

# JOHNSON STREET GATEWAY - NORTHERN JUNK

1314-1318, 1324 WHARF STREET, VICTORIA, BC  
LOT 182 A, LOT 182 F  
(\*PROPOSED TO INCLUDE LOTS 182 G, AND FUTURE ROAD CLOSURE)

JULY 22, 2016

REZONING & DEVELOPMENT PERMIT (AMENDMENT)

CLIENT & CONSULTANT LIST

CLIENT:  
RELANCE PROPERTIES c/o CROSSTOWN  
PROPERTIES (WHARF) LTD  
305-111 WATER STREET  
VANCOUVER, BC, V6B 1A7  
PHONE: 604.694.8896  
CONTACT: JON STOVELL, PRESIDENT  
jons@relianceproperties.ca  
CONTACT: JUAN PEREIRA, PROJECT MANAGER  
juanp@relianceproperties.ca

ARCHITECT:  
MERRICK ARCHITECTURE  
BOROWSKI SAKUMOTO FLIGG MCINTYRE LTD.  
300 - 839 CAMBIE STREET  
VANCOUVER, BC, V6B 2P4  
PHONE: 604 683 4131  
FAX: 604 683 9113  
CONTACT: MITCH SAKUMOTO, PRINCIPAL  
msakumoto@merrickarch.com  
CONTACT: ADAM HATCH, INTERN ARCHITECT  
ahatch@merrickarch.com

LANDSCAPE ARCHITECT:  
PWL PARTNERSHIP LANDSCAPE ARCHITECTS INC  
5TH FLOOR, EAST ASIATIC HOUSE  
1201 WEST PENDER STREET  
VANCOUVER, BC CANADA, V6E 2V2  
PHONE: 604 688 6111  
FAX: 604 688 6112  
CONTACT: JASON WEGMAN, PRINCIPAL  
jwegman@pwlpartnership.com

HERITAGE:  
DONALD LUXTON & ASSOCIATES INC.  
1030-470 GRANVILLE STREET  
VANCOUVER, BC V6C 1V5  
PHONE: 604 688 1216  
CONTACT: DONALD LUXTON, PRINCIPAL  
donald@donaldluxton.com

CODE:  
MURRAY JOHNSON ENGINEERING LTD.  
212 FIFTH AVENUE  
NEW WESTMINSTER, BC V3L 1R4  
PHONE: 604 526 3335  
CONTACT: MURRAY JOHNSON, PRINCIPAL  
murlo@telus.net

DRAWING LIST

ARCHITECTURAL

- A0.00

COVER SHEET
- A0.10

SURVEY
- A1.00

SITE PLAN
- A1.02

SITE PLAN EXISTING
- A2.01

PARKING LEVEL 1
- A2.02

LEVEL 1 FLOOR PLAN
- A2.03

LEVEL 2 FLOOR PLAN
- A2.04

LEVEL 3 FLOOR PLAN
- A2.05

LEVEL 4 FLOOR PLAN
- A2.06

LEVEL 5 FLOOR PLAN
- A2.07

LEVEL 6 FLOOR PLAN
- A2.08

LEVELS 7 FLOOR PLAN
- A2.09

ROOF PLAN
- A3.01

CONTEXT ELEVATIONS
- A3.02

NORTH & EAST ELEVATION
- A3.03

SOUTH & WEST ELEVATION
- A3.06

HERITAGE BUILDING ELEVATIONS EXISTING
- A3.07

HERITAGE BUILDING ELEVATIONS PROPOSED
- A4.01

BUILDING SECTION



1 LOCATION PLAN  
A0.00 SCALE: NTS



CITY OF  
VICTORIA  
ARCHITECTURE

Revisions  
MERRICK  
VICTORIA  
Received Date:  
July 26/16

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Revision		
No.	Description	Date

Issue	Issue Date
Amendment to Rezoning/DP Application	16.07.22
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Consultant



Project

Johnson Street  
Gateway  
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For  
Crosstown Properties Ltd.

Sheet Title

COVER PAGE

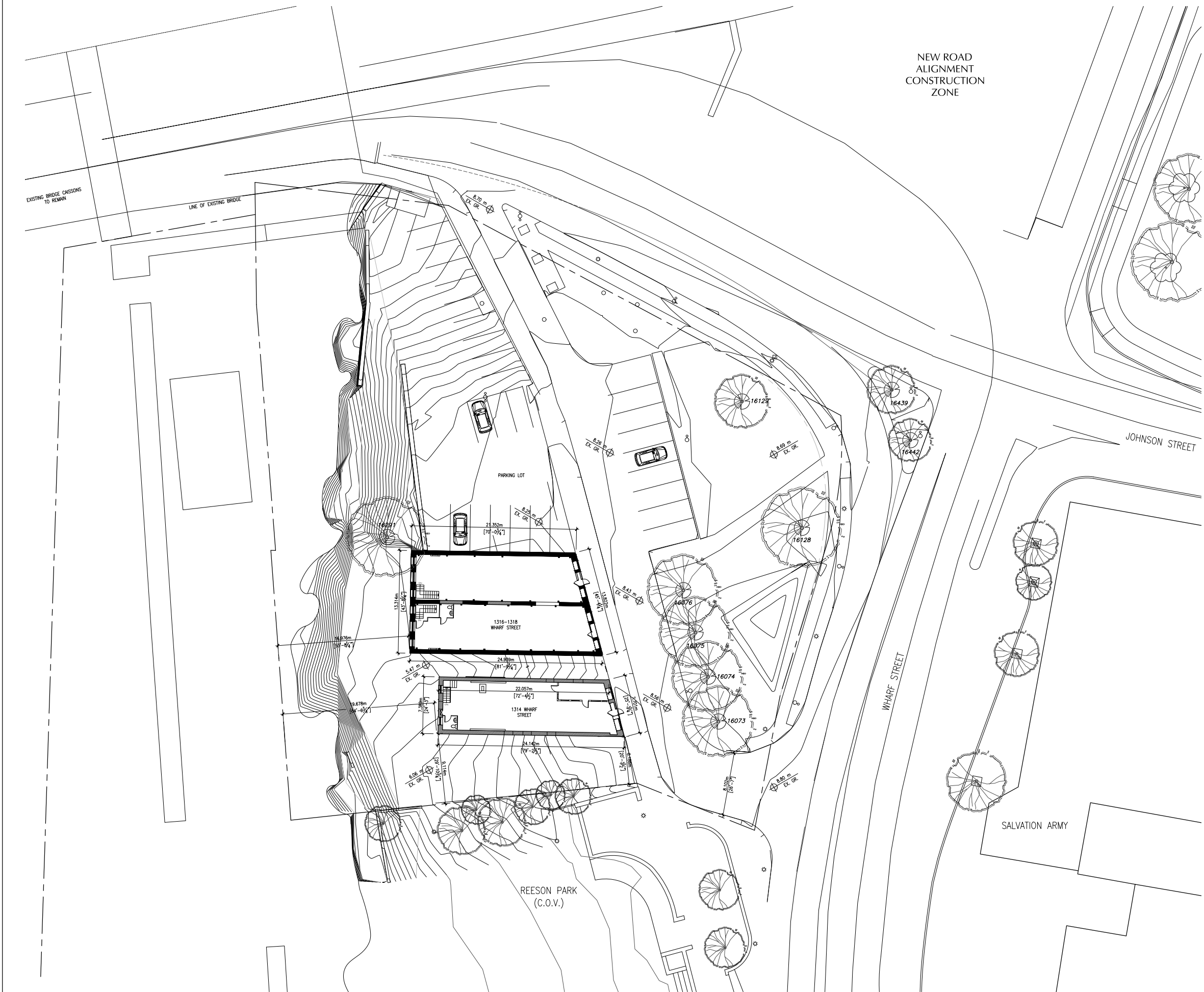
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CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A0.00









CITY OF VICTORIA

MERRICK ARCHITECTURE

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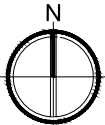
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Revision No.	Description	Date

Issue	Issue Date
Amendment to Rezoning/DP Application	16.07.22

Consultant



**RELIANCE**  
PROPERTIES

Project

**Johnson Street Gateway**

For  
Crosstown Properties Ltd.

Sheet Title

**SITE PLAN EXISTING**

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number

**A1.02**









CITY OF VICTORIA

MERRICK ARCHITECTURE

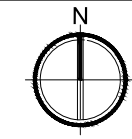
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Consultant

RELIANCE PROPERTIES

Project

**Johnson Street Gateway**

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For

Crosstown Properties Ltd.

Sheet Title

**LEVEL 2 FLOOR PLAN**

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.03

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	4
B	4
C	1
D	1
D.1	0
D.2	0
E	1
E.1	0
F	1
F.1	0
G	1
G.1	0
H	5
H.1	1
I	1
J	1
K	1
K.1	0
L	1
L.1	0
M	0
N	0
N.1	0
O	0
O.1	0
P	0
Q	0
R	0
R.1	0
TOTAL	23

TOTAL FLOOR AREA (FSR): 1,497.32 SQ.M (16,117.07 SQ.FT.)

1 LEVEL 2 FLOOR PLAN  
A2.03 SCALE 1:200

CITY OF VICTORIA

MERRICK ARCHITECTURE

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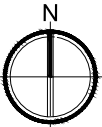
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Revision		
No.	Description	Date

Issue	Issue Date
Amendment to Rezoning/DP Application	16.07.22

Consultant



Project

Johnson Street Gateway  
For  
Crosstown Properties Ltd.

Sheet Title

LEVEL 3 FLOOR PLAN

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number

A2.04

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	4
B	4
C	1
D	1
D.1	0
D.2	0
E	1
E.1	0
F	1
F.1	0
G	1
G.1	0
H	5
H.1	1
I	1
J	1
K	1
K.1	0
L	1
L.1	0
M	0
N	0
N.1	0
O	0
O.1	0
P	0
Q	0
R	0
R.1	0
TOTAL	23

TOTAL FLOOR AREA (FSR): 1,497.32 SQ.M (16,117.07 SQ.FT.)

1 LEVEL 3 FLOOR PLAN  
A2.04 SCALE 1:200



CITY OF VICTORIA

MERRICK ARCHITECTURE

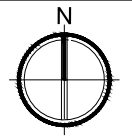
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Revision		
No.	Description	Date

Issue	Issue Date
Amendment to Rezoning/DP Application	16.07.22
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Consultant

RELIANCE PROPERTIES

Project

**Johnson Street Gateway**

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For

Crosstown Properties Ltd.

Sheet Title

**LEVEL 4 FLOOR PLAN**

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.05

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	4
B	4
C	1
D	1
D.1	0
D.2	0
E	1
E.1	0
F	1
F.1	0
G	1
G.1	0
H	5
H.1	1
I	1
J	1
K	1
K.1	0
L	1
L.1	0
M	0
N	0
N.1	0
O	0
O.1	0
P	0
Q	0
R	0
R.1	0
TOTAL	23

TOTAL FLOOR AREA (FSR): 1,497.32 SQ.M (16,117.07 SQ.FT.)

1 LEVEL 4 FLOOR PLAN  
A2.05 SCALE 1:200

CITY OF VICTORIA

MERRICK ARCHITECTURE

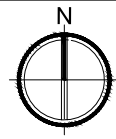
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Consultant

RELIANCE PROPERTIES

Project

Johnson Street Gateway

For

Crosstown Properties Ltd.

Sheet Title

LEVEL 5 FLOOR PLAN

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.06

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	0
B	4
C	1
D	1
D.1	0
D.2	0
E	1
E.1	0
F	1
F.1	0
G	1
G.1	0
H	5
H.1	1
I	1
J	1
K	0
K.1	1
L	0
L.1	1
M	2
N	0
N.1	0
O	0
O.1	0
P	0
Q	0
R	0
R.1	0
TOTAL	21

TOTAL FLOOR AREA (FSR): 1,450.27 SQ.M (15,610.57 SQ.FT.)

1 LEVEL 5 FLOOR PLAN  
A2.06 SCALE 1:200



CITY OF VICTORIA

MERRICK ARCHITECTURE

Revisions

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Consultant

RELIANCE PROPERTIES

Project

Johnson Street Gateway

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For

Crosstown Properties Ltd.

Sheet Title

LEVEL 6 FLOOR PLAN

Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.07

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	0
B	0
C	0
D	0
D.1	1
D.2	0
E	0
E.1	1
F	1
F.1	0
G	1
G.1	0
H	0
H.1	0
I	0
J	0
K	0
K.1	0
L	0
L.1	0
M	0
N	2
N.1	1
O	4
O.1	2
P	1
Q	0
R	0
R.1	0
TOTAL	14

TOTAL FLOOR AREA (FSR): 1006.72 SQ.M (10,836.20 SQ.FT.)

1 LEVEL 6 FLOOR PLAN  
A2.07 SCALE 1:200

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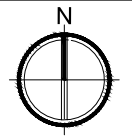
Revisions

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Amendment to Rezoning/DP Application	16.07.22
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Issued for Construction R2	Feb 25, 2015
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Project

**Johnson Street Gateway**

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For

Crosstown Properties Ltd.

Sheet Title

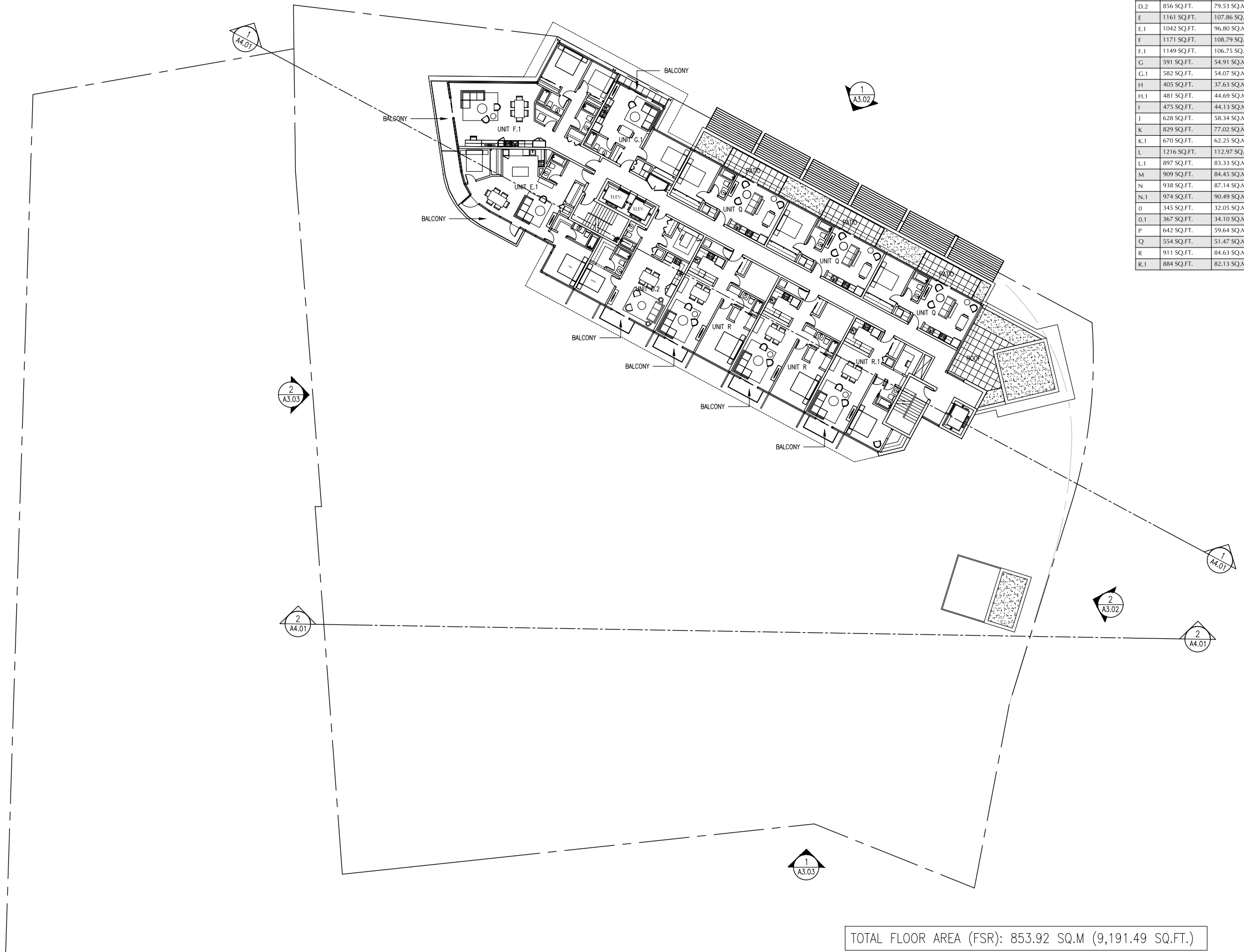
**LEVEL 7 FLOOR PLAN**

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CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.08

UNIT	AREA (SQ.FT.)	AREA (SQ.M.)	DESCRIPTION
A	489 SQ.FT.	45.43 SQ.M.	1 BED, 1 BATH
B	547 SQ.FT.	50.81 SQ.M.	1+DEN, 1 BATH
C	567 SQ.FT.	52.68 SQ.M.	1+DEN, 1 BATH
D	904 SQ.FT.	83.98 SQ.M.	2 BED, 2 BATH
D.1	874 SQ.FT.	81.20 SQ.M.	2 BED, 2 BATH
D.2	856 SQ.FT.	79.53 SQ.M.	2 BED, 2 BATH
E	1161 SQ.FT.	107.86 SQ.M.	2 BED, 2 BATH
E.1	1042 SQ.FT.	96.80 SQ.M.	2 BED, 2 BATH
F	1171 SQ.FT.	108.79 SQ.M.	2 BED, 2 BATH
F.1	1149 SQ.FT.	106.75 SQ.M.	2 BED, 2 BATH
G	591 SQ.FT.	54.91 SQ.M.	1 BED, 1 BATH
G.1	582 SQ.FT.	54.07 SQ.M.	1 BED, 1 BATH
H	405 SQ.FT.	37.63 SQ.M.	1 BED, 1 BATH
H.1	481 SQ.FT.	44.69 SQ.M.	1 BED, 1 BATH
I	475 SQ.FT.	44.13 SQ.M.	1 BED, 1 BATH
J	628 SQ.FT.	58.34 SQ.M.	1 BED, 1 BATH
K	829 SQ.FT.	77.02 SQ.M.	1+DEN, 1 BATH
K.1	670 SQ.FT.	62.25 SQ.M.	1 BED, 1 BATH
L	1216 SQ.FT.	112.97 SQ.M.	2 BED, 2 BATH
L.1	897 SQ.FT.	83.33 SQ.M.	1+DEN, 1 BATH+
M	909 SQ.FT.	84.45 SQ.M.	2 BED, 2 BATH
N	938 SQ.FT.	87.14 SQ.M.	2+DEN, 2 BATH
N.1	974 SQ.FT.	90.49 SQ.M.	2 BED, 1 BATH
O	345 SQ.FT.	32.05 SQ.M.	STUDIO, 1 BATH
O.1	367 SQ.FT.	34.10 SQ.M.	STUDIO, 1 BATH
P	642 SQ.FT.	59.64 SQ.M.	1+DEN, 1 BATH
Q	554 SQ.FT.	51.47 SQ.M.	1 BED, 1 BATH
R	911 SQ.FT.	84.63 SQ.M.	2 BED, 1 BATH
R.1	884 SQ.FT.	82.13 SQ.M.	1+DEN, 1 BATH

NUMBER OF UNITS ON FLOOR	
A	0
B	0
C	0
D	0
D.1	0
D.2	1
E	0
E.1	1
F	0
F.1	1
G	0
G.1	1
H	0
H.1	0
I	0
J	0
K	0
K.1	0
L	0
L.1	0
M	0
N	0
N.1	0
O	0
O.1	0
P	0
Q	3
R	2
R.1	1
TOTAL	10



TOTAL FLOOR AREA (FSR): 853.92 SQ.M (9,191.49 SQ.FT.)

1

A2.08

LEVELS 7 FLOOR PLAN

SCALE 1:200



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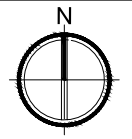
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**RELIANCE**  
PROPERTIES

Project

**Johnson Street Gateway**

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For

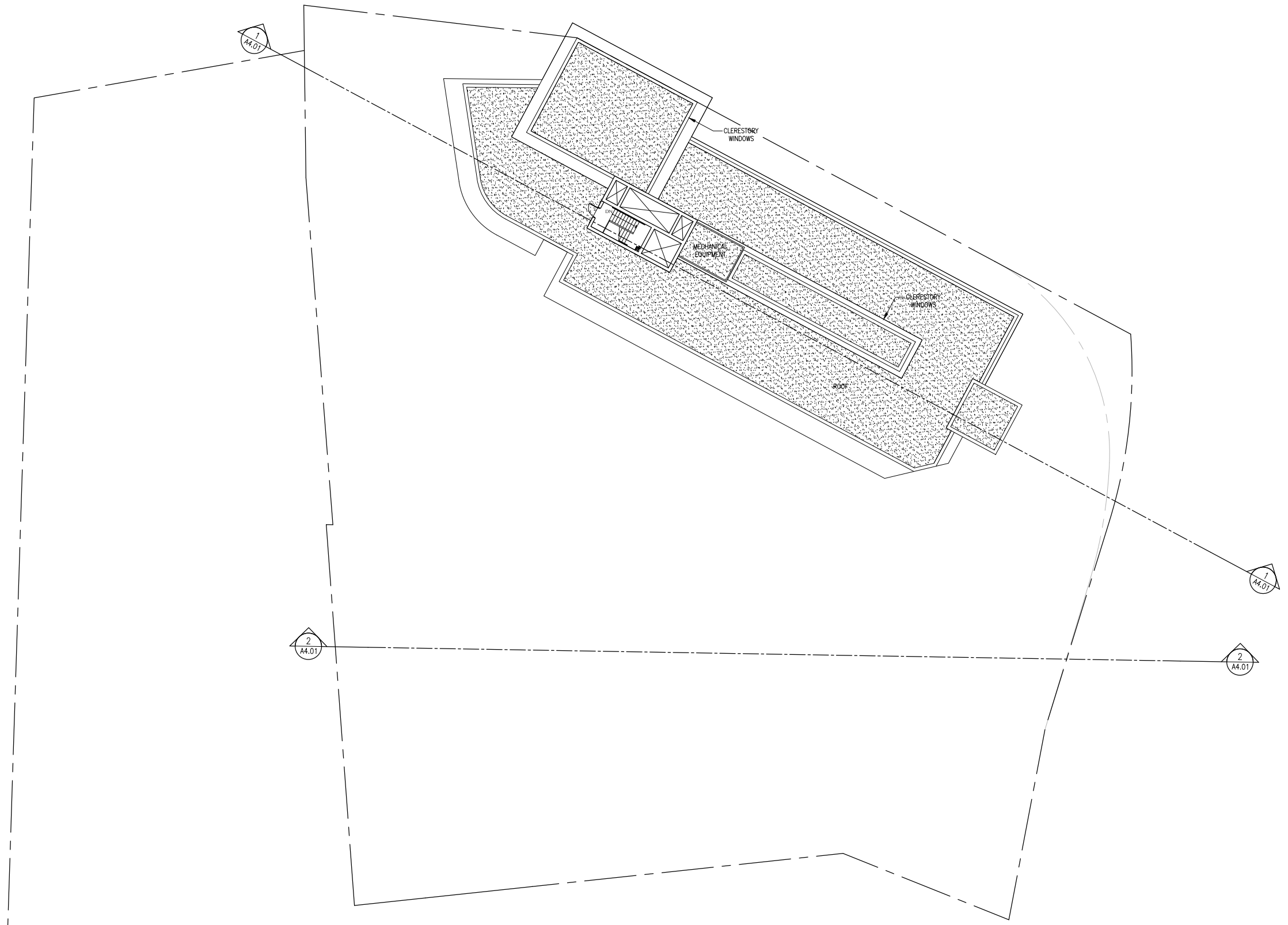
Crosstown Properties Ltd.

Sheet Title

**ROOF PLAN**

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CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A2.09



TOTAL FLOOR AREA (FSR): 38.84 SQ.M (418.12 SQ.FT.)

1 ROOF PLAN  
A2.11 SCALE 1:200





MATERIALS LEGEND	
1.	REHABILITATED HERITAGE STONEWORK
2.	REHABILITATED HERITAGE BRICK
3.	REHABILITATED HERITAGE WINDOWS
4.	GLAZED ATRIUM
5.	WOOD & ALUMINUM GLAZED RETRACTABLE DOORS
6.	STEEL PATIO STRUCTURE
7.	BRICK - COLOUR A
8.	BRICK - COLOUR B
9.	STONE - TYPE A
10.	ARCHITECTURALLY FINISHED CONCRETE (PAINTED)
11.	FIBRE REINFORCED CONCRETE PANELS
12.	ARCHITECTURAL LOUVRE
13.	STEEL SCREEN (PAINTED)
14.	STEEL COLUMNS (PAINTED)
15.	GUARDRAIL - PAINTED STEEL & GLASS
16.	GUARDRAIL - FRAMELESS GLASS
17.	DE-MOUNTABLE BALCONIES - PAINTED STEEL & GLASS
18.	ALUMINUM GLAZING SYSTEM - STOREFRONT (FRAMELESS)
19.	ALUMINUM GLAZING SYSTEM - CURTAIN WALL (FRAMELESS)
20.	ALUMINUM GLAZING SYSTEM - WINDOW WALL
21.	ALUMINUM WINDOWS - STEEL LINTEL & CONCRETE SILL
22.	ALUMINUM WINDOWS - ALUMINUM SURROUND
23.	METAL CANOPY (DE-MOUNTABLE)
24.	ENTRANCE CANOPY - PAINTED STEEL & GLASS
25.	RE-INFORCED CONCRETE & STONE SEAWALL
26.	HEAVY TIMBRE SUPPORT SEA WALK
27.	CONCRETE & WOOD MARINA FLOATS
28.	ALUMINUM GANGPLANK
29.	METAL GRATE PARKADE DOOR



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**RELIANCE**  
PROPERTIES

Project

Johnson Street Gateway

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For

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Sheet Title	
NORTH & EAST ELEVATION	
Drawn By	Checked
CM/ASH	MS
Project Number	Scale
1428	AS NOTED
Revision	Sheet Number
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A3.02



- MATERIALS LEGEND
1. REHABILITATED HERITAGE STONEWORK
  2. REHABILITATED HERITAGE BRICK
  3. REHABILITATED HERITAGE WINDOWS
  4. GLAZED ATRIUM
  5. WOOD & ALUMINUM GLAZED RETRACTABLE DOORS
  6. STEEL PATIO STRUCTURE
  7. BRICK - COLOUR A
  8. BRICK - COLOUR B
  9. STONE - TYPE A
  10. ARCHITECTURALLY FINISHED CONCRETE (PAINTED)
  11. FIBRE REINFORCED CONCRETE PANELS
  12. ARCHITECTURAL LOUVRE
  13. STEEL SCREEN (PAINTED)
  14. STEEL COLUMNS (PAINTED)
  15. GUARDRAIL - PAINTED STEEL & GLASS
  16. GUARDRAIL - FRAMELESS GLASS
  17. DE-MOUNTABLE BALCONIES - PAINTED STEEL & GLASS
  18. ALUMINUM GLAZING SYSTEM - STOREFRONT (FRAMELESS)
  19. ALUMINUM GLAZING SYSTEM - CURTAIN WALL (FRAMELESS)
  20. ALUMINUM GLAZING SYSTEM - WINDOW WALL
  21. ALUMINUM WINDOWS - STEEL LINTEL & CONCRETE SILL
  22. ALUMINUM WINDOWS - ALUMINUM SURROUND
  23. METAL CANOPY (DE-MOUNTABLE)
  24. ENTRANCE CANOPY - PAINTED STEEL & GLASS
  25. RE-INFORCED CONCRETE & STONE SEAWALL
  26. HEAVY TIMBRE SUPPORT SEA WALK
  27. CONCRETE & WOOD MARINA FLOATS
  28. ALUMINUM GANGPLANK
  29. METAL GRATE PARKADE DOOR



1 SOUTH ELEVATION  
SCALE 1:200



2 WEST ELEVATION  
SCALE 1:200



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Project  
**Johnson Street Gateway**  
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For  
Crosstown Properties Ltd.

Sheet Title  
**SOUTH & WEST ELEVATION**

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1428	AS NOTED
Revision	Sheet Number
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A3.03



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RELIANCE  
PROPERTIES

Project

Johnson Street  
Gateway

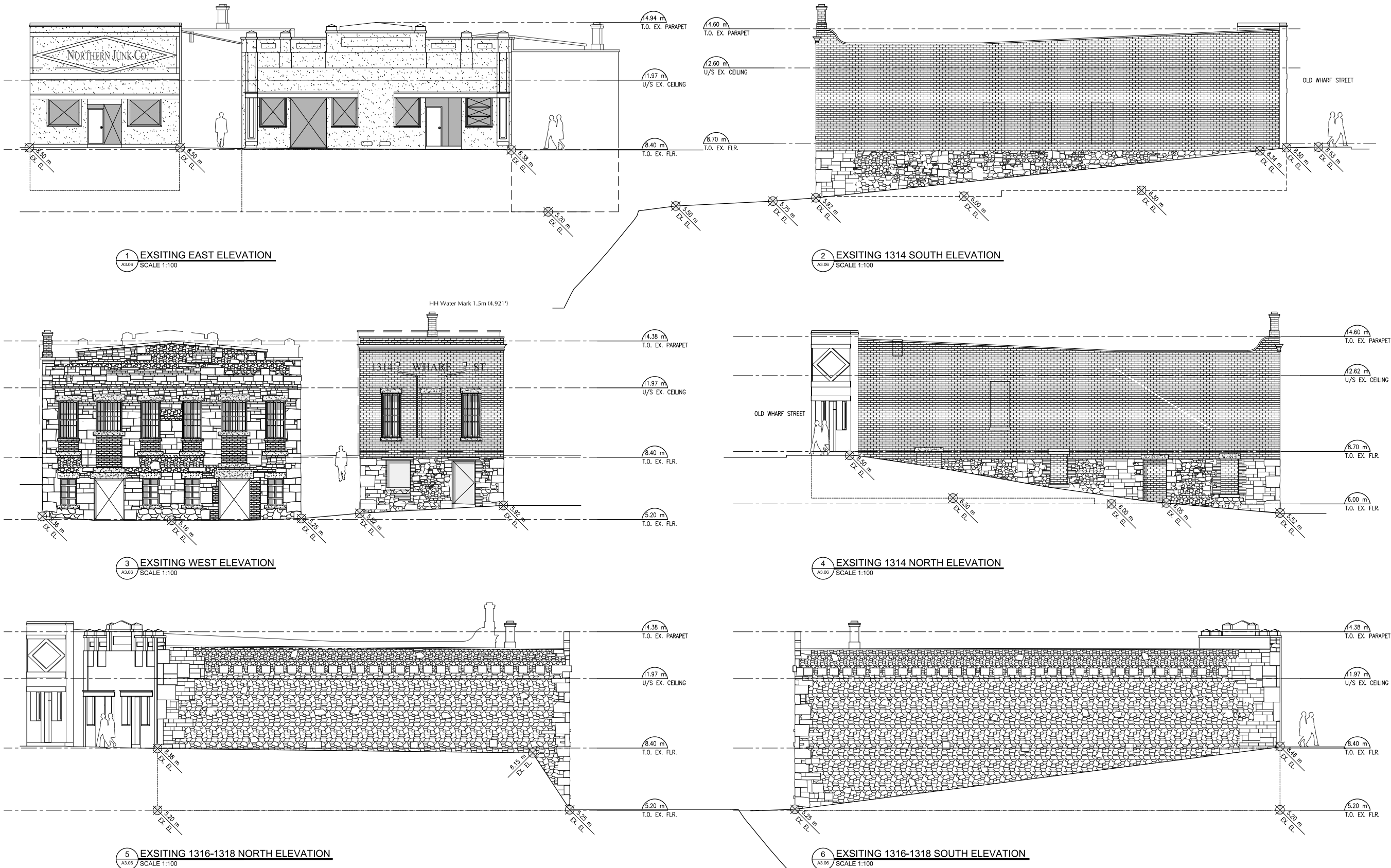
For  
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Sheet Title

HERITAGE BUILDING  
ELEVATIONS EXISTING

Drawn By CM/ASH	Checked MS
Project Number 1428	Scale AS NOTED
Revision ----	Sheet Number ----

A3.06



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**RELIANCE**  
PROPERTIES

Project

**Johnson Street  
Gateway**

For  
Crosstown Properties Ltd.

Sheet Title

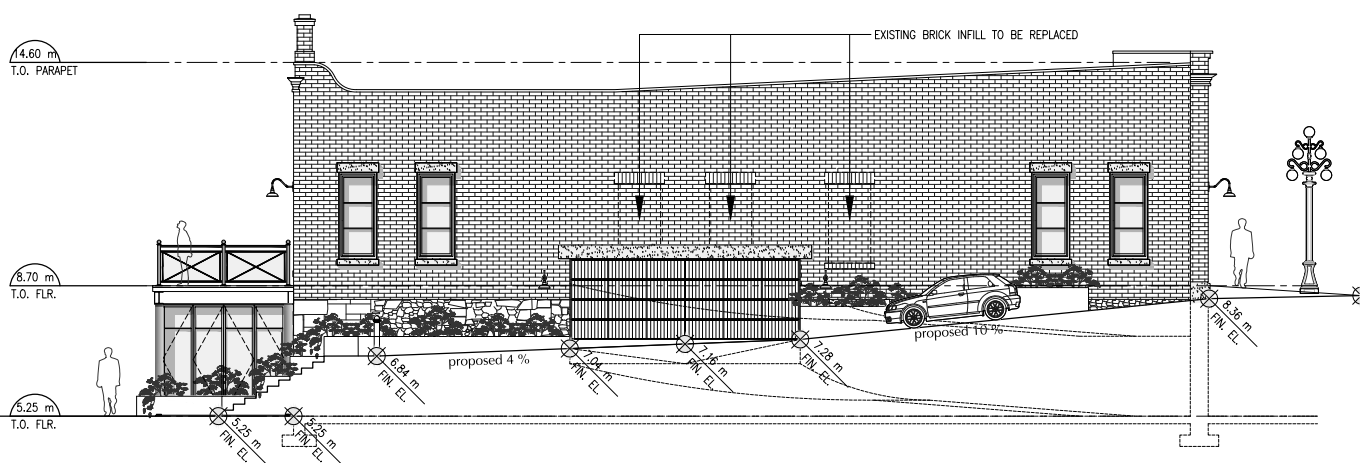
**HERITAGE BUILDING  
ELEVATIONS PROPOSED**

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1428	AS NOTED
Revision	Sheet Number

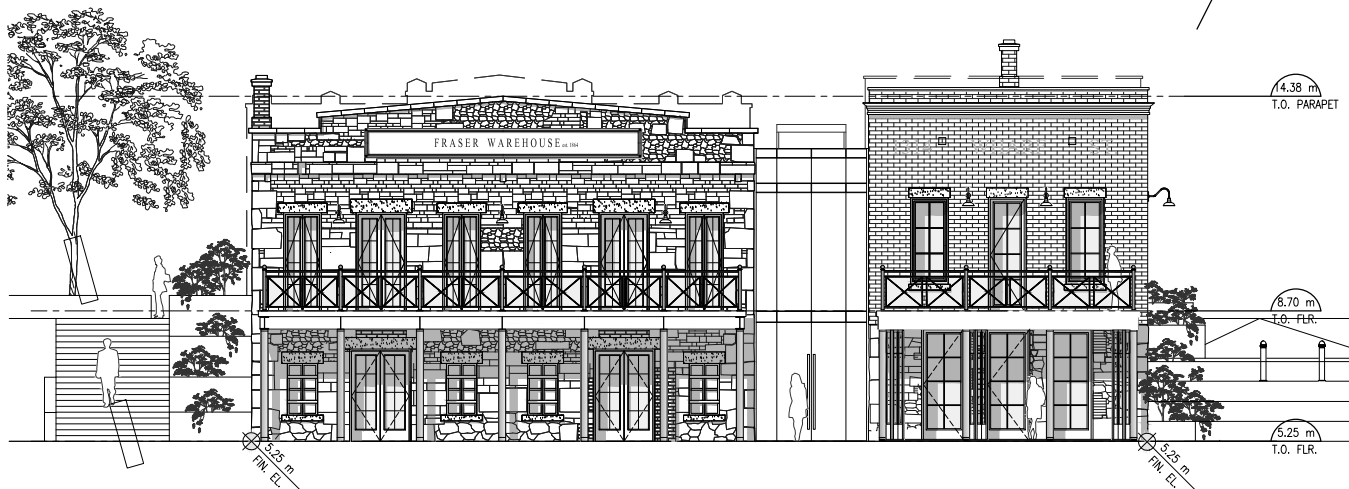
A3.07



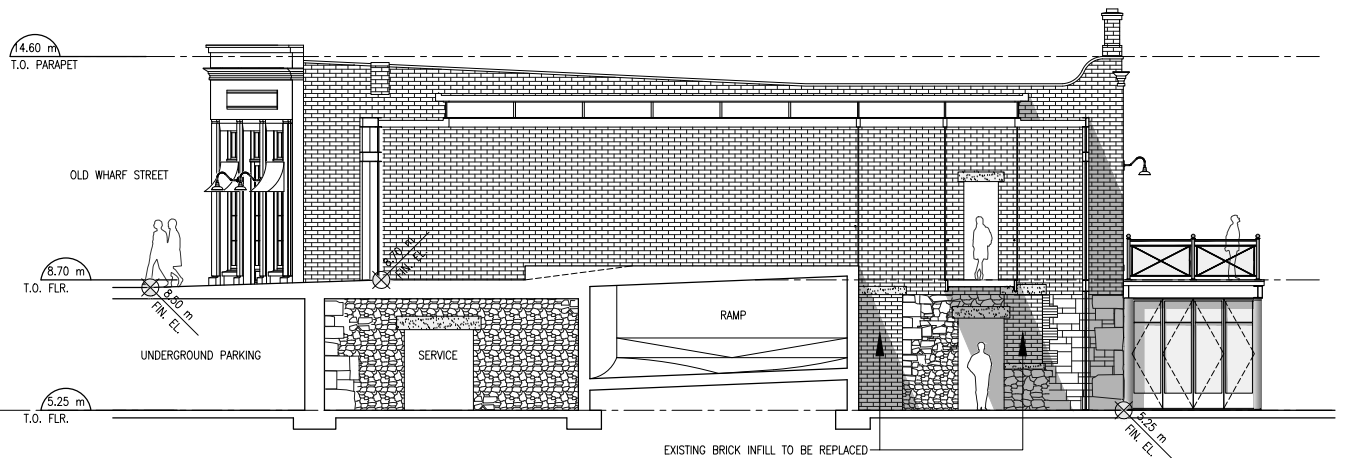
1 EAST ELEVATION (PROPOSED)  
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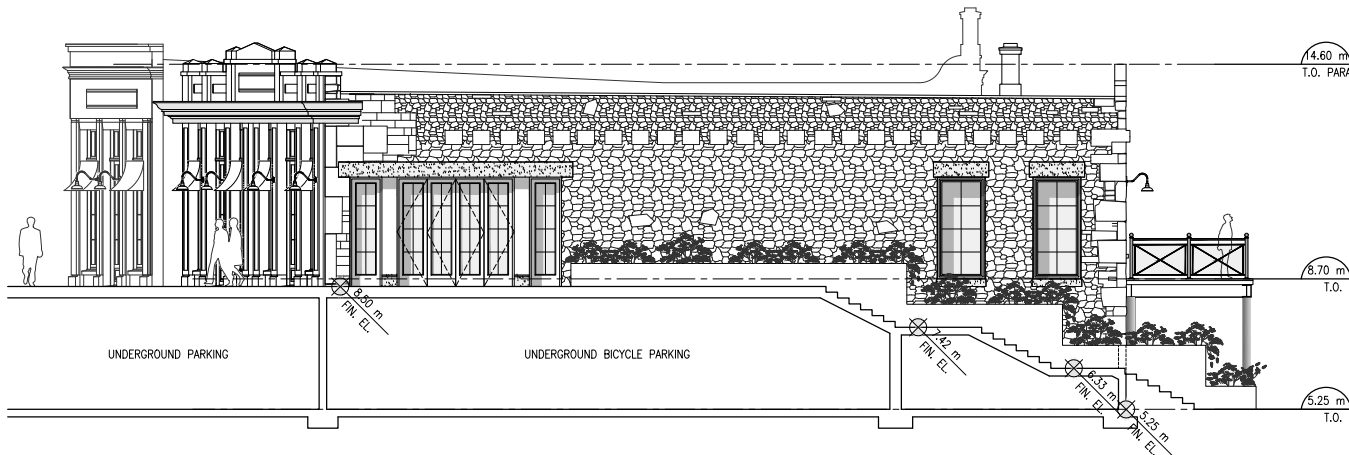
2 1314 SOUTH ELEVATION (PROPOSED)  
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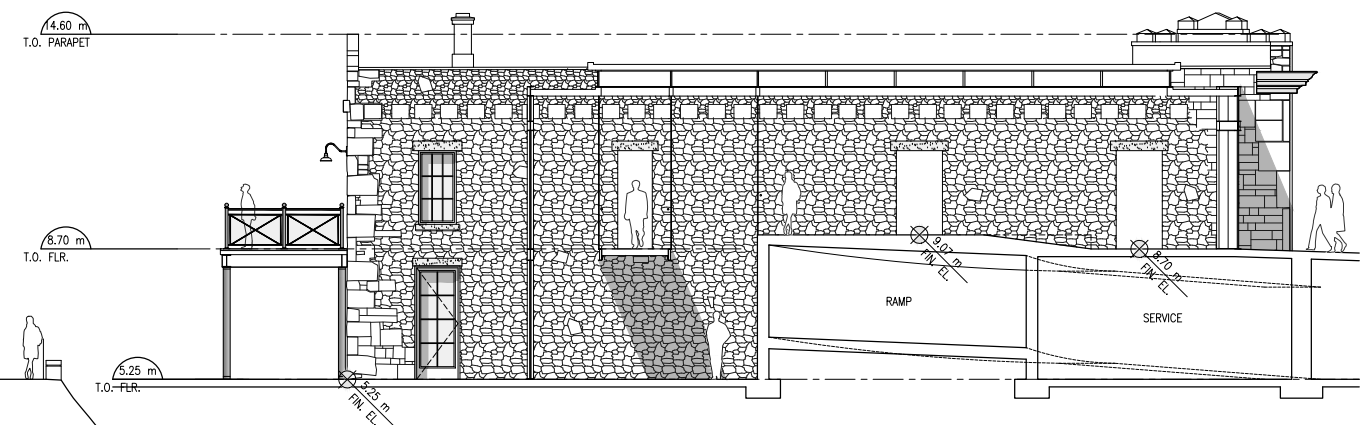
3 WEST ELEVATION (PROPOSED)  
SCALE 1:100



4 1314 NORTH ELEVATION (PROPOSED)  
SCALE 1:100



5 1316-1318 NORTH ELEVATION (PROPOSED)  
SCALE 1:100



6 1316-1318 SOUTH ELEVATION (PROPOSED)  
SCALE 1:100



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RELIANCE PROPERTIES

Project

Johnson Street Gateway

For

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BUILDING SECTIONS

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A4.01

