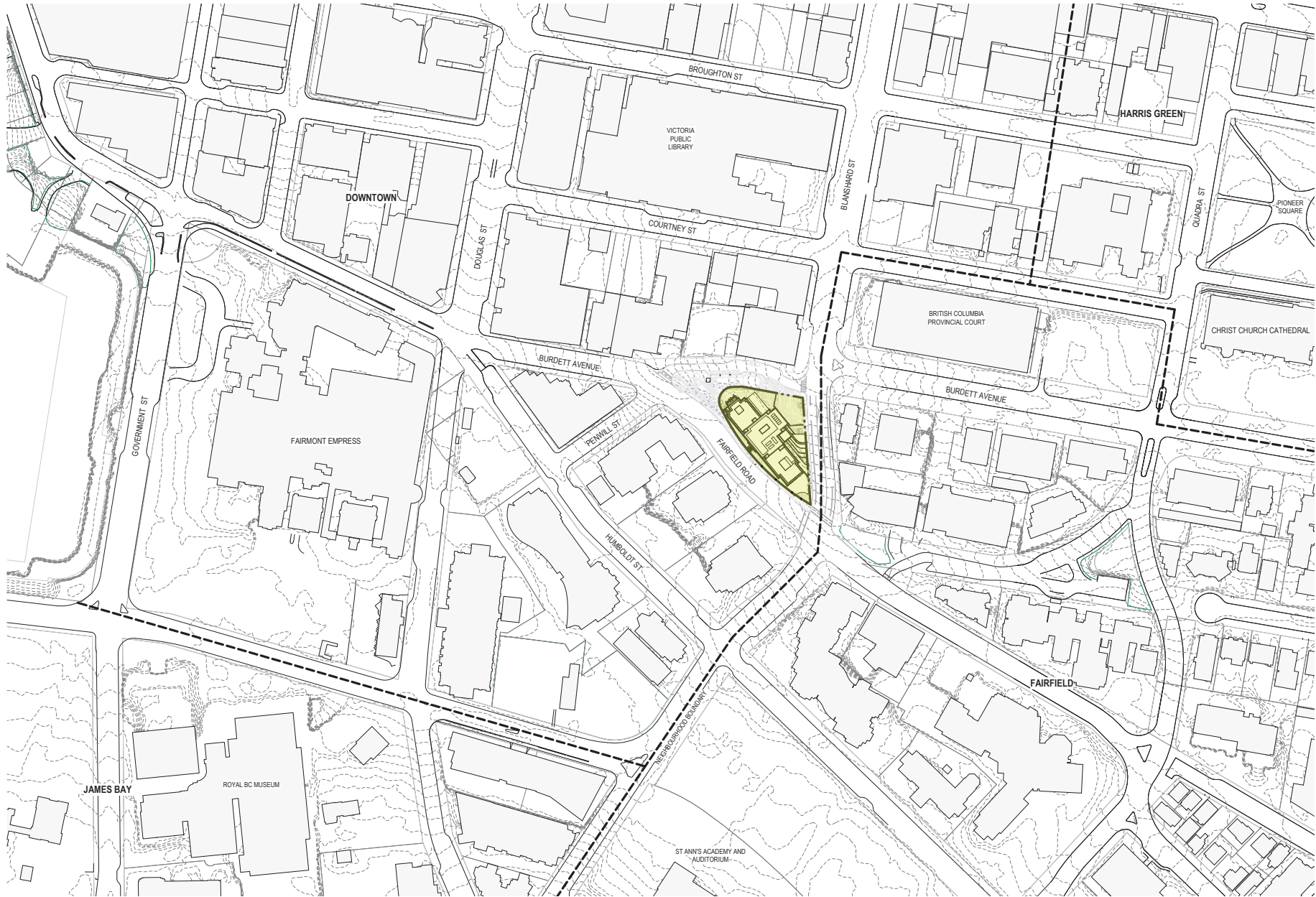
HATCHES

CONCRETE EXISTING	
CONCRETE NEW	
CONCRETE MASONRY	
STEEL	
ALUMINIUM	
GB	
GB TYPE X	
GLULAM	
COMPOSITE WOOD	
PLYWOOD	
MINERAL WOOL	
SPRAY INSULATION	
RIGID INSULATION	
RIGID INSULATION 02	
SEMI RIGID INSULATION	
BATT/LOOSE FILL INSULATION	
EARTH	
GRAVEL DRAINAGE LAYER	
ENGINEERED FILL	
COMPACTED GRANULAR FILL	
SAND	
DEMO	

ABBREVIATIONS

& / + AND	OC	ON CENTRE
@ AT	OD	OUTSIDE DIMENSION
# NUMBER	OH	OVER HEAD
+PLUS/MINUS	OP	OPERABLE PARTITION
	OPP	OPPOSITE
	OV	OVEN
	PA	PUBLIC ADDRESS SPEAKER
	PLY	PLYWOOD
	PL	PROPERTY LINE
	PT	PAINT
	PTD	PAINTED
	PTN	PARTITION
	RD	ROOF DRAIN
	REQD	REQUIRED
	REV	REVISION OR REVERSE
	RM	ROOM
	RO	ROUGH OPENING
	RVL	REVEAL
	RWL	RAIN WATER LEADER
	SC	SIAMSE CONNECTION
	SCHED	SCHEDULE
	SO	SOLID CORE WOOD DOOR
	SECT	SECTION
	SH	SHELF
	SP	SPRINKLER
	SPEC	SPECIFICATION
	SQ	SQUARE
	SQ FT	SQUARE FEET
	SQ M	SQUARE METRES
	SS	STAINLESS STEEL
	SSS	STRUCTURAL/SILICONE GLASS
	ST	STAIR
	STD	STANDARD
	STL	STEEL
	STOR	STORAGE
	STRU	STRUCTURAL
	SUSP	SUSPENDED
	TBC	TO BE CONFIRMED
	TBD	TO BE DETERMINED
	TD	TRENCH DRAIN
	TAG	TONGUE AND GROOVE
	TL	TILE
	TO	TOP OF
	TCC	TOP OF CURB/CONCRETE
	TOF	TOP OF FINISH
	TOFF	TOP OF FINISHED FLOOR
	TOS	TOP OF STRUCTURE
	TOW	TOP OF WALL
	TYP	TYPICAL
	UNO	UNLESS NOTED OTHERWISE
	US	UNDERSIDE
	UH	UTILITY HOLE
	VBEL	VANCOUVER BUILDING BYLAW
	VERT	VERTICAL
	VEST	VESTIBULE
	VIF	VERIFY IN FIELD
	WC	WATER CLOSET
	WD	WOOD
	WHWS	WAREHOUSE
	WH	WAREHOUSE
	VV	WOOD VENEER
	W	WITH
	W/O	WITHOUT
	HB	HOSE BIB
	HOWD	HOLLOW CORE WOOD DOOR
	HOWR	HARDWARE
	HPCL	HIGH PRESSURE DECORATIVE LAMINATE
	HORZ	HORIZONTAL
	HT	HEIGHT
	INSUL	INSULATION
	INT	INTERIOR
	JC	JANITOR CLOSET
	JO	JOINT
	LAM	LAMINATE / LAMINATED
	LS	LAMP STANDARD
	LT	LIGHT
	MAT	MATERIAL
	MAX	MAXIMUM
	MC	METAL CLADDING
	MECH	MECHANICAL
	MET	METAL
	MFR	MANUFACTURER
	MIN	MINIMUM
	MIR	MIRROR
	MISC	MISCELLANEOUS
	MTD	MOUNTED
	MUL	MULLION
	MW	MICROWAVE
	N/A	NOT APPLICABLE
	NBC	NATIONAL BUILDING CODE
	NIC	NOT IN CONTRACT
	NOM	NOMINAL
	NTS	NOT TO SCALE

REVISIONS



1 Context Plan
A010 1:1000

omb
office of mcfarlane biggar
architects + designers

303 - 535 Yates Street, Victoria, BC
T 004 568 6344 E info@officemb.ca

RELIANCE
PROPERTIES

© 2023 omb all rights reserved. The documents and design are an instrument of service and are not to be used for any other purpose without the written consent of omb. The design and related information is valid as of the date of issue. The design and related information is not to be used for any other purpose without the written consent of omb. The design and related information is not to be used for any other purpose without the written consent of omb. The design and related information is not to be used for any other purpose without the written consent of omb.



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

CONTEXT PLAN

1:1000

A010

	Existing	Permitted / Required	Proposed	Notes
Zone	CEB-1	-	New Zone	
Site Area	2,272 m ² / 24,660 ft ²	-	-	
Site Coverage	46%	-	-	
Open Site Space	43%	-	-	
Height of building	15.01 m	43 m	61.18 m	
Number of Storeys	4	-	28 (14 Potential + 10 Additional)	
Parking Stalls	8	19 stalls	28 stalls + 25 on-site stalls	See detail tables and Parking & TDM Study and Traffic Impact Assessment from WATT Consulting Group for details on traffic impacts, vehicle parking demand management, transit improvements, and active transportation measures.
Bicycle parking number (class 2)	0	111	29	
Bicycle parking number (class 2)	8	14	-	
Building Setbacks				
Front Yard - Burnhamth Street	1.19 m	-	1.81 m, 2.04 m	Existing building is not parallel to property line, setback to building faces. Setbacks shown for heritage building and proposed addition. CEB-1 and DCAP setbacks and inclined plane setbacks above street wall height have variable requirement; see ATRC and ADO/ADOs for details of proposed variation.
Side/Rear Yard - Burnside Avenue	6.65 m	-	5.73 m	
Side/Rear Yard - Fairfield Avenue	1.11 m	-	4.50 m	
Side/Rear Yard - Fairfield Road	-	-	3.25 m	
Residential Use Details				
Total Number of Units	No existing residential use	-	98	
Unit type, e.g. 1 bedroom	-	-	Studio: 23 1-Bed: 38 1-Bed + Den: 10 2-Bed: 16 2-Bed + Den: 3 3-Bed: 3	See tables for additional detail.
Ground oriented units	-	-	0	
Minimum Unit Floor Area	-	-	36.6 m ²	
Total Residential Floor Area	-	-	8,998.7 m ²	
Area and Floor Space Ratio				
Commercial	1.67	-	1.5	
Residential - Studio	-	-	3.0	See tables for additional detail.
Total	1.67	CEB-1: 3.0 DCAP: 6.0 (3.0 max residential)	4.5	
Commercial	-	-	-	

	UNITS	REQUIREMENT		
	A	B	C	D
	UNITS or AREA	SPACES (UNIT Equivalent area) *	REQUIREMENT	FOUNDED TOTAL
UNITS <45m ²	59	0.65	38.4	
UNITS >=45m ² and <=70m ²	33	0.80	26.4	
UNITS >70m ²	6	1.20	7.2	
Visitor (Total # Units)	98	0.10	9.8	72
Hotel (Rooms)	98	0.25	17.3	10
Cafe (m ²)	215	-	-	11*
			total	99
		PROPOSED		
On-Site Stalls				2
Off-Site Stalls				25
			total	27

NOTES

* From Victoria Zoning Bylaw Part 5.8 Requirements for Motor Vehicle and Bicycle Parking

* includes area for outdoor seating

[illegible]

		FLOOR			ZONING FLOOR AREA																				
ID	A	B	EXCLUSIONS			F	G	HOTEL FLOOR AREA			RESIDENTIAL FLOOR AREA														
			C	D	E			H	J	K	L	M	N												
														AREA TO INTERIOR SURFACE OF EXTERIOR WALLS	BASEMENT, CHAMBERS, BELOW GRADE, OPEN TO BELOW	ROOFTOP STRUCTURES	BICYCLE PARKING	TOTAL FLOOR AREA	SHARED FLOOR AREA	HOTEL FLOOR AREA	PRORATED PORTION OF SHARED FLOOR AREA	HOTEL FLOOR AREA	RESIDENTIAL FLOOR AREA	PRORATED PORTION OF SHARED FLOOR AREA	RESIDENTIAL FLOOR AREA
Level 01		1,094.3	148.5	-	266.9	679.0	154.0	456.3	50.5	506.9		68.3	103.5	171.8											
Level 02		960.1	-	-	-	960.1	55.6	863.6	18.2	901.8		20.9	37.3	58.2											
Level 03		960.2	-	-	-	960.2	75.8	814.8	24.9	839.7		69.6	80.9	120.6											
Level 04		960.2	18.4	-	-	941.8	53.1	897.5	17.4	884.9		21.2	35.7	56.9											
Level 05		351.0	-	-	-	351.0	67.3	177.2	22.1	199.3		106.5	45.2	151.8											
Level 06		425.8	-	-	-	425.8	4.4	18.6	1.4	20.0		402.8	3.0	405.8											
Level 07		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 08		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 09		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 10		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 11		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 12		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 13		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 14		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 15		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 16		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 17		425.8	-	-	-	425.8	4.4	-	1.4	1.4		421.4	3.0	424.4											
Level 18		425.8	-	-	-	425.8	3.9	-	1.3	1.3		421.9	2.6	424.5											
Level 19		425.8	-	-	-	425.8	3.9	-	1.3	1.3		421.9	2.6	424.5											
Level 20		425.8	-	-	-	425.8	3.9	-	1.3	1.3		421.9	2.6	424.5											
Roof Level		190.4	-	190.4	-	-	-	-	-	-		-	-	-											
TOTAL (sq')		18,903.3	166.8	190.4	266.9	10,279.2	470.3	3,218.1 U	154.3	3,372.4		6,590.7 V	316.0	6,906.7											
Proportion of Unshared Floor Area by Use								33%	67%																
								X (X)(U+V)	Y (X)(U+V)																
Total FSR								Commercial FSR				Residential FSR													
4.5								1.5				3.0													
Site Area								2272.4 (sq')																	

NOTES

Area

All areas are in square meters

Column C

Includes services spaces on Level 01 which would usually be located below grade (i.e. primary Mechanical + Electrical rooms)

AVD

MIN

MAX

HOTEL		RESIDENTIAL TOWER					
HOTEL ROOM		STUDIO	1 BR	1 BR + Den	2 BR	2 BR + Den	3 BR
-	-	-	-	-	-	-	-
24	-	-	-	-	-	-	-
19	-	-	-	-	-	-	-
24	-	-	-	-	-	-	-
2	-	1	2	2	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	2	3	1	1	-	-
-	-	1	1	1	1	1	1
-	-	1	1	1	1	1	1
-	-	1	1	1	1	1	1
-	-	1	1	1	1	1	1
69	-	23	38	16	15	3	3
		23%	38%	16%	15%	3%	3%
Total Residential Units							98

UNIT AREA SIZE SUMMARY						
HOTEL ROOM	STUDIO	1 BR	1 BR + Den	2 BR	2 BR + Den	3 BR
27.5	36.9	44.0	53.7	63.7	76.5	97.5
20.3	36.6	38.6	54.6	63.4	76.5	97.5
42.9	37.1	49.8	59.3	65.2	76.5	97.5



The proposal as seen from View 1: Laurel Point to Downtown Core Area.

In View 1 from Laurel Point, the proposal helps to establish the anticipated CBD backdrop articulated in the DCAP at the boundary between the Historic Commercial District and the Inner Harbour Causeway area, creating a multilayered and tiered urban profile. It contributes to this backdrop with a reserved material palette and regular fenestration pattern, allowing the richly detailed facades of the historic building stock to maintain prominence. The slim massing of the tower maximizes the sky view and preserves the legibility of the Empress Hotel's roofline. By preserving the scale and character of the existing BC Power Commission Building as a podium, the proposal also helps maintain a massing and proportion that is compatible with the surrounding context at street level.



The proposal as seen from View 2: Inner Harbour from Songhees Point.

In View 2 from Songhees Point, the proposal is visible at the northern extent of this view as a backdrop to the Empress Hotel and the Customs House in a cluster of other tall contemporary buildings. It contributes to the anticipated stepped urban backdrop that helps frame the historic buildings along the Inner Harbour Causeway. The profile of the proposal is simple and quiet, allowing the variegated roofline of the Empress Hotel to remain legible and prominent. The facade is crafted from high quality materials that complement the surrounding context while remaining distinguishable and contemporary. The slim massing creates a unique fixture in the skyline, while the refined fenestration and balcony pattern does not detract from the prominence of the many important landmarks along the Inner Harbour Causeway.

Public External Views
The proposed addition appears in two of the public external views of downtown identified in DCAP Appendix 2. Visualizations of the proposal from the View 1: Laurel Point to Downtown Core Area and View 2: Inner Harbour from Songhees Point are shown below.

omb
office of mcFarlane biggar
architects + designers

303 - 535 Yates Street Victoria BC
T 604 568 6344 E info@officemb.ca

RELIANCE
PROPERTIES

© 2023 omb all rights reserved. The documents and design as an instrument of service are and all their content the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Content may not be scaled from the documents. Drawing shall not be relied upon for pricing, planning or zoning. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using the drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2023-02-17	1	ISSUED FOR COORDINATION
2023-03-14	2	FINAL PROGRESS SET
2023-03-23	3	HAP & REZONING RESUBMISSION

REVISIONS

14. For ARS Comment #15, Public External Views are included here rather than in Letter to Mayor and Council.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

PUBLIC EXTERNAL VIEWS

Additional visualizations and analysis of shadowing, near and distant perspective views, and the impact of the proposed addition on the existing views from two nearby high rise residential developments are included in the Large Project Supplementary Information Booklet.

2023-03-22 12:41 PM

A012



1 STREETScape ALONG BLANSHARD STREET
A013 N.T.S.



2 STREETScape ALONG FAIRFIELD ROAD
A013 N.T.S.



DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PRE-APPLICATION
2023-02-17	2	ISSUED FOR COORDINATION
2023-03-14	3	FINAL PROGRESS SET
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

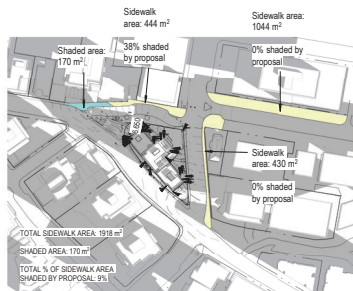
780 Blanshard - Rehabilitation - Addition

780 Blanshard Street, Victoria, BC
2019-039

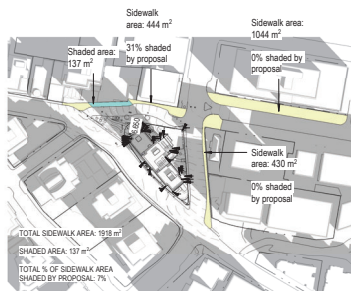
CONTEXT STREETSCAPES

N.T.S.

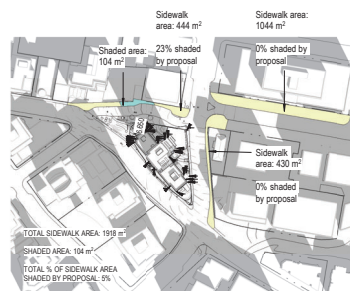
A013



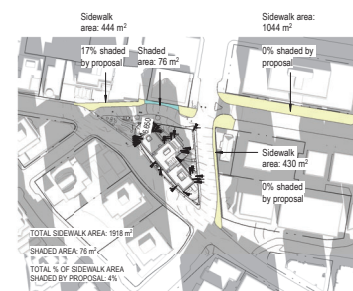
1 Shadow Analysis - Proposed - Equinox 10am



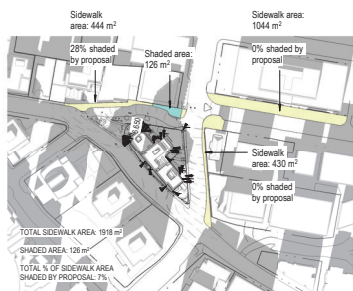
2 Shadow Analysis - Proposed - Equinox 11am



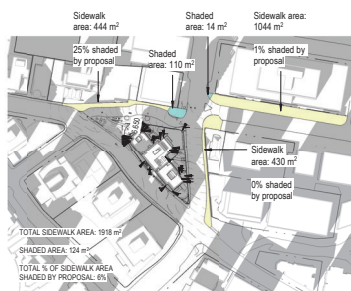
3 Shadow Analysis - Proposed - Equinox 12pm



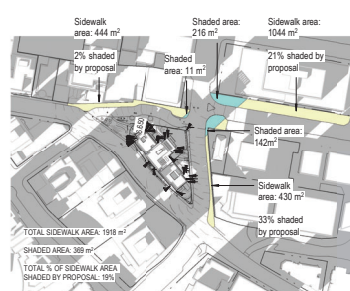
4 Shadow Analysis - Proposed - Equinox 1pm



5 Shadow Analysis - Proposed - Equinox 2pm



6 Shadow Analysis - Proposed - Equinox 3pm



7 Shadow Analysis - Proposed - Equinox 4pm

REVISIONS

15 Shadow impacts per OCAP guidelines are included on this sheet to address ARS Comment #18. Original shadow study in Section 07 of the Large Project Supplementary Information Booklet has also been updated.



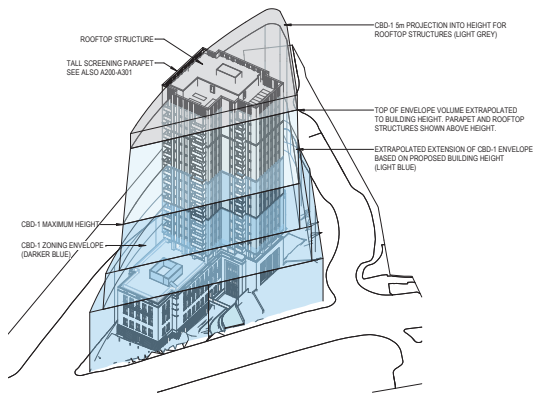
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

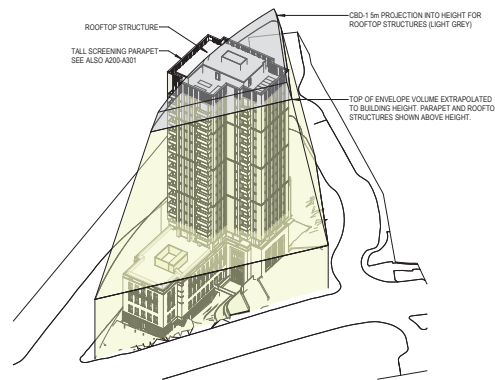
SHADOW ANALYSIS - EQUINOX

1 : 2000

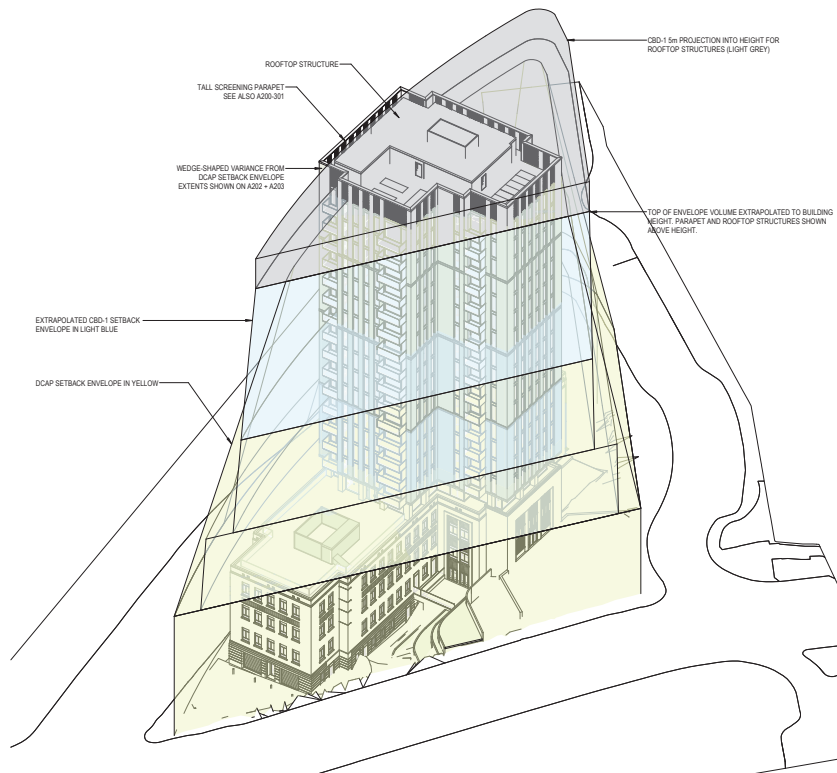
A014



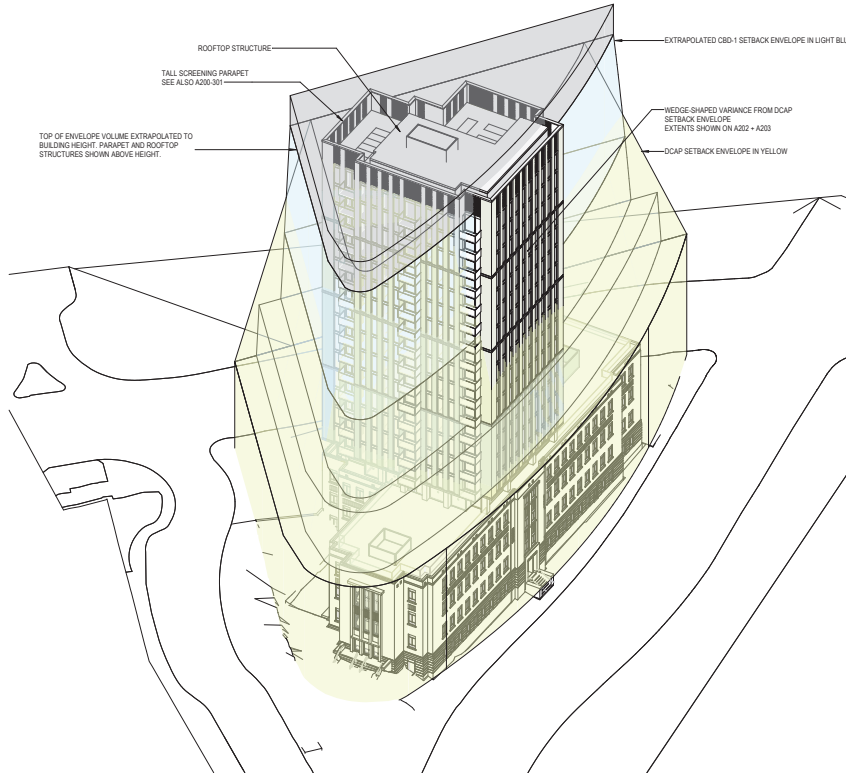
3 Axonometric View of CBD-1 Setback Envelope
A015



4 Axonometric View of DCAP Setback Envelope
A015



1 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (East)
A015



2 Axonometric View of Overlaid CBD-1 + DCAP Setback Envelopes (West)
A015



2023-03-23

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

15 Zoning envelope diagrams updated with shorter revised massing developed in response to ARS Comment #22.

780 Blanshard - Rehabilitation + Addition

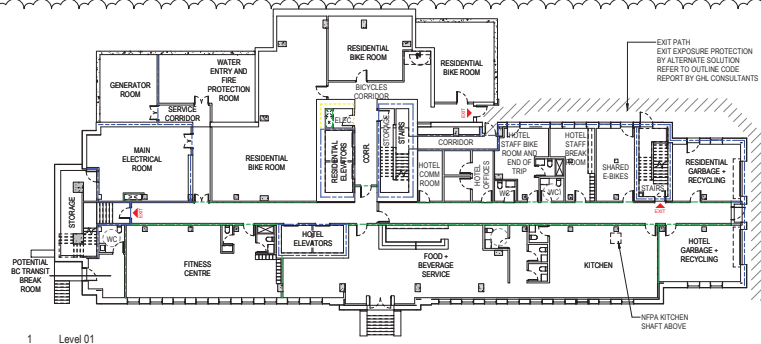
780 Blanshard Street, Victoria, BC
2019-039

BUILDING FORM - ZONING
ENVELOPE

2023/03/23 12:38 PM

A015

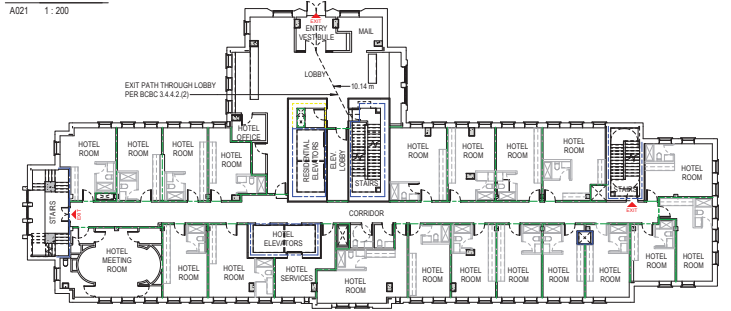




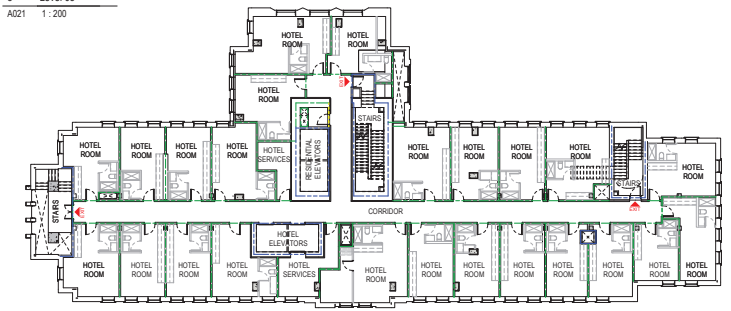
1 Level 01
A021 1:200



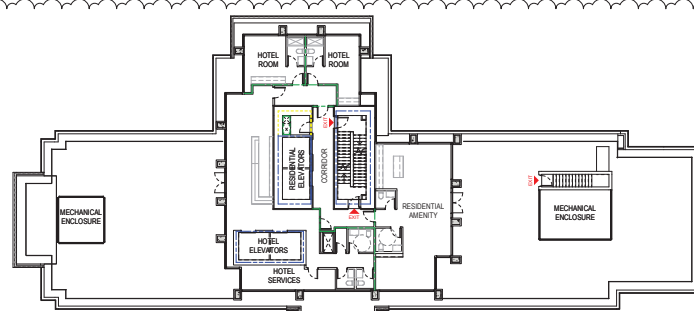
2 Level 02
A021 1:200



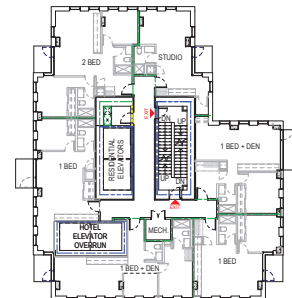
3 Level 03
A021 1:200



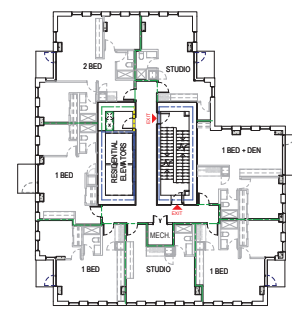
4 Level 04
A021 1:200



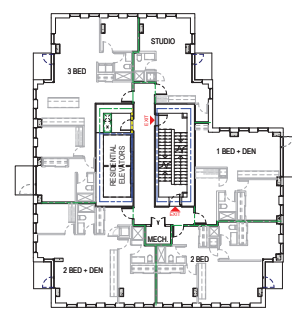
5 Level 05
A021 1:200



6 Level 06
A021 1:200

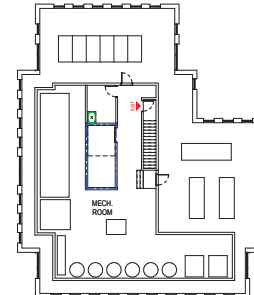


7 Level 07-17
A021 1:200



8 Level 18-20
A021 1:200

9 Mechanical Rooftop
A021 1:200



LEGEND	
0 MINUTES F.R.R.	0 MINUTES F.R.R.
45 MINUTE F.R.R.	45 MINUTE F.R.R.
60 MINUTES F.R.R.	60 MINUTES F.R.R.
90 MINUTES F.R.R.	90 MINUTES F.R.R.
120 MINUTES F.R.R.	120 MINUTES F.R.R.

NOTE:
1. DRAWING TO BE READ IN COLOUR.
2. DRAWING TO BE READ IN CONJUNCTION WITH OUTLINE CODE COMPLIANCE REPORT PROVIDED BY GHL CONSULTANTS.



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS
13 Added for completeness of HAP application documents.

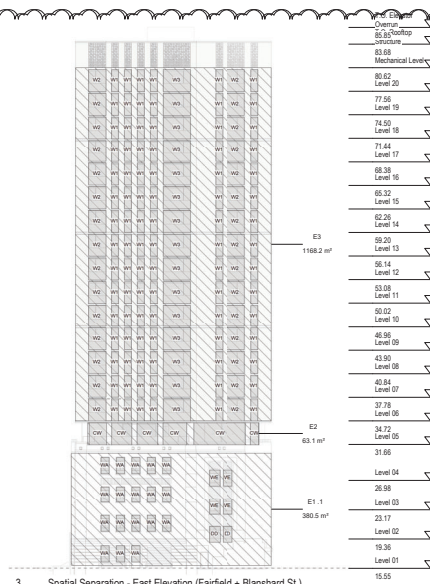


780 Blanshard Street, Victoria, BC
2019-039

CODE ANALYSIS - PLANS

As indicated

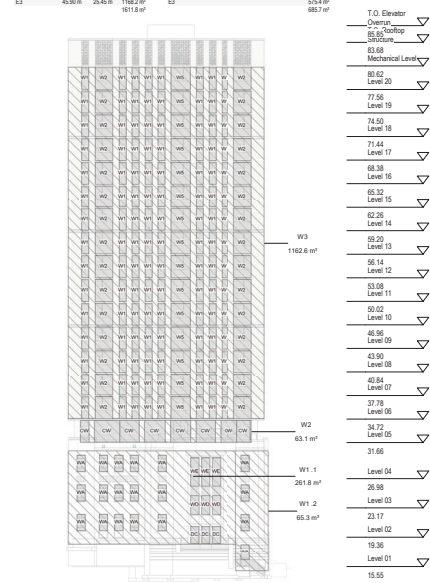
A021



Spatial Separation - East Elevation (Fairfield + Blanshard St.)

A022 1 : 300

EAST - BUILDING FACE				EAST - UNPROTECTED OPENINGS	
E1	14.65 m	25.98 m	380.5 m ²	E1	57.8 m ²
E2	2.84 m	22.22 m	63.1 m ²	E2	52.4 m ²
E3	45.90 m	25.45 m	1168.2 m ²	E3	575.4 m ²
			1611.8 m ²		685.7 m ²



4 Spatial Separation - West Elevation (Burdett Ave.)

A022 1 : 300

WEST - BUILDING FACE				WEST - UNPROTECTED OPENINGS	
W1			327.1 m ²	W1	69.2
W2	2.84 m	22.22 m	63.1 m ²	W2	53.1
W3	45.68 m	25.45 m	1162.6 m ²	W3	611.5
			1552.8 m ²		733.8



5 Fire Compartment - Cross Section @ Stair

A022 1 : 300



6 Fire Compartment - Longitudinal Section

A022 1:300

0 MINUTES F.R.R.

45 MINUTE F.R.R.

60 MINUTES F.R.R.

90 MINUTES F.R.R.

120 MINUTES F.R.R.

NOTE:
1. DRAWING TO BE READ IN COLOUR.
2. DRAWING TO BE READ IN CONJUNCTION WITH
OUTLINE CODE COMPLIANCE REPORT PROVIDED
BY GHL CONSULTANTS.



RELIANCE
PROPERTIES

© 2023 emb all rights reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of emb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of emb. Dimensions may not be scaled from the documents; drawing scale may be affected by printing, scanning or copying. emb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This Agreement has been read in conjunction with the Contract Documents.



2023-03-23

DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

34 Spatial separation information included to address ARS Comment #112

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

CODE ANALYSIS - ELEVATIONS

As indicated

A022

2023-03-22 5:30:01 PM

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL

- | | | | |
|---|--|----|--|
| 1 | PRESERVE THE WEST STAIRWELL, THE ALUMINUM SCREEN THAT RUNS UP THESE STORIES AND INCORPORATES FROZEN FANTASY MOTIFS, AS WELL AS THE INITIALS WORKED INTO THE STAIRWELL WALLS. | 5 | RETAIN AND POTENTIALLY REUSE THE WOOD PANELED CEILING IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT. |
| 2 | PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELING, INLAYS, PERIMETER CEILING AND WOOD PANELED WALLS, AND THE EAST-TO-WEST DECO DOOR WITH ITS "IN CABINET" "THE ROUNDED ROOM" PLaque (AND ITS CURRENT LOCATION), ADDING STORAGE ROOMCLOSET; ADJOINING WASHROOM WITH ALL ORIGINAL FINISHES AND FINISHES; AND PRESERVE THE VISUALLY STRONG LINE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE. | 6 | RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR. |
| 3 | PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM STAIRWELL THROUGHOUT THE PROJECT TO GUARANTEE THE STAIR, SINK AND TOILET, AS WELL AS APPROPRIATE SURFACES AND REPAIRS. | 7 | RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR. |
| 4 | RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLOUTED COLUMNS, AS WELL AS THE ART DECO DOOR HARDWARE. REUSE HARDWARE DRAWING A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW. | 8 | RETAIN AND RE-USE WOOD PANELED CEILING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR. |
| | | 9 | RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT ALTERING THE ELEMENTS OF THE ART DECO DOOR HARDWARE. REUSE HARDWARE PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE. |
| | | 10 | RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLS IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES. |



© 2023 emb all rights reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of emb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of emb. Dimensions may not be scaled from the documents; drawing scale may be affected by printing, scanning or copying. emb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

22 Plan updated to provide more detailed information on demolition

23. Extent of demolition updated to reflect planning changes to address ARS Comment #73.



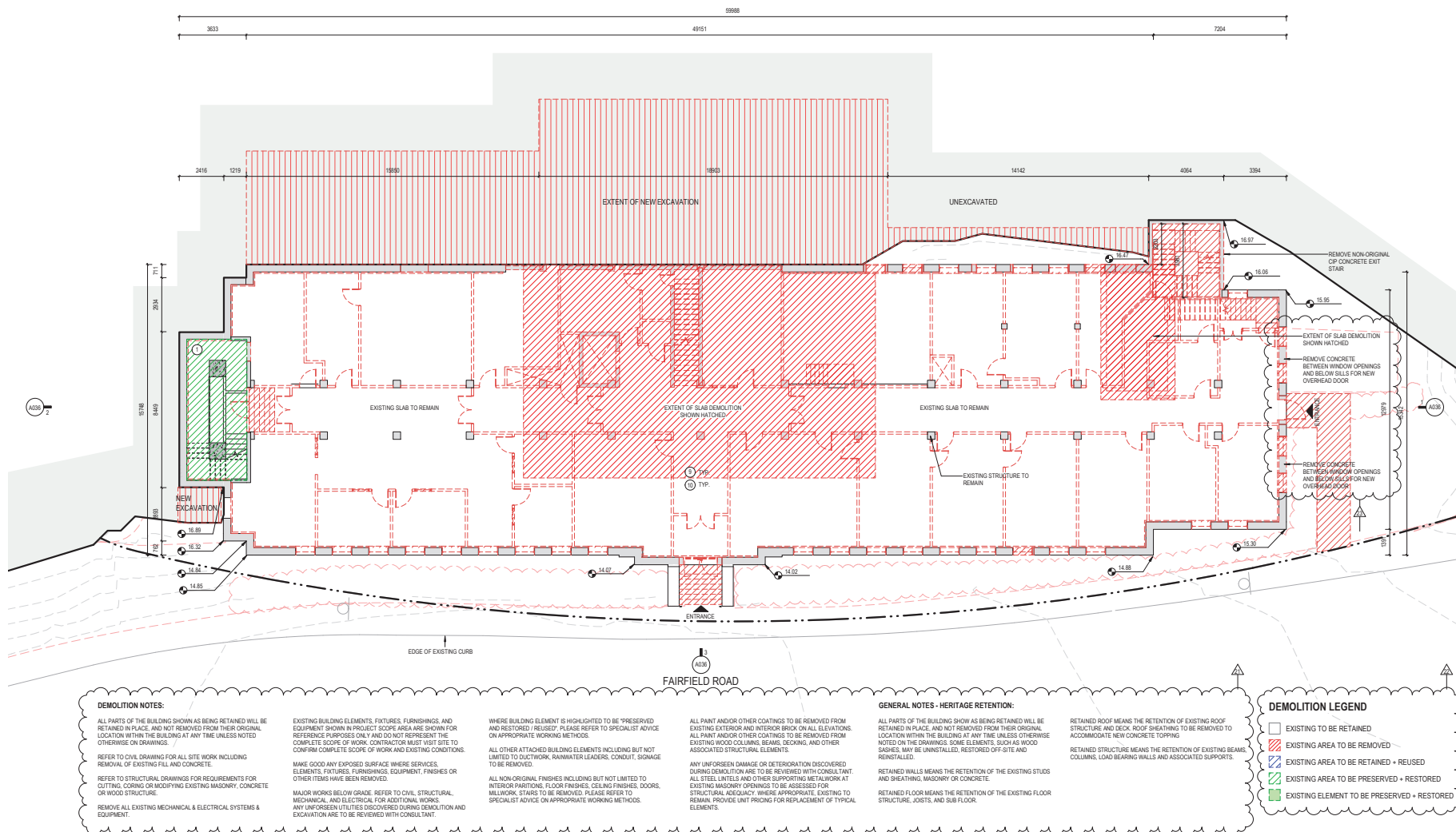
780 Blanshard • Rehabilitation • Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 1
DEMOLITION/RETENTION PLAN

1 : 100

A031



HERITAGE CONSERVATION NOTES

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.O.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANNELLING, INLAYS, PERIMETER CEILING COVING, WOOD PANELED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE 'THE ROUNDED ROOM' PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE PATTERNED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5 RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
- 6 RETAIN AND RE-USE WOOD PANELED, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7 RETAIN AND RE-USE WOOD PANELED, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8 RETAIN AND RE-USE WOOD PANELED, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.
- 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.

omb
office of mcfarlane biggar
architects + designers

303 - 535 Yates Street, Victoria BC
T 004 558 6344 E info@officeomb.ca

RELIANCE
PROPERTIES

© 2023 omb & all other under the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use for the specified project only and may be withdrawn without the express written consent of omb. Drawings may not be scaled from the documents. Drawing sets may be printed by printing, scanning or copying, and shall not be held responsible for the accuracy or completeness of any existing information shown herein. No person using the drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing is to be read in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

21 To address ARS Comments #114 and #118, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 2
DEMOLITION/RETENTION PLAN

1 : 100

A032

DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.

ANY UNFORESEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE 'PRESERVED AND RESTORED / REUSED', PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ANY UNFORESEEN DAMAGE OR DETEIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORESEEN DAMAGE OR DETEIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORESEEN DAMAGE OR DETEIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.

ALL PLANT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

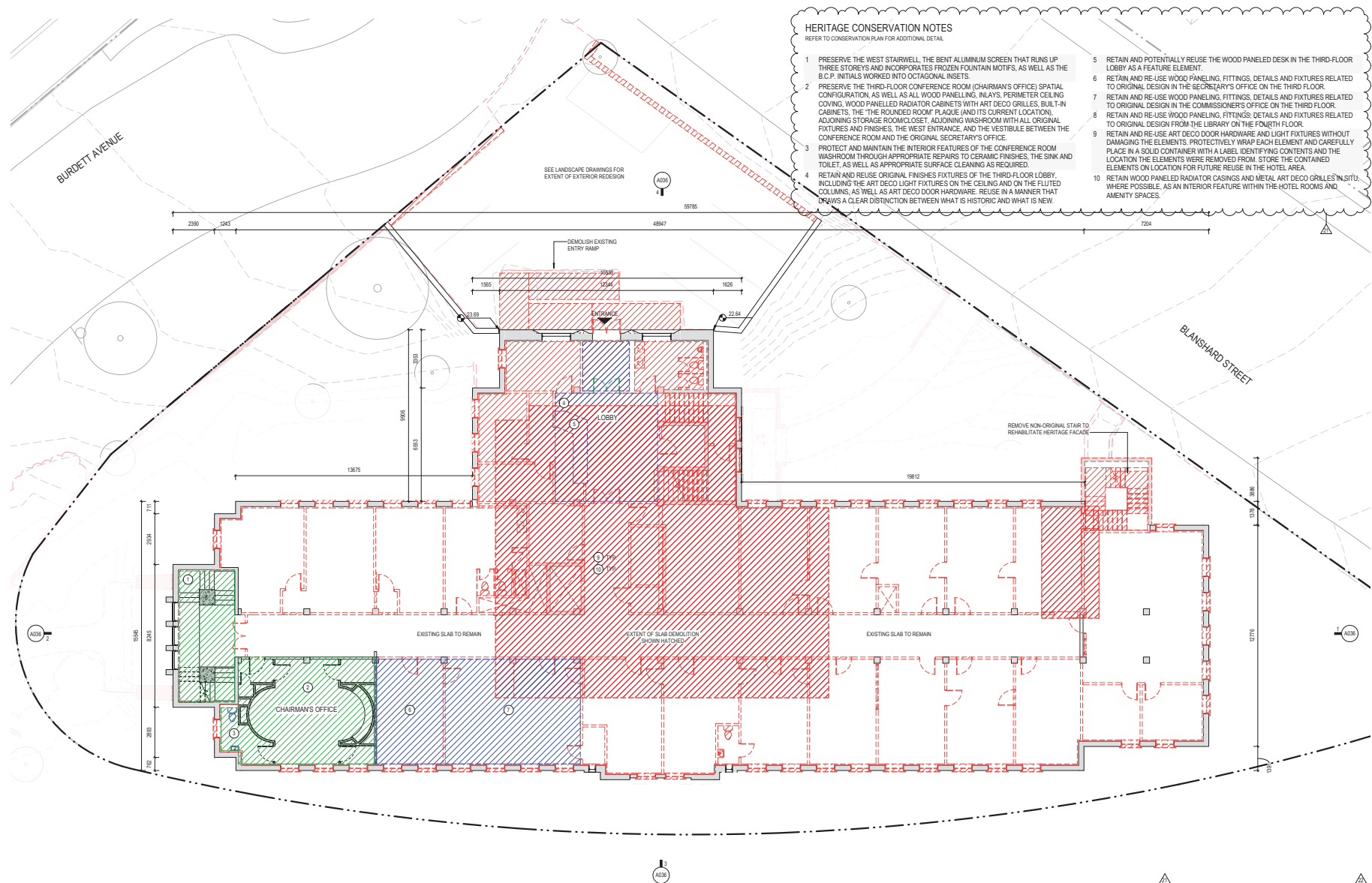
RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED



- ### HERITAGE CONSERVATION NOTES
- REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.
- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.O.P. INITIALS WORKED INTO OCTAGONAL INSETS.
 - 2 PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANNELLING, INLAIS, PERIMETER CEILING COVING, WOOD PANELED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE 'THE ROUNDED ROOM' PLaque (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
 - 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
 - 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
 - 5 RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
 - 6 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
 - 7 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
 - 8 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.
 - 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
 - 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.

© 2023 omb all rights reserved. The documents and design are an instrument of service and all of them remain the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use for the specified project only and may be re-worked without the express written consent of omb. Drawings may not be scaled from the documents. Drawing sets may be printed for printing, scanning or copying, and shall not be held responsible for the accuracy or completeness of any existing information shown herein. No person using the drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PRE APPLICATION
2023-04-01	2	OPEN HOUSE PROGRESS SET
2023-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

21 To address ARS Comments #114 and #115, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 3
DEMOLITION/RETENTION PLAN

1 : 100

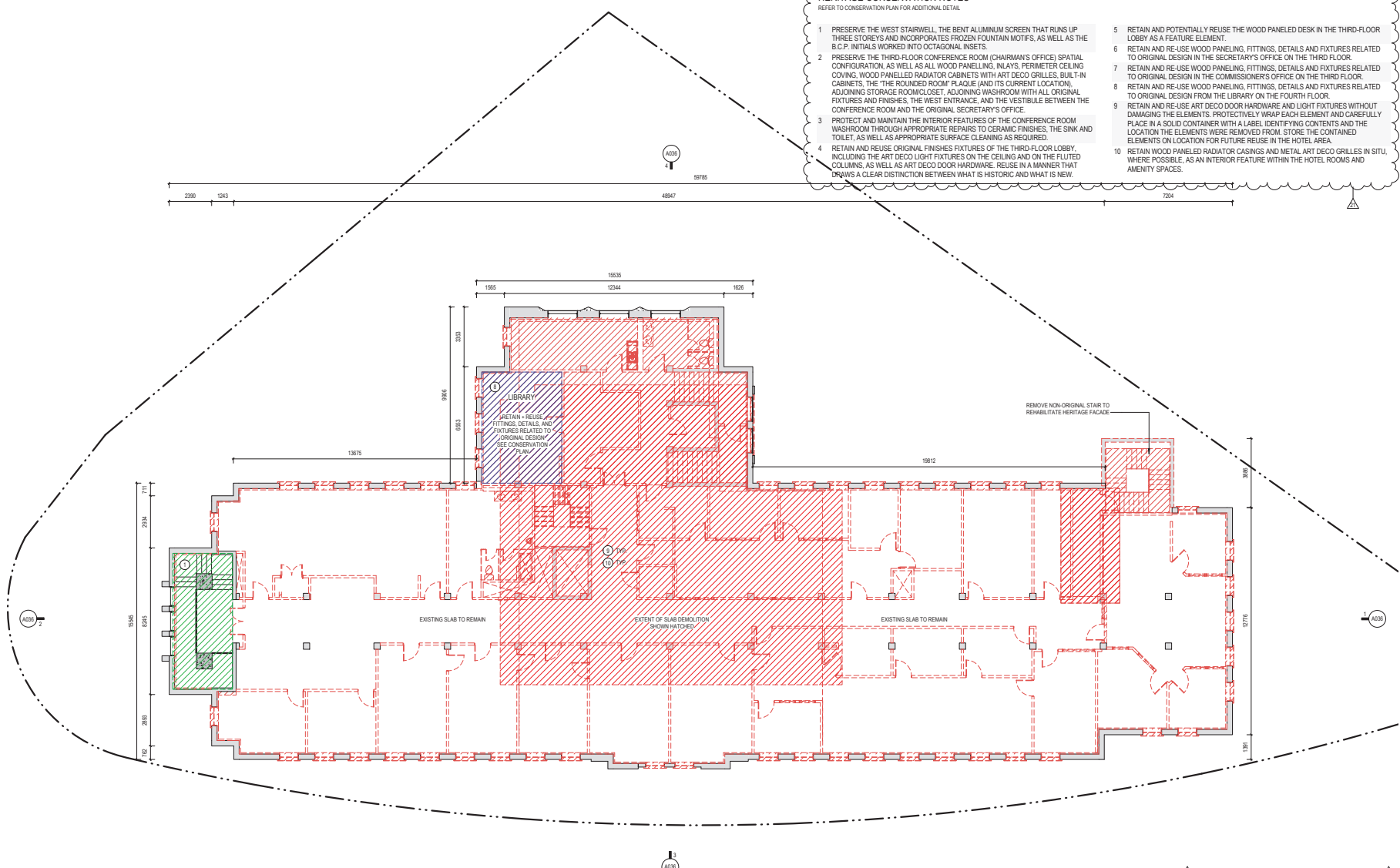
A033

- ### DEMOLITION NOTES:
- ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.
- REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.
- REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.
- ### EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.
- CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.
- MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.
- MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.
- ANY UNFORESEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.
- ### WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE 'PRESERVED AND RESTORED / REUSED', PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.
- ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, DRAINAGE LEADERS, CONDUT, SIGNAGE TO BE REMOVED.
- ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.
- ### ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.
- ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.
- ANY UNFORESEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.
- ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY CROWINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY, WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.
- ### GENERAL NOTES - HERITAGE RETENTION:
- ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.
- RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.
- RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.
- RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.
- RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.
- ### DEMOLITION LEGEND
- EXISTING TO BE RETAINED
 - EXISTING AREA TO BE REMOVED
 - EXISTING AREA TO BE RETAINED + REUSED
 - EXISTING AREA TO BE PRESERVED + RESTORED
 - EXISTING ELEMENT TO BE PRESERVED + RESTORED

HERITAGE CONSERVATION NOTES

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAIL.

- 1 PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THREE STOREYS AND INCORPORATES FROZEN FOUNTAIN MOTIFS, AS WELL AS THE B.O.P. INITIALS WORKED INTO OCTAGONAL INSETS.
- 2 PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELLING, INLAIS, PERIMETER CEILING COVING, WOOD PANELED RADIATOR CABINETS WITH ART DECO GRILLES, BUILT-IN CABINETS, THE 'THE ROUNDED ROOM' PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOM/CLOSET, ADJOINING WASHROOM WITH ALL ORIGINAL FIXTURES AND FINISHES, THE WEST ENTRANCE, AND THE VESTIBULE BETWEEN THE CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE.
- 3 PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM WASHROOM THROUGH APPROPRIATE REPAIRS TO CERAMIC FINISHES, THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED.
- 4 RETAIN AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY, INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLUTED COLUMNS, AS WELL AS ART DECO DOOR HARDWARE. REUSE IN A MANNER THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW.
- 5 RETAIN AND POTENTIALLY REUSE THE WOOD PANELED DESK IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT.
- 6 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR.
- 7 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE COMMISSIONER'S OFFICE ON THE THIRD FLOOR.
- 8 RETAIN AND RE-USE WOOD PANELING, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR.
- 9 RETAIN AND RE-USE ART DECO DOOR HARDWARE AND LIGHT FIXTURES WITHOUT DAMAGING THE ELEMENTS. PROTECTIVELY WRAP EACH ELEMENT AND CAREFULLY PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE IN THE HOTEL AREA.
- 10 RETAIN WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLES IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES.



DEMOLITION NOTES:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS. MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFOUNDED UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE 'PRESERVED AND RESTORED / REUSED', PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFOUNDED DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT. ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY CROWINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY, WHERE APPROPRIATE, EXISTING TO BE PROVIDED. UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

GENERAL NOTES - HERITAGE RETENTION:

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.

RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORTS.

DEMOLITION LEGEND

- EXISTING TO BE RETAINED
- EXISTING AREA TO BE REMOVED
- EXISTING AREA TO BE RETAINED + REUSED
- EXISTING AREA TO BE PRESERVED + RESTORED
- EXISTING ELEMENT TO BE PRESERVED + RESTORED

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-04-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- 21 To address ARS Comments #114 and #115, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.
- 22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 4
DEMOLITION/RETENTION PLAN

1: 100

A034

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAILS

REFER TO CONSERVATION PLAN FOR ADDITIONAL DETAILS

- | | | | |
|---|---|---|---|
| 1 | PRESERVE THE WEST STAIRWELL, THE BENT ALUMINUM SCREEN THAT RUNS UP THESE THREE STOREYS AND INCORPORATES FROSTED MOUNTAIN MOTIFS, AS WELL AS THE INTERIOR WOOD PANELING. | 5 | REPAIR AND POTENTIALLY REUSE THE WOOD PANELED DESIGN IN THE THIRD-FLOOR LOBBY AS A FEATURE ELEMENT. |
| 2 | PRESERVE THE THIRD-FLOOR CONFERENCE ROOM (CHAIRMAN'S OFFICE) SPATIAL CONFIGURATION, AS WELL AS ALL WOOD PANELING, INLAYS, PERIMETER GEDINGE AND WOOD PANELED WALLS, INCLUDING THE ART DECO LIGHT FIXTURES, IN-CABINETS, "THE ROUNDING ROOM" PLAQUE (AND ITS CURRENT LOCATION), ADJOINING STORAGE ROOMS/CLUB; ADJOINING WASHROOM WITH ALL ORIGINAL PARTS, FINISHES AND FINISHED FIXTURES. REUSE THE VISUALLY LINKED CONFERENCE ROOM AND THE ORIGINAL SECRETARY'S OFFICE. | 6 | REPAIR AND RE-USE WOOD PANELED, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN IN THE SECRETARY'S OFFICE ON THE THIRD FLOOR. |
| 3 | PROTECT AND MAINTAIN THE INTERIOR FEATURES OF THE CONFERENCE ROOM STAIRWELL THROUGHOUT THE ENTIRE REPAIR PROCESS, INCLUDING THE SINK AND TOILET, AS WELL AS APPROPRIATE SURFACE CLEANING AS REQUIRED. | 7 | REPAIR AND RE-USE WOOD PANELED, FITTINGS, DETAILS AND FIXTURES RELATED TO ORIGINAL DESIGN FROM THE LIBRARY ON THE FOURTH FLOOR. |
| 4 | REPAIR AND REUSE ORIGINAL FINISHES FIXTURES OF THE THIRD-FLOOR LOBBY INCLUDING THE ART DECO LIGHT FIXTURES ON THE CEILING AND ON THE FLOUTED PLAINS, AS WELL AS THE THIRD-FLOOR HARDWARE. REUSE HARDWARE THAT DRAWS A CLEAR DISTINCTION BETWEEN WHAT IS HISTORIC AND WHAT IS NEW. | 8 | REPAIR AND RE-USE ART DECO DOUR HARDWARE AND LIGHT FIXTURES WITHOUT REPLACING THE ELEMENTS. REUSE THE ELEMENTS OF THE ART DECO LIGHTS IN PLACE IN A SOLID CONTAINER WITH A LABEL IDENTIFYING CONTENTS AND THE LOCATION THE ELEMENTS WERE REMOVED FROM. STORE THE CONTAINED ELEMENTS ON LOCATION FOR FUTURE REUSE. |
| | | 9 | REPAIR WOOD PANELED RADIATOR CASINGS AND METAL ART DECO GRILLS IN SITU, WHERE POSSIBLE, AS AN INTERIOR FEATURE WITHIN THE HOTEL ROOMS AND AMENITY SPACES. |

303 - 535 Yates Street Victoria BC
T 604 558 6344 E info@officemb.ca



RELIANCE
PROPERTIES

© 2023 emb all rights reserved. The documents and design as an instrument of service are and at all times remain the exclusive property of emb. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of emb. Dimensions may not be scaled from the documents, drawing scale may be affected by printing, scanning or copying. emb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing to be read in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

22 Plan updated to provide more detailed information on demolition and interior features. See also Revision Note #21.

22 Plan updated to provide more detailed information on demolition and of interior features. See also Revision Note #21.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 5 ROOF
DEMOLITION/RETENTION PLAN

1 : 100

A035

1

ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.

REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING
REMOVAL OF EXISTING FILL AND CONCRETE.

REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR
CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE
OR WOOD STRUCTURE.

REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.

EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.

MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.

MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS. ANY UNFORSEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED AND RESTORED / REUSED", PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUIT, SIGNAGE TO BE REMOVED.

ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS. ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

ANY UNFORSEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY. WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

ALL PARTS OF THE BUILDING SHOW AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.






RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUD AND SHEATHING, MASONRY OR CONCRETE.

RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.

RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING COLUMNS, LOAD BEARING WALLS AND ASSOCIATED SUPPORT

DERIVATION LEGEND

-  EXISTING TO BE RETAINED
 EXISTING AREA TO BE REMOVED
 EXISTING AREA TO BE RETAINED + REUSED
 EXISTING AREA TO BE PRESERVED + RESTORED
 EXISTING ELEMENT TO BE PRESERVED + RESTORED



DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PREAPPLICATION
2023-06-01	2	OPEN HOUSE PROCESS SET
2023-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- 21 To address ARS Comments #11A and #11B, additional information included to reflect new information in inventory of interior heritage features, updated conservation plan, and heritage impact assessment. See also heritage submission materials from Community Design Services.
- 24 Extent of concrete demolition modified to reflect planning updates from interior design development and as a result of missing changes from ARS Comment #22.



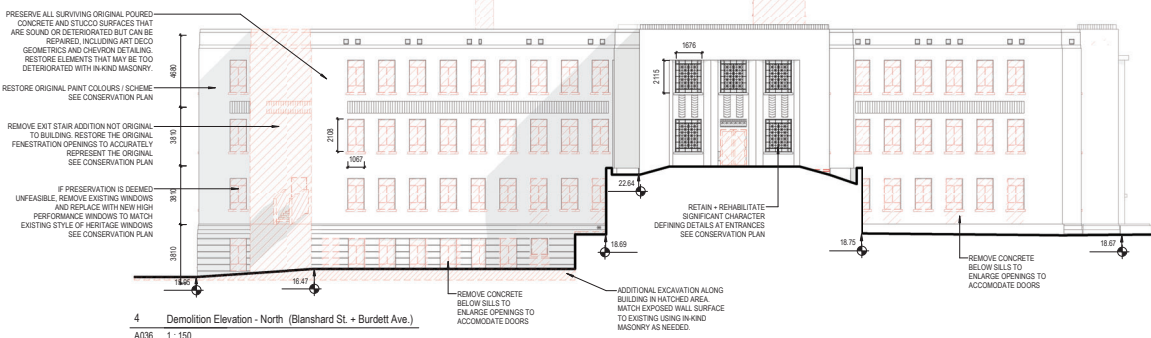
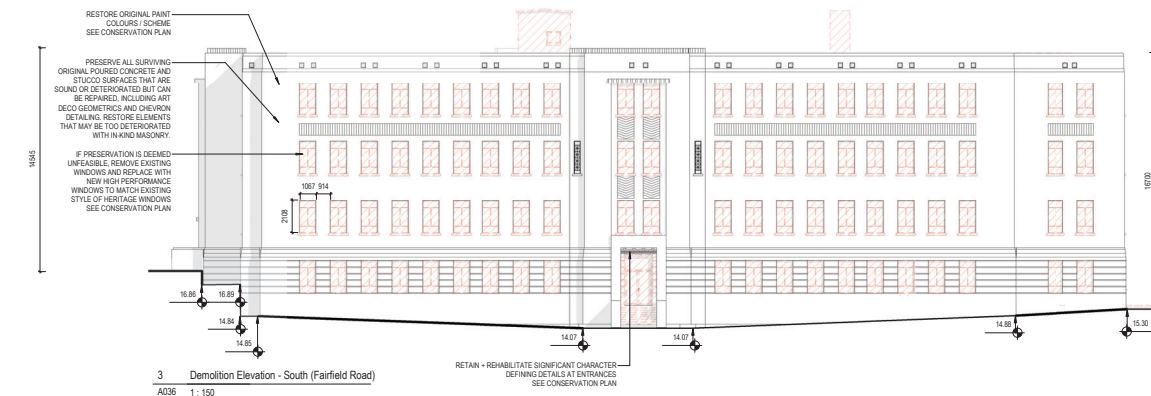
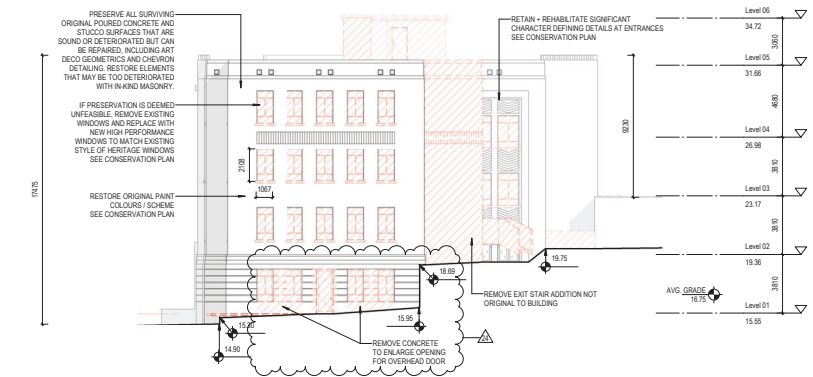
780 Blanshard - Rehabilitation - Addition

780 Blanshard Street, Victoria, BC
2019-039

DEMOLITION/RETENTION ELEVATIONS

As indicated

2023/02/22 13:02 PM
A036



DEMOLITION NOTES:

- ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS NOTED OTHERWISE ON DRAWINGS.
- REFER TO CIVIL DRAWING FOR ALL SITE WORK INCLUDING REMOVAL OF EXISTING FILL AND CONCRETE.
- REFER TO STRUCTURAL DRAWINGS FOR REQUIREMENTS FOR CUTTING, CORING OR MODIFYING EXISTING MASONRY, CONCRETE OR WOOD STRUCTURE.
- REMOVE ALL EXISTING MECHANICAL & ELECTRICAL SYSTEMS & EQUIPMENT.
- EXISTING BUILDING ELEMENTS, FIXTURES, FURNISHINGS, AND EQUIPMENT SHOWN IN PROJECT SCOPE AREA ARE SHOWN FOR REFERENCE PURPOSES ONLY AND DO NOT REPRESENT THE COMPLETE SCOPE OF WORK. CONTRACTOR MUST VISIT SITE TO CONFIRM COMPLETE SCOPE OF WORK AND EXISTING CONDITIONS.
- MAKE GOOD ANY EXPOSED SURFACE WHERE SERVICES, ELEMENTS, FIXTURES, FURNISHINGS, EQUIPMENT, FINISHES OR OTHER ITEMS HAVE BEEN REMOVED.
- MAJOR WORKS BELOW GRADE. REFER TO CIVIL, STRUCTURAL, MECHANICAL, AND ELECTRICAL FOR ADDITIONAL WORKS.
- ANY UNFORESEEN UTILITIES DISCOVERED DURING DEMOLITION AND EXCAVATION ARE TO BE REVIEWED WITH CONSULTANT.

- WHERE BUILDING ELEMENT IS HIGHLIGHTED TO BE "PRESERVED" AND RESTORED / REUSED, PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.
- ALL OTHER ATTACHED BUILDING ELEMENTS INCLUDING BUT NOT LIMITED TO DUCTWORK, RAINWATER LEADERS, CONDUT SIGNAGE TO BE REMOVED.
- ALL NON-ORIGINAL FINISHES INCLUDING BUT NOT LIMITED TO INTERIOR PARTITIONS, FLOOR FINISHES, CEILING FINISHES, DOORS, MILLWORK, STAIRS TO BE REMOVED. PLEASE REFER TO SPECIALIST ADVICE ON APPROPRIATE WORKING METHODS.

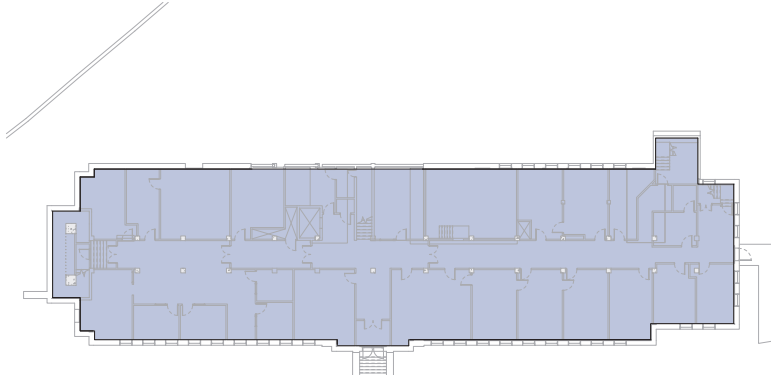
- ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING EXTERIOR AND INTERIOR BRICK ON ALL ELEVATIONS.
- ALL PAINT AND/OR OTHER COATINGS TO BE REMOVED FROM EXISTING WOOD COLUMNS, BEAMS, DECKING, AND OTHER ASSOCIATED STRUCTURAL ELEMENTS.

- ANY UNFORESEEN DAMAGE OR DETERIORATION DISCOVERED DURING DEMOLITION ARE TO BE REVIEWED WITH CONSULTANT.
- ALL STEEL LINTELS AND OTHER SUPPORTING METALWORK AT EXISTING MASONRY OPENINGS TO BE ASSESSED FOR STRUCTURAL ADEQUACY, WHERE APPROPRIATE, EXISTING TO REMAIN. PROVIDE UNIT PRICING FOR REPLACEMENT OF TYPICAL ELEMENTS.

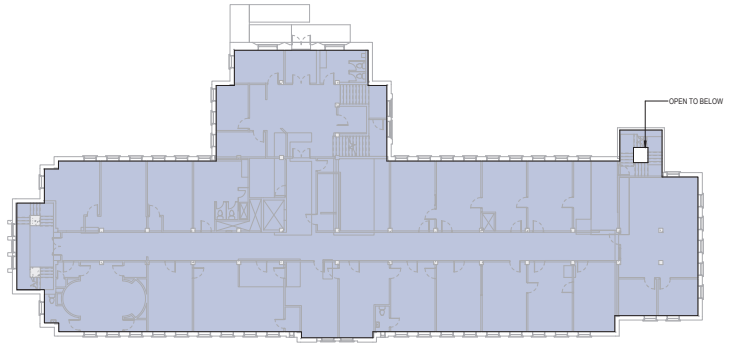
GENERAL NOTES - HERITAGE RETENTION:

- ALL PARTS OF THE BUILDING SHOWN AS BEING RETAINED WILL BE RETAINED IN PLACE, AND NOT REMOVED FROM THEIR ORIGINAL LOCATION WITHIN THE BUILDING AT ANY TIME UNLESS OTHERWISE NOTED ON THE DRAWINGS. SOME ELEMENTS, SUCH AS WOOD SASHES, MAY BE UNINSTALLED, RESTORED OFF-SITE AND REINSTALLED.
- RETAINED WALLS MEANS THE RETENTION OF THE EXISTING STUDS AND SHEATHING, MASONRY OR CONCRETE.
- RETAINED FLOOR MEANS THE RETENTION OF THE EXISTING FLOOR STRUCTURE, JOISTS, AND SUB FLOOR.

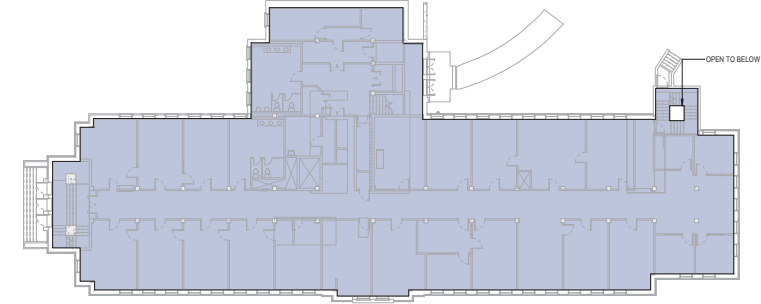
- RETAINED ROOF MEANS THE RETENTION OF EXISTING ROOF STRUCTURE AND DECK. ROOF SHEATHING TO BE REMOVED TO ACCOMMODATE NEW CONCRETE TOPPING.
- RETAINED STRUCTURE MEANS THE RETENTION OF EXISTING BEAMS, COLUMNS, LOAD-BEARING WALLS AND ASSOCIATED SUPPORTS.



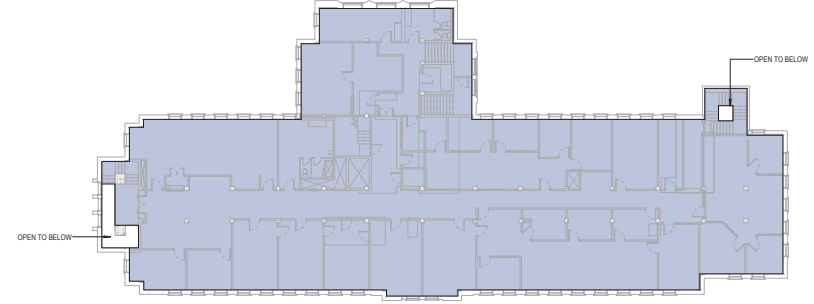
1 Level 1
A041 1:200



3 Level 3
A041 1:200



2 Level 2
A041 1:200



4 Level 4
A041 1:200

EXISTING FLOOR AREA

Level 01	852.3 m ²
Level 02	985.2 m ²
Level 03	982.6 m ²
Level 04	972.3 m ²
	3792.5 m ²

© 2023 omb all rights reserved. The documents and design as an instrument of service are and all other under the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Existing conditions may be affected by pricing, scanning or copying. omb will not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using the drawing will be responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

13 Added for completeness of HAP application documents.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

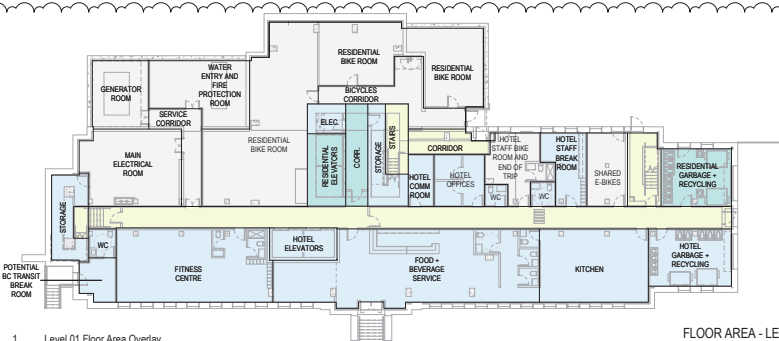
FSR OVERLAYS EXISTING

1:200

A041



FSR by Use

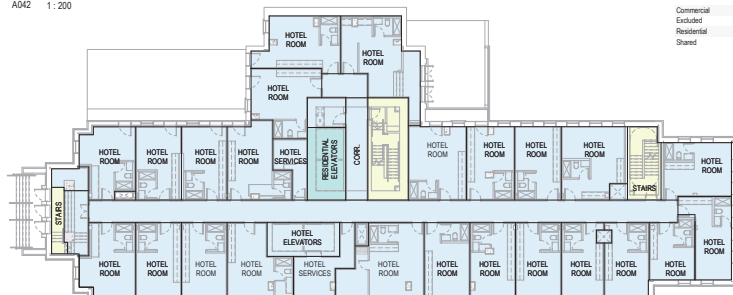


1 Level 01 Floor Area Overlay

A042 1:200

FLOOR AREA - LEVEL 1

Commercial	468.8 m ²
Excluded	415.1 m ²
Residential	66.3 m ²
Shared	154.0 m ²

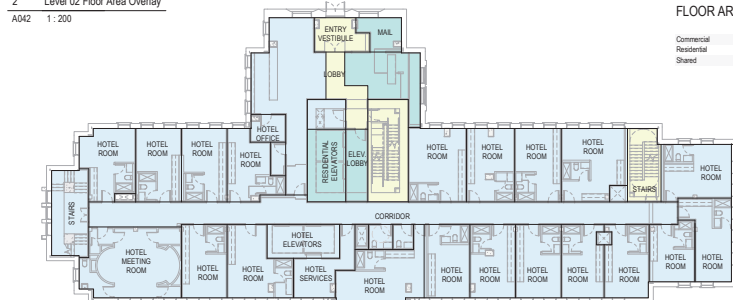


2 Level 02 Floor Area Overlay

A042 1:200

FLOOR AREA - LEVEL 2

Commercial	880.6 m ²
Residential	20.9 m ²
Shared	55.6 m ²

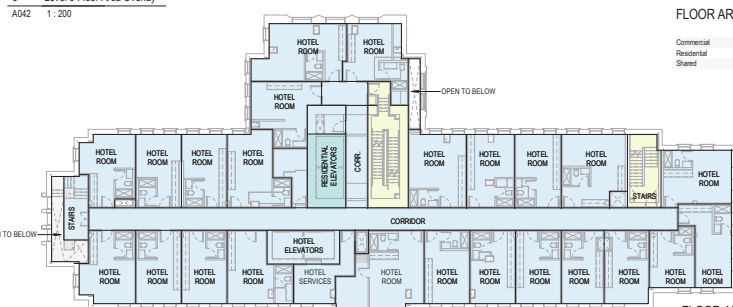


3 Level 3 Floor Area Overlay

A042 1:200

FLOOR AREA - LEVEL 3

Commercial	814.8 m ²
Residential	69.6 m ²
Shared	75.8 m ²

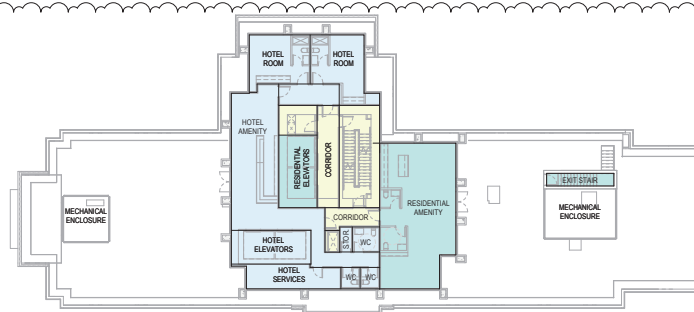


4 Level 4 Floor Area Overlay

A042 1:200

FLOOR AREA - LEVEL 4

Commercial	867.5 m ²
Excluded	18.4 m ²
Residential	21.2 m ²
Shared	54.1 m ²

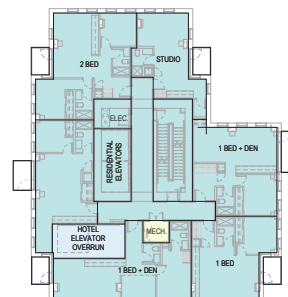


5 Level 5 Floor Area Overlay

A042 1:200

FLOOR AREA - LEVEL 5

Level 05	1772 m ²
Commercial	106.5 m ²
Shared	67.3 m ²

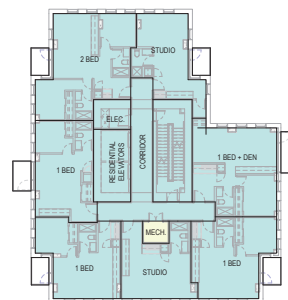


FLOOR AREA - LEVEL 6

Commercial	18.6 m ²
Residential	402.8 m ²
Shared	4.4 m ²

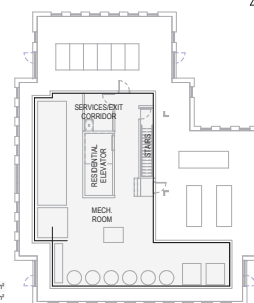
6 Level 6-17 Floor Area Overlay

A042 1:200



FLOOR AREA - Level 7-17

Residential	421.4 m ²
Shared	4.4 m ²

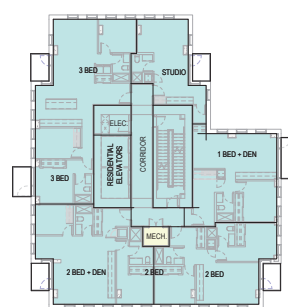


9 Roof Floor Area Overlay

A042 1:200

FLOOR AREA - ROOF

Excluded	190.4 m ²
----------	----------------------

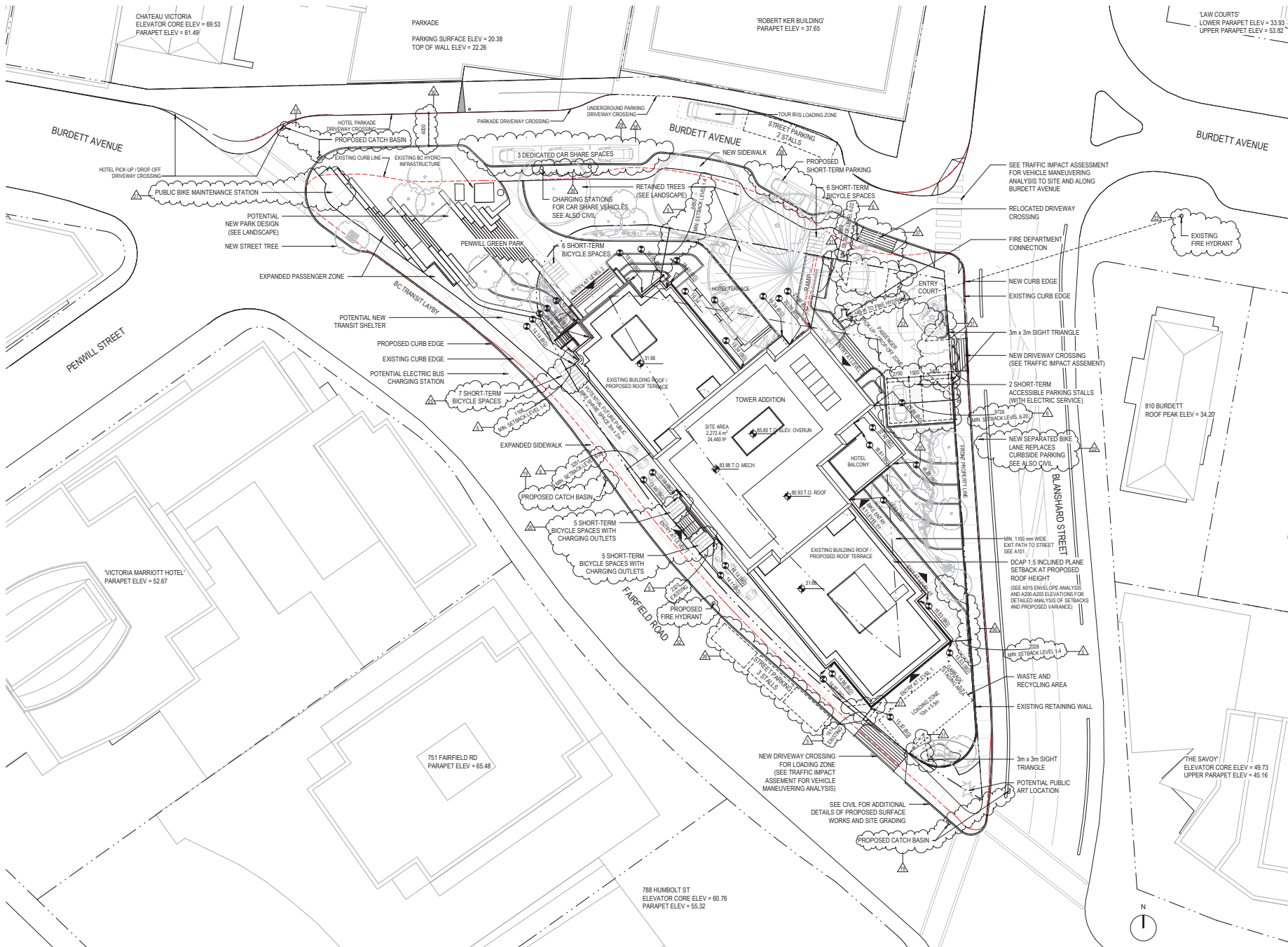


FLOOR AREA - Level 18-20

Residential	421.9 m ²
Shared	3.9 m ²

8 Level 18-20 Floor Area Overlay

A042 1:200



© 2023 omb & its clients. The documents and design are an instrument of service and are not to be used for any other purpose. All drawings and related information in this or in any other drawing or document are for the use of the client only and are not to be used for any other purpose without the express written consent of omb. Omb & its clients are not responsible for any errors or omissions in this or in any other drawing or document. Omb & its clients are not responsible for any errors or omissions in this or in any other drawing or document. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2023-02-24	1	REZONING PRE-APPLICATION
2023-08-01	2	OPEN HOUSE PROCESS SET
2023-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING REJUBINATION

REVISIONS

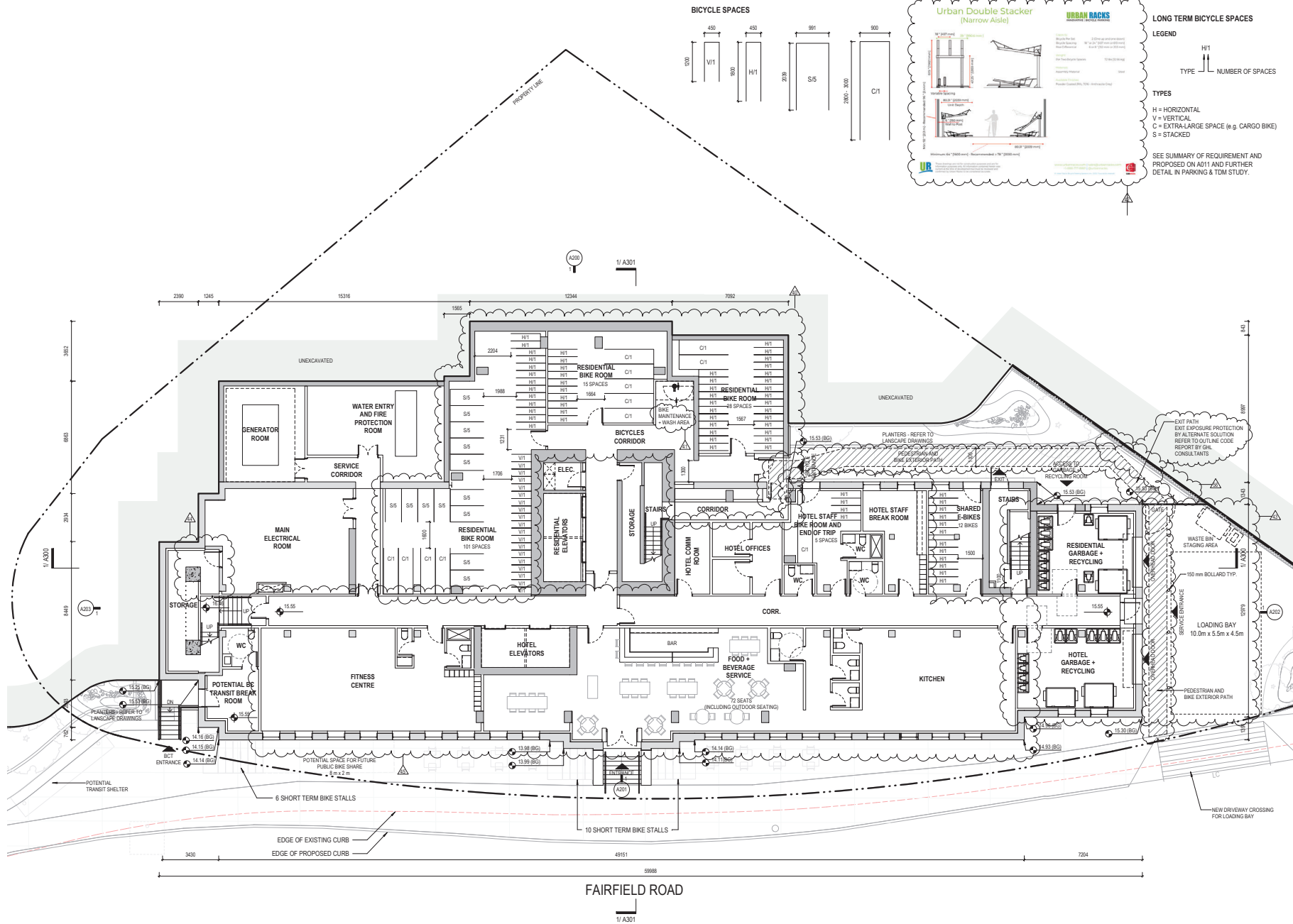
5. Existing setbacks updated to better reflect surveyed building location and perpendicular measurements from corner property line.
6. Tower addition setbacks modified slightly with updated massing to address ARS Comments, including #22.
19. Added for completeness of HAP application documents.
25. In response to ARS Comment #95 and #96, short-term bicycle parking with charging access and for user detail lines added to design, see also Landscape and Parking TDM Study.
26. In response to ARS Comment #92, label provided for outdoor parking on Fairfield Road showing reduction from 5 stalls to 3 stalls to allow driveway crossing to building area.
27. Public bike maintenance station included in park design in response to ARS Comment #95.
28. Curb configuration and stall sizes updated per ARS Comment #91.
29. New bike lane shown per ARS Comment #94. Replacement of outdoor parking noted per ARS Comment #92.
30. Minimum width provided per ARS Comment #95.
31. Sight triangles added to address ARS Comments #94 and #93.
32. Proposed hydrant noted on this plan and relocated to City ROW per ARS Comment #77.
33. Closed the hydrant shown and distance from FCC noted to address ARS Comment #72.
35. In response to ARS Comment #94 (plan check comment #3) Parking reconfigured to match accessible stall requirements. See also Traffic Impact Assessment and Parking TDM Study from HCTT Consulting Group.
37. Access drive grading updated in conjunction with other revisions to address ARS Comments #94 (Plan Check comment #3), #95, and #93. Refer also to Civil and Landscape drawings.
38. See Parking & TDM Study from HCTT Consulting Group for details on proposed car share spaces in response to ARS Comment #84.
39. Location of charging stations indicated to address ARS Comment #10.
40. In response to ARS Comment #93, a new retaining structure in proposed nook of existing retaining wall where new grade is lower than existing. See also Retaining Walls for Landscaping and Structural Methods and Landscape drawings for more detail.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

SITE PLAN PROPOSED

1:200
A100



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-08-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

40. Bicycle parking provision and layout updated to conform basis of design for stacked bicycle racks and provision of total number and types of horizontal ground-oriented racks per ARS Comment #63.
41. Bike wash area included per ARS Comment #62.
42. Basis of design info for stacked bicycle storage in response to ARS Comment #65.
43. Residential and hotel waste and recycling rooms consolidated adjacent to loading bay. Clear travel path indicated and bollards shown to separate vehicles from pedestrian and bike area. Sign change to be performed away from path of travel. See Responses Letter for additional details in response to ARS Comments #73 and #75.
44. Existing storage room no longer opens into and in response to ARS Comment #16.
45. Hotel planning, including room count, revised based on further design development for HAP and changes to measuring resulting from response to ARS Comments.
56. In response to ARS Comment #38, a new retaining structure is proposed north of existing retaining wall where grade is lower than existing. See also Responses Letter for Geotechnical and Structural feedback and Landscape drawings for more detail.



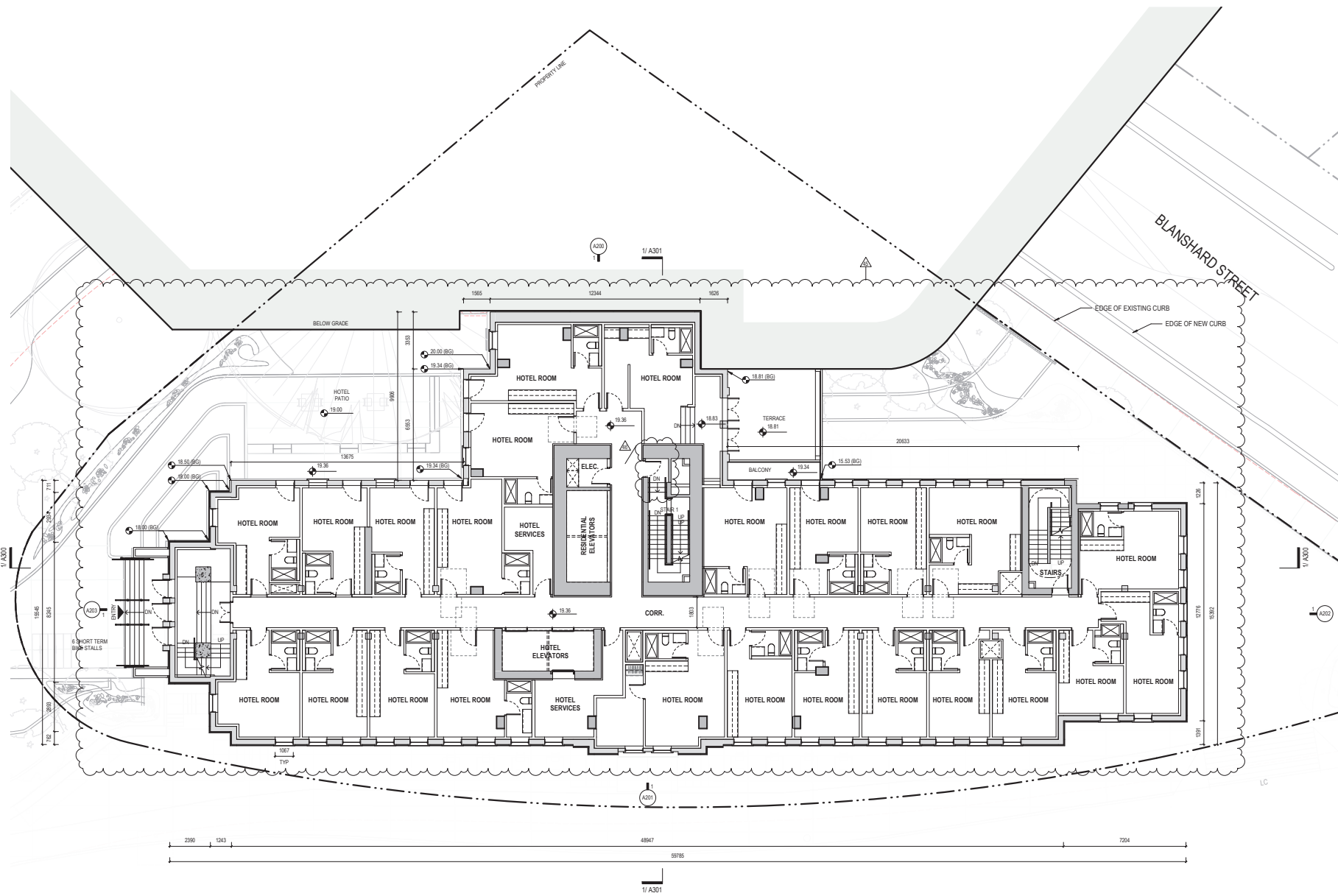
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 1 FLOOR PLAN

As indicated

A101



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-08-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- 45. Hotel planning, including room count, revised based on further design development for HAP and changes to existing resulting from response to HRS Comments.
- 46. To accommodate updated missing and address HRS Comment #114, stair configuration updated so that no flight has less than 10 steps.



780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 2 FLOOR PLAN

1 : 100

2023/02/22 13:04 PM
A102



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

45. Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments



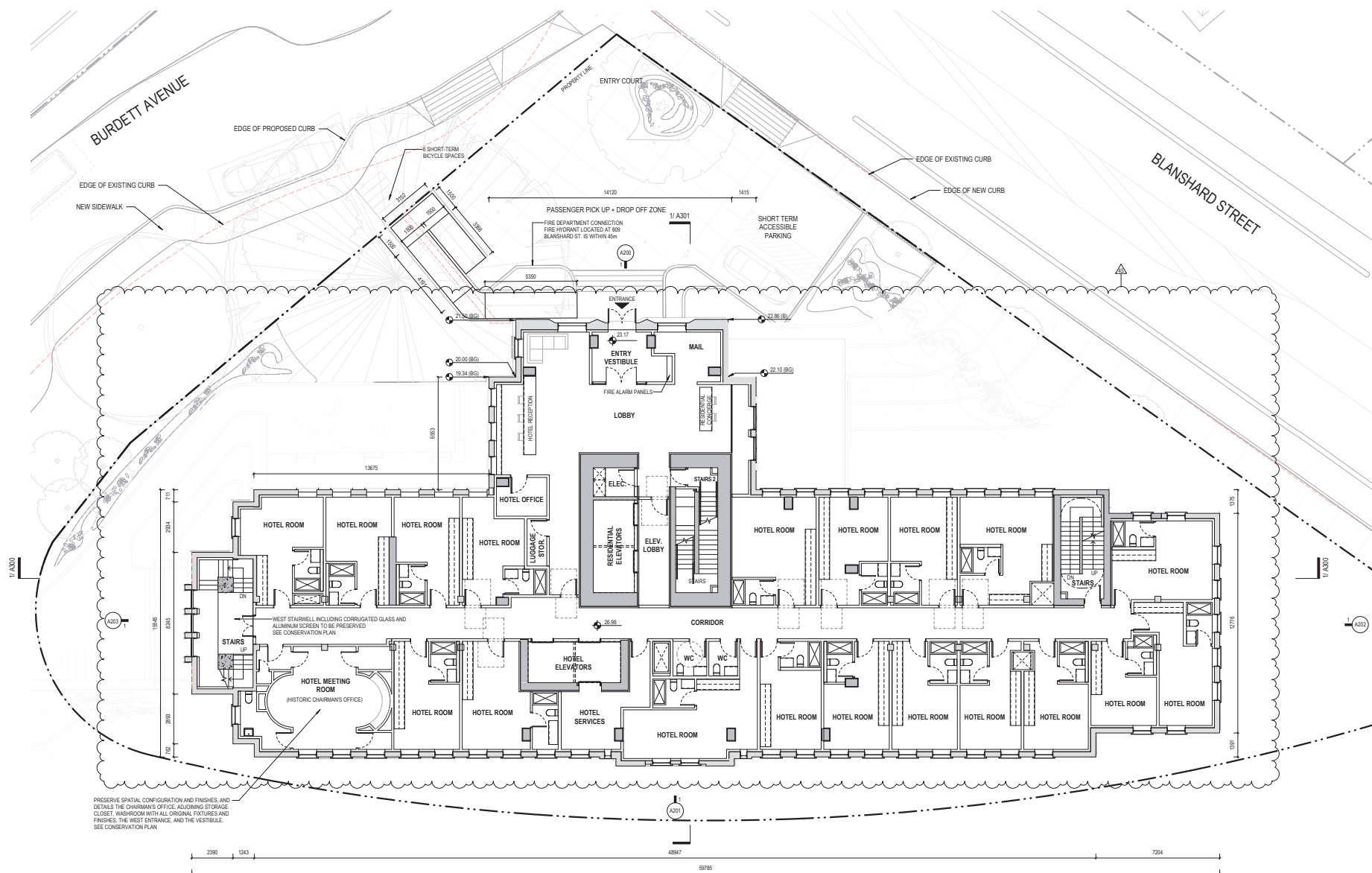
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 3 FLOOR PLAN

1 : 100

A103





DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

45 Hotel planning, including room count, revised based on further design development for HAP and changes to massing resulting from response to ARS Comments.

46 To accommodate updated massing and address ARS Comment #114, stair configuration updated so that no flight has two or fewer steps.



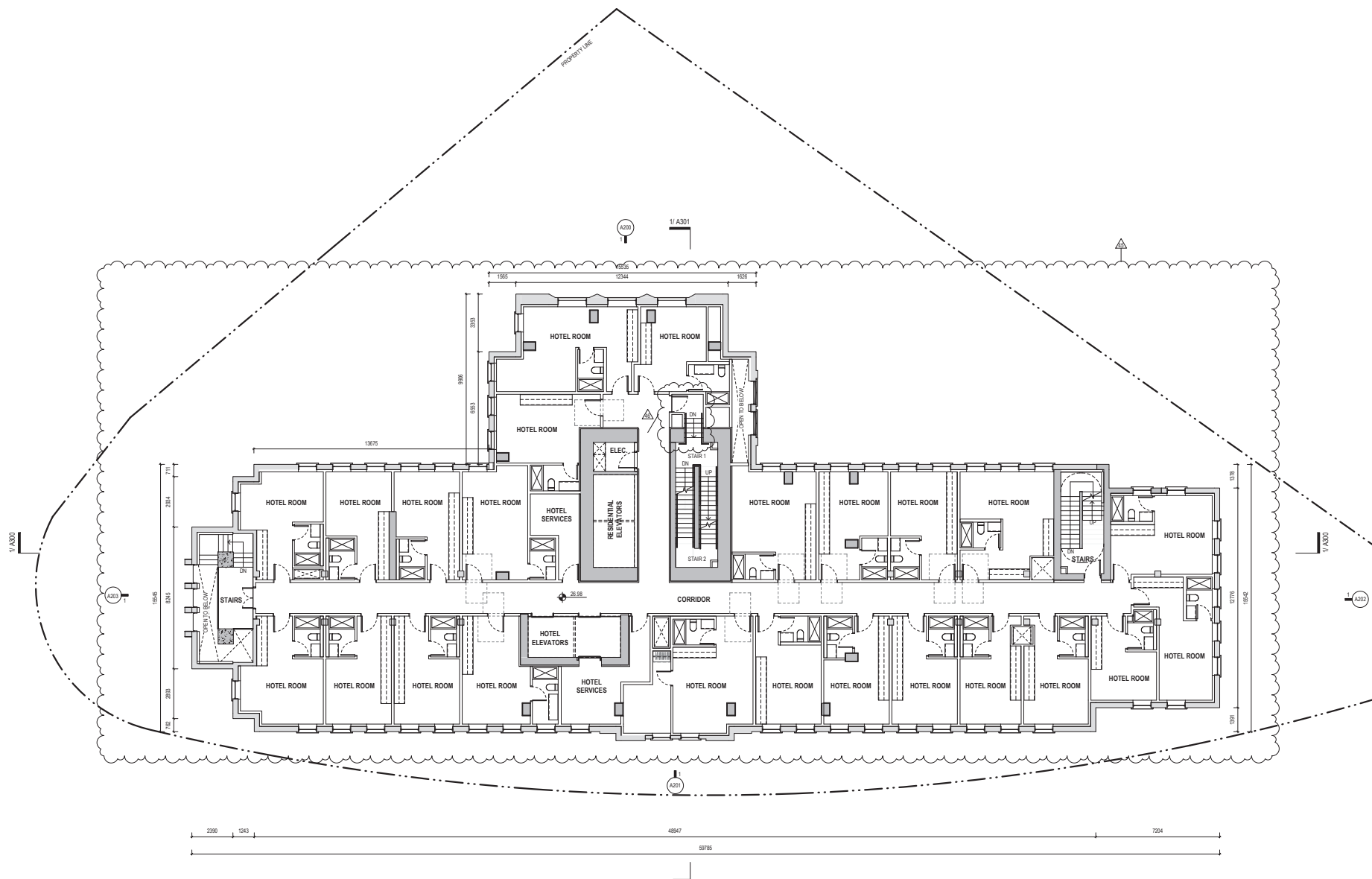
780 Blanshard - Rehabilitation + Addition

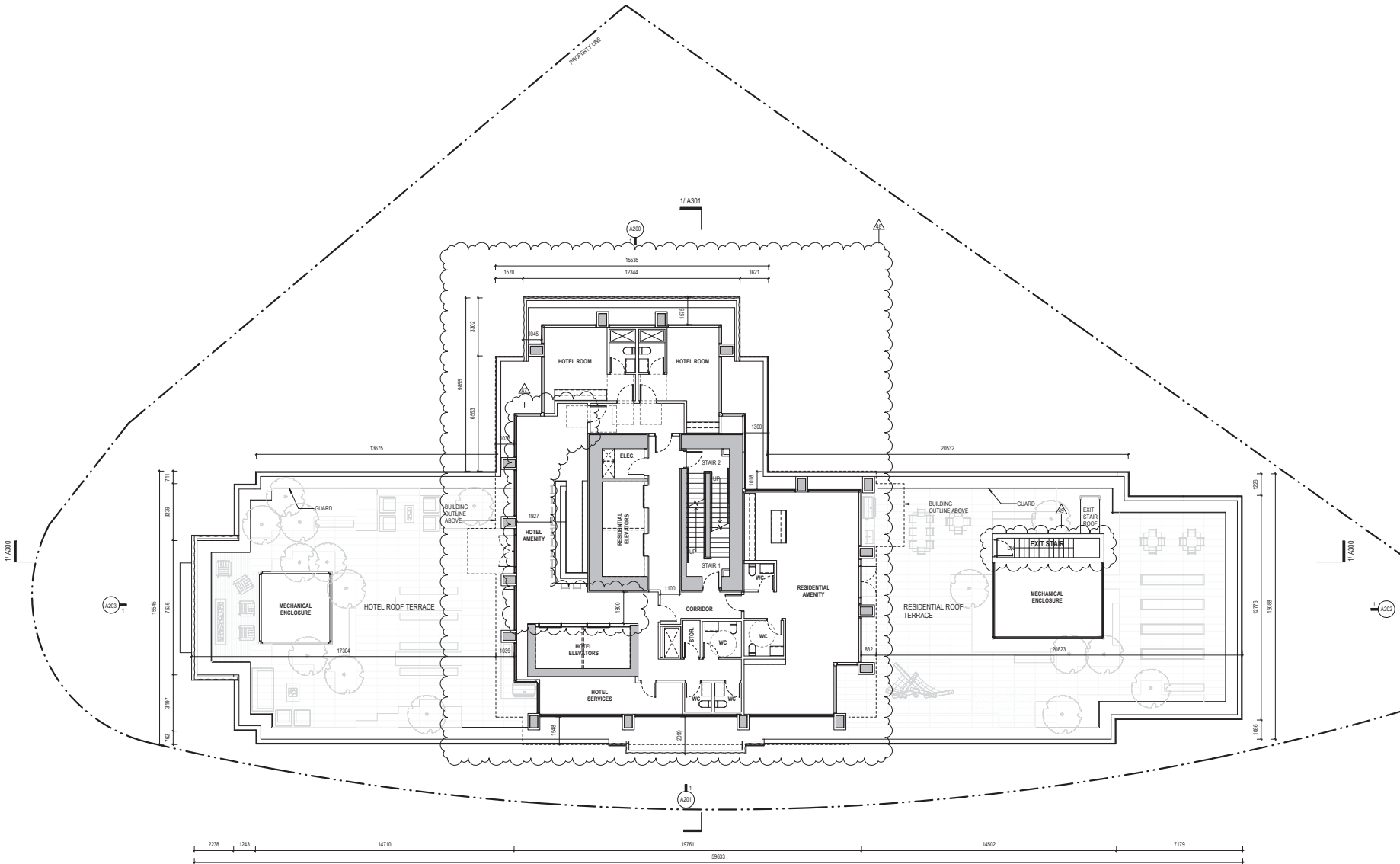
780 Blanshard Street, Victoria, BC
2019-039

LEVEL 4 FLOOR PLAN

1:100

2023-03-22 5:30 A104





© 2023 omb all rights reserved. The documents and design as an instrument of service are and all their content the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use of the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing shall not be relied upon for printing, scanning or copying. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using the drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- 47. Clear width provided in conformance with BCBC 3.3.1.9 per ARS comment #111.
- 48. The inset face of the glazed facade at Level 05 has been updated for the revised building massing and is supported by ARS Comment #23. See additional visualizations and materials in response Letter and Sections 15 and 17 of the Large Project Supplementary Information Booklet.
- 49. To address updated planning and ARS Comment #115, site is extended to meet to ensure access to land for rooftop deck occupants.



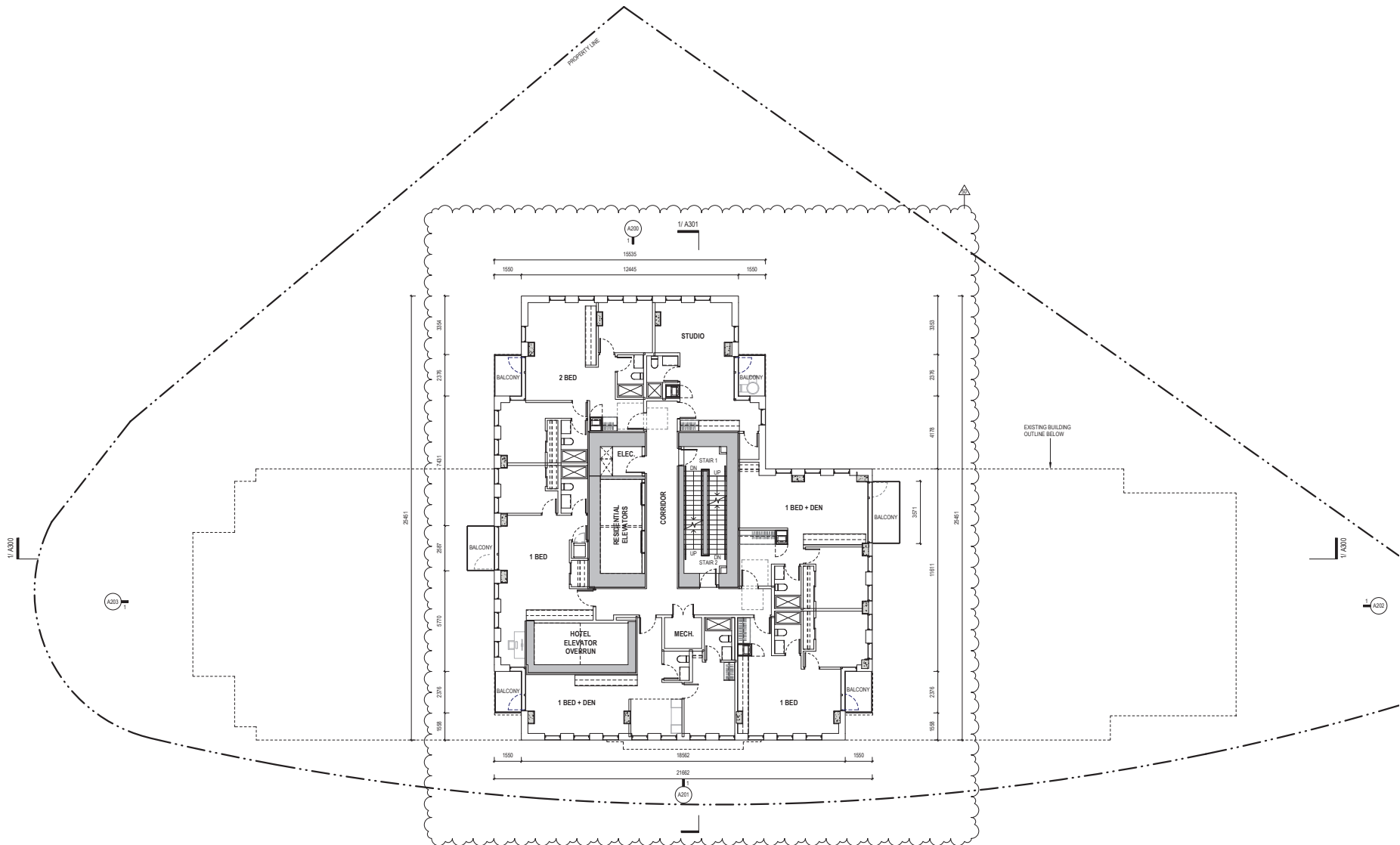
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 5 FLOOR PLAN

1 : 100

2023-03-23 13:05 PM
A105



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

50 Residential lower floor plan design and suite mix revised to suit new housing developed in response to AREC Comments #22, #23, and #24. See also Response Letter and Conditions 10 and 11 in Large Project Supplementary Information Booklet.



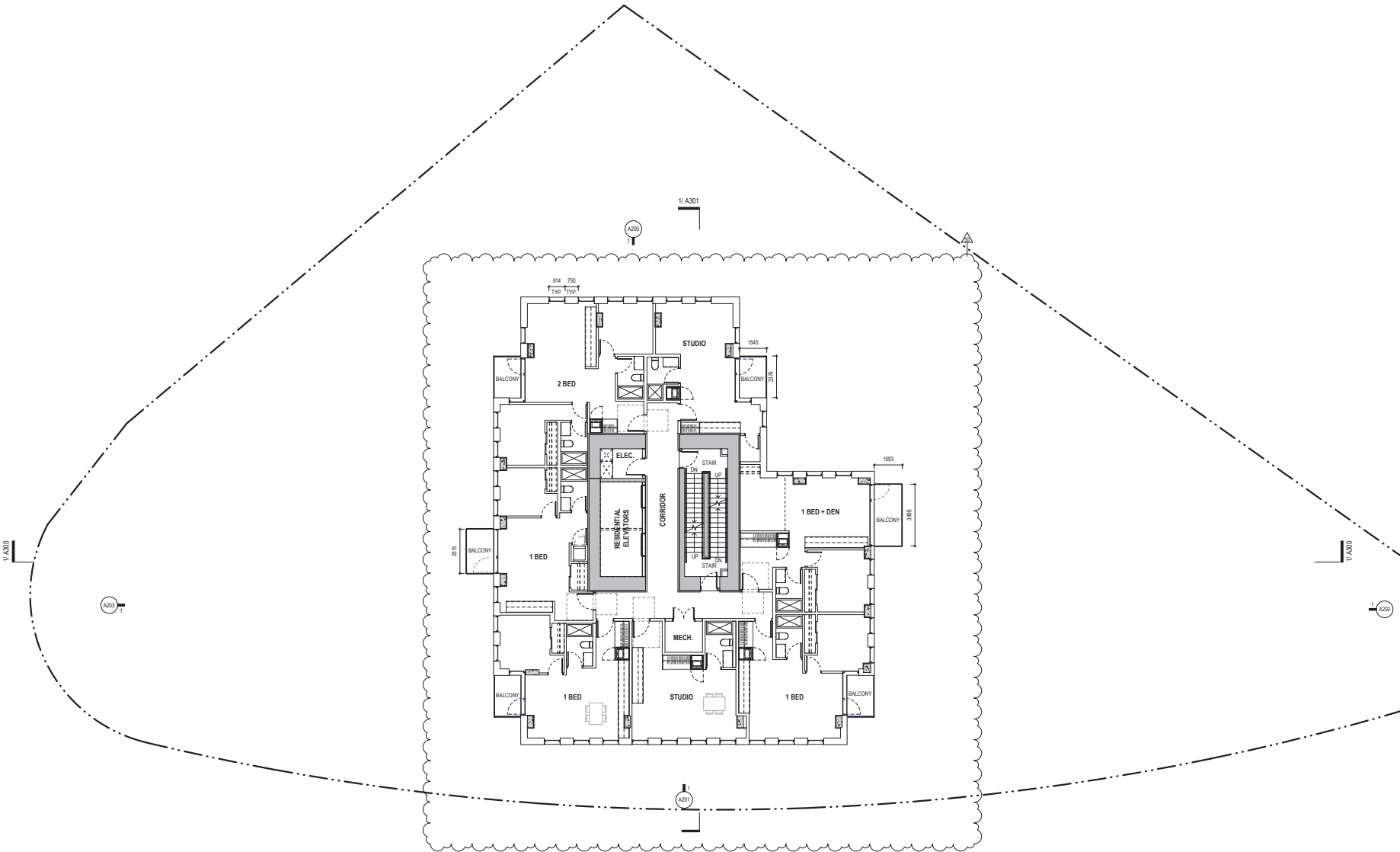
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 6 FLOOR PLAN

1:100

A106



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-08-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

SR: Residential lower floor plans design and suite mix revised to suit new housing developed in response to AREC Comments #22, #23, and #24. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.



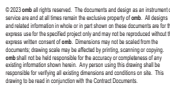
780 Blanshard - Rehabilitation - Addition

780 Blanshard Street, Victoria, BC
2019-039

LEVEL 7-17 FLOOR PLAN

1: 100

A107



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

50 Residential tower floor plate design and suite mix revised to suit new massing developed in response to ARS Comments #22, #23, and #24. See also Response Letter and Sections 10 and 11 in Large Project Supplementary Information Booklet.



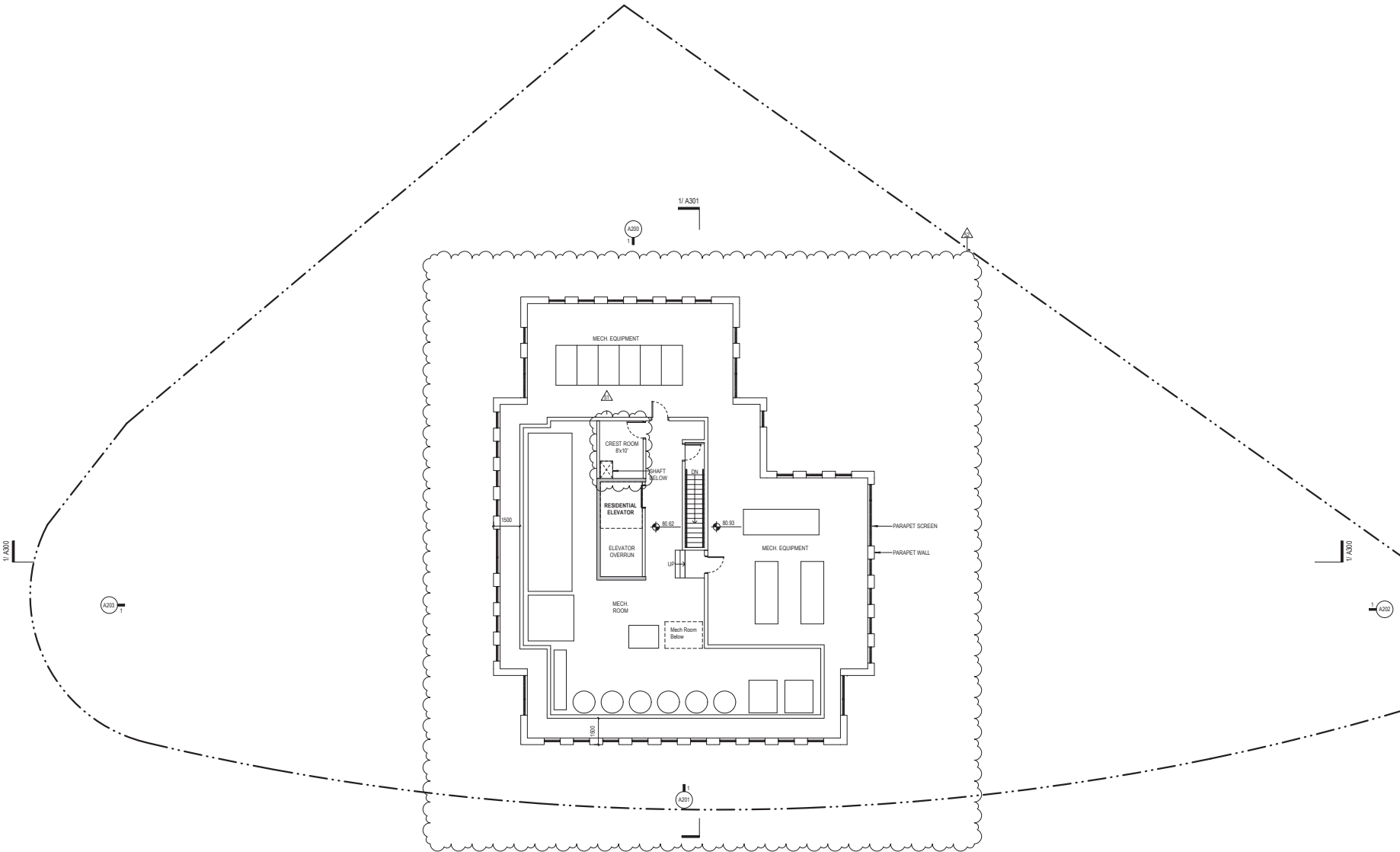
780 Blanshard Street, Victoria, BC
2019-039

LEVEL 18-20 FLOOR PLAN

1 : 100

2023-03-22 5:30:54 PM 1

A108



© 2023 omb all rights reserved. The documents and design are an instrument of service and are not to be used for any other purpose. All designs and related information in whole or in part shown on these documents are for the express use for the specified project only and may not be reproduced without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing shall not be relied upon for any construction or building. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. No person using this drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- S1: Secured equipment room for CREST in response to ARS Comment #120.
- S2: Rooftop design shows revised mechanical room and equipment to suit needed housing and full parapet all amounts to respond to ARS Comment #25.



780 Blanshard - Rehabilitation + Addition

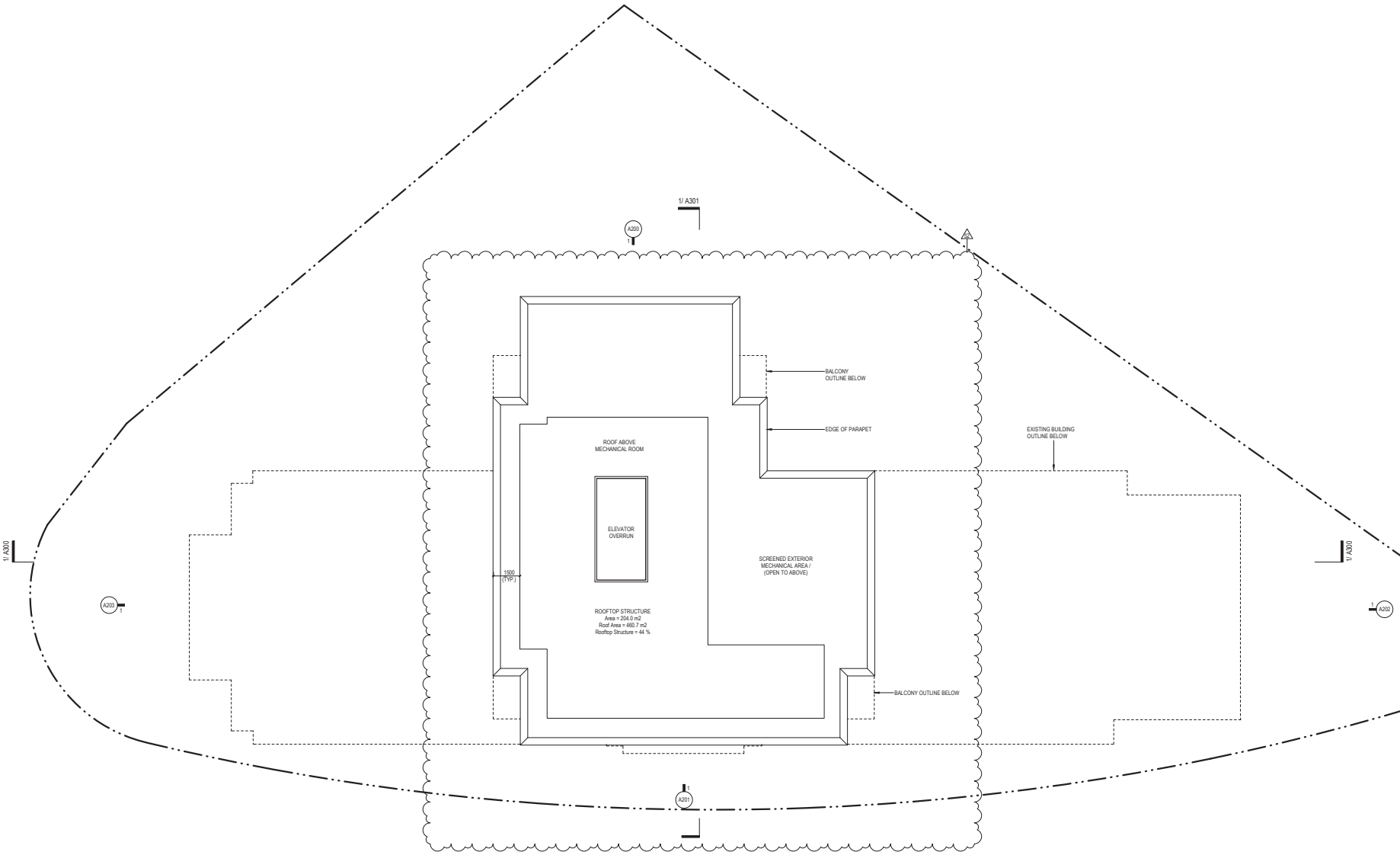
780 Blanshard Street, Victoria, BC
2019-039

MECHANICAL ROOFTOP PLAN

1: 100

A109

2023-03-22 13:05 PM



DATE	REV	ISSUE DESCRIPTION
2023-03-23	1	HAP & REZONING RESUBMISSION

REVISIONS

S2 Rooftop design shows revised mechanical room and equipment to suit revised massing and full parapet all around to respond to ARS Comment #25.

N
 PN

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
 2019-039

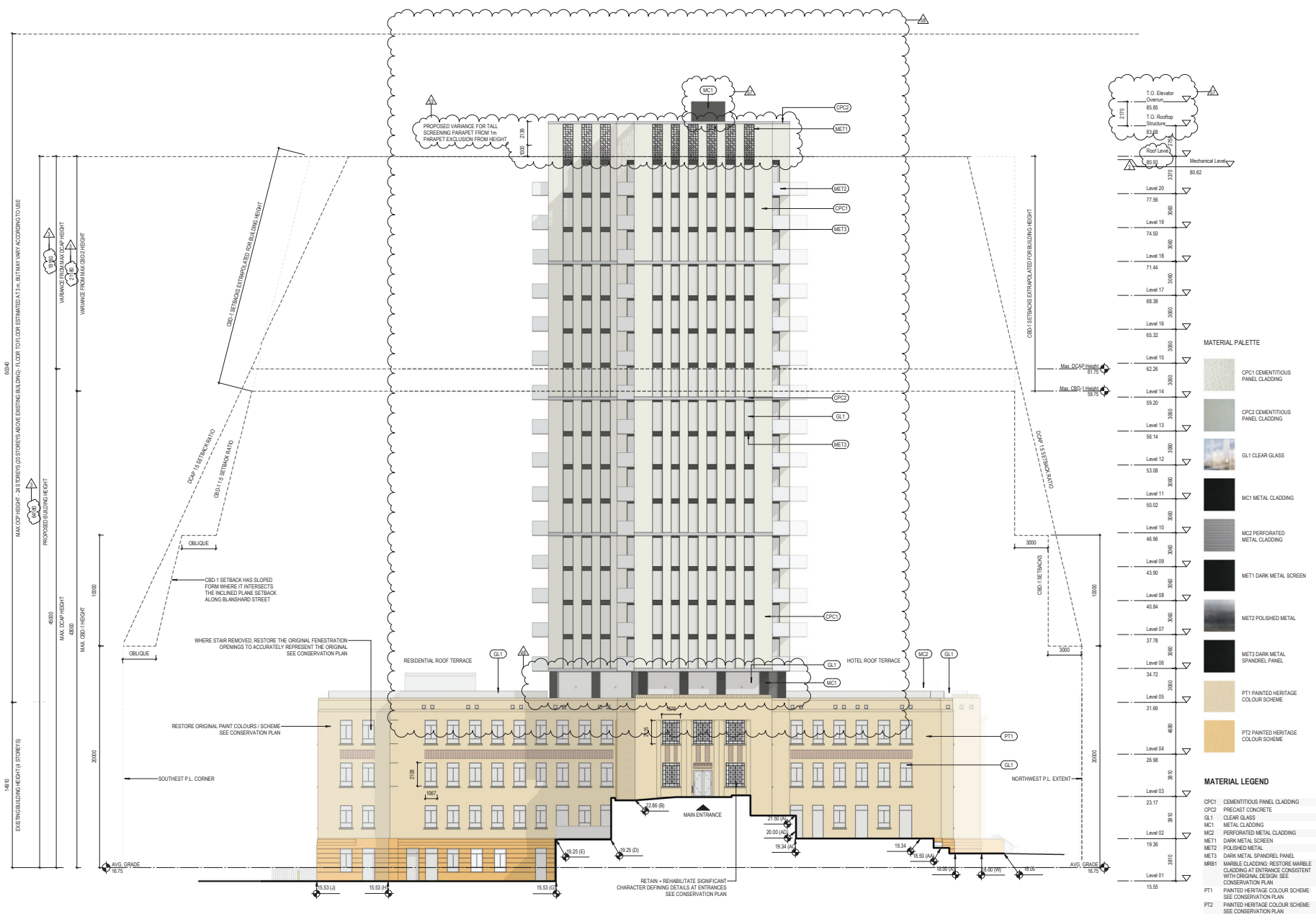
ROOF PLAN

1 : 100

A110

2023/02/22 13:05:04 PM

REVISIONS



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

3. Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter Sections 10 and 11 of the Large Project Supplementary Information Booklet.

54 The approach at the Level 05 has been further developed in response to ARS Comments #23 and #24 to improve the transition between old and new above the north entrance. See additional rationale and visualization in Response letter, Heritage Impact Report and Section 11 of the Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Roofline Structure.

58 Addition massing and facade design updated in response to AR Comments #22, #23, #24, and #25. See other bubbled changes, the Response Letter, and Sections 10 and 11 in the Large Project Supplementary Information Booklet for additional information and rationale.

780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
V8W 2G2

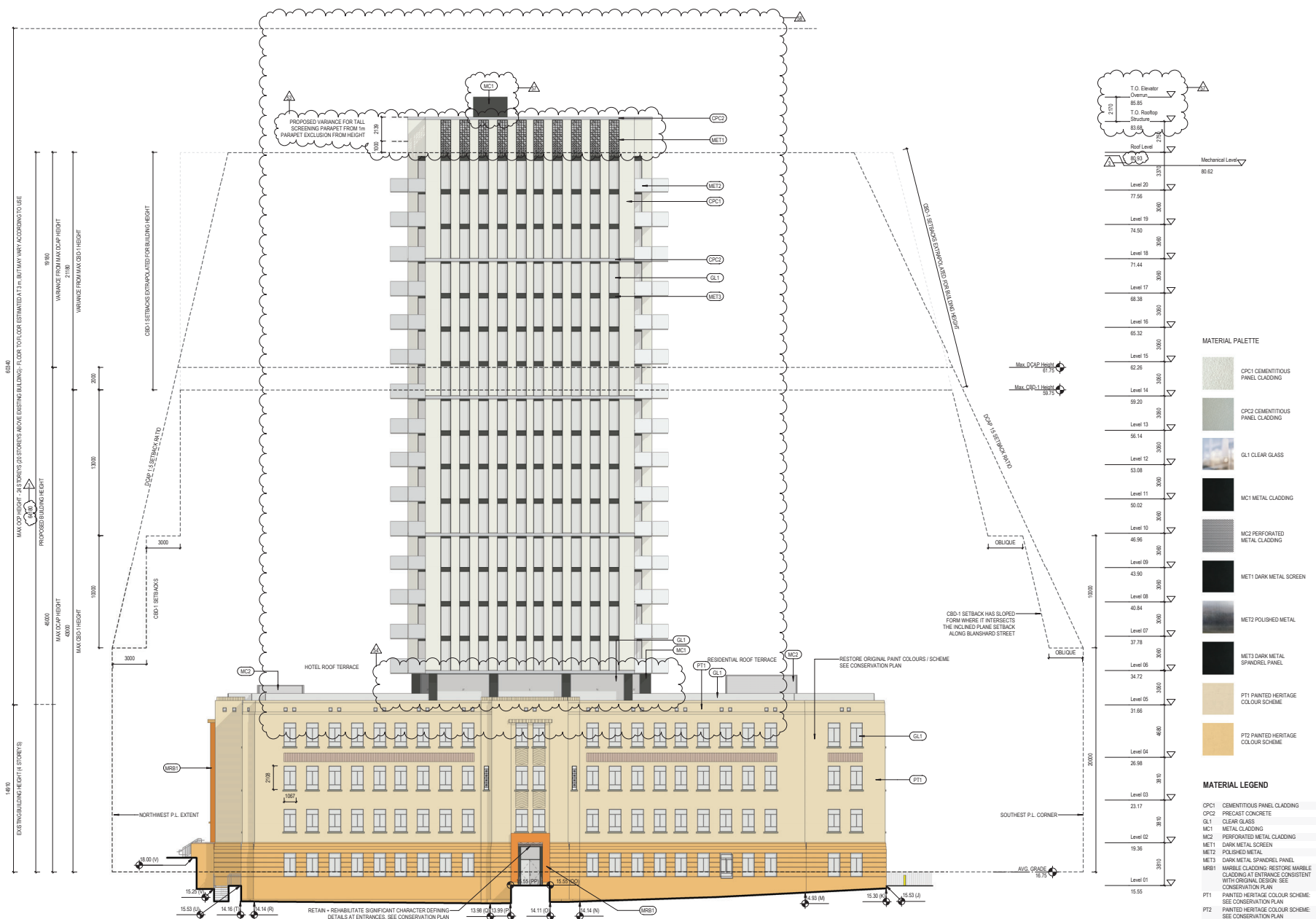
2019-039

ELEVATION SOUTH

3:24 PM 1:150

A201

2017/12/01





DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-04-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

- Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.
- The inset face of the glazed facade at Level 05 has been updated for the revised building massing and to respond to ARS Comment #22. See additional visualizations and rationale in response letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.
- Tall screening parapet proposed as part of heritage sensitive design and in response to ARS Comment #22. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.
- As part of the response to ARS Comment #22, the extent of variance from the zoning envelope defined by DCAP and CBD-1 has been changed as a result of the shorter building with a slightly larger floor plate. For additional detail, see the Response Letter and Section 10 and 11 of the Large Project Supplementary Information Booklet.
- For HAP coordination, elevator access added to mechanical room on roof, which has increased the height of the Rooftop Structure.
- Addition massing and facade design updated in response to ARS Comments #2, #23, #24, and #25. See other facade changes, the Response Letter, and Sections 10 and 11 of the Large Project Supplementary Information Booklet for additional information and rationale.

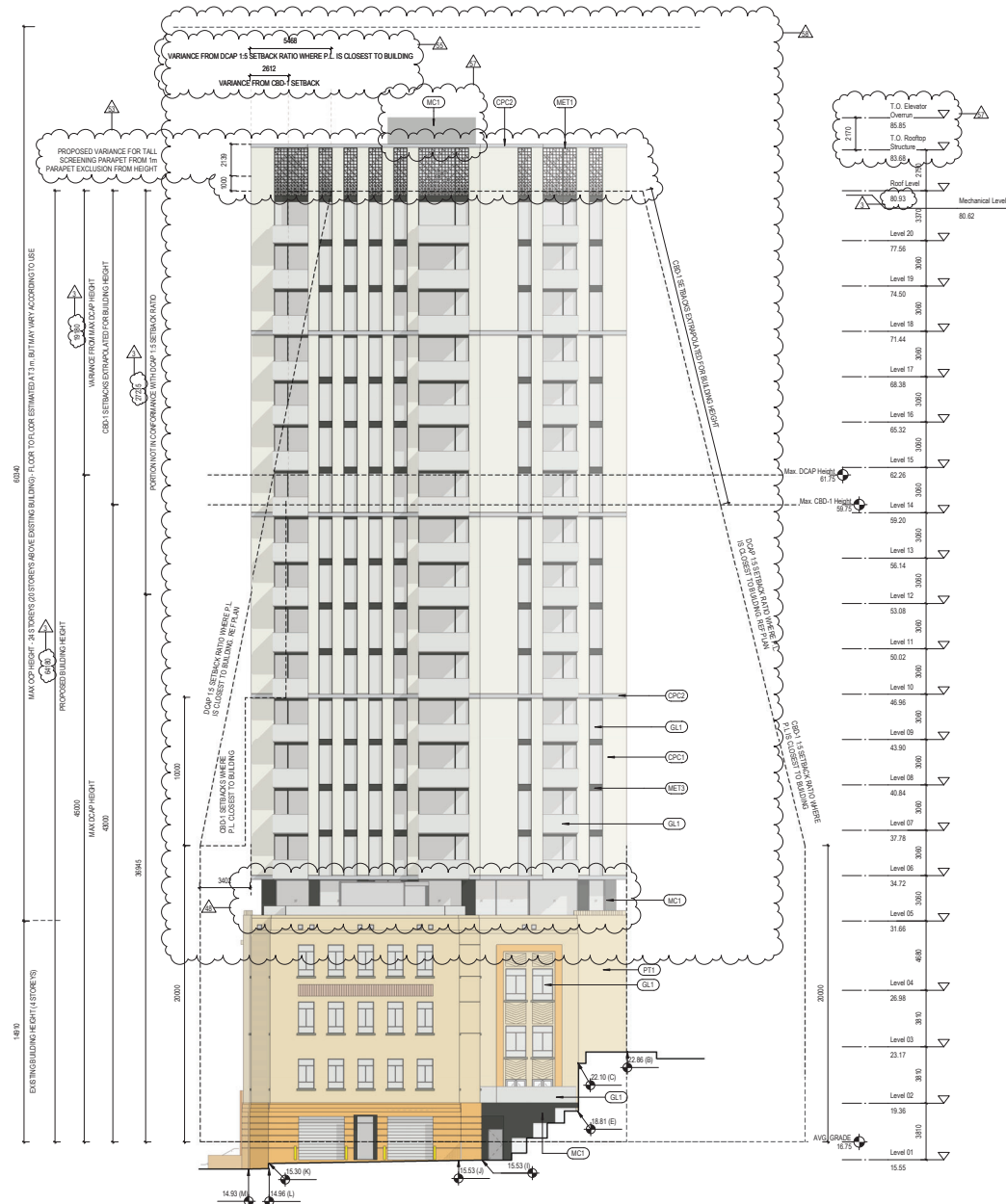
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

EAST ELEVATION

1:150

A202



©2023 omb & its clients. The documents and design are an instrument of service and all other matter the exclusive property of omb. All design and related information in whole or in part shown on these documents are for the express use of the project and are not to be used for any other purpose without the express written consent of omb. Dimensions may not be scaled from the documents. Drawing shall only be relied upon for pricing, estimating or costing. omb shall not be held responsible for the accuracy or completeness of any existing information shown herein. Any person using the drawing shall be responsible for verifying all existing dimensions and conditions on site. This drawing is to be used in conjunction with the Contract Documents.



DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-04-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RE-SUBMISSION

REVISIONS

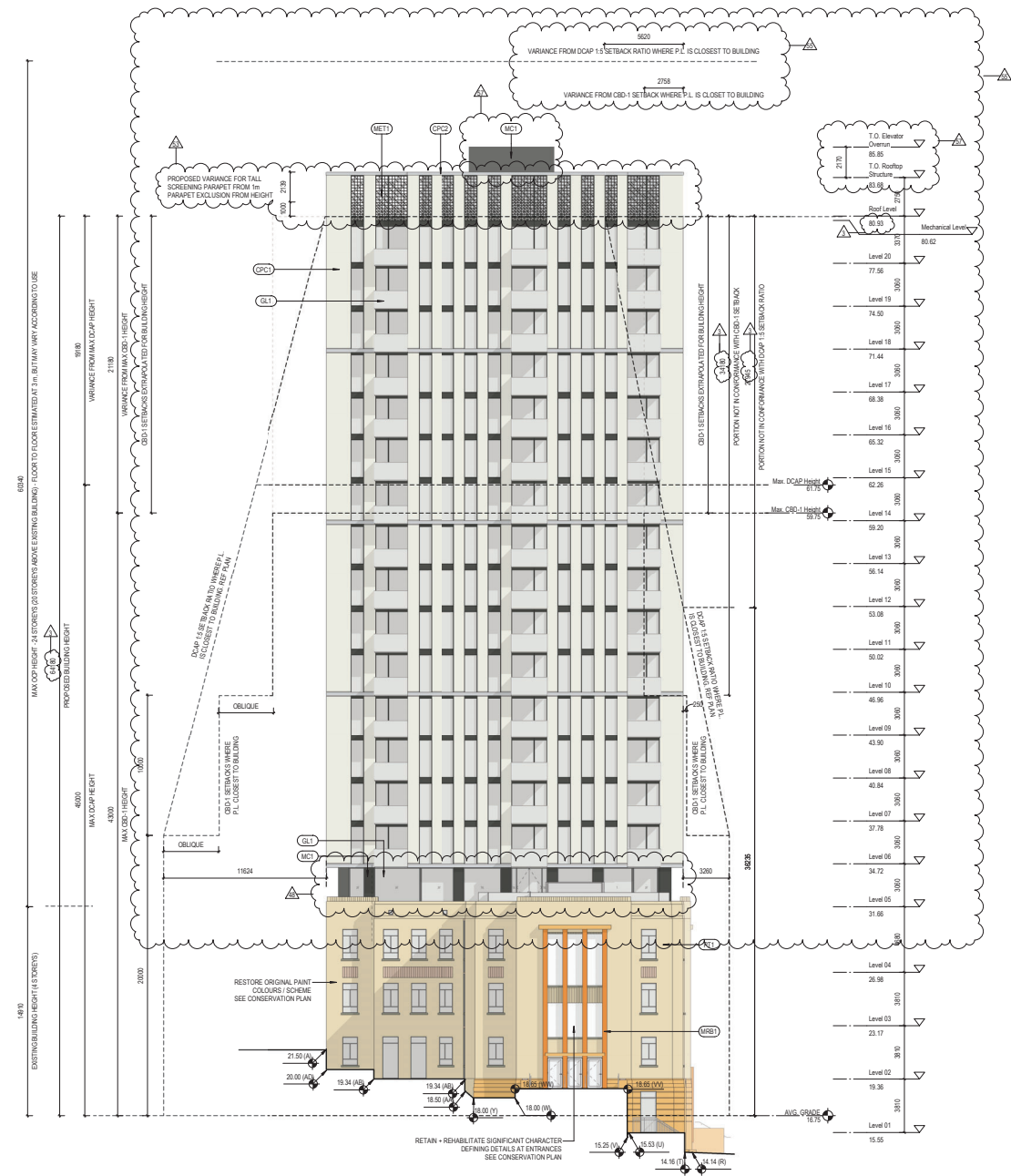
- 3 Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.
- 49 The inset face of the glazed facade at Level 05 has been updated for the revised building massing and in response to ARS Comment #23. See additional visualizations and rationale in response Letter and Sections 10 and 11 of the Large Project Supplementary Information Booklet.
- 53 Tail screening parapet proposed as part of heritage sensitive design and in response to ARS Comment #23. See additional rationale in Response Letter, Heritage Conservation Plan, and Large Project Supplementary Information Booklet.
- 55 As part of the response to ARS Comment #22, the extent of variance from the zoning envelope defined by DCAAP and CED-1 have changed as a result of the shorter building with a slightly larger floor plate. For additional detail, see the Response Letter and Section 10 and 11 of the Large Project Supplementary Information Booklet.
- 57 For HAP coordination, Elevator access added to mechanical room on Roof, which has increased the height of the Roofing Structure.

MATERIAL PALETTE

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 CEMENTITIOUS PANEL CLADDING
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MT1 DARK METAL SCREEN
- MT2 POLISHED METAL
- MT3 DARK METAL SPANDREL PANEL
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME

MATERIAL LEGEND

- CPC1 CEMENTITIOUS PANEL CLADDING
- CPC2 PRECAST CONCRETE
- GL1 CLEAR GLASS
- MC1 METAL CLADDING
- MC2 PERFORATED METAL CLADDING
- MT1 DARK METAL SCREEN
- MT2 POLISHED METAL
- MT3 DARK METAL SPANDREL PANEL
- MR1 MARBLE CLADDING RESTORE MARBLE CLADDING AT ENTRANCE CONSISTENT WITH ORIGINAL DESIGN. SEE CONSERVATION PLAN
- PT1 PAINTED HERITAGE COLOUR SCHEME
- PT2 PAINTED HERITAGE COLOUR SCHEME
- SEE CONSERVATION PLAN



780 Blanshard - Rehabilitation - Addition

780 Blanshard Street, Victoria, BC
2019-039

WEST ELEVATION

1:150

A203

REVISIONS





2023-03-1

DATE	REV	ISSUE DESCRIPTION
2022-02-24	1	REZONING PRE-APPLICATION
2022-06-01	2	OPEN HOUSE PROGRESS SET
2022-06-21	3	REZONING APPLICATION
2023-03-23	4	HAP & REZONING RESUBMISSION

REVISIONS

3. Building Height reduced in response to ARS Comment #22. See additional analysis, rationale, and visualizations in Response Letter Sections 10 and 11 of the Large Project Supplementary Information Booklet.

57 For HAP coordination, Elevator access added to mechanical room on Deck, which has increased the height of the Deck. Structure.

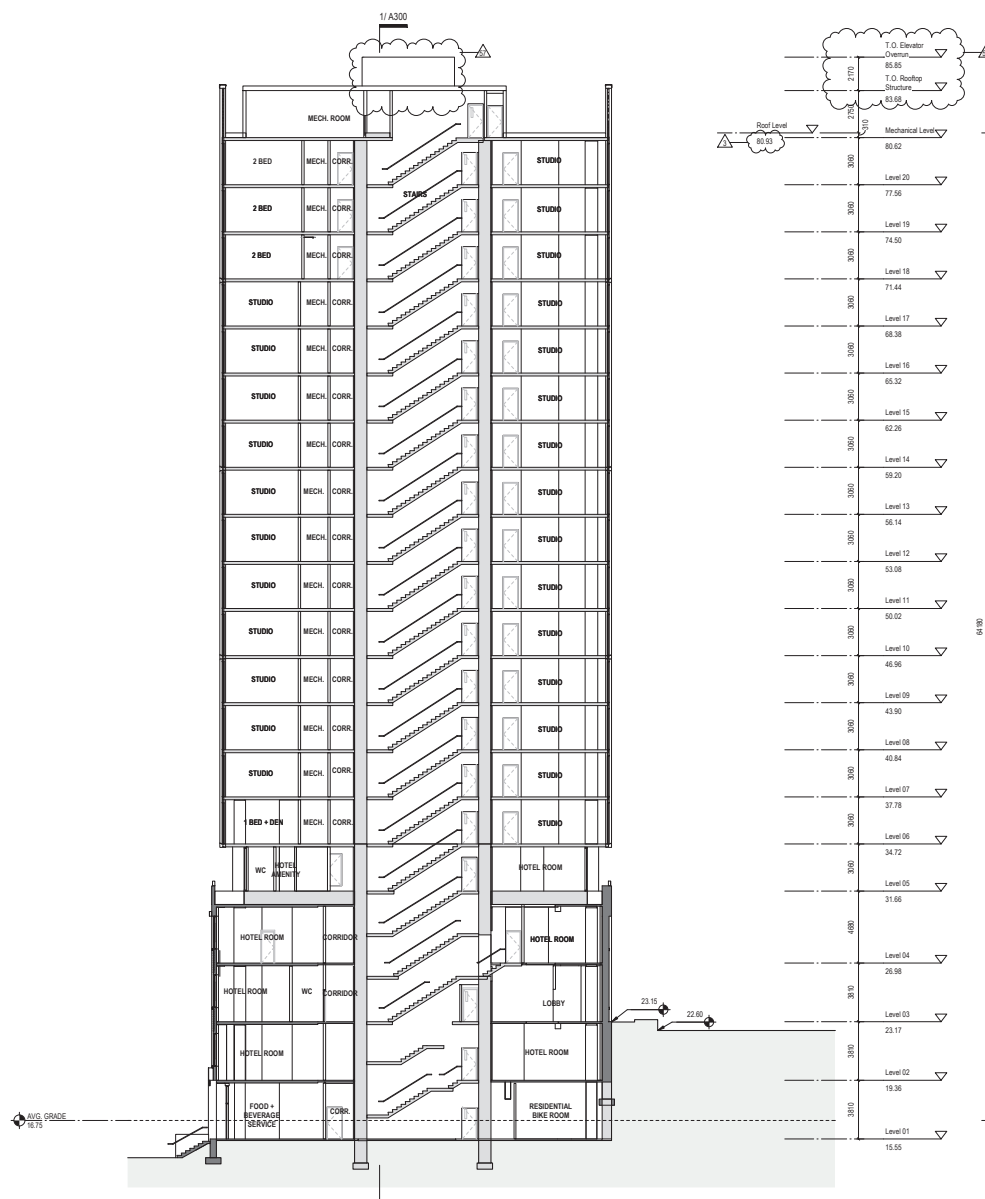
780 Blanshard - Rehabilitation + Addition

780 Blanshard Street, Victoria, BC
2019-039

BUILDING SECTION
NORTH-SOUTH

1 : 150

A301



780 BLANSHARD STREET

ISSUED FOR REZONING AND HERITAGE ALTERATION PERMIT

CLIENT:
RELANCE PROPERTIES LTD.

JUAN PEREIRA
juanp@relianceproperties.ca
604.694.8680

ARCHITECTS:
**OFFICE OF MCFARLANE BIGGAR ARCHITECTS +
DESIGNERS INC.**

MATTHEW BEALL
MBeall@officeomb.ca
604.558.6371

LANDSCAPE ARCHITECT:
**G|A LA GAUTHIER + ASSOCIATES LANDSCAPE
ARCHITECTS INC.**

BRYCE GAUTHIER
bryce@gauthierla.com
604.317.9682

RODRIGO RODRIGUES
rodrigo@gauthierla.com
778.714.0123

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0.0	COVER SHEET
L0.1	TREE SURVEY
L0.2	TREE MANAGEMENT PLAN
L0.3	DEMOLITION PLAN
L0.4	OVERALL IMPERMEABLE SURFACES OVERLAY
L1.0	OVERALL SITE PLAN
L1.1	WEST ENLARGEMENT PLAN
L1.2	NORTH ENLARGEMENT PLAN
L1.3	SOUTH ENLARGEMENT PLAN
L1.4	PENWILL GREEN PARK ENLARGEMENT PLAN
L1.5	OVERALL PLANTING PLAN
L1.6	OVERALL IRRIGATION PLAN
L1.7	PRECEDENT IMAGES
L2.0	LEVEL 5: MATERIALS AND LAYOUT PLAN
L3.0	PRECEDENT IMAGES
L4.0	SECTIONS
L4.1	SECTIONS

TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES;
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF A CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BY LAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES, GREATER THAN 60CM OF 3 OTHER SPECIES, ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
 17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
 18. A SIGNIFICANT TREE;
 19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
 20. A TREE ON A STEEP SLOPE;
 21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
 22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 9M);
 23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
 24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
 25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
 26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.





TYPICAL TREE PROTECTION FOR VICTORIA

1. THE HOLDER OF THE PERMIT MUST COMPLY WITH THE FOLLOWING CONDITIONS:
2. BEFORE EXCAVATION, BLASTING, CONSTRUCTION, OR OTHER TREE-DAMAGING ACTIVITY IS CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES, THE PERMIT HOLDER MUST INSTALL A FENCE OF AT LEAST 1.2M HIGH, OR TAKE OTHER PROTECTIVE MEASURES APPROVED BY THE DIRECTOR, TO SEPARATE THAT LAND FROM THE REMAINDER OF THE PROTECTED ROOT ZONE OF A TREE TO WHICH THE PERMIT APPLIES.
3. THE PERMIT HOLDER MUST CONTINUOUSLY MAINTAIN THE FENCE OR OTHER PROTECTIVE MEASURE UNTIL THE COMPLETION OF THE WORK PROPOSED TO BE CARRIED OUT ON THE LAND TO WHICH THE PERMIT APPLIES;
4. THE PERMIT HOLDER MUST POST AND CONTINUOUSLY MAINTAIN ON THE FENCE OR OTHER PROTECTIVE MEASURE AN ALL-WEATHER SIGN STATING "PROTECTED ROOT ZONE - NO ENTRY";
5. IF TREE ROOTS ARE CUT BY EXCAVATION, THE PERMIT HOLDER MUST IMMEDIATELY WRAP THE REMAINING ROOTS IN A ROOT CURTAIN OF WIRE MESH LINED WITH BURLAP SURROUNDED BY POSTS;
6. THE PERMIT HOLDER MUST CONTINUOUSLY KEEP ROOT CURTAIN OF WIRE MESH MOIST THROUGHOUT THE HOLDER'S CONSTRUCTION PROCESS;
7. THE PERMIT HOLDER MAY PRUNE AND CUT A PROTECTED TREE'S BRANCHES, LIMBS, OR ROOTS ONLY UNDER THE SUPERVISION OF A CERTIFIED ARBORIST;
8. IF THE PERMIT HOLDER CUTS DOWN OR REMOVES A PROTECTED TREE OR A PROTECTED SEEDLING, THE PERMIT HOLDER MUST PLANT AND MAINTAIN TWO REPLACEMENT TREES OR SEEDLINGS OF THE FOLLOWING:
 9. OF THE SAME SPECIES AND IN THE SAME LOCATION AS THAT CUT DOWN OR REMOVED, OR OF A DIFFERENT SPECIES AUTHORIZED BY THE DIRECTOR IN ACCORDANCE WITH ACCEPTED ARBORICULTURAL PRACTICES, AND
 10. THAT HAVE AT LEAST ONE OF THE FOLLOWING SIZES:
 11. A HEIGHT OF AT LEAST 1.5M PLANTED OR A DIAMETER OF AT LEAST 4CM,
 12. WHICH, IF REPLACEMENTS FOR THE TREE SPECIES ARBUTUS MENZIESII, MUST BE CONTAINED IN A #5 POT WHEN ACQUIRED FROM A NURSERY OR A LANDSCAPER-SUPPLIER.
13. BYLAW APPLIES TO ALL LANDS IN CITY.
14. PERMIT REQUIRED FOR CUTTING PROTECTED TREE SIZE/TYPE OF ANY SIZE TREE OF 4 SPECIES; GREATER THAN 60CM OF 3 OTHER SPECIES; ANY TREE GREATER THAN 80CM; SIGNIFICANT TREES (INVENTORY); RETAINED OR COVENANTED TREES; TREES ON A STEEP SLOPE.
15. REPLACEMENT TREES ARE REQUIRED, MINIMUM 2:1.
16. THE FOLLOWING SPECIES ARE PROTECTED:
 17. GARRY OAK (QUERCUS GARRYANA), ARBUTUS (ARBUTUS MENZIESII), PACIFIC YEW (TAXUS BREVIFOLIA) OVER 50CM IN HT, PACIFIC DOGWOOD (CORNUS NUTTALLII), DOUGLAS FIR (PSEUDOTSUGA MENZIESII) OVER 60CM IN TRUNK DIAMETER, WESTERN RED CEDAR (THUJA PLICATA) OVER 60CM IN TRUNK DIAMETER, BIG LEAF MAPLE (ACER MACROPHYLLUM) OVER 60CM IN TRUNK DIAMETER;
 18. A SIGNIFICANT TREE;
 19. ANY TREE OVER 80CM IN TRUNK DIAMETER;
 20. A TREE ON A STEEP SLOPE;
 21. A TREE THAT IS RETAINED VOLUNTARILY BY THE OWNER AS PART OF AN APPLICATION FOR A PERMIT THAT WOULD AFFECT THE TREE, AND IS PROTECTED BY A RESTRICTIVE COVENANT IN FAVOUR OF THE CITY;
 22. THE FOLLOWING TREE SEEDLINGS ARE PROTECTED (YOUNG, INDEPENDENT, LIVING, ERECT, WOODY PLANT THAT HAS A HT OF MORE THAN 50CM AND LESS THAN 5M);
 23. GARRY OAK (QUERCUS GARRYANA), PACIFIC DOGWOOD (CORNUS NUTTALLII), ARBUTUS (ARBUTUS MENZIESII);
 24. TO MINIMIZE ROOT DAMAGE, SOIL EROSION AND TREE DISTURBANCE, WRAP A TEMPORARY ROOT CURTAIN AROUND ROOT ZONE TO RETAIN AND PROTECT THE EXPOSED AREA, WHICH ROOT CURTAIN IS TO CONSIST OF HEAVY WIRE MESH OR SIMILAR MATERIAL LINED WITH BURLAP AND SUPPORTED BY POSTS;
 25. IF REQUIRED BY THE DIRECTOR OF PLANNING, TUNNEL, RATHER THAN TRENCH WHEN INSTALLING UNDERGROUND UTILITIES AND DRAINAGE LINES, WHICH TECHNIQUE INCLUDES BORING A HOLE UNDER OR THROUGH THE ROOT SYSTEM WITHIN MINIMUM DISTURBANCE, CARRY OUT ANY EXCAVATION WITHIN THE TREE PROTECTION AREA TO ACCOMMODATE UNDERGROUND INSTALLATIONS, INCLUDING SERVICES AND FOOTINGS, BY HAND, AND
 26. MAINTAIN SUCH PROTECTION BARRIER, REPAIR ANY DAMAGE TO IT, AND NOT ALTER OR REMOVE IT UNTIL CONSTRUCTION IS COMPLETE.

TREE MANAGEMENT PLAN

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE REMOVED
	TREE CANOPY OUTLINE
	PROTECTED ROOT ZONE
	EXISTING TREE TO BE RETAINED:
	TREE CANOPY OUTLINE
	PROTECTED ROOT ZONE
	EXISTING CURB LINE
	PROPOSED UTILITIES. REFER TO CIVIL
	EXISTING RETAINING WALL TO REMAIN
	EXISTING CONDITIONS
	TREE PROTECTION FENCE

all sidewalk and curbwork
to be supervised by the
project arborist



new water services
trenched by hydrovac and
supervised by the project
arborist

retaining wall excavation
to be supervised by the
project arborist.
Construction may require
grade beam and or helical
piles.

GENERAL DEMOLITION NOTES:

1. VEHICLES SHALL NOT BE PARKED OR PARKED TEMPORARILY STANDING IDLE WITHIN THE DRIP LINE OR WHERE DAMAGE MAY RESULT TO TREES TO BE SAVED. CONSTRUCTION MATERIALS SHALL NOT BE STORED BENEATH TREES TO BE SAVED.
2. THE CONTRACTOR SHALL SECURE ALL PERMITS THAT MAY BE REQUIRED FROM ALL JURISDICTIONS AFFECTED BY THIS WORK.
3. VERIFY THE LOCATION AND DIMENSION OF ITEMS TO BE REMOVED PRIOR TO COMMENCEMENT OF THE WORK.
4. ITEMS ENCOUNTERED BELOW GRADE AND NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
5. INITIATE BC ONE CALL PRIOR TO EXCAVATION; IDENTIFY AND PROTECT ALL EXISTING UTILITIES.
6. INSTALL TREE PROTECTION FENCING PRIOR TO EXCAVATION; PROTECT AND PRESERVE DRIP LINES OF TREES TO REMAIN AT ALL TIMES.
7. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXISTENCE, LOCATION, AND ELEVATION OF ALL UTILITIES AND CONCEALED STRUCTURES, AND IS RESPONSIBLE FOR NOTIFYING THE APPROPRIATE COMPANY, DEPARTMENT OR PERSON(S) OF ITS INTENTION TO CARRY OUT ITS OPERATIONS.
8. EXISTING PLANTS MAY BE REMOVED, PROTECTED AND REPLANTED AT THE LANDSCAPE ARCHITECTS DESCRETION.
9. ALL NEW CONCRETE MUST DRAIN TO EXISTING CATCH BASINS.
10. REFER TO CITY OF VICTORIA TREE PROTECTION GUIDELINE FOR TREE PROTECTION FENCING.
11. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
12. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
13. THE LAYOUT OF ALL PROPOSED HARDSCAPE ITEMS, SITE FURNITURE, LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
14. REFER TO CIVIL FOR EXCAVATION DEPTHS, BACKFILL, AND BASE MATERIAL FOR ALL LANDSCAPE ITEMS SHOWN ON PLAN.
15. SLOPE SHALL MATCH EXISTING GRADE ALONG ALL PROPERTY LINES.
16. REMOVE DEMOLISHED MATERIALS FROM SITE. DISPOSAL BY BURNING AND/OR BURYING IS PROHIBITED.
17. ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS SHALL BE PROTECTED TO PREVENT TRACKING MUD ONTO PUBLIC WAYS. ANY MUD ON PUBLIC WAYS ORIGINATING FROM THE JOB SITE SHALL BE CLEANED BY CONTRACTOR. PROVIDE DUST CONTROL, AS APPROVED BY LANDSCAPE ARCHITECT.
18. ALL REFUSE, DEBRIS AND MISCELLANEOUS ITEMS TO BE REMOVED, THAT ARE NOT TO BE STOCKPILED FOR LATER USE ON THE PROJECT OR DELIVERED TO THE OWNER SHALL BE LEGALLY DISPOSED OF OFF-SITE BY THE CONTRACTOR.
19. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING CONDITIONS THAT ARE DUE TO CONTRACTOR OPERATIONS AND WHICH ARE OUTSIDE THE LIMIT OF WORK.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES, SHRUBS AND TURF DESIGNATED TO REMAIN FOR THE LENGTH OF THE CONSTRUCTION PERIOD.

DEMOLITION LEGEND

SYMBOL	DESCRIPTION
	EXTENT OF DEMOLITION
	AREA TO BE PROTECTED





IMPERMEABLE X ABSORBENT SURFACES LEGEND

TOTAL AREA: 2272.36 m²



IMPERMEABLE SURFACES AND BUILDINGS
1797.76 m² (79.55%)



ABSORBENT SURFACES
464.67 m² (20.45%)



G | ALA

Gauthier + Associates Landscape Architects Inc.

K Issued for Rezoning & Heritage Alteration Permit 23-04-13

780 Blanshard Street
Victoria, BC

Reliance Properties
2148

L0.4

OVERALL IMPERMEABLE SURFACES
OVERLAY

LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48"x48"
		CIP CONCRETE RETAINING WALLS & SEATING

	BUS SHELTER
	STAIRS
	BIKE REPAIR STATION





LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x 48"
		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF STAIRS ELEVATION
	BOTTOM OF STAIRS ELEVATION
	TOP OF BENCH ELEVATION
	TOP OF RAMP ELEVATION
	BOTTOM OF RAMP ELEVATION
	BUILDING GRADE ELEVATION
	TOP OF FENCE ELEVATION
	TOP OF CURB ELEVATION
	SLOPE AND DIRECTION



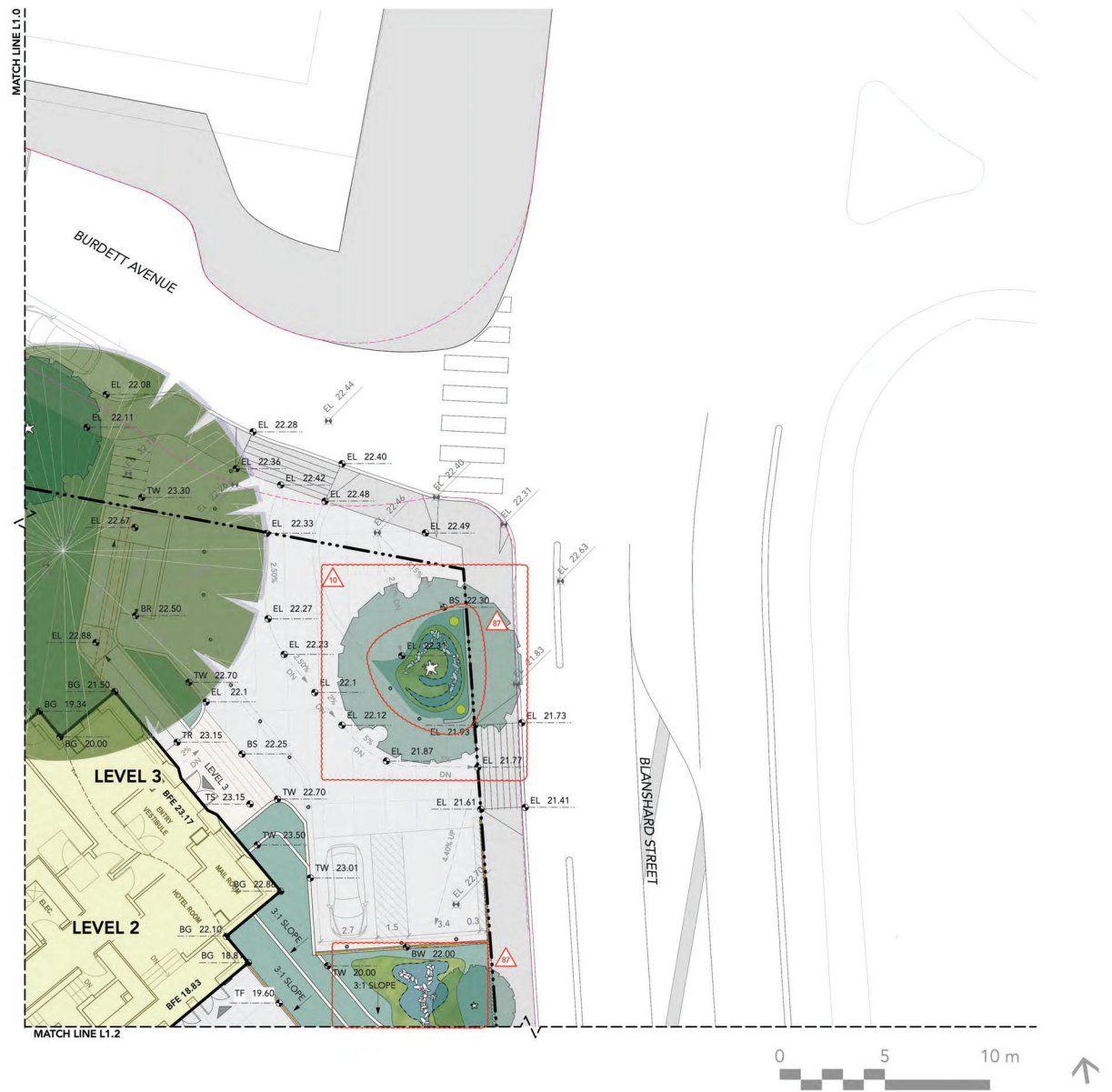


LEGEND

SYMBOL	QTY	DESCRIPTION
		EXISTING CURB LINE
		PAVING TYPE 1 CIP Concrete Sidewalk With Broom Finish Saw-cuts, CoV SSD, as per New Town Design
		PAVING TYPE 2 Concrete Unit Pavers, 225mm x 75mm x 60mm, as per New Town Design
		PLANTING TYPE 1 Garry Oak Ecosystem
		PLANTING TYPE 2 Rain Gardens, 18" maximum depth
		EXISTING RETAINING WALL TO REMAIN
		SITE FURNISHING Bollard as per New Town Public Realm design.
		SITE FURNISHING Heritage Light Fixtures as per New Town Public Realm design.
		SITE FURNISHING Moveable Cafe Table + Chairs
		SITE FURNISHING Public Art Feature
		SITE FURNISHING Zoe Bike Racks by Sholto Design Studio
		SITE FURNISHING Tree Grate as per City of Victoria Standards, 48" x 48"
		CIP CONCRETE RETAINING WALLS & SEATING
		BUS SHELTER
		STAIRS
		BIKE REPAIR STATION

GRADING LEGEND

SYMBOL	DESCRIPTION
	PROPOSED ELEVATION
	EXISTING ELEVATION
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	TOP OF STAIRS ELEVATION
	BOTTOM OF STAIRS ELEVATION
	TOP OF BENCH ELEVATION
	TOP OF RAMP ELEVATION
	BOTTOM OF RAMP ELEVATION
	BUILDING GRADE ELEVATION
	TOP OF FENCE ELEVATION
	TOP OF CURB ELEVATION
	SLOPE AND DIRECTION



PLANT IMAGES

TREES



Arbutus menziesii
Arbutus



Cedrus deodara
Cedar



Quercus garryana
Garry Oak

SHRUBS



Gaultheria shallon
Salal



Physocarpus opulifolius
Ninebark



Rhododendron menziesii
False Azalea



Rhododendron x 'Purple Gem'
Purple Gem Rhododendron

PERENNIALS, GRASSES, GROUNDCOVER



Adiantum venustum
Evergreen Maidenhair Fern



Actostaphylos uva-ursi
Bearberry, Kinnikinnick



Blechnum spicant
Deer Fern



Carex obovata
Slough Sedge



Deschampsia caespitosa 'Northern Light'
Northern Lights Tufted Hair Grass



Juncus effusus
Soft Common Rush



Leymus mollis
Dune Grass



Oxalis oregana
Rewood Sorrel



Polystichum munitum
Western Sword Fern



Akebia quinata
Chocolate Vine

GENERAL PLANTING NOTES:

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. ALL TREE AND SHRUB AREAS TO BE MULCHED WITH 50MM (2") OF MEDIUM FINE MULCH, LESS THAN 50MM (2") DIAMETER.
3. ROOTZONE TO REST ON TAMPED PLANTING SOIL.
4. SHRUBS: PREPARE PLANTING HOLES AS SPECIFIED. PLANT AT THE SAME GRADE AS NURSERY. WATER AND FERTILIZE AS SPECIFIED. ENSURE POSITIVE DRAINAGE THROUGHOUT PLANTING BED.
5. TREE SIZE AND SPACING TO BE AS PER CITY OF VANCOUVER ARBORIST.
6. TREE: PREPARE PLANTING HOLES AS SPECIFIED. INSTALL TOP OF ROOTZONE 6" ABOVE FINISHED GRADE OF GROWING MEDIUM. WATER AND FERTILIZE AS SPECIFIED BY NURSERY.
7. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION SPACING TO BE APPROVED BY LANDSCAPE ARCHITECTS IN THE FIELD PRIOR TO INSTALLATION.
8. IN CASE OF A DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
9. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
10. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY OF VANCOUVER STANDARDS. INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
11. FINAL PLANT SPACING, QUANTITY AND TREE PLACEMENT HAS BEEN REVIEWED TO THE SATISFACTION OF GENERAL MANAGER OF ENGINEERING SERVICES.

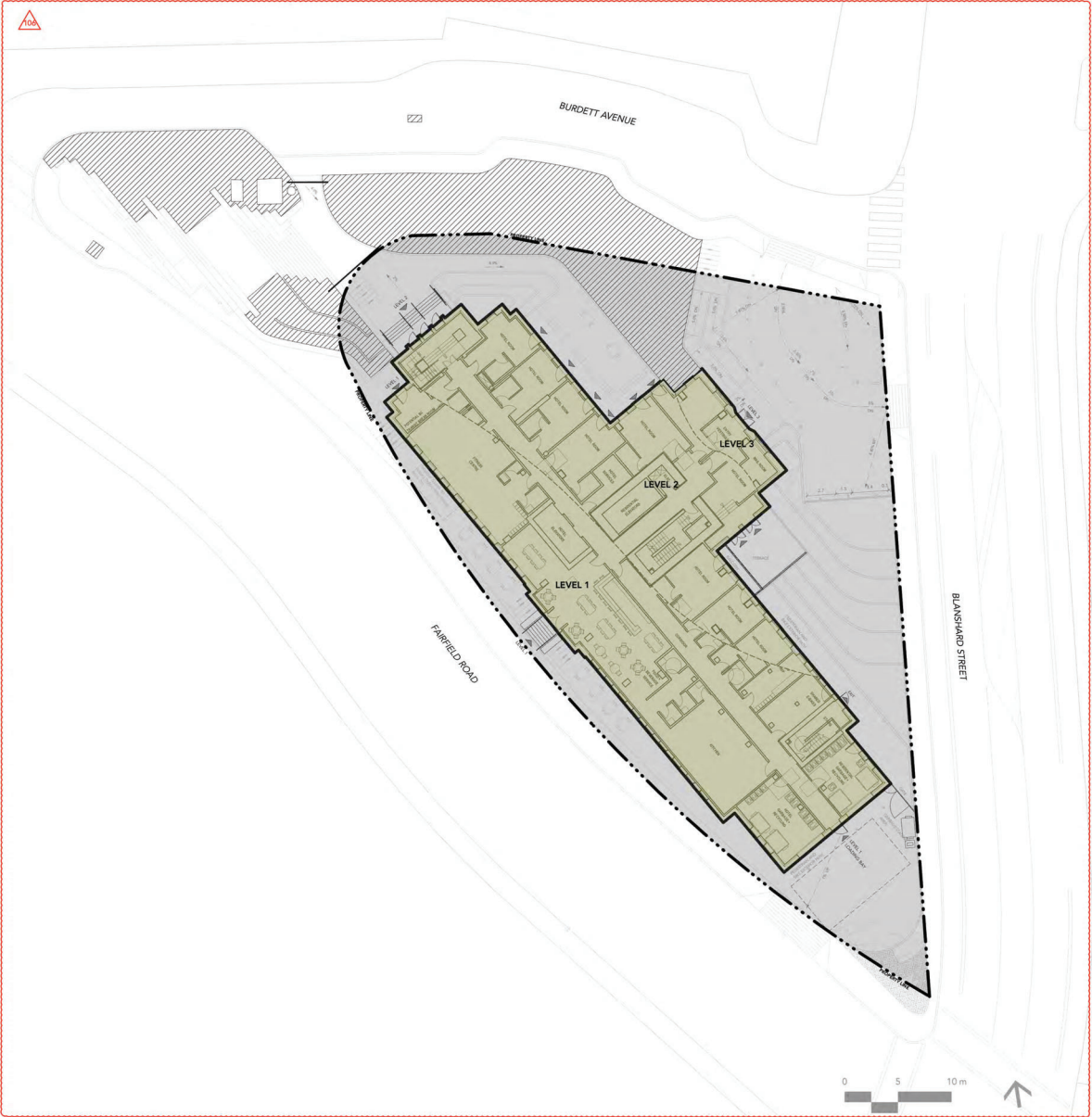


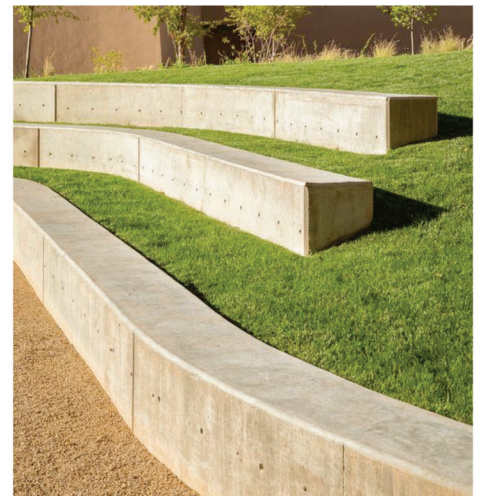
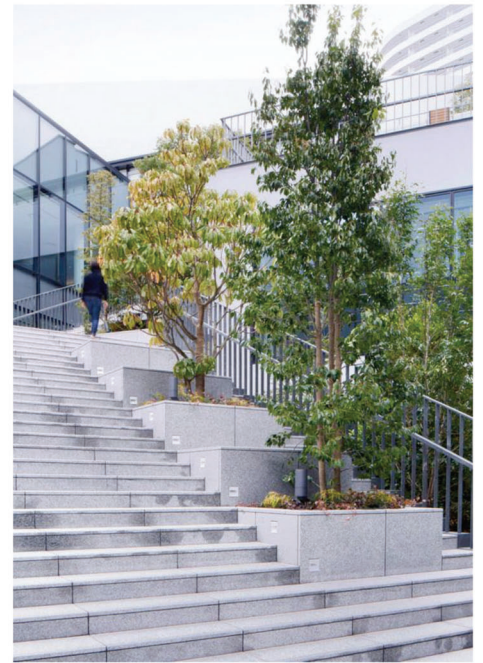
GENERAL IRRIGATION NOTES:

1. INSTALL POP-UP SPRINKLER HEADS POSITIONED WITHIN SHRUB OR GROUND COVER AREAS WITH THE TOP OF SPRINKLER ABOVE FINISH GRADE AS SHOWN IN THE DETAILS
2. SET SPRINKLER HEADS PERPENDICULAR TO FINISH GRADE OF AREA TO IRRIGATED UNLESS INDICATED OTHERWISE ON THE DRAWINGS
3. SPRINKLER SYSTEM WILL BE BASED ON MINIMUM PRESSURE AND MAXIMUM FLOW DEMAND SHOWN ON IRRIGATION DRAWINGS. VERIFY PERMANENT WATER PRESSURE BEFORE THE START OF CONSTRUCTION. REPORT DIFFERENCES BETWEEN WATER PRESSURE INDICATED ON DRAWINGS AND ACTUAL SITE PRESSURE READING AT IRRIGATION POINT-OF-CONNECTION TO OWNER'S AUTHORIZED REPRESENTATIVE FOR RESOLUTION. IN THE EVENT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, ASSUME ALL RESPONSIBILITY FOR REVISIONS.
4. FLUSH AND ADJUST SPRINKLER HEADS FOR OPTIMUM PERFORMANCE. PREVENT OVERSPRAY ONTO WALKS, ROADWAYS, WALLS, FENCES AND BUILDINGS. SELECT THE MOST APPROPRIATE PART CIRCLE PATTERN NOZZLE TO FIT THE SITE CONDITIONS AND THROTTLE THE FLOW CONTROL ADJUSTMENT AT EACH CONTROL VALVE TO OBTAIN OPTIMUM SPRINKLER HEAD PRESSURE.
5. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BECOME FAMILIAR WITH GRADE DIFFERENCES, WALL/HARDSCAPE LOCATIONS, ETC. COORDINATE WORK FOR THE INSTALLATION OF IRRIGATION PIPE SLEEVES THROUGH WALLS, UNDER PAVEMENT AND STRUCTURES ETC.
6. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF SUFFICIENTLY SIZED SLEEVES FOR CONTROL WIRES AND NON-PRESSURE LATERAL LINE PIPING UNDER PAVED AREAS, IN ADDITION TO CONTROL WIRES AND LATERAL LINE PIPING SLEEVES SHOWN ON THE DRAWINGS.
7. TEST ALL PRESSURE MAIN LINES UNDER HYDROSTATIC PRESSURE OF 150 PSI FOR PERIOD OF 3 HOURS. TESTING OF PRESSURE MAIN LINE PIPING SHALL OCCUR PRIOR TO THE INSTALLATION OF ANY ELECTRONIC CONTROL VALVE, BASKET STRAINERS, QUICK COUPLING VALVES AND OTHER PRESSURE-SIDE IRRIGATION FACILITIES. PRESSURE TESTING RESULTS SHALL BE SUBMITTED TO LANDSCAPE ARCHITECT
8. REFER TO PLANTING LEGEND FOR PLANT MATERIAL NAMES, ABBREVIATIONS, SPECIFIC SIZES, ON-CENTRE SPACING, AND ADDITIONAL INFORMATION.
9. DO NOT INSTALL DRIPLINE TUBING UNDER PAVED SURFACES. CONNECT DRIPLINE TUBING TO SCHEDULE 40 PVC LATERAL LINE PIPING FOR ROUTING UNDER PAVED SURFACES AND SCHEDULE 80 PVC PIPING ROUTING THROUGH PLANTER WALLS. ADAPT DRIPLINE TUBING TO PVC PIPING AS REQUIRED WITH COMPRESSION ADAPTER FITTINGS
10. CONNECT DRIPLINE PIPING TO PRESSURE REGULATOR UNITS WITH SCHEDULE 40 PVC MALE ADAPTER FITTINGS AND COMPRESSION ADAPTER FITTINGS.
11. PROVIDE COMPRESSION SERIES FITTINGS FOR TUBING CONNECTIONS AND CONNECTIONS TO PVC PIPING AS INDICATED IN THE EQUIPMENT LEGEND IN THIS SHEET. THE IRRIGATION DESIGN SHALL BE DONE BY A LICENSED IRRIGATION CONTRACTOR AND BE FULLY COMPLIANT WITH THE CONSULTANT'S SPECIFICATIONS. THE LANDSCAPE OR GENERAL CONTRACTOR SHALL SUBMIT THE IRRIGATION DESIGN AS A SHOP DRAWING FOR REVIEW BY THE LANDSCAPE ARCHITECT AT LEAST TWO MONTHS PRIOR TO INSTALLATION. NO WORK SHALL BEGIN UNTIL THE SHOP DRAWING IS APPROVED BY THE LANDSCAPE ARCHITECT. THE SHOP DRAWINGS MUST BE COMPLIANT WITH ALL MUNICIPAL BYLAWS AND PROVINCIAL HEALTH AND BUILDING CODES.
12. SYSTEM TO BE DESIGN BUILD. CONTRACTOR SHALL REFER TO SPECIFICATIONS FOR ALL WORK.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS FOR ALL COMPLETED WORK ONCE APPROVED BY LANDSCAPE ARCHITECT.
14. ALL PIPE TO BE SCHEDULE 40.
15. IRRIGATION CONTROLLER TO BE INSTALLED IN VANDAL RESISTANT METAL LOCK BOX.
16. INSTALL PRECISION SOIL SENSOR ON SYSTEM
17. ALL PIPING RUNS ARE DIAGRAMMATIC, AVOID TRENCHING NEAR EXISTING TREE DRIP LINE.
18. UNLESS OTHERWISE NOTED ON THE DRAWINGS, THE IRRIGATION SYSTEM SHALL BE DESIGNED AT 65PSI AND 18GPM.
19. THE SYSTEM SHALL INCLUDE A RAIN SENSOR.
20. THE SYSTEM SHALL BE A HIGH EFFICIENCY SYSTEM WITH A BUILT-IN RAIN SENSOR.
21. ALL IRRIGATION WORK, INCLUDING REQUIRED INSPECTIONS, SHALL FOLLOW THE SUPPLEMENTARY SPECIFICATIONS FOR STREET TREES AND IRRIGATION, SCHEDULE C TO THE VICTORIA SUBDIVISION AND DEVELOPMENT SERVICING BYLAW 12-042, AND COMPLY WITH THE IRRIGATION INDUSTRY ASSOCIATION OF BC STANDARDS.
22. IRRIGATION INSPECTIONS REQUIRED FOR ALL SLEEVING, OPEN TRENCH MAINLINE AND LATERAL LINES, SYSTEM OPERATION, CONTROLLER AND BACKFLOW PREVENTER (INCL. INSPECTION TAG AND TESTING REPORT).
23. IRRIGATION DESIGN SHALL BE SUBMITTED FOR REVIEW AND APPROVAL TO CITY OF VICTORIA PARKS NO LESS THAN 30 DAYS PRIOR TO SCHEDULED INSTALLATION.

IRRIGATION LEGEND

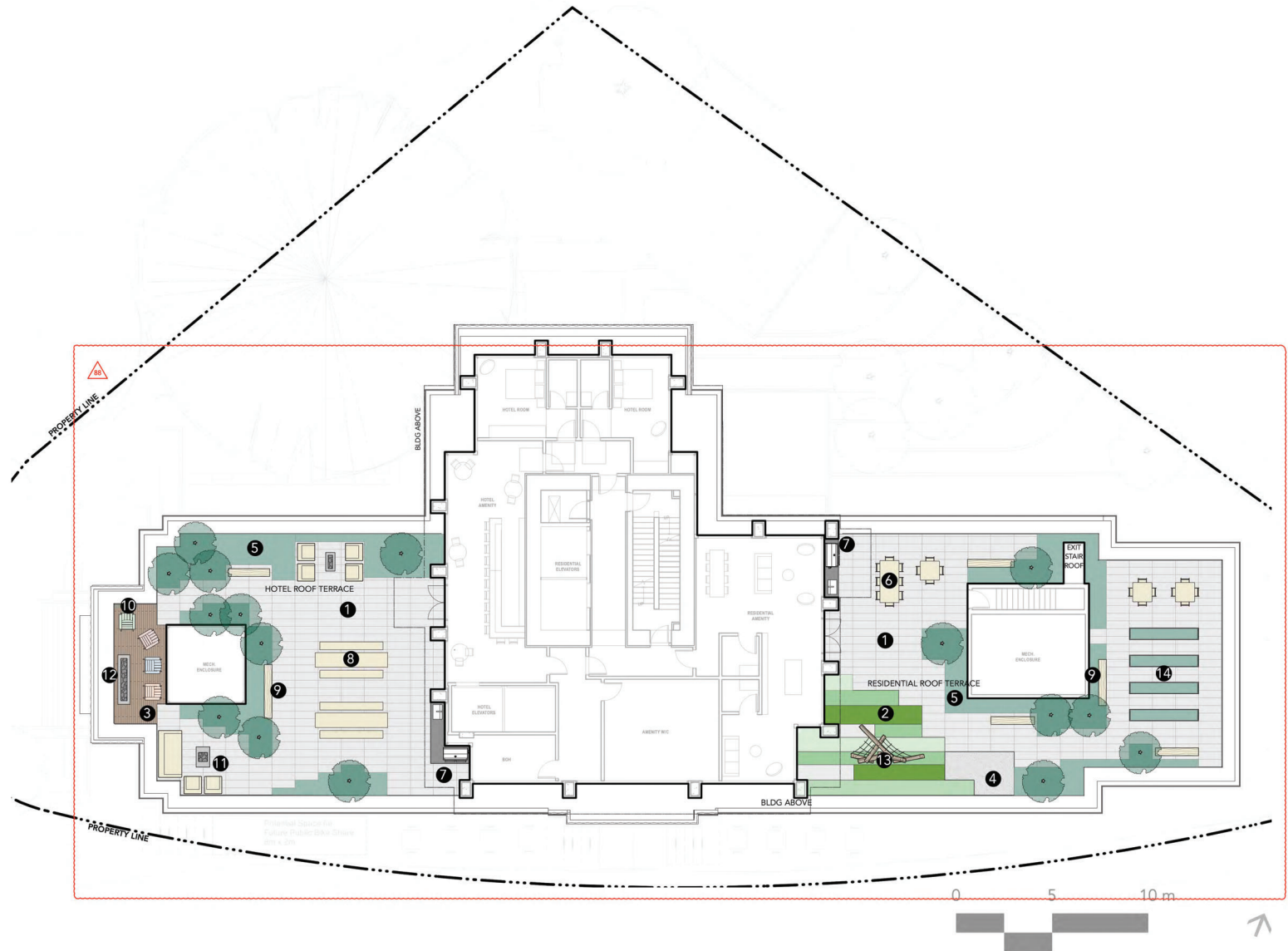
SYMBOL	DESCRIPTION
	IRRIGATION SLEEVE FOR IRRIGATION CONDUIT
	RAISED / RECESSED PLANTER AREA TO BE IRRIGATED





LEGEND

SYMBOL	DESCRIPTION
	1 PAVING TYPE 3 Unit Pavers
	2 PAVING TYPE 4 PIP Rubber Surface
	3 PAVING TYPE 5 Thermally Modified Wood Decking
	4 PAVING TYPE 6 Play Sand
	5 PLANTING TYPE 1 Garry Oak Ecosystem
	6 MOVEABLE FURNITURE
	7 BBQ AND OUTDOOR FOOD SERVICE COUNTER
	8 HARVEST TABLE
	9 SEATING TYPE 1 Timber Bench
	10 SEATING TYPE 2 Coloured Americana Outdoor Chair
	11 SEATING TYPE 3 Outdoor Patio Furniture
	12 FIRE PIT Product TBD
	13 PLAY STRUCTURE
	14 URBAN AGRICULTURE PLOTS Product TBD





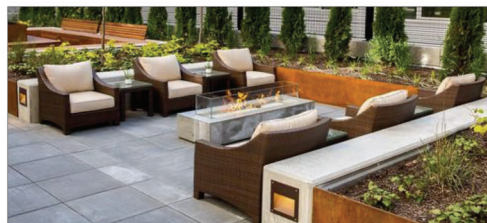
1) PRE-CAST CONCRETE PAVERS INTEGRATED WITH PLANTING



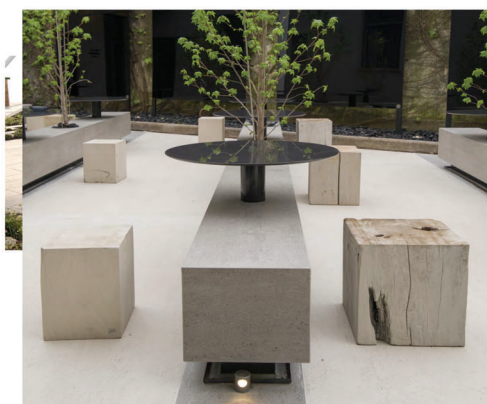
7) MOVEABLE OUTDOOR CHAIRS



4) BBQ AND OUTDOOR FOOD SERVICE COUNTER



8) OUTDOOR PATIO FURNITURE

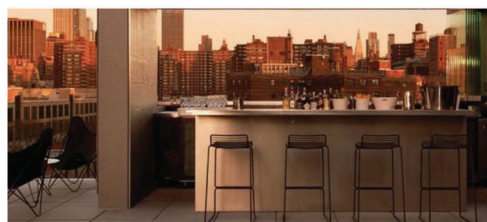


KEON – TECH COLLECTION BY DEKTON
USED AS COUNTER TOP FOR OUTDOOR KITCHEN



5) HARVEST TABLE

DOMOOS – SOLID COLLECTION BY DEKTON
USED UNDER THE COUNTER TO HIDE MECHANICS FROM BARBECUE AND SINK + SEATING AREA



4) OUTDOOR BBQ + BAR STOOL SEATING



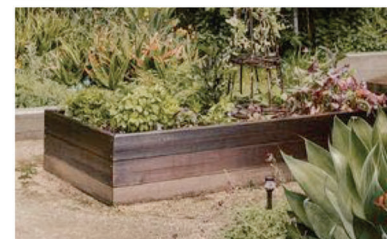
9) FIRE PIT



2) PIP RUBBER SURFACE / SANDPLAY AREA



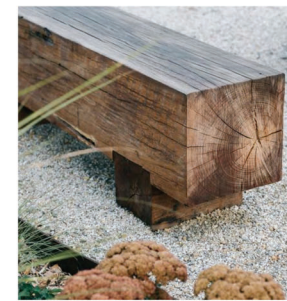
3) WOOD DECKING



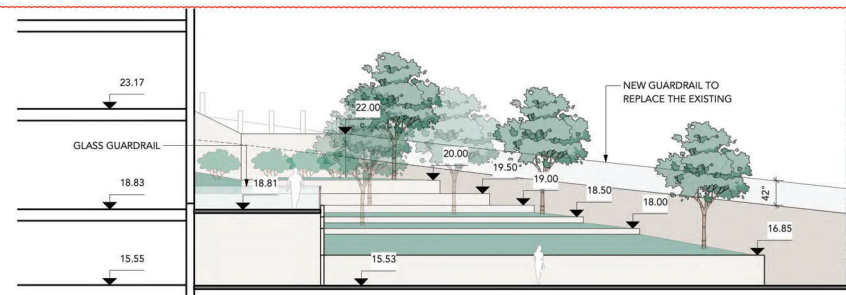
10) URBAN AGRICULTURE



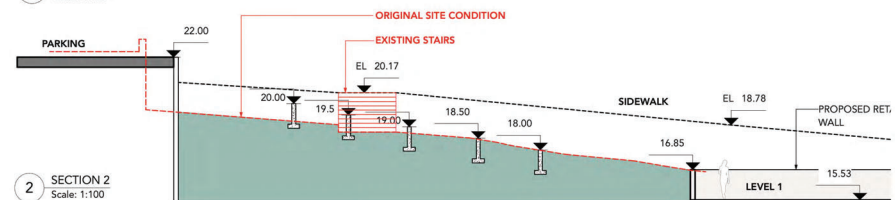
10) PLAYGROUND WOOD CLIMBING STRUCTURE



6) TIMBER BENCH



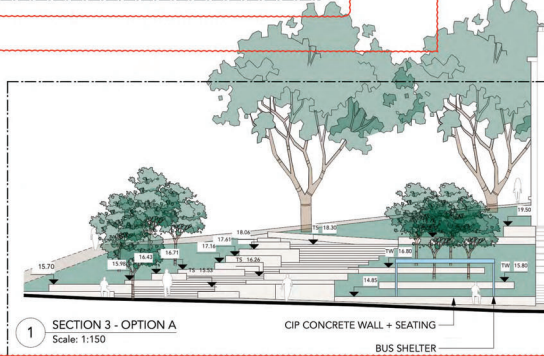
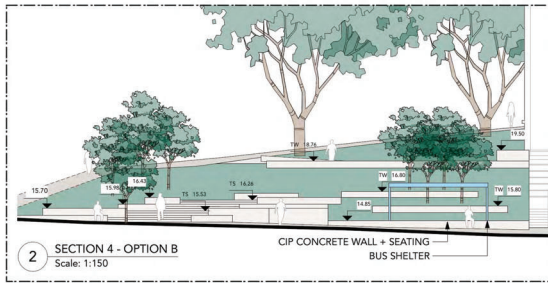
1 SECTION 1
Scale: 1:100



2 SECTION 2
Scale: 1:100



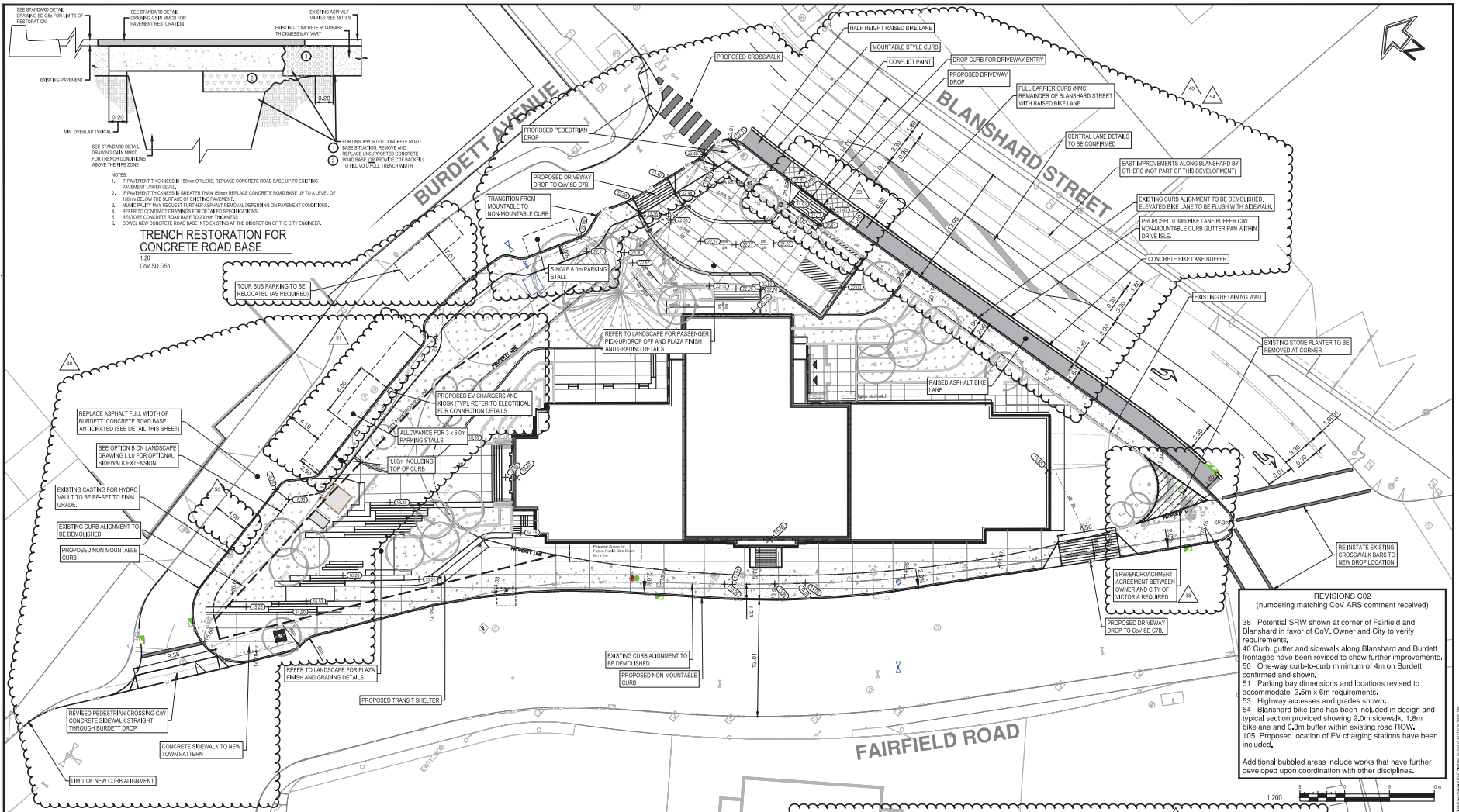
3 SECTIONS 3
Scale: 1:100



ENGINEERING NOTES:

- ALL CONSTRUCTION AND MATERIALS TO BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY OF VICTORIA SPECIFICATIONS, MASTER MUNICIPAL CONSTRUCTION (MMC) PLATINUM EDITION, AND THESE DRAWINGS.
- ALL CONSTRUCTION SURVEY LAYOUT TO BE PROVIDED BY THE CONTRACTOR.
- PERMIT TO CONSTRUCTION WORKS ON CITY RIGHT-OF-WAY MUST BE OBTAINED FROM THE CITY ENGINEERING DEPARTMENT BEFORE WORK COMMENCEMENT. NOTIFICATION CITY OF VICTORIA 48 HOURS PRIOR TO CONSTRUCTION.
- ALL SERVICE LOCATIONS AND CROSSINGS ARE NOT GUARANTEED AS TO THEIR ACCURACY. LOCATIONS ON ALL EXISTING SERVICES, FEATURES AND APPURTENANCES SHOWN ON THE DRAWINGS ARE TO BE CONSIDERED APPROXIMATE ONLY. VERIFY ALL LOCATIONS IN THE FIELD PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY INFIELD EXISTING 200mm STORM DRAINAGE TRENCHES EAST AND WEST PROPERTY LINES ALONG PROJECT PROGRESS LINE AND PRIOR TO CONSTRUCTION TO CONFIRM PIPE LOCATION.
- EXISTING SERVICES MUST BE EXPOSED AT CROSSING POINTS PRIOR TO CONSTRUCTION.
- ANY CONFLICT BETWEEN EXISTING INFRASTRUCTURE AND THE DESIGN TO BE REPORTED TO ENGINEER AND/OR TECHNICIAN IMMEDIATELY.
- ADJUST ALL PROPOSED AND EXISTING APPURTENANCES TO MEET FINAL DESIGN GRADES.
- CITY CREWS TO INSTALL ALL SEWER AND DRAIN CONNECTIONS AND SERVICES UP TO THE PROPERTY LINE AT THE DEVELOPER'S EXPENSE.
- WATER SERVICE CONNECTIONS ARE TO BE INSTALLED TO NEW METER AT THE PROPERTY LINE BY THE CITY OF VICTORIA MUNICIPAL CROW. AT THE DEVELOPER'S EXPENSE. THE CONTRACTOR SHALL NOT OPERATE ANY WATERMAIN OR SERVICE VALVES.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL PARTIES REQUIRED FOR SERVING TO PROPERTY LINE, INCLUDING ABANDONMENT OF EXISTING SERVICES. CAP ABANDONED HYDRO/TEL/SHAW CONDUIT 300mm OUTSIDE PROPERTY LINE.
- UNDERGROUND WORKING TO BE CONSTRUCTED IN ACCORDANCE WITH BC ELECTRICAL CODE, BC HYDRO/TEL DRAWINGS AND SPECIFICATIONS.
- OVERHEAD WORKING TO BE SHOWN ON CONTRACT DRAWINGS.
- STREETS SHALL BE SWEEP CLEAN ON A REGULAR BASIS TO REMOVE ANY CONSTRUCTION DEBRIS.
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH CITY OF VICTORIA STORMWATER PLAN.
- DISPOSE OF ALL UNSUITABLE EXCAVATED MATERIAL AS PER SPECIFICATIONS, IN ACCORDANCE WITH ALL APPLICABLE REGULATION.
- ALL TRAFFIC CONTROL TO CONFORM TO THE MOST CURRENT WORKSAFE BC, MACC AND MINISTRY OF TRANSPORTATION SPECIFICATIONS (TRAFFIC CONTROL MANUAL FOR WORK ON ROADWAYS).
- PROVIDE TRAFFIC CONTROL, SIGNAGE, BARRIAGES, ILLUMINATION, AND DETOUR ROUTING AS REQUIRED TO MAINTAIN TRAFFIC FLOW IN ANY EMERGENCY SITUATION. ADVISE POLICE AND AIRPORT. ROAD TRAVEL LANE TO BE OPEN AFTER 3:00 PM.
- THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS Hauling MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING OF EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
- ALL ASPHALT AND CONCRETE CUTS TO BE SQUARE CUT WITH SAW.
- COORDINATE CONSTRUCTION OF ALL WORKS WITHIN ROADWAY WITH CITY OF VICTORIA WORKS CREWS.
- REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR BC HYDRO, TEL, SHAW CABLE AND FORTIS BC UTILITY CONSTRUCTION DETAILS.
- FIELD SURVEY COMPLETED BY: GEORGINA J. BROWN
- CONTRACTOR IS TO PROVIDE AS-CONSTRUCTED DRAWING MARKUPS TO ENGINEER UPON CONSTRUCTION COMPLETION.
- ASPHALT TO BE REPLACED FULL DEPTH TO ROAD CENTERLINE ON ALL FRONTAGES.

ADDRESS: 780 BLANSHARD STREET
LOT: LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000, 1001, 1002, 1003, 1004, 1005, 1006, 1007, 1008, 1009, 1010, 1011, 1012, 1013, 1014, 1015, 1016, 1017, 1018, 1019, 1020, 1021, 1022, 1023, 1024, 1025, 1026, 1027, 1028, 1029, 1030, 1031, 1032, 1033, 1034, 1035, 1036, 1037, 1038, 1039, 1040, 1041, 1042, 1043, 1044, 1045, 1046, 1047, 1048, 1049, 1050, 1051, 1052, 1053, 1054, 1055, 1056, 1057, 1058, 1059, 1060, 1061, 1062, 1063, 1064, 1065, 1066, 1067, 1068, 1069, 1070, 1071, 1072, 1073, 1074, 1075, 1076, 1077, 1078, 1079, 1080, 1081, 1082, 1083, 1084, 1085, 1086, 1087, 1088, 1089, 1090, 1091, 1092, 1093, 1094, 1095, 1096, 1097, 1098, 1099, 1100, 1101, 1102, 1103, 1104, 1105, 1106, 1107, 1108, 1109, 1110, 1111, 1112, 1113, 1114, 1115, 1116, 1117, 1118, 1119, 1120, 1121, 1122, 1123, 1124, 1125, 1126, 1127, 1128, 1129, 1130, 1131, 1132, 1133, 1134, 1135, 1136, 1137, 1138, 1139, 1140, 1141, 1142, 1143, 1144, 1145, 1146, 1147, 1148, 1149, 1150, 1151, 1152, 1153, 1154, 1155, 1156, 1157, 1158, 1159, 1160, 1161, 1162, 1163, 1164, 1165, 1166, 1167, 1168, 1169, 1170, 1171, 1172, 1173, 1174, 1175, 1176, 1177, 1178, 1179, 1180, 1181, 1182, 1183, 1184, 1185, 1186, 1187, 1188, 1189, 1190, 1191, 1192, 1193, 1194, 1195, 1196, 1197, 1198, 1199, 1200, 1201, 1202, 1203, 1204, 1205, 1206, 1207, 1208, 1209, 1210, 1211, 1212, 1213, 1214, 1215, 1216, 1217, 1218, 1219, 1220, 1221, 1222, 1223, 1224, 1225, 1226, 1227, 1228, 1229, 1230, 1231, 1232, 1233, 1234, 1235, 1236, 1237, 1238, 1239, 1240, 1241, 1242, 1243, 1244, 1245, 1246, 1247, 1248, 1249, 1250, 1251, 1252, 1253, 1254, 1255, 1256, 1257, 1258, 1259, 1260, 1261, 1262, 1263, 1264, 1265, 1266, 1267, 1268, 1269, 1270, 1271, 1272, 1273, 1274, 1275, 1276, 1277, 1278, 1279, 1280, 1281, 1282, 1283, 1284, 1285, 1286, 1287, 1288, 1289, 1290, 1291, 1292, 1293, 1294, 1295, 1296, 1297, 1298, 1299, 1300, 1301, 1302, 1303, 1304, 1305, 1306, 1307, 1308, 1309, 1310, 1311, 1312, 1313, 1314, 1315, 1316, 1317, 1318, 1319, 1320, 1321, 1322, 1323, 1324, 1325, 1326, 1327, 1328, 1329, 1330, 1331, 1332, 1333, 1334, 1335, 1336, 1337, 1338, 1339, 1340, 1341, 1342, 1343, 1344, 1345, 1346, 1347, 1348, 1349, 1350, 1351, 1352, 1353, 1354, 1355, 1356, 1357, 1358, 1359, 1360, 1361, 1362, 1363, 1364, 1365, 1366, 1367, 1368, 1369, 1370, 1371, 1372, 1373, 1374, 1375, 1376, 1377, 1378, 1379, 1380, 1381, 1382, 1383, 1384, 1385, 1386, 1387, 1388, 1389, 1390, 1391, 1392, 1393, 1394, 1395, 1396, 1397, 1398, 1399, 1400, 1401, 1402, 1403, 1404, 1405, 1406, 1407, 1408, 1409, 1410, 1411, 1412, 1413, 1414, 1415, 1416, 1417, 1418, 1419, 1420, 1421, 1422, 1423, 1424, 1425, 1426, 1427, 1428, 1429, 1430, 1431, 1432, 1433, 1434, 1435, 1436, 1437, 1438, 1439, 1440, 1441, 1442, 1443, 1444, 1445, 1446, 1447, 1448, 1449, 1450, 1451, 1452, 1453, 1454, 1455, 1456, 1457, 1458, 1459, 1460, 1461, 1462, 1463, 1464, 1465, 1466, 1467, 1468, 1469, 1470, 1471, 1472, 1473, 1474, 1475, 1476, 1477, 1478, 1479, 1480, 1481, 1482, 1483, 1484, 1485, 1486, 1487, 1488, 1489, 1490, 1491, 1492, 1493, 1494, 1495, 1496, 1497, 1498, 1499, 1500, 1501, 1502, 1503, 1504, 1505, 1506, 1507, 1508, 1509, 1510, 1511, 1512, 1513, 1514, 1515, 1516, 1517, 1518, 1519, 1520, 1521, 1522, 1523, 1524, 1525, 1526, 1527, 1528, 1529, 1530, 1531, 1532, 1533, 1534, 1535, 1536, 1537, 1538, 1539, 1540, 1541, 1542, 1543, 1544, 1545, 1546, 1547, 1548, 1549, 1550, 1551, 1552, 1553, 1554, 1555, 1556, 1557, 1558, 1559, 1560, 1561, 1562, 1563, 1564, 1565, 1566, 1567, 1568, 1569, 1570, 1571, 1572, 1573, 1574, 1575, 1576, 1577, 1578, 1579, 1580, 1581, 1582, 1583, 1584, 1585, 1586, 1587, 1588, 1589, 1590, 1591, 1592, 1593, 1594, 1595, 1596, 1597, 1598, 1599, 1600, 1601, 1602, 1603, 1604, 1605, 1606, 1607, 1608, 1609, 1610, 1611, 1612, 1613, 1614, 1615, 1616, 1617, 1618, 1619, 1620, 1621, 1622, 1623, 1624, 1625, 1626, 1627, 1628, 1629, 1630, 1631, 1632, 1633, 1634, 1635, 1636, 1637, 1638, 1639, 1640, 1641, 1642, 1643, 1644, 1645, 1646, 1647, 1648, 1649, 1650, 1651, 1652, 1653, 1654, 1655, 1656, 1657, 1658, 1659, 1660, 1661, 1662, 1663, 1664, 1665, 1666, 1667, 1668, 1669, 1670, 1671, 1672, 1673, 1674, 1675, 1676, 1677, 1678, 1679, 1680, 1681, 1682, 1683, 1684, 1685, 1686, 1687, 1688, 1689, 1690, 1691, 1692, 1693, 1694, 1695, 1696, 1697, 1698, 1699, 1700, 1701, 1702, 1703, 1704, 1705, 1706, 1707, 1708, 1709, 1710, 1711, 1712, 1713, 1714, 1715, 1716, 1717, 1718, 1719, 1720, 1721, 1722, 1723, 1724, 1725, 1726, 1727, 1728, 1729, 1730, 1731, 1732, 1733, 1734, 1735, 1736, 1737, 1738, 1739, 1740, 1741, 1742, 1743, 1744, 1745, 1746, 1747, 1748, 1749, 1750, 1751, 1752, 1753, 1754, 1755, 1756, 1757, 1758, 1759, 1760, 1761, 1762, 1763, 1764, 1765, 1766, 1767, 1768, 1769, 1770, 1771, 1772, 1773, 1774, 1775, 1776, 1777, 1778, 1779, 1780, 1781, 1782, 1783, 1784, 1785, 1786, 1787, 1788, 1789, 1790, 1791, 1792, 1793, 1794, 1795, 1796, 1797, 1798, 1799, 1800, 1801, 1802, 1803, 1804, 1805, 1806, 1807, 1808, 1809, 1810, 1811, 1812, 1813, 1814, 1815, 1816, 1817, 1818, 1819, 1820, 1821, 1822, 1823, 1824, 1825, 1826, 1827, 1828, 1829, 1830, 1831, 1832, 1833, 1834, 1835, 1836, 1837, 1838, 1839, 1840, 1841, 1842, 1843, 1844, 1845, 1846, 1847, 1848, 1849, 1850, 1851, 1852, 1853, 1854, 1855, 1856, 1857, 1858, 1859, 1860, 1861, 1862, 1863, 1864, 1865, 1866, 1867, 1868, 1869, 1870, 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061,



TRENCH RESTORATION FOR CONCRETE ROAD BASE
1:20
Cov SD 08b

- NOTES
1. IF PAVEMENT THICKNESS IS 100MM OR LESS, REPLACE CONCRETE ROAD BASE UP TO EXISTING PAVEMENT LOWER LEVEL.
 2. IF PAVEMENT THICKNESS IS GREATER THAN 100MM, REPLACE CONCRETE ROAD BASE UP TO A LEVEL OF 150MM BELOW THE SURFACE OF EXISTING PAVEMENT.
 3. WHERE PAVEMENT MAY BE REPAIRED, REPAIR PAVEMENT, DEPENDING ON PAVEMENT CONDITIONS.
 4. REFER TO CONTRACT DRAWINGS FOR DETAILED SPECIFICATIONS.
 5. RESTORE CONCRETE ROAD BASE TO 100MM THICKNESS.
 6. COVER NEW CONCRETE ROAD BASE INTO EXISTING AT THE DISCRETION OF THE CITY ENGINEER.

REVISIONS C02
(numbering matching CoV ARS comment received)

38 Potential SWW shown at corner of Fairfield and Blanshard in favor of CoV, Owner and City to verify requirements.

40 Curb, gutter and sidewalk along Blanshard and Burdett frontages have been revised to show further improvements.

50 One-way curb-to-curb minimum of 4m on Burdett confirmed and shown.

51 Parking bay dimensions and locations revised to accommodate 2.5m x 6m requirements.

53 Highway accesses and grades shown.

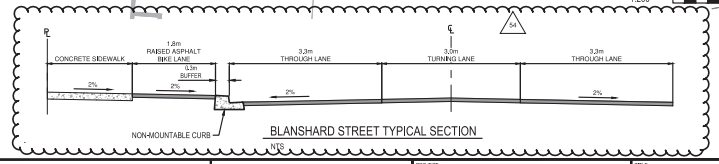
54 Blanshard bike lane has been included in design and typical section provided showing 2.0m sidewalk, 1.8m bikeline and 0.3m buffer within existing road ROW.

105 Proposed location of EV charging stations have been included.

Additional bubbled areas include works that have further developed upon coordination with other disciplines.

LEGEND

- SURFACE DETAIL**
- STORM DRAIN MANHOLE
 - STORM DRAIN VENT
 - CATCH BASIN
 - DRAIN CLEANOUT
 - DRAIN LATERAL
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER VENT
 - SEWER CLEANOUT
 - HYDRO MANHOLE
 - HYDRO POLE
 - HYDRO POLE WITH DIP
 - JOINT POLE
 - HYDRO POLE WITH LIGHT
 - HYDRO SERVICE HOSES
 - HYDRO VAULT
 - SEWER LATERAL
 - WATER VALVE ON MAIN
 - WATER SERVICE VALVE
 - WATER METER
 - ROULEVARD SERVICE
 - FIRE HYDRANT
 - REDUCER
 - LIGHT MANHOLE
 - LIGHT PULL BOX - SIDEWALK
 - TEL MANHOLE
 - TEL POLE
 - TEL POLE WITH DIP
 - TEL POLE WITH LIGHT
 - TEL SERVICE BOXES
 - TEL VAULT
 - POLE ANCHOR
 - HYDRO/TEL POLE TO BE RELOCATED
 - SIGNAL PULL BOX - SIDEWALK
 - LIGHT/SIGNAL PULL BOX - STREET
 - LIGHT POLE (STEEL)
 - LIGHT/SIGNAL POLE (STEEL)
 - CLUSTER LAMP - TYPE A
 - CLUSTER LAMP - TYPE B
 - STREET SIGN
 - PARKING METER
 - HYDRO/TEL POLE TO BE REMOVED
 - GAS METER
 - GAS VALVE
 - GAS SHUTTER
 - TEST HOLE
 - FENCE LINE
 - RETAINING WALL
 - TREE
 - ROCK OUTCROP
 - EX. SPOT ELEV
 - PRO. SPOT ELEV



COPYRIGHT: THIS DRAWING AND DESIGN ARE COPYRIGHT PROTECTED AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT WRITTEN PERMISSION BY WSP CANADA INC.		DISCLAIMER: THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND UTILITY LOCATIONS AND REPORT ALL ERRORS AND OMISSIONS PRIOR TO COMMENCING WORK.		THIS DRAWING IS NOT TO BE SCALES.	
DATE	DESCRIPTION	DES	CHK	CHK	REV
1	20230105	DESIGNED FOR RE-ZONING/DEVELOPMENT PERMIT			
2	20230202	FOR RE-ZONING/DEVELOPMENT PERMIT			
3	20230210	FOR RE-ZONING/DEVELOPMENT PERMIT			

PROFESSIONAL ENGINEER
B. W. HARRIS
#45273
FOR THE CITY OF VICTORIA

Engineers and Geoscientists BC
Permit to Practice #10000200

CLIENT: RELIANCE PROPERTIES

WSP

PROJECT: 780 BLANSARD STREET VICTORIA, BC

DESIGNED BY: 221-033340

PROJECT NO: 221-033340

SCALE: 1:200

DATE: 20230210

CIVIL

TITLE: CONCEPTUAL SURFACE WORKS & SITE GRADING

DESIGNED BY: C02

SHEET NO: 2 OF 2

FOR RE-ZONING/DEVELOPMENT PERMIT

20230210

1

0 5 10 15 20

The intended plot size of this plan is 841mm in width by 594mm in height (ISO A1 size) when plotted at a scale of 1:400

All distances are in metres and decimals thereof.

- LEGEND**
- denotes drain manhole
 - denotes drain cleanout
 - denotes sewer manhole
 - denotes water meter
 - denotes irrigation control box
 - denotes irrigation control valve
 - denotes standpipe connection
 - denotes communications manhole
 - denotes hydro manhole
 - denotes gas meter
 - denotes streetlight davit
 - denotes sign
 - denotes traffic signal pole
 - denotes parking stall sign
 - denotes hand rail
 - denotes fence
 - denotes non-mountable curb
 - denotes curb letdown
 - denotes edge of pavement
 - denotes edge of gravel
 - denotes center line of road
 - denotes building outline
 - denotes concrete pad
 - denotes spot elevation
 - denotes deciduous tree, species and diameter, or tag number
 - denotes coniferous tree, species and diameter, or tag number
 - denotes hedge line
 - denotes property line

Legal Description:
LOTS 1-4 AND 28, 29 OF SECTION 88 AND OF LOT 1627, CHRIST CHURCH TRUST ESTATE, VICTORIA CITY, PLAN 358

PID: 009-332-243 (LOT 3); 009-332-227 (LOT 2); 009-332-197 (LOT 1); 009-332-332 (LOT 29); 009-332-294 (LOT 28); 009-332-090 (LOT 4)

Date of Field Survey: 9 September, 2021.

Contour interval = 0.5 m.

Elevations are to geodetic datum, derived from geodetic control monument 8-14. Published Elevation = 22.772 m.

Vertical Datum CGVD28 (HTV2.0).

Tree diameters are taken at breast height. Tree symbols are diagrammatic only to show relative sizes.

Lot boundaries shown hereon are derived from ties to existing survey evidence and Land Title Office records. Lot boundaries are subject to change upon legal survey.

This plan represents the best information available at the time of survey. WSP Surveys (BC) Limited Partnership and its employees take no responsibility for the location of any underground conduits, pipes, or other facilities whether shown on or omitted from this plan. All underground installations should be located by the respective authorities prior to construction.

TABLE OF AREAS	
Description	Area
Lot 1, Plan 358	442 m ²
Lot 2, Plan 358	453 m ²
Lot 3, Plan 358	338 m ²
Lot 4, Plan 358	329 m ²
Lot 28, Plan 358	262 m ²
Lot 29, Plan 358	448 m ²
TOTAL	0.23 ha

REVISION	DATE	DESCRIPTION	BY	CHK
2	2022-04-15	ADDITIONAL TREES AND REVISED BUILDING OUTLINE	MJR	HC
1	2022-09-20	COORDINATE SYSTEM SHIFT	MJR	HC
0	2021-09-19	ORIGINAL PLAN PREPARED	MJR	HC
0000	YYYYMMDD	DESCRIPTION	BY	CHK

CLIENT:
RELIANCE PROPERTIES LTD.

CLIENT REF. NO:



PROJECT: **780 BLANSHARD STREET VICTORIA, BC**

PROJECT NO: 21-03351-001

SCALE: As-Noted

DISCIPLINE: GEOMATICS

TITLE: **TOPOGRAPHIC SURVEY**

DRAWING NO: **21-03351-001-TOPO01-R2**

SHEET NO: 1 OF 1